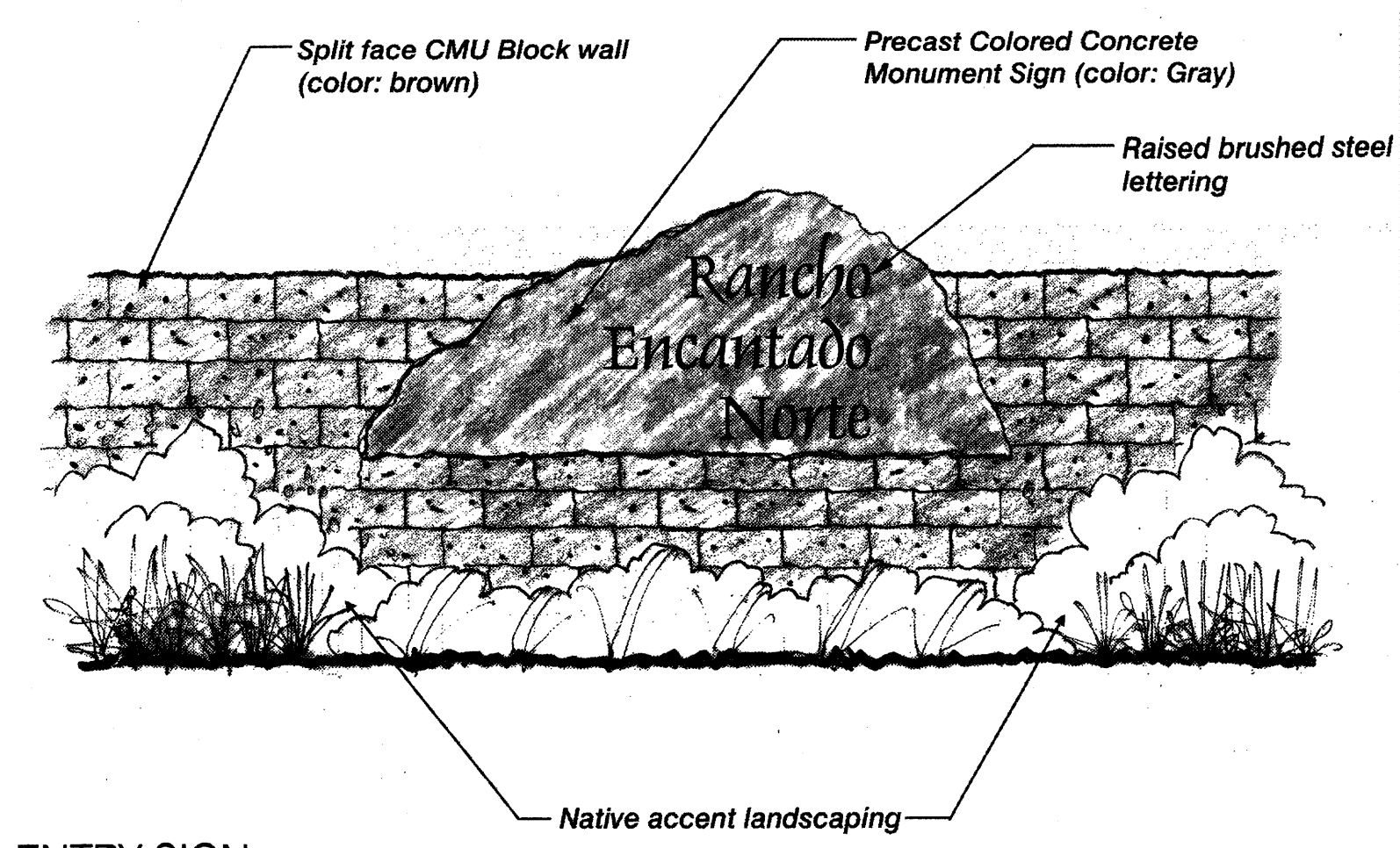


PROJECT 1002384



ENTRY SIGN

APPROVALS

PROJECT: #1002384
DRB: #02DRB-01896

<i>Sharon Mateon</i> Planning Director	1/24/03
<i>Michael Dool</i> Transportation Development	1-15-03
<i>Bruce J. Bijn</i> City Engineer/AMAFCA	1-15-03
<i>Ronald Green</i> Utility Development	1-15-03
<i>Christina Sandoval</i> Parks and Recreation Department	1/15/03
<i>Michael Holton</i> Solid Waste Department	1-15-03

will comply w/COA space & have storage area for carts

Site Plan for Building Permit

Rancho Encantado Norte

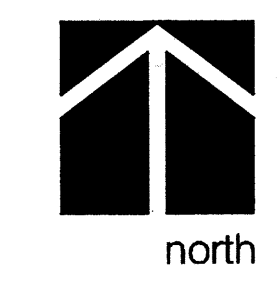
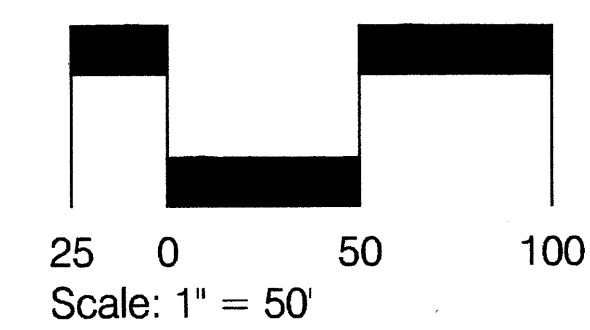
Prepared for:

D.R. Horton Homes
4400 Alameda Boulevard NE, Suite B
Albuquerque, NM 87113

Prepared by:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

Bohannon Huston, Inc.
7500 Jefferson NE
Courtyard 1
Albuquerque, NM 87109



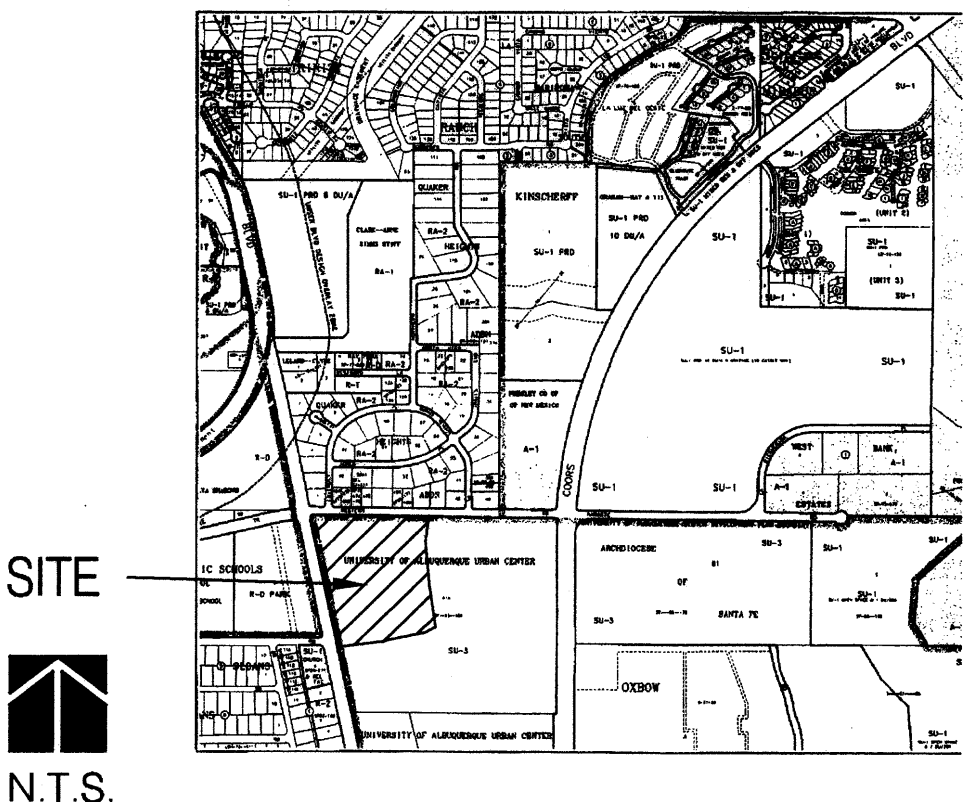
SHEET S1

December 13, 2002

KEYED NOTES

- ① 10' Trail
- ② 6' height perimeter wall - Brown split-face CMU block
- ③ Landscape areas - see Landscape Plans
- ④ Entry Sign
- ⑤ 4' sidewalk
- ⑥ 6' sidewalk
- ⑦ Pedestrian gate
- ⑧ 10' Public utility easement
- ⑨ Existing 50' Gas Co. of New Mexico ROW Easement
- ⑩ 15' Non-vehicular pedestrian access easement
- ⑪ 38' Non-vehicular pedestrian access easement
- ⑫ 50' Public SAS, storm drain and waterline easement

