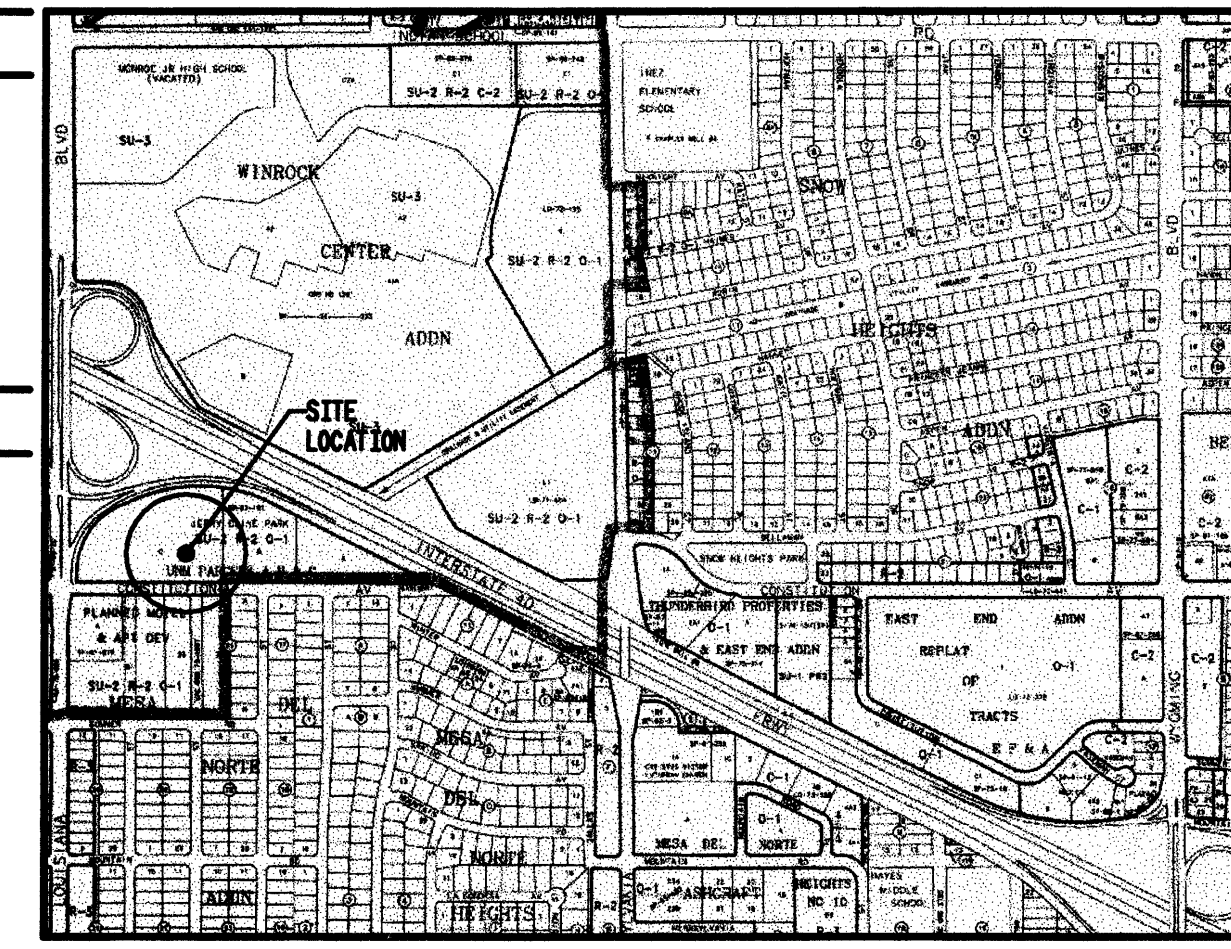


**Index of Drawings**

- AS-1.0 SITE PLAN 1:50 SCALE
- AS-1.1 SITE PLAN 1:20 SCALE
- C-1 GRADING AND DRAINAGE PLAN
- L-1 LANDSCAPE PLAN
- A-1 BUILDING ELEVATIONS

**Scope of Work**

1. CONSTRUCT A NEW 4,210 S.F. TENNIS SERVICE CENTER BUILDING. BUILDING INCLUDES AN OFFICE, MEETING ROOMS, AND TOILET/LOCKER ROOMS. PROVIDE A COVERED PATIO AREA.
2. ENCLOSE THE TENNIS COMPLEX WITH A NEW 8' HIGH PAINTED STEEL TUBULAR FENCING AND 8' HIGH CHAIN LINK. ACCESS TO THE TENNIS COURTS WILL BE CONTROLLED THROUGH THE BUILDING.
3. ADD PUBLIC ADDRESS SPEAKERS (ALL FACING NORTH) AT THE TENNIS COURTS. THE PUBLIC ADDRESS SYSTEM SHALL BE IN COMPLIANCE WITH SECTION 9-9-4 OF THE NOISE ORDINANCE.
4. ADD A REFUSE CONTAINER ENCLOSURE.
5. ADD ADDITIONAL 14 SPACES IN THE PARKING LOT (NORTH END). RESTRIPE THE EXISTING PARKING LOT.
6. PROVIDE 4 HANDICAPPED ACCESSIBLE PARKING SPACES.
7. ADD 1 NEW LIGHT POLE IN THE PARKING LOT.



