

1



DRB CASE ACTION LOG

REVISED 3/20/2003

6-30-03
JAN

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-00581 (FP)

Project # 1002400

Project Name: ~~MONTEBRIDGE ADDITION~~

EPC Application No.:

Agent: ABQ ENGINEERING

Phone No.: 253-7802 Martin Garcia

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/21/03 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Note: "There will not be any sight obstructions over 3 ft in height within the 5' Landscaping easement adjacent to Candelaria"

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): 15 day critical period

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- Copy of final plat AND a DXE File for AGIS is required. Approved
- Copy of recorded plat for Planning.

6-16-03 Agent for p-u. JAN

Project Number 1002400

FINAL PLAT

30
6-9-03
DM

APPLICATION NO. 03-00581	PROJECT NO. 1002400
PROJECT NAME MONEY BRIDGE ADDN. Gas Cardenas CS	
EPC APPLICATION NO.	
APPLICANT / AGENT ARQ ENG.	PHONE NO. 255-7802
ZONE ATLAS PAGE G-14	Martín García
ONE STOP COMMENT FORM LOG	

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>RD</i>	DATE 5-22-03	DATE
COMMENTS:		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

(Return form with plat / site plan)

AGIS ELECTRONIC SUBMITTAL CHECKLIST

DRB Project# 1002400 Subdivision Name Los Candelarias

Surveyor David Vigil Company North Star Surveying / ABQ Surveying

Contact person Martin Garcia Phone # 255-7802 email _____

Patricia M. Apt * _____ Date 5/19/03
Approved *Not Approved

DXF RECEIVED 5/14/03 DATE resubmitted 5/14/03
 HARD-COPY RECEIVED 5/14/03 DATE
 DISCLOSURE STATEMENT

NAD 27, rotated to grid scaled to ground.

*Not Approved for one or more of the following reasons:

File Format and naming

- 1) ___ Format is not DXF file in ASCII format
- 2) ___ No hard copy of the final plat submitted
- 3) ___ <DRB Project #>.dxf not used as a standard naming convention

Coordinate System

- 4) ___ Submittal does not include a disclosure of the datum (NAD27 or NAD83)
- 5) ___ Submittal does not specify if coordinates are based on ground or grid distances
- 6) ___ Submittal does not include information necessary to rotate from ground to grid
- 7) ___ Lines cannot be projected/converted to correct location in NAD83 NMSP coordinate system

Content

- 8) ___ Submittal is not single drawing in model space showing only parcel and easement lines
- 9) ___ Digital submittal does not match final plat
- 10) ___ Parcel lines are not in one separate layer
- 11) ___ Access easement lines and all other easements that are 20 feet wide or greater are not in a second separate layer
- 12) ___ All other easement lines are not in a third separate layer

Comments:

~~* This dxf file was accepted though the tie information was no good and the tinework had to be shifted into place. The client, Martin Garcia, is aware of the problem.~~

Martin called back with correct tie information 5/19/03

AGIS Use Only: Copied cov 5/19/03 to agiscov on 5/19/03 Client Notified 5/19/03
COV 2400



DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

Los Candelarias

DRB Application No.: 03-00581 (FP)
Project Name: ~~MONKBRIDGE ADDITION~~
Agent: ABQ ENGINEERING

Project # 1002400
EPC Application No.:
Phone No.: 255-7802 *Martin Garcia*

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/21/03 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Note: "There will not be any sight obstruction over 3 ft in height within the 5' landscaping easement adjacent to Candelaria"

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 15 day appeal period

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- Copy of final plat AND a DXF File for AGIS is required. 4/5/03
- Copy of recorded plat for Planning.

Project Number

1002400



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

5-22-2003

5. Project # 1002400

03DRB-00580 Major-Vacation of Public Easements
03DRB-00581 Minor-Final Plat Approval

ABQ ENGINEERING agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) west ½ of Lot(s) 4, 5 & 6, Block(s) 18, MONKBRIDGE ADDITION, **LOS CANDELARIAS SUBDIVISION**, zoned SU-2 special neighborhood zone, R-T, located on the NORTH SIDE OF CANDELARIA BLVD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: 03DRB-00094, 03DRB-00267, 03DRB-00256, 02DRB-01935] [Deferred from 5/7/03] (G-14)

At the May 21, 2003, Development Review Board meeting, the Vacation was approved as shown on Exhibit B in the Planning file, subject to the following Findings and Conditions of the Subdivision Ordinance:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
3. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

The final plat was approved with final sign off delegated to Transportation Development for the following note: There will not be any sight obstructions over 3 feet in height within the 5 foot landscaping easement adjacent to Candelaria. It was also delegated to Planning for the 15-day appeal period.



**OFFICIAL NOTICE
PAGE TWO**

If you wish to appeal this decision, you must do so by June 5, 2003, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Sheran Matson, AICP, DRB Chair

cc: Centex Homes, 5120 Masthead NE, 87109
ABQ Engineering, 1631 Eubank NE, Suite C, 87112
Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002400 AGENDA#: 5 DATE: 5.21.03

1. Name: Ken Kroll Address: ABQ Eng'r Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
 CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002400

AGENDA ITEM NO: 5

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No objection to vacation request.
 An executed Subdivision Improvements Agreement with financial guarantees is required for Final Plat sign-off.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: May 21, 2003



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002400

AGENDA ITEM NO: 7

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the vacation request.
 An executed Subdivision Improvements Agreement with financial guarantees is required for Final Plat sign-off.
 Comments on plat.

RESOLUTION:

5/21/03

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: May 7, 2003

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 100240 AGENDA#: 7 DATE: 5/7

1. Name: _____ Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

SHERAN



May 8, 2003

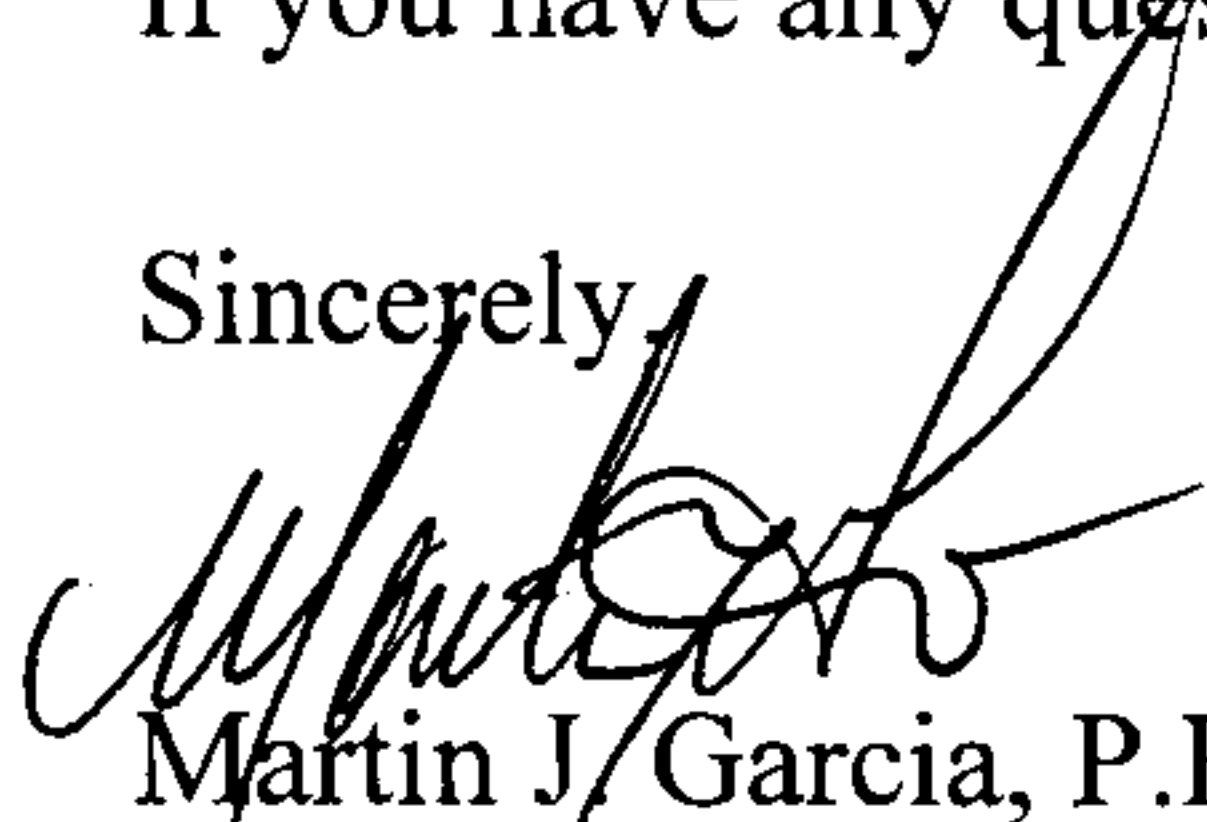
Development
City of Albuquerque
Design Review Board
Development and Building Services
600 Second Street NW
Albuquerque, NM 87102

RE: Final Plat for Los Candelarias Subdivision

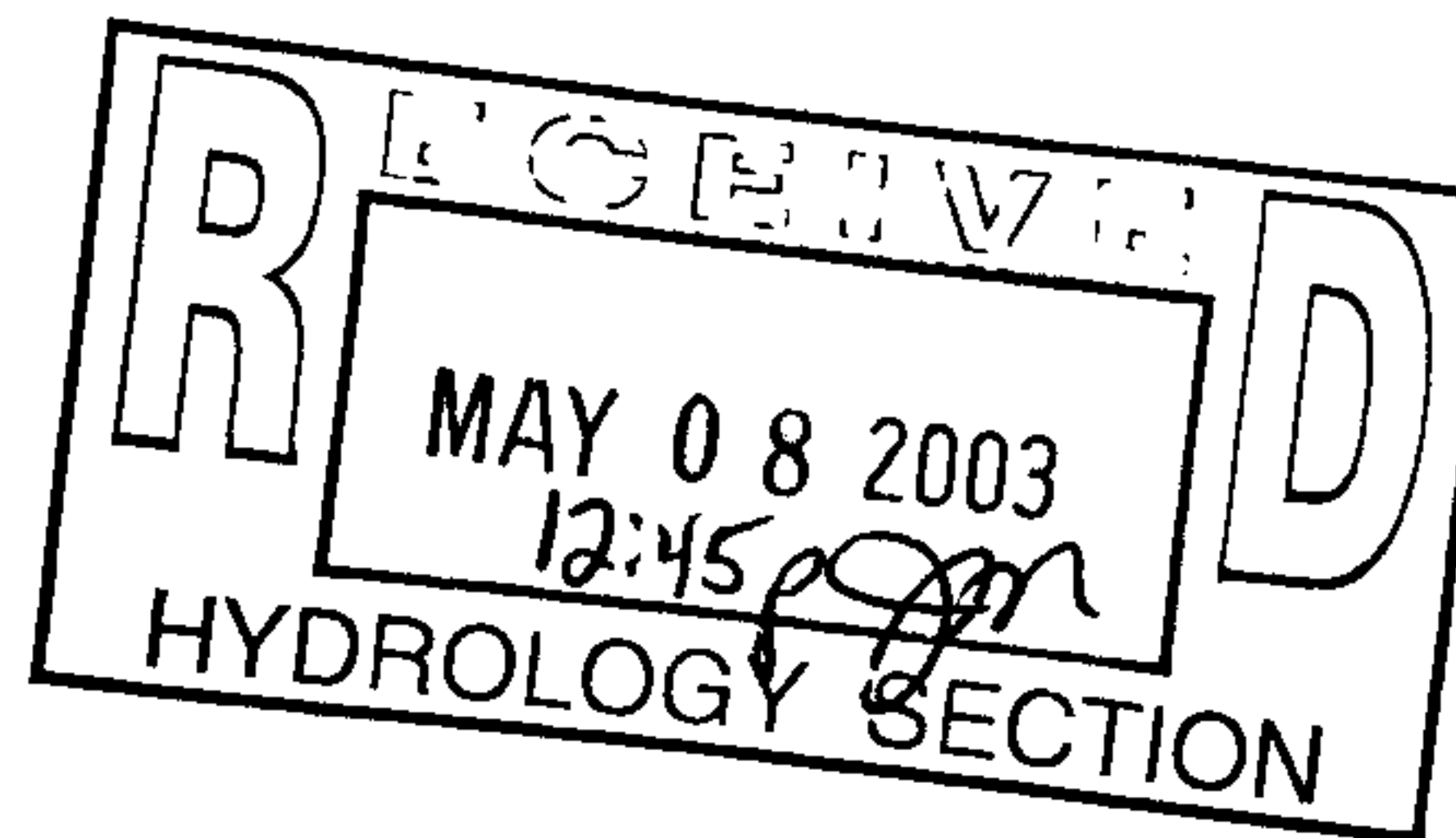
Submitted herewith are six (6) blueline copies of the final plat. This submittal represents the final version of the plat as discussed with city DRC and final dry utility easement locations. Please distribute to the DRB Members for their review and approval. The DRB hearing was deferred from May 7, 2003 to May 21, 2003.

If you have any questions or require additional information, please call me at 255-7802

Sincerely,


Martin J. Garcia, P.E.
ABQ Engineering, Inc.

File 22170



ONE STOP SHOP . . . FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME CENTEX HOMES
AGENT ABQ ENGINEERING
ADDRESS _____
PROJECT NO. 1002400
APPLICATION NO. 03 DRB - 00580 // 03 DRB - 00581

\$ 100⁰⁰ 441006 / 4983000 (DRB Cases)
\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)
\$ _____ 441018 / 4971000 (Notification)

\$ 100⁰⁰- **Total amount due**

THIS DOCUMENT HAS A COLORED BACKGROUND AND IS ALTERATION RESISTANT

ABQ ENGINEERING, INC.
1631 EUBANK NE SUITE C
ALBUQUERQUE, NM 87112
(505) 255-7802

WELLS FARGO BANK NEW MEXICO, N.A.
ALBUQUERQUE, NM 87110

95-219-130
1070

3579

5/19/2003

PAY TO THE ORDER OF City of Albuquerque

\$ **110.00

DOLLARS

One Hundred Ten and 00/100

City of Albuquerque

*****DUPLICATE*****

City of Albuquerque
Treasury Division

AUTHORIZED SIGNATURE

MEMO Los Candelarias Final Plat Deferal

05/19/2003 9:55AM LOC: ANN

⑈003579⑈ ⑈107002192⑈1060

RECEIPT# 0007004 WSH 007 TRANS# 0006
Account 441006 Fund 0110
Activity 4983000 TRSCCS
Trans Amt \$110.00
J24 Misc \$110.00
CK \$110.00
CHANGE \$0.00

10/28/02

MAY 21, 2003

RE: City Project # 1002400
Application # 03DRB / 00581 / 00580
Agenda Date. MAY 7 2003
Item # # 7

19 MAY 2003

Dear Claire.

Defer case 1002400/03DRB-00580, 03DRB-00581
to week May 21, 2003. attached is a check
#3579 for \$10.00 for deferral, of final
plot issues



FRANCIS PHILLIPS
255-7802



May 5, 2003

City of Albuquerque
 Design Review Board
 Development and Building Services
 600 Second Street NW
 Albuquerque, NM 87102

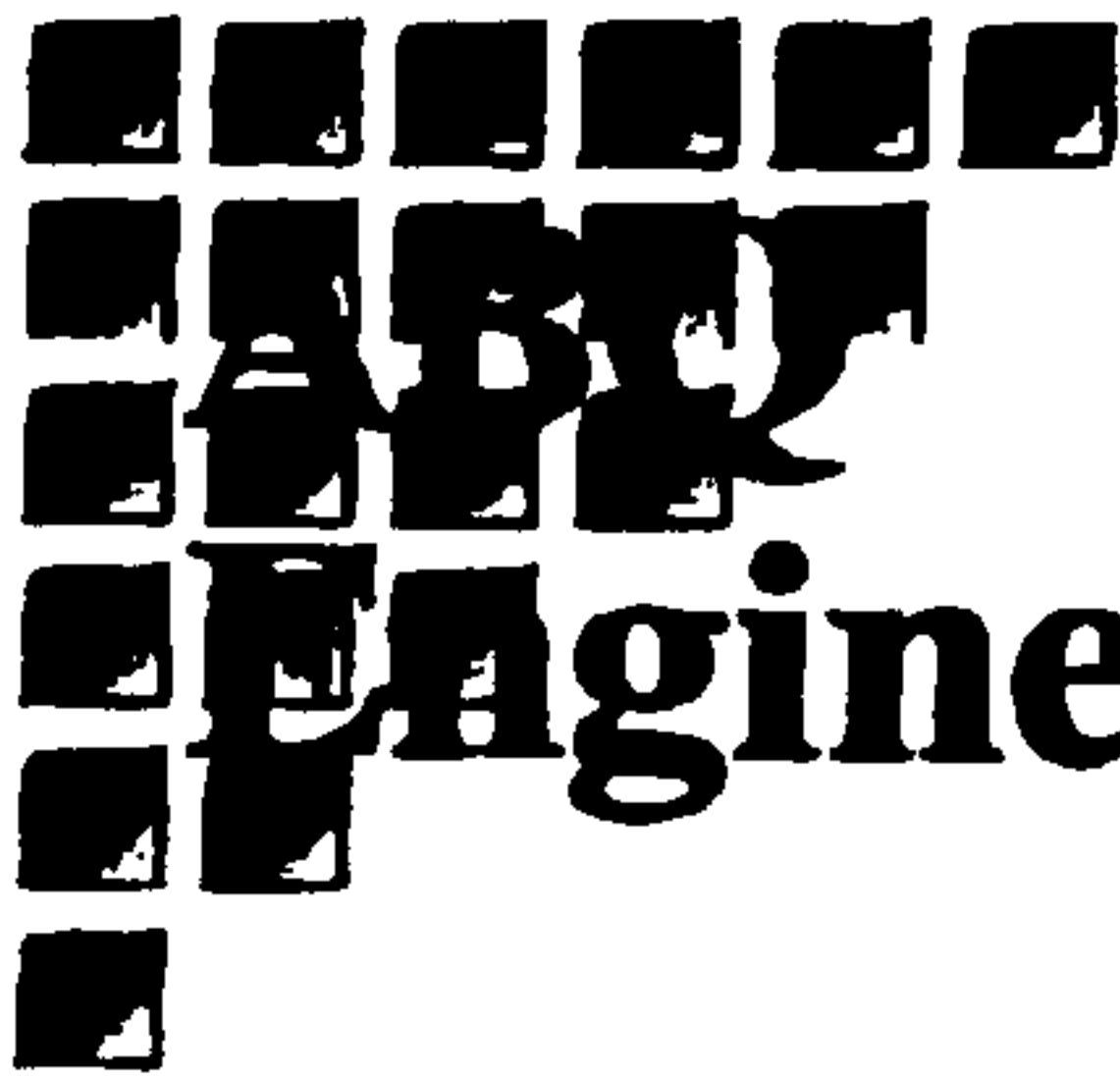
RE: Request for two-week deferral of Final Plat approval and Vacation of an existing Public Utility Easement for Los Candelarias Subdivision COA Project No. 1002400. 03DRB-00580, 03DRB-00581

ABQ Engineering, Inc., agent for Centex Homes is requesting a two-week deferral of the Final Plat approval and Vacation approval for an existing 7' x 25' public utility easement in lot 29 as shown on the plat for Los Candelarias Subdivision. The project is in the DRC review process currently, and will be approved within two weeks allowing for the final plat to proceed before the DRB. If you need additional information or have any questions, please call me at 255-7802.

Sincerely,

Martin J. Garcia, P.E.
 ABQ Engineering, Inc.

File 22170



Engineering, Inc.

FAX

DATE: 5/5/03

TO: SHERAN MATSON

COMPANY: CITY OF ALBUQ DRB-CHAIR

PHONE: 924-3880

FAX #: 924-3864

FROM: MARTIN GARCIA

PHONE: (505) 255-7802

FAX: (505) 255-7902

of Pages: 2
(including cover page)

Comments:

SEE ATTACHED

AGIS ELECTRONIC SUBMITTAL CHECKLIST

DRB Project# 1002400 Subdivision Name Los Candelarias

Surveyor David Vigil Company North Star Surveying / ABA Surveying

Contact person Martin Garcia Phone # 255-7802 email _____

Patricia M. Apt * _____ 5/19/03
Approved *Not Approved Date

DXF RECEIVED 5/14/03 DATE resubmitted 5/14/03
 HARD-COPY RECEIVED 5/14/03 DATE
 DISCLOSURE STATEMENT

NAD 27, rotated to grid scaled to ground.

*Not Approved for one or more of the following reasons:

File Format and naming

- 1) ___ Format is not DXF file in ASCII format
- 2) ___ No hard copy of the final plat submitted
- 3) ___ <DRB Project #>.dxf not used as a standard naming convention

Coordinate System

- 4) ___ Submittal does not include a disclosure of the datum (NAD27 or NAD83)
- 5) ___ Submittal does not specify if coordinates are based on ground or grid distances
- 6) ___ Submittal does not include information necessary to rotate from ground to grid
- 7) ___ Lines cannot be projected/converted to correct location in NAD83 NMSP coordinate system

Content

- 8) ___ Submittal is not single drawing in model space showing only parcel and easement lines
- 9) ___ Digital submittal does not match final plat
- 10) ___ Parcel lines are not in one separate layer
- 11) ___ Access easement lines and all other easements that are 20 feet wide or greater are not in a second separate layer
- 12) ___ All other easement lines are not in a third separate layer

Comments: → Martin Garcia called back with correct tie info. 5/19/03 pma
* This dxf file was accepted though the tie information was no good and the linework had to be shifted into place. The client, Martin Garcia, is aware of the problem.

AGIS Use Only: Copied cov 5/19/03 to agiscov on 5/19/03 Client Notified 5/19/03
COV 2400



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 7, 2003

Project # 1002400
03DRB-00580 Major-Vacation of Public Easements
03DRB-00581 Minor-Final Plat Approval

ABQ ENGINEERING agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) west ½ of Lot(s) 4, 5 & 6, Block(s) 18, **MONKBRIDGE ADDITION**, zoned SU-2 special neighborhood zone, R-T, located on the NORTH SIDE OF CANDELARIA BLVD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: 03DRB-00094, 03DRB-00267, 03DRB-00256, 02DRB-01935] (G-14)

AMAFCA	No adverse comments.
COG	Consistent with established transportation plans and policies.
Transit	No comments received.
Zoning Enforcement	Reviewed, no comment.
Neighborhood Coord.	Letter sent to Monkbridge Gardens (R) and Near North Valley (R) Neighborhood Assns.
APS	No comments received.
Police Department	No adverse comments.
Fire Department	Fire Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.
PNM Gas	Approves.
PNM Electric	Approves.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	Site is not within 1000 feet of a landfill. No comment.
M.R.G.C.D.	No comments received.

Open Space Division

No adverse comments.

City Engineer

Hydrology has no objection to vacation request. An executed SIA is required for final plat approval.

Transportation Development

No objection to the vacation action. The landscaping easement was to note that there will not be any sight obstructions over 3 ft in height for a specific distance. P-1 designations to the lots are needed.

Parks & Recreation

This request has no park dedication requirement per the City Park Dedication and Development Ordinance. The ordinance states "All neighborhood park requirements for residential development in Urban Centers and Redevelopment Plan areas shall be controlled by Sector Development Plans or by development plans and not this article." The Los Candelarias Village Center & Metropolitan Redevelopment Plan does not have neighborhood park dedication requirements, due to this no park dedication is required. No objection to the vacation request.

Utilities Development

No objection to Vacation request. No objection to Final Plat approval.

Planning Department

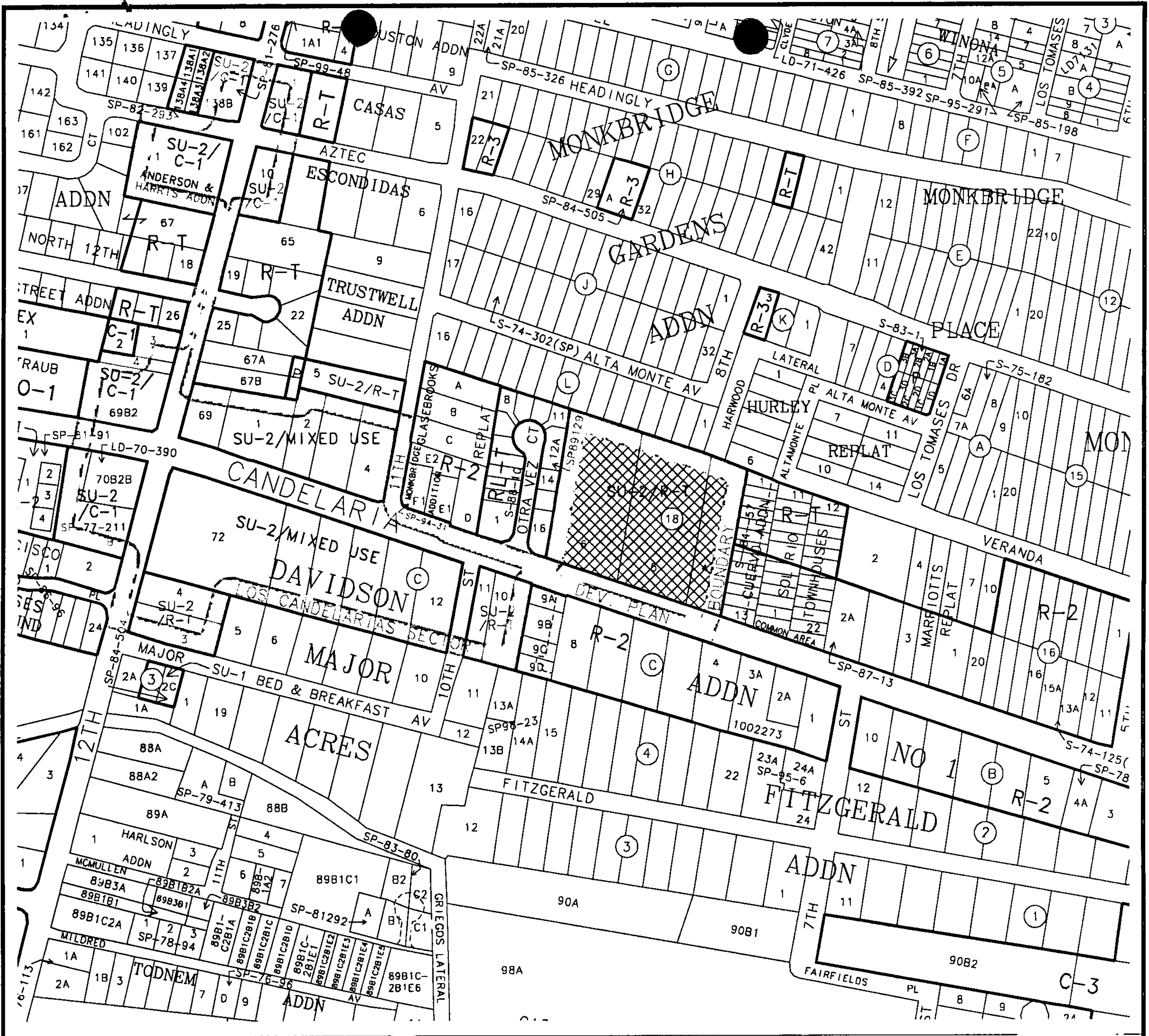
Planning signs final plats when the AGIS dxf approval slip is received. A hard copy of the plat as well as the digital file should be turned in to AGIS directly. We do not have the storage room for mylars awaiting AGIS approval. The applicant should keep the mylar until they have the AGIS approval slip in hand.

No objection to the requested actions. For future platting actions, please pick up revised signature blocks at the Front Counter of the One Stop Shop.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc:Centex Homes, 5120 Masthead NE, 87109

ABQ Engineering, 1631 Eubank NE, Ste. #C, 87112



Note: Shaded area indicates County Not to Scale

ZONING MAP



Scale 1" = 387'

PROJECT NO.
1002400

HEARING DATE
5-7-03

MAP NO.
G-14

ADDITIONAL CASE NUMBER(S)
03DRB-00580
03DRB-00581



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE
PAGE 2**

Project # 1001413

03DRB-00593 Major-Vacation of Public Easements
03DRB-00594 Major-Vacation of Public Easements
03DRB-00591 Major-Preliminary Plat Approval
03DRB-00595 Minor-Sidewalk Waiver
03DRB-00596 Minor-Temp Deferral of Sidewalk

BOHANNAN HUSTON INC., AGENTS FOR SANDIA PROPERTIES LIMITED CO., request(s) the above action(s) for all or a portion of Tract(s) Y-1A-1A-3 and Y-1A-1A-4, Unit(s) 5 & 6, **PINON POINTE @ VENTANA RANCH**, zoned RLT, and located on the SOUTH SIDE OF IRVING BLVD NW between LAS VENTANAS RD NW and RAINBOW BLVD NW containing approximately 29 acre(s). [REF: 02DRB-00516 BLP, 02DRB-00517 PPA, 03DRB-00570 SK, 02DRB-00120 SK] (B-9)

Project # 1001543

03DRB-00588 Major-Vacation of Public Easements
03DRB-00589 Major-Vacation of Public Easements
03DRB-00587 Minor-Final Plat Approval

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for HOECH REAL ESTATE CORP., request(s) the above action(s) for Parcel 5, **DESERT RIDGE PLACE - UNIT 1**, zoned RD, located on VENTURA ST NE, between NORTH DOMINGO BACA ARROYO and HOLLY AVE NE containing approximately 3 acre(s). [REF: 02DRB-01121, 02DRB-01122 and 02DRB-01123] (C-20)

Project # 1002400

03DRB-00580 Major-Vacation of Public Easements
03DRB-00581 Minor-Final Plat Approval

ABQ ENGINEERING agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) west ½ of Lot(s) 4, 5 & 6, Block(s) 18, **MONKBRIDGE ADDITION**, zoned SU-2 special neighborhood zone, R-T, located on the NORTH SIDE OF CANDELARIA BLVD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: 03DRB-00094, 03DRB-00267, 03DRB-00256, 02DRB-01935] (G-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 21, 2003.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, May 7, 2003, beginning at 9:00 a.m.** for the purpose of considering the following:

Project # 1000419
03DRB-00590 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST NM 93-2 request(s) the above action(s) for all or a portion of Tract(s) 1B-1-A-1, 1B-1-B-1 and 1B-1-C-1, **RENAISSANCE CENTER**, zoned SU-1 for Auto Sales & C-1 uses, located on RENAISSANCE BLVD NE, between MONTANO RD NE and UNION WAY RD NE containing approximately 3 acre(s). [REF: 02DRB-00165, 02DRB-00164, 02AA-00814] (F-16)

Project # 1000788
03DRB-00582 Major-Two Year SIA
(Procedure B)

BOHANNAN HUSTON, INC. agent(s) for LONGFORD @ PARADISE SKIES, LP request(s) the above action(s) for all or a portion of Lot(s) ALL, **PARADISE SKIES, UNIT 8**, zoned SU-1 special use zone / R-T, located on the SOUTH SIDE OF MCMAHON BLVD NW, between ROCKCLIFF BLVD NW and MILKY WAY ST NW containing approximately 21 acre(s). [REF: 01DRB-00272 THRU 00274, 01DRB-01293, 02DRB-00227] (A-11)

Project # 1000633
03DRB-00592 Major-SiteDev Plan BldPermit

DEKKER/PERICH/SABATINI LTD agent(s) for NEW MEXICO EDUCATIONAL ASSISTANCE FOUNDATION request(s) the above action(s) for all or a portion of Lot(s) 9, Unit(s) 1, **JOURNAL CENTER 2**, zoned IP, located on TIBURON ST NE, between HANCOCK CT NE and MASTHEAD ST NE containing approximately 4 acre(s). (D-17)

Project # 1001334
03DRB-00584 Major-Preliminary Plat Approval
03DRB-00585 Minor-Temp Defer SDWK
03DRB-00586 Minor-Sidewalk Variance

MARK GOODWIN & ASSOCIATES PA agent(s) for C & W LAND DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 465 & a portion of 466, (to be known as **WESTBROOK HEIGHTS, UNIT 2**), TOWN OF ATRISCO GRANT - UNIT 7, zoned R-D (9DU/Ac), located on SAN YGNACIO RD SW, between UNSER BLVD SW and 82nd ST SW containing approximately 10 acre(s). [REF: 02DRB-01316] (L-10)

SEE PAGE 2...



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

3-6-2003

18. Project # 1002400
03DRB-00267 Minor-Temp Defer SDWK
03DRB-00256 Minor-Sidewalk Waiver

ABQ ENGINEERING INC agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 4 5 AND 6, **MONKBRIDGE ADDITION**, zoned SU-2 RT / RC, located on CANDELARIA BLVD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: 03DRB-00094] (G-14)


At the March 5, 2003, Development Review Board meeting, the temporary deferral of construction of sidewalks was approved for the front and side yards of the developable lots on the interior streets as shown on Exhibit C in the Planning file.

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by March 20, 2003, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Sheran Matson, AICP, DRB Chair

cc: Jay Rembe, 7620 Jefferson Blvd NE, 87109
ABQ Engineering Inc., 1631 Eubank NE, Suite C, 87112
Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg.
File



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1299 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002400

AGENDA ITEM NO: 18

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the subject request.

RESOLUTION:

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: March 5, 2003



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 5, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946 (VOICE) OR TELETYPEWRITER (TTY) 924-3361 - TTY USERS MAY ALSO ACCESS THE VOICE NUMBER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE BOARD SECRETARY MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. ADJOURNED: 12:12 P.M.
- B. Changes and/or Additions to the Agenda
- C. Announcements

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000376**
03DRB-00188 Major-Two Year SIA

TIERRA WEST LLC agent(s) for BUILDERS INVESTment COMPANY OF NM request(s) the above action(s) for all or a portion of Lot(s) 1-117, UNIT 1 AND Lots 1-35 UNIT 2, **PARADISE SKIES, UNITS 1 & 2**, zoned R-T residential zone, located SOUTH & WEST OF BANDELIER DR NW, between MC MAHON BLVD NW and UNSER BLVD NW containing approximately 29 acre(s). [REF:03DRB-00113, 00410-00391,00410-00908,02400-00034,DRB-94-107](A-11) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1000122**
03DRB-00184 Major-Vacation of Public Easements
03DRB-00185 Minor-Vacation of Private Easements
03DRB-00186 Minor-Extension of Preliminary Plat

KIM R. KEMPER agent(s) for HIGH LONESOME RANCH request(s) the above action(s) for all or a portion of Tract(s) 1A & 1C, **EDEN LANDS**, zoned RA-1 residential and agricultural zone, semi-urban area & SU-1, located on GABALDON RD NW, between MOUNTAIN RD NW and I-40 NW containing approximately 21 acre(s). [REF: 00DRB-00104, 01DRB-00097, 02DRB-00142 & 143, SV-99-7, DRB-98-146, Z-98-70] (H-12) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

3. **Project # 1000809**
03DRB-00169 Major-Vacation of Pub Right-of-Way

ALBUQUERQUE SURVEYING CO., INC agent(s) for JOHN SANCHEZ request(s) the above action(s) for **SUNSET FARM SUBDIVISION (UNITS 1 & 2)**, zoned R-1, located on SUNSET RD SW, between CENTRAL AVE SW and GONZALES RD SW containing approximately 4 acre(s). [REF: 00DRB-01295, 00DRB-01296, 00DRB-01297, 01DRB-01254, 01DRB-01255] [DEFERRED FROM 3/5/03] (K-12) **DEFERRED AT THE AGENT'S REQUEST TO 3/19/03.**

4. **Project # 1001226**
03DRB-00173 Major-Vacation of
Public Easements
03DRB-00174 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for VISTA DEL NORTE DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) C-1-A, **BERNARDO TRAILS UNIT 3 SUBDIVISION**, zoned R-2, located on BRIDLE WOOD RD NW, between LAS LOMITAS DR NW and AMAFCA NORTH DIVERSION CHANNEL containing approximately 1 acre(s). [REF: 01410 00605/01440 00606/607/0700] (D-16) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER, FOR GRADING AND DRAINAGE CERTIFICATION BY CITY ENGINEER AND PLANNING FOR THE DXF FILE.**

5. **Project # 1002245**
03DRB-00181 Major-Vacation of
Public Easements
03DRB-00182 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST, LTD. agent(s) for MARK ADDY request(s) the above action(s) for all or a portion of Tract(s) A-1, **4 HILLS VILLAGE SHOPPING CENTER & APARTMENT COMPLEX**, zoned SU-1 special use zone, PDA, RES. & COMM., located on CENTRAL AVE SE, between DORADO PL SE and TRAMWAY BLVD SE containing approximately 1 acre(s). [REF: ZA-80-52, ZA-82-70, 02DRB-01464, 02DRB-01907] (L-22) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE DXF FILE.**

6. **Project # 1001267**
03DRB-00021 Major-Preliminary Plat
Approval
03DRB-00022 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for KB HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 46-48, **DESERT PINE UNIT 4**, TOWN OF ATRISCO GRANT, zoned RD-9, located on SUNSET GARDENS SW, between EUCARIZ AVE SW and SUNSET GARDENS SW containing approximately 16 acre(s). [REF: 01DRB-01009, 01EPC-00728] [Deferred from 2/19/03 AND 3/5/03] (L-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/12/03.**

7. **Project # 1001376**
02DRB-01965 Major-Preliminary Plat
Approval
02DRB-01966 Major-Vacation of Pub
Right-of-Way
02DRB-01967 Minor-Sidewalk Waiver
02DRB-01968 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for MESA VERDE DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 8-25 & 10-23, Block(s) 3 & 4, Tract(s) 1, (to be known as **DESERT RIDGE TRAILS, NORTH**, NORTH ALBUQUERQUE ACRES, zoned R-D residential and related uses zone, developing area, 4 D/U per AC, located WEST OF WYOMING BLVD NE, between BEVERLY HILLS AVE NE and FLORENCE AVE NE containing approximately 32 acre(s). [REF: 02DRB-01363] [Deferred from 2/19/03 AND 3/5/03] (B-19) **DEFERRED AT THE AGENT'S REQUEST TO 3/12/03.**

8. **Project # 1002141**
02DRB-01230 Major-Vacation of Pub
Right-of-Way

TIERRA WEST, LLC agent(s) for PAUL SLONE request(s) the above action(s) for all or a portion of Lot(s) 24, Block(s) 2, **PUEBLO ALTO ADDITION**, zoned C-2 community commercial zone, located south of MARBLE AVE NE, between MANZANO ST NE and TRUMAN ST NE. [REF: DRB-99-193, 1001686,02-00489] [DEFERRED FROM 11/13/02, 12/4/02 & 2/12/03 & 2/26/03] (J-17) **WITHDRAWN AT THE AGENT'S REQUEST.**

9. **Project # 1002400**
03DRB-00094 Major-Preliminary Plat
Approval

ABQ ENGINEERING INC agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 5 and 6 and the westerly portion of Lot 4, Block(s) 18 MONKBRIDGE ADDITION, LOS CANDELARIAS SUBDIVISION, zoned SU-2/R-T/R-C, and located on the NORTH SIDE OF CANDELARIA RD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: ZA-86-17, 02DRB-01935 (SK)] [Deferred from 2/19/03 & 2/26/03] (G-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/5/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 2/19/03 THE PRELIMINARY PLAT WAS APPROVED.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. **Project # 1000651**
03DRB-00285 Minor-SiteDev Plan
BldPermit/EPC

LEE GAMELSKY ARCHITECTS agent(s) for TIJERAS PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) A29A, TOWN OF ATRISCO GRANT - NORTHEAST UNIT, zoned SU-1 PDA / C-1 uses & Office, located on REDLANDS BLVD NW, between COORS NW, containing approximately 4 acre(s). [REF: 02EPC-01672, 02EPC-01673] [Debbie Stover, EPC Case Planner] (G-11) **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR RECORDED AGREEMENT FOR SHARED SEWER.**

11. **Project # 1002331**
03DRB-00265 Minor-SiteDev Plan
Subd/EPC
03DRB-00263 Minor-SiteDev Plan
BldPermit/EPC

MASTERWORKS ARCHITECTS INC agent(s) for AMERICAN SOCIETY OF RADIOLOGIC TECHNOLOGISTS request(s) the above action(s) for all or a portion of Tract(s) A1, A2, A3, **CHANT PROPERTY ADDITION**, zoned SU-1 Industrial Development, located on CENTRAL AVE SE EAST OF CARMELLA DR SE, containing approximately 10 acre(s). [REF: 02EPC-01689, 02EPC-01686] [Deferred from 3/5/03] [Russell Brito, EPC Case Planner] (L-23) **DEFERRED AT THE AGENT'S REQUEST PENDING SUBMITTAL OF PRELIMINARY AND FINAL PLAT AND INFRASTRUCTURE LIST TO 3/19/03.**

12. **Project # 1002357**
03DRB-00287 Minor-SiteDev Plan
BldPermit/EPC

MASTERWORKS ARCHITECTS INC agent(s) for RNG LLC request(s) the above action(s) for all or a portion of Lot(s) 11, **NZ COMMERCIAL OFFICE CENTER**, zoned IP, located on RANDOLPH CT SE, between UNIVERSITY BLVD SE and YALE BLVD SE, containing approximately 2 acre(s). [REF: 02EPC-01767, Z-75-131-4] [Debbie Stover, EPC Case Planner] (M-15) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR REVISED UTILITY PLAN AND TO PLANNING FOR EPC STAFF APPROVAL.**

13. **Project # 1002325**
03DRB-00290 Minor-SiteDev Plan
BldPermit/EPC
03DRB-00291 Minor-Prelim&Final Plat
Approval

VAN H. GILBERT ARCHITECT agent(s) for ED GARCIA request(s) the above action(s) for all or a portion of Lot(s) 20 & 21, Block(s) 23, **EAST END ADDITION**, zoned SU-1 for Auto Sales & Storage, located on MARBLE AVE. NE, between LOMAS BLVD. NE and MARBLE AVE. NE containing approximately 1 acre(s). **[Juanita Vigil, EPC Case Planner] (J-19) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE DXF FILE.**

14. **Project # 1002326**
03DRB-00292 Minor-SiteDev Plan
BldPermit/EPC
03DRB-00294 Minor-Prelim&Final Plat
Approval

VAN H. GILBERT ARCHITECT agent(s) for ED GARCIA request(s) the above action(s) for all or a portion of Lot(s) 16-18, Block(s) 25, **EAST END ADDITION**, zoned SU-1 for Auto Sales & Storage, located on LOMAS BLVD NE and MARBLE NE containing approximately 1 acre(s). **[Juanita Vigil, EPC Case Planner] (J-19) THE SITE DEVELOPMENT PLAN WAS APPROVED AND SIGNED OFF BY THE BOARD. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE.**

15. **Project # 1001104**
03DRB-00288 Minor- SiteDev Plan
Subd
03DRB-00289 Minor-Prelim&Final Plat
Approval

RHOMBUS PA agent(s) for TOR & RAQUEL RASMUSSEN request(s) the above action(s) for all or a portion of Lot(s) 31 and 32, Block(s) 2, Tract(s) 3, Unit 3, **NORTH ALBUQUERQUE ACRES** (to be known as **OAKLAND MEADOWS SUBDIVISON**) zoned R-D, located on BARSTOW ST NE, between OAKLAND AVE NE and the **NORTHEAST CORNER OF THE INTERSECTION**, containing approximately 2 acre(s). **[REF: 01DRB-00312] [Deferred from 3/5/03] (C-20) DEFERRED AT THE AGENT'S REQUEST TO 3/26/03.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

16. **Project # 1000363**
03DRB-00251 Minor-Prelim&Final Plat
Approval
- BOHANNAN HUSTON, INC. agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Tract(s) I, **BALLOON FIESTA PARK**, zoned SU-2, located on ALAMEDA BLVD NE, between ALAMEDA BLVD NE and PASEO DEL NORTE NE containing approximately 83 acre(s).(C-17) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
17. **Project # 1001876**
03DRB-00296 Minor-Preliminary Plat
Approval
03DRB-00297 Minor-Subd Design
Variance
- SURV-TEK INC agent(s) for WILLIAM OSOFSKY request(s) the above action(s) for all or a portion of Tract(s) 323 and "A", MRGCD MAP 35, **ACEQUIA ESCONDIDA SUBDIVISION**, zoned R-1 residential zone, located on ASPEN AVE NW, NORTH OF ZEARING NW and WEST OF RIO GRANDE NW containing approximately 3 acre(s). [DEFERRED FROM 3/5/03] (H-13) **DEFERRED AT THE AGENT'S REQUEST TO 3/19/03.**

18. **Project # 1002400**
03DRB-00267 Minor-Temp Defer
SDWK
03DRB-00256 Minor-Sidewalk Waiver

ABQ ENGINEERING INC agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 4 5 AND 6, **MONKBRIDGE ADDITION**, zoned SU-2 RT / RC, located on CANDELARIA BLVD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: 03DRB-00094] (G-14) **THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONT AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

19. **Project # 1002497**
03DRB-00278 Minor-Prelim&Final Plat
Approval

CRAWFORD DEVELOPMENT agent(s) for COORS/CENTRAL LLC request(s) the above action(s) for all or a portion of Tract(s) C, **ATRISCO VILLAGE**, zoned C-2, located on COORS BLVD NW, between CENTRAL AVE NW and AVALON NW containing approximately 1 acre(s). (K-10) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER, FOR MAINTENANCE AND BENEFICIARIES OF PRIVATE EASEMENT, TO TRANSPORTATION DEVELOPMENT FOR A COPY OF ACCESS AGREEMENT AND TO PLANNING FOR A DXF FILE.**

20. **Project # 1002504**
03DRB-00298 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN, PA agent(s) for MOCHO, CHANEY, OLSON & MOCHO LLP request(s) the above action(s) for all or a portion of Lot(s) 7A1, Tract(s) A, Block(s) 4, Unit(s) B, **NORTH ALBUQUERQUE ACRES**, zoned IP, located on VENICE AVE. NE, between BEVERLY HILLS AVE NE and SAN MATEO NE containing approximately 3 acre(s). [REF: 00410-01540, #1000907, PROJECT #1002324 - Site Plans] [Deferred from 3/5/03] (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 3/19/03.**

21. **Project # 1000150**
03DRB-00284 Minor-Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for WESTLAND DEVELOPMENT CORP request(s) the above action(s) for all or a portion of Tract(s) A, **THE CROSSING - UNIT 2**, zoned SU-2 / R-LT, located WEST OF UNSER BLVD NW, between LADERA NW and 98TH ST NW containing approximately 14 acre(s). [REF: 02DRB-01877] [Deferred from 3/5/03] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/19/03.**

22. **Project # 1002369**
03DRB-00202 Minor-Prelim&Final Plat
Approval

RALPH CORRIZ request(s) the above action(s) for all or a portion of Tract(s) 224-C, MRGCD MAP # 35, LANDS OF CORRIZ, **SYMPHONY SUBDIVISION**, zoned R-1 residential zone, located EAST OF INDIAN SCHOOL RD NW, between RIO GRANDE BLVD NW and CAMPBELL DITCH NW containing approximately 1 acre(s). [REF: 02DRB-01812, 03DRB-00178] [Deferred from 2/19/03](H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/5/03 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED.**

**NO ACTION IS TAKEN ON THESE CASES:
IF APPLICANT IS NOT PRESENT, COMMENTS WILL BE FORWARDED**

23. **Project # 1002502**
03DRB-00293 Minor-Sketch Plat or
Plan
- MIKE RENFRO request(s) the above action(s) for all or a portion of Tract(s) 338A-1-B-1 (to be known as **HERRERA ADDITION**, MRGCD MAP 38, zoned R-1, located on HERRERA RD NW, between ATRISCO NW and 47TH ST NW containing approximately 2 acre(s). (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
24. **Project # 1002503**
03DRB-00295 Minor-Sketch Plat or
Plan
- WILSON & COMPANY, INC. agent(s) for VOLCANO CLIFFS PROPERTY OWNERS ASSOCIATION, request(s) the above action(s) for all or a portion of Lots 7 thru 9, inclusive, Block 10; Lots 8 thru 11, Inclusive, Block 11, Lots 1 and 8 thru 14, Inclusive, Block 12 and Lots 1 thru 3, inclusive, Block 14 all in **VOLCANO CLIFFS SUBDIVISION, UNIT 5, TOGETHER WITH**, Lots 1 thru 12, inclusive, Block 1, Lots 1 thru 10, inclusive, Block 2, Lots 1 thru 12, Block 3; Lots 1 thru 15, Block 4 and Lots 13 thru 20, inclusive, Block 5, all in **VOLCANO CLIFFS SUBDIVISION UNIT 24**, zoned R-1, located on 81st ST NW, between UNSER BLVD NW and MARIGOLD DR NW containing approximately 41 acre(s).(D-10/E-10) **COMMENTS WERE RECEIVED BY THE AGENT.**
25. Approval of the Development Review Board Minutes for February 19, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

Other Matters: **A NEW REQUIREMENT WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD STATING THAT: EFFECTIVE MARCH 12, 2003, THE APPLICANT/AGENT MUST BE PRESENT FOR THE SKETCH PLAT REVIEW AND COMMENT CASES.**

ADJOURNED: 12:12 P.M.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

3-6-2003

9. Project # 1002400
03DRB-00094 Major-Preliminary Plat Approval

ABQ ENGINEERING INC agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 5 and 6 and the westerly portion of Lot 4, Block(s) 18 MONKBRIDGE ADDITION, **LOS CANDELARIAS SUBDIVISION**, zoned SU-2/R-T/R-C, and located on the NORTH SIDE OF CANDELARIA RD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: ZA-86-17, 02DRB-01935 (SK)] [Deferred from 2/19/03 & 2/26/03] (G-14)

At the March 5, 2003, Development Review Board meeting, with the signing of the infrastructure list dated 3/5/03 and approval of the grading plan engineer stamp dated 2/19/03 the Preliminary Plat was approved.

