



KEYED NOTES

- ① Entry gate - see below
- ② 6' height perimeter wall - Brown split-face or fluted CMU block. Texture surface shall face the public R.O.W.
- ③ 6' height view fence - 2' CMU block wall w/wrought iron above
- ④ Entry Sign - see below
- ⑤ 4' sidewalk
- ⑥ 6' sidewalk
- ⑦ Enhanced paved focal area
- ⑧ Pedestrian gate
- ⑨ Private access, public drainage, SAS and waterline easement (width varies)
- ⑩ 20' Non-vehicular pedestrian access and public waterline easement
- ⑪ 15' Non-vehicular pedestrian access easement

SITE DATA

Zoning: SU-3
 Site Area: 6.0 acres
 Dwelling Units: 83 Units
 Gross Density: 14.0 DU/AC

PARKING REQUIREMENT

REQUIRED PARKING
 1 space per bath - not less than 2 per unit over
 1,000 SF in size - 81 units x 2 spaces per unit = 162 spaces
 1 space per bath - not less than 1.5 per unit under:
 1,000 SF in size - 2 units x 1.5 spaces per units = 3 spaces
 Total required = 168 spaces

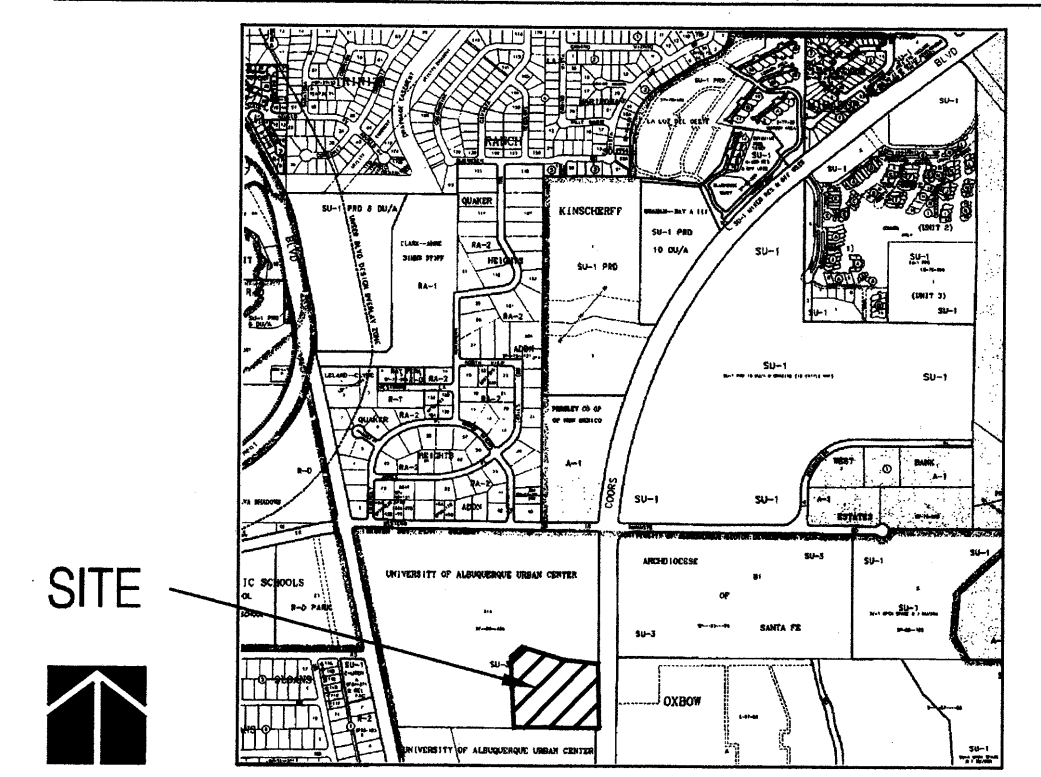
PROVIDED PARKING
 108 in front of garages
 108 in garages
 15 visitor
 231 total spaces provided

OPEN SPACE REQUIREMENT

Required
 83 units x 250 SF = 20,750 SF

Provided
 113,175 SF

SITE VICINITY Zone Map No. F-11



PROJ 1002384

NOTE:

- 1. Units may be positioned left hand or right hand for variety.
- 2. Unit locations may be slightly adjusted to optimize access and drainage requirements.

APPROVALS

PROJECT: #1002384
 DRB: #02DRB-01893
 EPC: #02EPC-01170

<i>Sheran Makon</i> Planning Director	1/23/03	Date
<i>Phil Davis</i> Transportation Development	1-15-03	Date
<i>Brady L. Bigler</i> City Engineer/AMAFCA	1-15-03	Date
<i>Ronald Green</i> Utility Development	1-15-03	Date
<i>Christina Sandover</i> Parks and Recreation Department	1/15/03	Date
<i>Michael Helton</i> Solid Waste Department	1-15-03	Date

will comply w/1000 spaces & have storage near fire coats

Site Plan for Building Permit

Rancho Encantado Condominiums

Prepared for:

D.R. Horton Homes
 4400 Alameda Boulevard NE, Suite B
 Albuquerque, NM 87113

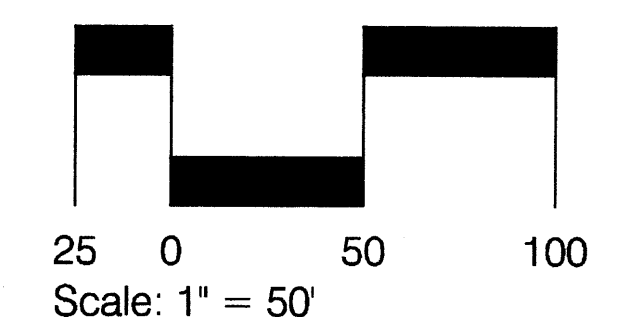
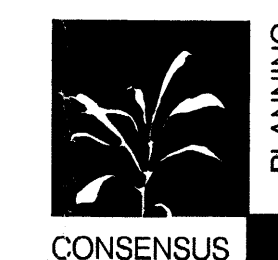
Prepared by:

Consensus Planning, Inc.
 924 Park Avenue SW
 Albuquerque, NM 87102

Bohannon Huston, Inc.
 7500 Jefferson NE
 Courtyard 1
 Albuquerque, NM 87109

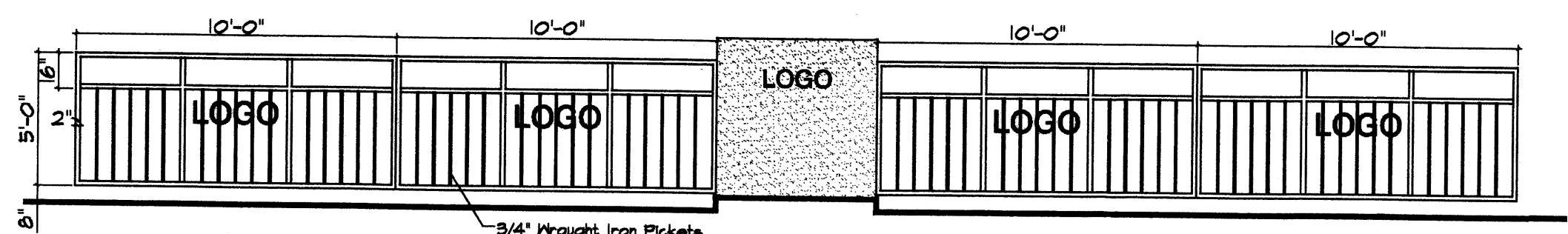
SHEET INDEX

- S1 Site Plan
- L1 Landscape Plan
- C1 Grading and Drainage Plan
- C2 Utility Plan
- EL1 Building Elevations
- EL2 Building Elevations
- DG1 Design Guidelines



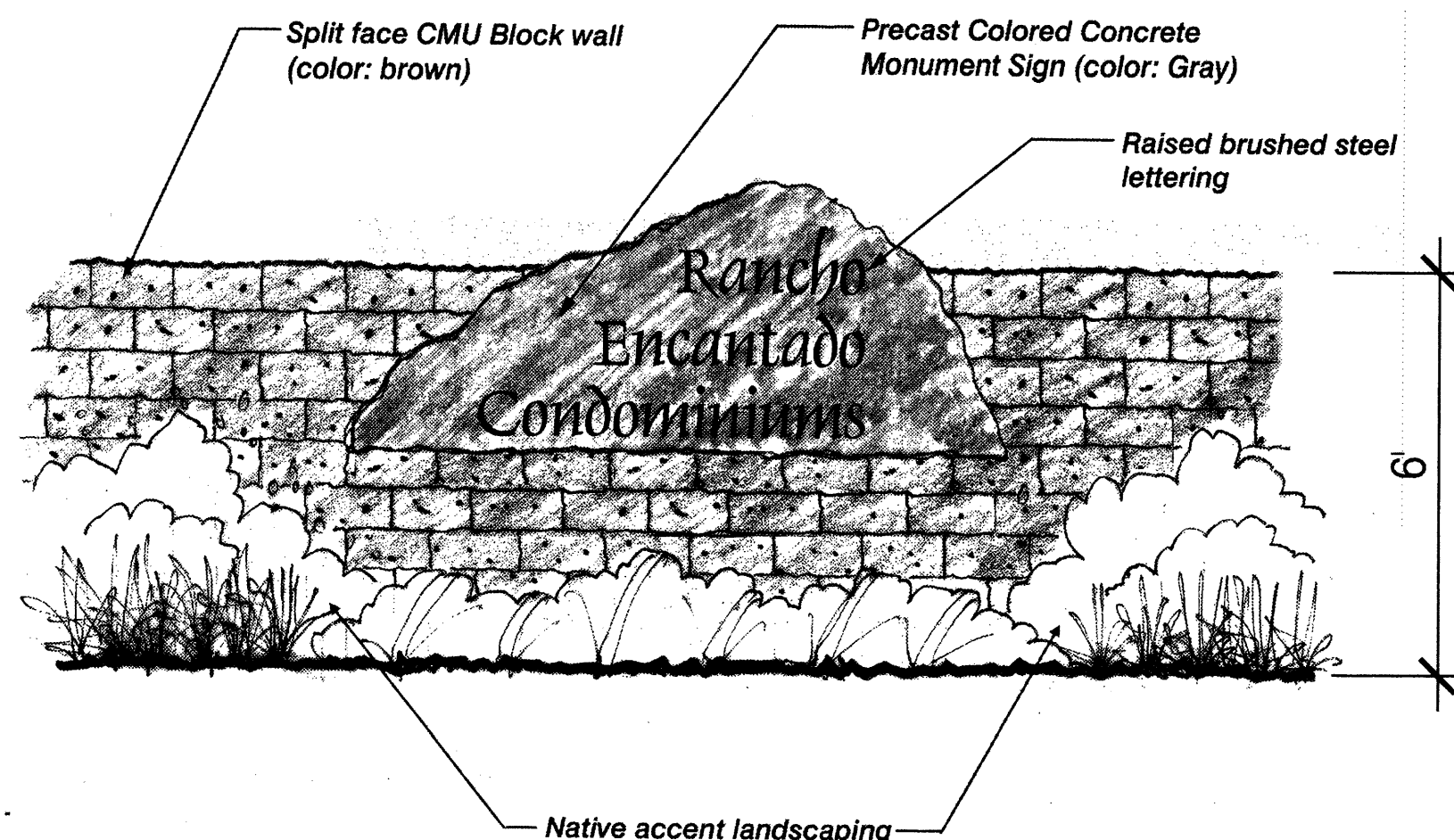
SHEET S1

December 13, 2002



Entry Gate

Scale: 3/16" = 1'-0"



Entry Sign

N.T.S.