**LOCATION MAP**

Project Number: \_\_\_\_\_

Application Number: \_\_\_\_\_

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC).

dated \_\_\_\_\_ and that the findings and conditions in the Official Notice; Notification of Decision have been complied with.

**SITE DEVELOPMENT PLAN APPROVAL:**

Environmental Health Department - conditional	Date
Solid Waste Management	Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Planning Department Date

\* Environmental Health, if necessary

**Site Data**

LEGAL DESCRIPTION: A PORTION OF U.N.M. PARCELS "A", "B" AND "C" WITHIN THE NW1/4 SECTION 16, T10N, R4E, N.M.P.M., ALBUQUERQUE, NEW MEXICO filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 28, 1982 in Volume C19, Folio 199.

LOT AREA: 532,492 S.F.  
 CURRENT ZONING: SU-2/0-1/R-2  
 MAXIMUM BUILDING HEIGHT: 35'-0"  
 PROPOSED USAGE AND BUILDING AREA:  
 TENNIS SERVICE CENTER: 4,210 S.F.  
 SITE AREA: 532,492 S.F.  
 FLOOR AREA RATIO = BUILDING AREA = 4,210 S.F.  
 LOT AREA = 532,492 S.F. = 0.0079

BUILDING HEIGHT: 22'-0"  
 PARKING REQUIREMENTS:  
 BUILDING USE / FUNCTION: OFFICE / ADMINISTRATIVE SPACES, TOILETS, SUPPLY LOCKERS.  
 ZONING CODE PARKING REQUIREMENTS (14-16-3-1)  
 OFFICES: 1 SPACE PER 200 S.F. NET LEASABLE  
 GROSS BUILDING AREA = 4,210 S.F.  
 HALLWAYS, VESTIBULE, TOILETS, SUPPLY AREAS / NON OCCUPIED SPACES = 2,453 S.F.  
 OFFICE MEETING AREAS = 1,757 S.F.  
 1,757 S.F. = 8.7 SPACES  
 200 S.F. = 8.7 SPACES  
 TRANSIT SYSTEM REDUCTION = 10% X 8.7 = 0.87  
 8.7 - 0.87 = 7.83 = 8 REQUIRED PARKING SPACES  
 EXISTING PARKING (10'-6" WIDE SPACES): 70 SPACES  
 NEW PARKING AFTER RESTRIPIING (8'-6" WIDE SPACES) AND EXTENSION OF EAST LOT: = 99 SPACES

99 - 70 = 29 NEW PARKING SPACES  
 29 NEW SPACES EXCEEDS THE ADDITIONAL REQUIREMENT FOR THE BUILDING OF 8 SPACES, THEREFORE OK

HANDICAP PARKING SPACES REQUIRED: 1 (BASED ON 8 SPACES)  
 HANDICAP PARKING SPACES PROVIDED: 4  
 NO. OF BICYCLE SPACES REQUIRED: 1 PER 20 PARKING SPACES PROVIDED  
 99 / 20 = 5 BICYCLE SPACES REQUIRED  
 NO. OF BICYCLE SPACES PROVIDED: 1 RACK, RACK HAS 7 SPACES

LANDSCAPE CALCULATIONS:  
 TOTAL LOT AREA: 532,492 S.F.  
 TOTAL BUILDING AREA: 4,210 S.F.  
 TOTAL NET AREA: 528,282 S.F.  
 LANDSCAPE REQUIREMENT: 15%  
 TOTAL LANDSCAPE REQUIREMENT: 79,242 S.F.  
 TOTAL LANDSCAPE PROVIDED: 367,234 S.F.

**ORIGINAL - DR B FILE**

LEE GAMELSKY ARCHITECTS P.C.  
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 ALBUQUERQUE, NM 87110  
 505.842.8865 FAX 842.1693  
 lga@swp.com