SITE VICINITY

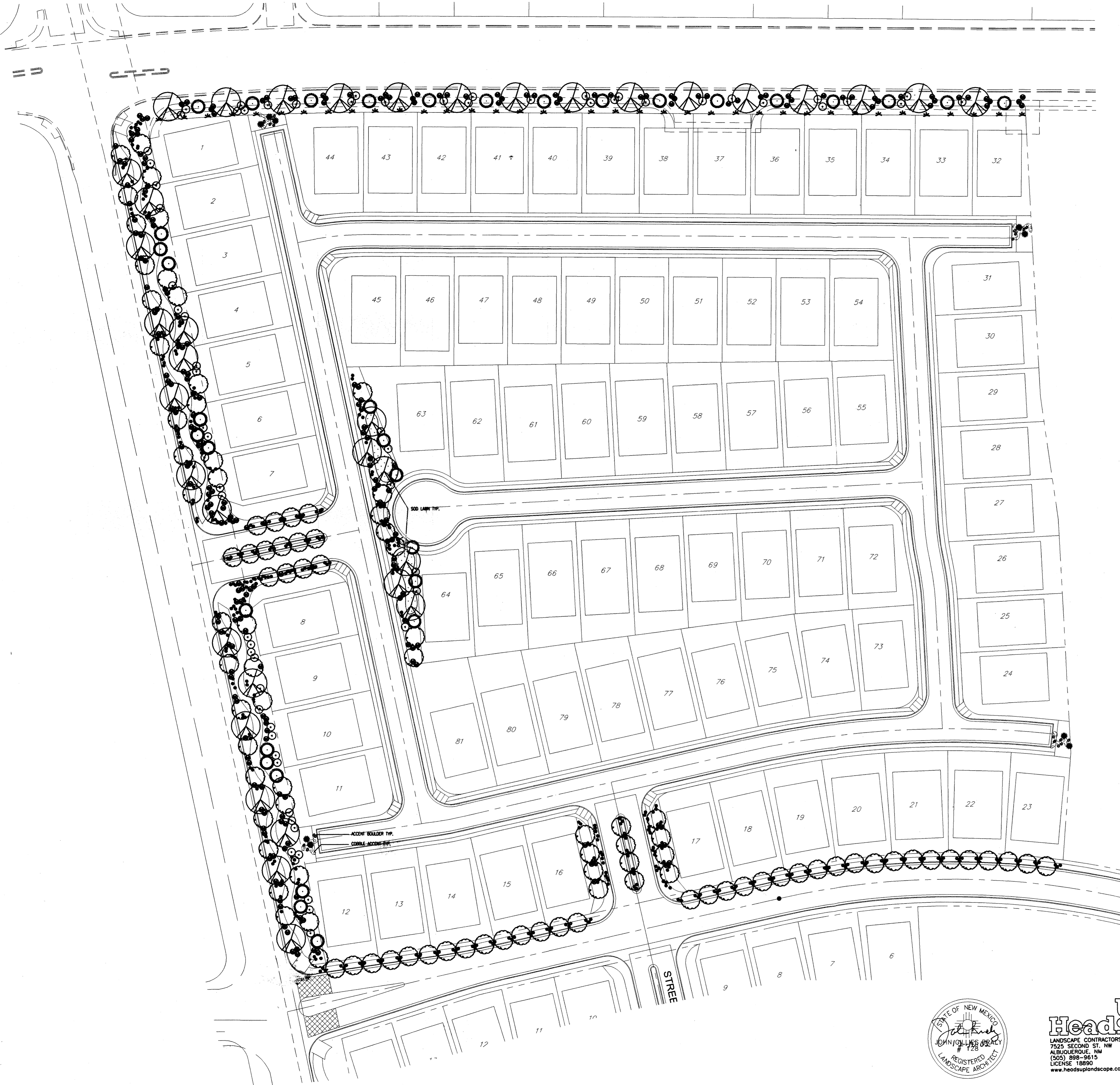


N.T.S.



SITE DATA

Zoning: SU-3
Site Area: 16.4 acres
Dwelling Units: 81 Lots
Gross Density: 4.94 DU/AC
Minimum Lot Size: 56' x 105'



PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME
☐	37	FRAXINUS	ASH
☐		GLEDITSIA	HONEY LOCUST
○	102	CRATAEGUS	HAWTHORN
○		CHILOPSIS	DESERT WILLOW
○		FORESTIERA	N.M. OLIVE
●	34	PINUS NIGRA	AUSTRIAN PINE
●		PINUS EDULIS	PINON PINE
○	68	ELAEOGNUS	SILVERBERRY
○		BUDDLEIA	BUTTERFLY BUSH
○		CHRYSOTHAMINUS	CHAMISA
○		MAIDEN GRASS	BUTTERFLY BUSH
●	237	PEROVSKIA	RUSSIAN SAGE
●		ROSMARINUS	ROSEMARY
●		RAPHIOLEPIS	INDIA HAWTHORN
●		PRUNUS BESSEYI	SAND CHERRY
●	374	LAVANDULA	LAVENDER
●		SALVIA GREGGII	CHERRY SAGE
●		HELICTOTRICHON	BLUE AVENA GRASS
●		PINUS MUGO	MUGHO PINE
●		ROSMARINUS	CREEPING ROSEMARY
●		BUFFALO JUNIPER	BUFFALO JUNIPER
●	9		
●	37	CAMPISIS	TRUMPET VINE
●		PARTHENOISSUS	VIRGINIA CREEPER

SITE DATA

GROSS LOT AREA (PHASE 1)	139,455 SF
LESS BUILDING	16,000 SF
NET LOT AREA	123,455 SF
REQUIRED LANDSCAPE	18,519 SF
15% OF NET LOT AREA	
PROPOSED LANDSCAPE	19,800 SF
PERCENT OF NET LOT AREA	16%

HIGH WATER USE TURF
 MAX. 20% OF LANDSCAPE AREA
 PROPOSED HIGH WATER USE TURF
 PERCENT OF LANDSCAPE AREA

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE
 LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
 HIGH WATER USE TURF

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP
 IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY
 OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE
 AND WATER WASTE ORDINANCE
 PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.
 75% LIVE GROUND COVER OF LANDSCAPE AREAS
 AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL
 MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE
 OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE
 C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
 NO PARKING SPACE SHALL BE MORE THAN 100'
 FROM A TREE.