If you wish to appeal this decision, you must do so by March 20, 2003, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)


Sheran Matson, AICP, DRB Chair

cc: Jay Rembe, 7620 Jefferson Blvd NE, 87109
ABQ Engineering Inc., 1631 Eubank NE, Suite C, 87112
Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002400 AGENDA#: 9 DATE: 3.5.03

1. Name: Martine Garcia Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
 CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
 PUBLIC WORKS DEPARTMENT
 DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002400

AGENDA ITEM NO: 9

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report dated 2-19-03 is on file for Preliminary Plat approval.

RESOLUTION: *signed I.L.*

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: March 5, 2003

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board Comments
3/5/03**

Item # 18

Project # 1002400

Application # 03DRB-00267 & 00256

Subject Monkbridge Addition, Lots 4, 5 & 6

No objection to the requested actions.



Sheran Matson, AICP

DRB Chairperson

924-3880 Fax: 924-3864

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002400 AGENDA#: 9 DATE: 2.26.03

1. Name: Martine Gasser Address: _____ Zip: _____

2. Name: Willy Calant Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002400

AGENDA ITEM NO: 9

SUBJECT:

- | | | |
|------------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report dated 2-19-03 is on file for Preliminary Plat approval.
 Comments on preliminary plat.

RESOLUTION:

3-5-03

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: February 26, 2003

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002400 AGENDA#: 7 DATE: 2.19.03

1. Name: Polly Neville Address: 913 Candelaria NW Zip: 87107

2. Name: Jean McDougall Address: 4520 Granite Dr NW Zip: 87107

3. Name: Cathleen Wilde Address: 412 Candelaria Cir NW Zip: 87107

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

North Valley Coalition
2739 Rio Grande NW
Albuquerque, NM 87104

February 13, 2003

Ms. Sheran Matson
Chairwoman
Development Review Board
600 Second Street NW
Albuquerque, NM 87102

RE: Los Candelarias Subdivision – Project No. 1002400

Dear Ms. Matson:

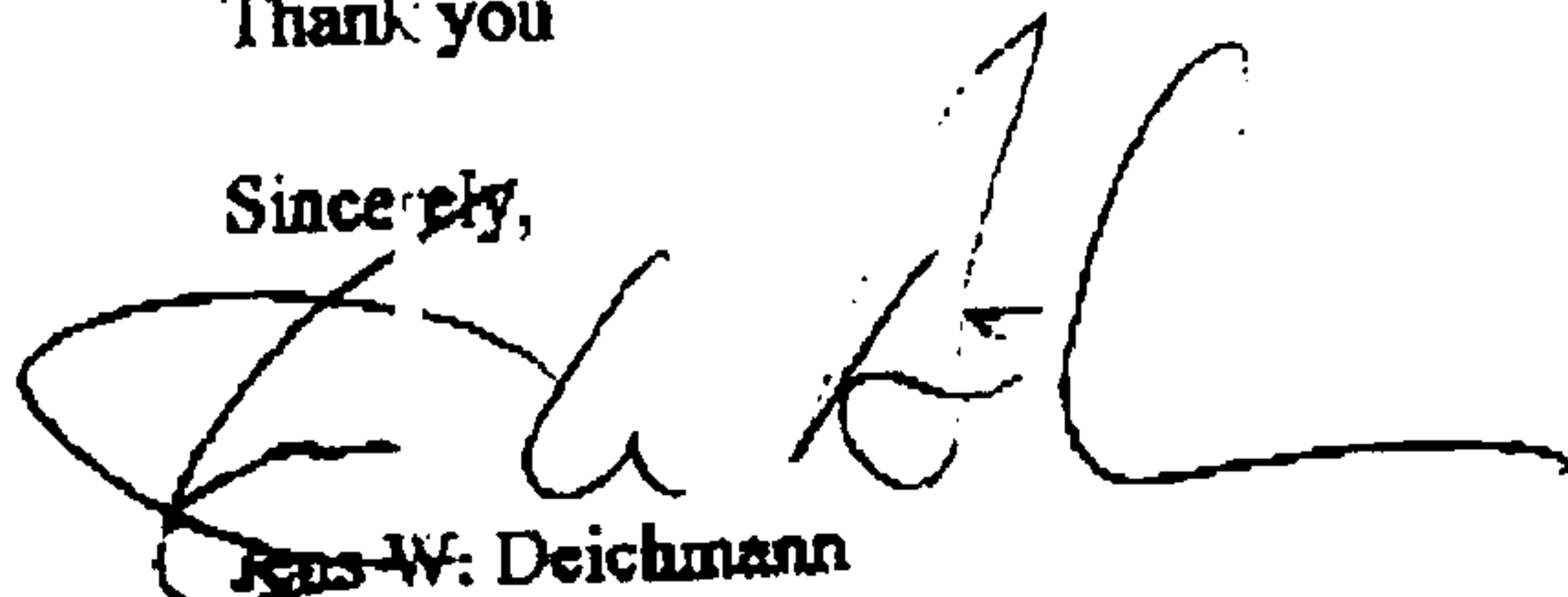
The North Valley Coalition has worked for the past five years with the local community, Councilor Griego, the City Planning Department and our legislators to redevelop the area around 12th and Candelaria. The strategy was to develop a master plan that included appropriate zoning and land uses, designate the area as a Metropolitan Redevelopment Area, get buy-in from the residents and business owners, and invest public money to create an environment that would attract private investment. With the hard work of all the parties involved, and now with the referenced project, we have achieved our early goals for the Los Candelarias Village Center.

Mr. Calott and his partners in this project have met with the North Valley Coalition Board and with the Village Center Working Group to present their plans. They have engaged the groups in useful discussions, answered questions and concerns and I believe satisfied most if not all those concerns.

We are excited about this development and look forward to having it part of our redevelopment efforts. Please call me if I can answer any questions you might have. I can be reached at 855-7404.

Thank you

Sincerely,



Jens W. Deichmann
President



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002400

AGENDA ITEM NO: 7

SUBJECT:

- | | | |
|------------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.
 An approved infrastructure list is required for Preliminary Plat approval.

RESOLUTION:

2-26-03

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: February 19, 2003



E

City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1002400
Application Number: 03DRB-00094

DRB Date: 2/19/03
Item Number: 7

Subdivision: Los Candelarias Subdivision
Lot 4, block 18 Monkbridge Addition

Zoning: SU-2/R-T/R-C

Zone Page: G-14

New Lots (or units) : 36

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

This request has no park dedication requirement per the City Park Dedication and Development Ordinance. The ordinance states "All neighborhood park requirements for residential development in Urban Centers and Redevelopment Plan areas shall be controlled by Sector Development Plans or by development plans and not this article." The Los Candelarias Village Center & Metropolitan Redevelopment Plan does not have neighborhood park dedication requirements, due to this no park dedication is required.

Signed: CS
Christina Sandoval, (PRD)

Phone: 768-5328



**DEVELOPMENT REVIEW BOARD
AGENDA**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 19, 2003 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946 (VOICE) OR TELETYPEWRITER (TTY) 924-3361 - TTY USERS MAY ALSO ACCESS THE VOICE NUMBER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE BOARD SECRETARY MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m. Adjourned: 11:57 a.m.
- B. Changes and/or Additions to the Agenda
- C. Announcements

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1000376**
03DRB-00113 Major-Two Year SIA

WITHDRAWN AT AGENT'S REQUEST

BOHANNAN HUSTON, INC. agent(s) for BUILDERS INVESTMENT CO. OF NM request(s) the above action(s) for all or a portion of Lot(s) ALL, **PARADISE SKIES, UNITS 1 & 2**, zoned R-T residential zone, located SOUTH OF MCMAHON BLVD NW, between UNSER BLVD NW and VIRGO ST NW. [REF: 02DRB-00034, 00DRB-00908, 00DRB-00380] (A-11)
WITHDRAWN AT AGENT'S REQUEST

2. **Project # 1000444**
03DRB-00102 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for CENTEX HOMES request(s) the above action(s) for **STONEBRIDGE SUBDIVISION, UNIT 4**, zoned R-1, located SOUTH OF WESTSIDE BLVD NW, between STONEBRIDGE NW and STONEBROOK NW containing approximately 16 acre(s). [REF: 01DRB-00826] (A-12) **A SIX-MONTH EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1001232**
03DRB-00095 Major-Two Year SIA

TIERRA WEST, LLC agent(s) for VISTA MANAGEMENT HOME COMMUNITY, LP request(s) the above action(s) for all or a portion of Tract(s) 28A1, **VISTA SUBDIVISION**, zoned SU-1/MP special use zone, located on the WEST SIDE OF 94TH ST SW, between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 25 acre(s). [REF: DRB-94-621, DRB-85-298, Z-79-40, 02DRB-00672] (L-9) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED. THIS WILL BE THE LAST EXTENSION.**

4. **Project # 1000503**
03DRB-00119 Major-Vacation of Public Easements

ISAACSON & ARFMAN, PA agent(s) for BOYHAHN, LLC request(s) the above action(s) for all or a portion of Lot(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC), located on EAGLE CREST AVE. NE, between EAGLE VISTA DR NE and EAGLE LAUNCH DR NE containing approximately 1 acre(s). [REF: 00410-00607, 02DRB-01267] (C-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1000159**
03DRB-00120 Major-Vacation of Public Easements

ISAACSON & ARFMAN agent(s) for BOYHAHN LLC request(s) the above action(s) for all or a portion of Tract(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC) located on EAGLE VIEW AVE NE between VISTAS DR NE and SOARING EAGLE DR NE containing approximately 1 acre(s). [REF: DRB-99-53] (C-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

6. **Project # 1000485**
03DRB-00116 Major-Vacation of Public Easements

MARK GOODWIN & ASSOCIATES PA, agent(s) for AMERICAN SOUTHWEST HOMES request(s) the above action(s) for all or a portion of Tract(s) C, **ENCANTO VILLAGE - UNIT 3**, zoned R-D (9 DU/AC) located on EUCARIZ AVE SW, between UNSER BLVD SW and STINSON ST SW containing approximately 17 acre(s). [REF: 02DRB-01171, 02-DRB-01172, DRB-98-176] (L-10) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

7. **Project # 1002400**
03DRB-00094 Major-Preliminary Plat Approval

ABQ ENGINEERING INC agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 5 and 6 and the westerly portion of Lot 4, Block(s) 18 **MONKBRIDGE ADDITION, LOS CANDELARIAS SUBDIVISION**, zoned SU-2/R-T/R-C, and located on the NORTH SIDE OF CANDELARIA RD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: ZA-86-17, 02DRB-01935 (SK)] [Deferred from 2/19/03] (G-14) **DEFERRED AT THE AGENT'S REQUEST TO 2/26/03.**

8. **Project # 1001267**
03DRB-00021 Major-Preliminary Plat
Approval
03DRB-00022 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for KB HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 46-48, **DESERT PINE UNIT 4**, TOWN OF ATRISCO GRANT, zoned RD-9, located on SUNSET GARDENS SW, between EUCARIZ AVE SW and SUNSET GARDENS SW containing approximately 16 acre(s). [REF: 01DRB-01009, 01EPC-00728] [Deferred from 2/19/03] (L-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/5/03.**

9. **Project # 1001376**
02DRB-01965 Major-Preliminary Plat
Approval
02DRB-01966 Major-Vacation of Pub Right-
of-Way
02DRB-01967 Minor-Sidewalk Waiver
02DRB-01968 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for MESA VERDE DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 8-25 & 10-23, Block(s) 3 & 4, Tract(s) 1, (to be known as **DESERT RIDGE TRAILS, NORTH**, NORTH ALBUQUERQUE ACRES, zoned R-D residential and related uses zone, developing area, 4 D/U per AC, located WEST OF WYOMING BLVD NE, between BEVERLY HILLS AVE NE and FLORENCE AVE NE containing approximately 32 acre(s). [REF: 02DRB-01363] [Deferred from 2/19/03] (B-19) **DEFERRED AT THE AGENT'S REQUEST TO 3/5/03.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. **Project # 1002332**
03DRB-00179 Minor-SiteDev Plan
BldPermit/EPC
- HEWITT ENGINEERING & ENVIRONMENTAL CONSULTANTS agent(s) for DON KEITH request(s) the above action(s) for all or a portion of Tract(s) 75, Unit 6, Town of Atrisco Grant (to be known as **KEITH APARTMENTS**, zoned SU-1 for Apts, located on 59TH ST SW, between 57TH ST SW and 61ST ST SW containing approximately 1 acre(s). [REF: 02EPC-01690, 02EPC-01692, 02EPC-01694] [Makita Hill, EPC Case Planner] (K-11) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS, FOR PARK DEDICATION REQUIREMENT AND TRANSPORTATION DEVELOPMENT FOR ADEQUATE VISIBILITY AND HANDICAP ASSESSABLE DRIVE PADS.**
11. **Project # 1002329**
03DRB-00200 Minor-SiteDev Plan
BldPermit/EPC
- R. D. HABIGER & ASSOCIATES agent(s) for ST. STEPHEN'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Tract(s) SS-1, **ST. STEPHENS UNITED METHODIST CHURCH**, zoned SU-1 special use zone, for Church & Related Facilities, located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and OSUNA RD NE containing approximately 5 acre(s). [REF: Z-93-88, DRB-93-328, 02EPC-01682] [Makita Hill, EPC Case Planner] (F-21) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA. THIS INCLUDES APPROVAL OF THE INFRASTRUCTURE LIST DATED 2/19/03.**

12. **Project # 1001676**
03DRB-00208 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST, LLC agent(s) for SIMPSON HOUSING I NC. request(s) the above action(s) for all or a portion of Tract(s) 3A, **RIVERPOINT SUBDIVISION**, SAN MIGUEL APARTMENTS, PHASE III, zoned SU-1 for PDA, located on COORS BLVD NW, between COORS BLVD NW and SOUTH OF PASEO DEL NORTE NW containing approximately 3 acre(s). [REF:01EPC-01872] [Juanita Vigil, EPC Case Planner](C-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR OPEN SPACE REQUIREMENT AND PARK DEDICATION REQUIREMENT.**

13. **Project # 1001569**
03DRB-00205 Minor-SiteDev Plan
BldPermit/EPC
03DRB-00206 Minor-SiteDev Plan
Subd/EPC

TIERRA WEST LLC agent(s) for CHANT ASSOCIATES request(s) the above action(s) for all or a portion of Lot(s) 1 & 6, **JEFFERSON COMMONS II**, zoned IP, located on JEFFERSON ST NE, between SINGER BLVD NE and I-25 FRONTAGE ROAD containing approximately 3 acre(s). [REF: Z-97-20, 01128 01565/01566] [Debbie Stover, EPC Case Planner] (F-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND A NOTE REGARDING CROSS ACCESS EASEMENT AND UTILITIES DEVELOPMENT FOR A REVISED UTILITY PLAN. THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. THIS INCLUDES APPROVAL OF THE INFRASTRUCTURE LIST DATED 2/19/03.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

14. **Project # 1002033**
03DRB-00189 Minor-Ext of SIA for Temp
Defer SDWK

YVONNE SCARAFIOTTI request(s) the above action(s) for all or a portion of Lot(s) 3 & 10-16, Tract(s) 3, Unit 2, **SANDIA GLOW SUBDIVISION**, zoned RD, located on SANDIA GLOW CT NE, between EUBANK BLVD NE and WYOMING BLVD NE containing approximately 4 acre(s). [REF: DRB-97-76] (D-21) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

Project # 1002033
03DRB-00201 Minor-Vacation of Private
Easements
03DRB-00203 Minor-Prelim&Final Plat
Approval

HARRIS SURVEYING INC agent(s) for BEALHEN CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 2A-18A, **SANDIA GLOW SUBDIVISION**, zoned R-D, located on SANDIA GLOW CT NE, between CORONADO AVE NE and KOVAK RD NE containing approximately 3 acre(s). [REF: 02DRB-01655, 02DRB-00935, V-97-138, S-99-39, SD-89-2] [DEFERRED FROM 2/19/03] (D-21) **DEFERRED AT THE AGENT'S REQUEST TO 2/26/03.**

15. **Project # 1002369**
03DRB-00202 Minor-Prelim&Final Plat
Approval

RALPH CORRIZ request(s) the above action(s) for all or a portion of Tract(s) 224-C, MRGCD MAP # 35, LANDS OF CORRIZ, **SYMPHONY SUBDIVISION**, zoned R-1 residential zone, located EAST OF INDIAN SCHOOL RD NW, between RIO GRANDE BLVD NW and CAMPBELL DITCH NW containing approximately 1 acre(s). [REF: 02DRB-01812, 03DRB-00178] [Deferred from 2/19/03] (H-13) **DEFERRED AT THE AGENT'S REQUEST TO 3/5/03.**

**NO ACTION IS TAKEN ON THESE CASES:
IF APPLICANT IS NOT PRESENT, COMMENTS WILL BE FORWARDED**

16. **Project # 1002471**
03DRB-00198 Minor-Sketch Plat or Plan
- WAYJOHN SURVEYING INC agent(s) for COE PROPERTIES INC (STEVE COE) request(s) the above action(s) for all or a portion of Tract(s) 90B (to be known as **LANDS OF COE/BOMBACH (LOTS 1 & 2)**, MRGCD MAP 39, zoned R-1, located on ATRISCO DR SW, between GONZALES RD SW and SUNSET GARDENS RD SW containing approximately 1 acre(s). [REF: Z-70-104, AX-70-27] (K-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
17. **Project # 1002472**
03DRB-00204 Minor-Sketch Plat or Plan
- THE GROUP agent(s) for ADIL RIZI request(s) the above action(s) for all or a portion of Lot(s) 17 & 18, Block(s) 13, Tract(s) 2 (to be known as **COURTYARDS @ ALAMEDA**) NORTH ALBUQUERQUE ACRES UNIT 3, zoned R-D, located on BARSTOW ST NE, between ALAMEDA BLVD NE and OAKLAND NE containing approximately 2 acre(s). (C-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
18. **Project # 1002473**
03DRB-00207 Minor-Sketch Plat or Plan
- TIERRA WEST LLC agent(s) for D. R. HORTON BUILDERS request(s) the above action(s) for all or a portion of Lot(s) 9-20, Block(s) 5, Tract 3. Unit 3, (to be known as **DESERT VISTA SUBDIVISION**, NORTH ALBUQUERQUE ACRES, zoned R-D /5DUA, located on SIGNAL AVE NE, between VENTURA ST NE and MENDOCINO DR NE containing approximately 11 acre(s). (C-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. Approval of the Development Review Board minutes for February 5, 2003. **THE MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

20.

Other Matters: NONE

ADJOURNED: 11:57 A.M.



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
LAND DEVELOPMENT COORD. DIV.

DEVELOPMENT REVIEW BOARD
February 19, 2003
Project # 1002400

Project # 1002400
03DRB-00094 Major-Preliminary Plat Approval

ABQ ENGINEERING INC agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 5 and 6 and the westerly portion of Lot 4, Block(s) 18 MONKBRIDGE ADDITION, **LOS CANDELARIAS SUBDIVISION**, zoned SU-2/R-T/R-C, and located on the NORTH SIDE OF CANDELARIA RD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: ZA-86-17, 02DRB-01935 (SK)] (G-14)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No comments received.
Zoning Enforcement	Reviewed, no comment.
Neighborhood Coor.	

No comments received. If you have questions, contact Don Newton, 924-3906.

APS

This will affect La Luz Elementary School, Garfield Middle School, and Valley High School. The APS school facilities in the area should be able to accommodate any students potentially generated by the development. Should these schools become too overcrowded, boundary changes, alternative schedules, transportation to less crowded schools, and/or combinations of the above strategies may be employed to relieve schools.

Police Department

A review of following case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Traffic control devices, traffic volume, lighting issues, maintenance of landscaping, adequate security.

Fire Department

All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Gas

Approves.

PNM Electric

Approves.

Comcast

No comments received.

QWEST

No comments received.

Environmental Health

Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D.

Houses within the Los Candelarias Subdivision are proposed on top of the Rossiter Drain which is in a concrete pipe. Prior to final plat approval the Developer must coordinate with the District to prevent damage to the Rossiter Drain pipe.

Open Space Division

No adverse comments.

City Engineer

An approved drainage report is required for Preliminary Plat approval. Comments on Infrastructure List

Transportation Development

Curb returns are needed at the entrance. Are streets public or private? If private, provide a queuing analysis for gate and lots should extend to center of the street. Comments on the infrastructure list. Demonstrate adequate visibility at entrance. Maintenance and beneficiaries for all private access easements.

Parks & Recreation

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 36 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

Utilities Development

Easement layout for water line looping is not acceptable. Public water and sewer lines must be extended in easement to serve lots 8, 9, & 10.

Planning Department

No objection to the plat. Lots meet minimum RT square footage & lot width. Subdivision is within the Los Candelarias Village Center & Metropolitan Redevelopment Plan area.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: Jay Rembe, 7620 Jefferson NE, 87109

ABQ Engineering Inc., 1631 Eubank NE, Suite #C, 87112



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1000485
03DRB-00116 Major-Vacation of Public
Easements

MARK GOODWIN & ASSOCIATES PA, agent(s) for AMERICAN SOUTHWEST HOMES request(s) the above action(s) for all or a portion of Tract(s) C, **ENCANTO VILLAGE - UNIT 3**, zoned R-D (9 DU/AC] located on EUCARIZ AVE SW, between UNSER BLVD SW and STINSON ST SW containing approximately 17 acre(s). [REF: 02DRB-01171, 02-DRB-01172, DRB-98-176] (L-10)

Project # 1002400
03DRB-00094 Major-Preliminary Plat Approval

ABQ ENGINEERING INC agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 5 and 6 and the westerly portion of Lot 4, Block(s) 18 MONKBRIDGE ADDITION, **LOS CANDELARIAS SUBDIVISION**, zoned SU-2/R-T/R-C, and located on the NORTH SIDE OF CANDELARIA RD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: ZA-86-17, 02DRB-01935 (SK)] (G-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, FEBRUARY 3, 2003.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, February 19, 2003, beginning at 9:00 a.m.** for the purpose of considering the following:

Project # 1000376

03DRB-00113 Major-Two Year SIA

BOHANNAN HUSTON, INC. agent(s) for BUILDERS INVESTMENT CO. OF NM request(s) the above action(s) for all or a portion of Lot(s) ALL, **PARADISE SKIES, UNITS 1 & 2**, zoned R-T residential zone, located SOUTH OF MCMAHON BLVD NW, between UNSER BLVD NW and VIRGO ST NW. [REF: 02DRB-00034, 00DRB-00908, 00DRB-00380] (A-11)

Project # 1000444

03DRB-00102 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for CENTEX HOMES request(s) the above action(s) for **STONEBRIDGE SUBDIVISION, UNIT 4**, zoned R-1, located SOUTH OF WESTSIDE BLVD NW, between STONEBRIDGE NW and STONEBROOK NW containing approximately 16 acre(s). [REF: 01DRB-00826] (A-12)

Project # 1001232

03DRB-00095 Major-Two Year SIA

TIERRA WEST, LLC agent(s) for VISTA MANAGEMENT HOME COMMUNITY, LP request(s) the above action(s) for all or a portion of Tract(s) 28A1, **VISTA SUBDIVISION**, zoned SU-1/MP special use zone, located on the WEST SIDE OF 94TH ST SW, between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 25 acre(s). [REF: DRB-94-621, DRB-85-298, Z-79-40, 02DRB-00672] (L-9)

Project # 1000503

03DRB-00119 Major-Vacation of Public Easements

ISAACSON & ARFMAN, PA agent(s) for BOYHAHN, LLC request(s) the above action(s) for all or a portion of Lot(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC), located on EAGLE CREST AVE. NE, between EAGLE VISTA DR NE and EAGLE LAUNCH DR NE containing approximately 1 acre(s). [REF: 00410-00607, 02DRB-01267] (C-19)

Project # 1000159

03DRB-00120 Major-Vacation of Public Easements

ISAACSON & ARFMAN agent(s) for BOYHAHN LLC request(s) the above action(s) for all or a portion of Tract(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC) located on EAGLE VIEW AVE NE between VISTAS DR NE and SOARING EAGLE DR NE containing approximately 1 acre(s). [REF: DRB-99-53] (C-19)

SEE PAGE 2...

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT - DEVELOPMENT SERVICES DIVISION
PROPERTY OWNERSHIP LIST

318

Meeting Date: 2-19-03

Zone Atlas Page: B-14-2

Notification Radius: 100 Ft.

App# <u>13DRB-00094</u>
Proj# <u>1002400</u>
Other#

Cross Reference and Location:

Applicant: Jay Rembe ✓

Address: 7620 Jefferson NE, 87109

Agent: ABQ Engineering, Inc. ✓

Address: 1131 Eubank NE, Ste # C, 87112

SPECIAL INSTRUCTIONS

Notices Must be mailed from the
City 15 days prior to the meeting.

Date Mailed: 1-30-03

Signature: K. Seshlikai

RECORDS WITH BELLS

PAGE 1

101406016424331467 LEGAL: LTS 9 & 10 BLK L MONKBRIDGE GARDENS CONT 14,000 SQ LAND USE:
 PROPERTY ADDR: 00000 934 ALTA MONTE AVE NW
 OWNER NAME: PADILLA DAVID G
 OWNER ADDR: 00934 ALTA MONTE AV NW ALBUQUERQUE NM 87105

101406017124031480 LEGAL: LOT 8 BL K L MONKBRIDGE GARDENS ADDN CONT 0.1600 AC LAND USE:
 PROPERTY ADDR: 00000 930 ALTAMONTE NW
 OWNER NAME: TORRES LEROY J
 OWNER ADDR: 00930 ALTAMONTE AV NW ALBUQUERQUE NM 87107

101406017623931466 LEGAL: LOT 7 BL K L MONKBRIDGE GARDENS ADDN CONT 0.1600 AC LAND USE:
 PROPERTY ADDR: 00000 926 ALTA MONTE AVE NW
 OWNER NAME: MARTINEZ AUDREY
 OWNER ADDR: 00926 ALTA MONTE NW ALBUQUERQUE NM 87107

101406018123731465 LEGAL: LOT 6 BL K L MONKBRIDGE GARDENS CONT 7,000 SQ FT +- LAND USE:
 PROPERTY ADDR: 00000 922 ALTA MONTE AVE NW
 OWNER NAME: MONTIEL LOUIS S ETUX
 OWNER ADDR: 00922 ALTA MONTE AV NW ALBUQUERQUE NM 87107

101406018523631464 LEGAL: LOT 5 BL K L MONKBRIDGE GARDENS CONT 7,000 SQ FT +- LAND USE:
 PROPERTY ADDR: 00000 918 ALTA MONTE AVE NW
 OWNER NAME: PADILLA VERONICA D
 OWNER ADDR: 00918 ALTA MONTE AV NW ALBUQUERQUE NM 87107

101406019023531463 LEGAL: LOT 4 BL K L MONKBRIDGE GARDENS CONT 7,000 SQ FT +- LAND USE:
 PROPERTY ADDR: 00000 912 ALTA MONTE AVE NW
 OWNER NAME: LAREDO RICHARD
 OWNER ADDR: 00912 ALTA MONTE AV NW ALBUQUERQUE NM 87107

101406015623031423 LEGAL: LOT 9 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE:
 PROPERTY ADDR: 00000 3733 OTRA VEZ CT NW
 OWNER NAME: LONGENBAUGH DWAYNE & MARJORIE
 OWNER ADDR: 03733 OTRA VEZ CT NW ALBUQUERQUE NM 87107

101406019423431462 LEGAL: LOT 3 BL K L MONKBRIDGE GARDENS CONT 7,000 SQ FT +- LAND USE:
 PROPERTY ADDR: 00000 910 ALTA MONTE AVE NW
 OWNER NAME: HERRING LOUIS
 OWNER ADDR: 00910 ALTA MONTE AV NW ALBUQUERQUE NM 87107

101406016122931422 LEGAL: LT 1 0 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE:
 PROPERTY ADDR: 00000 3732 OTRA VEZ CT NW
 OWNER NAME: FRANITS RICHARD D & JACQUERLIN
 OWNER ADDR: 03732 OTRA VES CT NW ALBUQUERQUE NM 87107

101406020023231461 LEGAL: LOT 2 BL K L MONKBRIDGE GARDENS CONT 7,000 SQ FT +- LAND USE:
 PROPERTY ADDR: 00000 908 ALTA MONTE AVE NW
 OWNER NAME: BLAINE GEORGE A ETAL
 OWNER ADDR: 01937 CANDELARIA RD NW ALBUQUERQUE NM 87107

101406016522731421 LEGAL: LT 1 1 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE:
 PROPERTY ADDR: 00000 3728 OTRA VEZ CT NW
 OWNER NAME: RALSTON ARON L
 OWNER ADDR: 03728 OTRA VEZ CT NW ALBUQUERQUE NM 87107

RECORDS WITH LABELS

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101406020423031460 LEGAL: LOT 1 BL K L MONKBRIDGE GARDENS CONT 7,000 SQ FT +- LAND USE:
 PROPERTY ADDR: 00000 906 ALTA MONTE NW
 OWNER NAME: MARTINEZ MARIA T & DANNY K
 OWNER ADDR: 00106 CAMINO CUATRO SW ALBUQUERQUE NM 87105

101406022223031456 LEGAL: LT 4 HUR LEY REPLAT OF TRS "B" & "C" OF BLOCK 11 MO LAND USE:
 PROPERTY ADDR: 00000 3809 ALTA MONTE PL NW
 OWNER NAME: JURADO ERASMO & VERONICA
 OWNER ADDR: 03809 ALTA MONTE PL NW ALBUQUERQUE NM 87107

101406021023131499 LEGAL: MRGC D MA P # 33 TRACT 110 (AKA VACATED 60 FT PORTIO LAND USE:
 PROPERTY ADDR: 00000
 OWNER NAME: MARTINEZ DANNY K. & MARIA T.
 OWNER ADDR: 00106 CAMINO CUATRO SW ALBUQUERQUE NM 87105

101406018320831415 LEGAL: LTS 5 & 6 BLK 18 MONKBRIDGE GARDENS CONT 3.6731 AC LAND USE:
 PROPERTY ADDR: 00000 901 CANDELARIA RD NW
 OWNER NAME: NATIONSBANK AS TRUSTEE WILLIAM
 OWNER ADDR: 00000 DALLAS TX 75283

101406022022531455 LEGAL: LT 5 HUR LEY REPLAT OF TRS "B" & "C" OF BLOCK 11 MO LAND USE:
 PROPERTY ADDR: 00000 3807 ALTA MONTE PL NW
 OWNER NAME: CHAVEZ PAUL
 OWNER ADDR: 03807 ALTA MONTE PL NW ALBUQUERQUE NM 87107

101406016521831420 LEGAL: LOT 12A OTRA VEZ SUBD BEING A REPL OF LTS 12 & 13 LAND USE:
 PROPERTY ADDR: 00000 3716 OTRA VEZ CT NW
 OWNER NAME: BURKHEAD JACK E & CHARLOTTE E
 OWNER ADDR: 03716 OTRA VEZ NW ALBUQUERQUE NM 87107

101406015121931426 LEGAL: LOT 6 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE:
 PROPERTY ADDR: 00000 3717 OTRA VEZ CT NW
 OWNER NAME: BACA MARCELLA O
 OWNER ADDR: 03721 OTRA VEZ CT NW ALBUQUERQUE NM 87107

101406021822031454 LEGAL: LOT 6 HY RLEY REPLAT OF TRS B & C BLK 11 MONKBRIDGE LAND USE:
 PROPERTY ADDR: 00000 3801 ALTA MONTE PL NW
 OWNER NAME: LINDA CHAVEZ S
 OWNER ADDR: 03801 ALTA MONTE PL NW ALBUQUERQUE NM 87107

101406015221531427 LEGAL: LOT 5 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE:
 PROPERTY ADDR: 00000 3717 OTRA VEZ CT NW
 OWNER NAME: MASSEY PAGE R
 OWNER ADDR: 03717 OTRA VEZ CT NW ALBUQUERQUE NM 87107

101406020820031414 LEGAL: LOT 4 BL K 18 MONKBRIDGE GARDENS EXC ELY 100 FT CON LAND USE:
 PROPERTY ADDR: 00000 729 CANDELARIA RD NW
 OWNER NAME: NATIONSBANK AS TRUSTEE WILLIAM
 OWNER ADDR: 00000 DALLAS TX 75283

101406015221231428 LEGAL: LOT 4 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE:
 PROPERTY ADDR: 00000 3715 OTRA VEZ CT NW
 OWNER NAME: OROZCO DOMINIC & CHRISTINE
 OWNER ADDR: 03715 OTRA VEZ CT NW ALBUQUERQUE NM 87107

RECORDS WITH LABEL

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101406016320931418	LEGAL: LT 1 4 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE: PROPERTY ADDR: 00000 3708 OTRA VEZ CT NW OWNER NAME: LUCERO LOUELLA C OWNER ADDR: 03708 OTRA VEZ	CT NW ALBUQUERQUE	NM 87107
101406021921131413	LEGAL: LOT 1 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3749 CUERVO CT NW OWNER NAME: PENCE LUCRETIA E OWNER ADDR: 03749 CUERVO	CT NE ALBUQUERQUE	NM 87107
101406015120831429	LEGAL: LOT 3 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE: PROPERTY ADDR: 00000 3709 OTRA VEZ CT NW OWNER NAME: HUNT BEVERLY A OWNER ADDR: 03709 OTRA VEZ	CT NW ALBUQUERQUE	NM 87107
101406022421231088	LEGAL: * 11 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 1 LAND USE: PROPERTY ADDR: 00000 717 L CANDELARIA RD NW OWNER NAME: WOLFE PRISCILLA J OWNER ADDR: 00717 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406021920831412	LEGAL: LOT 2 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3745 CUERVO CT NW OWNER NAME: ROESSLER KEITH OWNER ADDR: 09595 THUNDERBIRD	RD SCOTTSDALE	AZ 85260
101406015120531430	LEGAL: LOT 2 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE: PROPERTY ADDR: 00000 3705 OTRA VEZ CT NW OWNER NAME: MONTGOMERY ANDREW OWNER ADDR: 03705 OTRA VEZ	ALBUQUERQUE	NM 87107
101406016220531417	LEGAL: LT 1 5 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE: PROPERTY ADDR: 00000 3704 OTRA VEZ CT NW OWNER NAME: NEVAREZ ANTONIA R OWNER ADDR: 03704 OTRA VEZ	CT NW ALBUQUERQUE	NM 87107
101406021820531411	LEGAL: LOT 3 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3741 CUERVO CT NW OWNER NAME: SANCHEZ RICHARD A & JANICE R OWNER ADDR: 03741 CUERVO	CT NW ALBUQUERQUE	NM 87107
101406022420831087	LEGAL: * 10 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 1 LAND USE: PROPERTY ADDR: 00000 717 M CANDELARIA RD NW OWNER NAME: WOLFE PRISCILLA J OWNER ADDR: 00717 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406015019931431	LEGAL: LOT 1 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE: PROPERTY ADDR: 00000 917 CANDELARIA RD NW OWNER NAME: BACA RUBEN OWNER ADDR: 00000	ALBUQUERQUE	NM 87176
101406021720231410	LEGAL: LOT 4 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3737 CUERVO CT NW OWNER NAME: LUCERO NORMA J OWNER ADDR: 03737 CUERVO	CT NW ALBUQUERQUE	NM 87107

RECORDS WITH LABELS

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101406016119631416	LEGAL: LT 1 6 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE: PROPERTY ADDR: 00000 913 CANDELARIA RD NW OWNER NAME: NEVILLE POLLY OWNER ADDR: 00913 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406022420431086	LEGAL: * 9 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE: PROPERTY ADDR: 00000 717 CANDELARIA RD NW OWNER NAME: WHITECLOUD KINTREE OWNER ADDR: 00717 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406021719931409	LEGAL: LOT 5 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3733 CUERVO CT NW OWNER NAME: GINN WILLIAM C & REBECCA I OWNER ADDR: 03733 CUERVO	CT NW ALBUQUERQUE	NM 87107
101406022520031085	LEGAL: * 8 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE: PROPERTY ADDR: 00000 717 D CANDELARIA RD NW OWNER NAME: BACA DAVID A OWNER ADDR: 00717 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406021619631408	LEGAL: LOT 6 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3729 CUERVO CT NW OWNER NAME: GUEST MICKEY D OWNER ADDR: 03729 CUERVO	CT NW ALBUQUERQUE	NM 87107
101406022519731084	LEGAL: * 7 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE: PROPERTY ADDR: 00000 717 CANDELARIA RD NW OWNER NAME: HATCHER MELODY C OWNER ADDR: 00717 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406021619231407	LEGAL: LOT 7 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3725 CUERVO CT NW OWNER NAME: GABALDON PRISCILLA S OWNER ADDR: 03735 CUERVO	CT NW ALBUQUERQUE	NM 87104
101406022519431083	LEGAL: * 6 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE: PROPERTY ADDR: 00000 717 Q CANDELARIA RD NW OWNER NAME: STIGER SUSAN J OWNER ADDR: 00717 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406021518931406	LEGAL: LOT 8 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3721 CUERVO CT NW OWNER NAME: MCKENNA MARGUERITE A OWNER ADDR: 03721 CUERVO	CT NW ALBUQUERQUE	NM 87107
101406022419131082	LEGAL: * 5 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE: PROPERTY ADDR: 00000 717 R CANDELARIA RD NW OWNER NAME: ELLIS MARTHA OWNER ADDR: 00717 R CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406021618631405	LEGAL: LOT 9 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3717 CUERVO CT NW OWNER NAME: GUTIERREZ MARIA JUANITA OWNER ADDR: 03717 CUERVO	CT NW ALBUQUERQUE	NM 87107

RECORDS WITH LABELS

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101406022418831081 LEGAL: * 4 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE:
 PROPERTY ADDR: 00000 717 S CANDELARIA RD NW
 OWNER NAME: CARLSON CHARLES & DICKSON JESS
 OWNER ADDR: 00000 ODESSA TX 79762

101406021518231404 LEGAL: LOT 10 C UERVO ADDITION REPLAT OF E 100' OF LT 4 BL LAND USE:
 PROPERTY ADDR: 00000 3715 CUERVO CT NW
 OWNER NAME: SIMS GLORIA E
 OWNER ADDR: 03715 CUERVO CT NW ALBUQUERQUE NM 87107

101406015217730653 LEGAL: THE EAST 83 FT OF LT 10 BLK C DAVIDSON ADD'N LAND USE:
 PROPERTY ADDR: 00000 916 CANDELARIA RD NW
 OWNER NAME: O SULLIVAN BRENDAN T
 OWNER ADDR: 00000 ALBUQUERQUE NM 87194

101406021418031403 LEGAL: LOT 11 C UERVO ADDITION REPLAT OF E 100' OF LT 4 BL LAND USE:
 PROPERTY ADDR: 00000 3709 CUERVO CT NW
 OWNER NAME: MAZZONI IDA & GODFREY JOHN R
 OWNER ADDR: 03709 CUERVO CT NW ALBUQUERQUE NM 87107

101406022418431080 LEGAL: * 3 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE:
 PROPERTY ADDR: 00000 717 T CANDELARIA RD NW
 OWNER NAME: JARAMILLO DONACIANO C TRUSTEE
 OWNER ADDR: 01225 CARLOS REY SW ALBUQUERQUE NM 87121

101406016217730675 LEGAL: LT 9 -A O F LTS 9-A, 9-B, 9-C & 9-D BLK C OF DAVIDSO LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: ZELLERS R E
 OWNER ADDR: 00708 BRANDING IRON SE ALBUQUERQUE NM 87123

101406021317831402 LEGAL: LOT 12 C UERVO ADDITION REPLAT OF E 100' OF LT 4 BL LAND USE:
 PROPERTY ADDR: 00000 3705 CUERVO CT NW
 OWNER NAME: WHITE ANN M
 OWNER ADDR: 03705 CUERVO CT NW ALBUQUERQUE NM 87107

101406022518131079 LEGAL: * 2 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE:
 PROPERTY ADDR: 00000 717 U CANDELARIA RD NW
 OWNER NAME: HAYS NANCY
 OWNER ADDR: 00717 CANDELARIA RD NW ALBUQUERQUE NM 87107

101406016817230651 LEGAL: * 00 8 C DAVIDSON ADD W1/2 LAND USE:
 PROPERTY ADDR: 00000 906 CANDELARIA RD NW
 OWNER NAME: MARTINEZ DAVID
 OWNER ADDR: 01801 PATRICK PL NW ALBUQUERQUE NM 87107

101406017217030650 LEGAL: * 00 8 C DAVIDSON ADD E1/2 LAND USE:
 PROPERTY ADDR: 00000 824 CANDELARIA RD NW
 OWNER NAME: ASHER DOUGLAS JAMES & CYNTHIA
 OWNER ADDR: 01612 PABLO CT NE ALBUQUERQUE NM 87112

101406016217030674 LEGAL: LT 9 -B O F LTS 9-A, 9-B, 9-C & 9-D BLK C OF DAVIDSO LAND USE:
 PROPERTY ADDR: 00000 914 CANDELARIA RD NW
 OWNER NAME: GARCIA ROJELIO J
 OWNER ADDR: 00914 CANDELARIA RD NW ALBUQUERQUE NM 87107

RECORDS WITH LABELS

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101406022417831078 LEGAL: * 1 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE:
 PROPERTY ADDR: 00000 717 V CANDELARIA RD NW
 OWNER NAME: HUGHES FLOYD D
 OWNER ADDR: 05251 FAIRBANKS DR EL PASO TX 79924

101406021317431401 LEGAL: LOT 13 C UERVO ADDITION REPLAT OF E100' OF LT 4 BLK LAND USE:
 PROPERTY ADDR: 00000 3701 CUERVO CT NW
 OWNER NAME: BACA LAWRENCE R
 OWNER ADDR: 03701 CUERVO CT NW ALBUQUERQUE NM 87107

101406017916830649 LEGAL: * 00 7 C DAVIDSON ADD LAND USE:
 PROPERTY ADDR: 00000 820 CANDELARIA RD NW
 OWNER NAME: CITY OF ALBUQUERQUE
 OWNER ADDR: 00000 ALBUQUERQUE NM 87103

101406023017331020 LEGAL: COMM ON A REA IN SOL RIO TOWNHOUSES BEING A REPL OF LAND USE:
 PROPERTY ADDR: 00000 711 CANDELARIA RD NW
 OWNER NAME: SOL RIO CO-OPERATIVE ASSOC
 OWNER ADDR: 00717 CANDELARIA RD NW ALBUQUERQUE NM 87107

101406018816330648 LEGAL: * 00 6 C DAVIDSON ADD LAND USE:
 PROPERTY ADDR: 00000 810 CANDELARIA RD NW
 OWNER NAME: TAVAREZ JAIME & PATSY
 OWNER ADDR: 00810 CANDALERIA RD NW ALBUQUERQUE NM 87107

101406019516330647 LEGAL: * 00 5 C DAVIDSON ADD W1/2 LAND USE:
 PROPERTY ADDR: 00000 726 CANDELARIA RD NW
 OWNER NAME: HAYES DURLIN F & VIRGINIA & HA
 OWNER ADDR: 00726 CANDELARIA RD NW ALBUQUERQUE NM 87107

101406020016130646 LEGAL: * 00 5 C DAVIDSON ADD E1/2 LAND USE:
 PROPERTY ADDR: 00000 724 CANDELARIA RD NW
 OWNER NAME: MARTINEZ JOSE A & NANCY G
 OWNER ADDR: 00724 CANDELARIA RD NW ALBUQUERQUE NM 87107

101406020815830645 LEGAL: * 00 4 C DAVIDSON ADD LAND USE:
 PROPERTY ADDR: 00000 722 CANDELARIA RD NW
 OWNER NAME: SHAFFER KAY
 OWNER ADDR: 00722 CANDELARIA RD NW ALBUQUERQUE NM 87107

101406021815530644 LEGAL: * 00 3 C DAVIDSON ADD LAND USE:
 PROPERTY ADDR: 00000 718 CANDELARIA RD NW
 OWNER NAME: CHAUVIN YVONNE & WALLACE ROBY
 OWNER ADDR: 00720 CANDELARIA RD NW ALBUQUERQUE NM 87107



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: 1-17-03

TO CONTACT NAME: Martin Garcia
 COMPANY/AGENCY: ABQ Engineering
 ADDRESS/ZIP: _____
 PHONE/FAX #: ~~255-7802~~ 255-7802 FAX = 255-7902

Thank you for your inquiry of 1-17-03 (date) requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at North of Candelaria NW, east of 10th Street NW
Western 1/2 of lots 4, 5 + 6 of Monkbridge Addition, Block 1B
 zone map page(s) G-14

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

Monkbridge Gardens
 Neighborhood Association
 Contact: Tonya Lentrip
619 Candelaria NW 87107
344-9460
Gail Reese
P.O. Box 6809/87197
345-0108

Near North Valley
 Neighborhood Association
 Contact: Ingrid Biel
1012 Major NW 87107
345-3968
Mary Bilan
3800 Rio Grande NW
PMB 254/87107 345-2308

See reverse side for additional Neighborhood Association Information: YES { } NO { }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913

Sincerely,

OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.