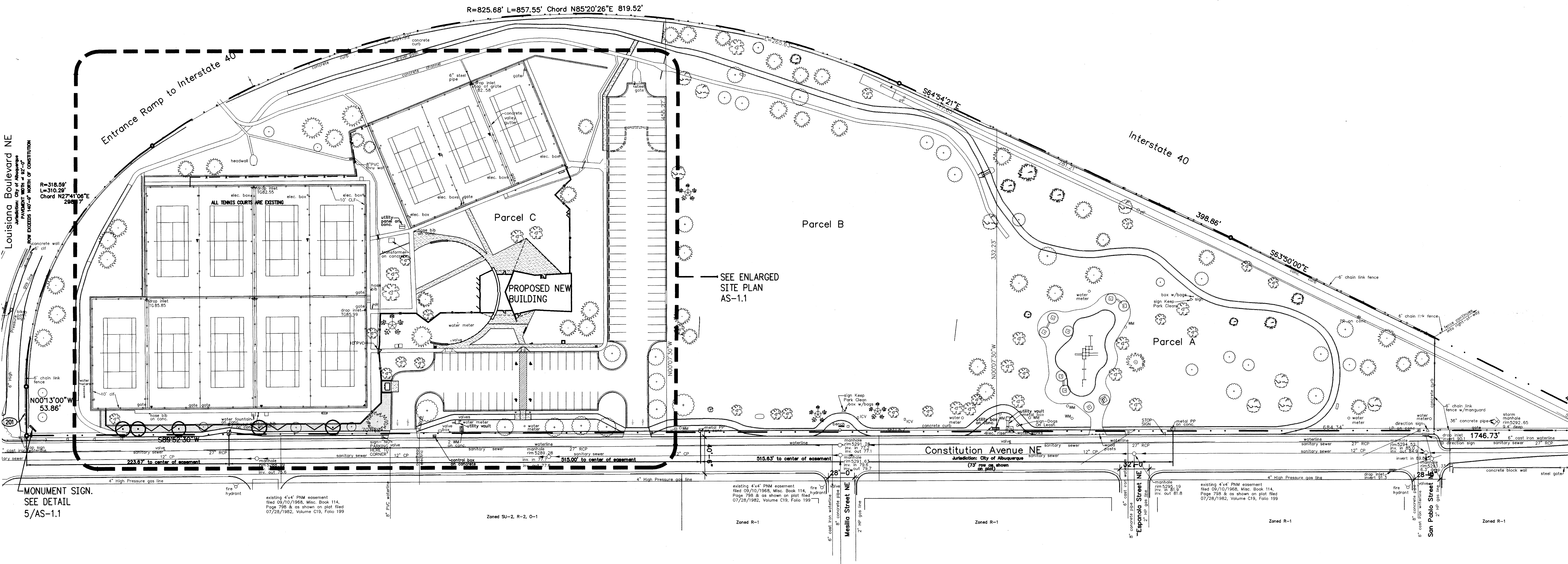
**TENNIS SERVICE CENTER @ JERRY CLINE PARK**

ALBUQUERQUE, NEW MEXICO

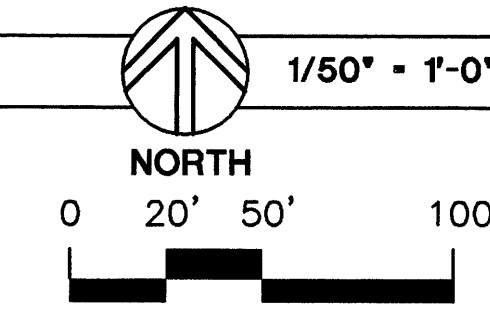
PROJECT ARCHITECT: LEE GAMELSKY, AIA  
 PROJECT #: \_\_\_\_\_  
 Date: 21 MARCH 2003