Conceptual Landscape Plan

Rancho Encantado Norte

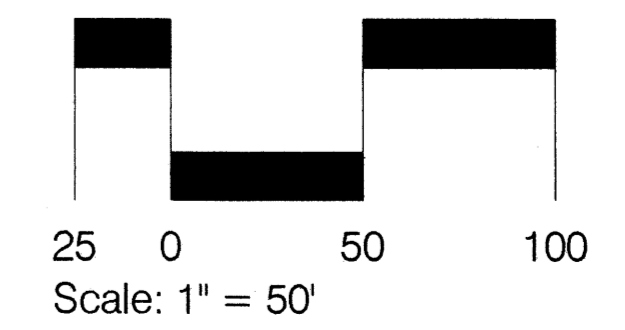
Prepared for:

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 4400 Alameda Boulevard NE, Suite B
 Albuquerque, NM 87113

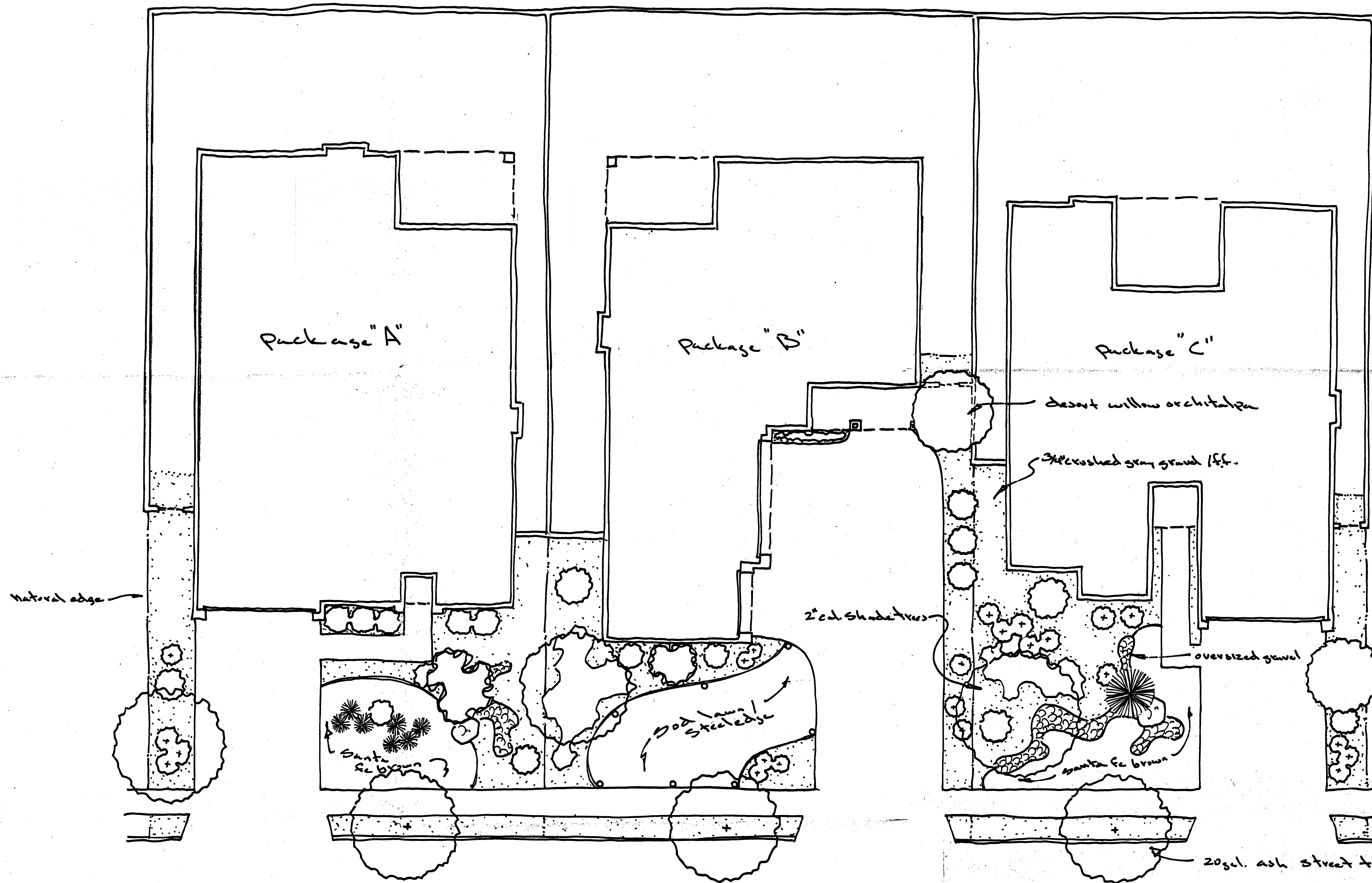
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C:\Users\jggray\Documents\Rancho Encantado Norte\land12.dwg, 12/10/2002, 03:18:08 PM, Page: 300, (1/10)/1/10/02



The composition shall vary from lot to lot

Typical Lot Landscape Plan

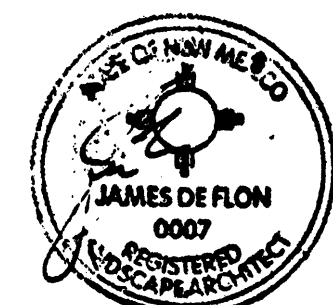
(Landscape material and quantity may vary depending on lot, home, and options selected by homebuyer.)

Landscape Packages
D.R. HORTON
Rancho Encantado Norte

- 1- 20 gal. ash tree
- 1- 2" cal. shade tree
- 1- PINON or Palm yucca
- 5- 5 gal. native shrubs
- 14- 1 gal. wild flowers + ground covers
- 3/4" crushed gray gravel/accnt area of Santa Fe brown/filter fabric
- steel edge between gravels
- boulder/cobble stone accnt
- automatic trickle irrigation

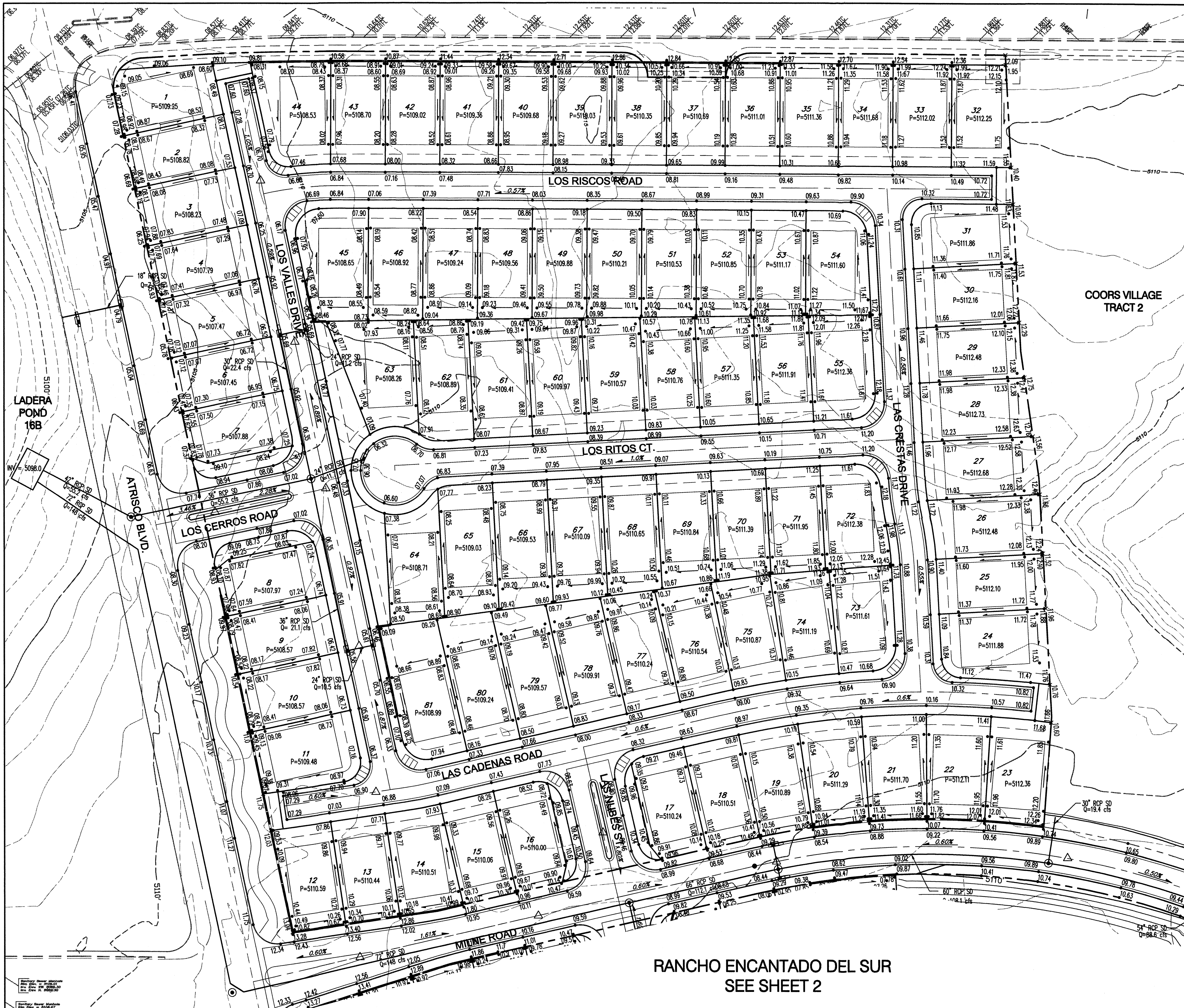
- 1- 20 gal. ash tree
- 1- 2" cal. shade tree
- 1- 5 gal. desert willow or chitalpa
- 1- 5 gal. cistena or n.m. wild olive
- 6- 5 gal. native shrubs
- 15- 1 gal. ground covers
- Sod/Steel edge
- 3/4" crushed gray gravel/ft.
- automatic pop up sprinklers/
- integral trickle irrigation