LANDSCAPING/OPEN SPACE REQUIREMENT

REQUIRED LANDSCAPING
 261,360 SF - 60,060 SF (buildings) = 201,300 SF
 15% OF 201,300 SF = 30,195 SF

PROVIDED LANDSCAPING
 113,175 SF

OPEN AREA
 Roadway Paving = 25,150 SF
 Driveways = 50,400 SF
 Landscape Area = 113,175 SF

Open Space exceeds the requirements of the RD zone.

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME
SHADE TREE 2" CAL			
[Symbol]	96	FRAXINUS	ASH
		GLEDITSIA	HONEY LOCUST
ORNAMENTAL TREE 15 GAL			
[Symbol]	88	CRATAEGUS	HAWTHORN
		CHILOPSIS	DESERT WILLOW
		FORESTIERA	N.M. OLIVE
EVERGREEN TREE 5'-6' HT			
[Symbol]	31	PINUS NIGRA	AUSTRIAN PINE
		PINUS EDULIS	PINON PINE
LARGE SHRUB 1-5 GAL			
[Symbol]	206	ELAEAGNUS	SILVERBERRY
		BUDDLEIA	BUTTERFLY BUSH
		CHRYSOTHAMNUS	CHAMISA
		MAIDEN GRASS	BUTTERFLY BUSH
MEDIUM SHRUB 1-5 GAL			
[Symbol]	1166	PEROVSKIA	RUSSIAN SAGE
		ROSMARINUS	ROSEMARY
		RAPHIOLEPIS	INDIA HAWTHORN
		PRUNUS BESSEYI	SAND CHERRY
SMALL SHRUB 1-5 GAL			
[Symbol]	699	LAVANDULA	LAVENDER
		SALVIA GREGGII	CHERRY SAGE
		HELICTOTRICHON	BLUE AVENA GRASS
		PINUS MUGO	MUGHO PINE
		ROSMARINUS	CREeping ROSEMARY
		JUNIPERUS	BUFFALO JUNIPER

SITE DATA

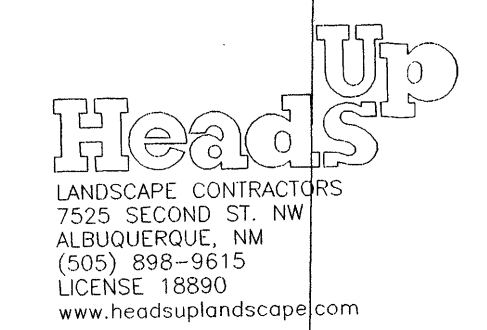
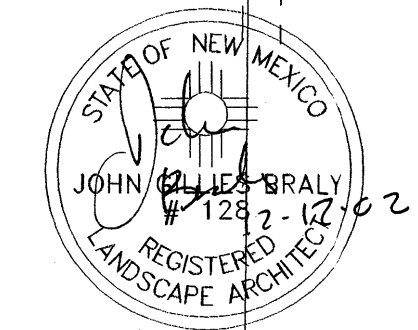
HIGH WATER USE TURF
 MAX. 20% OF LANDSCAPE AREA 22,635 SF
 PROPOSED HIGH WATER USE TURF 1,150 SF
 PERCENT OF LANDSCAPE AREA 1%

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE
 LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
 HIGH WATER USE TURF

NOTE

- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNERSHIP ASSOCIATION AFTER CONVEYANCE BY THE DEVELOPER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
- LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

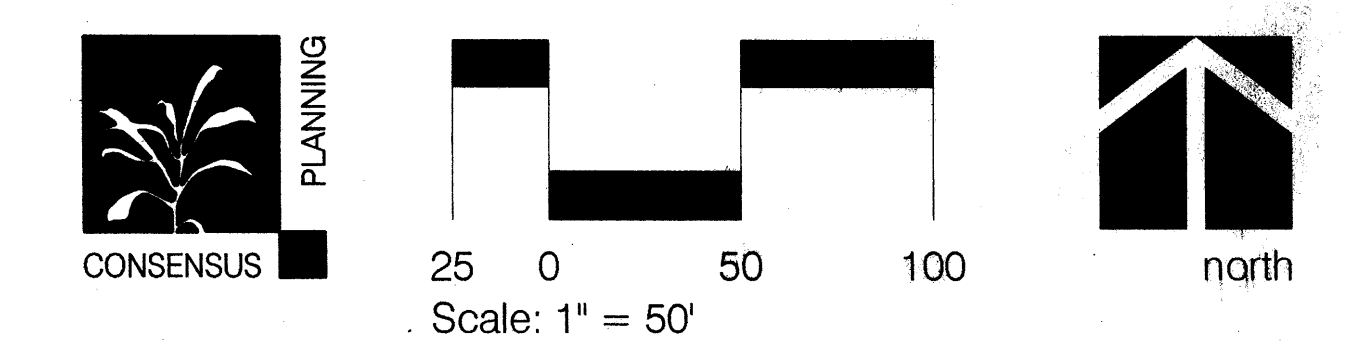


Landscape Plan for Building Permit
 Rancho Encantado
 Condominiums

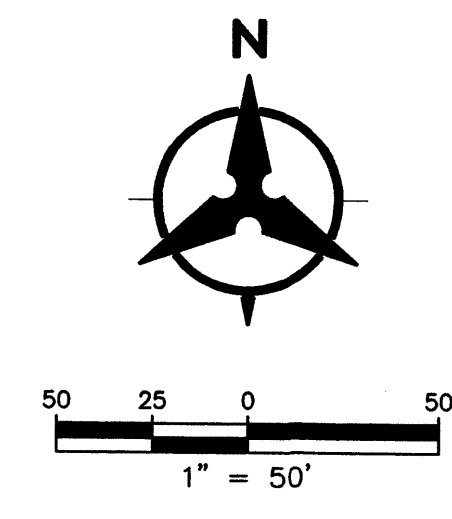
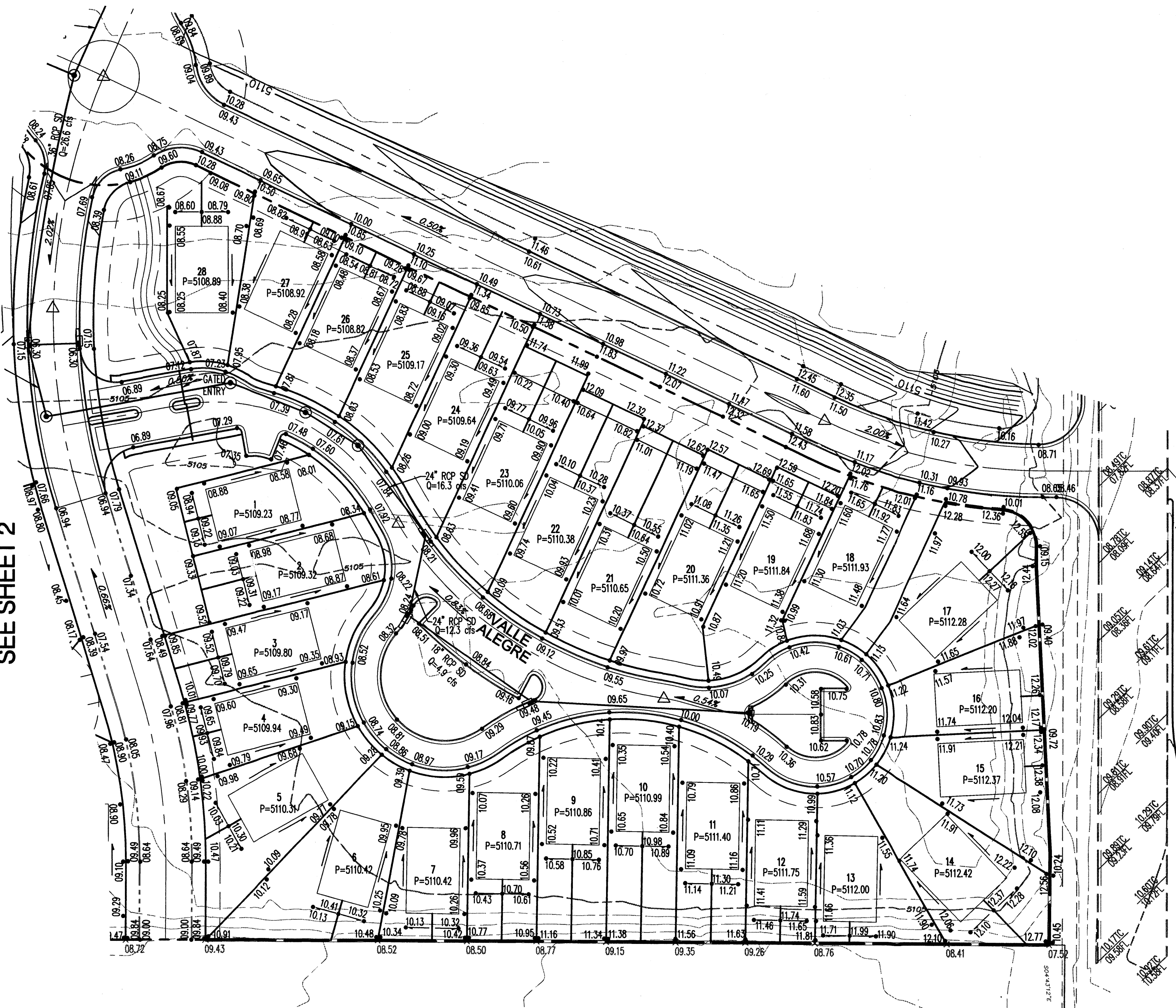
Prepared for:
 D.R. Horton Homes
 4400 Alameda Boulevard NE, Suite B
 Albuquerque, NM 87113

Prepared by:
 Consensus Planning, Inc.
 924 Park Avenue SW
 Albuquerque, NM 87102