**SITE PLAN**

By: \_\_\_\_\_  
 Title: \_\_\_\_\_  
 Sheet: AS-1.0

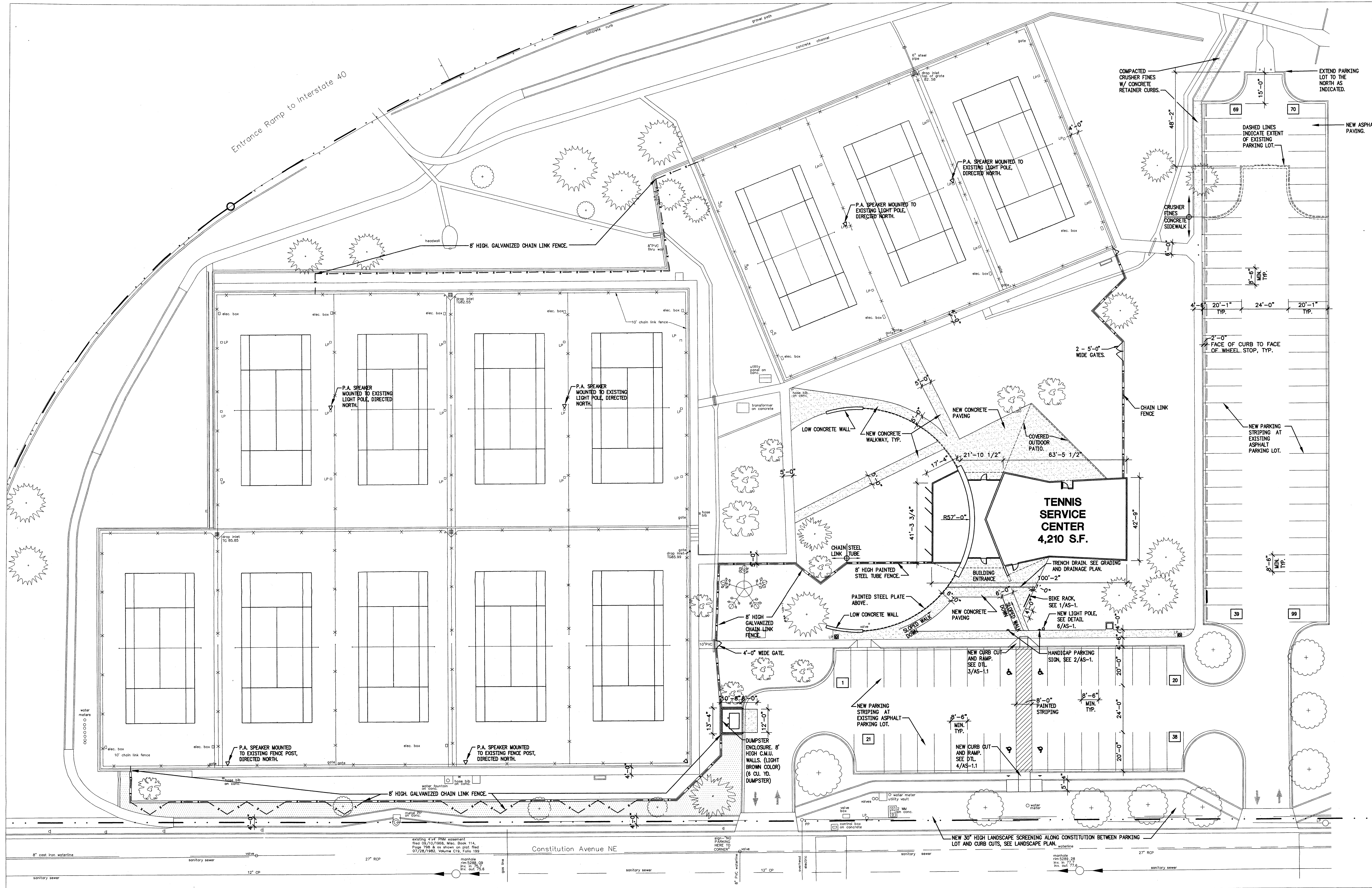


**SITE PLAN**  
**Keyed