- 1- 20 gal. ash tree
- 1- 2" cal. shade tree
- 1- Palm yucca or n.m. wild olive
- 5- 5 gal. native shrubs
- 14- 1 gal. wild flowers
- 1- 5 gal. desert willow or chitalpa
- 3/4" crushed gray gravel/accnt area of Santa Fe brown gravel/filter fabric
- boulder/cobble stone accnt
- automatic trickle irrigation/indicator bubbler

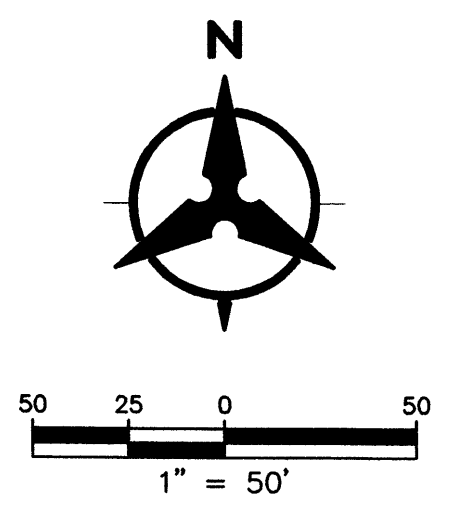


7-9-01

The Hilltop



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT, PREPARED BY WYNARD AND ASSOCIATES, INC. DATED APRIL 5, 2002.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 4, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



- LEGEND**
- (91.62) FUTURE SPOT ELEVATION
 - 91.62 PROPOSED SPOT ELEVATION
 - × 92.46 EXISTING SPOT ELEVATION (GRID & TC)
 - ==== EXISTING CURB & GUTTER
 - ==== PROPOSED MOUNTABLE CURB & GUTTER
 - ==== PROPOSED STANDARD CURB & GUTTER
 - ==== EXISTING CONTOUR W/ INDEX ELEVATION
 - 5.470— FLOW ANCHOR
 - PROPOSED RETAINING WALL
 - PROPOSED SLOPE
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET

AS-BUILT INFORMATION		BENCH MARKS	
CONTRACTOR DATE	ALBUQUERQUE CONTROL SURVEY MONUMENT "JOSEPH"	CONTRACTOR DATE	ALBUQUERQUE CONTROL SURVEY MONUMENT "JOSEPH"
INSPECTOR DATE	NEW MEXICO STATE PLANE COORDINATE SYSTEM	INSPECTOR DATE	NEW MEXICO STATE PLANE COORDINATE SYSTEM
DATE	CENTRAL ZONE (NAD83) COORDINATES	DATE	CENTRAL ZONE (NAD83) COORDINATES
DATE	Y = 1,502,246.75	DATE	Y = 1,502,246.75
DATE	X = 366,686.82	DATE	X = 366,686.82
DATE	Z = 5113.582	DATE	Z = 5113.582
DATE	DELTA ALPHA = -0015'24"	DATE	DELTA ALPHA = -0015'24"
DATE	COMBINED GROUND TO GRID FACTOR = 0.99967551	DATE	COMBINED GROUND TO GRID FACTOR = 0.99967551

SURVEY INFORMATION		FIELD NOTES	
NO.	DATE	NO.	DATE

REVISIONS		REMARKS	
No.	Date	By	

DESIGNED BY: SJS	DATE: 11-14-02
DRAWN BY: DTH	DATE: 11-14-02
CHECKED BY: SJS	DATE: 11-14-02



Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4395
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

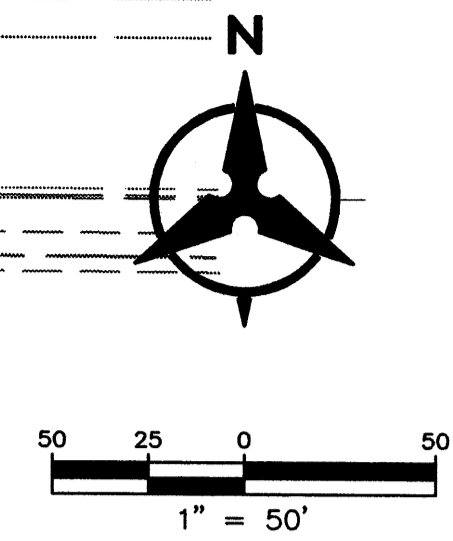
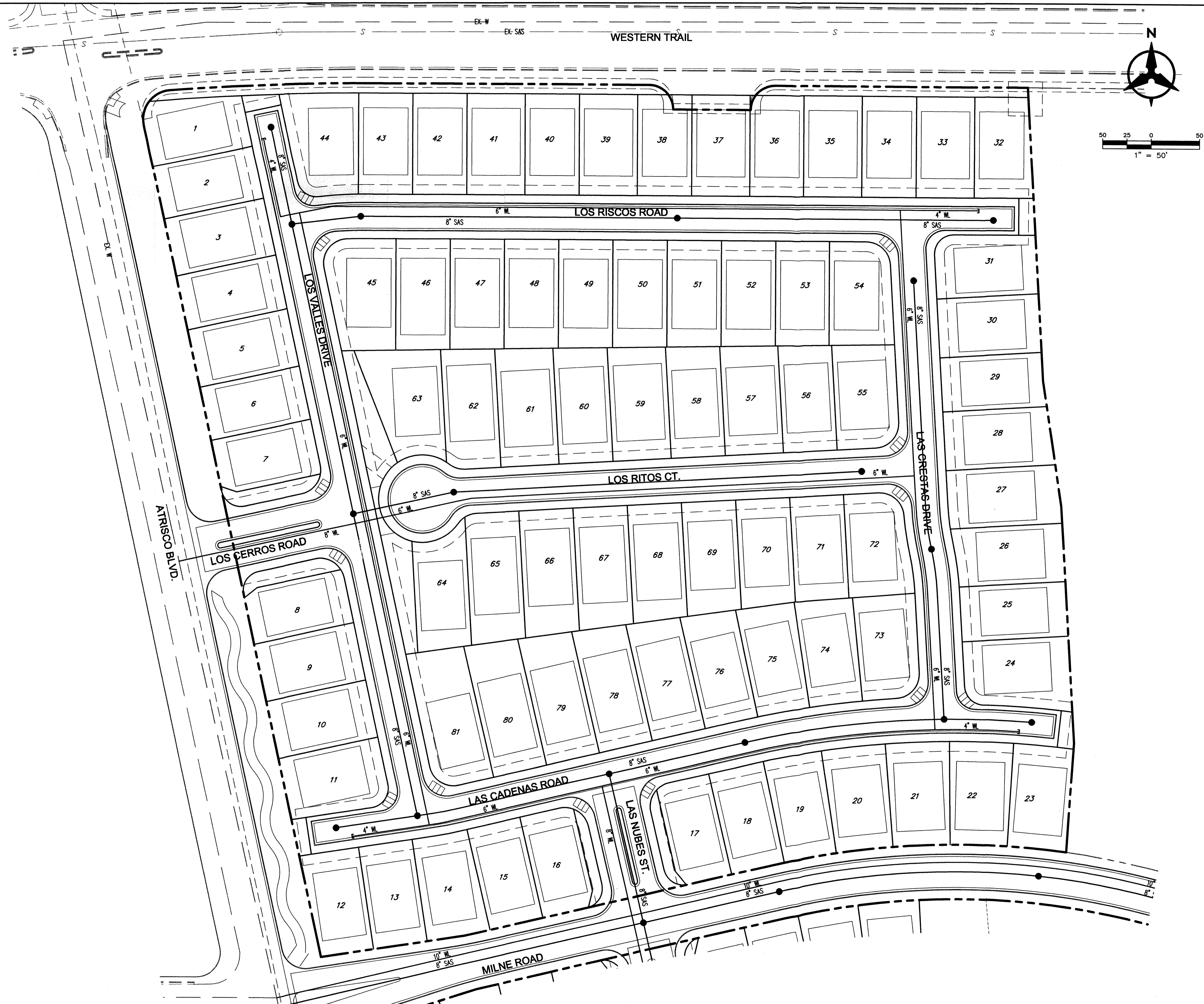
RANCHO ENCANTADO DEL NORTE SUBDIVISION
GRADING AND EROSION CONTROL PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