NOTICE TO APPLICANTS

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

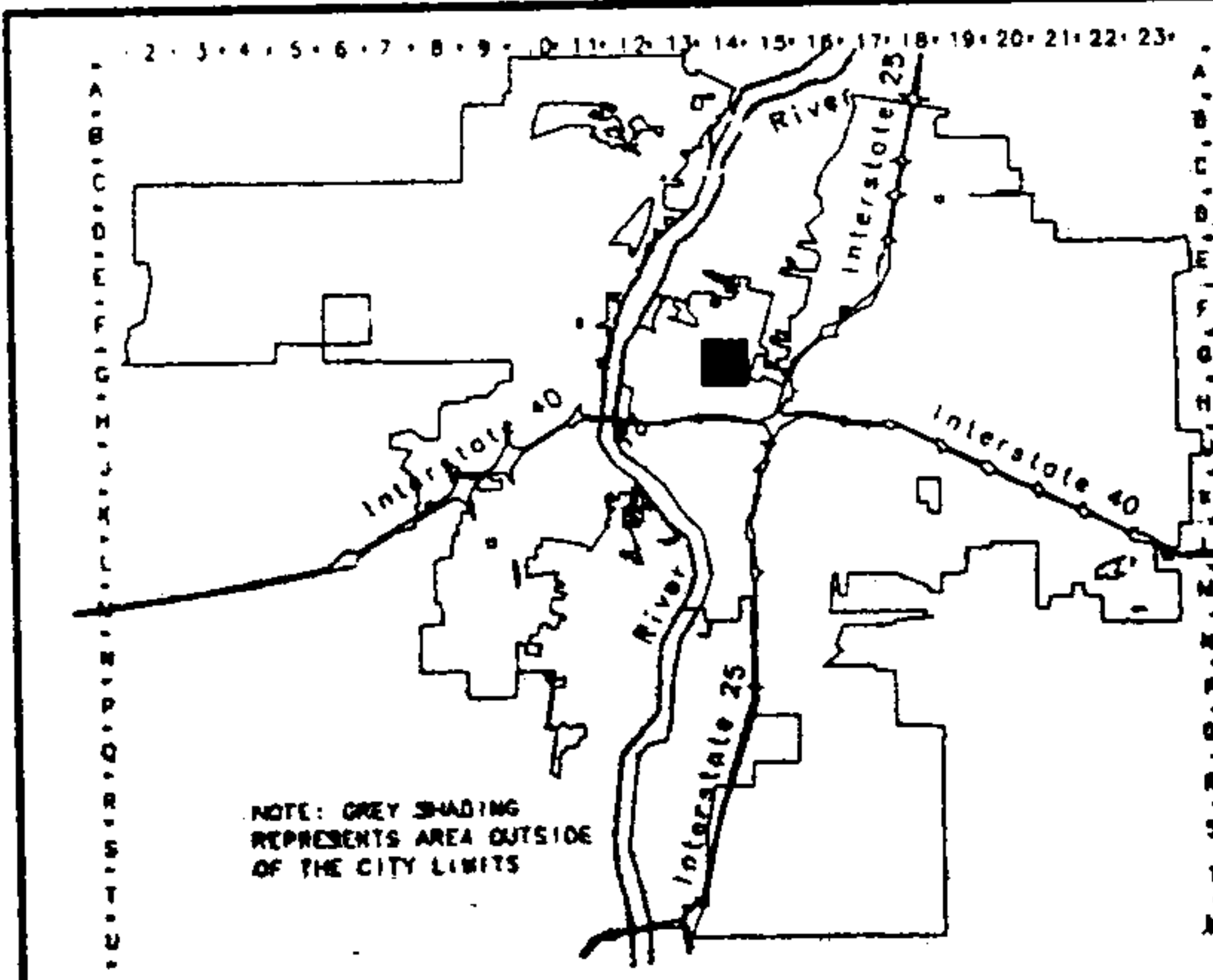
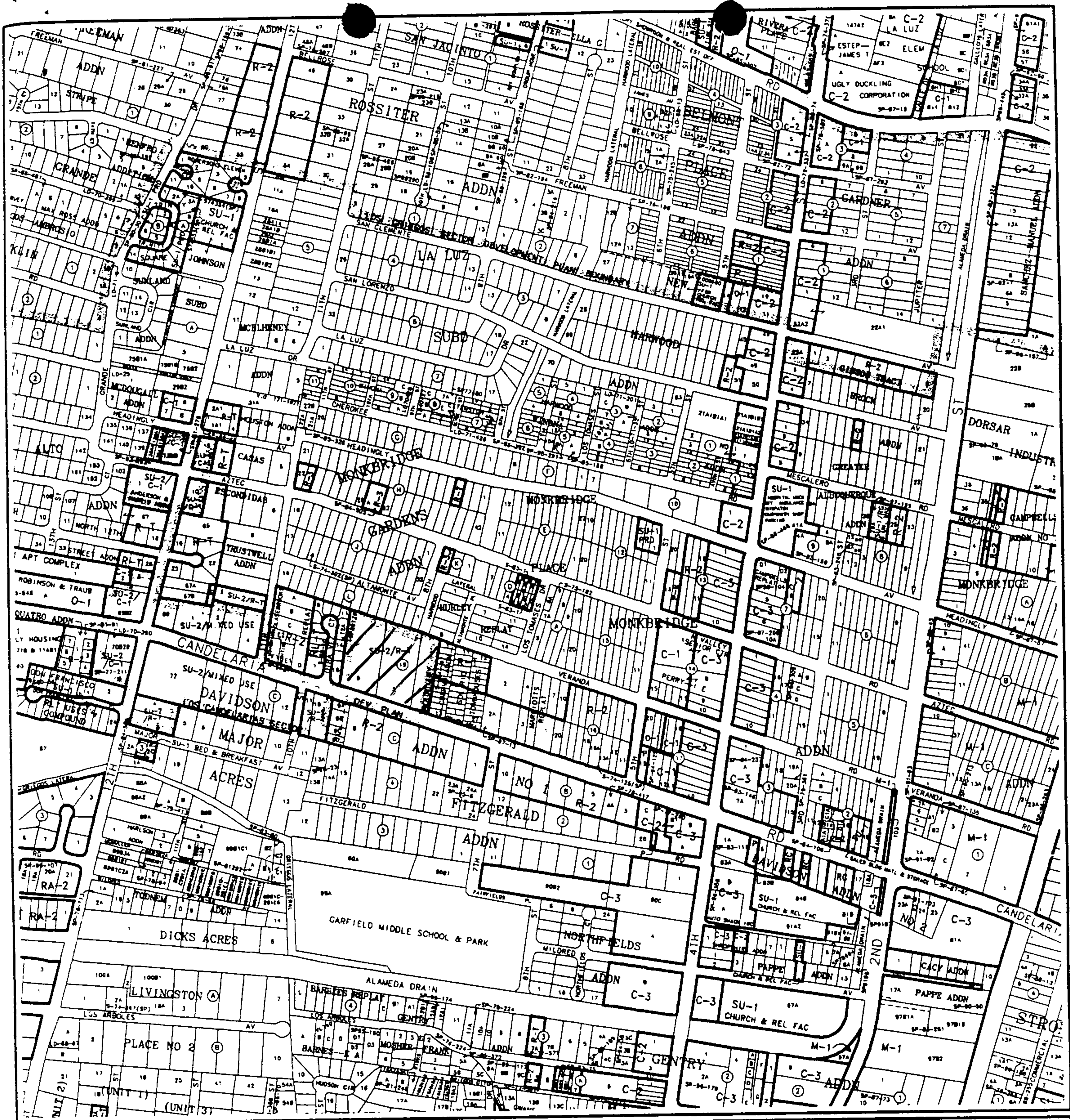
Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

(below this line for OCNC use only)

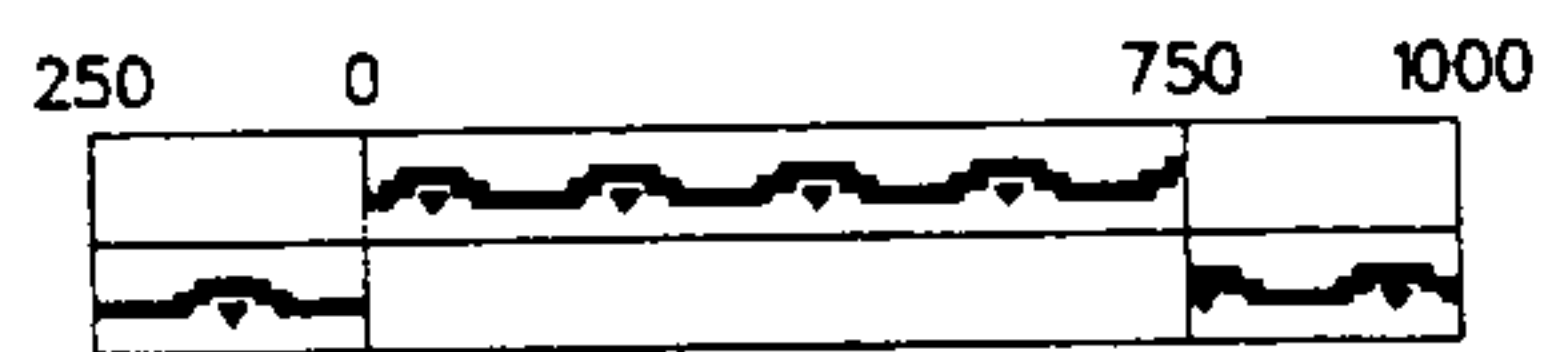
Date of Inquiry: 1-17-03 Time Entered: 4:15 OCNC Rep. Initials: CAU



CITY OF
Albuquerque
A b u e q u e G e o g r a p h i c I n f o r m a t i o n S y s t e m
P L A N N I N G D E P A R T M E N T

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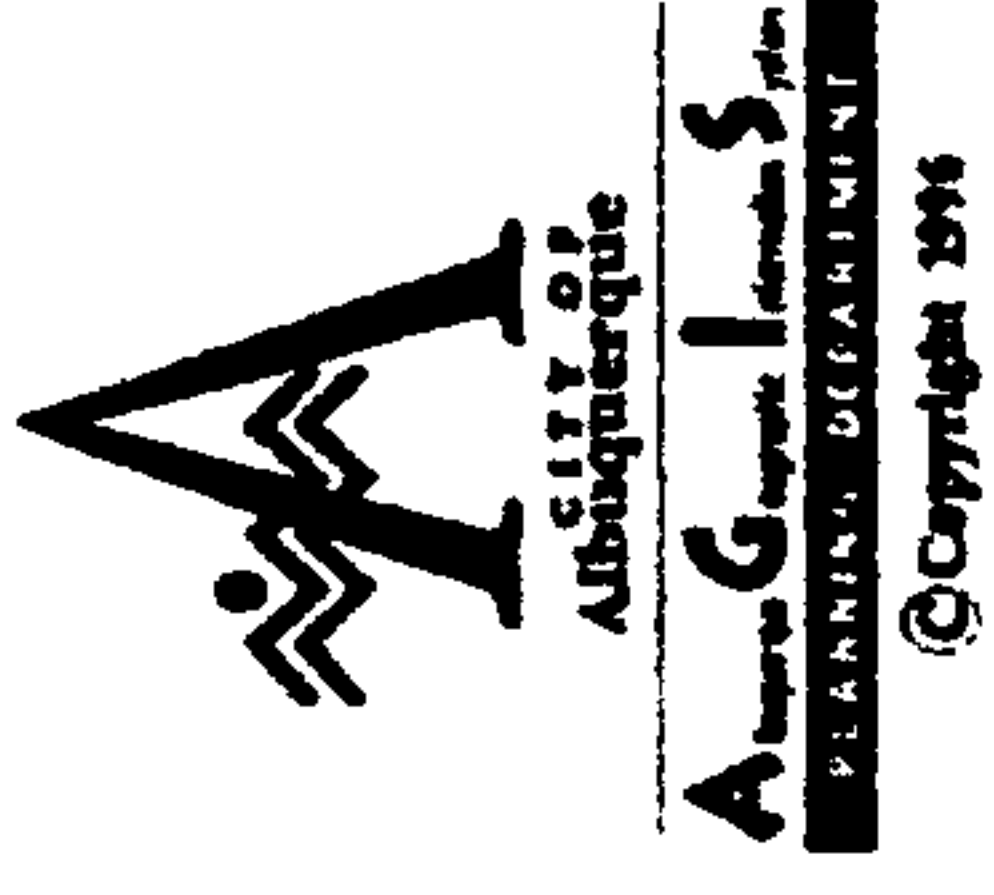
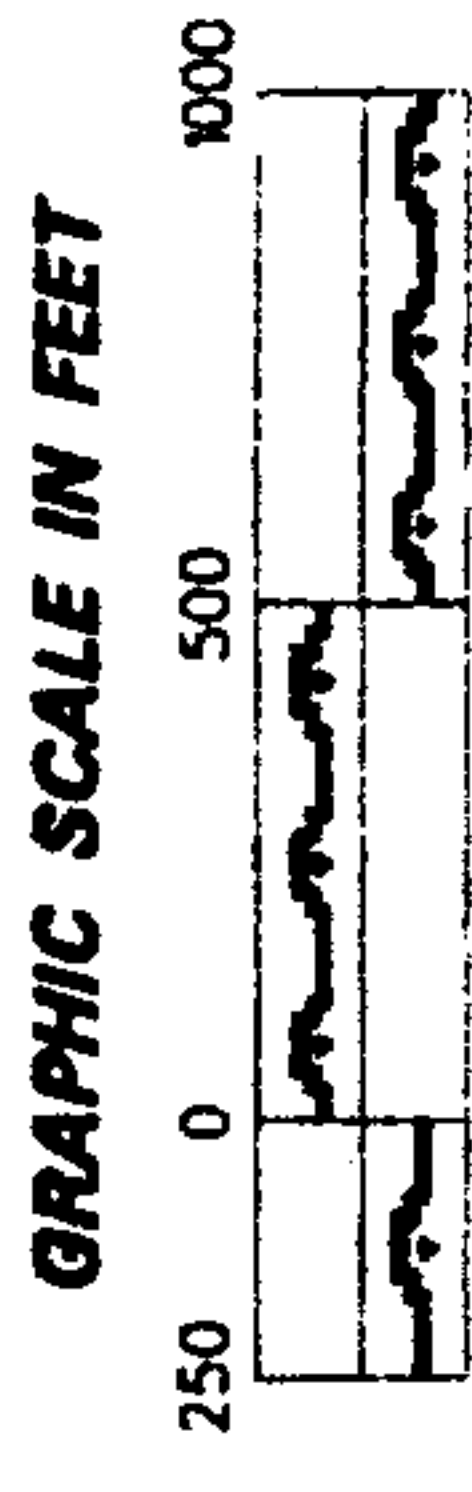
GRAPHIC SCALE IN FEET



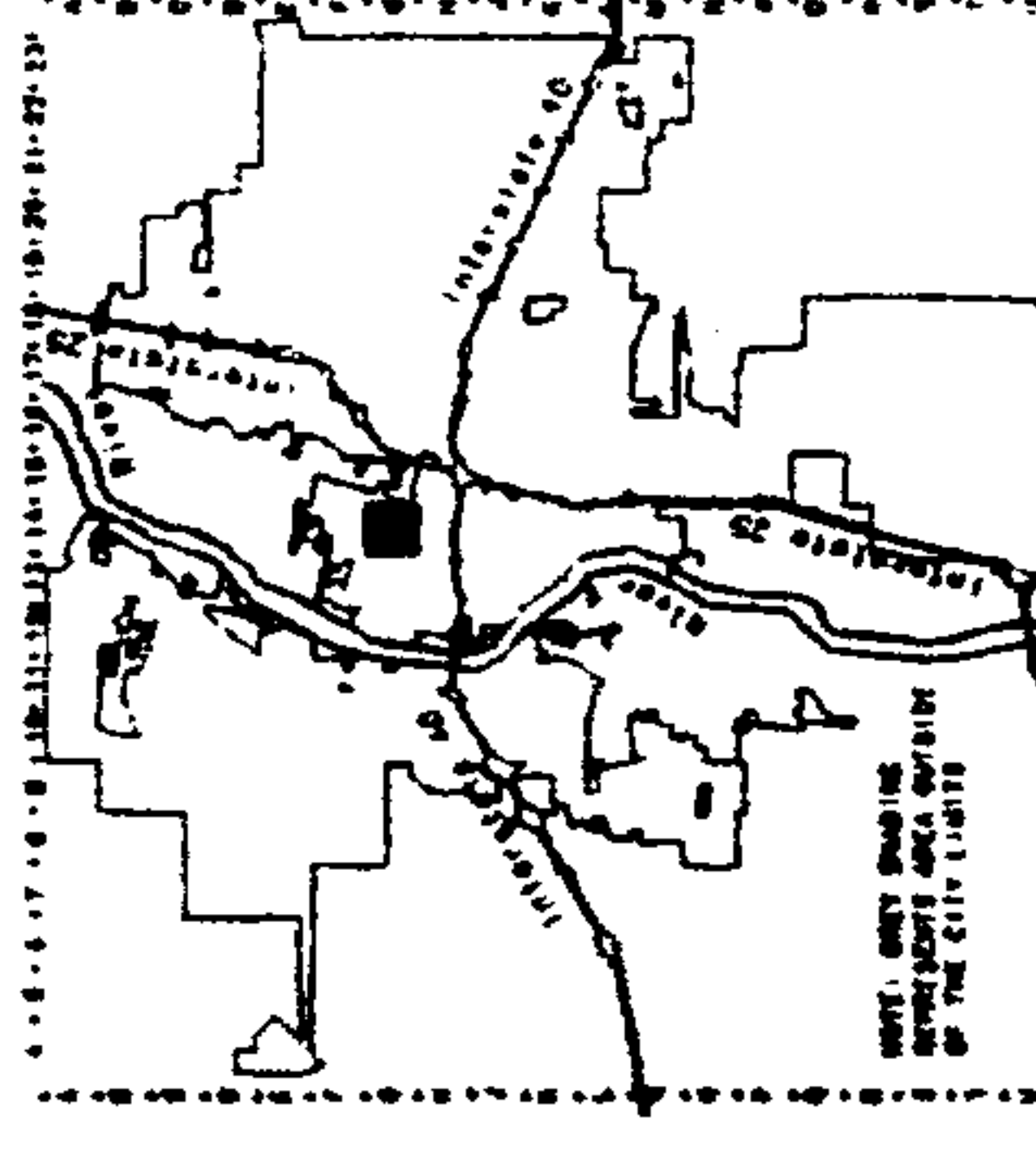
Zone Atlas Page

G-14-Z

Map Amended through April 03, 2002



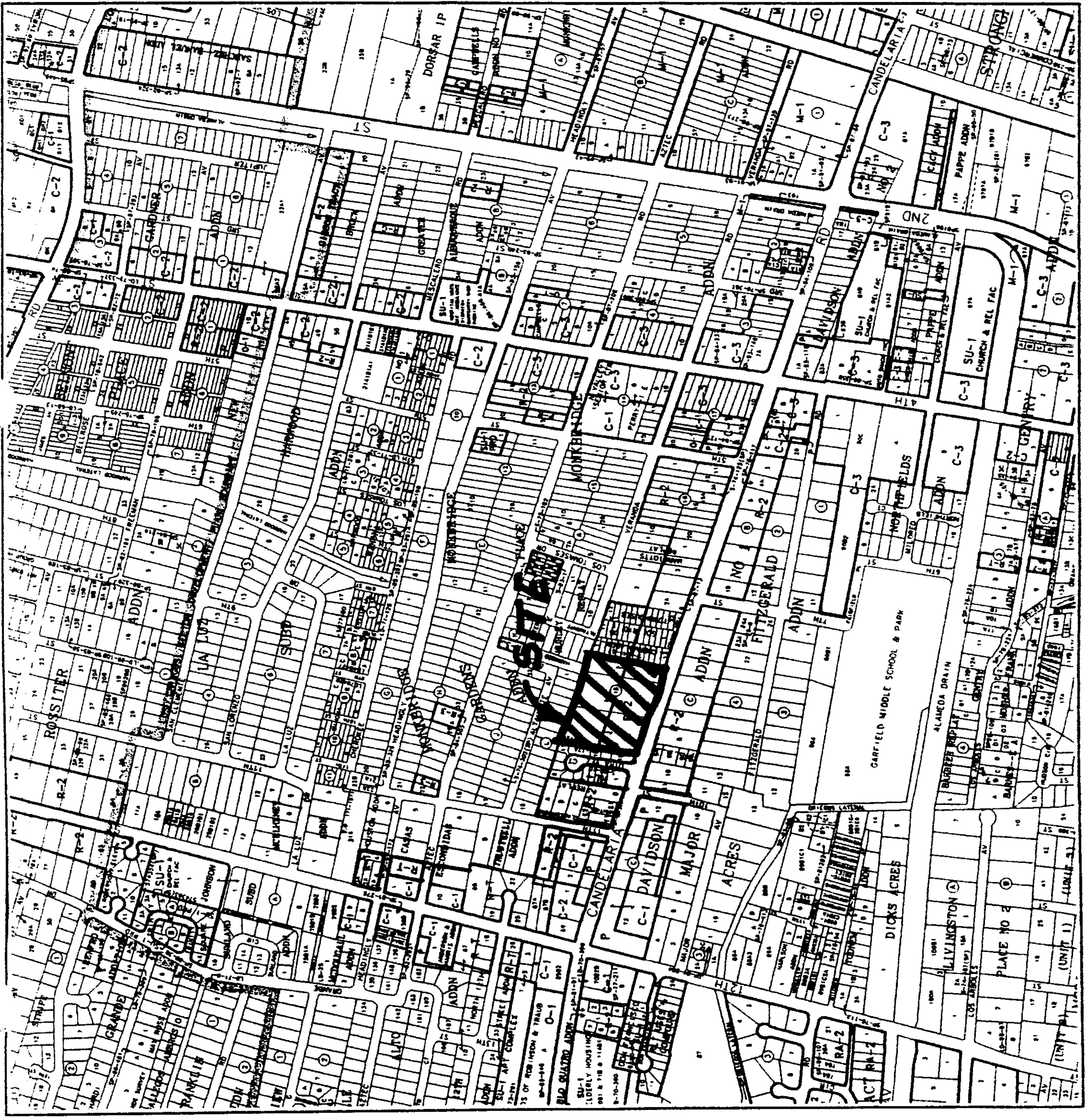
Map Amended through February 21, 1996



LEGAL DESCRIPTION
 T10N
 R9E
 SEC 8

UNIFORM PROPERTY CODE
 1-014-000

G-14-Z



#74

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT - DEVELOPMENT SERVICES DIVISION
PROPERTY OWNERSHIP LIST

Meeting Date: 5-7-03

Zone Atlas Page: G-14-E

Notification Radius: 100 Ft.

App#	<u>ABDRB-00580</u>
Proj#	<u>1002400</u>
Other#	<u>ABDRB-00581</u>

Cross Reference and Location: _____

Applicant: Contra Homes ✓

Address: 5120 Musthead NE, 87109

Agent: ABO Engineering ✓

Address: 1631 Eubank NE, Ste C, 87112

SPECIAL INSTRUCTIONS

Notices Must be mailed from the
City 15 days prior to the meeting.

Date Mailed: 4-18-03

Signature: K. Seeliker

R E C O R D S W I T H L A B E L S

PAGE 1

101406015724631468 LEGAL: LT 1 1 BL K L MONKBRIDGE GARDENS CONT 7.000 SQ FT +- LAND USE:
 PROPERTY ADDR: 00000 942 ALTA MONTE AVE NW
 OWNER NAME: SILVAS RAYMOND ETUX
 OWNER ADDR: 00942 ALTA MONTE AV NW ALBUQUERQUE NM 87107

101406016424331467 LEGAL: LTS 9 & 10 BLK L MONKBRIDGE GARDENS CONT 14.000 SQ LAND USE:
 PROPERTY ADDR: 00000 934 ALTA MONTE AVE NW
 OWNER NAME: PADILLA DAVID G
 OWNER ADDR: 00934 ALTA MONTE AV NW ALBUQUERQUE NM 87105

101406017124031480 LEGAL: LOT 8 BL K L MONKBRIDGE GARDENS ADDN CONT 0.1600 AC LAND USE:
 PROPERTY ADDR: 00000 930 ALTAMONTE NW
 OWNER NAME: TORRES LEROY J
 OWNER ADDR: 00930 ALTAMONTE AV NW ALBUQUERQUE NM 87107

101406017623931466 LEGAL: LOT 7 BL K L MONKBRIDGE GARDENS ADDN CONT 0.1600 AC LAND USE:
 PROPERTY ADDR: 00000 926 ALTA MONTE AVE NW
 OWNER NAME: MARTINEZ AUDREY
 OWNER ADDR: 00926 ALTA MONTE NW ALBUQUERQUE NM 87107

101406018123731465 LEGAL: LOT 6 BL K L MONKBRIDGE GARDENS CONT 7.000 SQ FT +- LAND USE:
 PROPERTY ADDR: 00000 922 ALTA MONTE AVE NW
 OWNER NAME: MONTIEL LOUIS S ETUX
 OWNER ADDR: 00922 ALTA MONTE AV NW ALBUQUERQUE NM 87107

101406018523631464 LEGAL: LOT 5 BL K L MONKBRIDGE GARDENS CONT 7.000 SQ FT +- LAND USE:
 PROPERTY ADDR: 00000 918 ALTA MONTE AVE NW
 OWNER NAME: PADILLA VERONICA D
 OWNER ADDR: 00918 ALTA MONTE AV NW ALBUQUERQUE NM 87107

101406019023531463 LEGAL: LOT 4 BL K L MONKBRIDGE GARDENS CONT 7.000 SQ FT +- LAND USE:
 PROPERTY ADDR: 00000 912 ALTA MONTE AVE NW
 OWNER NAME: LAREDO RICHARD
 OWNER ADDR: 00912 ALTA MONTE AV NW ALBUQUERQUE NM 87107

101406015623031423 LEGAL: LOT 9 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE:
 PROPERTY ADDR: 00000 3733 OTRA VEZ CT NW
 OWNER NAME: LONGENBAUGH DWAYNE & MARJORIE
 OWNER ADDR: 03733 OTRA VEZ CT NW ALBUQUERQUE NM 87107

101406019423431462 LEGAL: LOT 3 BL K L MONKBRIDGE GARDENS CONT 7.000 SQ FT +- LAND USE:
 PROPERTY ADDR: 00000 910 ALTA MONTE AVE NW
 OWNER NAME: HERRING LOUIS
 OWNER ADDR: 00910 ALTA MONTE AV NW ALBUQUERQUE NM 87107

101406016122931422 LEGAL: LT 1 0 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE:
 PROPERTY ADDR: 00000 3732 OTRA VEZ CT NW
 OWNER NAME: FRANITS RICHARD D & JACQUERLIN
 OWNER ADDR: 03732 OTRA VES CT NW ALBUQUERQUE NM 87107

101406020023231461 LEGAL: LOT 2 BL K L MONKBRIDGE GARDENS CONT 7.000 SQ FT +- LAND USE:
 PROPERTY ADDR: 00000 908 ALTA MONTE AVE NW
 OWNER NAME: BLAINE GEORGE A ETAL
 OWNER ADDR: 01937 CANDELARIA RD NW ALBUQUERQUE NM 87107

R E C O R D S W I T H L A B E L S

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101406016522731421 LEGAL: LT 1 1 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE:
 PROPERTY ADDR: 00000 3728 OTRA VEZ CT NW
 OWNER NAME: RALSTON ARON L
 OWNER ADDR: 03728 OTRAVEZ CT NW ALBUQUERQUE NM 87107

101406020423031460 LEGAL: LOT 1 BL K L MONKBRIDGE GARDENS CONT 7.000 SQ FT +- LAND USE:
 PROPERTY ADDR: 00000 906 ALTA MONTE NW
 OWNER NAME: MARTINEZ MARIA T & DANNY K
 OWNER ADDR: 00106 CAMINO CUATRO SW ALBUQUERQUE NM 87105

101406022223031456 LEGAL: LT 4 HUR LEY REPLAT OF TRS "B" & "C" OF BLOCK 11 MO LAND USE:
 PROPERTY ADDR: 00000 3809 ALTA MONTE PL NW
 OWNER NAME: JURADO ERASMO & VERONICA
 OWNER ADDR: 03809 ALTA MONTE PL NW ALBUQUERQUE NM 87107

101406021023131499 LEGAL: MRGC D MA P # 33 TRACT 110 (AKA VACATED 60 FT PORTIO LAND USE:
 PROPERTY ADDR: 00000
 OWNER NAME: MARTINEZ DANNY K. & MARIA T.
 OWNER ADDR: 00106 CAMINO CUATRO SW ALBUQUERQUE NM 87105

101406018320831415 LEGAL: LTS 5 & 6 BLK 18 MONKBRIDGE GARDENS CONT 3.6731 AC LAND USE:
 PROPERTY ADDR: 00000 901 CANDELARIA RD NW
 OWNER NAME: NATIONS BANK AS TRUSTEE WILLIAM
 OWNER ADDR: 00000 DALLAS TX 75283

101406022022531455 LEGAL: LT 5 HUR LEY REPLAT OF TRS "B" & "C" OF BLOCK 11 MO LAND USE:
 PROPERTY ADDR: 00000 3807 ALTA MONTE PL NW
 OWNER NAME: CHAVEZ PAUL
 OWNER ADDR: 03807 ALTA MONTE PL NW ALBUQUERQUE NM 87107

101406016521831420 LEGAL: LOT 12A OTRA VEZ SUBD BEING A REPL OF LTS 12 & 13 LAND USE:
 PROPERTY ADDR: 00000 3716 OTRA VEZ CT NW
 OWNER NAME: BURKHEAD JACK E & CHARLOTTE E
 OWNER ADDR: 03716 OTRA VEZ NW ALBUQUERQUE NM 87107

101406015121931426 LEGAL: LOT 6 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE:
 PROPERTY ADDR: 00000 3717 OTRA VEZ CT NW
 OWNER NAME: BACA MARCELLA O
 OWNER ADDR: 03721 OTRA VEZ CT NW ALBUQUERQUE NM 87107

101406021822031454 LEGAL: LOT 6 HY RLEY REPLAT OF TRS B & C BLK 11 MONKBRIDGE LAND USE:
 PROPERTY ADDR: 00000 3801 ALTA MONTE PL NW
 OWNER NAME: LINDA CHAVEZ S
 OWNER ADDR: 03801 ALTA MONTE PL NW ALBUQUERQUE NM 87107

101406015221531427 LEGAL: LOT 5 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE:
 PROPERTY ADDR: 00000 3717 OTRA VEZ CT NW
 OWNER NAME: MASSEY PAGE R
 OWNER ADDR: 03717 OTRA VEZ CT NW ALBUQUERQUE NM 87107

101406020820031414 LEGAL: LOT 4 BL K 18 MONKBRIDGE GARDENS EXC ELY 100 FT CON LAND USE:
 PROPERTY ADDR: 00000 729 CANDELARIA RD NW
 OWNER NAME: NATIONS BANK AS TRUSTEE WILLIAM
 OWNER ADDR: 00000 DALLAS TX 75283

RECORDS WITH LABELS

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101406015221231428	LEGAL: LOT 4 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE: PROPERTY ADDR: 00000 3715 OTRA VEZ CT NW OWNER NAME: DRZCO DOMINIC & CHRISTINE OWNER ADDR: 03715 OTRA VEZ	CT NW ALBUQUERQUE	NM 87107
101406016320931418	LEGAL: LT 1 4 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE: PROPERTY ADDR: 00000 3708 OTRA VEZ CT NW OWNER NAME: LUCERO LOUELLA C OWNER ADDR: 03708 OTRA VEZ	CT NW ALBUQUERQUE	NM 87107
101406021921131413	LEGAL: LOT 1 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3749 CUERVO CT NW OWNER NAME: PENCE LUCRETIA E OWNER ADDR: 03749 CUERVO	CT NE ALBUQUERQUE	NM 87107
101406015120831429	LEGAL: LOT 3 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE: PROPERTY ADDR: 00000 3709 OTRA VEZ CT NW OWNER NAME: HUNT BEVERLY A OWNER ADDR: 03709 OTRA VEZ	CT NW ALBUQUERQUE	NM 87107
101406022421231088	LEGAL: * 11 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 1 LAND USE: PROPERTY ADDR: 00000 717 L CANDELARIA RD NW OWNER NAME: WOLFE PRISCILLA J OWNER ADDR: 00717 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406021920831412	LEGAL: LOT 2 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3745 CUERVO CT NW OWNER NAME: ROESSLER KEITH OWNER ADDR: 09595 THUNDERBIRD	RD SCOTTSDALE	AZ 85260
101406015120531430	LEGAL: LOT 2 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE: PROPERTY ADDR: 00000 3705 OTRA VEZ CT NW OWNER NAME: MONTGOMERY ANDREW OWNER ADDR: 03705 OTRA VEZ	ALBUQUERQUE	NM 87107
101406016220531417	LEGAL: LT 1 5 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE: PROPERTY ADDR: 00000 3704 OTRA VEZ CT NW OWNER NAME: NEVAREZ ANTONIA R OWNER ADDR: 03704 OTRA VEZ	CT NW ALBUQUERQUE	NM 87107
101406021820531411	LEGAL: LOT 3 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3741 CUERVO CT NW OWNER NAME: SANCHEZ RICHARD A & JANICE R OWNER ADDR: 03741 CUERVO	CT NW ALBUQUERQUE	NM 87107
101406022420831087	LEGAL: * 10 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 1 LAND USE: PROPERTY ADDR: 00000 717 M CANDELARIA RD NW OWNER NAME: WOLFE PRISCILLA J OWNER ADDR: 00717 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406015019931431	LEGAL: LOT 1 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE: PROPERTY ADDR: 00000 917 CANDELARIA RD NW OWNER NAME: BACA RUBEN OWNER ADDR: 00000	ALBUQUERQUE	NM 87176

RECORDS WITH LABELS

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101406021720231410	LEGAL: LOT 4 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3737 CUERVO CT NW OWNER NAME: LUCERO NORMA J OWNER ADDR: 03737 CUERVO	CT NW ALBUQUERQUE	NM 87107
101406016119631416	LEGAL: LT 1 6 PL AT OF LTS 1 THRU 16 INCLUSIVE OTRA VEZ SUB LAND USE: PROPERTY ADDR: 00000 913 CANDELARIA RD NW OWNER NAME: NEVILLE POLLY OWNER ADDR: 00913 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406022420431086	LEGAL: * 9 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE: PROPERTY ADDR: 00000 717 CANDELARIA RD NW OWNER NAME: WHITECLOUD KINTREE OWNER ADDR: 00717 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406021719931409	LEGAL: LOT 5 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3733 CUERVO CT NW OWNER NAME: GINN WILLIAM C & REBECCA I OWNER ADDR: 03733 CUERVO	CT NW ALBUQUERQUE	NM 87107
101406022520031085	LEGAL: * 8 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE: PROPERTY ADDR: 00000 717 D CANDELARIA RD NW OWNER NAME: BACA DAVID A OWNER ADDR: 00717 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406021619631408	LEGAL: LOT 6 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3729 CUERVO CT NW OWNER NAME: GUEST MICKEY D OWNER ADDR: 03729 CUERVO	CT NW ALBUQUERQUE	NM 87107
101406022519731084	LEGAL: * 7 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE: PROPERTY ADDR: 00000 717 CANDELARIA RD NW OWNER NAME: HATCHER MELODY C OWNER ADDR: 00717 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406021619231407	LEGAL: LOT 7 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3725 CUERVO CT NW OWNER NAME: GABALDON PRISCILLA S OWNER ADDR: 03735 CUERVO	CT NW ALBUQUERQUE	NM 87104
101406022519431083	LEGAL: * 6 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE: PROPERTY ADDR: 00000 717 Q CANDELARIA RD NW OWNER NAME: STIGER SUSAN J OWNER ADDR: 00717 CANDELARIA	RD NW ALBUQUERQUE	NM 87107
101406021518931406	LEGAL: LOT 8 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE: PROPERTY ADDR: 00000 3721 CUERVO CT NW OWNER NAME: MCKENNA MARGUERITE A OWNER ADDR: 03721 CUERVO	CT NW ALBUQUERQUE	NM 87107
101406022419131082	LEGAL: * 5 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE: PROPERTY ADDR: 00000 717 R CANDELARIA RD NW OWNER NAME: ELLIS MARTHA OWNER ADDR: 00717 R CANDELARIA	RD NW ALBUQUERQUE	NM 87107

RECORDS WITH LABELS

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101406021618631405 LEGAL: LOT 9 CU ERVO ADDITION REPLAT OF E 100' OF LT 4 BLK LAND USE:
 PROPERTY ADDR: 00000 3717 CUERVO CT NW
 OWNER NAME: GUTIERREZ MARIA JUANITA
 OWNER ADDR: 03717 CUERVO CT NW ALBUQUERQUE NM 87107

101406014417930654 LEGAL: * 01 1 C DAVIDSON ADD W 15FT OF L 10XE 60FT OF L11 LAND USE:
 PROPERTY ADDR: 00000 922 CANDELARIA RD NW
 OWNER NAME: O'SULLIVAN BRENDAN T
 OWNER ADDR: 00000 ALBUQUERQUE NM 87194

101406022418831081 LEGAL: * 4 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE:
 PROPERTY ADDR: 00000 717 S CANDELARIA RD NW
 OWNER NAME: CARLSON CHARLES & DICKSON JESS
 OWNER ADDR: 00000 ODESSA TX 79762

101406021518231404 LEGAL: LOT 10 C UERVO ADDITION REPLAT OF E 100' OF LT 4 BL LAND USE:
 PROPERTY ADDR: 00000 3715 CUERVO CT NW
 OWNER NAME: SIMS GLORIA E
 OWNER ADDR: 03715 CUERVO CT NW ALBUQUERQUE NM 87107

101406015217730653 LEGAL: THE EAST 83 FT OF LT 10 BLK C DAVIDSON ADD'N LAND USE:
 PROPERTY ADDR: 00000 916 CANDELARIA RD NW
 OWNER NAME: O SULLIVAN BRENDAN T
 OWNER ADDR: 00000 ALBUQUERQUE NM 87194

101406021418031403 LEGAL: LOT 11 C UERVO ADDITION REPLAT OF E 100' OF LT 4 BL LAND USE:
 PROPERTY ADDR: 00000 3709 CUERVO CT NW
 OWNER NAME: MAZZONI IDA & GODFREY JOHN R
 OWNER ADDR: 03709 CUERVO CT NW ALBUQUERQUE NM 87107

101406022418431080 LEGAL: * 3 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE:
 PROPERTY ADDR: 00000 717 T CANDELARIA RD NW
 OWNER NAME: JARAMILLO DONACIANO C TRUSTEE
 OWNER ADDR: 01225 CARLOS REY SW ALBUQUERQUE NM 87121

101406016217730675 LEGAL: LT 9 -A O F LTS 9-A, 9-B, 9-C & 9-D BLK C OF DAVIDSO LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: ZELLERS R E
 OWNER ADDR: 00708 BRANDING IRON SE ALBUQUERQUE NM 87123

101406021317831402 LEGAL: LOT 12 C UERVO ADDITION REPLAT OF E 100' OF LT 4 BL LAND USE:
 PROPERTY ADDR: 00000 3705 CUERVO CT NW
 OWNER NAME: WHITE ANN M
 OWNER ADDR: 03705 CUERVO CT NW ALBUQUERQUE NM 87107

101406022518131079 LEGAL: * 2 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE:
 PROPERTY ADDR: 00000 717 U CANDELARIA RD NW
 OWNER NAME: HAYS NANCY
 OWNER ADDR: 00717 CANDELARIA RD NW ALBUQUERQUE NM 87107

101406016817230651 LEGAL: * 00 8 C DAVIDSON ADD W1/2 LAND USE:
 PROPERTY ADDR: 00000 906 CANDELARIA RD NW
 OWNER NAME: MARTINEZ DAVID
 OWNER ADDR: 01801 PATRICK PL NW ALBUQUERQUE NM 87107

RECORDS WITH LABELS

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101406017217030650 LEGAL: * 00 8 C DAVIDSON ADD E1/2 LAND USE:
 PROPERTY ADDR: 00000 824 CANDELARIA RD NW
 OWNER NAME: ASHER DOUGLAS JAMES & CYNTHIA
 OWNER ADDR: 01612 PABLO CT NE ALBUQUERQUE NM 87112

101406016217030674 LEGAL: LT 9 -B O F LTS 9-A, 9-B, 9-C & 9-D BLK C OF DAVIDSO LAND USE:
 PROPERTY ADDR: 00000 914 CANDELARIA RD NW
 OWNER NAME: GARCIA ROJELIO J
 OWNER ADDR: 00914 CANDELARIA RD NW ALBUQUERQUE NM 87107

101406022417831078 LEGAL: * 1 SOL RIO TOWNHOUSES BEING A REPL OF LT 3 BLK 18 LAND USE:
 PROPERTY ADDR: 00000 717 V CANDELARIA RD NW
 OWNER NAME: HUGHES FLOYD D
 OWNER ADDR: 05251 FAIRBANKS DR EL PASO TX 79924

101406021317431401 LEGAL: LOT 13 C UERVO ADDITION REPLAT OF E100' OF LT 4 BLK LAND USE:
 PROPERTY ADDR: 00000 3701 CUERVO CT NW
 OWNER NAME: BACA LAWRENCE R
 OWNER ADDR: 03701 CUERVO CT NW ALBUQUERQUE NM 87107

101406017916830649 LEGAL: * 00 7 C DAVIDSON ADDN LAND USE:
 PROPERTY ADDR: 00000 820 CANDELARIA RD NW
 OWNER NAME: CITY OF ALBUQUERQUE
 OWNER ADDR: 00000 ALBUQUERQUE NM 87103

101406023017331020 LEGAL: COMM ON A REA IN SOL RIO TOWNHOUSES BEING A REPL OF LAND USE:
 PROPERTY ADDR: 00000 711 CANDELARIA RD NW
 OWNER NAME: SOL RIO CO-OPERATIVE ASSOC
 OWNER ADDR: 00717 CANDELARIA RD NW ALBUQUERQUE NM 87107

101406018816330648 LEGAL: * 00 6 C DAVIDSON ADD LAND USE:
 PROPERTY ADDR: 00000 810 CANDELARIA RD NW
 OWNER NAME: TAVAREZ JAIME & PATSY
 OWNER ADDR: 00810 CANDALERIA RD NW ALBUQUERQUE NM 87107

101406019516330647 LEGAL: * 00 5 C DAVIDSON ADD W1/2 LAND USE:
 PROPERTY ADDR: 00000 726 CANDELARIA RD NW
 OWNER NAME: HAYES DURLIN F & VIRGINIA & HA
 OWNER ADDR: 00726 CANDELARIA RD NW ALBUQUERQUE NM 87107

101406020016130646 LEGAL: * 00 5 C DAVIDSON ADD E1/2 LAND USE:
 PROPERTY ADDR: 00000 724 CANDELARIA RD NW
 OWNER NAME: MARTINEZ JOSE A & NANCY G
 OWNER ADDR: 00724 CANDELARIA RD NW ALBUQUERQUE NM 87107

101406020815830645 LEGAL: * 00 4 C DAVIDSON ADD LAND USE:
 PROPERTY ADDR: 00000 722 CANDELARIA RD NW
 OWNER NAME: SHAFFER KAY
 OWNER ADDR: 00722 CANDELARIA RD NW ALBUQUERQUE NM 87107

101406021815530644 LEGAL: * 00 3 C DAVIDSON ADD LAND USE:
 PROPERTY ADDR: 00000 718 CANDELARIA RD NW
 OWNER NAME: CHAUVIN YVONNE & WALLACE ROBY
 OWNER ADDR: 00720 CANDELARIA RD NW ALBUQUERQUE NM 87107



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: 1-17-03

TO CONTACT NAME: Martin Garcia
 COMPANY/AGENCY: ABQ Engineering
 ADDRESS/ZIP: _____
 PHONE/FAX #: ~~255-7802~~ 255-7802 FAX = 255-7902

Thank you for your inquiry of 1-17-03 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at North of Candelaria NW, east of 10th Street NW
Western 1/2 of lots 4, 5 + 6 of Monkbridge Addition, Block 1B
 zone map page(s) G-14

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Monkbridge Gardens
 Neighborhood Association
 Contacts: Tonya Lentrip
619 Candelaria NW 87107
344-9460
Gail Reese
P.O. Box 6809/87197
345-0108

Near North Valley
 Neighborhood Association
 Contacts: Ingrid Biel
1012 Major NW 87107
345-3968
Mary Bilan
3800 Rio Grande NW
PMB 254/87107 345-2308

See reverse side for additional Neighborhood Association Information: YES { } NO { }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

 OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

.....
 • Attention: Both contacts per
 • neighborhood association
 • need to be notified.
 •



April 8, 2003

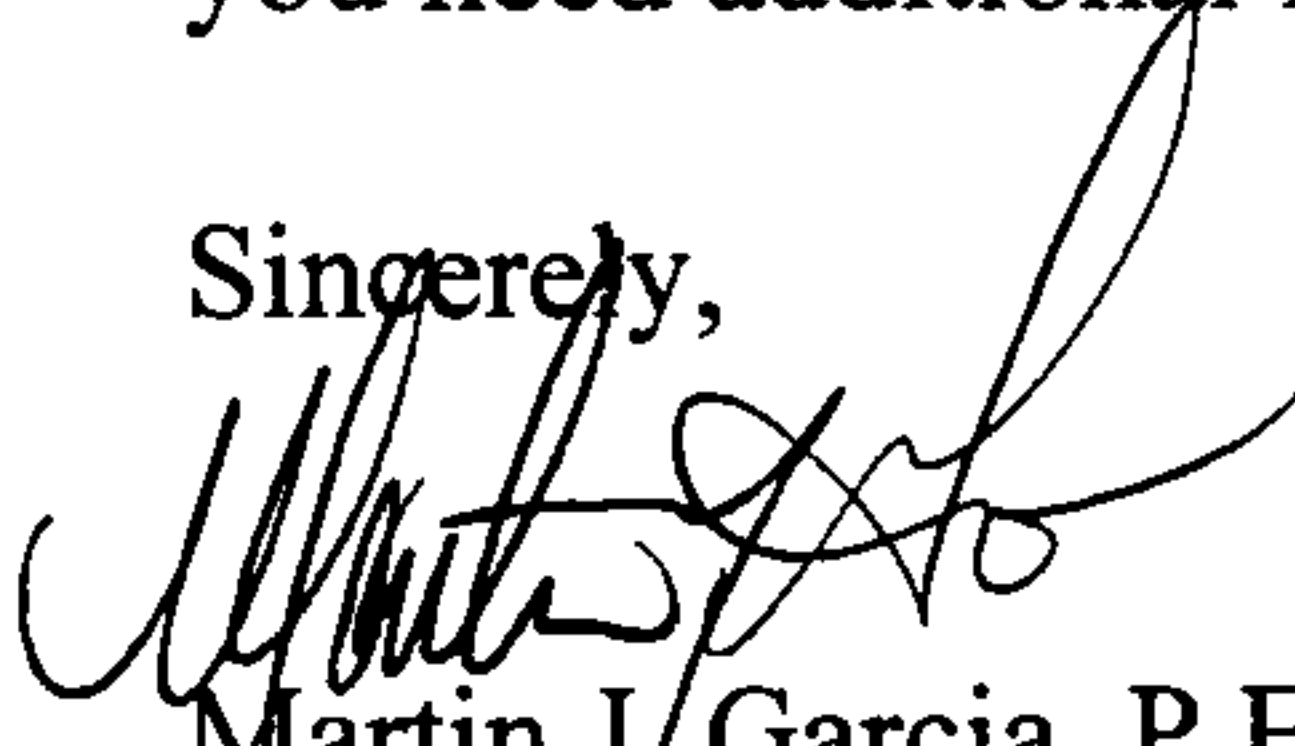
City of Albuquerque
Design Review Board
Development and Building Services
600 Second Street NW
Albuquerque, NM 87102

RE: Request for Final Plat approval and Vacation of an existing Public Utility Easement for Los Candelarias Subdivision COA Project No. 1002400.

ABQ Engineering, Inc., agent for Centex Homes is requesting Final Plat approval and Vacation approval for an existing 7' x 25' public utility easement in lot 29 as shown on the plat for Los Candelarias Subdivision. The utility easement proposed for vacation is being replaced by an additional easement as shown on the plans. The easements have been coordinated with PNM who is the beneficiary and they have concurred with the vacation and new easement.