Note**  
 201 CUT BACK EXISTING CHAIN LINK FENCE 22'-0".



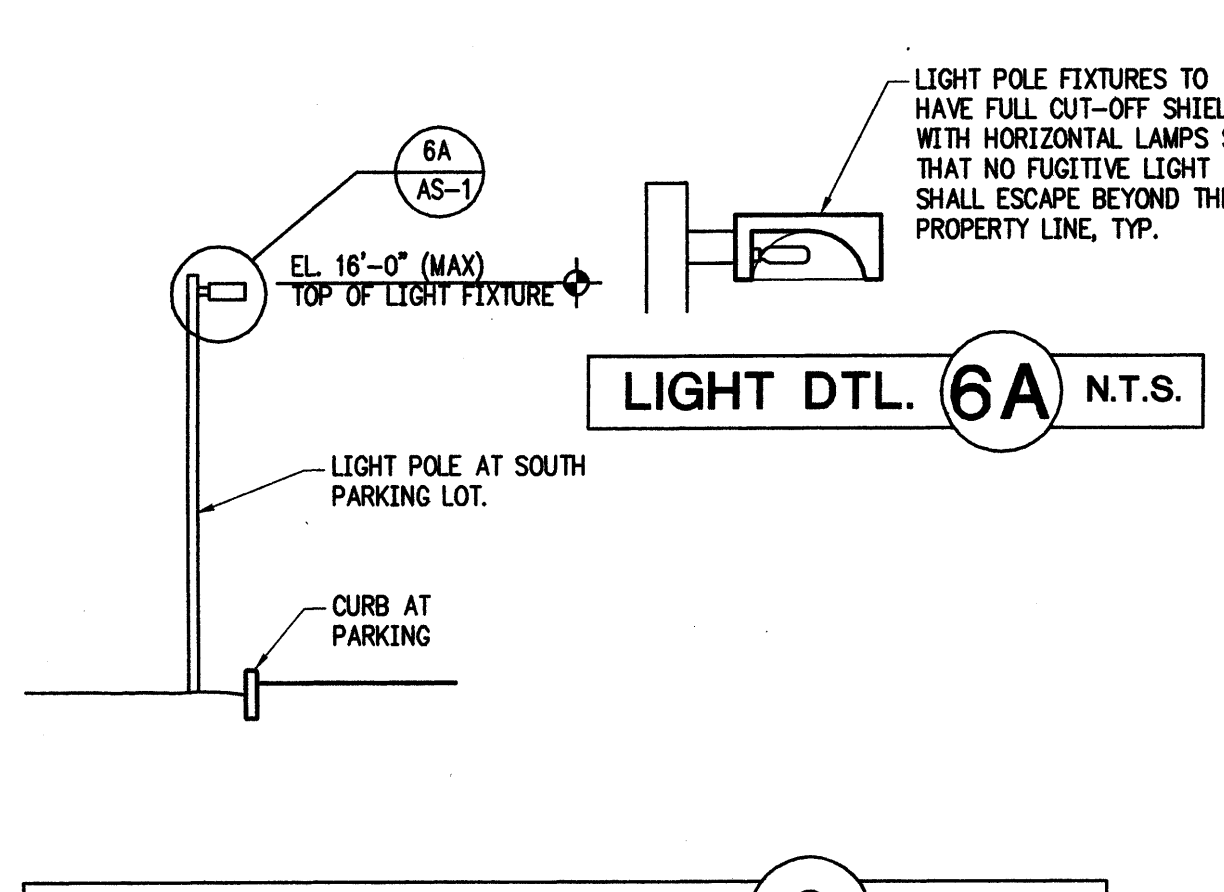
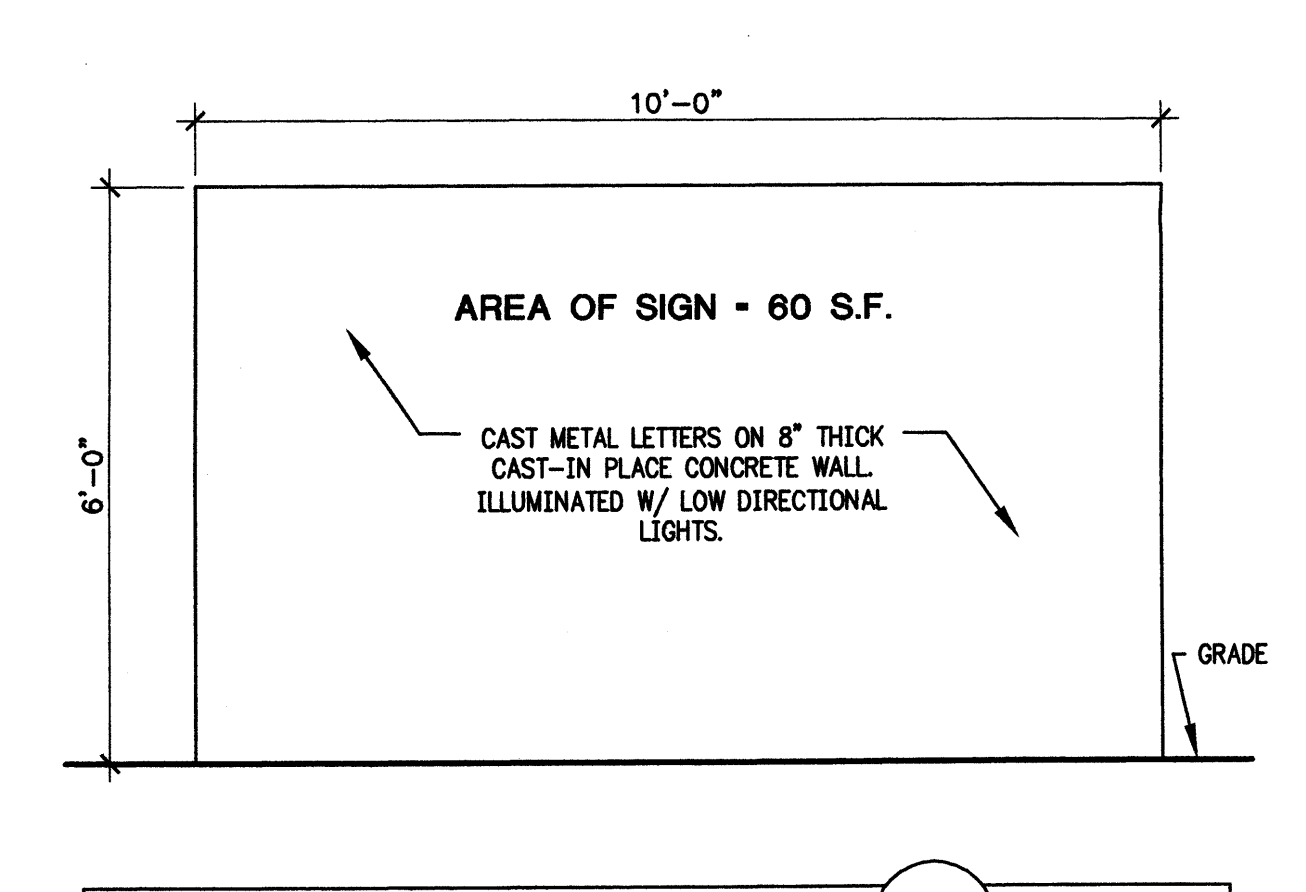