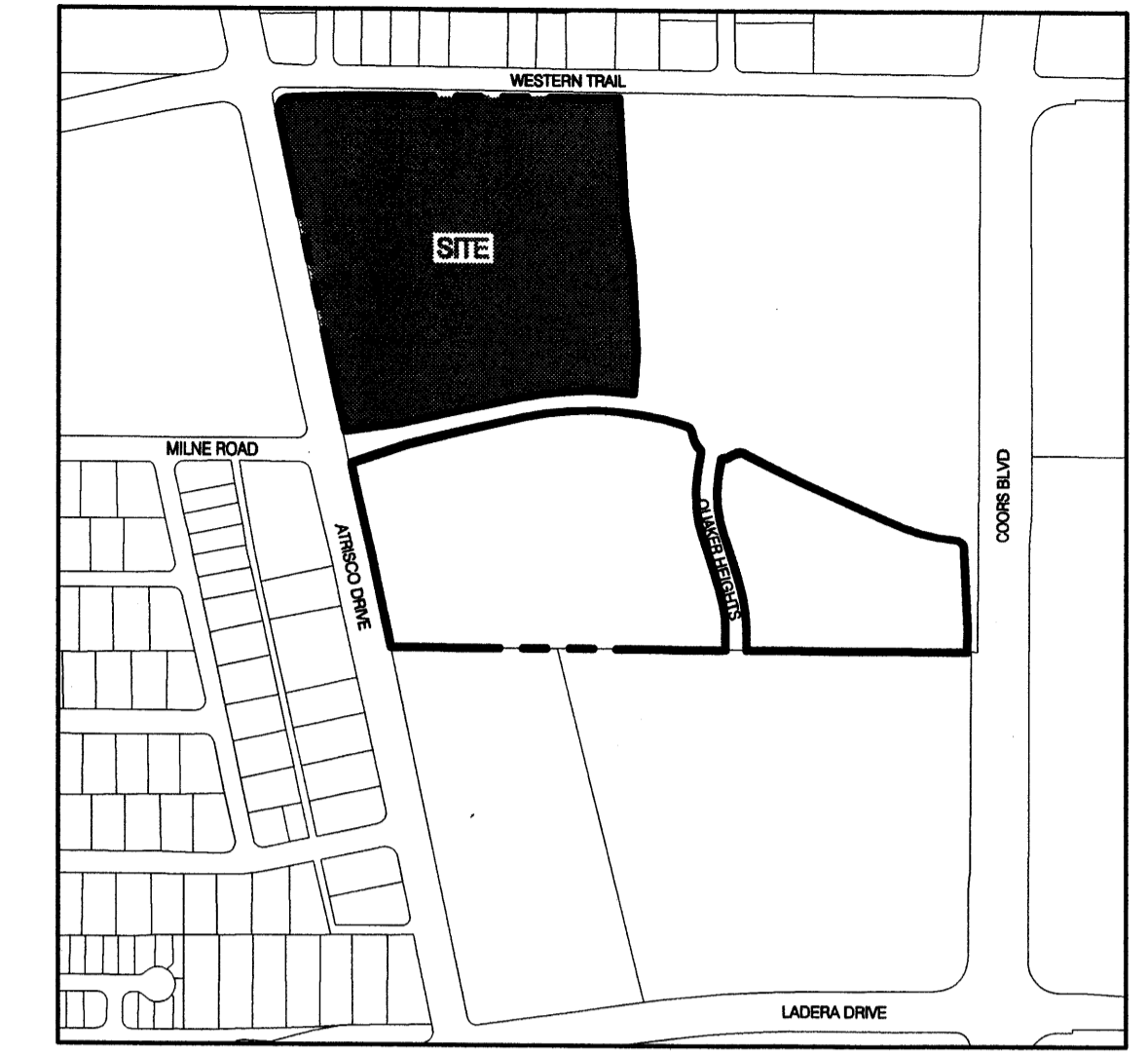
City Project No. _____ Zone Map No. **F-11-Z** Sheet **CI** Of _____

ROUGH GRADING (±0.5):
 APPROVED FOR ROUGH GRADING DATE

RANCHO ENCANTADO DEL SUR
 SEE SHEET 2



VICINITY MAP



COA Zone Atlas F-11-Z

CONCEPTUAL WATER AND SANITARY SEWER PLAN

WATER
 THE SITE IS WELL SERVED BY THE EXISTING CITY-WATER SYSTEM. WATERLINES WILL BE EXTENDED ON SITE TO PROVIDE DOMESTIC AND FIRE SUPPLY.

SANITARY SEWER
 THE SYSTEM IS STANDARD GRAVITY FEED SAS PREDOMINATELY SLOPING FROM EAST TO WEST. THE SAS OUTFALLS TO AN EXISTING LINE LOCATED IN ATRISCO BLVD AT MILNE.