Bohannon Huston, Inc.
 7500 Jefferson NE
 Courtyard 1
 Albuquerque, NM 87109



RANCHO ENCANTADO DEL SUR
SEE SHEET 2



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT. PREPARED BY VINYARD AND ASSOCIATES, INC. DATED APRIL 5, 2002.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 4, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

LEGEND

- (91.62) FUTURE SPOT ELEVATION
- 91.62 PROPOSED SPOT ELEVATION
- × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
- EXISTING CURB & GUTTER
- ==== PROPOSED MOUNTABLE CURB & GUTTER
- ===== PROPOSED STANDARD CURB & GUTTER
- 5.470--- EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- ⊙ PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ALBUQUERQUE CONTROL SURVEY MONUMENT "JOSEPH"	DATE	NO.	BY		REMARKS REVISIONS DESIGN
WORKED BY	DATE	NEW MEXICO STATE PLANE COORDINATE SYSTEM,	DATE	DATE	DATE		
SUPERVISOR	DATE	CENTRAL ZONE (NAD27) COORDINATES	DATE	DATE	DATE	By	By
ADJUSTMENT BY	DATE	Y = 1,502,246.75	DATE	DATE	DATE	No.	No.
ADJUSTMENT BY	DATE	X = 366,686.82	DATE	DATE	DATE	DESIGNED BY	DESIGNED BY
ADJUSTMENT BY	DATE	Z = 5113.562	DATE	DATE	DATE	DRAWN BY	DRAWN BY
ADJUSTMENT BY	DATE	DELTA ALPHA = -00.1574"	DATE	DATE	DATE	CHECKED BY	CHECKED BY
ADJUSTMENT BY	DATE	COMBINED GROUND TO GRID FACTOR = 0.99967551	DATE	DATE	DATE		

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

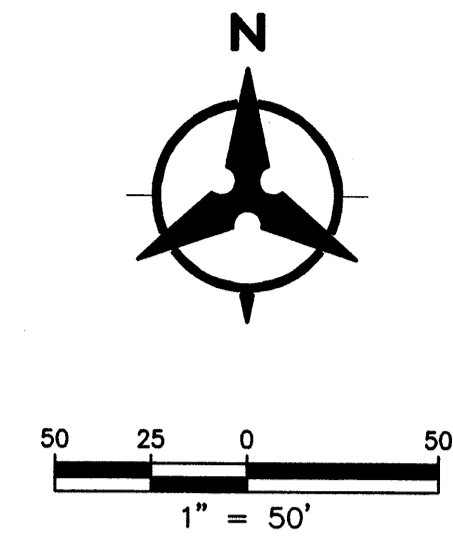
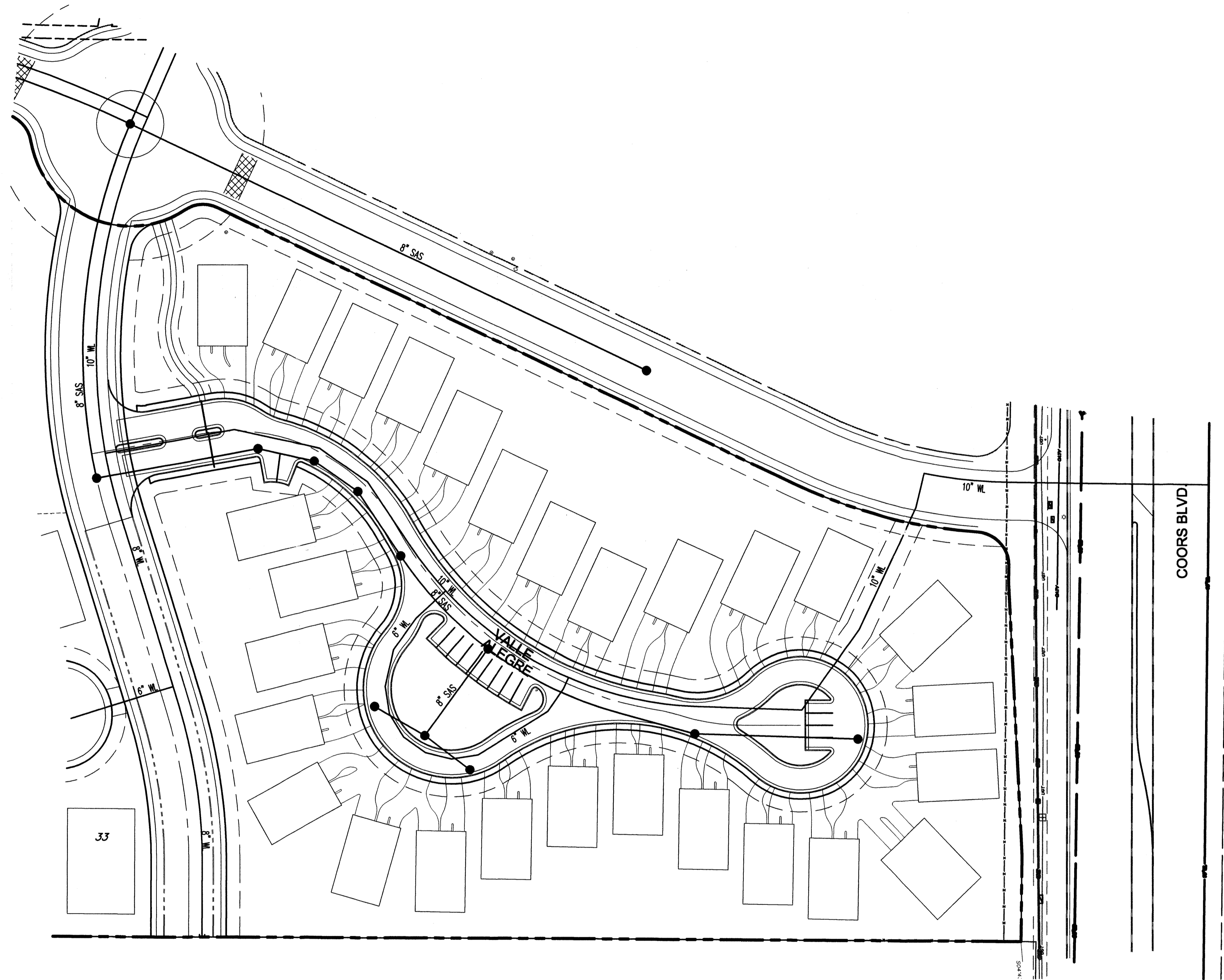
**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

**RANCHO ENCANTADO
CONDOMINIUMS
GRADING AND EROSION CONTROL PLAN**

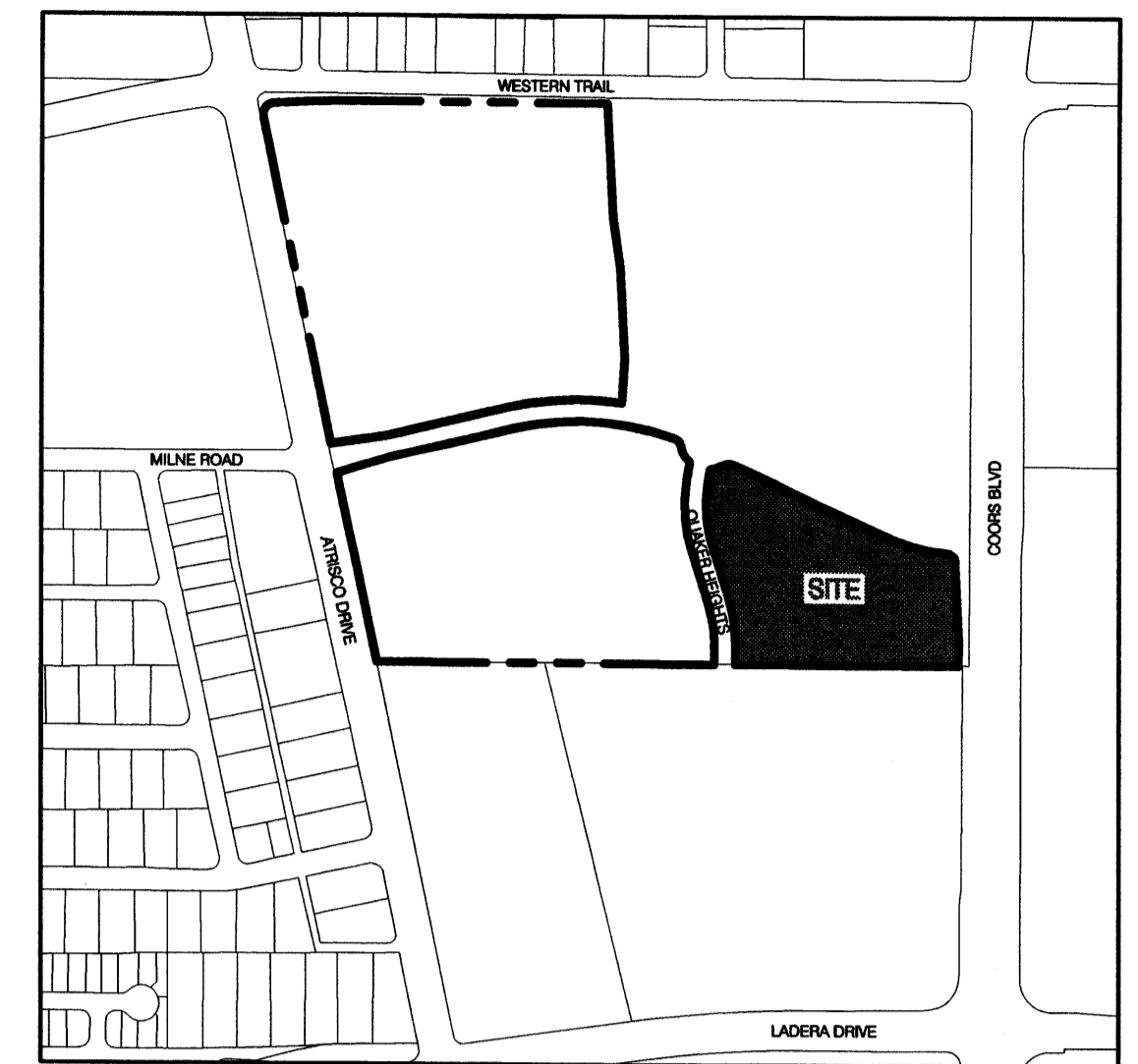
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. _____ Zone Map No. _____ Sheet _____ Of _____

ROUGH GRADING (±0.5')
 APPROVED FOR ROUGH GRADING DATE _____



VICINITY MAP



COA Zone Atlas F-11-Z

CONCEPTUAL WATER AND SANITARY SEWER PLAN

WATER
 THE SITE IS WELL SERVED BY THE EXISTING CITY-WATER SYSTEM. WATERLINES WILL BE EXTENDED ON SITE TO PROVIDE DOMESTIC AND FIRE SUPPLY.