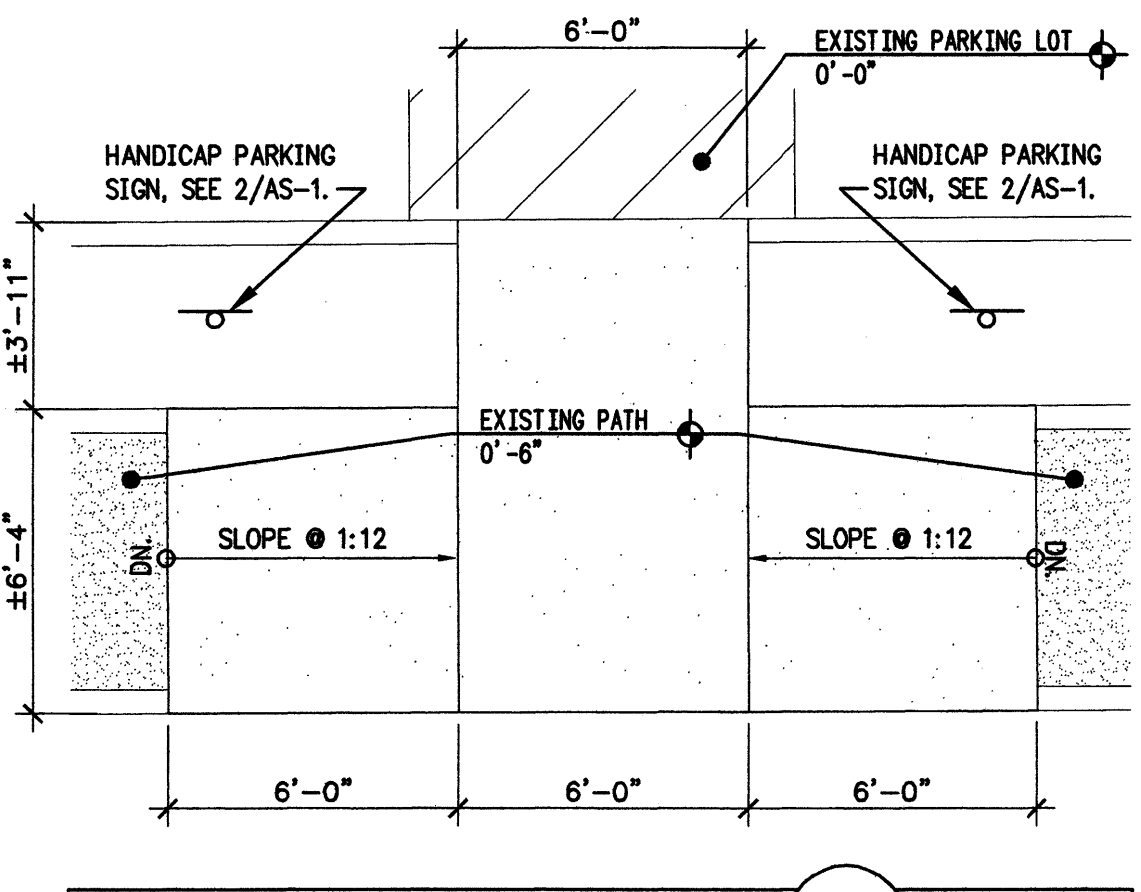
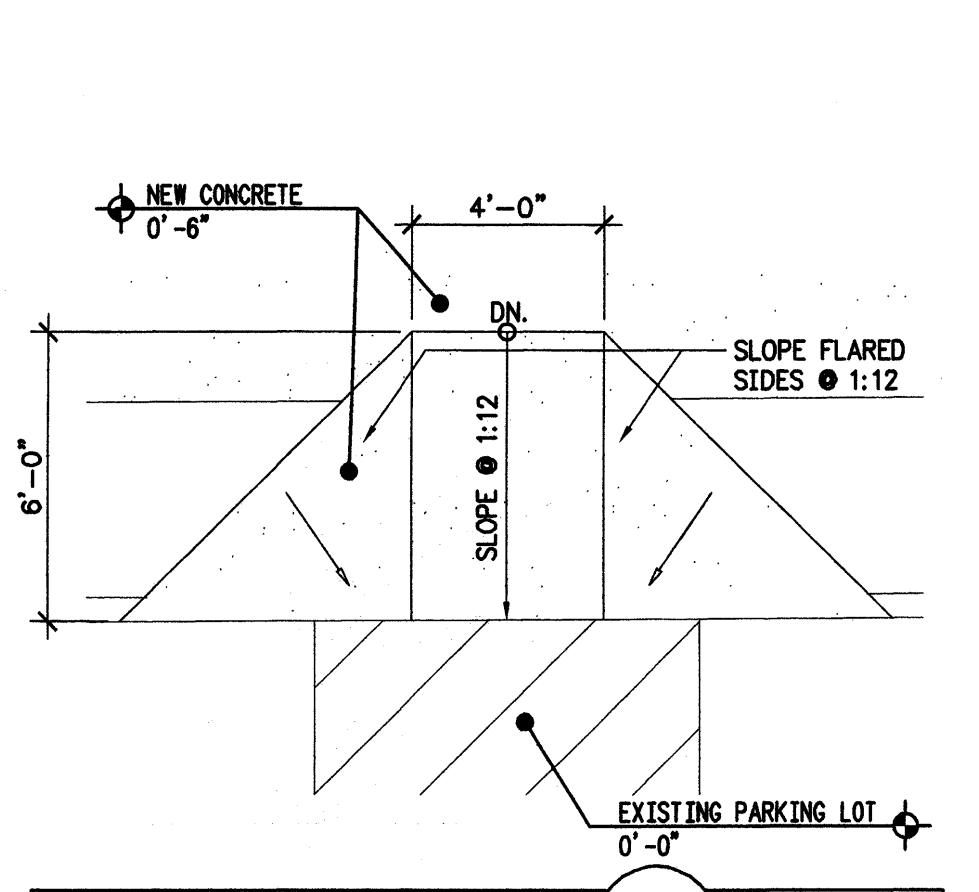
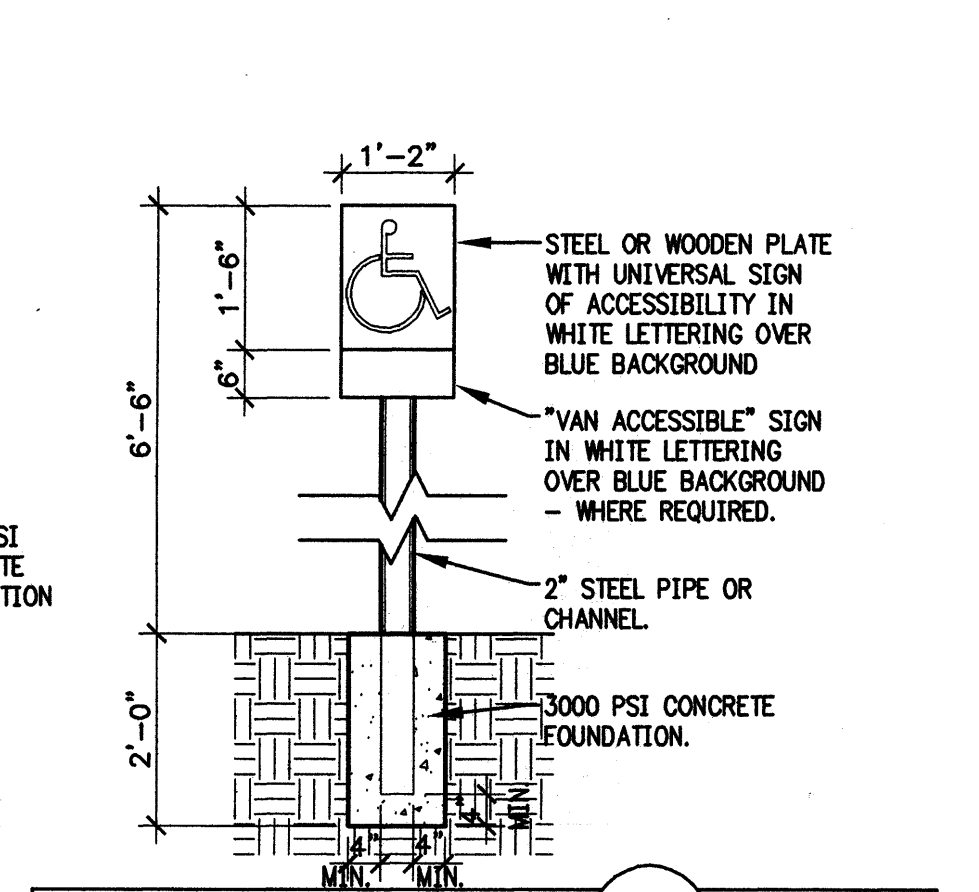