Project #:

RANCHO ENCANTADO NORTE

CONCEPTUAL UTILITY PLAN

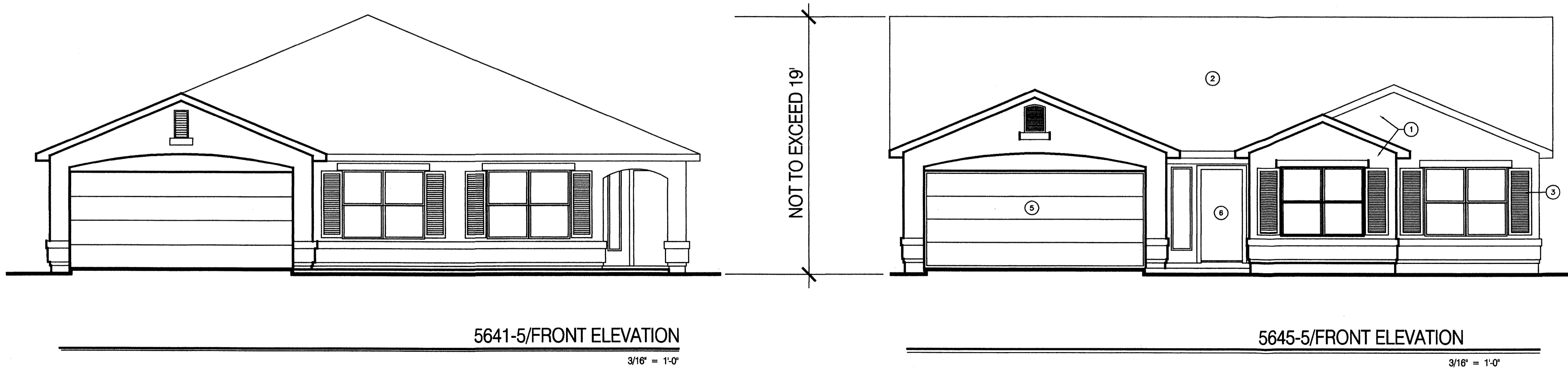
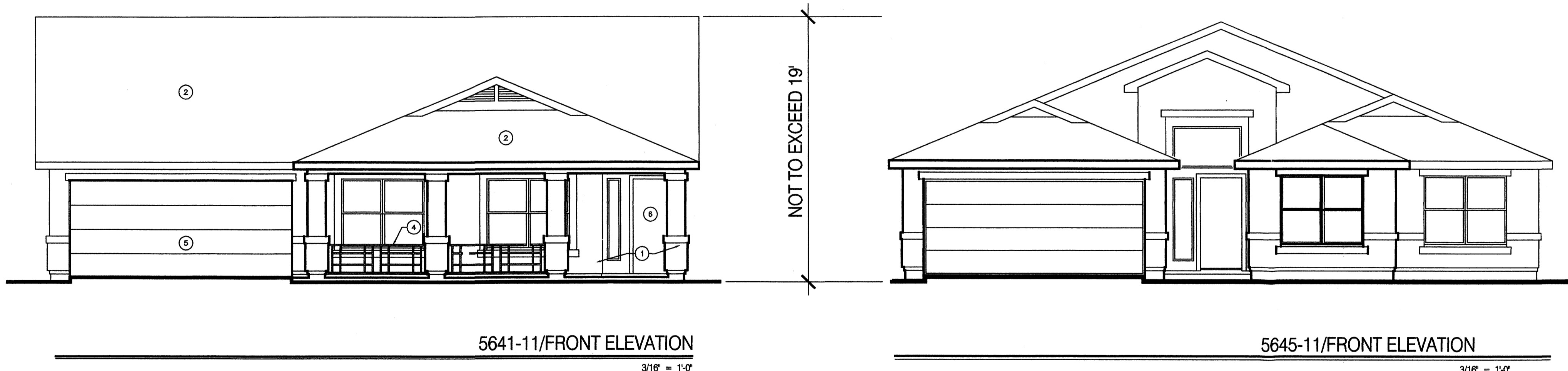
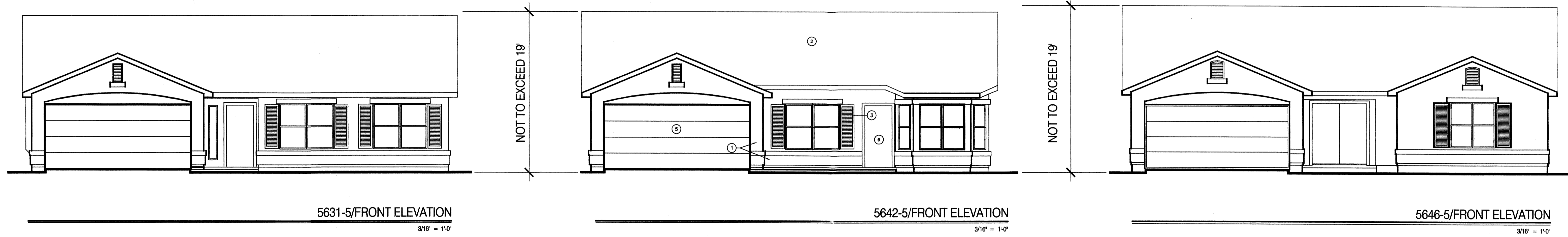
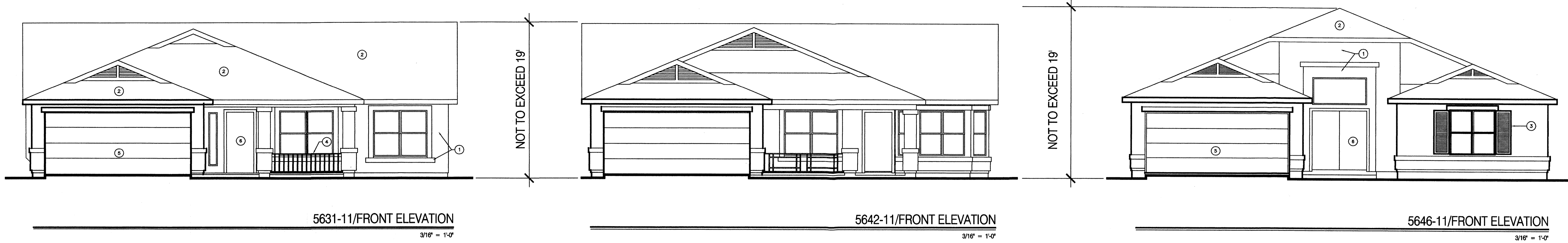
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Bohannon ▲ Huston
 Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335
 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES





Note: These drawings are examples of types of residential units that may occur under the design guidelines. They represent typical units at Rancho Encantado Norte. Minor modifications to these elevations may occur provided that they are consistent with the character established and the design guidelines.

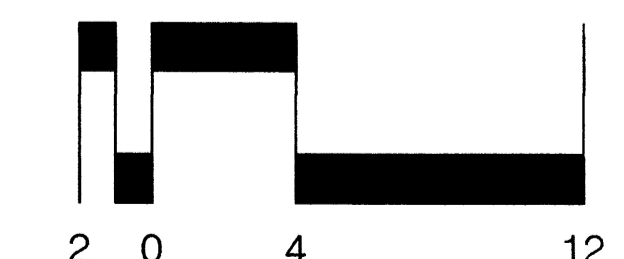
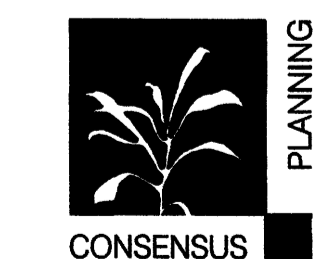
Building Elevations
Rancho Encantado Norte