SANITARY SEWER
 THE SYSTEM IS STANDING A GRAVITY FEED SAS PREDOMINATELY SLOPING FROM EAST TO WEST. THE SAS OUTFALLS TO AN EXISTING LINE LOCATED IN ATRISCO BLVD AT MILNE.

Project #:

RANCHO ENCANTADO CONDOMINIUMS

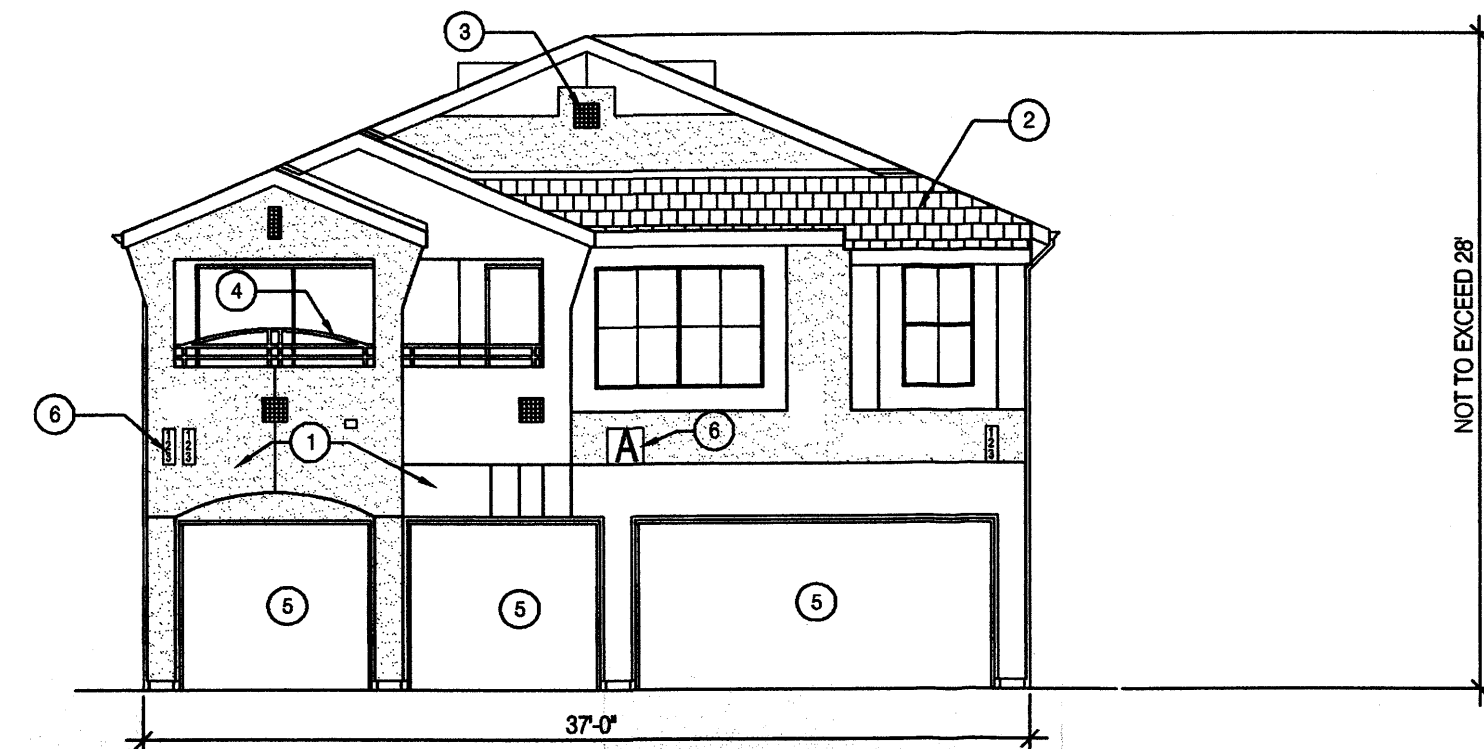
CONCEPTUAL UTILITY PLAN

Prepared for:
 D.R. HORTON
 4400 ALEMEDA N.E. SUITE B
 Albuquerque, NM 87113

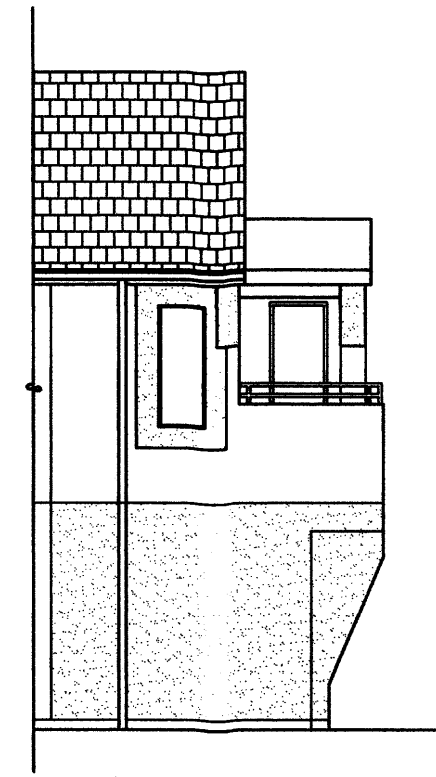
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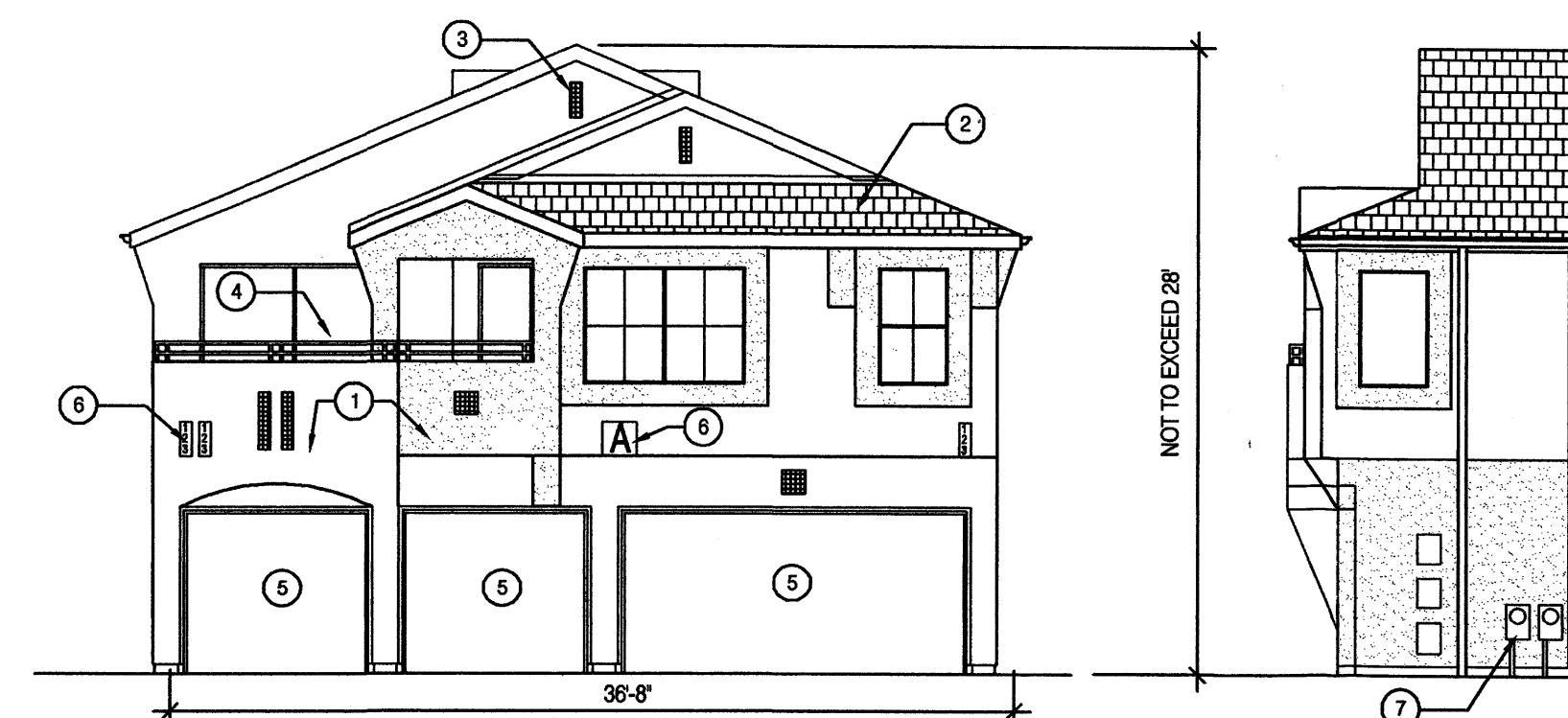
Bohannon ▲ Huston
 Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335
 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES



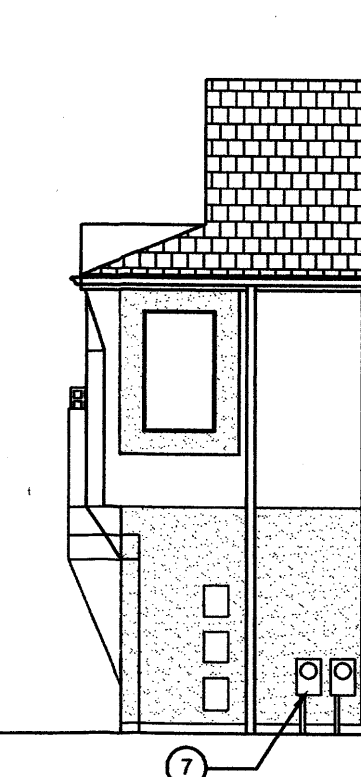
'A' Front Elevation
1/8"=1'-0"



Balance of left side elevation is similar to the left side elevation of building A



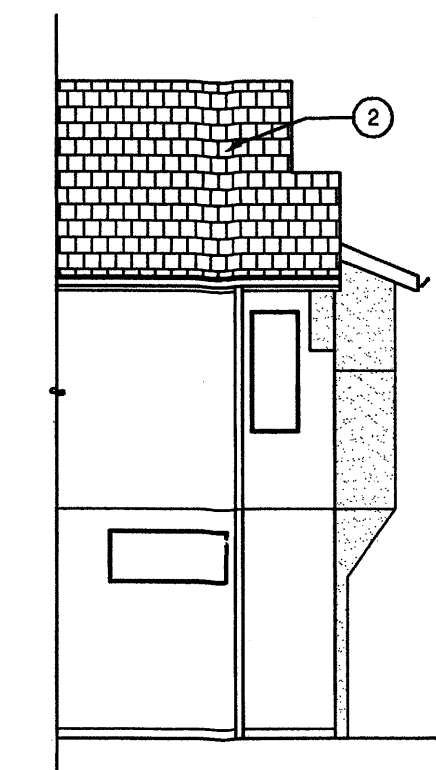
'B' Front Elevation
1/8"=1'-0"