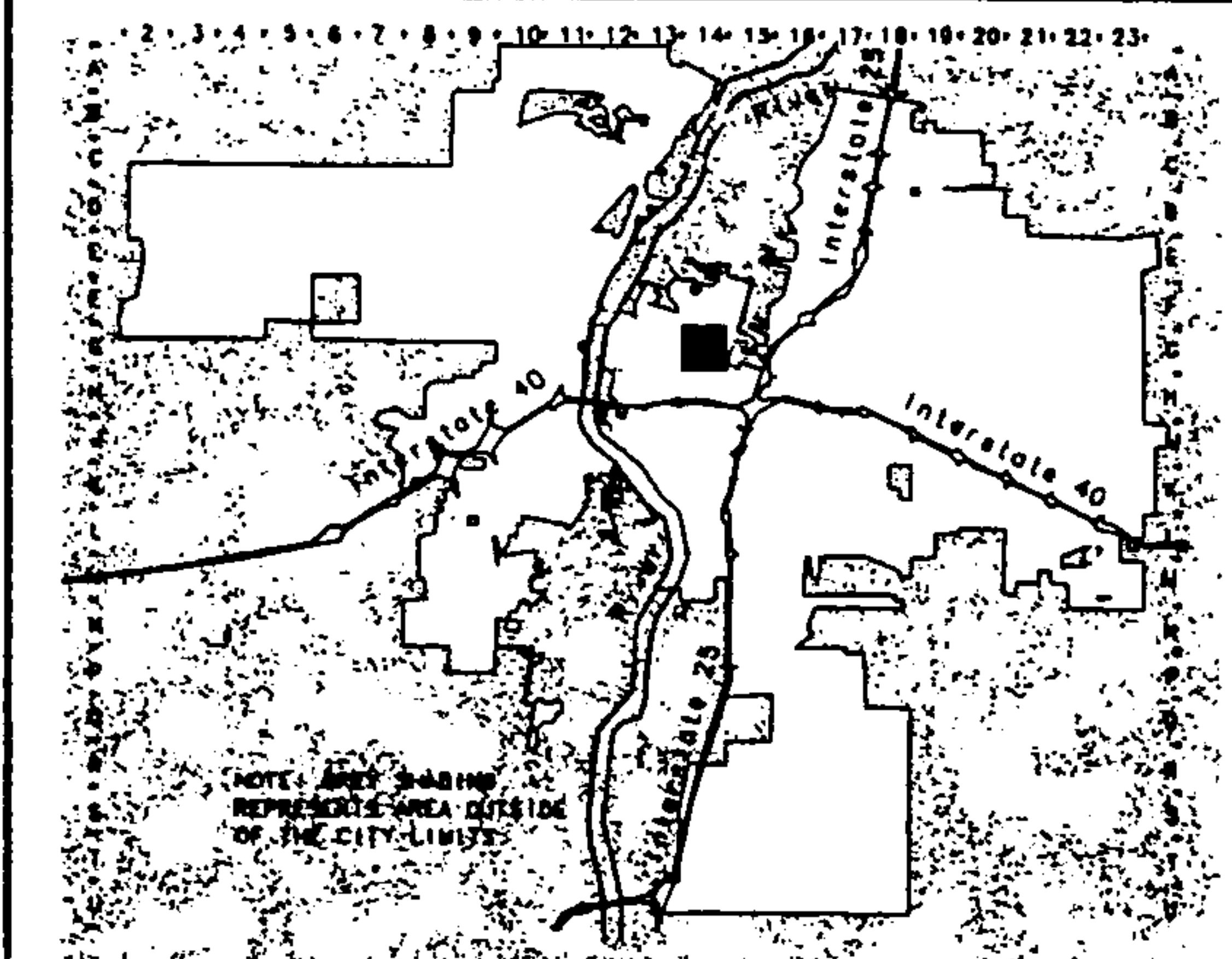
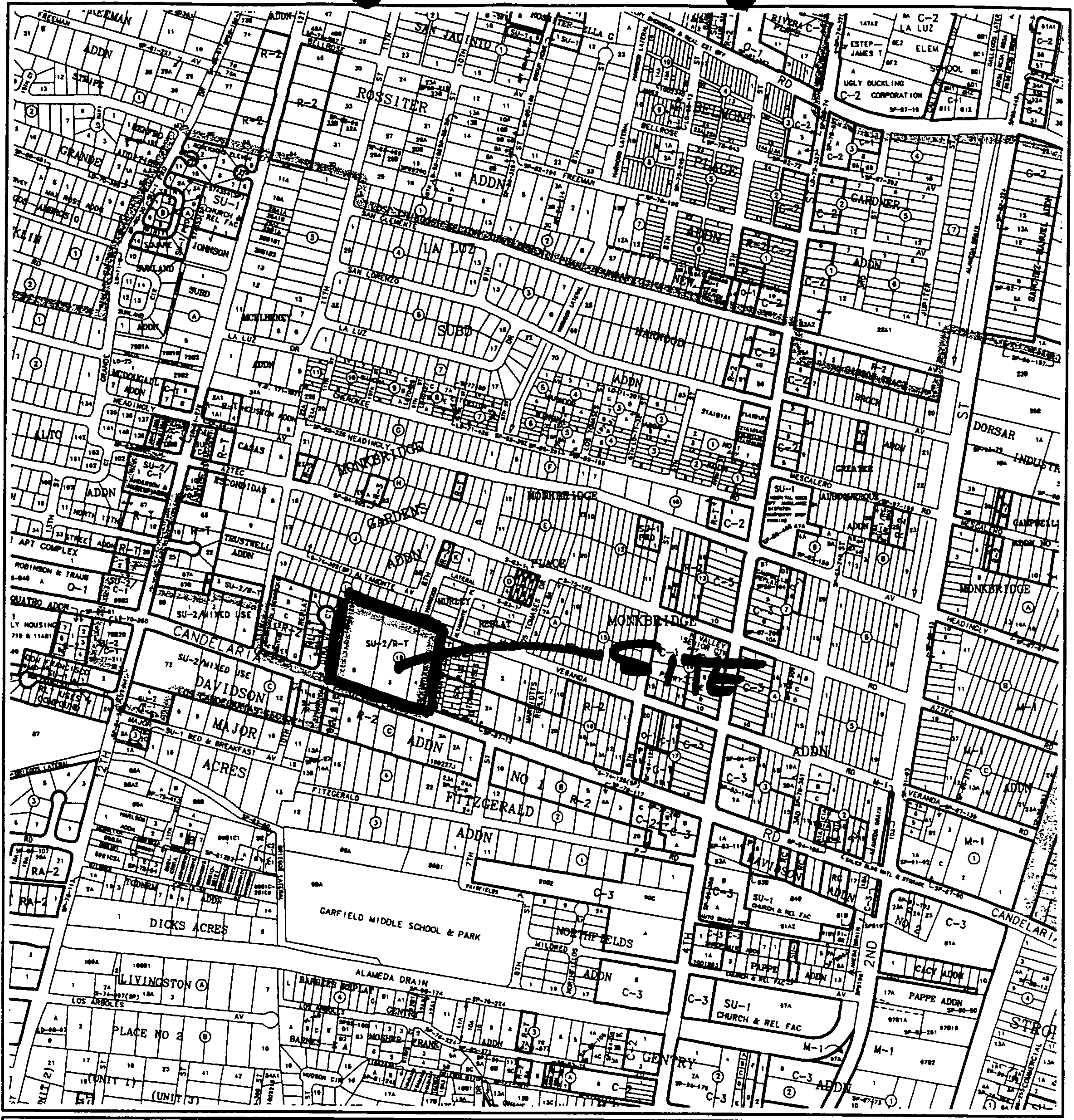
Enclosed is one copy of the zone atlas page, a copy of the Office of Neighborhood Coordination correspondence, and 24 copies of the final plat. The project is in the DRC review process currently, and is anticipated to be approved before the DRB hearing. If you need additional information or have any questions, please call me at 255-7802.

Sincerely,

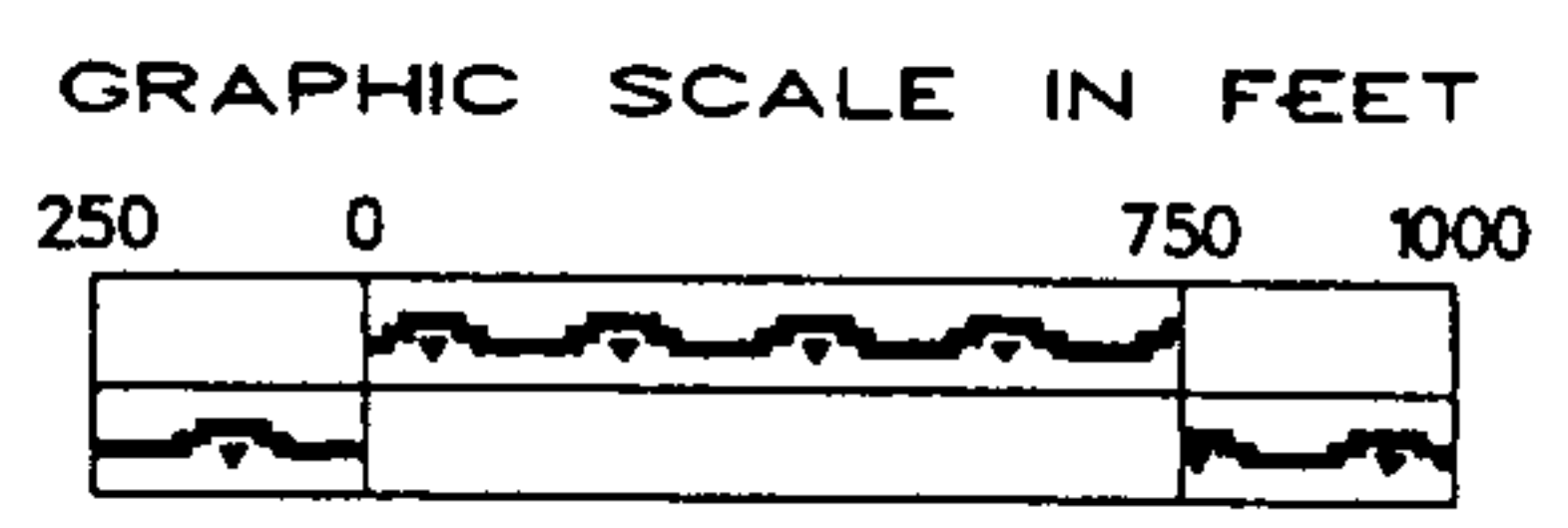


Martin J. Garcia, P.E.
ABQ Engineering, Inc.

File 22170



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page

G-14-Z

Map Amended through January 21, 2003

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE FROM SUBDIVISION DESIGN STANDARDS

- Application for subdivision (Plat) on FORM S, including those submittal requirements. Variance and subdivision should be applied for simultaneously.
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
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 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
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VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
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 - Letter briefly describing, explaining, and justifying the request
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 - Sign Posting Agreement
 - Fee (see schedule) *1/2 000 45 + 75 NOTIF. Fee. =*
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VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
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 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing
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VACATION OF PRIVATE EASEMENT

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 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

M. Garcia

 Applicant name (print)
 MARIAN J. GARCIA 4/16/03

 Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 03DRB- _____ -00580
 _____ - _____ -
 _____ - _____ -

B. Berbest 4/09/03

 Planner signature / date
 Project # 1002400

City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

Supplemental form **S**

SUBDIVISION

Major Subdivision action

Minor Subdivision action

Vacation

Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) L

Supplemental form **Z**

ZONING

Annexation & Zone Establishment

Sector Plan

Zone Change

Text Amendment

APPEAL / PROTEST of...

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: CENTER HOMES PHONE: 341-8537

ADDRESS: 5120 MASTHEAD NE FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: _____

Proprietary interest in site: OWNER

AGENT (if any): ABD ENGINEERING PHONE: 255-7802

ADDRESS: 1031 EURANK NE SUITE C FAX: 255-7902

CITY: ALBUQ. STATE NM ZIP 87112 E-MAIL: _____

DESCRIPTION OF REQUEST: Final Plat Approval - Public Utility Easement Vacation for Los Candelarias Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. West 1/2 of Lot 4, Lot 5, Lot 6 Block: 16 Unit: _____

Subdiv. / Addn. MONKBRIDGE ADDITIONAL

Current Zoning: SU-2/R-T Proposed zoning: NA

Zone Atlas page(s): C117 No. of existing lots: 3 No. of proposed lots: 36

Total area of site (acres): 4.56 Density if applicable: dwellings per gross acre: 7.8 dwellings per net acre: _____

Within city limits? Yes No but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? No

UPC No. 1014060 208 20031414 , 1014060 208 31415 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: NORTH SIDE OF CANDELARIA BOULEVARD NW

Between: OTRA VEE COURT NW and CIERVO COURT NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_ V_ S_ etc.):

03DRB-00094, 03DRB/00267, 03DRB 00256, 02DRB-01935

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team Date of review: _____

SIGNATURE Martin J. Garcia DATE 4/8/03

(Print) _____ Applicant Agent

Form revised September 2001

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
03DRB - 00580	VPE	✓	\$ 45.00
-	NOTICE FEE		\$ 75.00
03DRB - 00581	FPA	3(3)	\$ 0
-			\$
-			\$
Total			\$ 120.00

Hearing date MAY 7th, 03

Robert 4/10/03
Planner signature / date

Project # 1002400

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL

24

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. *Otherwise bring Mylar to meeting.*
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification *4/29/03 - will be provided on this date*
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. *Otherwise, bring Mylar to meeting.*
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
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Amended preliminary plat approval expires after one year.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Marcos J. Garcia Agent Applicant name (print)
[Signature] Agent Applicant signature / date 4/8/03



Form revised September 2001

- Checklists complete
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- Case #s assigned
- Related #s listed

Application case numbers
03DRB-00581

[Signature] 4/9/03
 Planner signature / date
Project # 1002400

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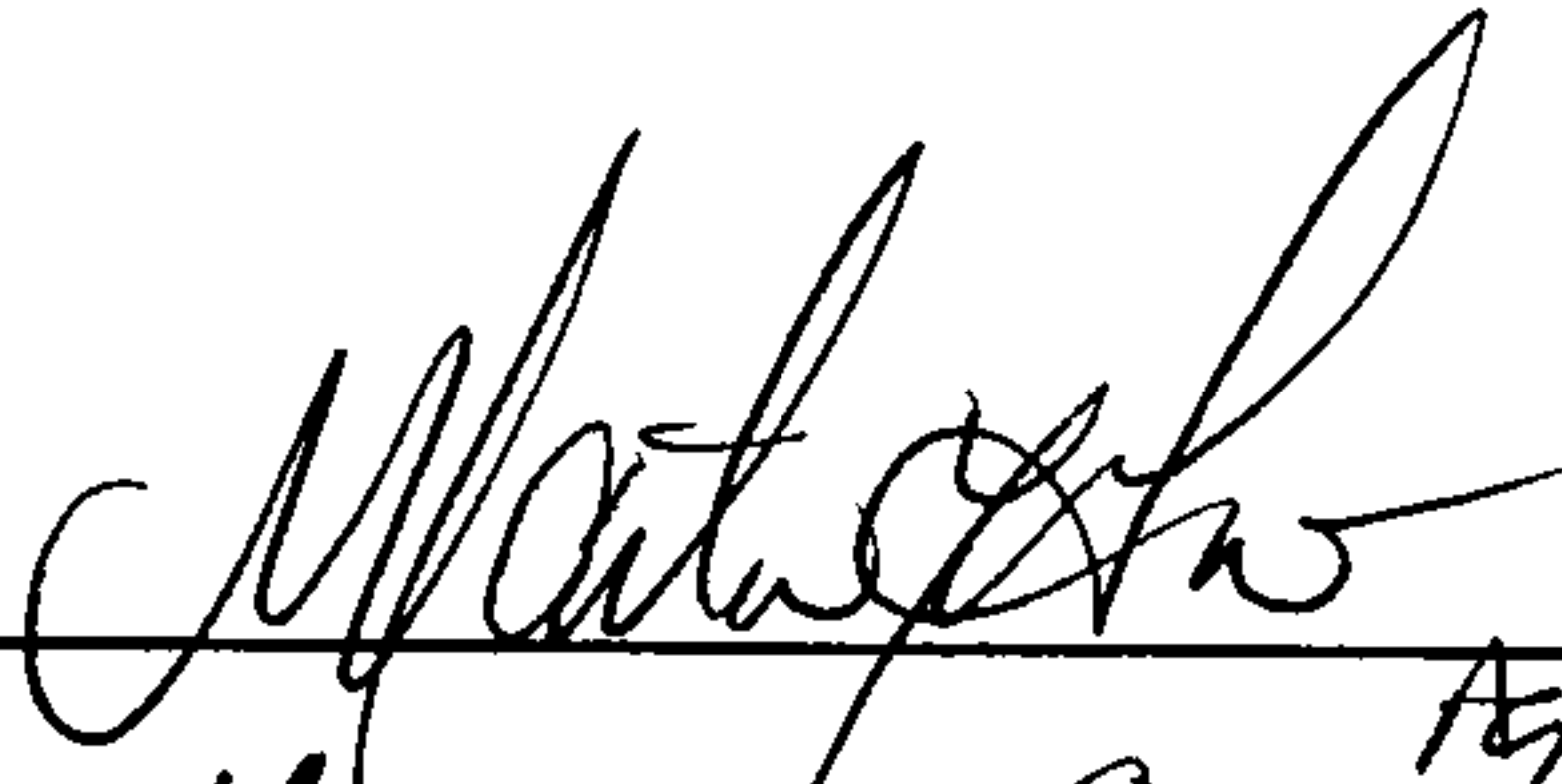
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 Mariana J. Garcia Agent Applicant name (print) 4/18/03

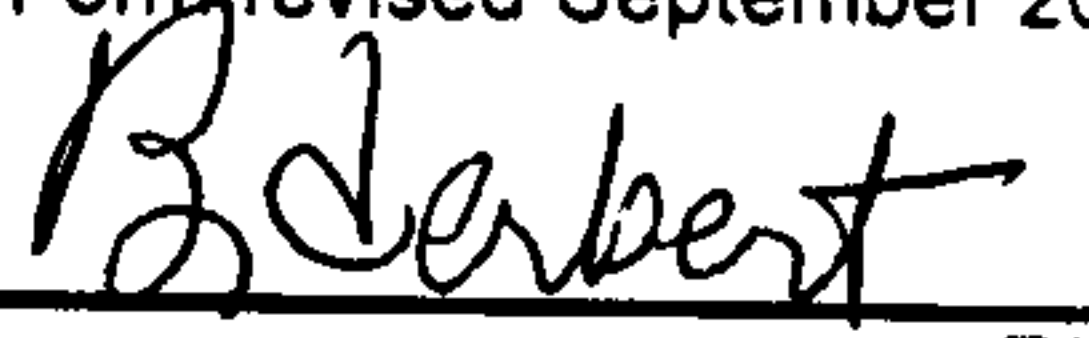
 Applicant signature / date



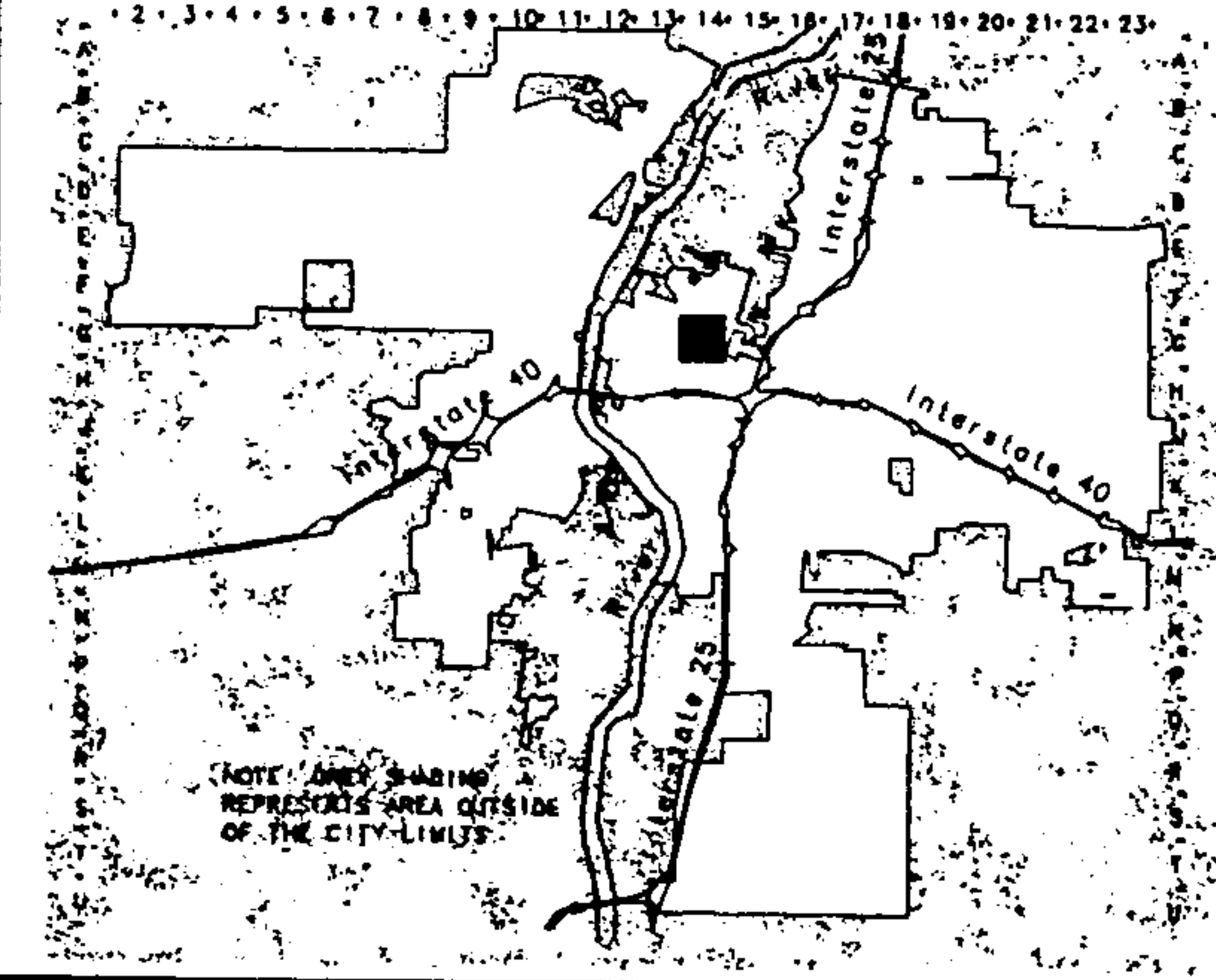
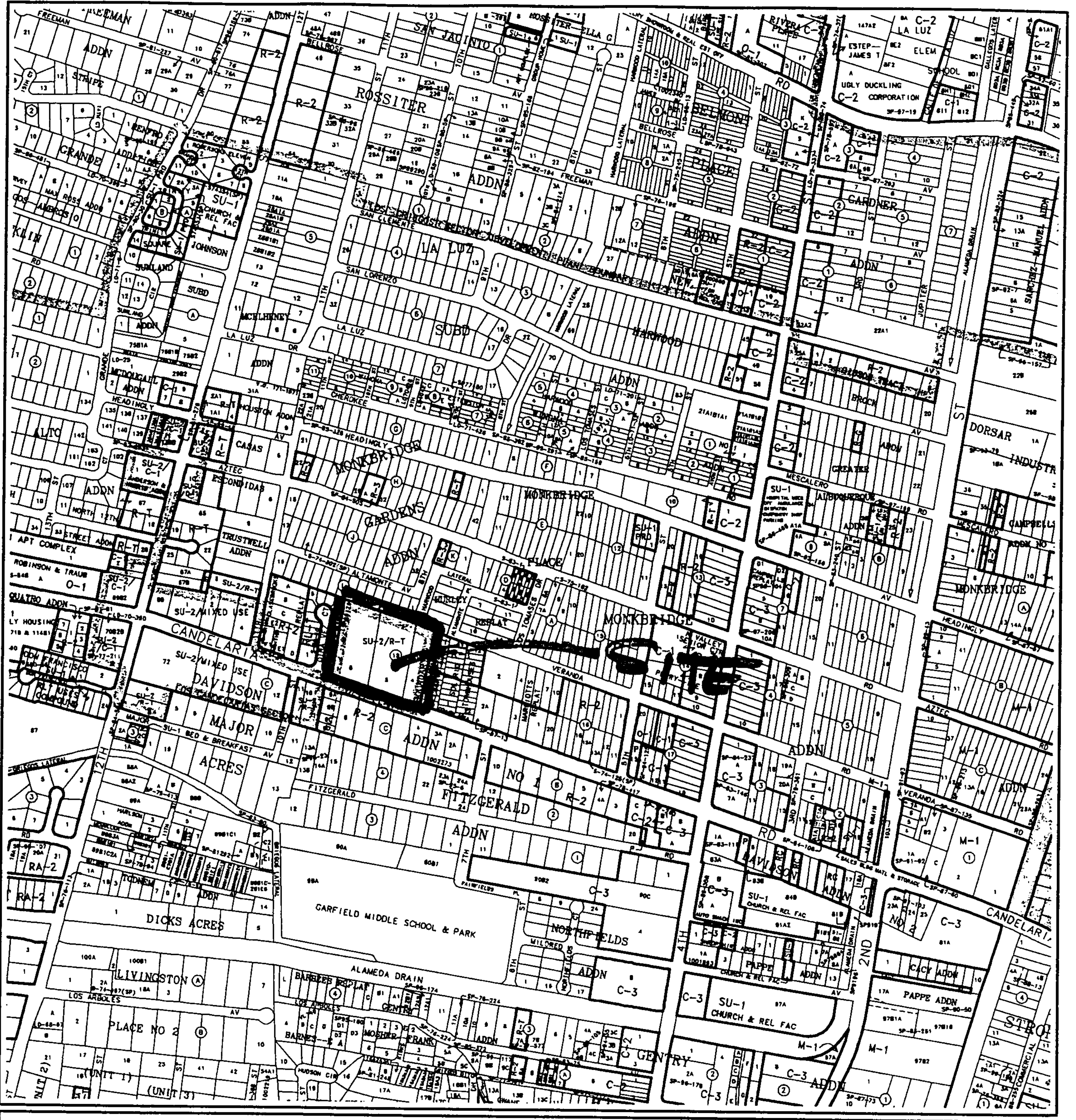
Form revised September 2001

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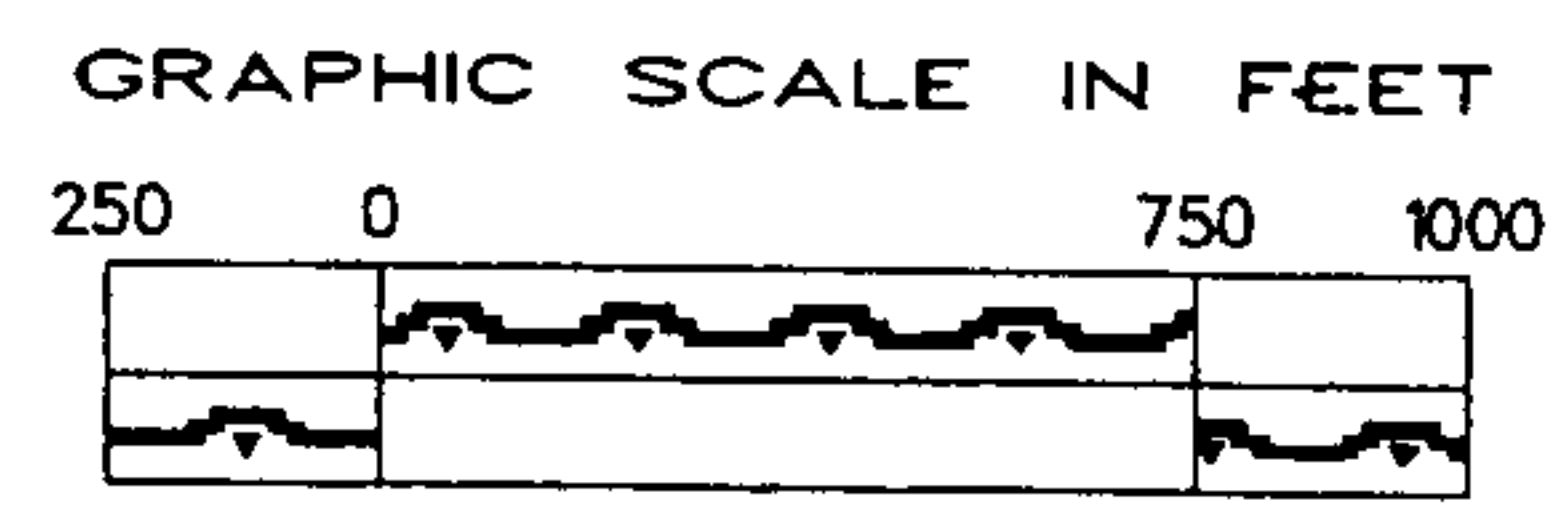
Application case numbers
 03DRB- _____ -00580
 _____ - _____ -
 _____ - _____ -



 B. Berbert 4/09/03
 Planner signature / date
Project # 1002400



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page

G-14-Z

Map Amended through January 21, 2003



April 8, 2003

City of Albuquerque
Design Review Board
Development and Building Services
600 Second Street NW
Albuquerque, NM 87102

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Sincerely,

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Martin J. Garcia, P.E.
ABQ Engineering, Inc.

File 22170



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: 1-17-03

TO CONTACT NAME: Martin Garcia
COMPANY/AGENCY: ABQ Engineering
ADDRESS/ZIP: _____
PHONE/FAX #: ~~255-7802~~ 255-7802 FAX = 255-7902

Thank you for your inquiry of 1-17-03 requesting the names of Recognized
(date)

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at North of Candelaria NW, east of 10th Street NW
Western 1/2 of lots 4, 5 + 6 of Monkbridge Addition, Block 1B
zone map page(s) G-14

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

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Neighborhood Association
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619 Candelaria NW 87107
344-9460
Gail Reese
P.O. Box 6809/87197
345-0108

Near North Valley
Neighborhood Association
Contacts: Ingrid Biel
1012 Major NW 87107
345-3968
Mary Bilan
3800 RioGrande NW
PMB 254/87107 345-2308

See reverse side for additional Neighborhood Association Information: YES { } NO { }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,


OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.



April 8, 2003

Neighborhood Association Representative

RE: Los Candelarias Subdivision

Dear Representative:

ABQ Engineering, Inc. has been retained to design Los Candelarias Subdivision. Los Candelarias Subdivision is proposed as a 36-lot residential subdivision located on the North Side of Candelaria Boulevard between Otra Vez Court and Cuervo Court. The property legal description is West 100 ft of lot 4, lot 5, and lot 6, Block 18 of the Monkbridge Addition.

The Vacation request included with this letter is for removal of a 7'x25' easement along Candelaria Boulevard. The easement is for a guy wire associated with PNM's power line. An alternate easement has been granted with this plat.

Enclosed for your use is a copy of the plan for the subdivision. If you have any questions regarding this project or require additional information please contact me at 255-7802. I am available to meet with you at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'Martin J. Garcia', is written over the word 'Sincerely'.

Martin J. Garcia, PE
Civil Engineer
ABQ Engineering, Inc.
22170

Copies:

Tonya Lentrip
619 Candelaria Rd. NW
Albuquerque, NM 87107

Ingrid Biel
1012 Major NW
Albuquerque, NM 87107

Gail Reese
P.O. Box 6809
Albuquerque, NM 87197

Mary Bilan
3800 Rio Grande NW PMB 254
Albuquerque, NM 87107

**U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)**

ALBUQUERQUE, NM 87197

Postage	\$ 0.60
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.65

UNIT ID: 0112
APR 08 2003
Clerk: KR774N
04/08/03

Recipient's Name (Please Print Clearly) (To be completed by mailer)
GAIL LEE
Street, Apt. No.; or PO Box No.
P.O. Box 6809
City, State, ZIP+4
ALBUQUERQUE NM 87197

PS Form 3800, February 2000 See Reverse for Instructions

**U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)**

ALBUQUERQUE, NM 87107

Postage	\$ 0.60
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.65

UNIT ID: 0112
APR 08 2003
Clerk: KR774N
04/08/03

Recipient's Name (Please Print Clearly) (To be completed by mailer)
MARIA BIEL
Street, Apt. No.; or PO Box No.
1012 MASOL NW
City, State, ZIP+4
ALBUQUERQUE NM 87107

PS Form 3800, February 2000 See Reverse for Instructions

7000 2670 0013 4161 9387

**U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)**

ALBUQUERQUE, NM 87107

Postage	\$ 0.60
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.65

UNIT ID: 0112
APR 08 2003
Clerk: KR774N
04/08/03

Recipient's Name (Please Print Clearly) (To be completed by mailer)
MARY BICAN
Street, Apt. No.; or PO Box No.
3800 RIO GRANDE PL NW PMB 254
City, State, ZIP+4
ALBUQUERQUE NM 87107

PS Form 3800, February 2000 See Reverse for Instructions

**U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)**

ALBUQUERQUE, NM 87107

Postage	\$ 0.60
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.65

UNIT ID: 0112
APR 08 2003
Clerk: KR774N
04/08/03

Recipient's Name (Please Print Clearly) (To be completed by mailer)
TONYA LENTIP
Street, Apt. No.; or PO Box No.
6019 CANDELARIA RD NW
City, State, ZIP+4
ALBUQUERQUE NM 87107

PS Form 3800, February 2000 See Reverse for Instructions

9208 9655 6200 0250 0002

7000 0520 0023 5398 8033

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol -2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME CENTEX HOMES
AGENT ABQ ENG.
ADDRESS 1631 EUBANK BLVA. NE 87112
PROJECT NO. 1002900
APPLICATION NO. 03DRB-00580

\$ 45 441006 / 4983000 (DRB Cases)
\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)
\$ 75 441018 / 4971000 (Notification)

\$ 120⁰⁰ **Total amount due**

DUPLICATE
City Of Albuquerque
Treasury Division

DUPLICATE
City Of Albuquerque
Treasury Division

04/09/2003 11:52AM LOC: ANN
X
RECEIPT# 0007189 WSH# 008 TRANS# 0016
Account 441006 Fund 0110
Activity 4983000 TRSDMM
Trans Amt \$120.00
J24 Misc \$45.00

04/09/2003 11:52AM LCC: ANN
X
RECEIPT# 00007190 WSH# 008 TRANS# 0016
Account 441018 Fund 0110
Activity 4971000 TRSDMM
Trans Amt \$120.00
J24 Misc \$75.00
CK 10/28/02 \$120.00
CHANGE \$0.00

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staple are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from April 22nd 03 To MAY 7th 03.

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] 4/9/03
(Applicant or Agent) (Date)

I issued 1 signs for this application, 4/09/03, [Signature]
(Date) (Staff Member)

Current DRC

Project Number: _____

FIGURE 12

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: 2/24/03

Date Site Plan Approved: N/A

Date Preliminary Plat Approved: 3/5/03

Date Preliminary Plat Expires: 3/5/04

DRB Project No.: 1002400

DRB Application No.: 03DRB00024

LOS CADELARIAS SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

WEST 100 FT OF LOT 4, LOT 5, LOT 6 Block 18 Monkbridge Addition.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		25' F-F	Residential Paving	Candelarias Lane	(699LF)		1	1	1
		40' F-F	Residential Paving	Candelarias Lane	Candelaria Blvd	Intx. w/COOP.	1	1	1
			Mantable Curb's Gutter both sides.	Candelarias Lane	Candelaria Blvd.	Candelaria Blvd	1	1	1
		4ft.	Sidewalk (Both Sides except where defined)	Candelarias Lane	Candelaria Blvd.	Intx. w/COOP.	1	1	1
		2 ft.	Sidewalk (Additional)	Candelaria Blvd.	West Prop Line	East Prop. Line.	1	1	1
		30"	Removal of RCP PIPE Rossiter Drain.	85' E of West Property Line	North Property Line	R/W (Candelaria)	1	1	1
			Sidewalk Culvert (266)	Candelaria Blvd.			1	1	1
		2'	Concrete Gutter (Back yards)	lots 1-6, 20-26.			1	1	1
		6"	WATER LINE (99LF) (COOP)	Candelarias Lane	Candelaria Blvd	Candelaria Blvd)	1	1	1

SIA Sequence #	COA DRC Project #
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

Size	Type of Improvement	Location	From	To
8"	Sanitary Sewer Line (20' LF)	Candelarias Lane	Candelarias Blvd	Candelarias Blvd.
8"	Sanitary Sewer Line.	Public Easement	Lot 8	Candelarias Lane
8"	Sanitary Sewer Line.	Public Easement.	Lot 19	Candelarias Lane

Private Inspector	City Inspector	City Cnst Engineer
1	1	1
1	1	1
1	1	1
1	1	1

- 1 Grading and Drainage Certification Required Prior to release of Financial Guarantee.
- 2 _____
- 3 _____

NOTES

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Martin J. Garcia
NAME (print)

ABO Engineering Inc.
FIRM

[Signature] 2/24/03
SIGNATURE - date

[Signature] 3/5/03
DRB CHAIR - date

[Signature] 3-05-03
TRANSPORTATION DEVELOPMENT - date

Roger Shear 3/5/03
UTILITY DEVELOPMENT - date

Brad L. Biber 3/5/03
CITY ENGINEER - date

Christina Sandoval 3/5/03
PARKS & GENERAL SERVICES - date
Recreation

AMAFCA - date

- date

- date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: 3-05-05

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

Supplemental form **S**

SUBDIVISION

Major Subdivision action

Minor Subdivision action

Vacation **V**

Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

Supplemental form **Z**

ZONING

Annexation & Zone Establishment

Sector Plan

Zone Change

Text Amendment

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JAY REMBERT PHONE: 878-0008

ADDRESS: 7020 JEFFERSON BLVD NE FAX: 878-0002

CITY: ALBUQUERQUE NM STATE NM ZIP 87109 E-MAIL: _____

Proprietary interest in site: MANAGING MEMBER

AGENT (if any): ABO ENGINEERING INC. PHONE: 255-7802

ADDRESS: 11031 EUBANK NE SUITE C FAX: 255-7402

CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: _____

DESCRIPTION OF REQUEST: SIDEWALK DEFENSE, SIDEWALK WAIVER, LOS CANDOLINAS SUBDIVISION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. WEST 100 FT OF LOT 4, LOT 5, LOT 6 Block: 78 Unit: _____

Subdiv. / Addn. Monkbridge Addition

Current Zoning: SU2 RTRC Proposed zoning: _____

Zone Atlas page(s): G-14-E No. of existing lots: 3 No. of proposed lots: 36

Total area of site (acres): 4.56 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No. but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. LOT 4- 1014200 208 2003 1414, LOT 5- 1014060 208 31415 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: North side of Candelaria Blvd.

Between: Otra Vez Court and Cueva Ct.

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App. DRB, AX, Z, V, S, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 2/18/03

(Print) MAURICIO J. GARCIA Applicant: Agent:

Form revised September 2001

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>03 DRB - 00256</u>	<u>SW</u>	<u>✓</u>	\$ <u>0</u>
<u>03 DRB - 00267</u>	<u>TD SW</u>	<u>✓</u>	\$ <u>0</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>MAR 5 2003</u>			Total \$ <u>0</u>

[Signature] 2/20/03
Planner signature / date

Project # 1002400

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE FROM SUBDIVISION DESIGN STANDARDS

- Application for subdivision (Plat) on FORM S, including those submittal requirements. Variance and subdivision should be applied for simultaneously.
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

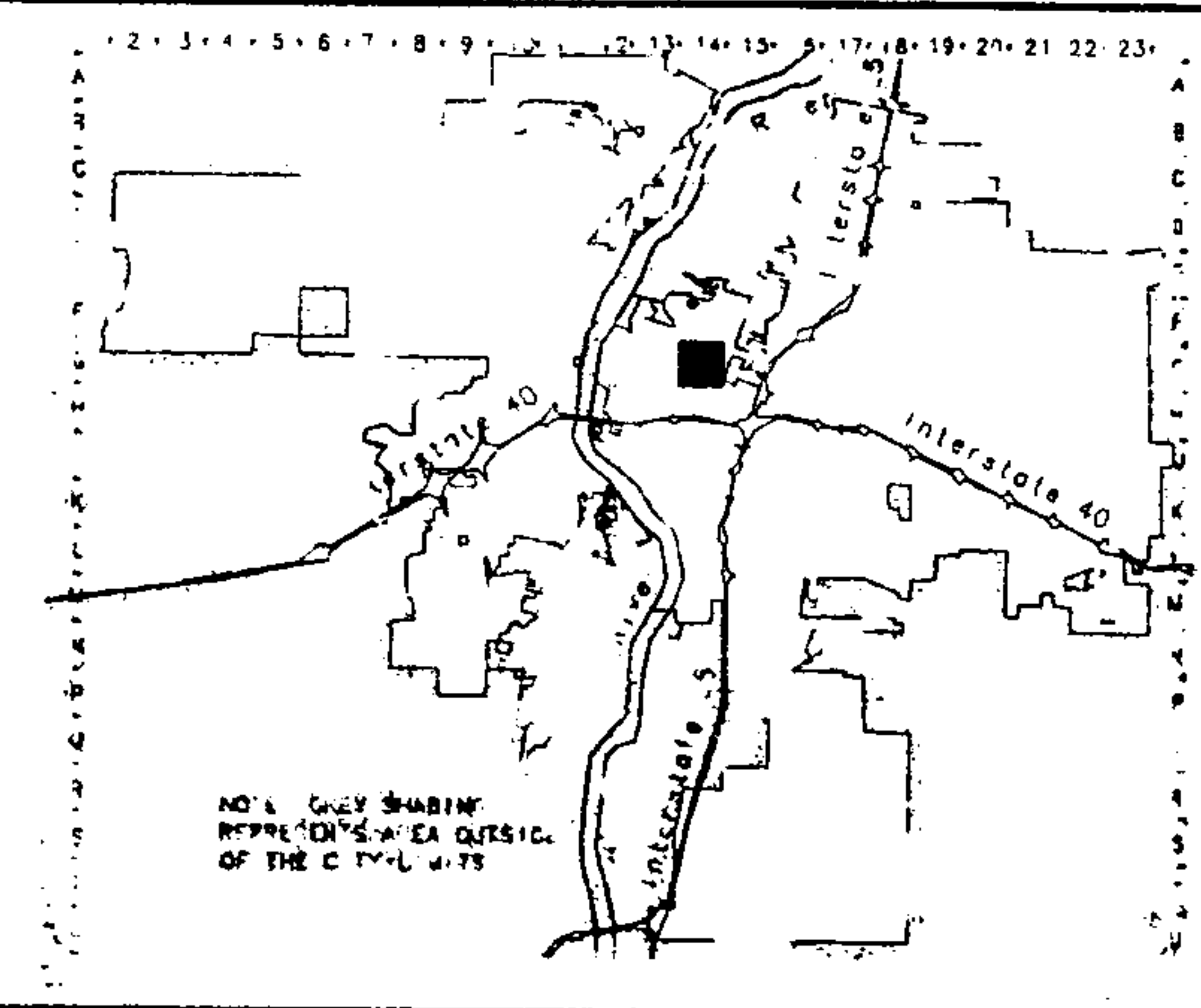
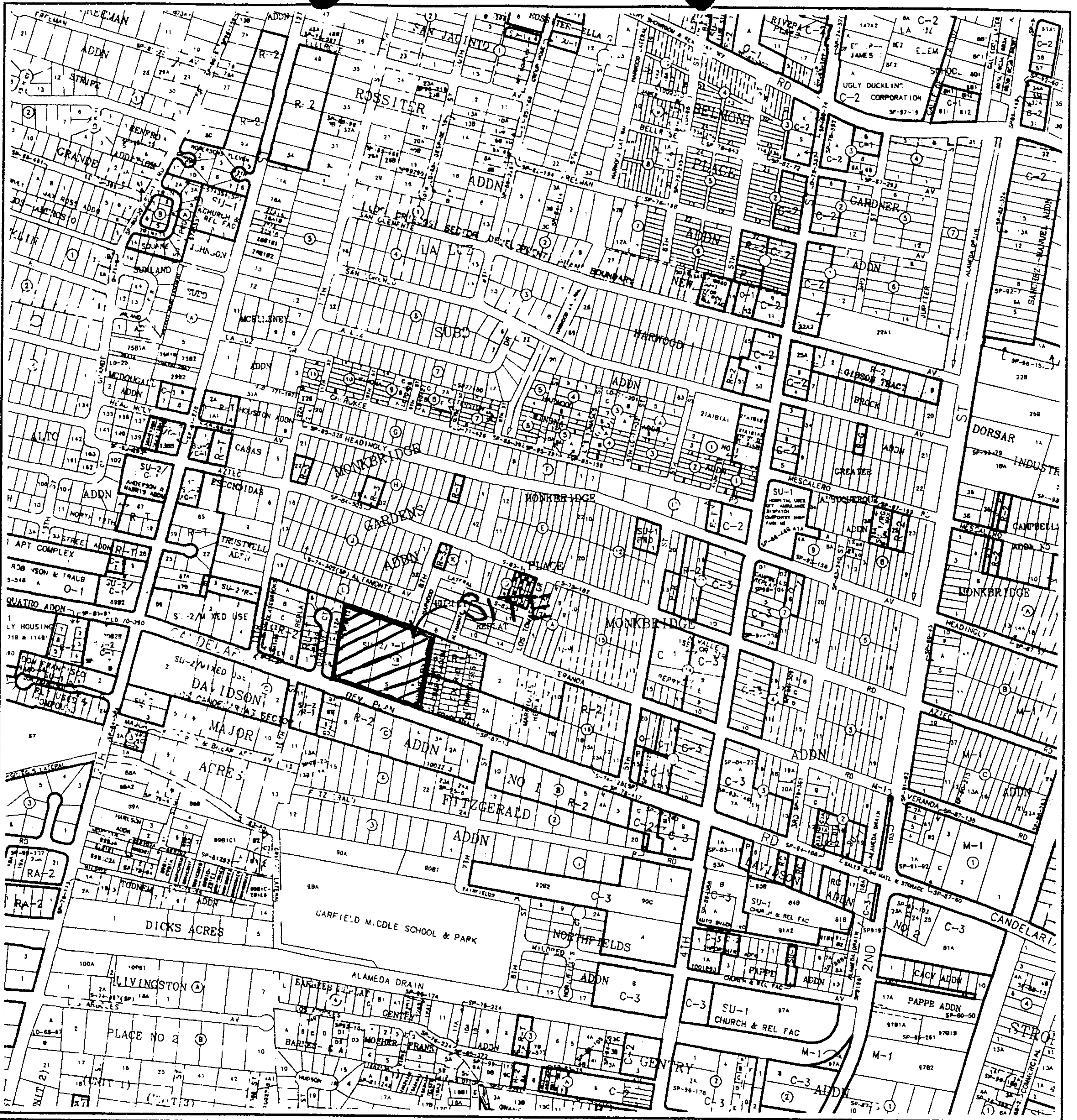
MARGIE J. GARCIA (AGOR)
Applicant name (print)
MARGIE J. GARCIA 2/19/03
Applicant signature / date



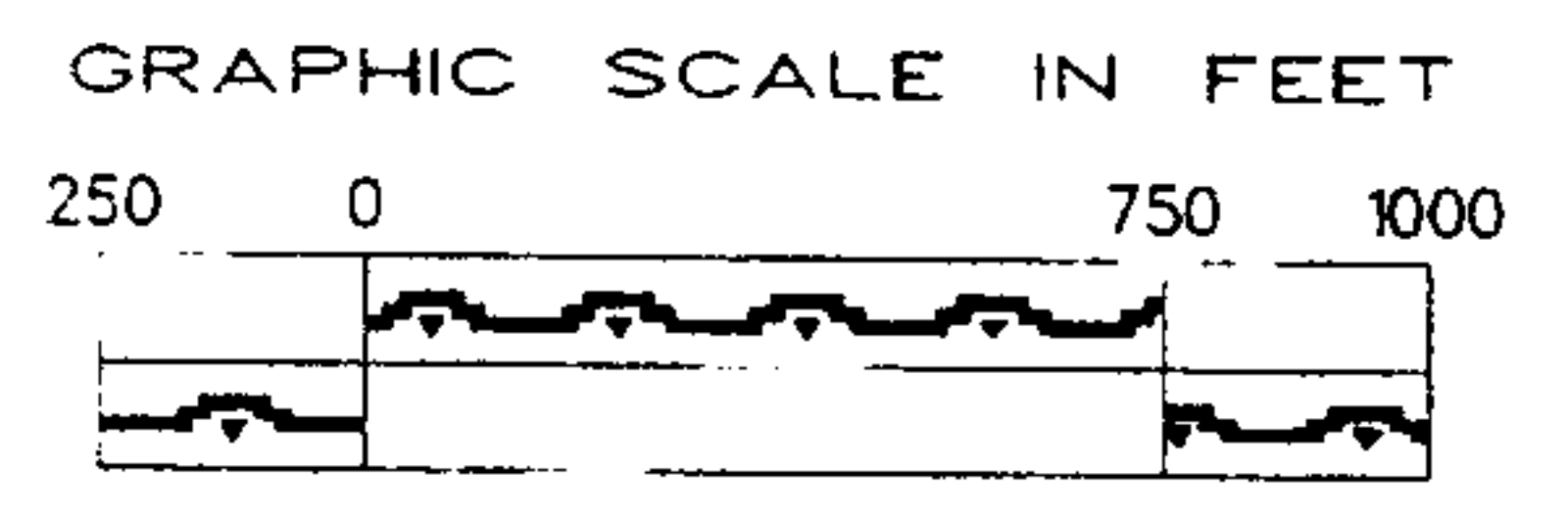
Form revised September 2001

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- | | |
|--------------------------|--|
| Application case numbers | |
| 03DRB - 00256 | |
| 03DRB - 00267 | |
| - - | |

JMA 2/20/03
Planner signature / date
Project # 1002400



CITY OF
Albuquerque
A lbuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page

G-14-Z

Map Amended through January 21, 2003



February 19, 2003

City of Albuquerque
Design Review Board
Development and Building Services
600 Second Street NW
Albuquerque, NM 87102

RE: Request for Temporary Sidewalk Deferral/and sidewalk Waiver for Los Candelarias Subdivision.