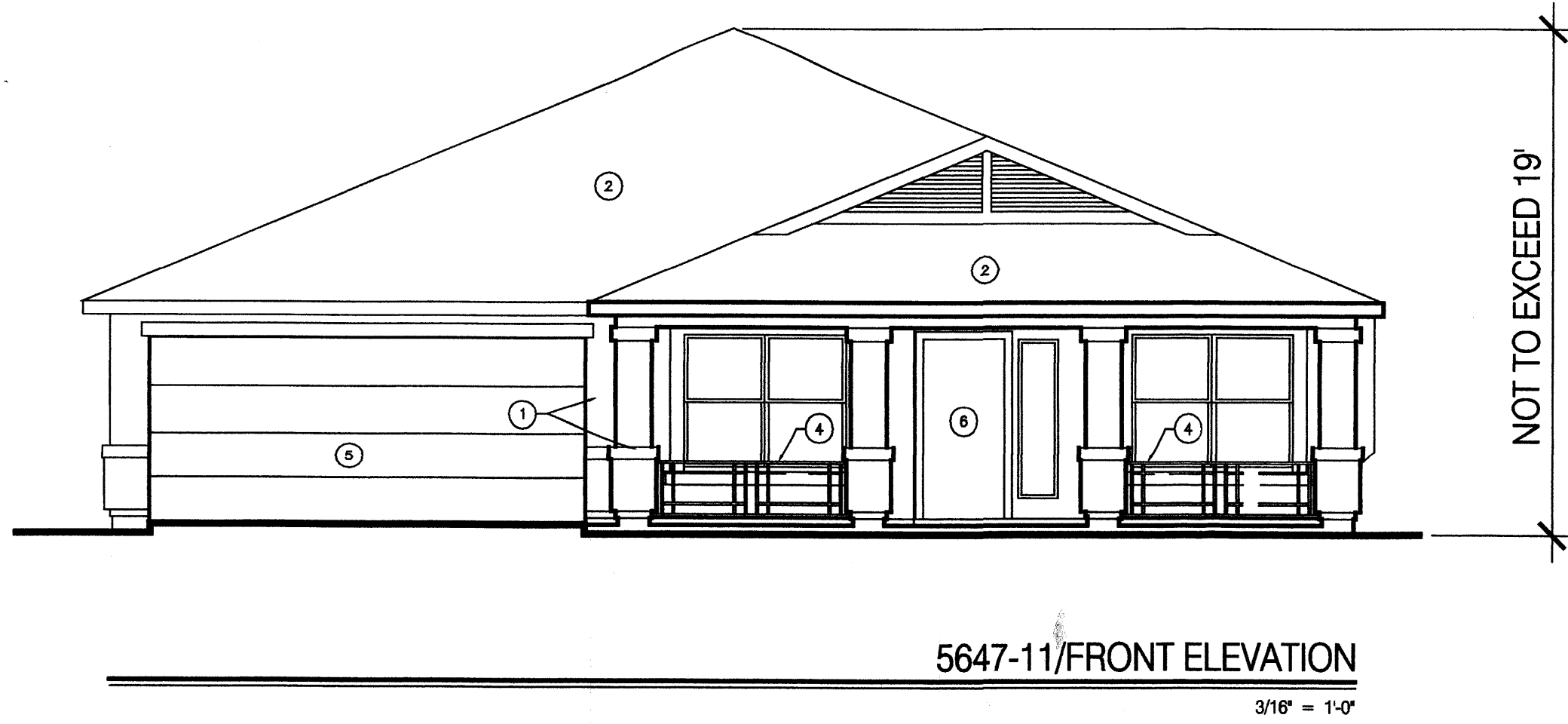
- KEYED NOTES
- 1 Stucco finish - color per design guidelines.
 - 2 Roof system - per design guidelines.
 - 3 Decorative wood shutters - color per design guidelines.
 - 4 Wrought iron railing - color per design guidelines.
 - 5 Raised panel garage door - color per design guidelines.
 - 6 Entry door color per design guidelines.

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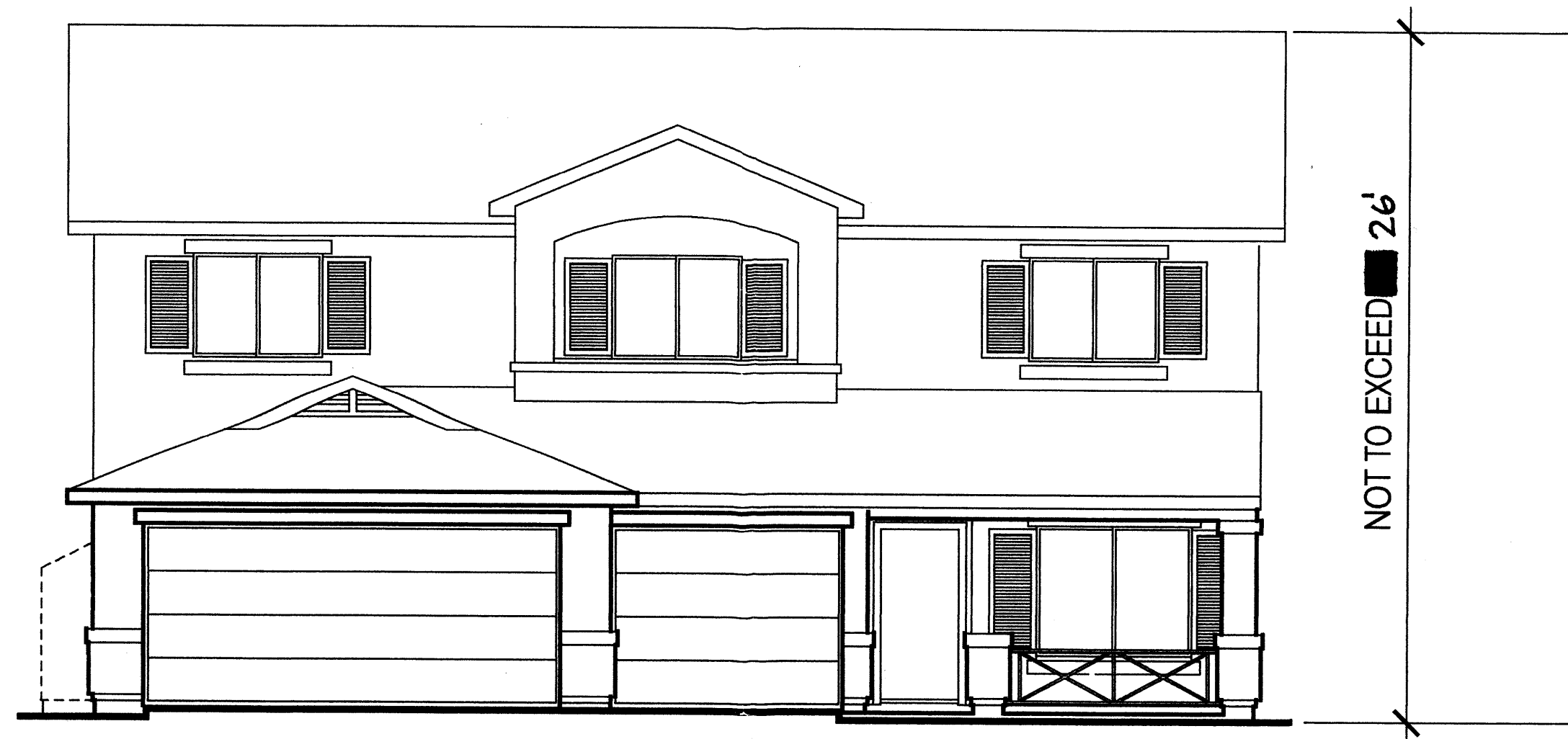
Bohannon Huston, Inc.
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 Courtyard 1
 Albuquerque, NM 87109





5647-11/FRONT ELEVATION

3/16" = 1'-0"