Balance of right side elevation is similar to the right side elevation of building A



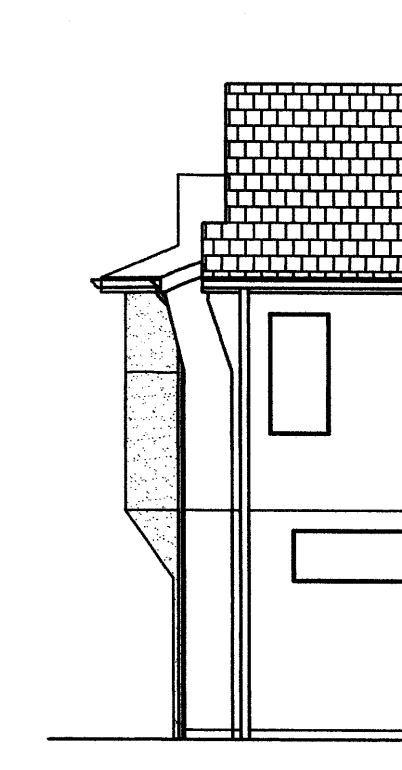
'A' Rear Elevation
1/8"=1'-0"



Balance of left side elevation is similar to the left side elevation of building A



'B' Rear Elevation
1/8"=1'-0"

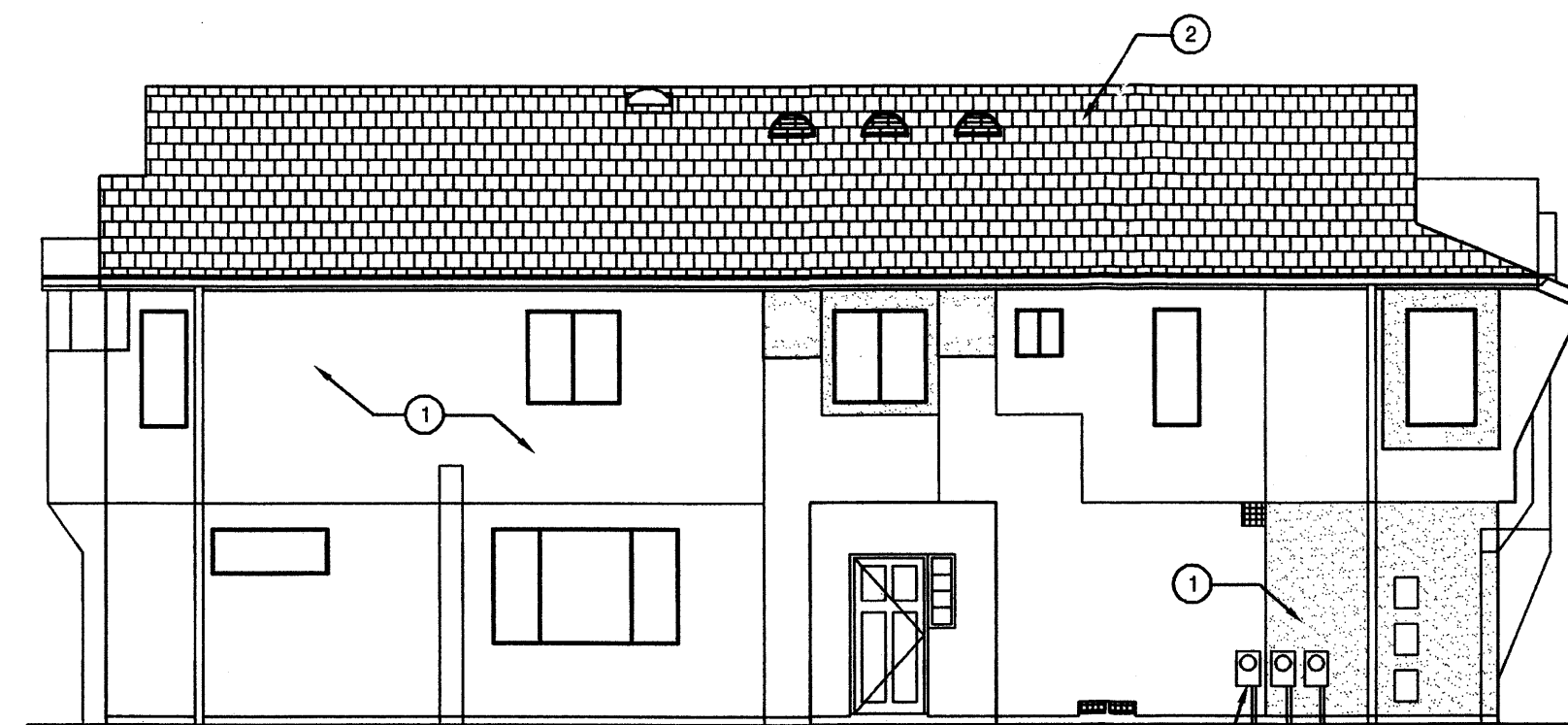


Balance of right side elevation is similar to the right side elevation of building A

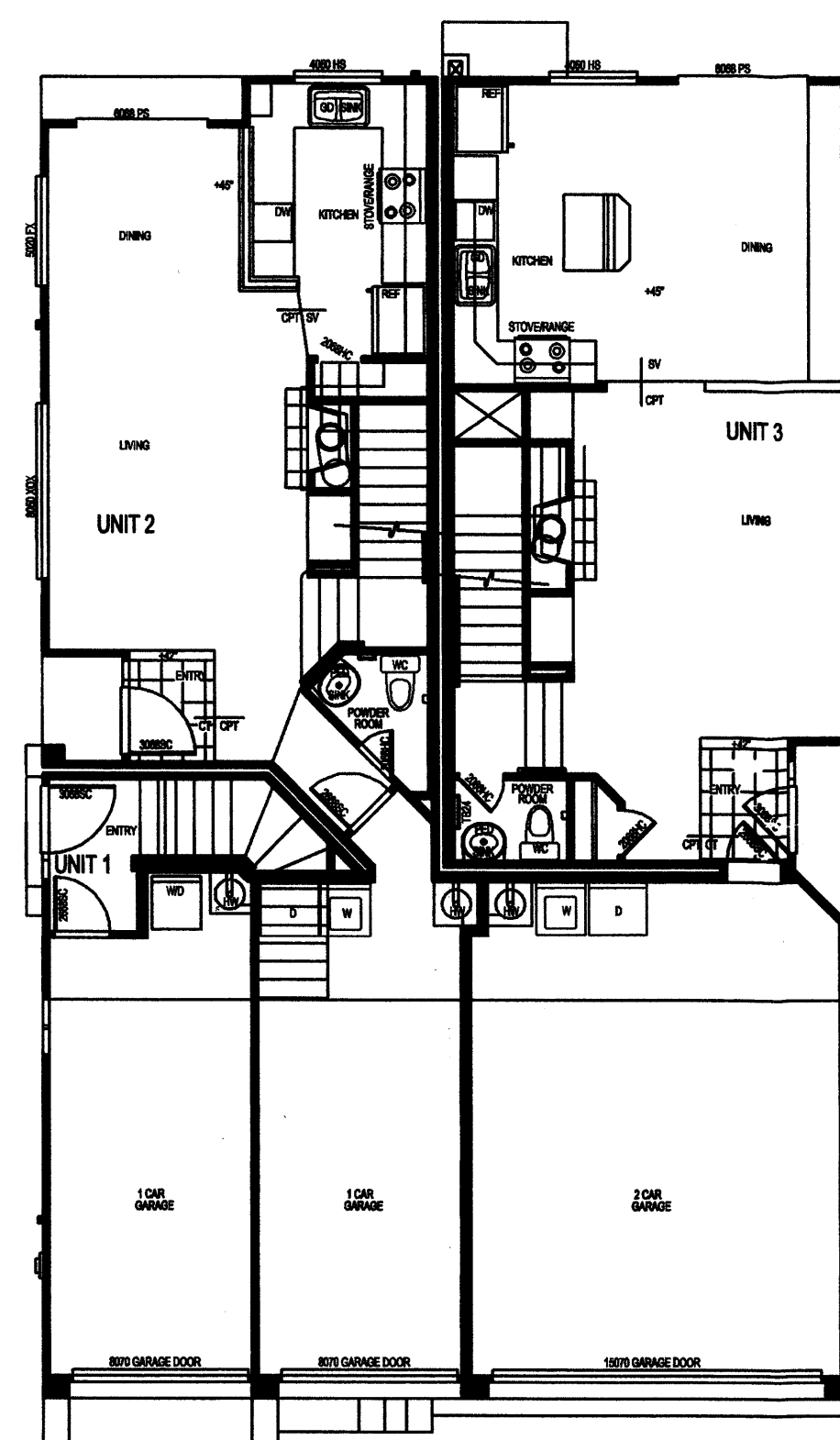
○ KEYED NOTES

- 1 Stucco finish - color per design guidelines.
- 2 Roof system - per design guidelines.
- 3 Accent tile elements.
- 4 Wrought iron railing - color per design guidelines.
- 5 Raised panel garage door - color per design guidelines.
- 6 Tile address/unit numbers.
- 7 Mechanical equipment.