ABQ Engineering, Inc., agent for Bank of Albuquerque/ Jay Rembe is requesting a temporary sidewalk deferral and sidewalk waiver for Los Candelarias Subdivision located on the North Side of Candelaria Boulevard between Otra Vez Court and Cuervo Court. The temporary deferral would allow construction of the sidewalks (internal and along Candelaria blvd) to occur at building permit phase. The sidewalk waiver is requested for two sections in the subdivision where there is no anticipated use or plans to install a sidewalk (see exhibit). Granting of the waiver would not adversely impact the pedestrian traffic flow within the subdivision.

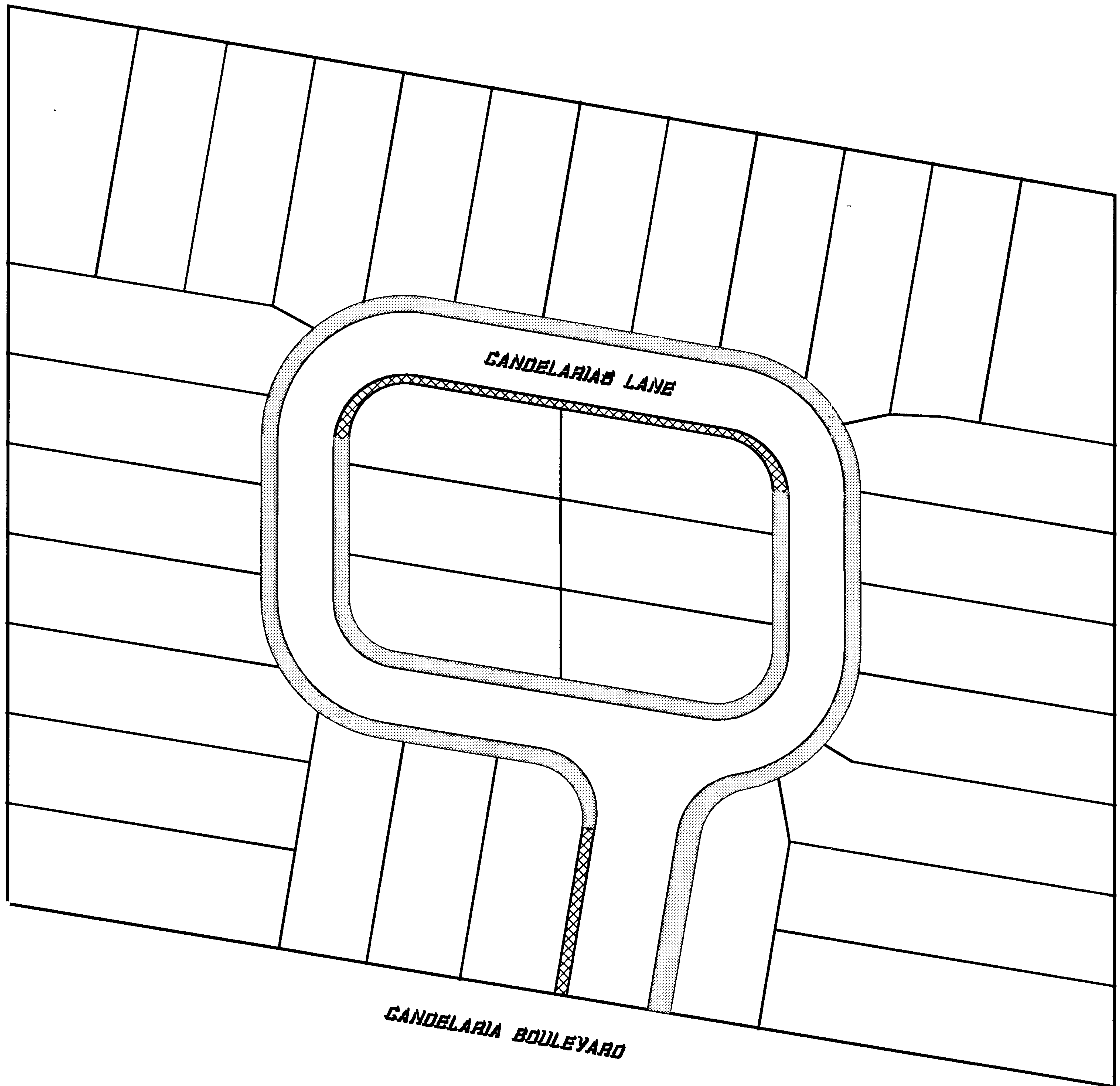
Enclosed are a copy of the zone atlas page, the waiver and deferral application, six copies of the exhibits. Please schedule this before the DRB on February 28, 2002 along with the deferred item. If you need additional information or have any questions, please call me at 255-7802.

Sincerely,



A handwritten signature in black ink, appearing to read 'Martin J. Garcia', is written over the word 'Sincerely,'.

Martin J. Garcia, P.E.
ABQ Engineering, Inc.

File 22170

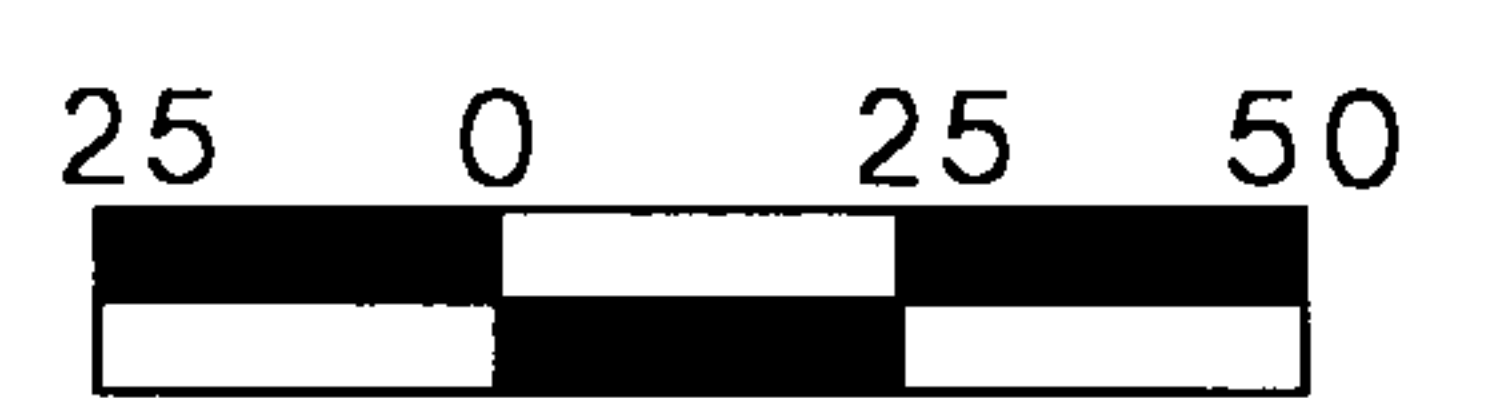


Legend

-  SIDEWALK DEFERRAL
-  SIDEWALK WAIVER



NORTH



1" = 50'

ABQ • Engineers • Planners
 Engineering, • Construction Services
 Inc. 1431 Eubank NE, Suite C,
 Albuquerque, NM 87112
 505-255-7900 FAX 505-255-7902

EXHIBIT X

C

2052001

February 13, 2003

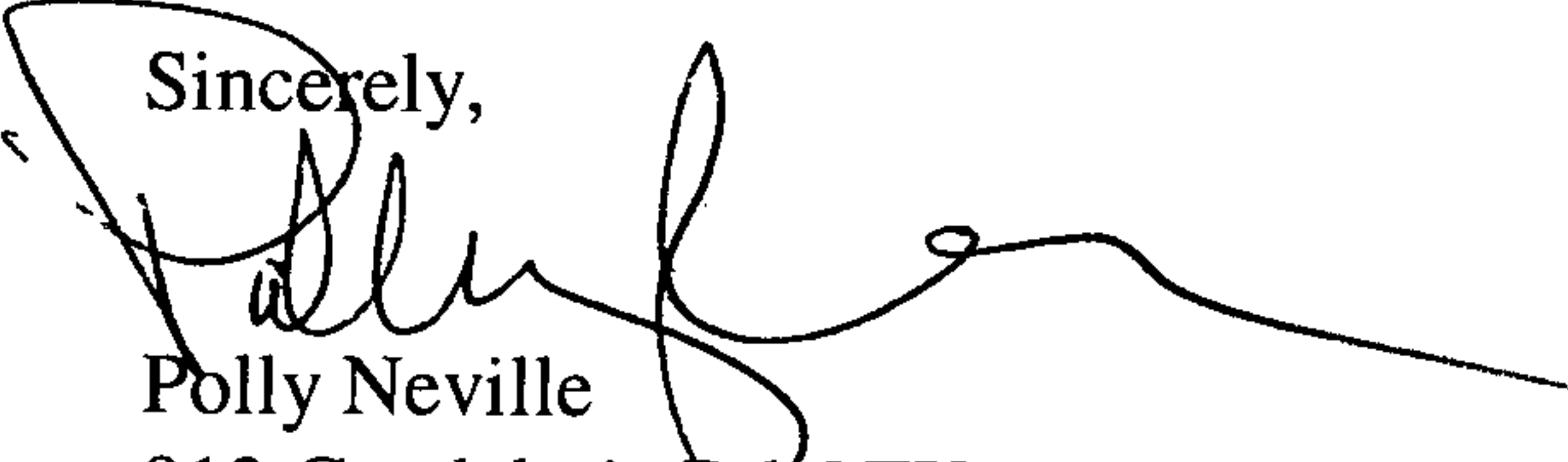
City Of Albuquerque Planning Department
Attention: Sheran Matson, Chair, Development Review Board
P.O. Box 1293
Albuquerque, New Mexico 87103

Dear Ms. Matson,

I am writing in reference to project #1002400, Las Candelarias Subdivision. I have received notice of a public hearing scheduled for February 19, 2003. My property, at 913 Candelaria N.W. is adjacent to the proposed subdivision. If approved as planned I would have the rear of three residences abutting my property to the East. As an existing, non-conforming property built in the 1920's there is no setback from the East side of my home. I am requesting that the developer accommodate a 10 foot historically prescribed easement as a setback for my property to buffer the negative impact of this dense development, and to provide the space required to access my own property for maintenance of my home.

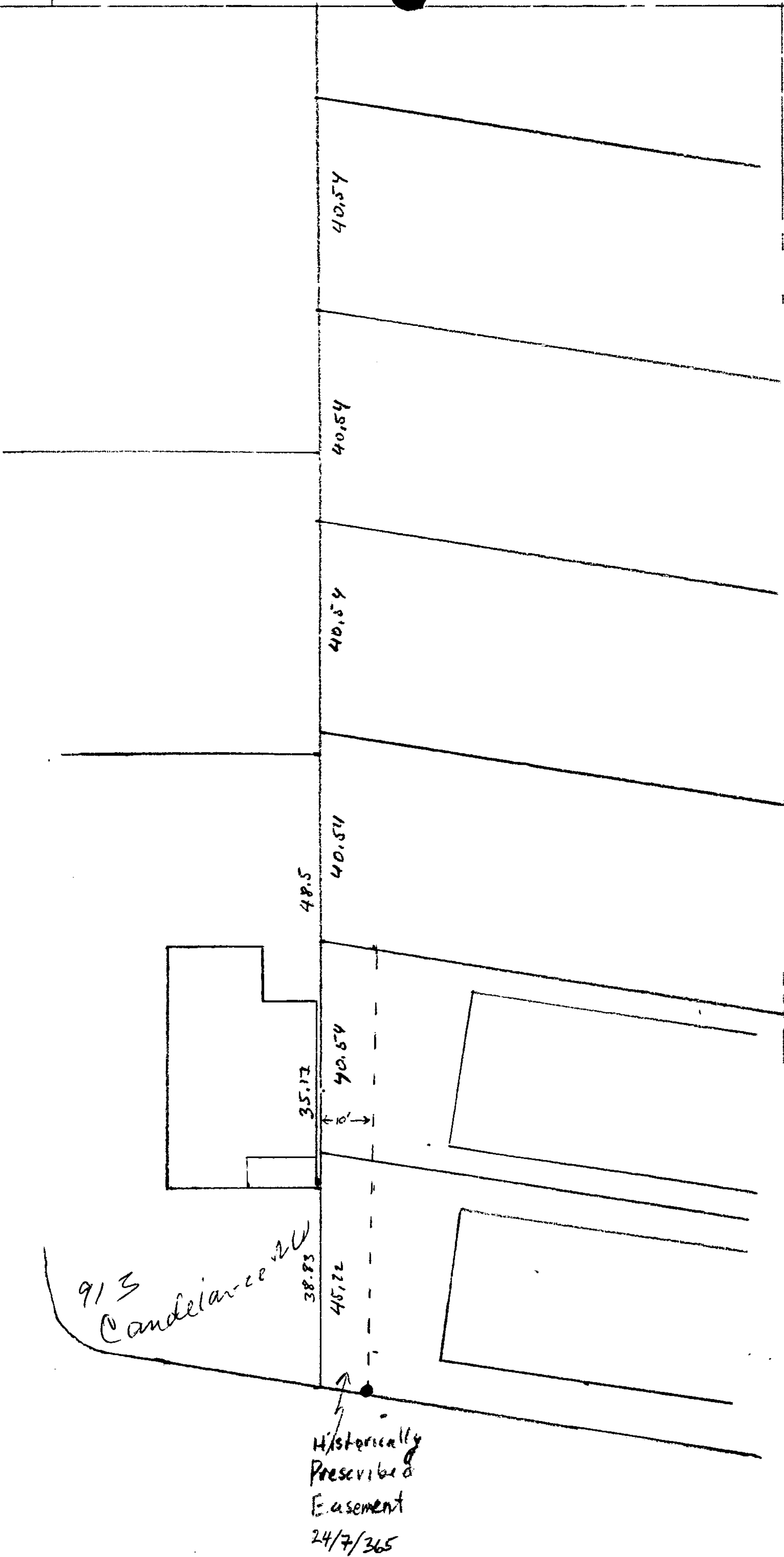
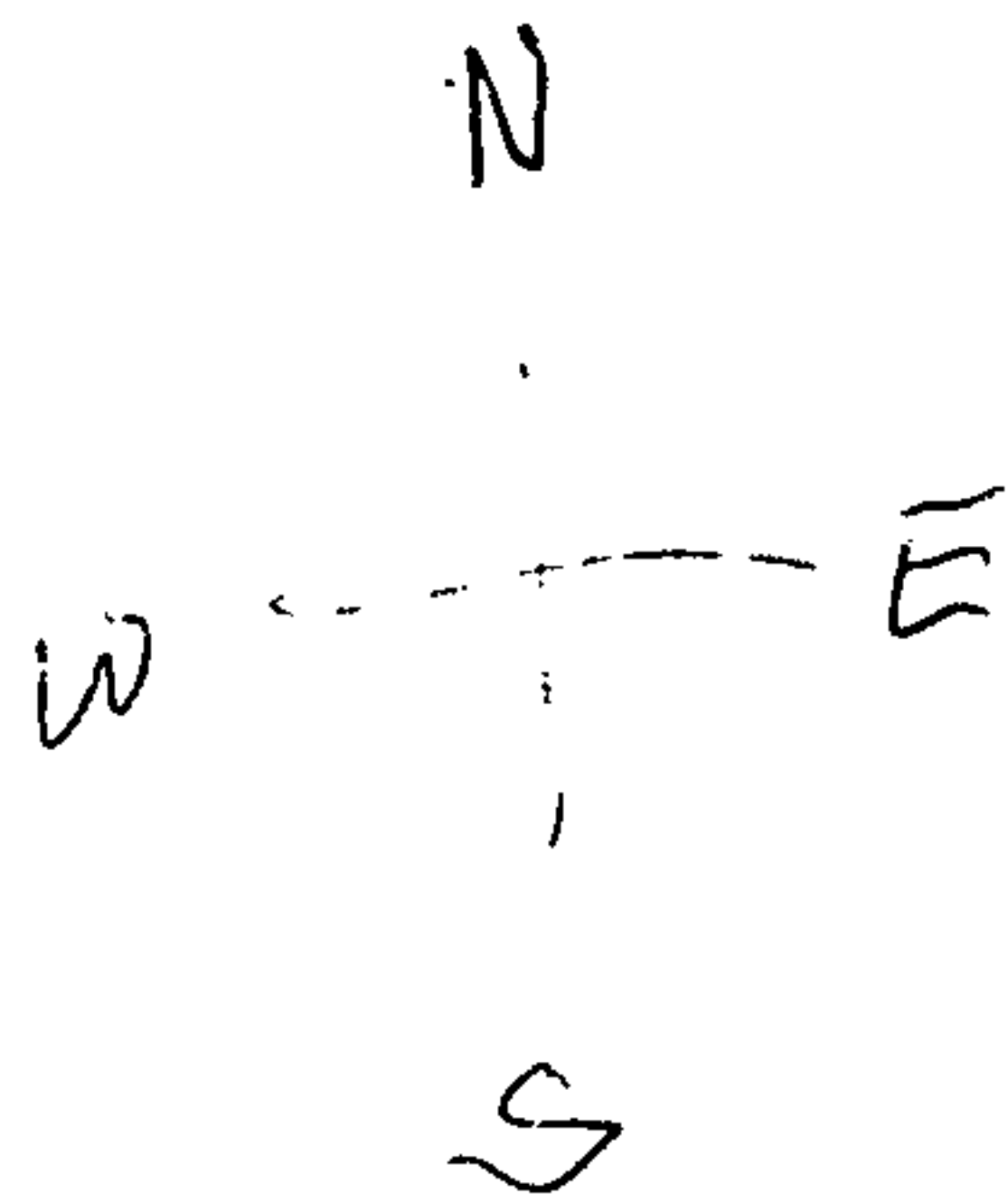
I have attached a sketch of my property in relation to the proposed subdivision. I will plan to attend the public hearing scheduled for February 19, 2003.

Sincerely,

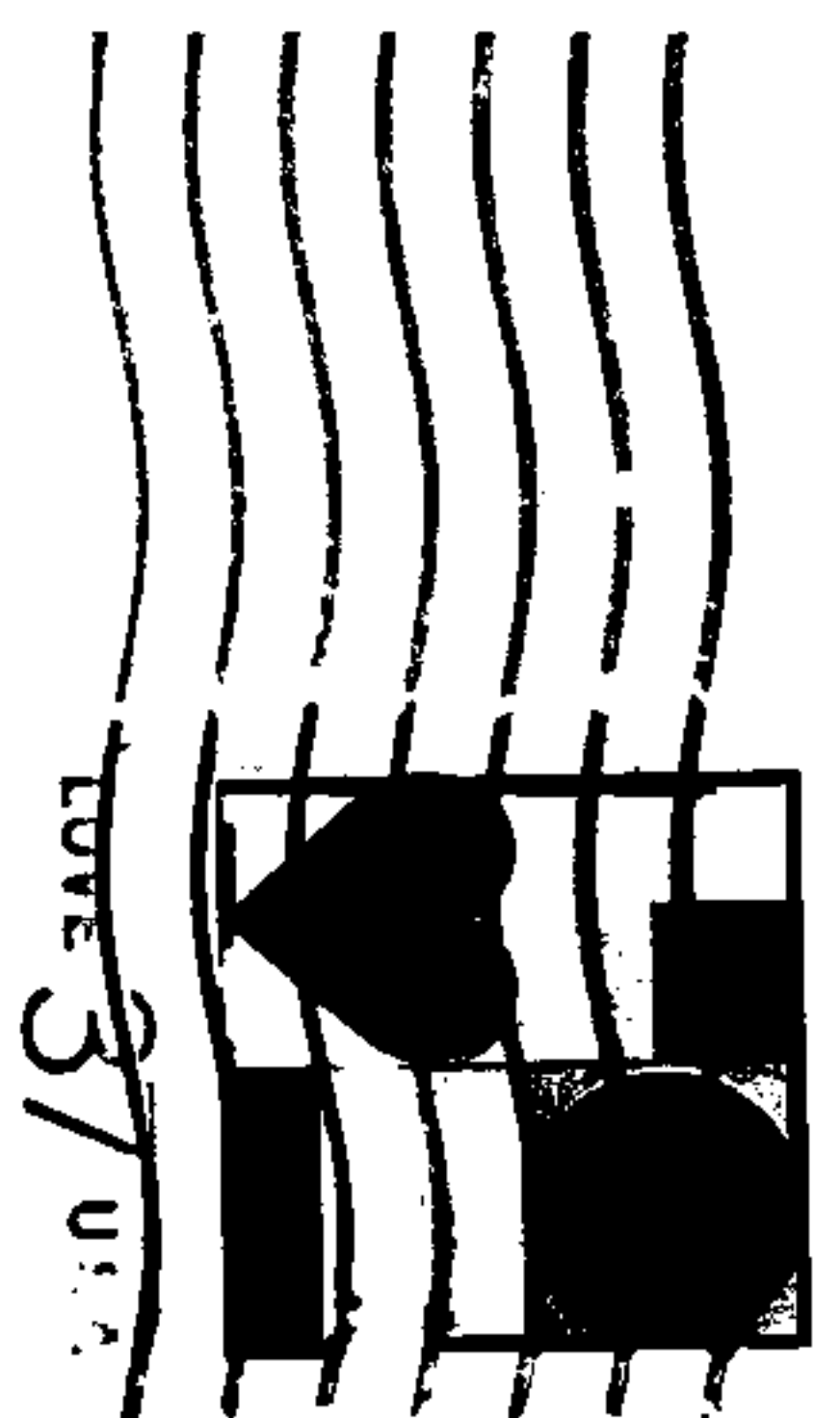
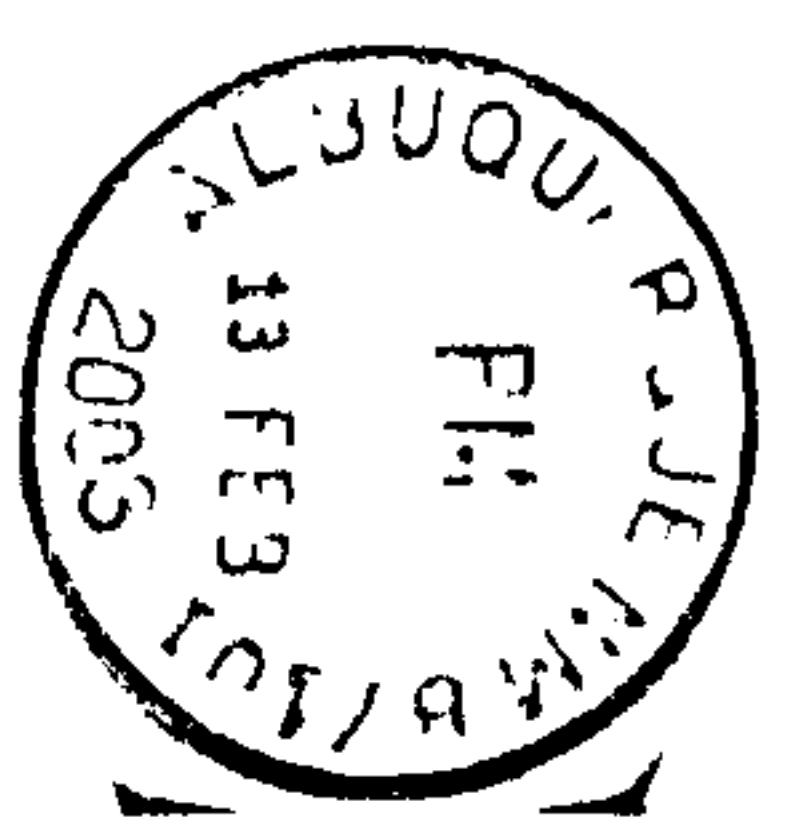


Polly Neville
913 Candelaria Rd. NW
Albuquerque, NM 87107
345-3529

22 1/1 10 SHEETS
22-142 100 SHEETS
22-143 200 SHEETS



Deville
913 Vancouver Blvd
Alb, NM 87107



City of Alb. Planning Dept.
Attn: Sheran Matson
PO Box 1293
Alb, NM 87103

POSTNET

A City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING	Z
<input checked="" type="checkbox"/> Major Subdivision Plat		<input type="checkbox"/> Annexation & Zone Establishment	
<input type="checkbox"/> Minor Subdivision Plat		<input type="checkbox"/> Sector Plan	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Text Amendment	
		<input type="checkbox"/> Special Exception	E
SITE DEVELOPMENT PLAN	P	APPEAL / PROTEST of...	A
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Decision by: Planning Director	
<input type="checkbox"/> ...for Building Permit		or Staff, DRB, EPC, Zoning Board of	
<input type="checkbox"/> IP Master Development Plan		Appeals, LUCC	
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JAY KEMBO PHONE: 878-6008
 ADDRESS: 7100 JEFFERSON BLVD NE FAX: 878-0002
 CITY: ALBUQ STATE: NM ZIP: 87109 E-MAIL: _____
 Proprietary interest in site: MANAGING MEMBER
 AGENT (if any): ABO ENGINEERING INC PHONE: 255-7802
 ADDRESS: 1131 BLIBANK NE SUITE C FAX: 255-7902
 CITY: ALBUQ STATE: NM ZIP: 87112 E-MAIL: mjgarcia@abeng.com

DESCRIPTION OF REQUEST: PRELIMINARY PLAT REVIEW AND APPROVAL FOR LOS
CANDELARIA SUBDIVISION

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY

Lot or Tract No. West 100 ft of lot 4, lot 5, lot Block: 18 Unit: _____
 Subdiv. / Addn. Monk bridge Addition
 Current Zoning: ~~SU-21/2-R-C~~ SU-21/2-R-C Proposed zoning: _____
 Zone Atlas page(s): G 14-2 No. of existing lots: 3 No. of proposed lots: 36
 Total area of site (acres): 4.56 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No _____, but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO
 UPC No. 64 4-1014060 208 2003 144, Lot 5, 6 - 614060 208 31415 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: North side of Candelaria Blvd
 Between: Otra Vez Court and Cuervo Ct.

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.). _____

02 DRB - 01935

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review 1/8/03

SIGNATURE [Signature] DATE 1/21/03
 (Print) Marion J. Garcia Applicant Agent

FOR OFFICIAL USE ONLY

Form revised September 2

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>03 DRB</u>	<u>PP</u>		\$ <u>1200.-</u>
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #'s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #'s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill		<u>Notice</u>		\$ <u>75.-</u>
<input type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>Feb 19 2003</u>			Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$ <u>1275.-</u>

[Signature] 1/21/03
 Planner signature / date

Project # 1002400

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Proposed Infrastructure List.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule) $565 + (15 \times 36) + 95 = 565 + 540 + 95 = 1200$
- Any original and/or related file numbers are listed on the cover application

Preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

- MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

MARINA J GARCIA Applicant name (print)
[Signature] Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
03 DRB - 00094

[Signature] 1/21/03
Planner signature / date
Project # 1002400



January 21, 2003

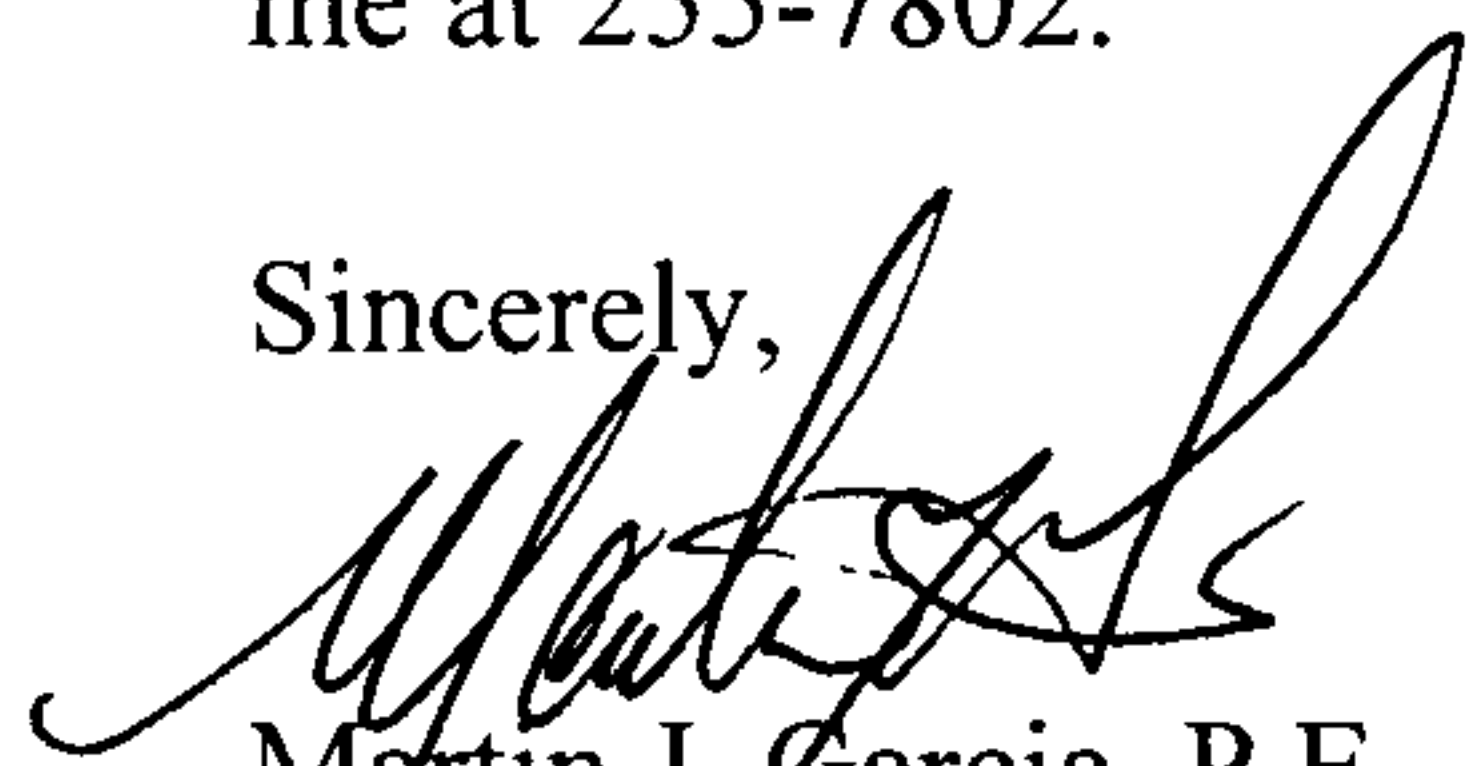
City of Albuquerque
Design Review Board
Development and Building Services
600 Second Street NW
Albuquerque, NM 87102

RE: Request for Preliminary Plat/Final Plat Review and Approval for Los Candelarias Subdivision.

ABQ Engineering, Inc., agent for Bank of Albuquerque/ Jay Rembe is requesting Preliminary Plat/Final Plat review and approval Los Candelarias Subdivision located on the North Side of Candelaria Boulevard between Otra Vez Court and Cuervo Court. The purpose of the replat is to create thirty-six (36) lots from three existing lots. The property is Zoned SU-2/R-T, and access to the subdivision is proposed directly from Candelaria Boulevard.

Enclosed are a copy of the zone atlas page, the Plat application, twenty four copies of the preliminary plat, twenty four copies of the grading plan, the infrastructure list, form DRWS, TIS/AQIA form, and the Office of Community and Neighborhood coordination correspondence. The plat is being submitted to the City Surveyor for review, comment, and approval concurrent with this application Please schedule this before the DRB as soon as possible. If you need additional information or have any questions, please call me at 255-7802.

Sincerely,


Martin J. Garcia, P.E.
ABQ Engineering, Inc.

File 22170

Bank of America



January 21, 2003

Bank of America Private Bank
Real Estate Services
NM1 101-07-04
PO Box 26900
Albuquerque, NM 87125-6900

Tel: 505.282.2192
Fax: 505.246.8299

TO: City of Albuquerque

RE: The W'rly 100 feet of Lot 4 and Lots 5 &6, Block 18
Monkbridge Addition, Bernalillo County, NM

Bank of America, N.A., fka NationsBank, N.A., successor by interest to Sunwest Bank of Albuquerque, N.A., as trustee of the William H. Dolde Revocable Trust, established under Trust Agreement dated December 6, 1996, as owner/seller of the above-referenced property hereby authorizes ABQ Engineering to act as agent on behalf of owner/seller for the design and necessary approvals for Los Candelaries Subdivision.

If you have any questions, please contact me at 282-2392.

Sincerely,

Elena Wyatt

AVP & Specialty Asset Manager
Private Bank – Trust Real Estate Services

APPROVED & ACCEPTED BY
SELLER/OWNER:

Bank of America, N.A., fka NationsBank, N.A., successor by interest to Sunwest Bank of Albuquerque, N.A., as trustee of the William H. Dolde Revocable Trust, established under Trust Agreement dated December 6, 1996

By:

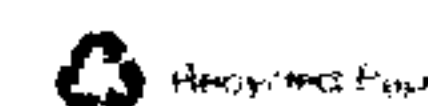
Elena Wyatt

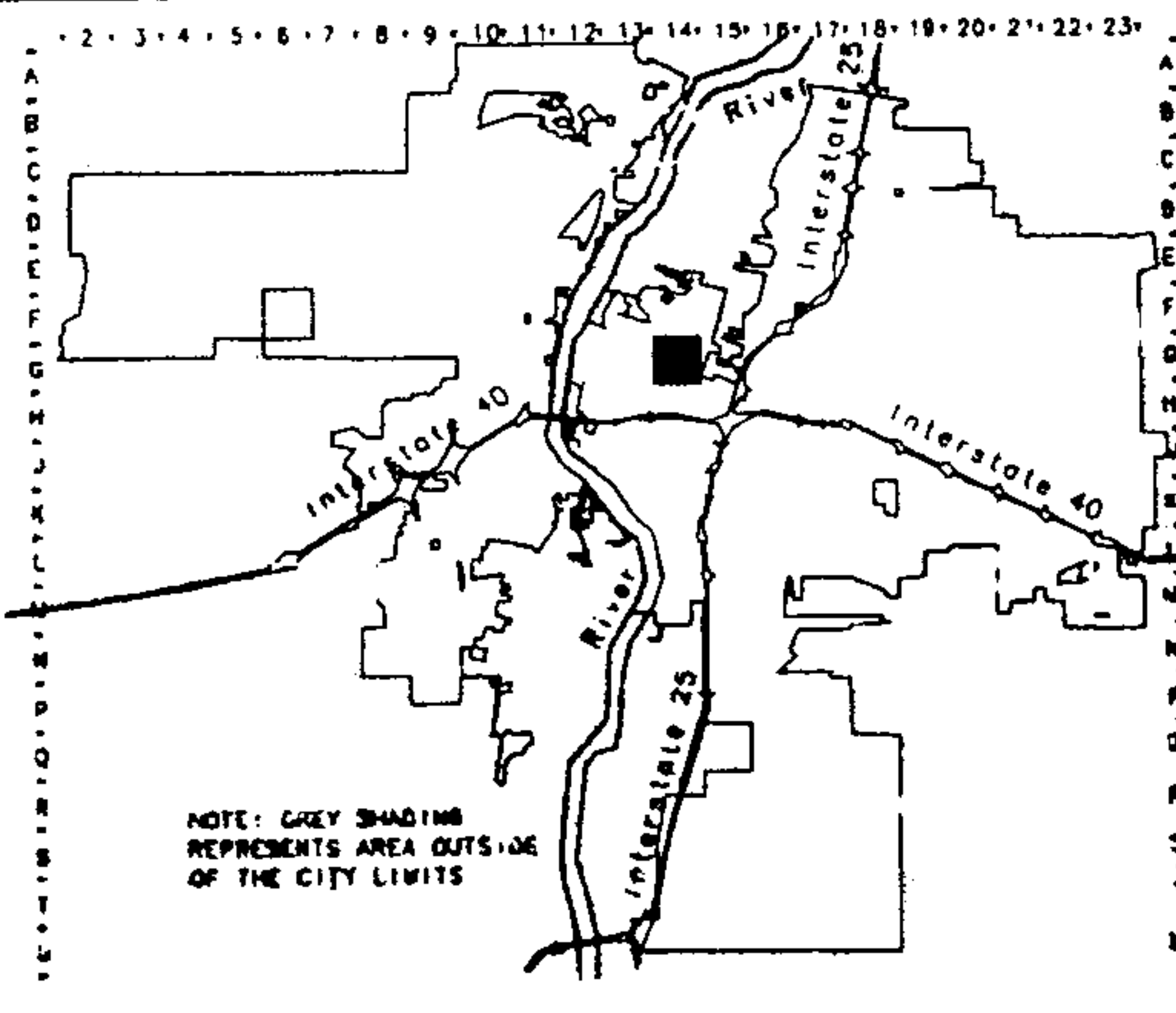
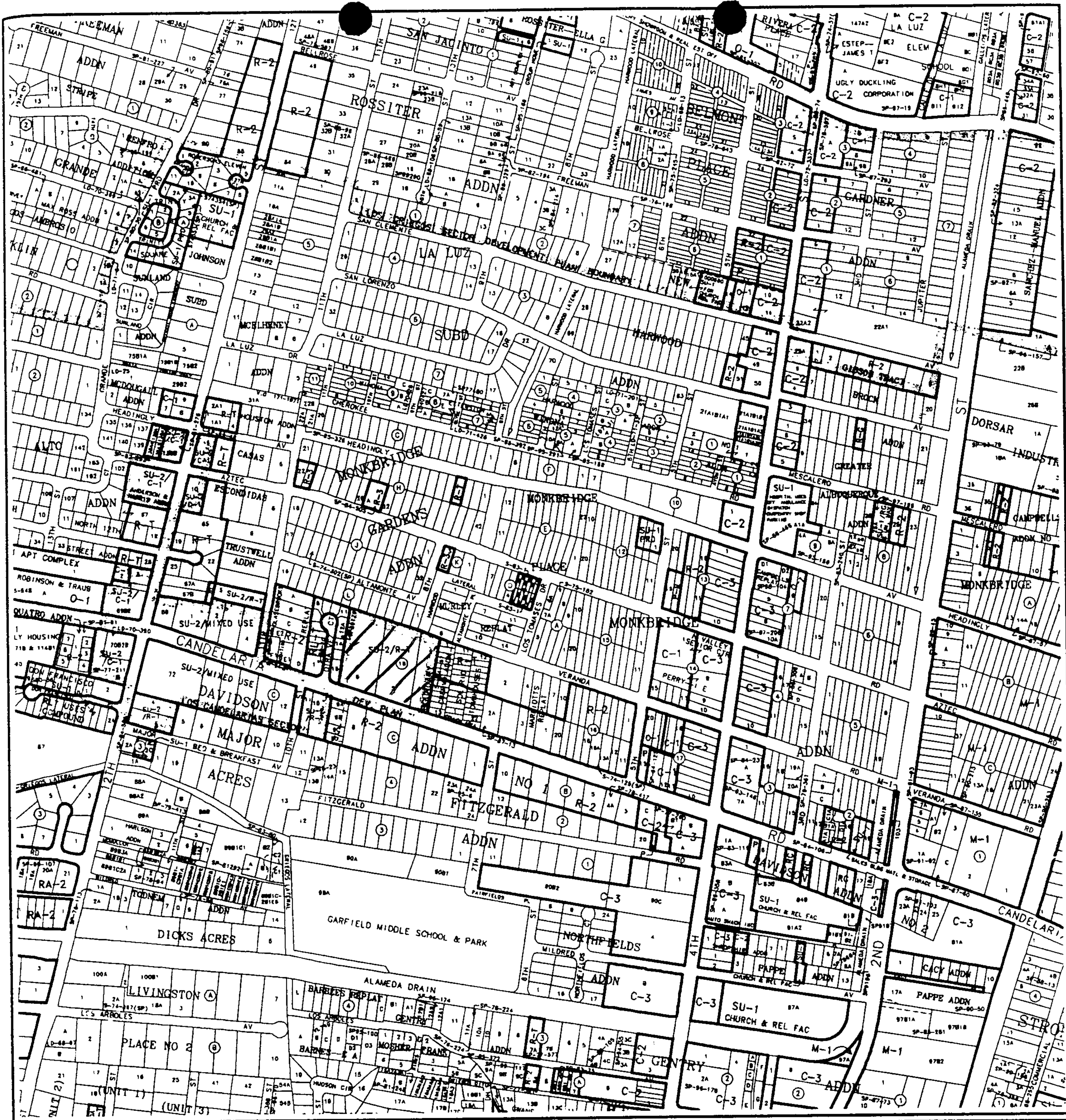
Title: Assistant Vice President

Date: January 21, 2003



U.S. Olympic Committee, 2002-2004
© 2002 Olympic Games





NOTE: GREY SHADING REPRESENTS AREA OUTSIDE OF THE CITY LIMITS

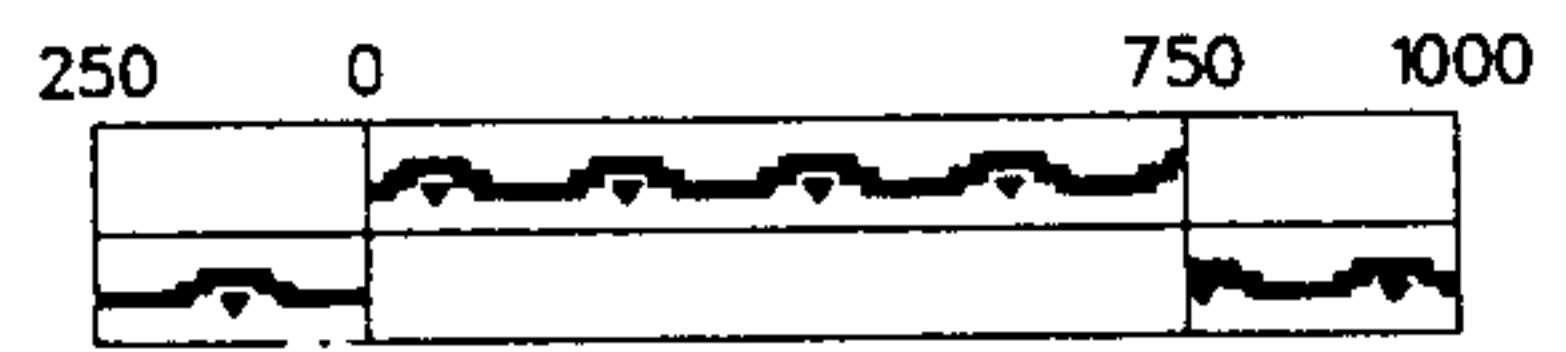


CITY OF Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

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GRAPHIC SCALE IN FEET



Zone Atlas Page

G-14-Z

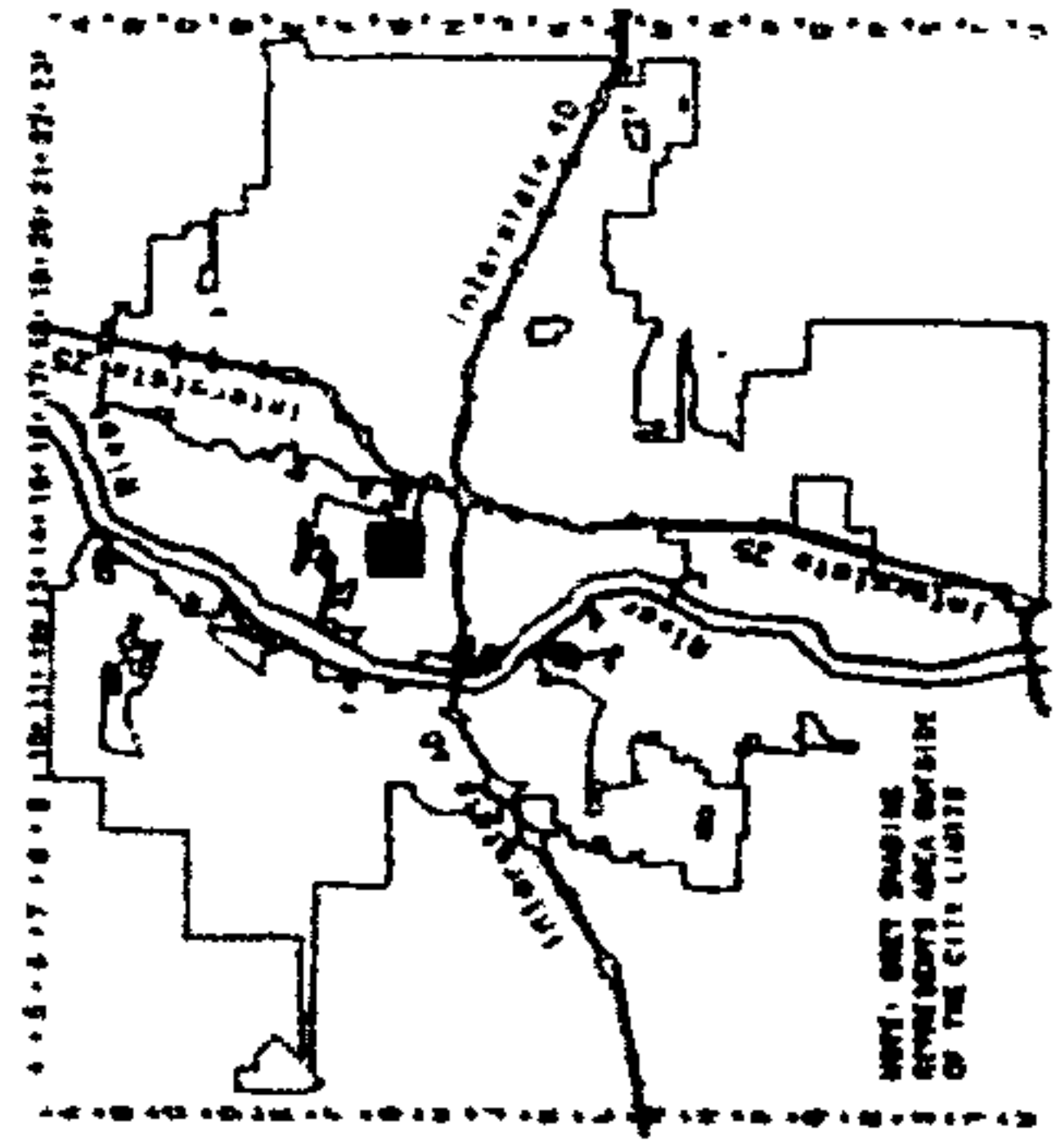
Map Amended through April 03, 2002

GRAPHIC SCALE IN FEET



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
© Copyright 1996

Map Amended through February 20, 1996

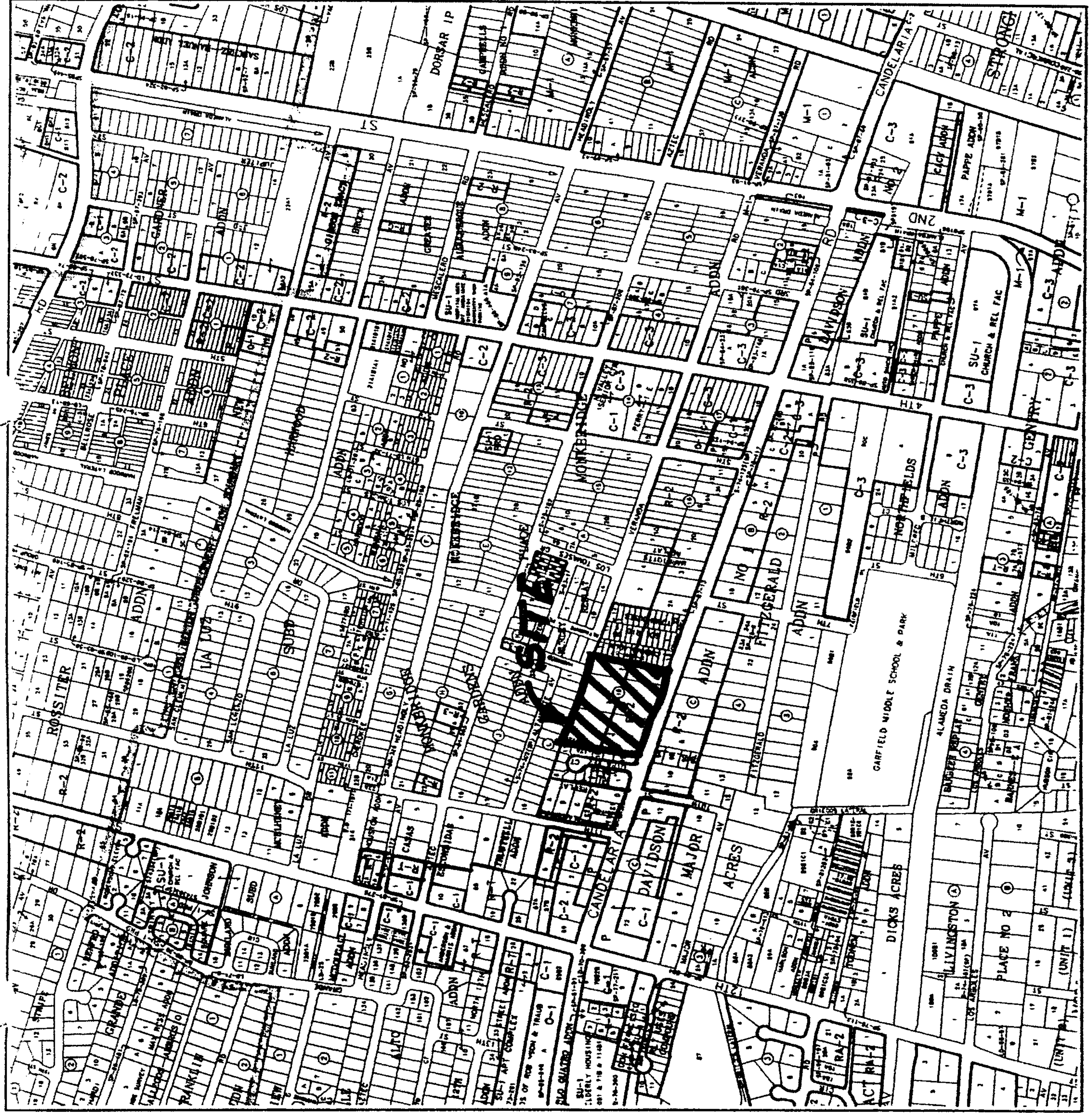


LEGAL DESCRIPTION

TION
RMC
SEC 8

UNIFORM PROPERTY CODE
1-014-000

G-14-Z





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 12, 2002

Christopher Calott, AIA
1405 Roma NW
Albuquerque, New Mexico 87104

Re: Water / Sewer Availability / Monkbridge Addition, Block 18, Tracts 4, 5, and 6

Mr. Calott:

Existing Conditions: The property includes approximately 4-acres on the north side of Candelaria east of 12th Street. It was included in the recently adopted Las Candelarias Sector Plan. Zoning is SU2/RT. Existing public utilities include a 10-inch master plan CI water line and an 8-inch CP sanitary sewer in Candelaria. The lots as platted are serviceable via routine connection. For the most part the land is vacant. The one residence on Tract 6 has service. See account #06060110: 901 Candelaria NW.