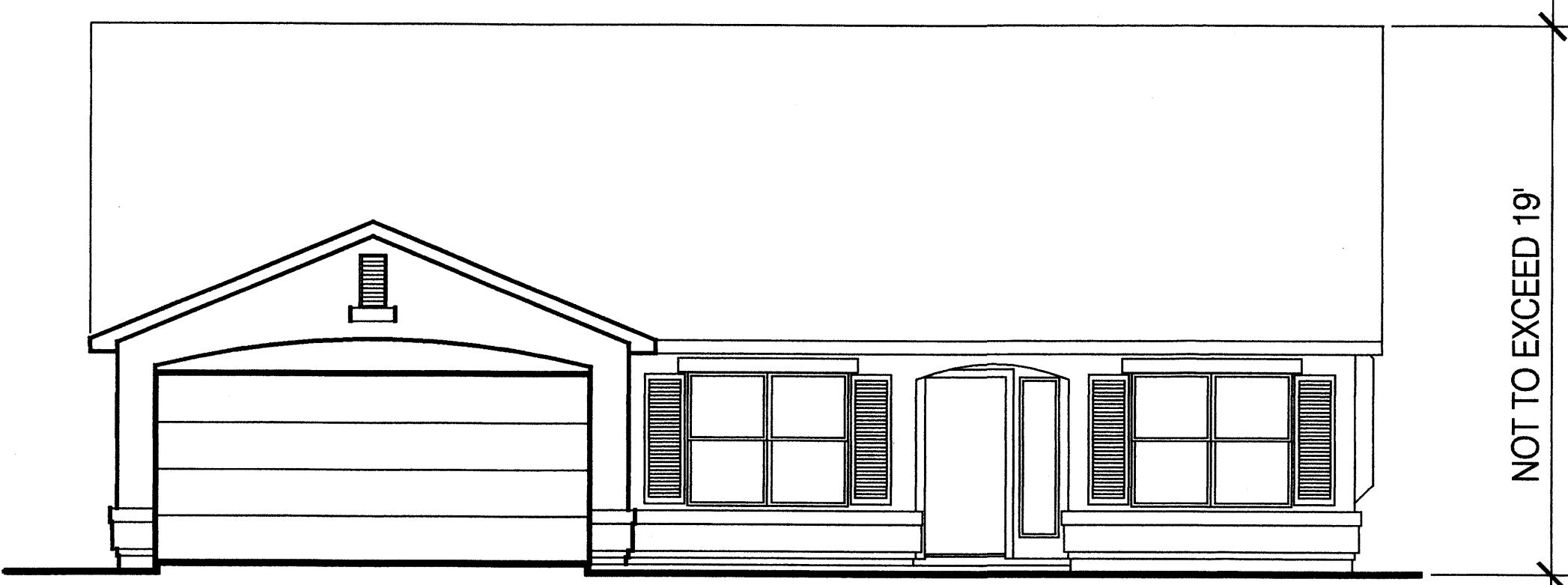
5658-11/FRONT ELEVATION

3/16" = 1'-0"



5659-13/FRONT ELEVATION

3/16" = 1'-0"



5647-5/FRONT ELEVATION

3/16" = 1'-0"



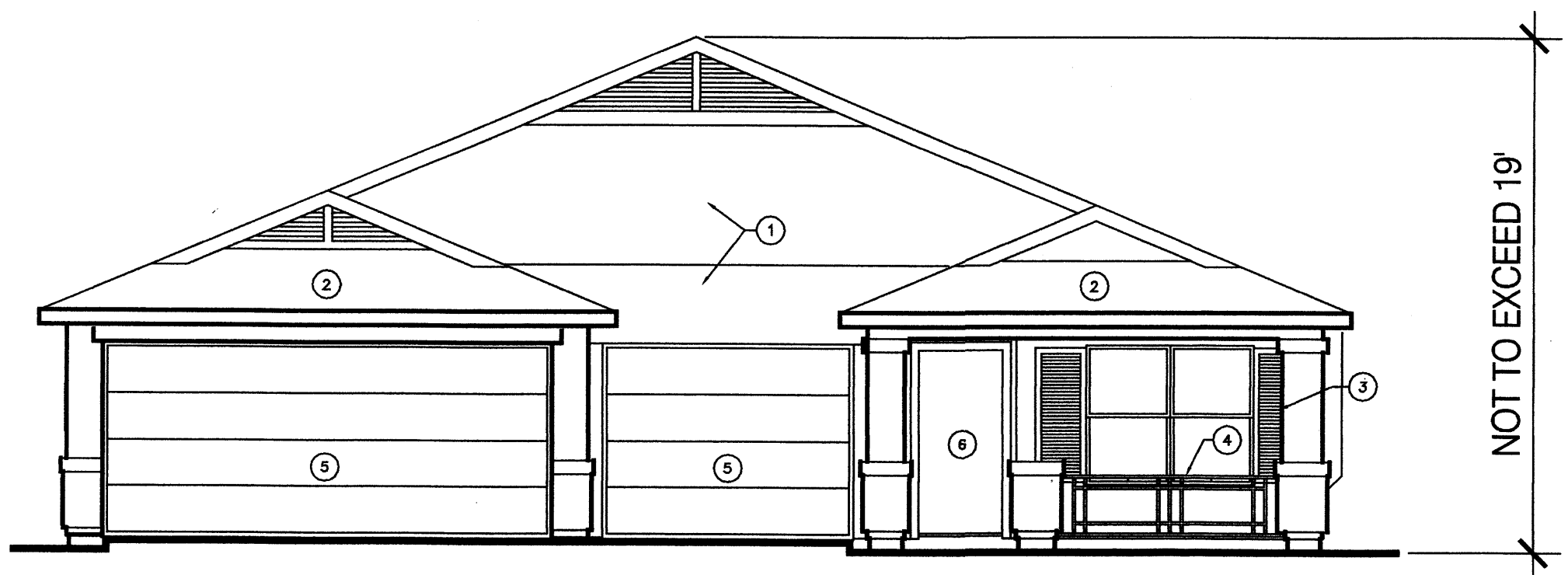
5658-13/FRONT ELEVATION

3/16" = 1'-0"



5660-9/FRONT ELEVATION

3/16" = 1'-0"



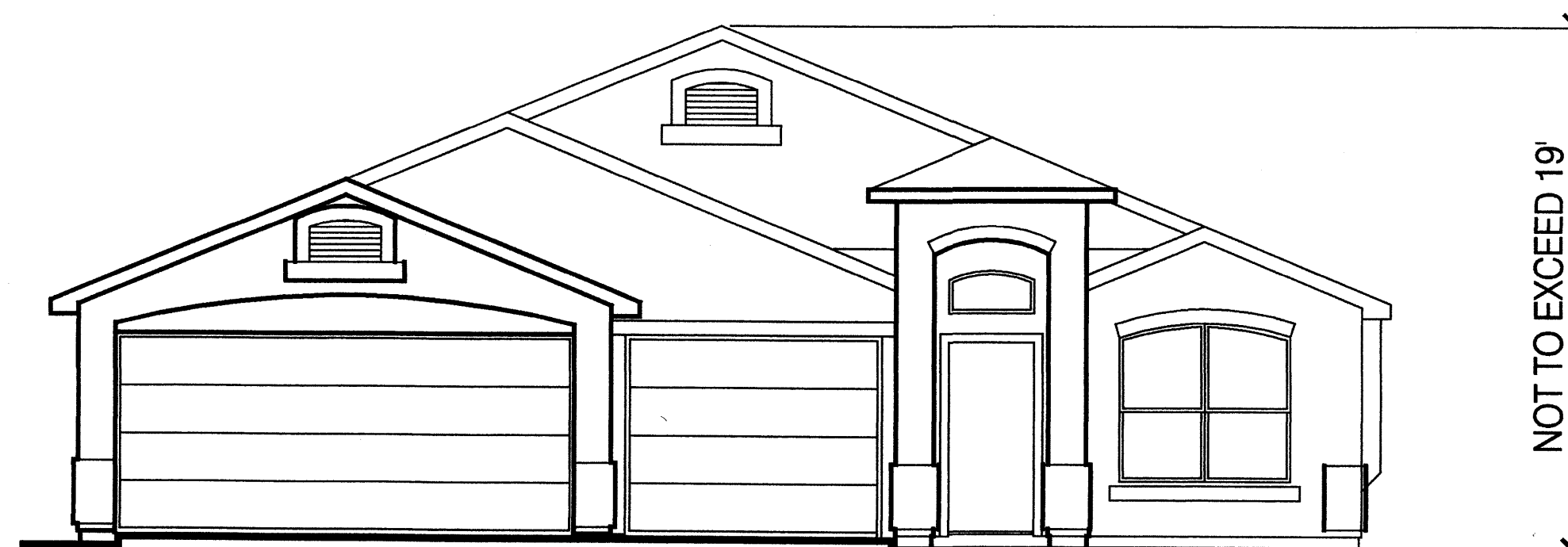
5648-11/FRONT ELEVATION

3/16" = 1'-0"



5659-11/FRONT ELEVATION

3/16" = 1'-0"



5648-5/FRONT ELEVATION

3/16" = 1'-0"

Building Elevations

Rancho Encantado Norte

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