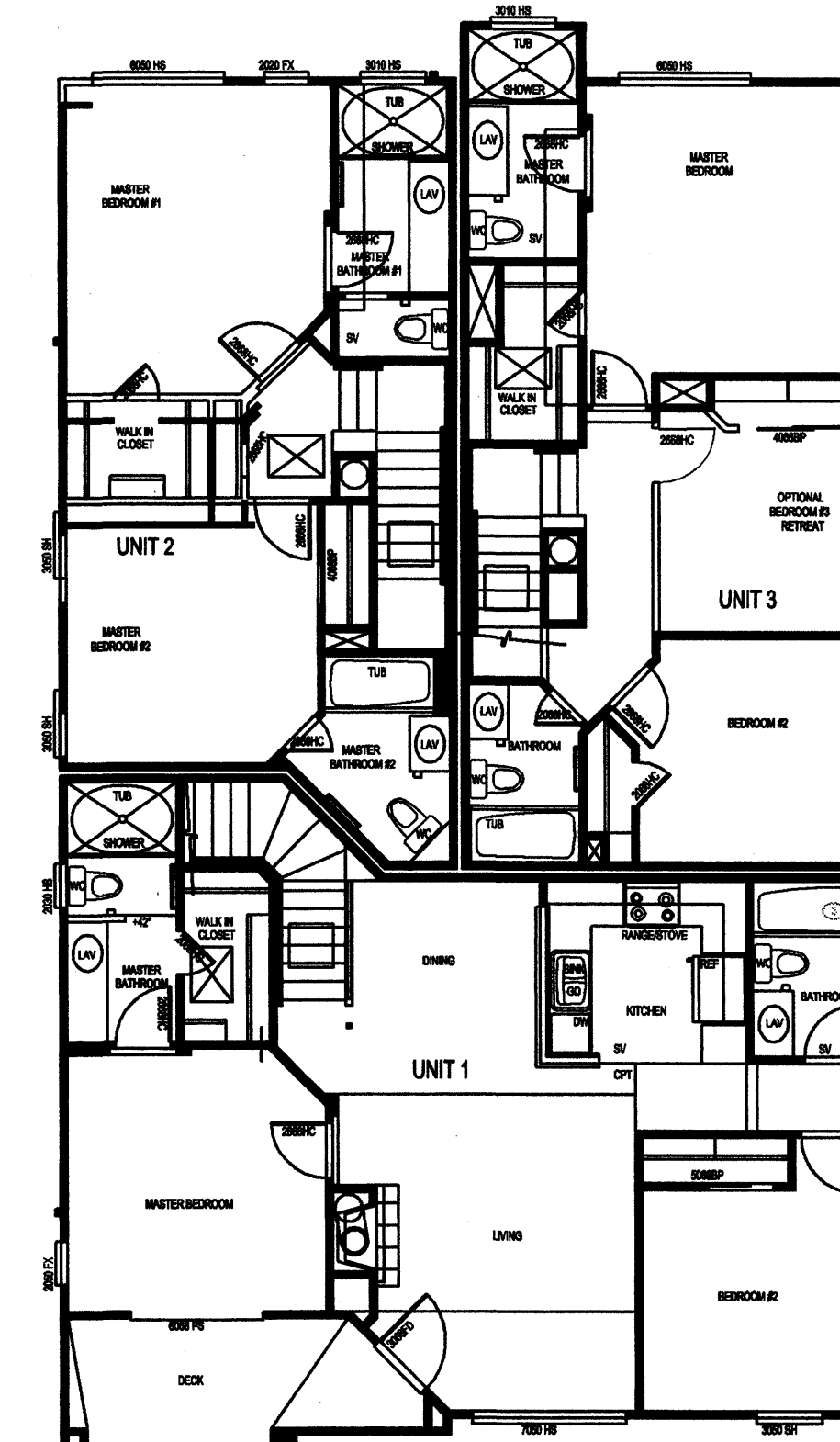
Note: These drawings are examples of types of residential units that may occur under the design guidelines. They represent typical units at Rancho Encantado Condominiums. Minor modifications to these elevations may occur provided that they are consistent with the character established and the design guidelines.



'A' Left Side Elevation
1/8"=1'-0"



First Floor Plan
1/8" = 1'-0"



Second Floor Plan
1/8" = 1'-0"

Building Elevations

Rancho Encantado Condominiums

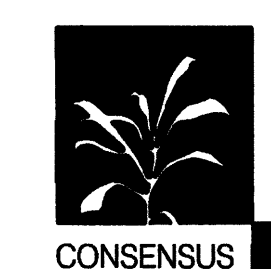
Prepared for:

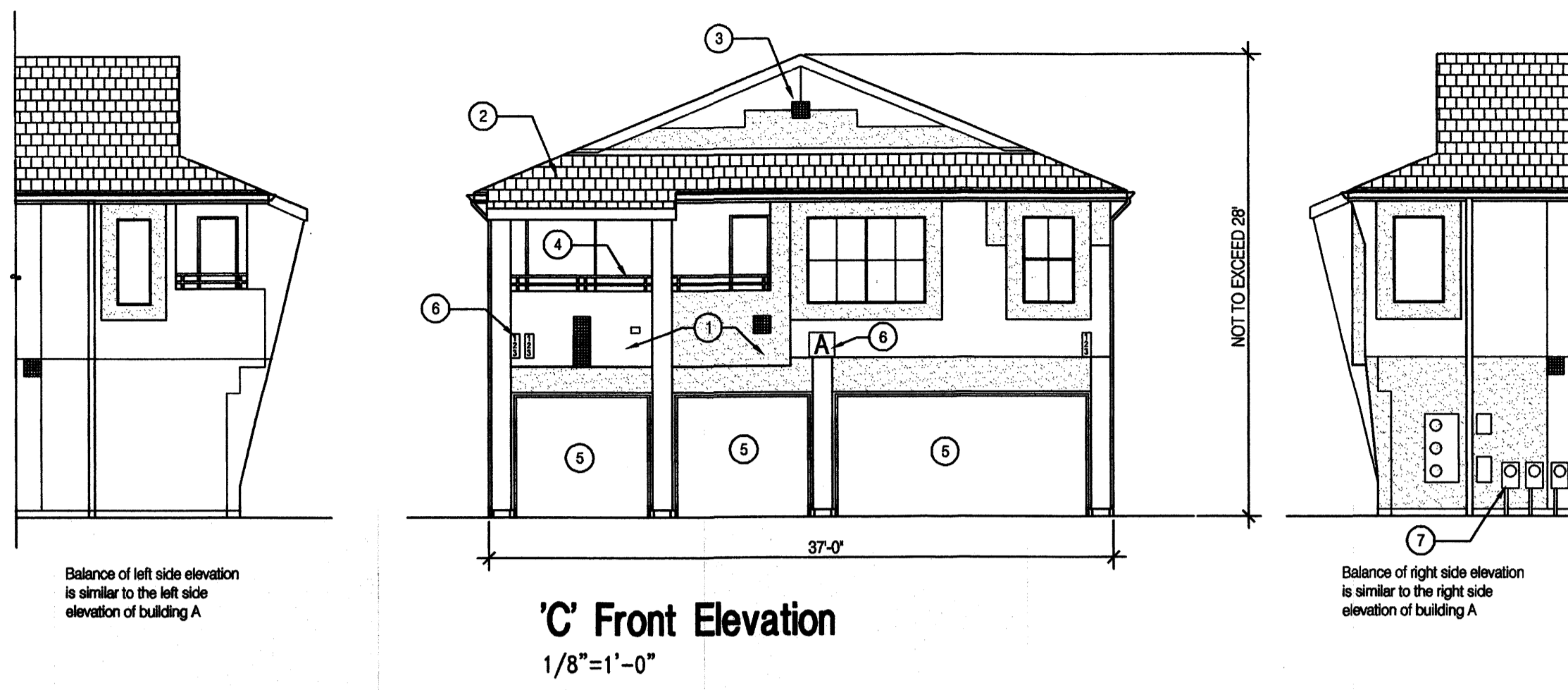
D.R. Horton Homes
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Albuquerque, NM 87113

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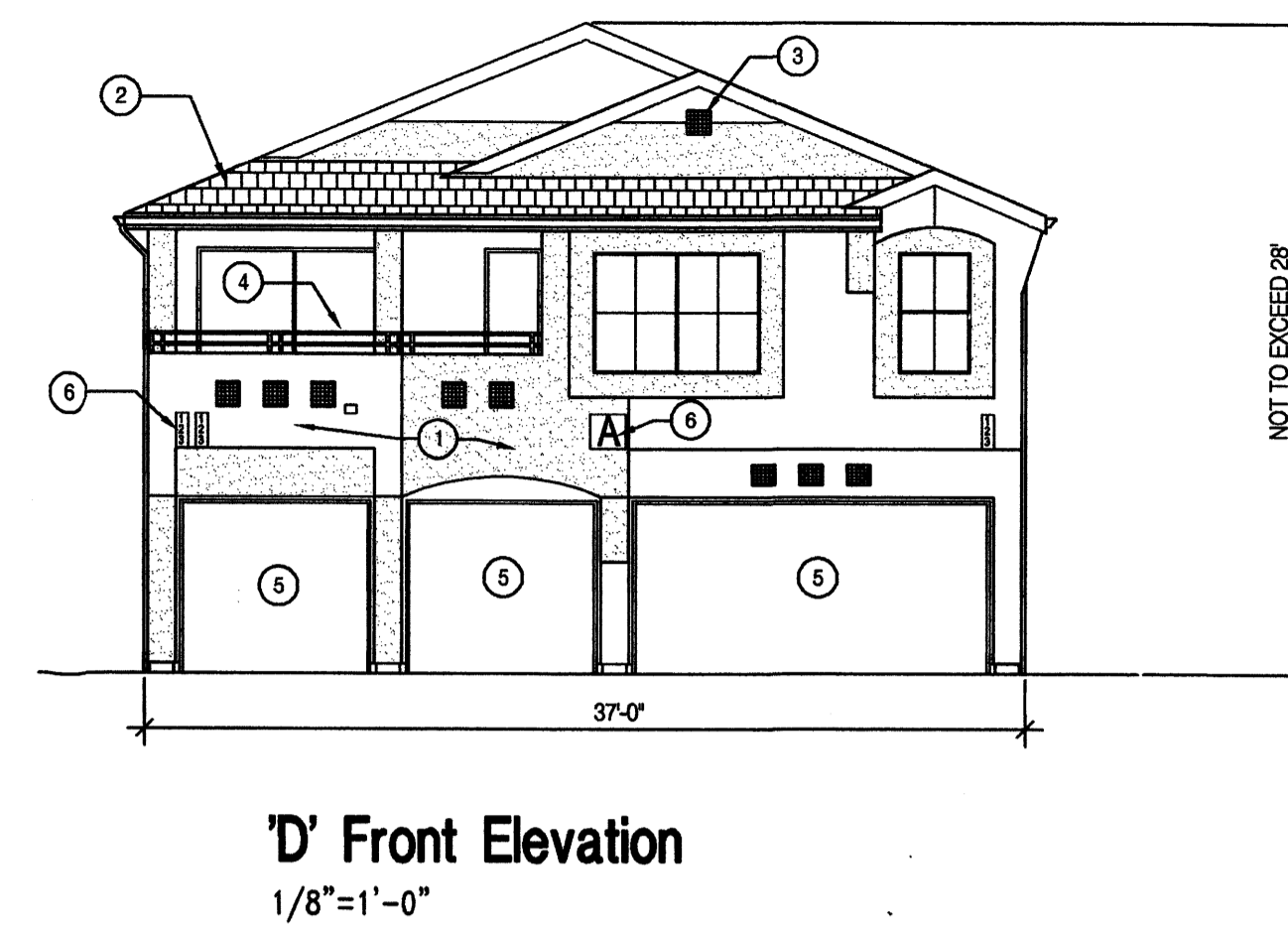
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7500 Jefferson NE
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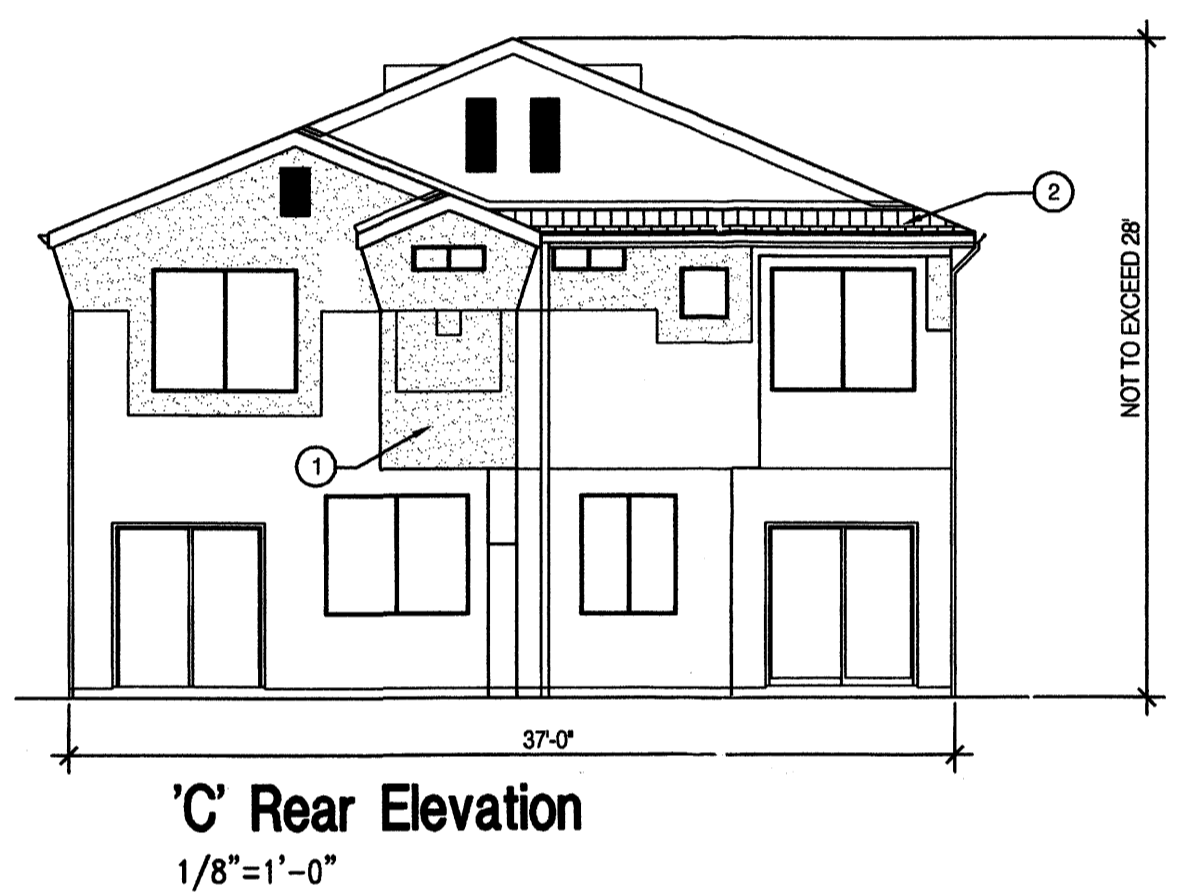
'C' Front Elevation
1/8"=1'-0"