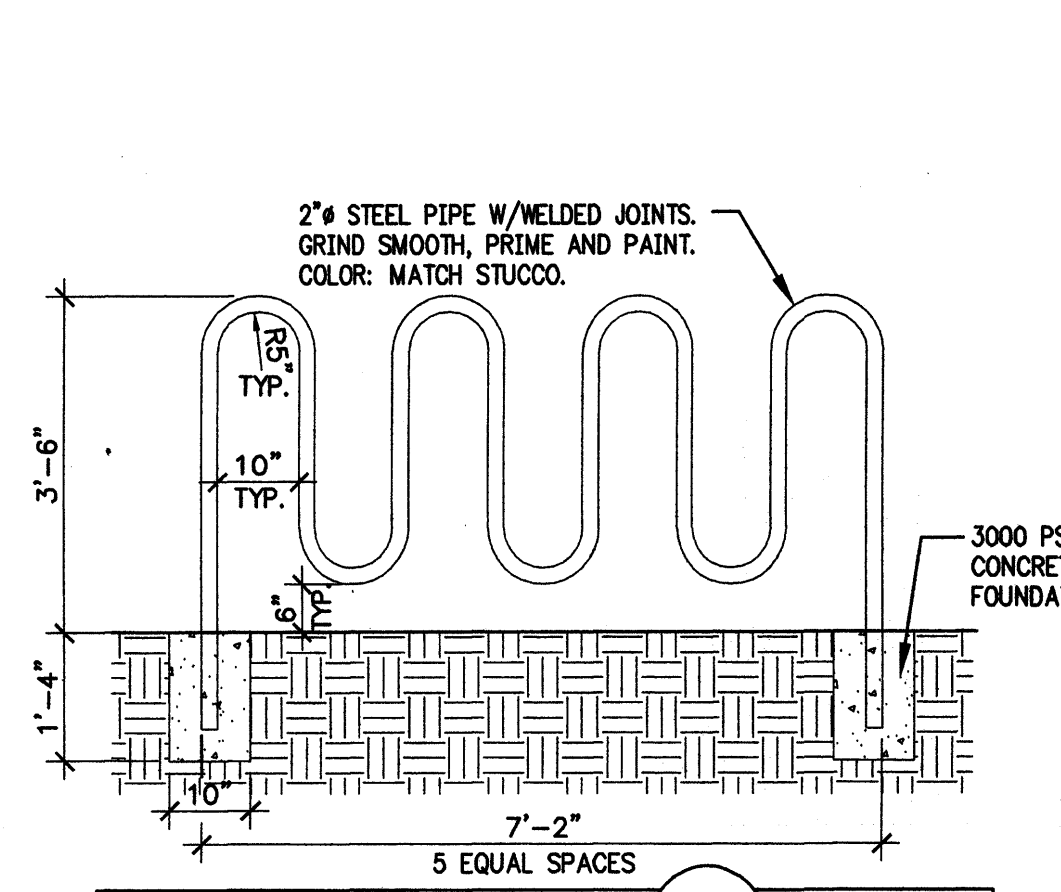
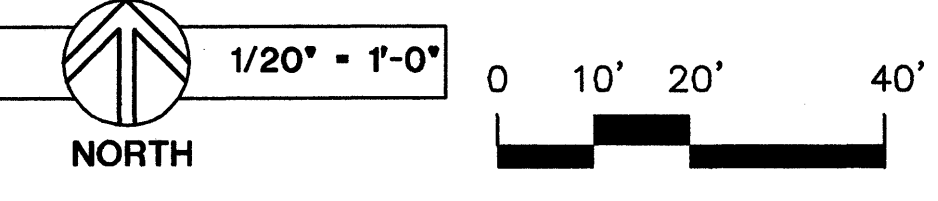
APR 3 2003  
 APPROVED  
 R.C. JAMES  
 CITY ENGINEER