Proposed: The conceptual site plan calls for approximately 60 dwellings on separate platted lots, including attached town houses, patio homes, and single family detached. Approximately 5th of the units will front on Candelaria, or a parallel 'frontage' street. The rest will front on internal roadway including four proposed stub streets. It's not clear which streets will be public.

Infrastructure: Development / service will be contingent on construction of public on-site systems with separate service connections for each lot. All infrastructure must be financially guaranteed as a condition of plat approval.

Water: A looped 6-inch line will be required in the main internal street with hydrants at standard locations. Internal lots will be serviced via separate connections to the new loop. Lots along the north stub streets will require meters set on the main loop, with private utility easements to the properties. The 20 units along Candelaria pose some problems. With any subdivision we would typically want all lots to be serviced from new internal lines. This could be accomplished with a public extension in the rear alley, but with garages at the property line there would be no place for meters. Additional easement / road width would be needed, and significant site plan changes might be required to provide meter locations outside traffic or driveways. We have allowed service connections to the 10-inch in Candelaria, but not at this intensity. I am very concerned about this level of disruption on a 50-year old line. Service from Candelaria may be contingent on replacement of the abutting section of the main, or construction of a parallel distribution line. Meters would be set in a standard location in Candelaria. If the frontage street is private, meters may be banked along the south side. If it's public, the parallel distribution line might go in an expanded frontage road along the full frontage. Final determination will be made as site planning progresses.

Sanitary Sewer: The property is at a breakpoint for sanitary sewer. The 8-inch in Candelaria drains east and west with a high point in front of the property. Available records show less than 4-feet of cover at that point. Surrounding lines to the north and east are similarly shallow. No grading plan was provided, but conventional gravity service is probably not possible. I anticipate a pressure system will be required. As you know this would require small diameter force mains in each internal street. Each residence would require a private pump to discharge to the force main. Maintenance and operation of the pumps would be the property owners' responsibility. All lots must take service from new internal lines. There will be no service connections in Candelaria.

Design and construction of all required improvements will be at the developer / property owners expense and must be coordinated through the City of Albuquerque 'COA' via the 'DRC / City Work Order' process. Designs must be by a New Mexico registered professional engineer. Construction must be by a licensed, bonded public utility contractor.

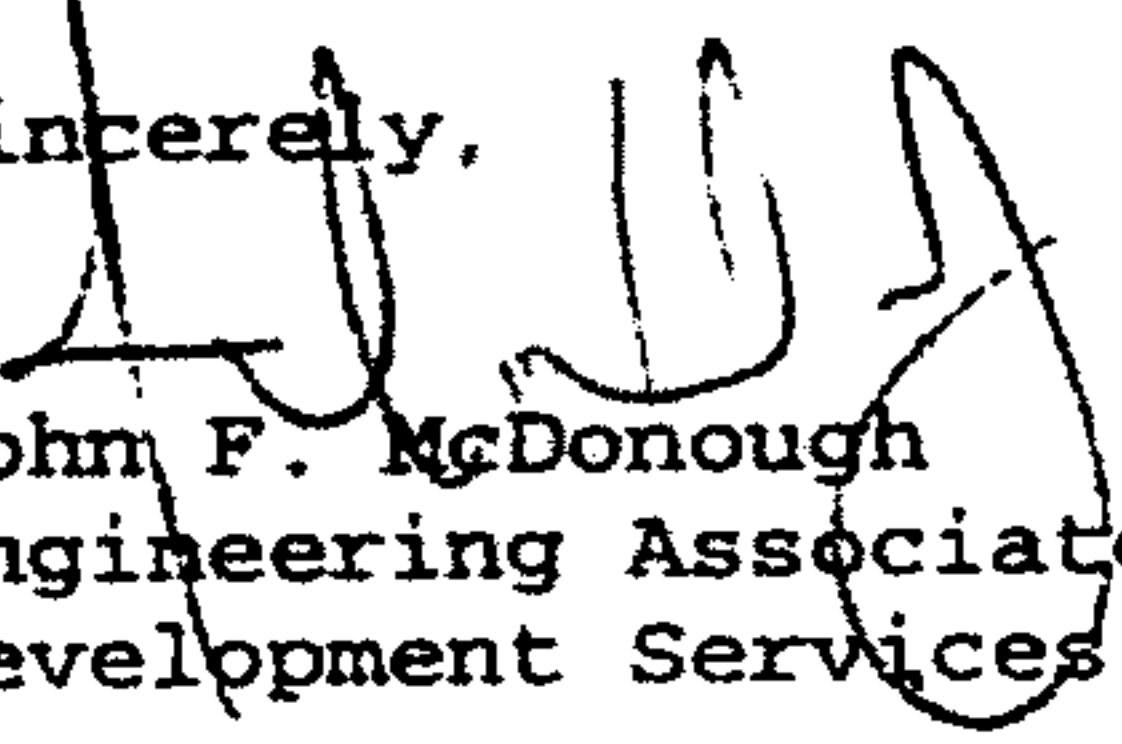
Utility Expansion Charges: In addition to installation and construction costs, both sanitary sewer and metered water service will be subject to Utility Expansion Charges 'UEC' payable at the time service is requested.

Monkbridge Addition
November 12, 2002
Page 2

Private Systems: Given the issues with public service, and the unique nature of the project, you may want to consider incorporation as a condominium development. This would allow private systems on-site with single connections to the public system. An easement would have to be established for a single large meter installation, but if the site plan changes, replacement costs in Candelaria would not apply. You would also have options for sewer, such as a private gravity system draining to a single lift station maintained by the Owners Association.

This statement of availability will remain in effect for a period of one year and applies only to the development identified herein. Its validity is in part contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to our attention as soon as possible. Any outstanding pro rata and standby assessments must be paid at the time service is taken. All charges and rates collected will be based upon applicable ordinances and policies in effect at the time service is actually requested and authorized. Please do not hesitate to call if you have questions or need additional information: 924-3987.

Sincerely,



John F. McDonough
Engineering Associate
Development Services

Attachment: System / Location Map(s)

c: Josie Jaramillo, COA PWD
f/ availability G-14
f/ readers #21021

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: APD ENGINEERING Date of request: 1/21/03 Zone atlas page(s): G14

CURRENT: Zoning SU-2 / KT / RC Parcel Size (acres / sq.ft.) 4.56 ac
Legal Description - Lot or Tract # 4, 5, 16 Block # 18
Subdivision Name Markbridge Addition

REQUESTED CITY ACTION(S):
Annexation [] Sector Plan [] Site Development Plan: Building Permit []
Comp. Plan [] Zone Change [] a) Subdivision [] Access Permit []
Amendment [] Conditional Use [] b) Build'g Purposes [] Other []
c) Amendment []

PROPOSED DEVELOPMENT:
No construction / development # of units - 36
New Construction [] Building Size - _____ (sq. ft.)
Expansion of existing development []

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative [Signature] Date 1/21/03
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []
PWD, Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL. 600 2nd St NW Plaza del Sol Bldg. 924-3991 or 3994

THRESHOLDS MET? YES [] NO Mitigating reasons for not requiring TIS: Previously studied: []
Notes:

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature] 1-21-03
TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [] NO [] BORDERLINE []
ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

THRESHOLDS MET? YES [] NO [] Mitigating reasons for not requiring AQIA: Previously studied: []
Notes:

per zoning code 14-16-3-14 JAN 1/21/03

IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

ENVIRONMENTAL HEALTH DATE

Required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS - SUBMITTED ___/___/___ TRAFFIC ENGINEER DATE
- FINALIZED ___/___/___
AQIA - SUBMITTED ___/___/___ ENVIRONMENTAL HEALTH DATE
- FINALIZED ___/___/___

ENVIRONMENTAL HEALTH

Project Number: _____

Date Submitted: 11/21/03

Date Site Plan Approved: 11/7/03

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.: 10027400

DRB Application No.: _____

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

LOS CANDELANAS SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

WEST 100 FT LOT 4, LOTS, LOT 6 Block 18 Mark bridge Addition

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crat Engineer
		25' FF	Residential Paving	Los Candelanos Loop (694E)					
		30' FF	Residential Paving	OUTLAGE (120E) Candelanos Blvd					
		6"	Water Line	Los Candelanos Loop	Candelan Blvd	Candelan Blvd			
		8"	Sanitary Line	Los Candelanos Loop	Candelan Blvd	Candelan Blvd			

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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NOTES

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

MARTIN J. GARCIA
 NAME (print)

ABO ENGINEERING INC.
 FIRM

[Signature] 1/20/03
 SIGNATURE - date

 DRB CHAIR - date

 TRANSPORTATION DEVELOPMENT - date

 UTILITY DEVELOPMENT - date

 CITY ENGINEER - date

 PARKS & GENERAL SERVICES - date

 AMAFCA - date

 - date

 - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
 THE IMPROVEMENTS WITHOUT A DRB
 EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

ORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME Los Candelarias SUBDIVISION

AGIS MAP # G-14

LEGAL DESCRIPTION WEST 100 ft of Lot 4, Lot 5, Lot 6 Block 18
Monk bridge Addition

DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on 1/21/03 [date].

MARTIN J. GARCIA, APD ENGINEERING
Applicant / Agent

1/20/03
Date

JMA
Hydrology Division Representative

1/21/03
Date

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2nd floor Plaza del Sol) on November 12, 2002 [date].

MARTIN J. GARCIA
Applicant / Agent

1/21/03
Date

JMA
Utilities Division Representative

1/21/03
Date

DRB# _____



January 17, 2003

Neighborhood Association Representative

RE: Los Candelarias Subdivision

Dear Representative:

ABQ Engineering, Inc. has been retained to design Los Candelarias Subdivision. Los Candelarias Subdivision is proposed as a 36-lot residential subdivision located on the North Side of Candelaria Boulevard between Otra Vez Court and Cuervo Court. The property currently has one residence on it that will be removed with the subdivision. The property legal description is West 100 ft of lot 4, lot 5, and lot 6, Block 18 of the Monkbridge Addition.

The subdivision design is being performed to comply with the requirements of the Los Candelarias Village Center and Metropolitan Redevelopment Plan. Access in and out of the subdivision will be through a sole access off of Candelaria Boulevard. Storm Drainage will be conveyed to Candelaria Boulevard through the interior street.

Enclosed for your use is a copy of the plan for the subdivision. If you have any questions regarding this project or require additional information please contact me at 255-7802. I am available to meet with you at your convenience.

Sincerely,

Martin J. Garcia, PE
Civil Engineer
ABQ Engineering, Inc.
22170

Copies:

Tonya Lentrip
619 Candelaria Rd. NW
Albuquerque, NM 87107

Ingrid Biel
1012 Major NW
Albuquerque, NM 87107

Gail Reese
P.O. Box 6809
Albuquerque, NM 87197

Mary Bilan
3800 Rio Grande NW PMB 254
Albuquerque, NM 87107

**U.S. Postal Service
CERTIFIED MAIL RECEIPT**
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage \$	
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees \$	

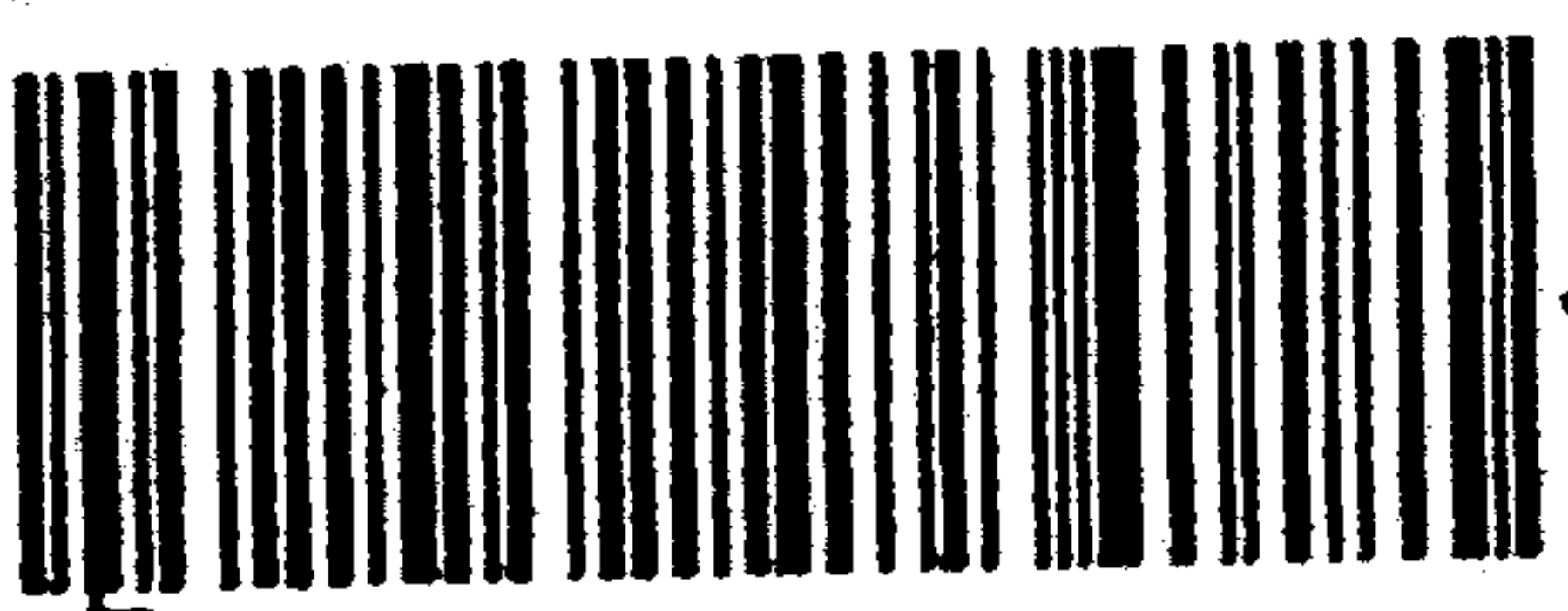
Postmark Here

Sent To **TOMA LEONELP**
 Street, Apt. No., or PO Box No. **Calle Andromeda Rd. NW**
 City, State, Zip+4 **ALBUQU. NM 87107**

See Reverse for Instructions

7000 1670 0013 4161 9226

CERTIFIED MAIL



7000 1670 0013 4161 9240
 7000 1670 0013 4161 9240

Sent To **MARY BLUM**
 Street, Apt. No., or PO Box No. **P.O. Box 254**
 City, State, Zip+4 **ALBUQUERQUE NM 87107**

Postage \$	
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees \$	

Postmark Here

**U.S. Postal Service
CERTIFIED MAIL RECEIPT**
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

**U.S. Postal Service
CERTIFIED MAIL RECEIPT**
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

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Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees \$	

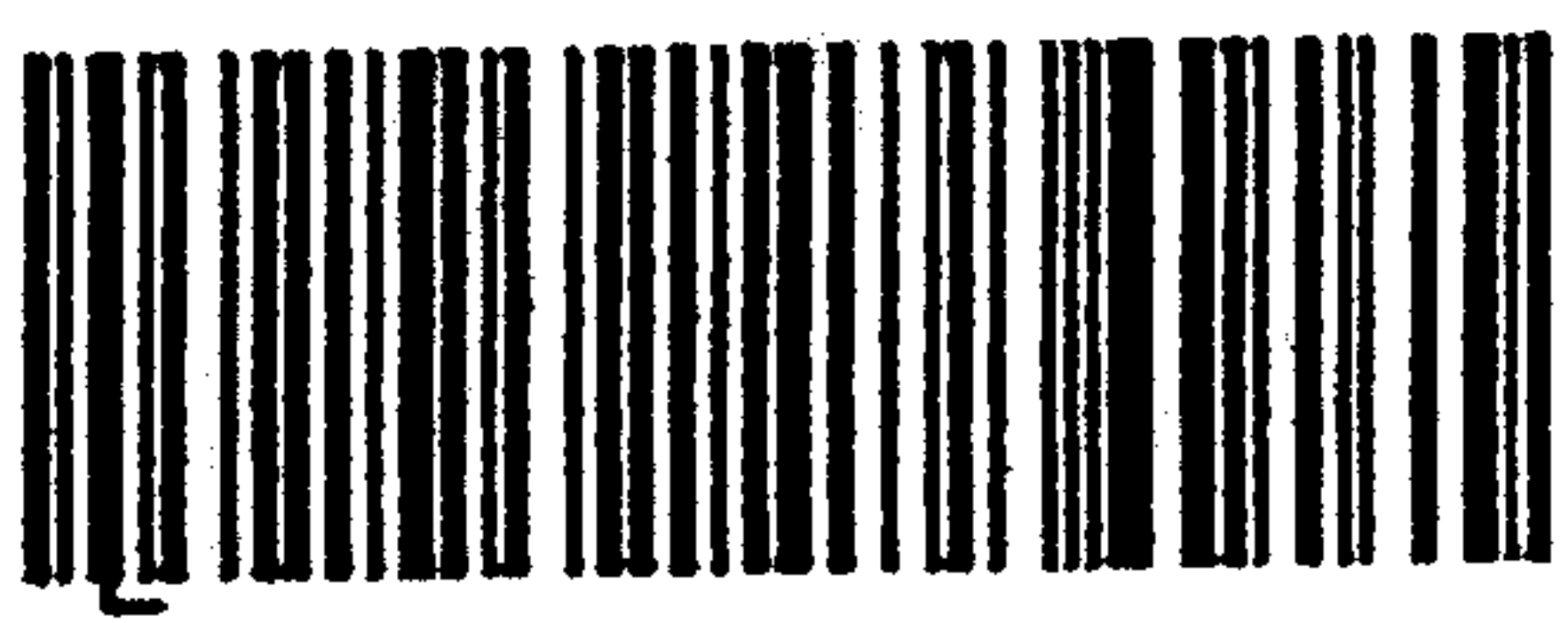
Postmark Here

Sent To **GAIL ROSE**
 Street, Apt. No., or PO Box No. **P.O. Box 689**
 City, State, Zip+4 **ALBUQUERQUE NM 87197**

See Reverse for Instructions

7000 1670 0013 4161 9233
 7000 1670 0013 4161 9233

CERTIFIED MAIL



7000 1670 0013 4161 9257
 7000 1670 0013 4161 9257

Sent To **MERID BIER**
 Street, Apt. No., or PO Box No. **1012 N. A. Ave.**
 City, State, Zip+4 **ALBUQUERQUE NM 87107**

Postage \$	
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees \$	

Postmark Here

**U.S. Postal Service
CERTIFIED MAIL RECEIPT**
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: 1-17-03

TO CONTACT NAME: Martin Garcia
 COMPANY/AGENCY: ABQ Engineering
 ADDRESS/ZIP: _____
 PHONE/FAX #: ~~_____~~ 255-7802 FAX = 255-7902

Thank you for your inquiry of 1-17-03 (date) requesting the names of Recognized

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at North of Candelaria NW, east of 10th Street NW
Western 1/2 of lots 4, 5 + 6 of Monkbridge Addition, Block 1B
 zone map page(s) G-14

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

Monkbridge Gardens
 Neighborhood Association
 Contacts: Tonya Lantip
619 Candelaria NW 87107
344-9460
Gail Reese
P.O. Box 6809/87197
345-0108

Near North Valley
 Neighborhood Association
 Contacts: Ingrid Biel
1012 Major NW 87107
345-3968
Mary Bilan
3800 RioGrande NW
PMB 254/87107 345-2308

See reverse side for additional Neighborhood Association Information: YES { } NO { }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

 OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

.....
 Attention: Both contacts per neighborhood association need to be notified.

NOTICE TO APPLICANTS

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

(below this line for OCNC use only)

Date of Inquiry: 1-17-03 Time Entered: 4:15 OCNC Rep. Initials: CAW

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME JAY REMBE
AGENT ABQ ENG
ADDRESS _____
PROJECT NO. 1002400
APPLICATION NO. 03DRB - 00094

\$ 1200.- 441006 / 4983000 (DRB Cases)
\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)
\$ 75.- 441018 / 4971000 (Notification)

\$ 1275.- **Total amount due**

THIS DOCUMENT HAS A COLORED BACK GROUND AND IS ALTERATION RESISTANT

ABQ ENGINEERING, INC.
1631 EUBANK NE SUITE C
ALBUQUERQUE, NM 87112
(505) 255-7802

WELLS FARGO BANK NEW MEXICO, N.A.
ALBUQUERQUE, NM 87110

95-219-130
1070

3353

January 21, 2003

PAY TO THE ORDER OF

CITY OF ALBUQUERQUE

ONE THOUSAND TWO HUNDRED SEVENTY FIVE: %

\$ 1,275⁰⁰

DOLLARS

DUPLICATE

City of Albuquerque
Treasury Division

DUPLICATE
AUTHORIZED SIGNATURE
Treasury Division



MEMO

Los Candelarios

01/21/2003 00043513 1:10:00x2 19 21:1060 21 1024181003
RECEIPT# 00002976 WS# 008 TRANSH# 0058
Account 441006 Fund 0110
Activity 4983000 TRSDMM
Trans Amt \$1,275.00
J24 Misc \$1,200.00

counterreceipt.doc

Thank You

4:31PM LOC: ANNX
RECEIPT# 00002977 WS# 008 TRANSH# 0058
Account 441018 Fund 0110
Activity 4971000 TRSDMM
Trans Amt \$1,275.00
J24 Misc \$75.00
CK 10/28/02 \$1,275.00
CHANGE \$0.00

Thank You

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staple are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from Feb 4 2003 To Feb 19 2003.

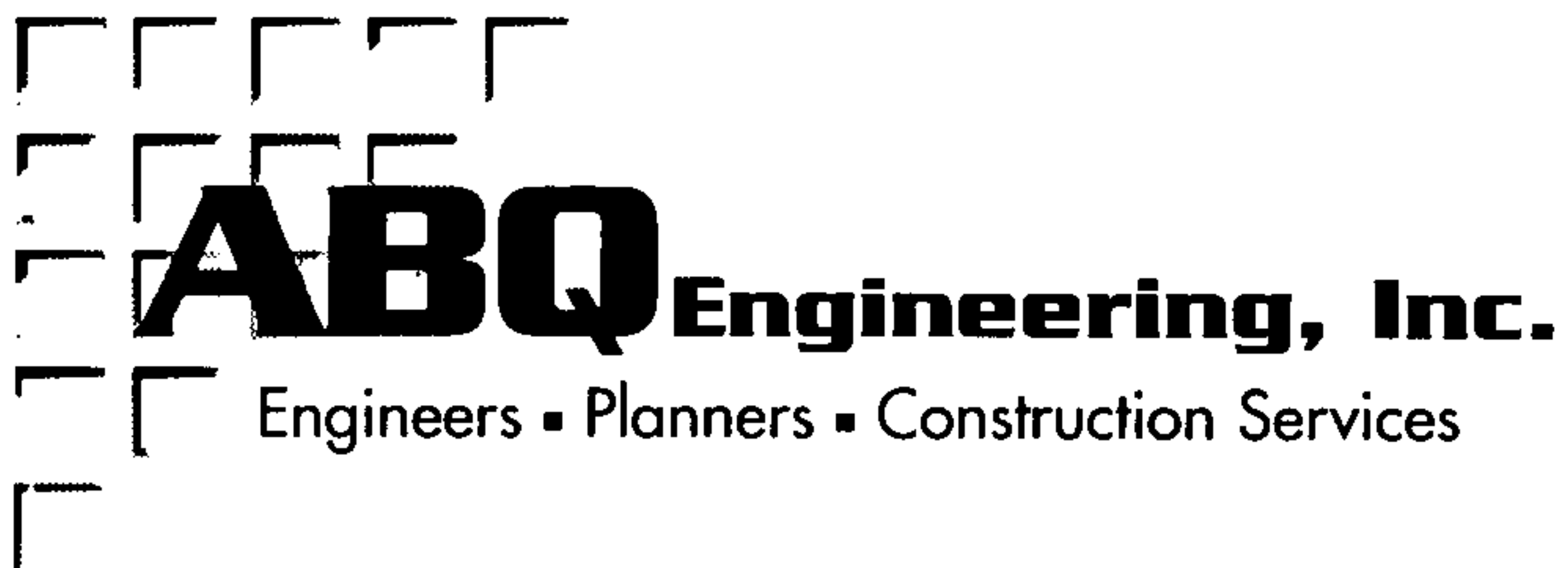
5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] _____, 1/21/03
(Applicant or Agent) (Date)

I issued 1 signs for this application, 1/21/03, [Signature]
(Date) (Staff Member)



#9

February 25, 2003

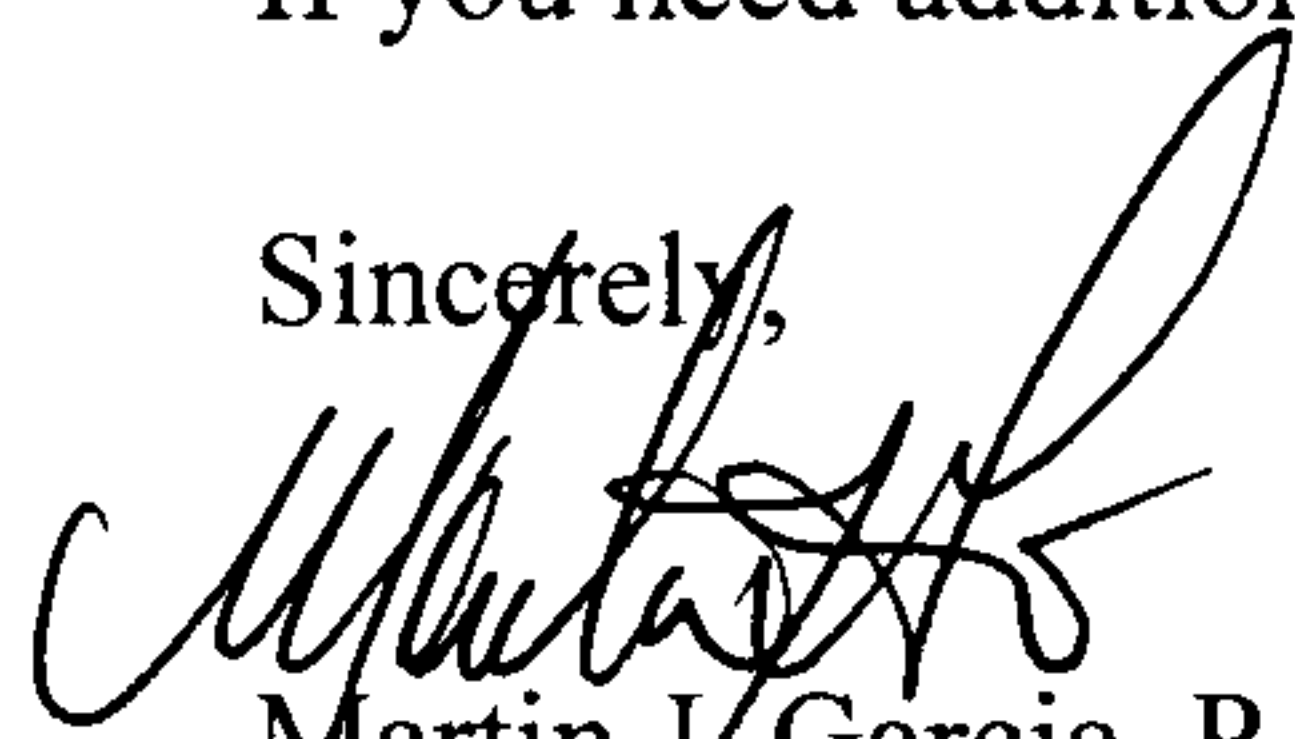
City of Albuquerque
Design Review Board
Development and Building Services
600 Second Street NW
Albuquerque, NM 87102

RE: Submittal of supplemental information to the DRB for Los Candelarias Subdivision

Submitted herewith is a revised infrastructure list, plat, and alternate plat layout for review and approval from the DRB. This case was deferred from the February 19, 2003 meeting. The alternate plat layout is being submitted to address the issues involved with transportation as identified in the DRB comments received.

If you need additional information or have any questions, please call me at 255-7802.

Sincerely,

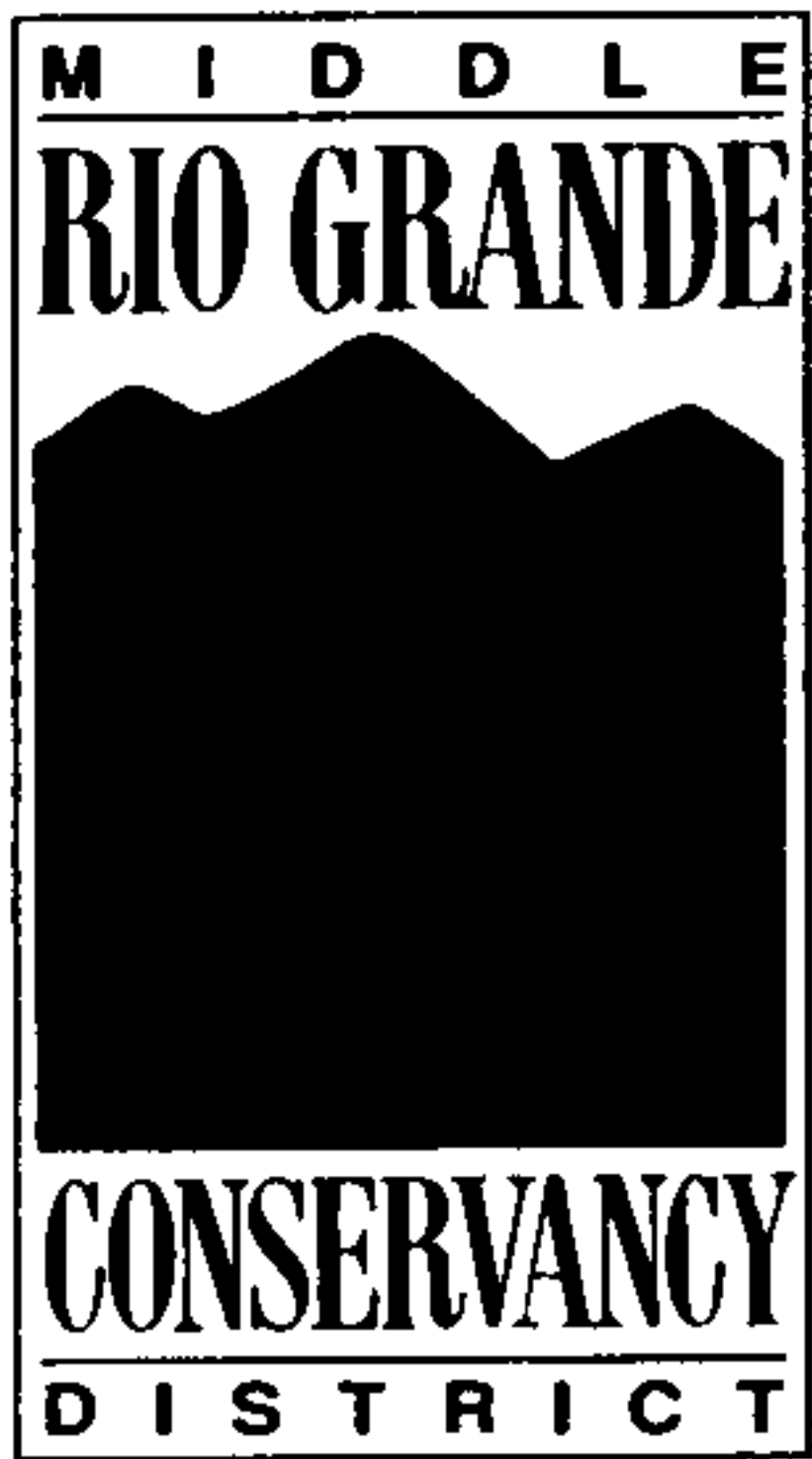


Martin J. Garcia, P.E.
ABQ Engineering, Inc.

File 22170

DRB # 1002400





February 21, 2003

Mr. Martin J. Garcia, P.E.
ABQ Engineering, Inc.
1631 Eubank NE, Suite C
Albuquerque, NM 87112

REF.: LOS CANDELARIAS SUBDIVISION & THE ROSSITER CONCRETE
PIPE DRAIN - DRB PROJECT # 1002400

Dear Mr. Garcia:

Los Candelarias Subdivision is planned to be developed on an existing buried pipe structure called the Rossiter Concrete Pipe Drain. The pipe drain was installed in the early 1940's. Our records show that the Rossiter Concrete Pipe Drain was abandoned in 1982 and the line easement granted for the pipe drain to be reverted back to adjoining property owners. The District has no property interest for the Rossiter Concrete Pipe Drain.

If you have any questions please feel free to contact Mr. Ray Gomez for more information at (505) 247-0234.

Sincerely,

Subhas K. Shah
Chief Executive Officer

xc: Leonard Utter, Assistant Engineer
Ray Gomez, Engineer 1
Brad Bingham, City of Albuquerque
File

P.O. Box 581

87103-0581

1931 Second S. SW

Albuquerque, NM

87102-4515

505-247-0234

Fax # 505-243-7308

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

LOS CADELARIAS SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

West 100 ft of Lot 4, Lot 5, Lot 6 Block 18 Monkbridge Addition.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="checkbox"/>	<input type="checkbox"/>	25' F-F	Residential Paving	Candelarias Lane	(699LF)		/	/	/
<input type="checkbox"/>	<input type="checkbox"/>	36' F-F	Residential Paving	Entrance (60LF)	Candelaria Blvd	Intx. w/loop.	/	/	/
<input type="checkbox"/>	<input type="checkbox"/>		Mantable Curb & Gutter both sides.	Candelarias Lane	Candelaria Blvd.	Candelaria Blvd	/	/	/
<input type="checkbox"/>	<input type="checkbox"/>	4ft.	Sidewalk (Both Sides except where deferred)	Candelarias Lane	Candelaria Blvd.	Intx. w/loop.	/	/	/
<input type="checkbox"/>	<input type="checkbox"/>	2 ft.	Sidewalk (Additional)	Candelaria Blvd.	West Prop Line	East Prop. Line.	/	/	/
<input type="checkbox"/>	<input type="checkbox"/>	30"	Removal of RCP PIPE Crosser Drain.	85' E of West Property Line	North Property Line	R/W (Candelaria)	/	/	/
<input type="checkbox"/>	<input type="checkbox"/>		Sidewalk Culvert (266)	Candelaria Blvd.			/	/	/
<input type="checkbox"/>	<input type="checkbox"/>	2'	Concrete Gutter (Back yards)	Lots 1-6, 20-26.			/	/	/
<input type="checkbox"/>	<input type="checkbox"/>	6"	Waterline (699LF) (loop)	Candelarias Lane	Candelaria Blvd	Candelaria Blvd	/	/	/

SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
8"	SANITARY SEWER LINE (25' LF)	Candelarias Lane	Candelarias Blvd	Candelarias Blvd.

Private Inspector	City Inspector	City Cnst Engineer
1	1	1
1	1	1
1	1	1
1	1	1

1 Grading and Drainage Certification Required ^{NOTES} Prior to release of Financial Guarantee.

2 _____

3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Martin J. Garcia
NAME (print)

ABO Engineering Inc.
FIRM

Martin Garcia 2/24/03
SIGNATURE - date

_____ DRB CHAIR - date

_____ TRANSPORTATION DEVELOPMENT - date

_____ UTILITY DEVELOPMENT - date

_____ CITY ENGINEER - date

_____ PARKS & GENERAL SERVICES - date

_____ AMAFCA - date

_____ - date

_____ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

2/24/03.

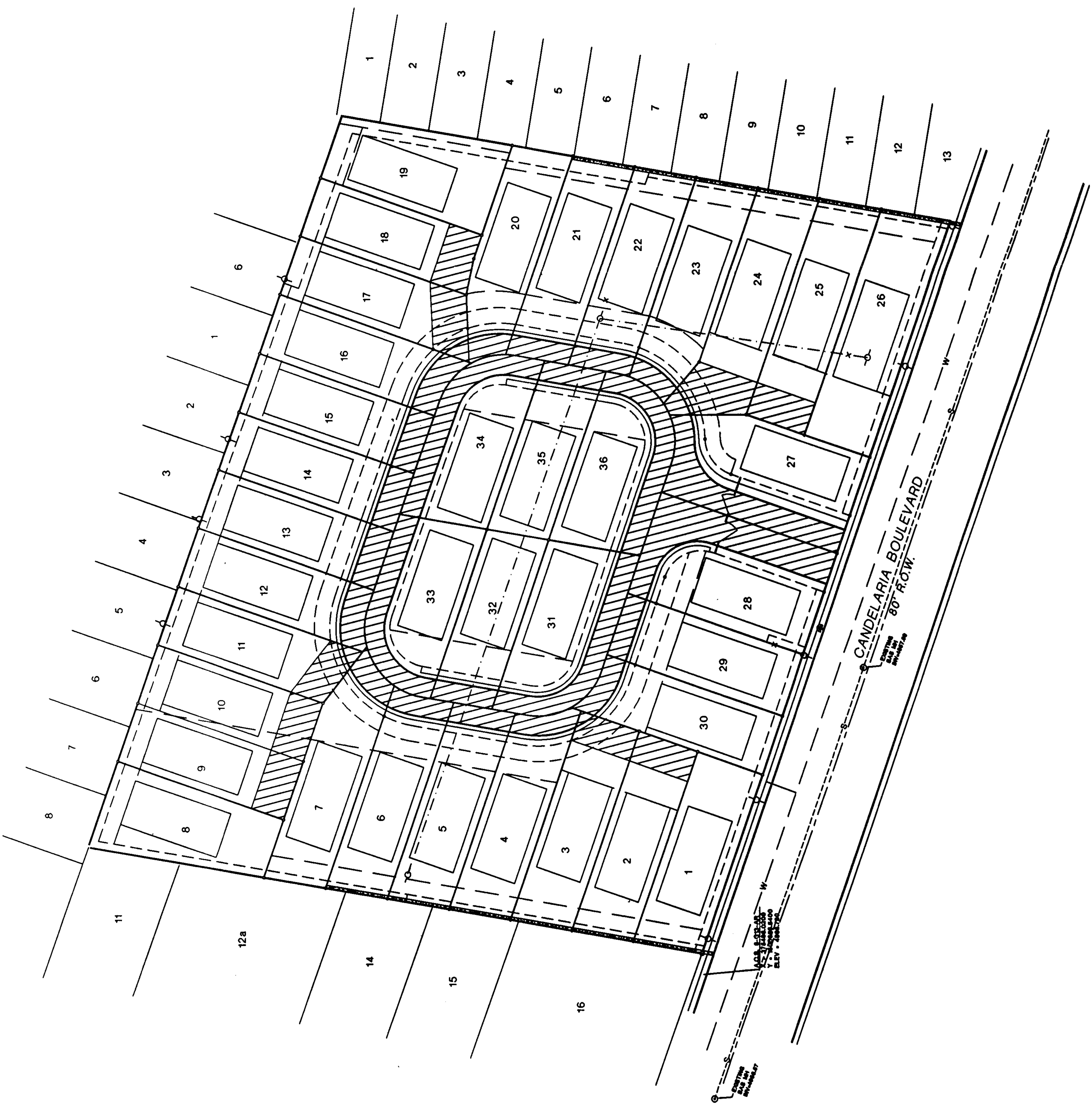
EXHIBIT 'A'

LOS CANDELARIAS SUBDIVISION

ALTERNATE LOT LAYOUT SHOWING

STREET AS AN ACCESS EASEMENT

COA Proj. # - 1002400



CENTEX HOMES

FAX

DATE: 02-25-03
TO: MARTIN
FIRM: ABQ ENGINEERING
FAX #: 255-7902
FROM: NORM GREGORY
LAND ACQUISITION MGR.
341-8505 OFFICE 761-9850 FAX
PAGES: 09 INC COVER SHEET
RE: EASEMENT AGREEMENT

Agreement to be filed after final plat is recorded

CENTEX HOMES

February 20, 2003

Ms. Polly Neville
913 Candelaria Rd. NW
Albuquerque, New Mexico 87107

5120 Marthead NE
Albuquerque, NM 87109

Phone: 505-761-9608
Fax: 505-761-9850

Re: Permanent Access Easement

Dear Ms. Neville,

The intent of this letter is to follow up on a conversation between Chris Calott and yourself following the Development Review Board meeting of February 19, 2003. It is my understanding an agreement was reached concerning the access easement between our respective properties. The terms and conditions as I understand them are as follows:

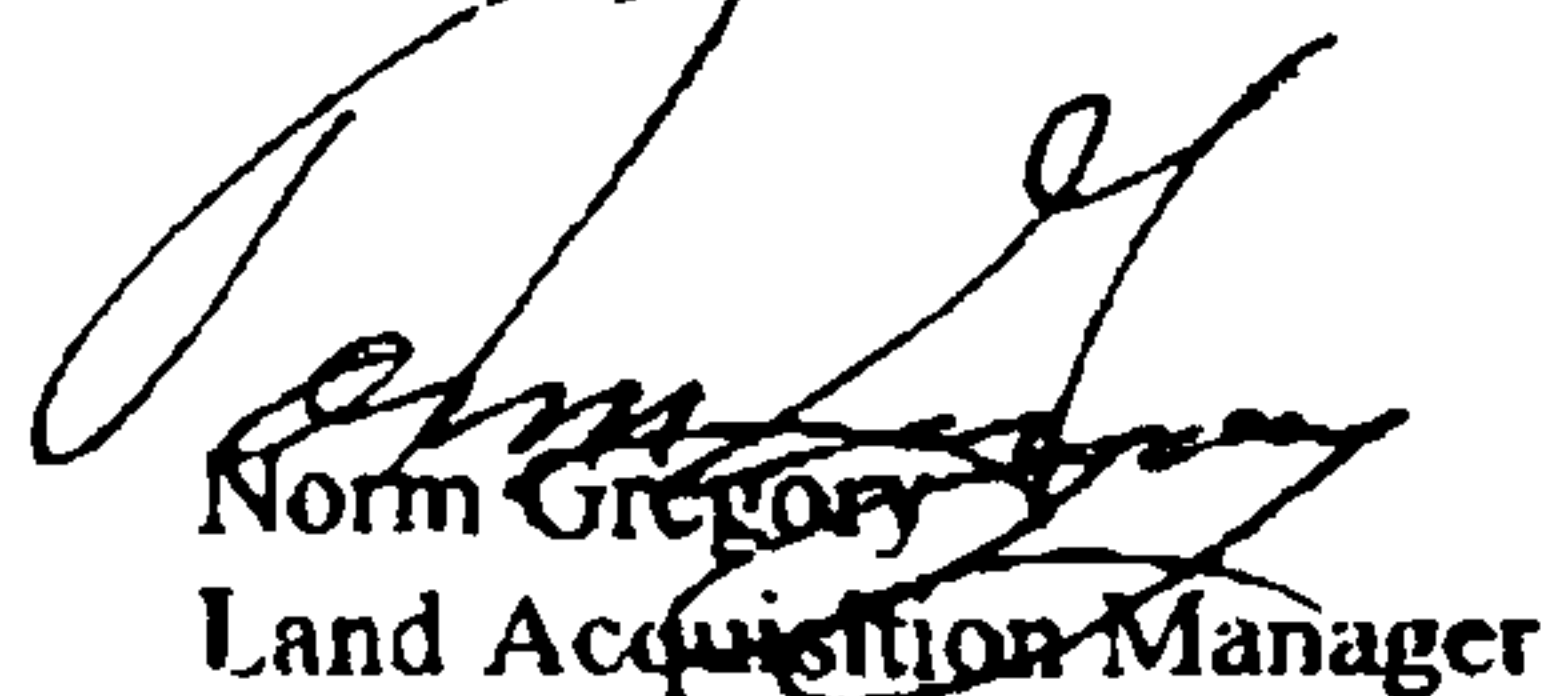
- Centex will prepare a permanent easement document to be executed by both parties, to be notarized and recorded in the office of the County Clerk, granting a five (5) foot permanent access easement to you for the purposes of maintenance of your home and to allow utility company access to read the gas meter.
- The five (5) foot easement represents a typical side yard setback granted in Albuquerque.
- A concrete masonry wall (CMU) not less than 4'8" in height but not more than 5' (see * below) in height will be constructed on the easement line and shall be stuccoed on the westerly side. Only the portion of the new wall that is opposite the east wall of your residence will be stuccoed. No portion of the existing wall will be stuccoed.
- Centex Homes, as part of the development requirements of Los Candelarias Subdivision, will construct a concrete drainage rundown within the five (5) foot easement for purposes of conveying runoff from the lots within subdivision to Candelaria Rd. This rundown will be an additional benefit to you as it will convey runoff from your roof and/or property to Candelaria Rd.