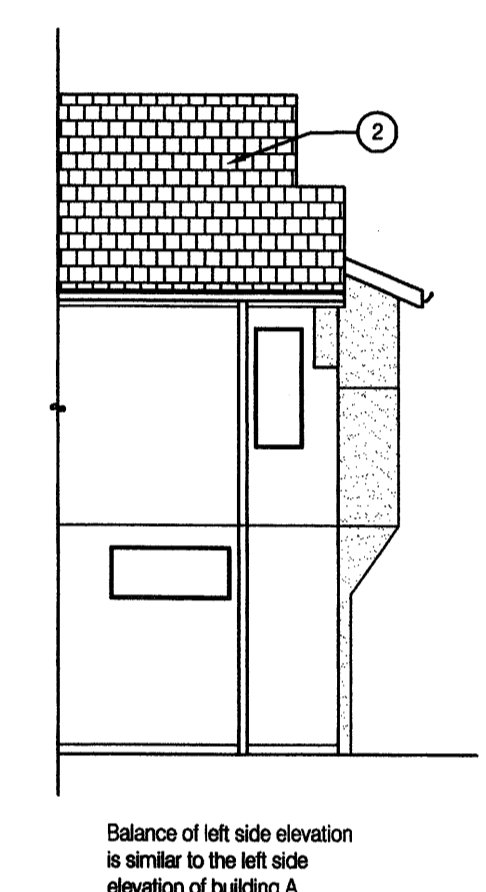
'D' Front Elevation
1/8"=1'-0"

- KEYED NOTES
- 1 Stucco finish - color per design guidelines.
 - 2 Roof system - per design guidelines.
 - 3 Accent tile elements.
 - 4 Wrought iron railing - color per design guidelines.
 - 5 Raised panel garage door - color per design guidelines.
 - 6 Tile address/unit numbers.
 - 7 Mechanical equipment.

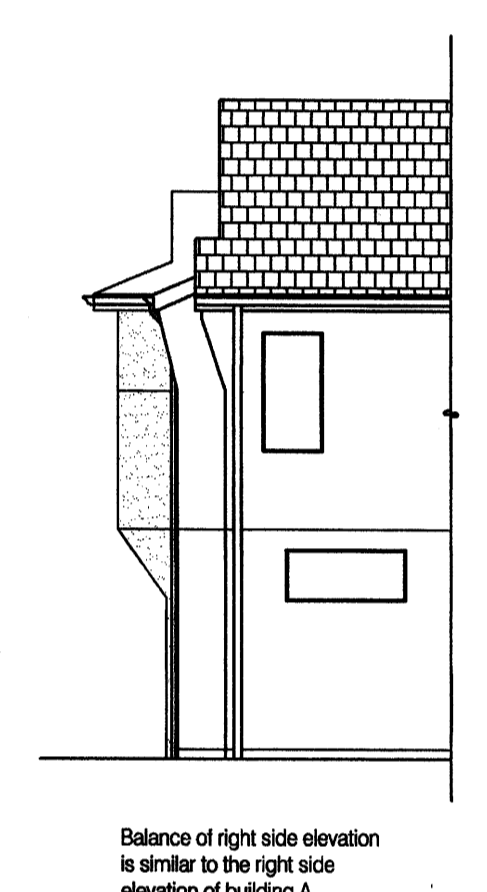
Note: These drawings are examples of types of residential units that may occur under the design guidelines. They represent typical units at Rancho Encantado Condominiums. Minor modifications to these elevations may occur provided that they are consistent with the character established and the design guidelines.



'C' Rear Elevation
1/8"=1'-0"



'D' Rear Elevation
1/8"=1'-0"



Building Elevations

Rancho Encantado Condominiums

Prepared for:
D.R. Horton Homes
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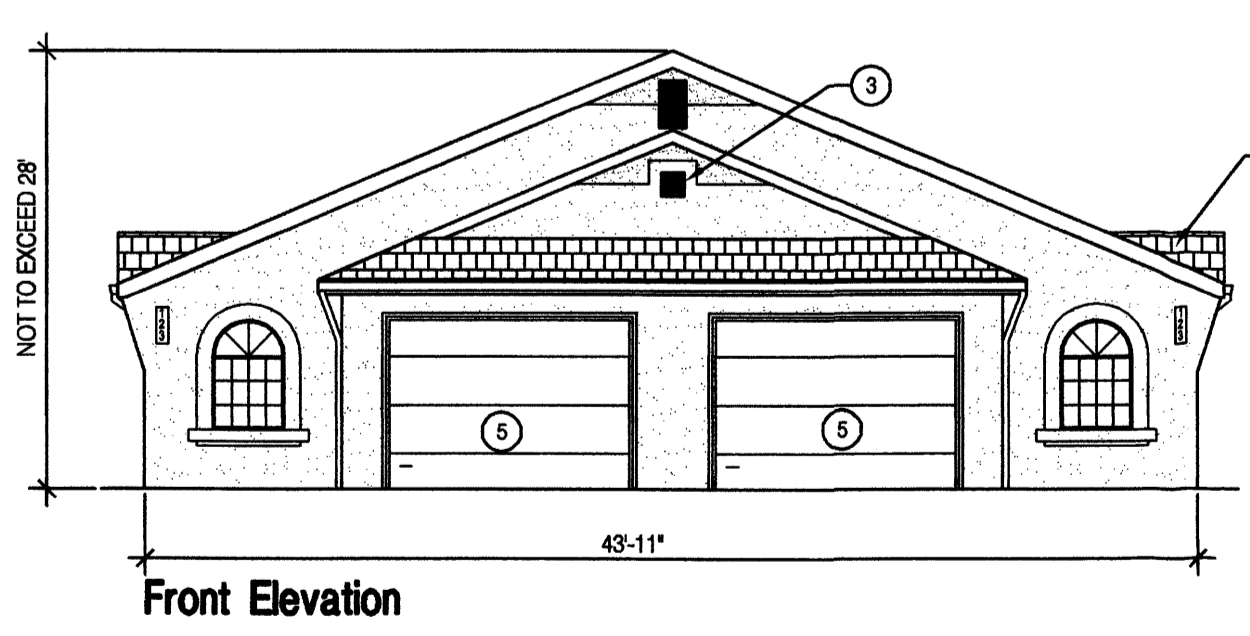
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Albuquerque, NM 87102

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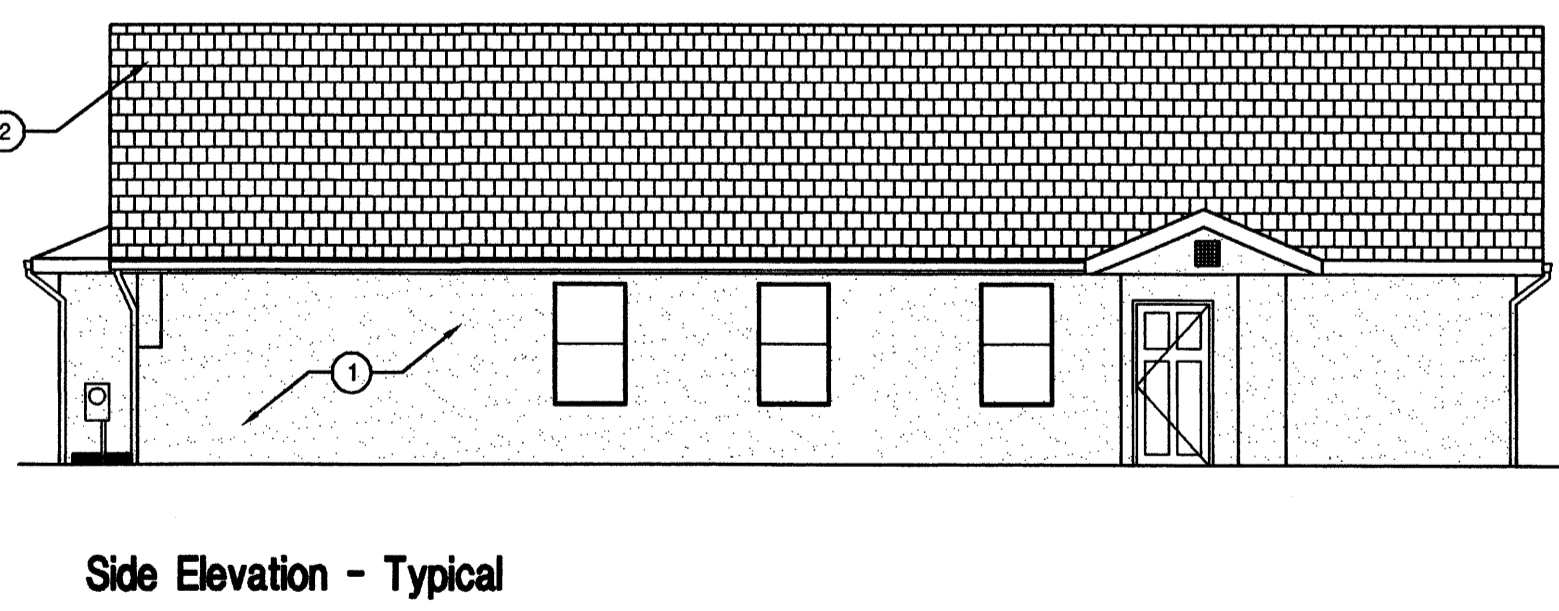


CONSENSUS

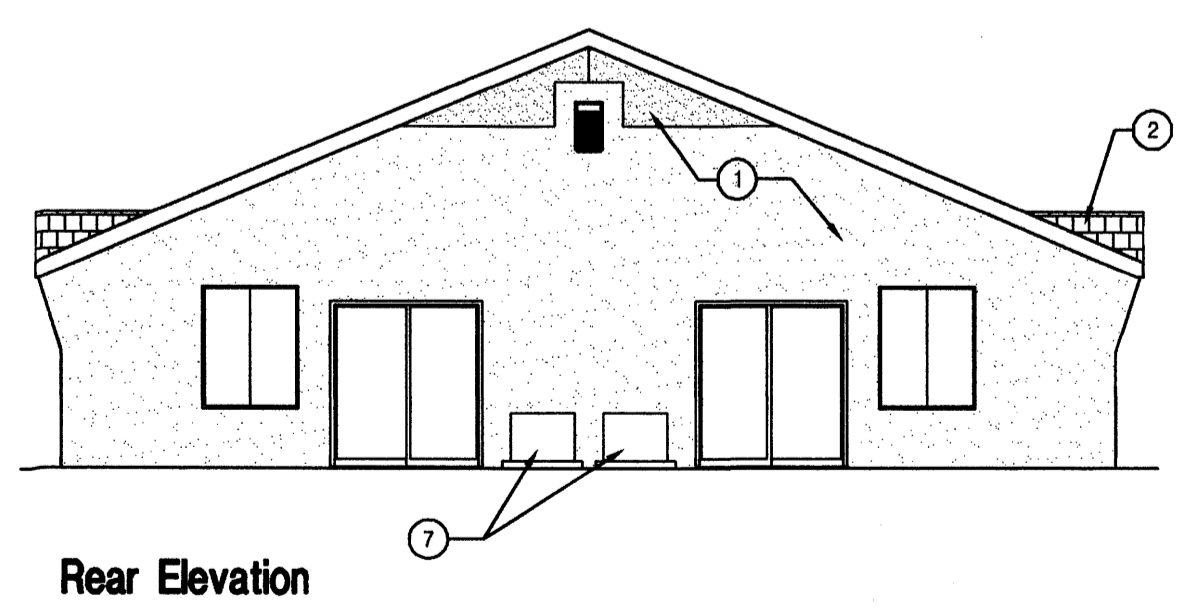
4 0 8 16



Front Elevation



Side Elevation - Typical



Rear Elevation

Elevations - Handicap Unit
1/8"=1'-0"

DESIGN GUIDELINES FOR RANCHO ENCANTADO CONDOMINIUMS

The following are guidelines for condominiums to be built in the Rancho Encantado Condominiums ("Rancho Encantado Guidelines"). All condominiums within Rancho Encantado Condominiums shall be constructed in compliance with the Guidelines as described below.

A. Architectural Style

The typical building elevations and notes included in this submittal are intended to illustrate the general characteristics of the condominiums to be constructed within the project. While all of the buildings will reflect these characteristics, final building plans and elevations may be modified slightly to incorporate final design requirements. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the unit contains some of the characteristics and adheres to the Guidelines. The use of various architectural detail and materials shall be consistent when used on various elevations.

B. Roof Materials and Colors

These roof materials are appropriate for homes in Rancho Encantado Condominiums:

1. Asphalt Shingles.
2. Clay or Concrete tile, mission barrel or S shapes in solid or modeled colors.

Approved colors for roofs include yellow ochres, browns, earth tones, and dull reds. Very light and very dark colors should be avoided.

C. Columns

The following are appropriate column forms:

1. Square stucco.
2. Round stucco.
3. Square wood.
4. Square wood, tapered.
5. Round peeled bark wood.
6. Round classical with smooth shafts in Doric or simple contemporary order.

The following shall not be allowed:

1. Corinthian.
2. Ionic.
3. Tuscan.
4. Egyptian.

D. Garages

1. Each unit must have a garage for not less than one car and have a driveway sufficient to park one vehicle, so that a minimum of two parking spaces are provided.
3. Individual garage doors shall be a maximum, in the aggregate, width of two cars. Additional garage doors shall be offset in massing by a minimum of 1 foot.
4. Total width of all garage doors shall in no event exceed 34 feet.
5. Garage doors shall have a maximum height of 8 feet.

E. Setbacks

1. Front yard setback
 - a. No unit shall be constructed within fifteen feet (15') from the interior street.
 - b. The garage shall be constructed to ensure that a twenty-foot (20') minimum parking area exists in front of the garage.
2. Side yard setback - no unit shall be constructed within ten feet (10') from an adjacent house.
3. Rear yard setback - no unit shall be constructed within fifteen feet (15') from the perimeter R.O.W. line.

F. Minimum Square Footage

Each home must have at least 800 square feet of fully enclosed heated area, exclusive of garages and open porches and patios.

G. Building Materials

1. Stucco - shall be the primary building material and shall account for a minimum of 80% of the exterior construction.
2. Stone - may be used as an accent feature and shall not comprise more than 20% of the exterior construction.
3. Brick - may be used as an accent feature and shall not comprise more than 20% of the exterior construction.

H. Pre-Approved Building Colors

1. Primary - exterior stucco colors shall be earth tones, shades of yellow, ochres, browns, dull reds, and grey greens reflecting those colors found on the mesa and escarpment.
2. Accent - a variety of colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features. Colors allowed are typical southwestern colors of earth tones, white, green, red, blue, and brown ranges.

I. Building Height and Floor Area Ratio

1. Houses or improvements on any lot shall not exceed nineteen feet (19') for single-story homes. The Maximum height for two-story homes shall not exceed twenty-six feet (26'). The height is measured from the engineered pad elevation to the highest point of the parapet or to the highest point on the roof, exclusive of the chimney.
2. Floor Area Ratio is the ratio of the heated floor area of the structures to the lot. In order to ensure that houses are in appropriate proportion to their lot, a Floor Area Ratio of .75 shall not be exceeded.

J. Landscaping

1. Landscaping must be compatible with the overall subdivision streetscape and must conform to and meet or exceed the minimum standards as outlined on the Landscape Plan.
2. Timing of Installation. All landscaping, and must be completed by the builder no later than two months after completion of construction of the unit, but in any event no later than the date of occupancy of the unit.

K. Site Lighting

Site lighting will be designed to be as unintrusive as possible while still providing safety to the residents.

1. Placement of fixtures and standards shall conform to State and local safety and illumination requirements.
2. Site lighting shall not have a total off-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
3. The mounting height of luminaries for site lighting shall be no higher than 12 feet.
4. Site lighting shall be shielded source with no light source (lamp) visible from the site perimeter.
5. Street lights shall be a maximum of 28 feet in height. The intent is to provide only those street lights required for safety purposes.
6. Street lights shall be fully shielded source.

The following lighting types may not be used:

1. Metal Halide
2. Quartz
3. Mercury Vapor
4. Laser light or similar high intensity light used for advertising or entertainment
5. Searchlights
6. Glass tubes filled with neon

L. Fireplaces

Fireplaces and/or stoves within the residence shall be limited to natural gas logs, Environmental Protection Agency (EPA) approved wood-burning fireplaces, and other EPA approved wood burning devices.

Q. Walls

All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.

1. Project Walls
 - a. The perimeter project wall will be no more than six feet (6') and no less than four feet (4') in height as measured from the outside of the wall. In areas where retaining walls are required, an additional two feet (2') of wall height shall be permitted. Wherever possible, retaining walls shall be stepped in order to minimize the visual impact. All perimeter walls shall be installed and paid for by the Developer and constructed of brown split-face or fluted CMU block.
2. Site walls
 - a. Each unit must have a rear wall and two sidewalls. All rear walls shall extend the entire length of the rear property line. All sidewalls shall extend from the rear of the lot to at least the rear of the dwelling for all lots.
 - b. Interior residential lot line walls shall be brown CMU and no more than six feet (6') in height without a retaining wall and no more than eight feet (8') in height with a retaining wall.
 - c. All walls that are located to define the back yards shall be party walls that may not be removed by either unit owner of the adjoining units. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan of the Rancho Encantado Condominiums.
 - d. No wall or fence may be erected that is closer to the street than the front of the unit, except for courtyard walls.
3. Courtyard walls
 - a. Courtyard walls are allowed within the front yard setback areas and shall be constructed of materials, finish, and color that are complementary to the unit.

R. Solid Waste

Each unit shall have a storage area for residential automated carts; not to be visible from the street.

S. Signage

Subdivision signage for this development will be consistent with Section 14-16-3-5 (C) of the Comprehensive City Zoning Code.

Design Guidelines

Rancho Encantado Condominiums

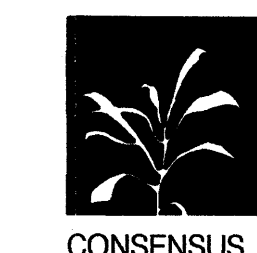
Prepared for:

D.R. Horton Homes
4400 Alameda Boulevard NE, Suite B
Albuquerque, NM 87113

Prepared by:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

Bohannon Huston, Inc.
7500 Jefferson NE
Courtyard 1
Albuquerque, NM 87109



SHEET DG1

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