* It is very difficult to construct a wall to an exact height due to variations in the ground level.

In consideration of this easement we ask that you agree to withdraw any pending objections and refrain from any objections to the development efforts by Centex Homes in the future.

As time is of the essence in this matter this document must be executed and returned to either Chris Calott or myself no later than 5 P.M. on Friday February 21, 2003 or this offer will be withdrawn.

Sincerely,



Norm Gregory
Land Acquisition Manager

Return this Instrument to:
Centex Homes
5120 Masthead NE
Albuquerque, New Mexico 87109
Attn: Norm Gregory

PERMANENT ACCESS EASEMENT

This Permanent Access Easement Agreement ("Agreement") is made and entered into this ___ day of February, 2003, by CENTEX HOMES, a Nevada general partnership ("Grantor") with a Division Office at 5120 Masthead NE, Albuquerque, New Mexico and POLLY NEVILLE, an individual and resident located at 913 Candelaria Road NW, Albuquerque, New Mexico 87107 ("Grantee"). Grantor and Grantee hereby agree that any subsequent reference to "Grantor" or "Grantee" shall be deemed to include each party's heirs, assigns, successors, grantees, invitees, tenants and guests.

RECITALS

A. Grantor is the owner of the real property more particularly described on Exhibit "A" attached hereto and incorporated herein ("Easement Property"). Grantee is the owner of the real property more particularly described on Exhibit "A-1" attached hereto and incorporated herein ("Neville Property") with a residence thereon ("Neville Residence").

B. Grantee desires to utilize the Easement Area (defined below) to gain access to the Neville Property for maintenance of the Neville Residence and access to utility providers for the gas meter servicing the Neville Residence.

C. Grantor has agreed to grant certain easement rights to Grantee for ingress and egress over, upon and across a portion of the Easement Property herein described on Exhibit "B" attached hereto and incorporated herein ("Easement Area") pursuant to the terms and conditions hereinafter set forth for the purposes of (i) maintenance of the Neville Residence within the Easement Area; (ii) to allow utility providers access within the Easement Area to read and maintain the gas meter for the Neville Residence and (iii) to enhance and protect the utility of the Neville Residence.

D. The parties acknowledge that the five-foot (5') easement represents a typical side yard setback granted in the City of Albuquerque, New Mexico.

NOW, THEREFORE, in consideration of the foregoing and of the promises, covenants and agreements herein contained, and of other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereby agree to the following:

1. Easement. Grantor hereby grants and conveys to Grantee, its successors and assigns, a non-exclusive perpetual five foot (5') permanent access easement ("Easement") in, over, across and upon the Easement Property (as described on Exhibit "B" attached hereto) for the purposes of ingress and egress to and over said Easement in connection with the (i) maintenance of the Neville Residence as deemed reasonably necessary to insure the safe and proper maintenance and operation of improvements thereon and (ii) access to

utility providers within the Easement Area for the purpose of reading Grantee's gas meter. Grantee is hereby further granted permission to use the Drainage for purposes of conveying runoff from Grantee's roof and/or property to Candelaria Road. Grantee's access to the Easement Property shall only be through Grantee's yard or dedicated public right-of-way.

2. **Improvements.** The Grantor and Grantee acknowledge that the Improvements within the Easement Area defined below are presently unimproved. A concrete masonry wall (CMU) not less than 4'8" in height and not more than 5'0" in height will be constructed on the easement line in accordance with Grantor's development schedule, and shall be stuccoed on the westerly side ("Wall"). Only the portion of the new wall that is opposite the east wall of the Neville Residence will be stuccoed. The parties acknowledge that no portion of the existing wall will be stuccoed. In addition, as part of Grantor's development requirements of the Los Candelarias Subdivision ("Subdivision"), Grantor will construct a concrete drainage rundown within the five-foot (5') easement for purposes of conveying runoff from the lots within the Subdivision to Candelaria Road ("Drainage"). The Wall and the Drainage are collectively referred to as the "Improvements" herein.

3. **Indemnification.** Grantee shall indemnify and hold Grantor, its successors and assigns, harmless from and against any and all claims, demands and liability, including attorneys' fees, for damage to persons or property that are caused by Grantee's negligence related to Grantee's use of the Easement Property.

4. **Modification.** Grantee shall not make any modification or alteration to the Easement Property without the prior written consent of Grantor.

5. **Maintenance of Easement Property.** Grantee shall, at its sole cost and expense repair any damage to the Easement Property, Improvements or to property owned by Grantor located within the Easement Area occasioned by Grantee or its agents, employees or contractors related to Grantee's use of the Easement Property, and (iii) Grantee shall not construct, install or maintain any obstruction of any kind on the Easement Property which would prevent ingress and egress across the Easement Property or would in any manner obstruct the flow of water in the rundown. Grantor shall, at its sole cost and expense repair any damage to the Easement Property, Improvements or to property owned by Grantor located within the Easement Area occasioned by Grantor or its agents, employees or contractors related to Grantor's use of the Easement Property, and Grantor shall require access to the Easement Area for purposes of maintenance of the Wall and Drainage.

6. **Consideration.** In consideration for such additional benefit granted by Grantor to Grantee relating to drainage and access, Grantee agrees to withdraw any pending objections and refrain from any objections to Grantor's development efforts at the Subdivision in the future.

7. **Attorneys' Fees and Costs.** If any legal or other proceeding is instituted to enforce any term of this Easement, the party prevailing in any such proceeding shall be paid all of the legal costs, expenses and fees including attorneys' fees by the other party, and if any judgment is secured by such prevailing party all such legal costs, expenses and fees shall be included in any such judgment.

8. **Authority.** The Grantor and Grantee hereby represent that each has the legal authority to enter into and execute this Easement and to perform all of the obligations and duties herein.

9. **Governing Law.** This Agreement shall be governed and interpreted in accordance with the laws of the State of New Mexico.

10. Binding Effect; Covenants to Run with the Land. This Easement shall run with the land, and be binding upon, and inure to the benefit of the Grantor and Grantee and their respective successors and assigns.

11. No Public Dedication. The provisions of this Agreement are not intended to and do not constitute a dedication for public use of the Easement Property, and the rights herein created are private and for the benefit only of the parties hereto, their successors and assigns. Further, by granting this Easement, Grantor is not relinquishing any rights of ownership to Grantee.

12. Notices. Any notices given pursuant to this Agreement shall be in writing, and shall be personally delivered, sent via a recognized reliable overnight delivery service or deposited in the United States mail, certified mail, postage prepaid, return receipt request to the addresses listed above. Notices shall be deemed given when personally delivered or three (3) days after deposited in the United States mail or sent by overnight delivery as provided above. Any party may give written notice of a change of address to the other party as provided above.

13. Revocation/Amendment. This Agreement may be revoked or amended only by recording, in the office of the County Clerk of Bernalillo County, New Mexico, an instrument in writing reciting such revocation or amendment, bearing the acknowledged signatures of the then owner or owners of Grantee's Property and Grantor's Property.

14. Remedies. In the event of a breach of any of the terms or conditions of this Agreement, those affected shall be entitled to full and adequate relief by all available legal and equitable remedies, including, without limitation, specific performance

IN WITNESS WHEREOF, the parties have executed this Agreement on the date first written above.

GRANTOR:

CENTEX HOMES,
a Nevada general partnership

By: Centex Real Estate Corporation,
a Nevada corporation
Its: managing general partner

By:


Virgil Polk
Division President

GRANTEE:

POLLY NEVILLE,
a resident of New Mexico

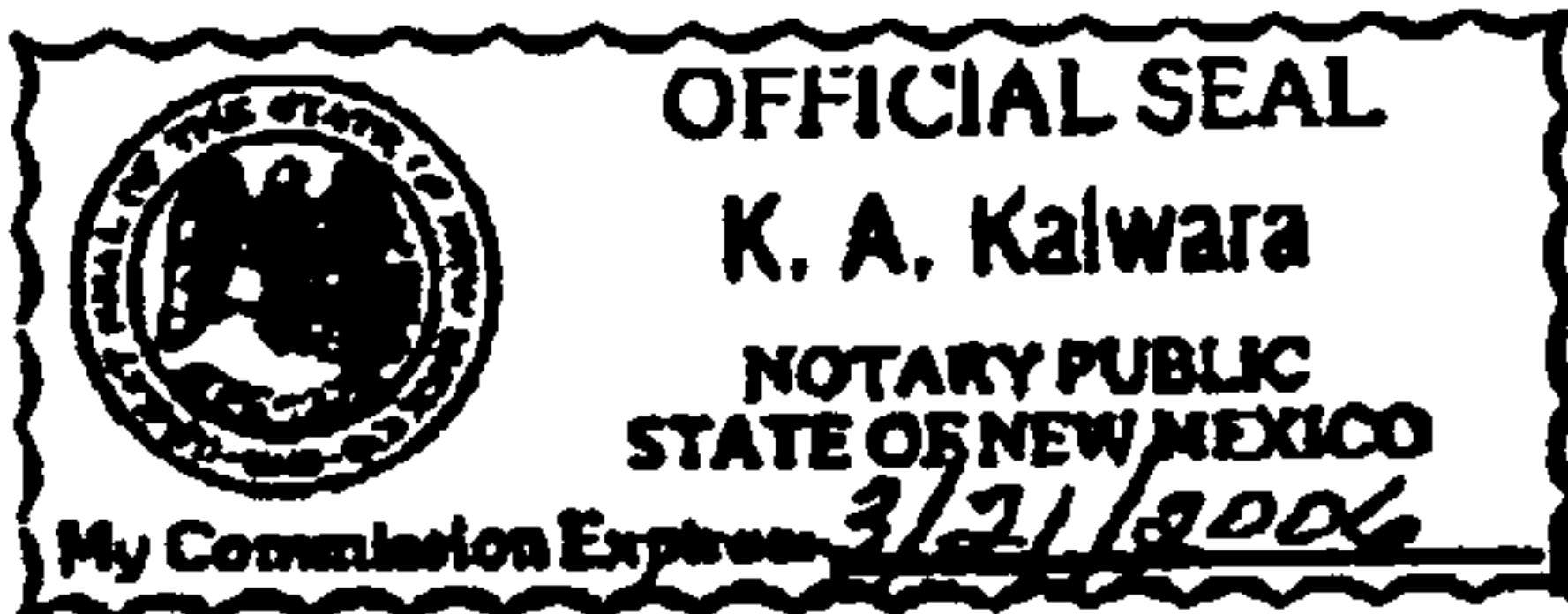
By:


Polly Neville

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

The foregoing instrument was acknowledged before me this 20th of February 2003, by Virgil Polk, Division President of Centex Real Estate Corporation, managing general partner of Centex Homes, a Nevada general partnership, on behalf of said corporation and partnership.



K. A. Kalwara
Notary Public, State of New Mexico

K. A. KALWARA
Notary's Printed Name

My Commission Expires: 3/21/2006

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

The foregoing instrument was acknowledged before me this ___ of February 2003, by Polly Neville, a New Mexico resident.



OFFICIAL SEAL
KATHLEEN M. HALE

NOTARY PUBLIC-STATE OF NEW MEXICO
Public Filed with Secretary of State

My Commission Expires: August 13, 2005

Kathleen M. Hale
Notary Public, State of New Mexico

Kathleen M. Hale
Notary's Printed Name

My Commission Expires: 8/13/2005

EXHIBIT "A"

Easement Property

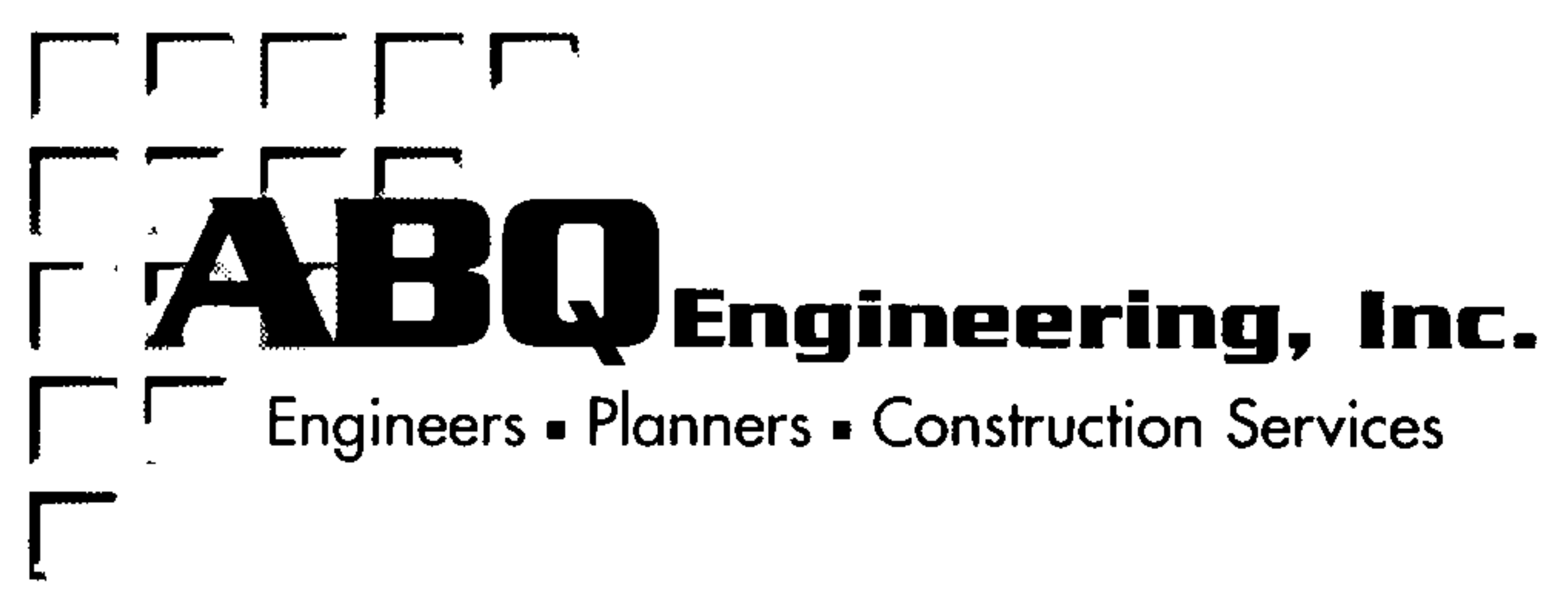
Final plat of Los Candelarias to be attached

EXHIBIT "A-1"

Neville Property and Residence

Legal Description: Lot 16, Plat of Lots 1-16 inclusive, Otra Vez Subdivision being a replat of Lot 7 Block 18, Monkbridge Gardens.

Sheran



1002400
ITEM #9

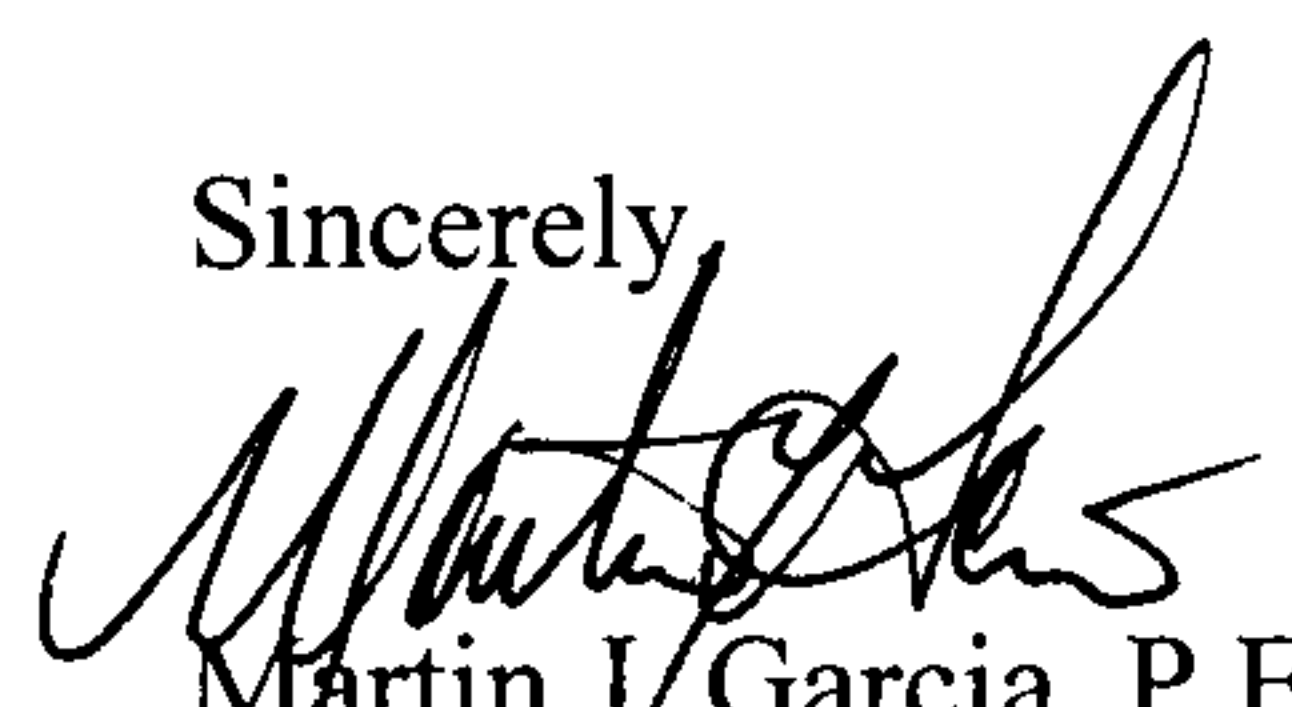
March 3, 2003

City of Albuquerque
Design Review Board
Development and Building Services
600 Second Street NW
Albuquerque, NM 87102

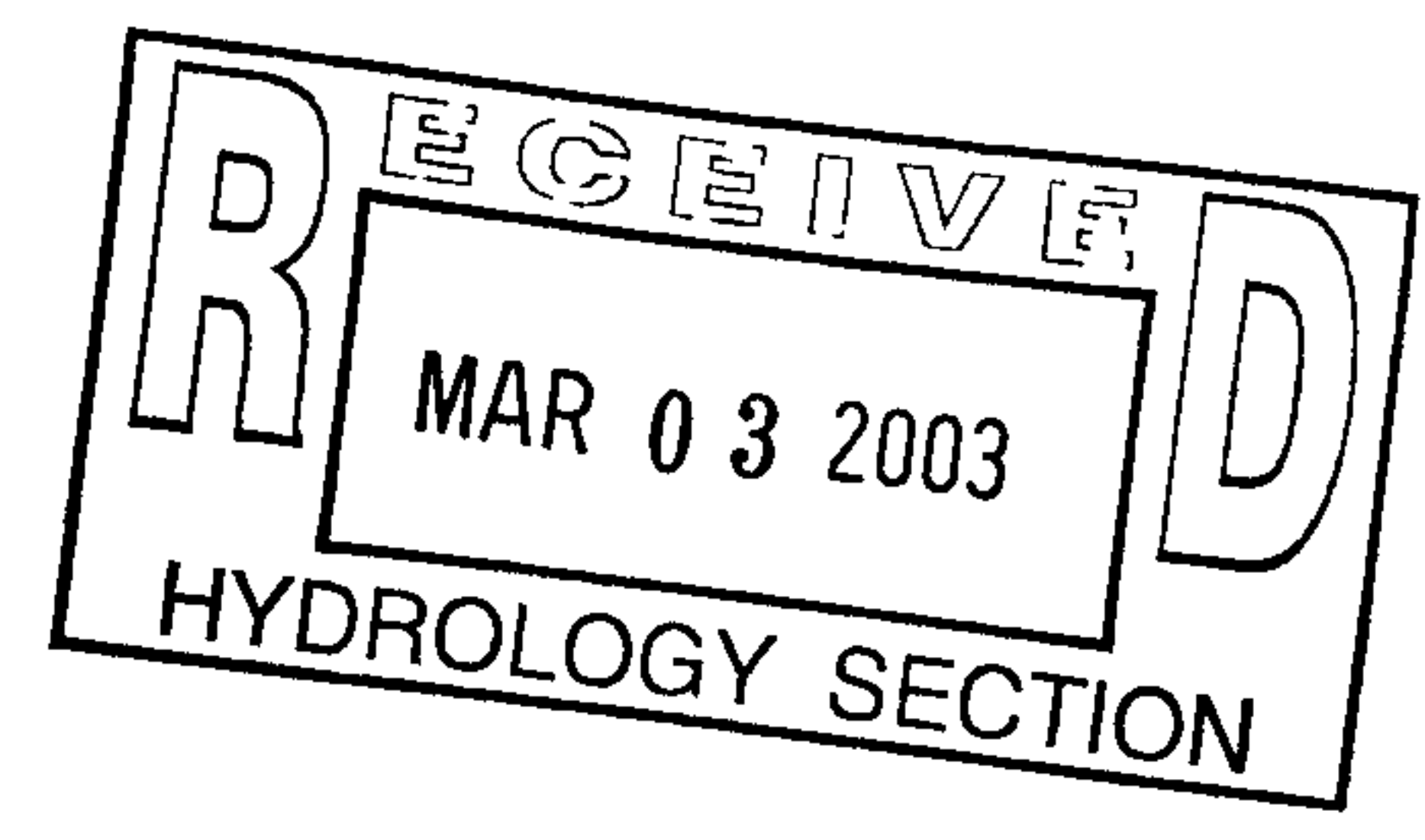
RE: Submittal of supplemental information to the DRB for Los Candelarias Subdivision

Submitted herewith is the revised infrastructure list, and signed plat for approval from the DRB. This case was deferred from the February 26, 2003 meeting. Since the last meeting, the plat has been revised as requested by Transportation and Utilities, and has been signed by the City Surveyor. The infrastructure list incorporates all the requirements of the DRB.

If you need additional information or have any questions, please call me at 255-7802.

Sincerely,

Martin J. Garcia, P.E.
ABQ Engineering, Inc.

File 22170



INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

LOS CANDELARIAS SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

WEST 100 FT OF LOT 4, LOT 5, LOT 6 Block 18 Monkbridge Addition.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		25' F-F	Residential Paving	Candelarias Lane	(6994)		1	1	1
		40' F-F	Residential Paving	Candelarias Lane	Candelaria Blvd	Intx. w/loop.	1	1	1
			Maintable Curb & Gutter both sides.	Candelarias Lane	Candelaria Blvd.	Candelaria Blvd	1	1	1
		4 ft.	Sidewalk (Both sides except where defined)	Candelarias Lane	Candelaria Blvd.	Intx. w/loop.	1	1	1
		2 ft.	Sidewalk (Additional)	Candelaria Blvd.	West Prop Line	East Prop. Line.	1	1	1
		30"	Removal of RCP PIPE Crossiter Drain.	SE of west Property line.	North Property Line	Plw (Candelaria)	1	1	1
			Sidewalk Culvert (2ea)	Candelaria Blvd.			1	1	1
		2'	Concrete Gutter (Backyards)	Lots 1-6, 20-26.			1	1	1
		6"	WATERLINE (GRACE) (loop)	Candelarias Lane	Candelaria Blvd	Candelaria Blvd)	1	1	1

SIA Sequence #	COA DRC Project #
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

Size	Type of Improvement	Location	From	To
8"	Sanitary Sewer Line (20' LF)	Candelarias Lane	Candelarias Blvd	Candelarias Blvd.
8"	Sanitary Sewerline.	Public Easement	LOTS	Candelarias Lane
8"	Sanitary Sewerline.	Public Easement.	LOT 19	Candelarias Lane

Private Inspector	City Inspector	City Cnst Engineer
1	1	1
1	1	1
1	1	1
1	1	1

- 1 Grading and Drainage Certification Required ^{NOTES} Prior to release of Financial Guarantee.
- 2 _____
- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Martin J. Garcia
NAME (print)

ABO Engineering Inc.
FIRM

Martin Garcia 2/24/03
SIGNATURE - date

_____ DRB CHAIR - date

_____ TRANSPORTATION DEVELOPMENT - date

_____ UTILITY DEVELOPMENT - date

_____ CITY ENGINEER - date

_____ PARKS & GENERAL SERVICES - date

_____ AMAFCA - date

_____ - date

_____ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1295 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002400

AGENDA ITEM NO: 27

SUBJECT:

- | | | |
|--------------------------------|---------------------------------|-------------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.
 An approved infrastructure list is required for Preliminary Plat approval.

RESOLUTION:

discussal

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED X; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: January 8, 2003



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1002400

Item No. 27

Zone Atlas G-14

DATE ON AGENDA 1-08-03

INFRASTRUCTURE REQUIRED (x)YES ()NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- (x) SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- () SITE PLAN FOR BUILDING PERMIT

No.	Comment
<input type="checkbox"/>	The standard street improvements are required on an infrastructure list.
<input type="checkbox"/>	The streets need to meet the requirements of the DPM.
<input type="checkbox"/>	A traffic distribution layout is needed.
<input type="checkbox"/>	Templates for the access points along with queuing analysis is needed for the entrance.
<input type="checkbox"/>	The street cross-sections are acceptable, if mountable curbing is used.
<input type="checkbox"/>	Sidewalk waiver request appears to be in order.

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1002400
Application Number: 02DRB-01935

DRB Date: 1/8/03
Item Number: 27

Subdivision:

Lots 4, 5 & 6 Block 18, Monkbridge Addition, Los Candelarias Subdivision

Zoning: R-T

Zone Page: G-14

New Lots (or units) : 36

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 36 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

Signed: CS
Christina Sandoval, (PRD)

Phone: 768-5328

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board Comments**

Meeting Date: January 8, 2003

Agenda Item: 27


Application #02DRB-01935

Project#1002400

Subject: Los Candelarias Subdivision

No adverse comment on the sketch plat.

This property falls within the boundaries of the Los Candelarias Village Center Plan. Be sure to follow the requirements of that plan.



Sheran Matson, DRB Planning Representative
Phone: 505 924-3880 Fax: 505-924-3864

A City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING	Z
<input checked="" type="checkbox"/> Major Subdivision Plat		<input type="checkbox"/> Annexation & Zone Establishment	
<input type="checkbox"/> Minor Subdivision Plat		<input type="checkbox"/> Sector Plan	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Text Amendment	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Special Exception	E
<input type="checkbox"/> ...for Subdivision Purposes		APPEAL / PROTEST of...	A
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Decision by: Planning Director	
<input type="checkbox"/> IP Master Development Plan		<input type="checkbox"/> or Staff, DRB, EPC, Zoning Board of Appeals, LUC	
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JAY REMBE PHONE: 878-0008
 ADDRESS: 7620 Jefferson Blvd NE FAX: 878-0002
 CITY: ALBUQU STATE NM ZIP 87109 E-MAIL: jrembe@nasteward.com
 Proprietary interest in site: MANAGING MEMBER.
 AGENT (if any): ABR ENGINEERING INC PHONE: 255-7802
 ADDRESS: 1631 EUBANK NE SUITE C FAX: 255-7802
 CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: MJGARCIA@abq.org.com

DESCRIPTION OF REQUEST: SKETCH PLAN REVIEW FOR LOS CHANGEMENTS
SUBDIVISION

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. West half of lot 4, lots 5 & 6 Block: 18 Unit: _____
 Subdiv. / Addn. Monkbridge Addition
 Current Zoning: SU-2/R-T, R-C Proposed zoning: _____
 Zone Atlas page(s): 314-2 No. of existing lots: 3 No. of proposed lots 36
 Total area of site (acres): 4.56 Density if applicable: dwellings per gross acre: _____ dwellings per net acre _____
 Within city limits? Yes. No _____, but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? No.
 UPC No. lot 4- 101400020920031414, lots 5,6 (101400018320031415) MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: North side of Candelaña Rd NW
 Between: OTRAVEZ COURT NW. and Cuervo Ct. NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): ZA-86-17
BA-874, Z-905

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 12/23/02
 (Print) MARCO J. GARCIA Applicant Agent

FOR OFFICIAL USE ONLY

<input checked="" type="checkbox"/> INTERNAL ROUTING <input type="checkbox"/> All checklists are complete <input type="checkbox"/> All fees have been collected <input type="checkbox"/> All case #s are assigned <input checked="" type="checkbox"/> AGIS copy has been sent <input type="checkbox"/> Case history #s are listed <input type="checkbox"/> Site is within 1000ft of a landfill <input type="checkbox"/> F.H.D.P. density bonus <input checked="" type="checkbox"/> F.H.D.P. fee rebate	Application case numbers	Action	S.F.	Fees
	<u>02DRB</u> - <u>01935</u>	<u>Sketch</u>	<u>S(3)</u>	\$ <u>0</u>
	_____	_____	_____	\$ _____
	_____	_____	_____	\$ _____
	_____	_____	_____	\$ _____
Hearing date	<u>JAN. 8th, 2003</u>		Total	\$ <u>0</u>
Planner signature / date	<u>[Signature]</u> <u>12/23/02</u>	Project #	<u>1002400</u>	

Form revised September 2002

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - will bring* Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

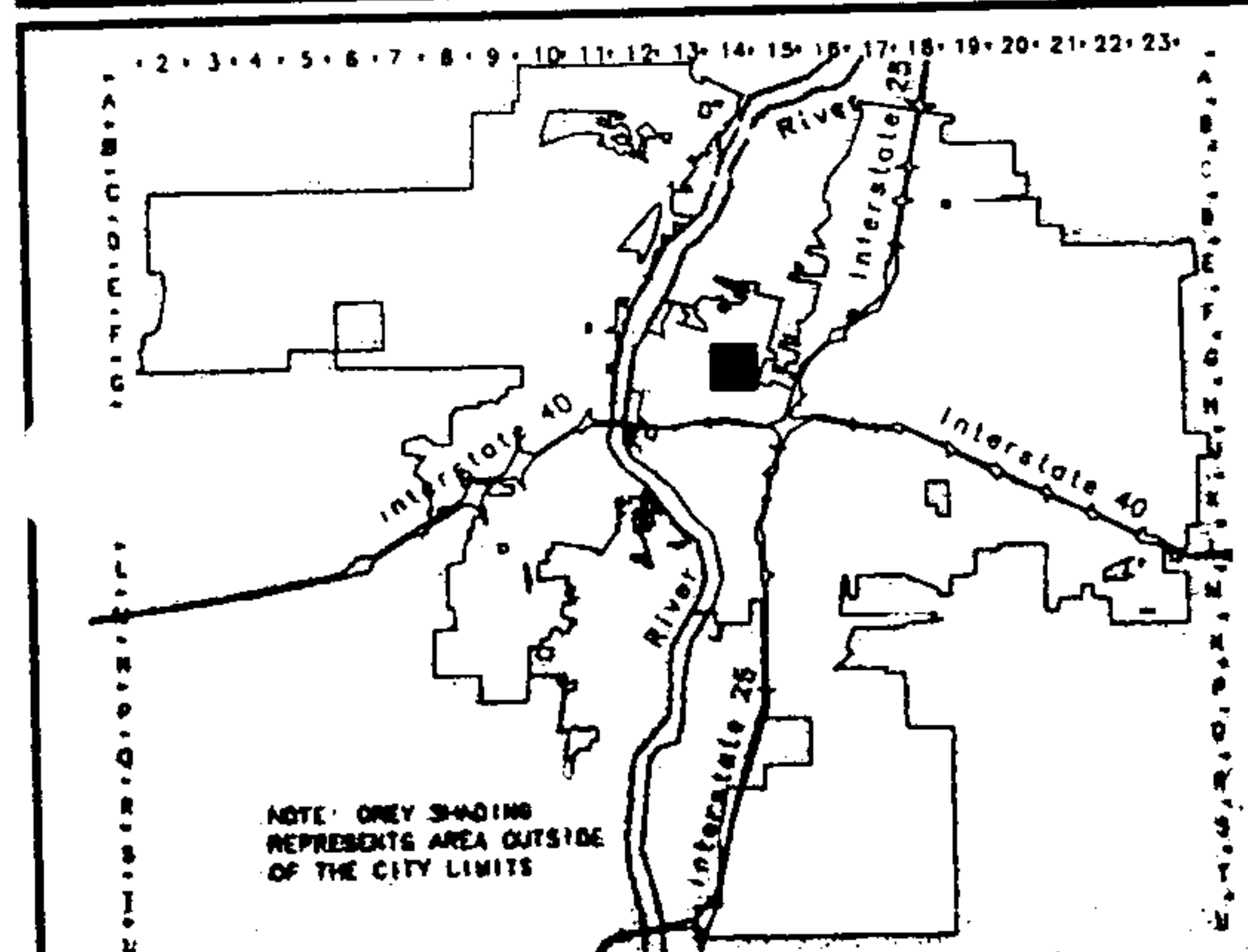
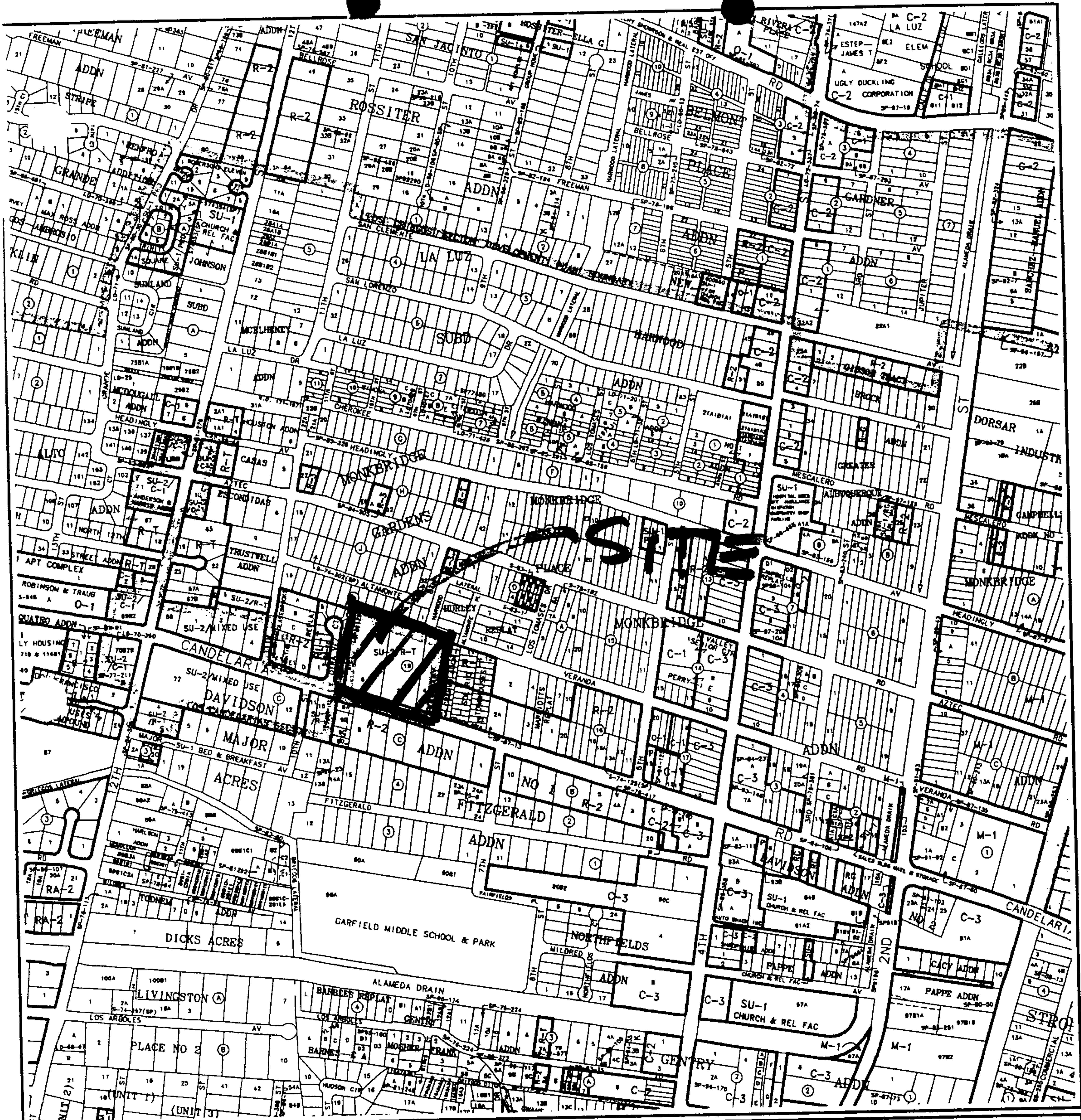
MARTIN J. GARCIA
Applicant name (print)
[Signature]
12/23/02
Applicant signature / date



Form revised September 2001

<input checked="" type="checkbox"/> Checklists complete	Application case numbers
<input type="checkbox"/> Fees collected	02DRB - 01935
<input checked="" type="checkbox"/> Case #s assigned	- -
<input checked="" type="checkbox"/> Related #s listed	- -

[Signature] 12/23/02
Planner signature / date
Project # 1002400



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
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Zone Atlas Page
G-14-Z
Map Amended through April 03, 2002



December 23, 2002

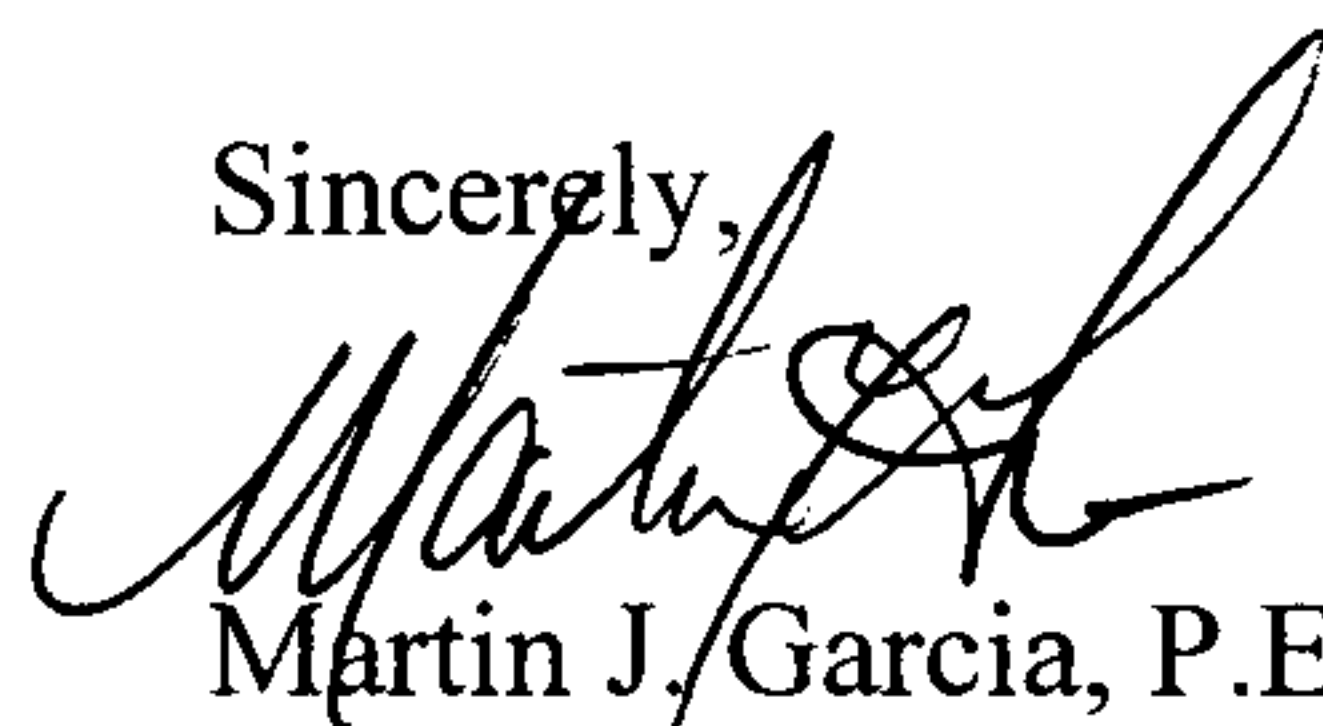
City of Albuquerque
Design Review Board
Development and Building Services
600 Second Street NW
Albuquerque, NM 87102

RE: Request for Sketch Plat Review and Comment, for Los Candelarias Subdivision.

ABQ Engineering, Inc. is requesting Sketch Plat review and comment for the Los Candelarias Subdivision located on Candelaria Boulevard between Otra Vez Court and Cuervo Court. The purpose of the replat is to create thirty-six residential (36) lots from three existing lots containing 4.56 acres. Development standards for this property are contained within the Los Candelarias Village Center & Metropolitan Redevelopment Plan prepared by Planners Ink, March 2001. The property is Zoned SU-2/RT with development regulation regulated in RC zone. Access to the subdivision is proposed directly from Candelaria Boulevard. Enclosed are six copies of the zone atlas page, one copy of the Sketch Plat application, and six copies of the sketch plat.

Please schedule this before the DRB as soon as possible. If you need additional information or have any questions, please call me at 255-7802.

Sincerely,



Martin J. Garcia, P.E.
ABQ Engineering, Inc.

Copies:
File 22170



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1000485
03DRB-00116 Major-Vacation of Public
Easements

MARK GOODWIN & ASSOCIATES PA, agent(s) for AMERICAN SOUTHWEST HOMES request(s) the above action(s) for all or a portion of Tract(s) C, **ENCANTO VILLAGE - UNIT 3**, zoned R-D (9 DU/AC] located on EUCARIZ AVE SW, between UNSER BLVD SW and STINSON ST SW containing approximately 17 acre(s). [REF: 02DRB-01171, 02-DRB-01172, DRB-98-176] (L-10)

~~**Project # 1002400**~~
03DRB-00094 Major-Preliminary Plat Approval

ABQ ENGINEERING INC agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 5 and 6 and the westerly portion of Lot 4, Block(s) 18 **MONKBRIDGE ADDITION, LOS CANDELARIAS SUBDIVISION**, zoned SU-2/R-T/R-C, and located on the NORTH SIDE OF CANDELARIA RD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: ZA-86-17, 02DRB-01935 (SK)] (G-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, FEBRUARY 3, 2003.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, February 19, 2003, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1000376

03DRB-00113 Major-Two Year SIA

BOHANNAN HUSTON, INC. agent(s) for BUILDERS INVESTMENT CO. OF NM request(s) the above action(s) for all or a portion of Lot(s) ALL, **PARADISE SKIES, UNITS 1 & 2**, zoned R-T residential zone, located SOUTH OF MCMAHON BLVD NW, between UNSER BLVD NW and VIRGO ST NW. [REF: 02DRB-00034, 00DRB-00908, 00DRB-00380] (A-11)

Project # 1000444

03DRB-00102 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for CENTEX HOMES request(s) the above action(s) for **STONEBRIDGE SUBDIVISION, UNIT 4**, zoned R-1, located SOUTH OF WESTSIDE BLVD NW, between STONEBRIDGE NW and STONEBROOK NW containing approximately 16 acre(s). [REF: 01DRB-00826] (A-12)

Project # 1001232

03DRB-00095 Major-Two Year SIA

TIERRA WEST, LLC agent(s) for VISTA MANAGEMENT HOME COMMUNITY, LP request(s) the above action(s) for all or a portion of Tract(s) 28A1, **VISTA SUBDIVISION**, zoned SU-1/MP special use zone, located on the WEST SIDE OF 94TH ST SW, between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 25 acre(s). [REF: DRB-94-621, DRB-85-298, Z-79-40, 02DRB-00672] (L-9)

Project # 1000503

03DRB-00119 Major-Vacation of Public Easements

ISAACSON & ARFMAN, PA agent(s) for BOYHAHN, LLC request(s) the above action(s) for all or a portion of Lot(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC), located on EAGLE CREST AVE. NE, between EAGLE VISTA DR NE and EAGLE LAUNCH DR NE containing approximately 1 acre(s). [REF: 00410-00607, 02DRB-01267] (C-19)

Project # 1000159

03DRB-00120 Major-Vacation of Public Easements

ISAACSON & ARFMAN agent(s) for BOYHAHN LLC request(s) the above action(s) for all or a portion of Tract(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC) located on EAGLE VIEW AVE NE between VISTAS DR NE and SOARING EAGLE DR NE containing approximately 1 acre(s). [REF: DRB-99-53] (C-19)

SEE PAGE 2...



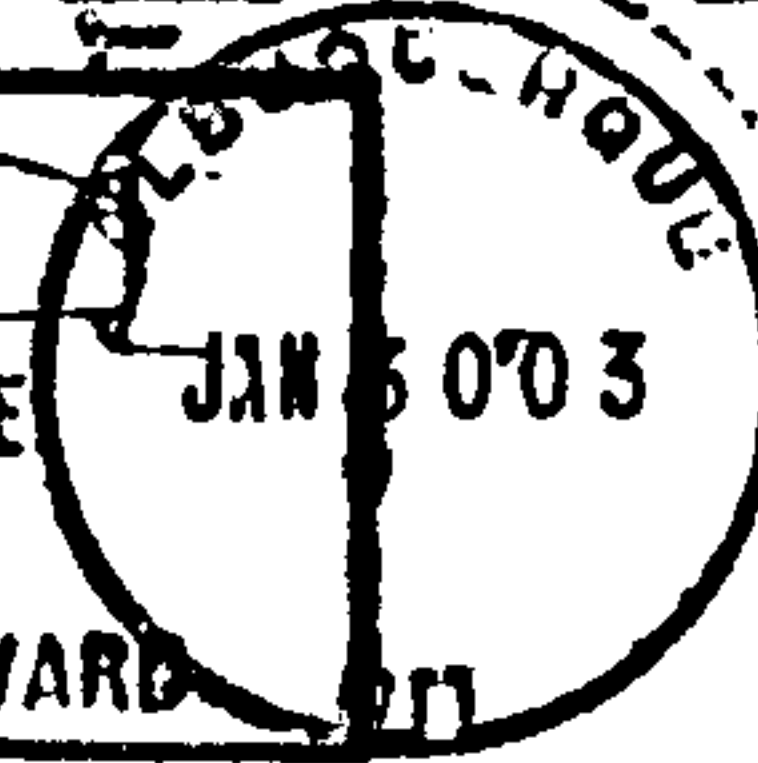
City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



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ALBUQUERQUE NM 87107

87107/045





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1000485
03DRB-00116 Major-Vacation of Public
Easements

MARK GOODWIN & ASSOCIATES PA, agent(s) for AMERICAN SOUTHWEST HOMES request(s) the above action(s) for all or a portion of Tract(s) C, **ENCANTO VILLAGE - UNIT 3**, zoned R-D (9 DU/AC] located on EUCARIZ AVE SW, between UNSER BLVD SW and STINSON ST SW containing approximately 17 acre(s). [REF: 02DRB-01171, 02-DRB-01172, DRB-98-176] (L-10)

~~Project # 1002400~~
03DRB-00094 Major-Preliminary Plat Approval

ABQ ENGINEERING INC agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 5 and 6 and the westerly portion of Lot 4, Block(s) 18 **MONKBRIDGE ADDITION, LOS CANDELARIAS SUBDIVISION**, zoned SU-2/R-T/R-C, and located on the NORTH SIDE OF CANDELARIA RD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: ZA-86-17, 02DRB-01935 (SK)] (G-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, FEBRUARY 3, 2003.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

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Project # 1000376
03DRB-00113 Major-Two Year SIA

BOHANNAN HUSTON, INC. agent(s) for BUILDERS INVESTMENT CO. OF NM request(s) the above action(s) for all or a portion of Lot(s) ALL, **PARADISE SKIES, UNITS 1 & 2**, zoned R-T residential zone, located SOUTH OF MCMAHON BLVD NW, between UNSER BLVD NW and VIRGO ST NW. [REF: 02DRB-00034, 00DRB-00908, 00DRB-00380] (A-11)

Project # 1000444
03DRB-00102 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for CENTEX HOMES request(s) the above action(s) for **STONEBRIDGE SUBDIVISION, UNIT 4**, zoned R-1, located SOUTH OF WESTSIDE BLVD NW, between STONEBRIDGE NW and STONEBROOK NW containing approximately 16 acre(s). [REF: 01DRB-00826] (A-12)

Project # 1001232
03DRB-00095 Major-Two Year SIA

TIERRA WEST, LLC agent(s) for VISTA MANAGEMENT HOME COMMUNITY, LP request(s) the above action(s) for all or a portion of Tract(s) 28A1, **VISTA SUBDIVISION**, zoned SU-1/MP special use zone, located on the WEST SIDE OF 94TH ST SW, between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 25 acre(s). [REF: DRB-94-621, DRB-85-298, Z-79-40, 02DRB-00672] (L-9)

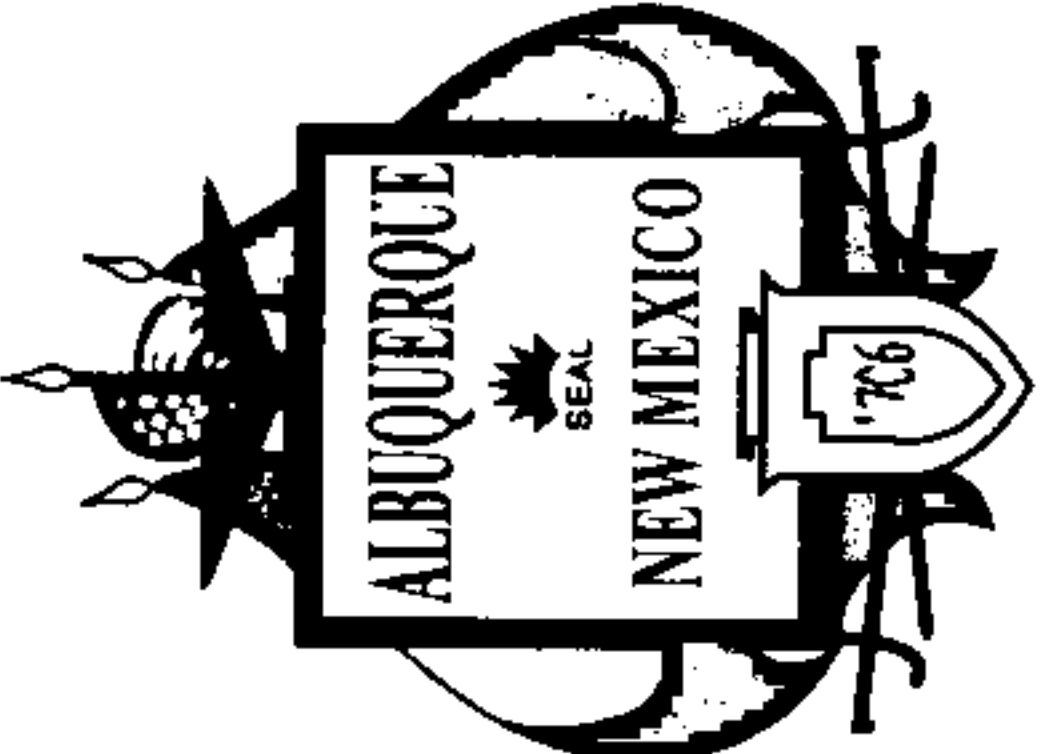
Project # 1000503
03DRB-00119 Major-Vacation of Public Easements

ISAACSON & ARFMAN, PA agent(s) for BOYHAHN, LLC request(s) the above action(s) for all or a portion of Lot(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC), located on EAGLE CREST AVE. NE, between EAGLE VISTA DR NE and EAGLE LAUNCH DR NE containing approximately 1 acre(s). [REF: 00410-00607, 02DRB-01267] (C-19)

Project # 1000159
03DRB-00120 Major-Vacation of Public Easements

ISAACSON & ARFMAN agent(s) for BOYHAHN LLC request(s) the above action(s) for all or a portion of Tract(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC) located on EAGLE VIEW AVE NE between VISTAS DR NE and SOARING EAGLE DR NE containing approximately 1 acre(s). [REF: DRB-99-53] (C-19)

SEE PAGE 2...



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

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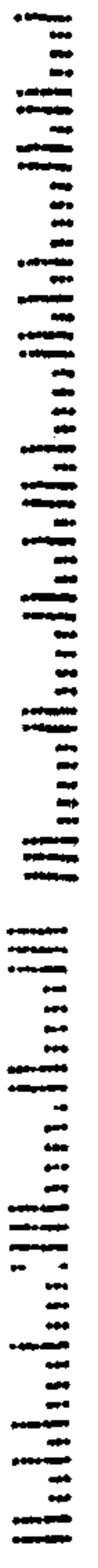
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ALBUQUERQUE

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NM 87107





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1000485
03DRB-00116 Major-Vacation of Public
Easements

MARK GOODWIN & ASSOCIATES PA, agent(s) for AMERICAN SOUTHWEST HOMES request(s) the above action(s) for all or a portion of Tract(s) C, **ENCANTO VILLAGE - UNIT 3**, zoned R-D (9 DU/AC] located on EUCARIZ AVE SW, between UNSER BLVD SW and STINSON ST SW containing approximately 17 acre(s). [REF: 02DRB-01171, 02-DRB-01172, DRB-98-176] (L-10)

~~**Project # 1002400**~~
03DRB-00094 Major-Preliminary Plat Approval

ABQ ENGINEERING INC agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 5 and 6 and the westerly portion of Lot 4, Block(s) 18 **MONKBRIDGE ADDITION, LOS CANDELARIAS SUBDIVISION**, zoned SU-2/R-T/R-C, and located on the NORTH SIDE OF CANDELARIA RD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: ZA-86-17, 02DRB-01935 (SK)] (G-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, FEBRUARY 3, 2003.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, February 19, 2003, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1000376
03DRB-00113 Major-Two Year SIA

BOHANNAN HUSTON, INC. agent(s) for BUILDERS INVESTMENT CO. OF NM request(s) the above action(s) for all or a portion of Lot(s) ALL, **PARADISE SKIES, UNITS 1 & 2**, zoned R-T residential zone, located SOUTH OF MCMAHON BLVD NW, between UNSER BLVD NW and VIRGO ST NW. [REF: 02DRB-00034, 00DRB-00908, 00DRB-00380] (A-11)

Project # 1000444
03DRB-00102 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for CENTEX HOMES request(s) the above action(s) for **STONEBRIDGE SUBDIVISION, UNIT 4**, zoned R-1, located SOUTH OF WESTSIDE BLVD NW, between STONEBRIDGE NW and STONEBROOK NW containing approximately 16 acre(s). [REF: 01DRB-00826] (A-12)

Project # 1001232
03DRB-00095 Major-Two Year SIA

TIERRA WEST, LLC agent(s) for VISTA MANAGEMENT HOME COMMUNITY, LP request(s) the above action(s) for all or a portion of Tract(s) 28A1, **VISTA SUBDIVISION**, zoned SU-1/MP special use zone, located on the WEST SIDE OF 94TH ST SW, between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 25 acre(s). [REF: DRB-94-621, DRB-85-298, Z-79-40, 02DRB-00672] (L-9)

Project # 1000503
03DRB-00119 Major-Vacation of Public Easements

ISAACSON & ARFMAN, PA agent(s) for BOYHAHN, LLC request(s) the above action(s) for all or a portion of Lot(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC), located on EAGLE CREST AVE. NE, between EAGLE VISTA DR NE and EAGLE LAUNCH DR NE containing approximately 1 acre(s). [REF: 00410-00607, 02DRB-01267] (C-19)

Project # 1000159
03DRB-00120 Major-Vacation of Public Easements

ISAACSON & ARFMAN agent(s) for BOYHAHN LLC request(s) the above action(s) for all or a portion of Tract(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC) located on EAGLE VIEW AVE NE between VISTAS DR NE and SOARING EAGLE DR NE containing approximately 1 acre(s). [REF: DRB-99-53] (C-19)

SEE PAGE 2...



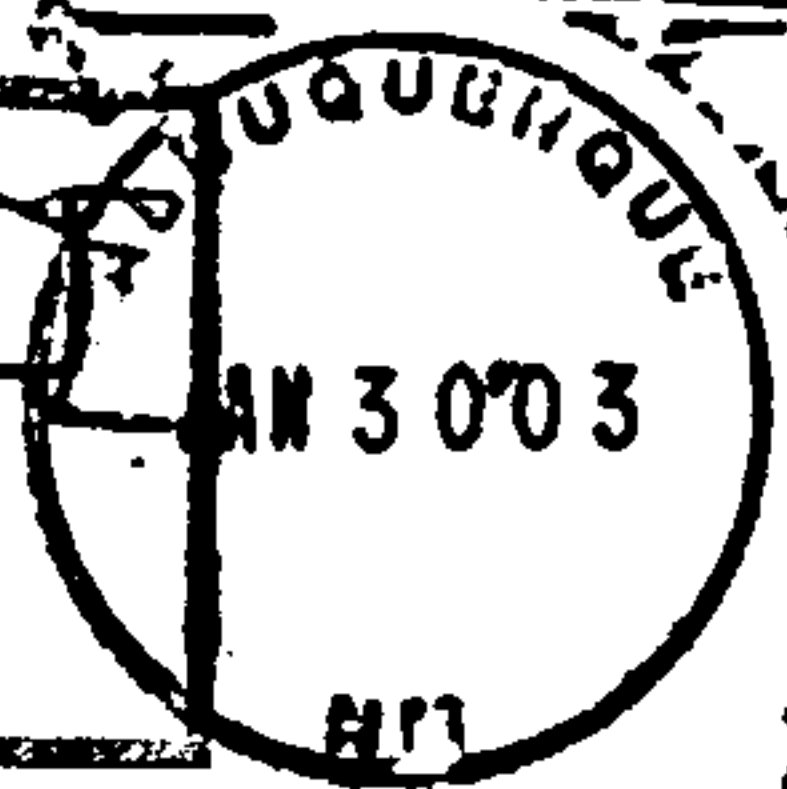
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**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1000485
03DRB-00116 Major-Vacation of Public
Easements

MARK GOODWIN & ASSOCIATES PA, agent(s) for AMERICAN SOUTHWEST HOMES request(s) the above action(s) for all or a portion of Tract(s) C, **ENCANTO VILLAGE - UNIT 3**, zoned R-D (9 DU/AC] located on EUCARIZ AVE SW, between UNSER BLVD SW and STINSON ST SW containing approximately 17 acre(s). [REF: 02DRB-01171, 02-DRB-01172, DRB-98-176] (L-10)

~~Project # 1002400~~
03DRB-00094 Major-Preliminary Plat Approval

ABQ ENGINEERING INC agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 5 and 6 and the westerly portion of Lot 4, Block(s) 18 **MONKBRIDGE ADDITION, LOS CANDELARIAS SUBDIVISION**, zoned SU-2/R-T/R-C, and located on the NORTH SIDE OF CANDELARIA RD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: ZA-86-17, 02DRB-01935 (SK)] (G-14)

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Sheran Matson, Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, FEBRUARY 3, 2003.



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CITY OF ALBUQUERQUE**

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Project # 1000376
03DRB-00113 Major-Two Year SIA

BOHANNAN HUSTON, INC. agent(s) for BUILDERS INVESTMENT CO. OF NM request(s) the above action(s) for all or a portion of Lot(s) ALL, **PARADISE SKIES, UNITS 1 & 2**, zoned R-T residential zone, located SOUTH OF MCMAHON BLVD NW, between UNSER BLVD NW and VIRGO ST NW. [REF: 02DRB-00034, 00DRB-00908, 00DRB-00380] (A-11)

Project # 1000444
03DRB-00102 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for CENTEX HOMES request(s) the above action(s) for **STONEBRIDGE SUBDIVISION, UNIT 4**, zoned R-1, located SOUTH OF WESTSIDE BLVD NW, between STONEBRIDGE NW and STONEBROOK NW containing approximately 16 acre(s). [REF: 01DRB-00826] (A-12)

Project # 1001232
03DRB-00095 Major-Two Year SIA

TIERRA WEST, LLC agent(s) for VISTA MANAGEMENT HOME COMMUNITY, LP request(s) the above action(s) for all or a portion of Tract(s) 28A1, **VISTA SUBDIVISION**, zoned SU-1/MP special use zone, located on the WEST SIDE OF 94TH ST SW, between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 25 acre(s). [REF: DRB-94-621, DRB-85-298, Z-79-40, 02DRB-00672] (L-9)

Project # 1000503
03DRB-00119 Major-Vacation of Public Easements

ISAACSON & ARFMAN, PA agent(s) for BOYHAHN, LLC request(s) the above action(s) for all or a portion of Lot(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC), located on EAGLE CREST AVE. NE, between EAGLE VISTA DR NE and EAGLE LAUNCH DR NE containing approximately 1 acre(s). [REF: 00410-00607, 02DRB-01267] (C-19)

Project # 1000159
03DRB-00120 Major-Vacation of Public Easements

ISAACSON & ARFMAN agent(s) for BOYHAHN LLC request(s) the above action(s) for all or a portion of Tract(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC) located on EAGLE VIEW AVE NE between VISTAS DR NE and SOARING EAGLE DR NE containing approximately 1 acre(s). [REF: DRB-99-53] (C-19)

SEE PAGE 2...



City of Albuquerque

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**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1000485
03DRB-00116 Major-Vacation of Public
Easements

MARK GOODWIN & ASSOCIATES PA, agent(s) for AMERICAN SOUTHWEST HOMES request(s) the above action(s) for all or a portion of Tract(s) C, **ENCANTO VILLAGE - UNIT 3**, zoned R-D (9 DU/AC) located on EUCARIZ AVE SW, between UNSER BLVD SW and STINSON ST SW containing approximately 17 acre(s). [REF: 02DRB-01171, 02-DRB-01172, DRB-98-176] (L-10)

~~Project # 1002400~~
03DRB-00094 Major-Preliminary Plat Approval

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Sheran Matson, Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, FEBRUARY 3, 2003.



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03DRB-00113 Major-Two Year SIA

BOHANNAN HUSTON, INC. agent(s) for BUILDERS INVESTMENT CO. OF NM request(s) the above action(s) for all or a portion of Lot(s) ALL, **PARADISE SKIES, UNITS 1 & 2**, zoned R-T residential zone, located SOUTH OF MCMAHON BLVD NW, between UNSER BLVD NW and VIRGO ST NW. [REF: 02DRB-00034, 00DRB-00908, 00DRB-00380] (A-11)

Project # 1000444
03DRB-00102 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for CENTEX HOMES request(s) the above action(s) for **STONEBRIDGE SUBDIVISION, UNIT 4**, zoned R-1, located SOUTH OF WESTSIDE BLVD NW, between STONEBRIDGE NW and STONEBROOK NW containing approximately 16 acre(s). [REF: 01DRB-00826] (A-12)

Project # 1001232
03DRB-00095 Major-Two Year SIA

TIERRA WEST, LLC agent(s) for VISTA MANAGEMENT HOME COMMUNITY, LP request(s) the above action(s) for all or a portion of Tract(s) 28A1, **VISTA SUBDIVISION**, zoned SU-1/MP special use zone, located on the WEST SIDE OF 94TH ST SW, between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 25 acre(s). [REF: DRB-94-621, DRB-85-298, Z-79-40, 02DRB-00672] (L-9)

Project # 1000503
03DRB-00119 Major-Vacation of Public Easements

ISAACSON & ARFMAN, PA agent(s) for BOYHAHN, LLC request(s) the above action(s) for all or a portion of Lot(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC), located on EAGLE CREST AVE. NE, between EAGLE VISTA DR NE and EAGLE LAUNCH DR NE containing approximately 1 acre(s). [REF: 00410-00607, 02DRB-01267] (C-19)

Project # 1000159
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ISAACSON & ARFMAN agent(s) for BOYHAHN LLC request(s) the above action(s) for all or a portion of Tract(s) A, **VISTA DEL AGUILA, UNIT 2**, zoned SU-1 (7 DU/AC) located on EAGLE VIEW AVE NE between VISTAS DR NE and SOARING EAGLE DR NE containing approximately 1 acre(s). [REF: DRB-99-53] (C-19)

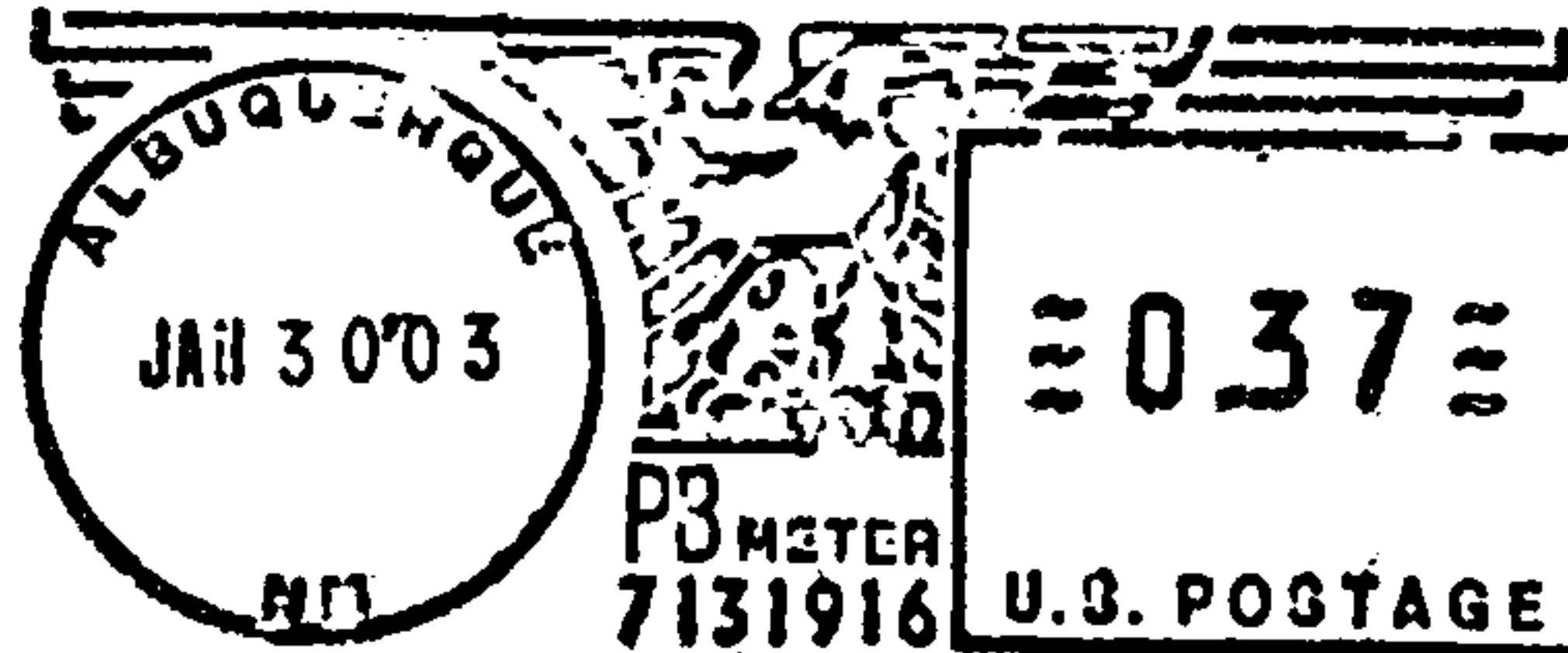
SEE PAGE 2...



City of Albuquerque

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**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE
PAGE 2**

Project # 1001413

03DRB-00593 Major-Vacation of Public Easements
03DRB-00594 Major-Vacation of Public Easements
03DRB-00591 Major-Preliminary Plat Approval
03DRB-00595 Minor-Sidewalk Waiver
03DRB-00596 Minor-Temp Deferral of Sidewalk

BOHANNAN HUSTON INC., AGENTS FOR SANDIA PROPERTIES LIMITED CO., request(s) the above action(s) for all or a portion of Tract(s) Y-1A-1A-3 and Y-1A-1A-4, Unit(s) 5 & 6, **PINON POINTE @ VENTANA RANCH**, zoned RLT, and located on the SOUTH SIDE OF IRVING BLVD NW between LAS VENTANAS RD NW and RAINBOW BLVD NW containing approximately 29 acre(s). [REF: 02DRB-00516 BLP, 02DRB-00517 PPA, 03DRB-00570 SK, 02DRB-00120 SK] (B-9)

Project # 1001543

03DRB-00588 Major-Vacation of Public Easements
03DRB-00589 Major-Vacation of Public Easements
03DRB-00587 Minor-Final Plat Approval

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for HOECH REAL ESTATE CORP., request(s) the above action(s) for Parcel 5, **DESERT RIDGE PLACE - UNIT 1**, zoned RD, located on VENTURA ST NE, between NORTH DOMINGO BACA ARROYO and HOLLY AVE NE containing approximately 3 acre(s). [REF: 02DRB-01121, 02DRB-01122 and 02DRB-01123] (C-20)

Project # 1002400

03DRB-00580-Major-Vacation of Public Easements
03DRB-00581 Minor-Final Plat Approval

ABQ ENGINEERING agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) west ½ of Lot(s) 4, 5 & 6, Block(s) 18, **MONKBRIDGE ADDITION**, zoned SU-2 special neighborhood zone, R-T, located on the NORTH SIDE OF CANDELARIA BLVD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: 03DRB-00094, 03DRB-00267, 03DRB-00256, 02DRB-01935] (G-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 21, 2003.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, May 7, 2003**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000419

03DRB-00590 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST NM 93-2 request(s) the above action(s) for all or a portion of Tract(s) 1B-1-A-1, 1B-1-B-1 and 1B-1-C-1, **RENAISSANCE CENTER**, zoned SU-1 for Auto Sales & C-1 uses, located on RENAISSANCE BLVD NE, between MONTANO RD NE and UNION WAY RD NE containing approximately 3 acre(s). [REF: 02DRB-00165, 02DRB-00164, 02AA-00814] (F-16)

Project # 1000788

03DRB-00582 Major-Two Year SIA
(Procedure B)

BOHANNAN HUSTON, INC. agent(s) for LONGFORD @ PARADISE SKIES, LP request(s) the above action(s) for all or a portion of Lot(s) ALL, **PARADISE SKIES, UNIT 8**, zoned SU-1 special use zone / R-T, located on the SOUTH SIDE OF MCMAHON BLVD NW, between ROCKCLIFF BLVD NW and MILKY WAY ST NW containing approximately 21 acre(s). [REF: 01DRB-00272 THRU 00274, 01DRB-01293, 02DRB-00227] (A-11)

Project # 1000633

03DRB-00592 Major-SiteDev Plan BldPermit

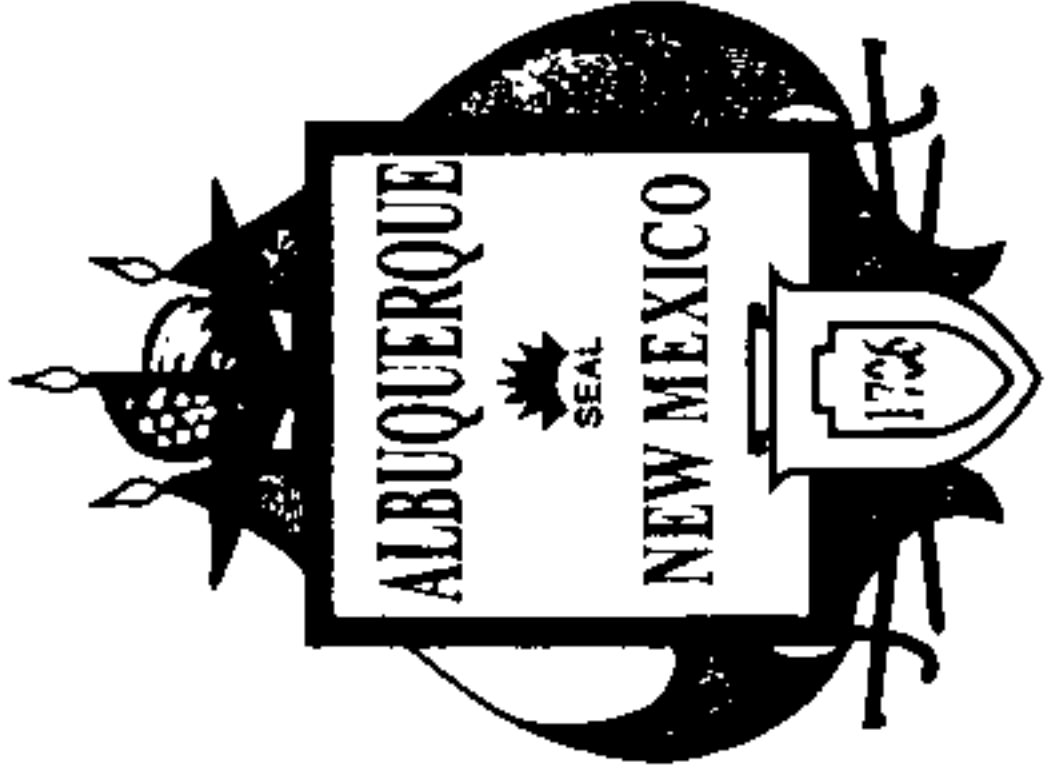
DEKKER/PERICH/SABATINI LTD agent(s) for NEW MEXICO EDUCATIONAL ASSISTANCE FOUNDATION request(s) the above action(s) for all or a portion of Lot(s) 9, Unit(s) 1, **JOURNAL CENTER 2**, zoned IP, located on TIBURON ST NE, between HANCOCK CT NE and MASTHEAD ST NE containing approximately 4 acre(s). (D-17)

Project # 1001334

03DRB-00584 Major-Preliminary Plat Approval
03DRB-00585 Minor-Temp Defer SDWK
03DRB-00586 Minor-Sidewalk Variance

MARK GOODWIN & ASSOCIATES PA agent(s) for C & W LAND DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 465 & a portion of 466, (to be known as **WESTBROOK HEIGHTS, UNIT 2**), TOWN OF ATRISCO GRANT - UNIT 7, zoned R-D (9DU/Ac), located on SAN YGNACIO RD SW, between UNSER BLVD SW and 82nd ST SW containing approximately 10 acre(s). [REF: 02DRB-01316] (L-10)

SEE PAGE 2...



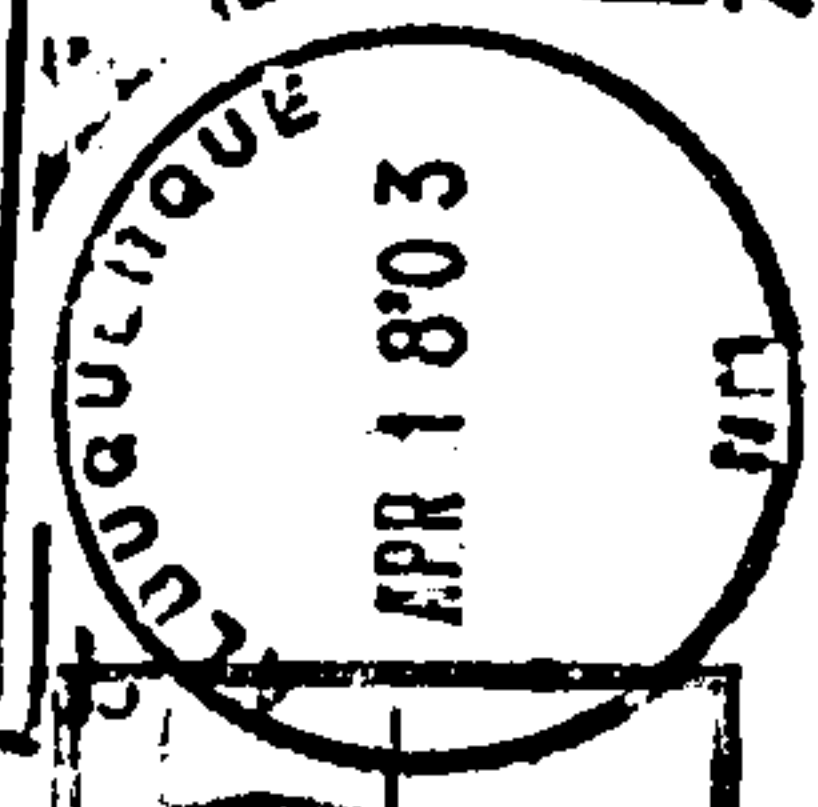
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**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE
PAGE 2**

Project # 1001413

03DRB-00593 Major-Vacation of Public Easements
03DRB-00594 Major-Vacation of Public Easements
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Project # 1001543

03DRB-00588 Major-Vacation of Public Easements
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JEFF MORTENSEN & ASSOCIATES INC., agent(s) for HOECH REAL ESTATE CORP., request(s) the above action(s) for Parcel 5, **DESERT RIDGE PLACE - UNIT 1**, zoned RD, located on VENTURA ST NE, between NORTH DOMINGO BACA ARROYO and HOLLY AVE NE containing approximately 3 acre(s). [REF: 02DRB-01121, 02DRB-01122 and 02DRB-01123] (C-20)

Project # 1002400

03DRB-00580 Major-Vacation of Public Easements
03DRB-00581 Minor-Final Plat Approval

ABQ ENGINEERING agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) west ½ of Lot(s) 4, 5 & 6, Block(s) 18, **MONKBRIDGE ADDITION**, zoned SU-2 special neighborhood zone, R-T, located on the NORTH SIDE OF CANDELARIA BLVD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: 03DRB-00094, 03DRB-00267, 03DRB-00256, 02DRB-01935] (G-14)

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Project # 1000788

03DRB-00582 Major-Two Year SIA
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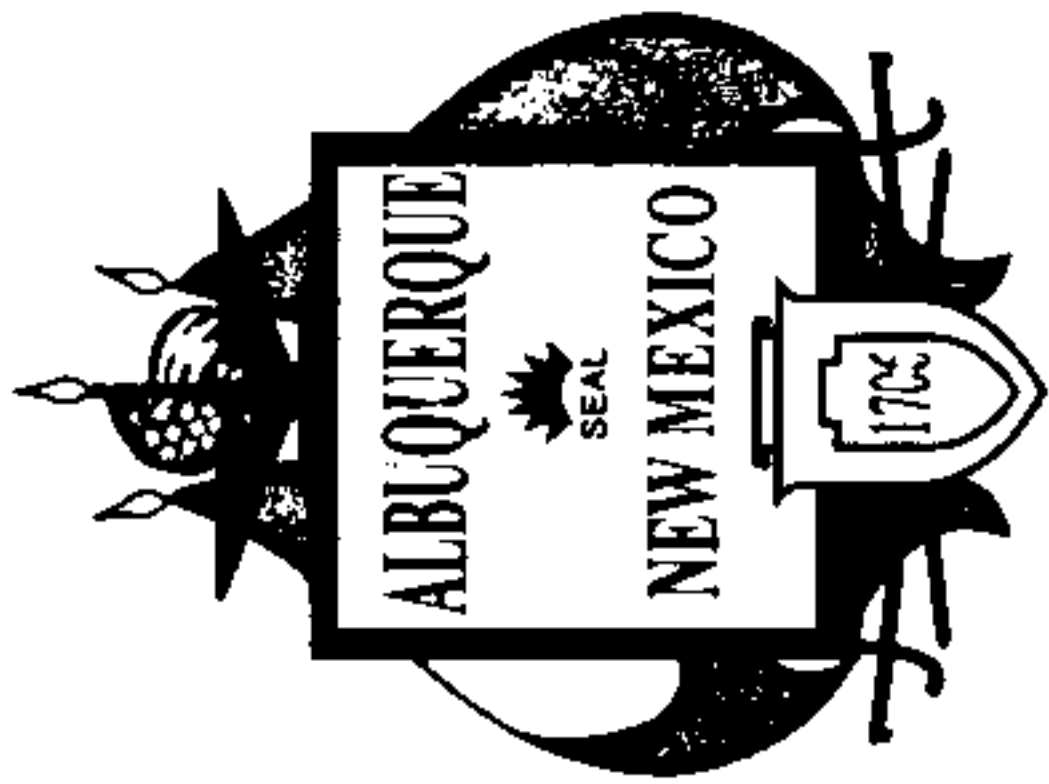
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Project # 1001334

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03DRB-00585 Minor-Temp Defer SDWK
03DRB-00586 Minor-Sidewalk Variance

MARK GOODWIN & ASSOCIATES PA agent(s) for C & W LAND DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 465 & a portion of 466, (to be known as **WESTBROOK HEIGHTS, UNIT 2**), TOWN OF ATRISCO GRANT - UNIT 7, zoned R-D (9DU/Ac), located on SAN YGNACIO RD SW, between UNSER BLVD SW and 82nd ST SW containing approximately 10 acre(s). [REF: 02DRB-01316] (L-10)

SEE PAGE 2...

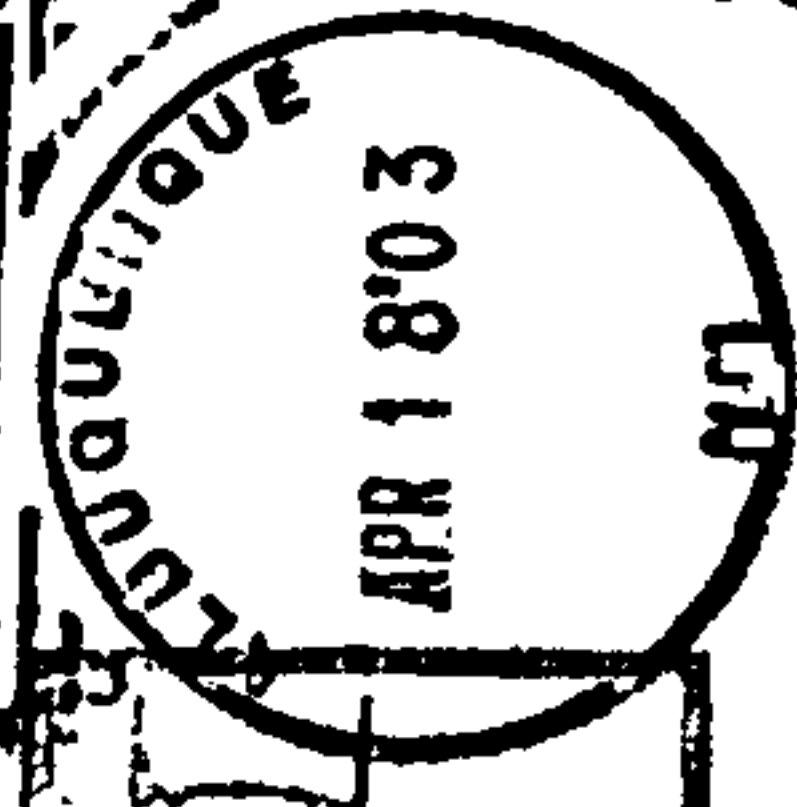


City of Albuquerque
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



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ALBUQUERQUE, NM 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE
PAGE 2**

Project # 1001413

03DRB-00593 Major-Vacation of Public Easements
03DRB-00594 Major-Vacation of Public Easements
03DRB-00591 Major-Preliminary Plat Approval
03DRB-00595 Minor-Sidewalk Waiver
03DRB-00596 Minor-Temp Deferral of Sidewalk

BOHANNAN HUSTON INC., AGENTS FOR SANDIA PROPERTIES LIMITED CO., request(s) the above action(s) for all or a portion of Tract(s) Y-1A-1A-3 and Y-1A-1A-4, Unit(s) 5 & 6, **PINON POINTE @ VENTANA RANCH**, zoned RLT, and located on the SOUTH SIDE OF IRVING BLVD NW between LAS VENTANAS RD NW and RAINBOW BLVD NW containing approximately 29 acre(s). [REF: 02DRB-00516 BLP, 02DRB-00517 PPA, 03DRB-00570 SK, 02DRB-00120 SK] (B-9)

Project # 1001543

03DRB-00588 Major-Vacation of Public Easements
03DRB-00589 Major-Vacation of Public Easements
03DRB-00587 Minor-Final Plat Approval

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for HOECH REAL ESTATE CORP., request(s) the above action(s) for Parcel 5, **DESERT RIDGE PLACE - UNIT 1**, zoned RD, located on VENTURA ST NE, between NORTH DOMINGO BACA ARROYO and HOLLY AVE NE containing approximately 3 acre(s). [REF: 02DRB-01121, 02DRB-01122 and 02DRB-01123] (C-20)

Project # 1002400

03DRB-00580 Major-Vacation of Public Easements
03DRB-00581 Minor-Final Plat Approval

ABQ ENGINEERING agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) west ½ of Lot(s) 4, 5 & 6, Block(s) 18, **MONKBRIDGE ADDITION**, zoned SU-2 special neighborhood zone, R-T, located on the NORTH SIDE OF CANDELARIA BLVD NW, between OTRA VEZ CT NW and CUERVO CT NW containing approximately 5 acre(s). [REF: 03DRB-00094, 03DRB-00267, 03DRB-00256, 02DRB-01935] (G-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 21, 2003.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, May 7, 2003, beginning at 9:00 a.m.** for the purpose of considering the following:

Project # 1000419

03DRB-00590 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST NM 93-2 request(s) the above action(s) for all or a portion of Tract(s) 1B-1-A-1, 1B-1-B-1 and 1B-1-C-1, **RENAISSANCE CENTER**, zoned SU-1 for Auto Sales & C-1 uses, located on RENAISSANCE BLVD NE, between MONTANO RD NE and UNION WAY RD NE containing approximately 3 acre(s). [REF: 02DRB-00165, 02DRB-00164, 02AA-00814] (F-16)

Project # 1000788

03DRB-00582 Major-Two Year SIA
(Procedure B)

BOHANNAN HUSTON, INC. agent(s) for LONGFORD @ PARADISE SKIES, LP request(s) the above action(s) for all or a portion of Lot(s) ALL, **PARADISE SKIES, UNIT 8**, zoned SU-1 special use zone / R-T, located on the SOUTH SIDE OF MCMAHON BLVD NW, between ROCKCLIFF BLVD NW and MILKY WAY ST NW containing approximately 21 acre(s). [REF: 01DRB-00272 THRU 00274, 01DRB-01293, 02DRB-00227] (A-11)

Project # 1000633

03DRB-00592 Major-SiteDev Plan BldPermit

DEKKER/PERICH/SABATINI LTD agent(s) for NEW MEXICO EDUCATIONAL ASSISTANCE FOUNDATION request(s) the above action(s) for all or a portion of Lot(s) 9, Unit(s) 1, **JOURNAL CENTER 2**, zoned IP, located on TIBURON ST NE, between HANCOCK CT NE and MASTHEAD ST NE containing approximately 4 acre(s). (D-17)

Project # 1001334

03DRB-00584 Major-Preliminary Plat Approval
03DRB-00585 Minor-Temp Defer SDWK
03DRB-00586 Minor-Sidewalk Variance

MARK GOODWIN & ASSOCIATES PA agent(s) for C & W LAND DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 465 & a portion of 466, (to be known as **WESTBROOK HEIGHTS, UNIT 2**), TOWN OF ATRISCO GRANT - UNIT 7, zoned R-D (9DU/Ac), located on SAN YGNACIO RD SW, between UNSER BLVD SW and 82nd ST SW containing approximately 10 acre(s). [REF: 02DRB-01316] (L-10)

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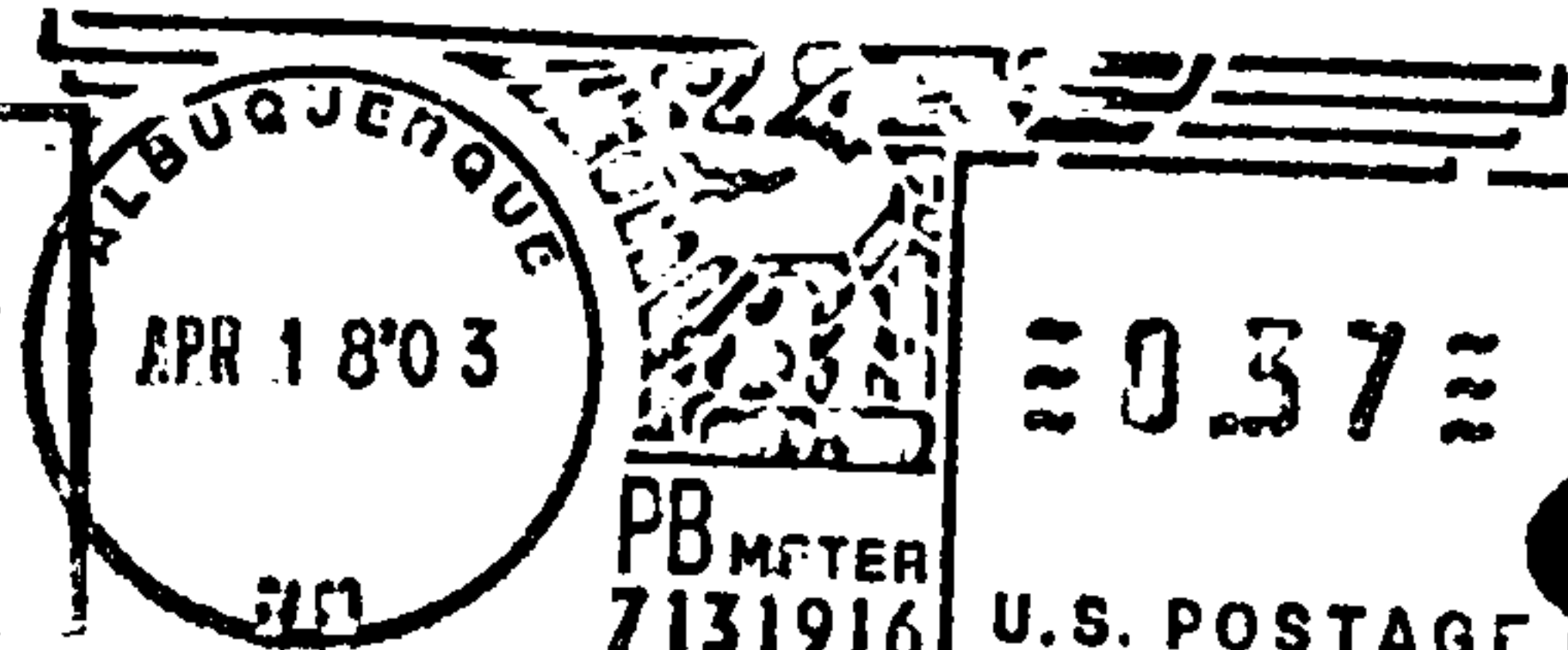
City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87108

PLANNING DEPARTMENT



RETURN
TO SENDER
NOT DELIVERABLE
AS ADDRESSED
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**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE
PAGE 2**

Project # 1001413

03DRB-00593 Major-Vacation of Public Easements
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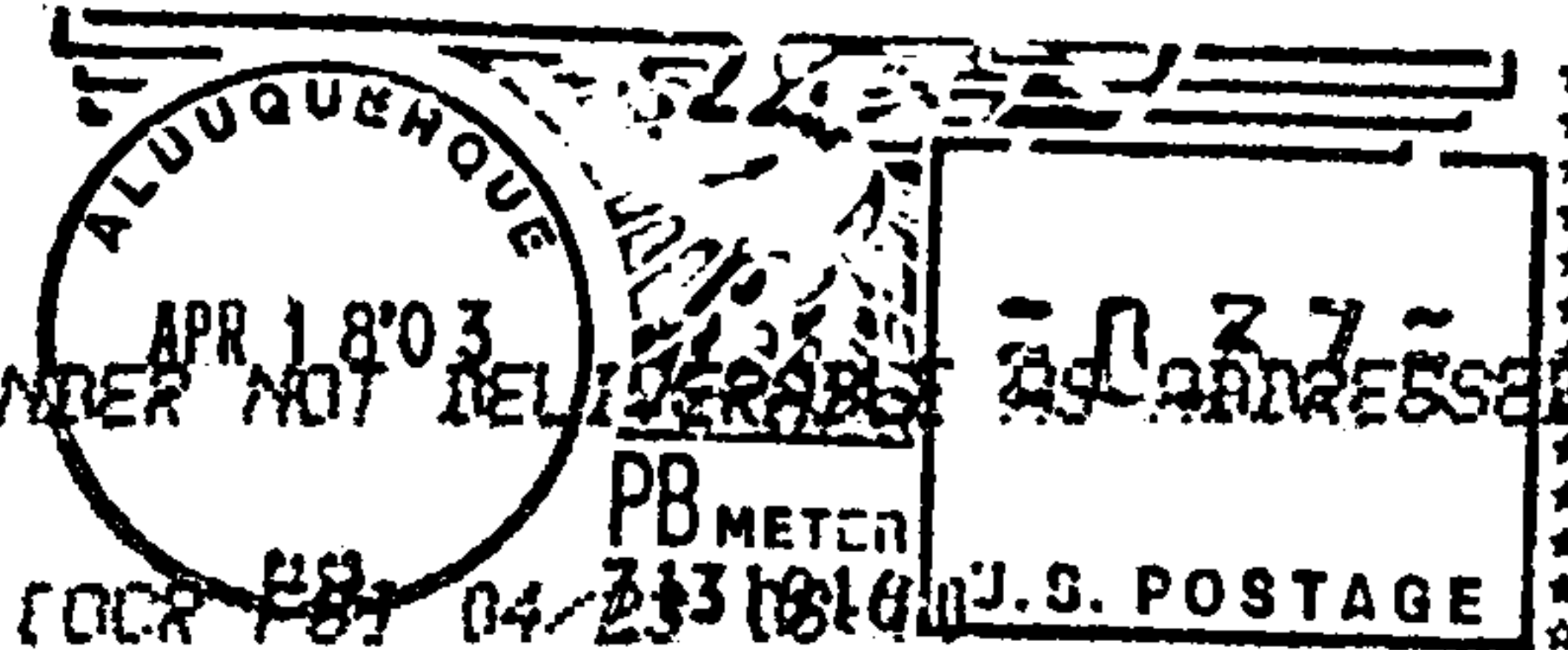
SEE PAGE 2...



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



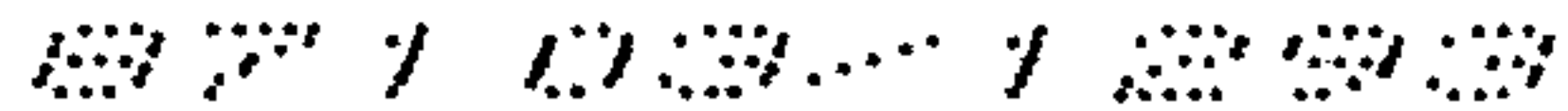
← RETURN TO SENDER NOT DELIVERABLE AS ADDRESSED

PHOENIX, AZ LOCK #87 04/23/03

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ROESSLER KEITH
9595 THUNDERBIRD
SCOTTSDALE

RD
AZ 85260



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