- General Notes**
- THE EXISTING PARKING LOT CURRENTLY HAS A TOTAL OF 70 PARKING SPACES (INCLUDING 4 HANDICAP SPACES). EACH PARKING SPACE IS 15'-0" WIDE. THE PROPOSED NEW PARKING AND NEW STRIPING WILL BE 8'-6" WIDE AND WILL PROVIDE A TOTAL OF 99 PARKING SPACES (INCLUDING 4 HANDICAP SPACES).
  - LIGHT FIXTURES SHALL BE A MAXIMUM OF 16 FEET HIGH WITH FULL CUTOFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE DETAIL.
  - ALL SIGNS SHALL BE REGULATED AS PER THE 0-1 ZONE OF THE COMPREHENSIVE CITY ZONING CODE AND THE UPTOWN SECTOR DEVELOPMENT PLAN.

**SITE PLAN**



**LEE GAMESKY ARCHITECTS P.C.**

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lga@ewp.com

**TENNIS SERVICE CENTER @ JERRY CLINE PARK**

ALBUQUERQUE, NEW MEXICO

PROJECT ARCHITECT:  
LEE GAMESKY, AIA

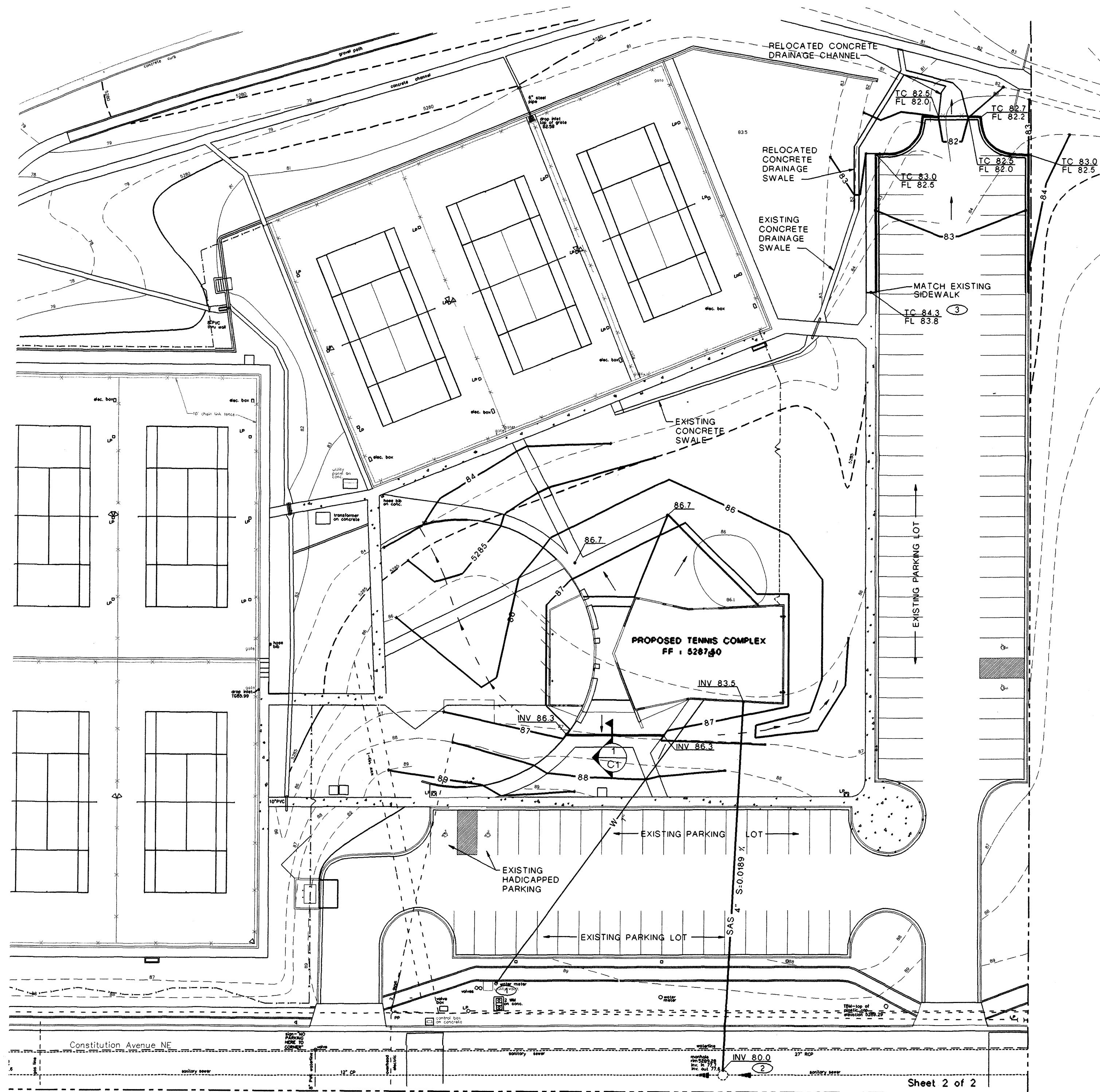
Project #:  
Date: 21 MARCH 2003

**SITE PLAN**

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File: \*DWG

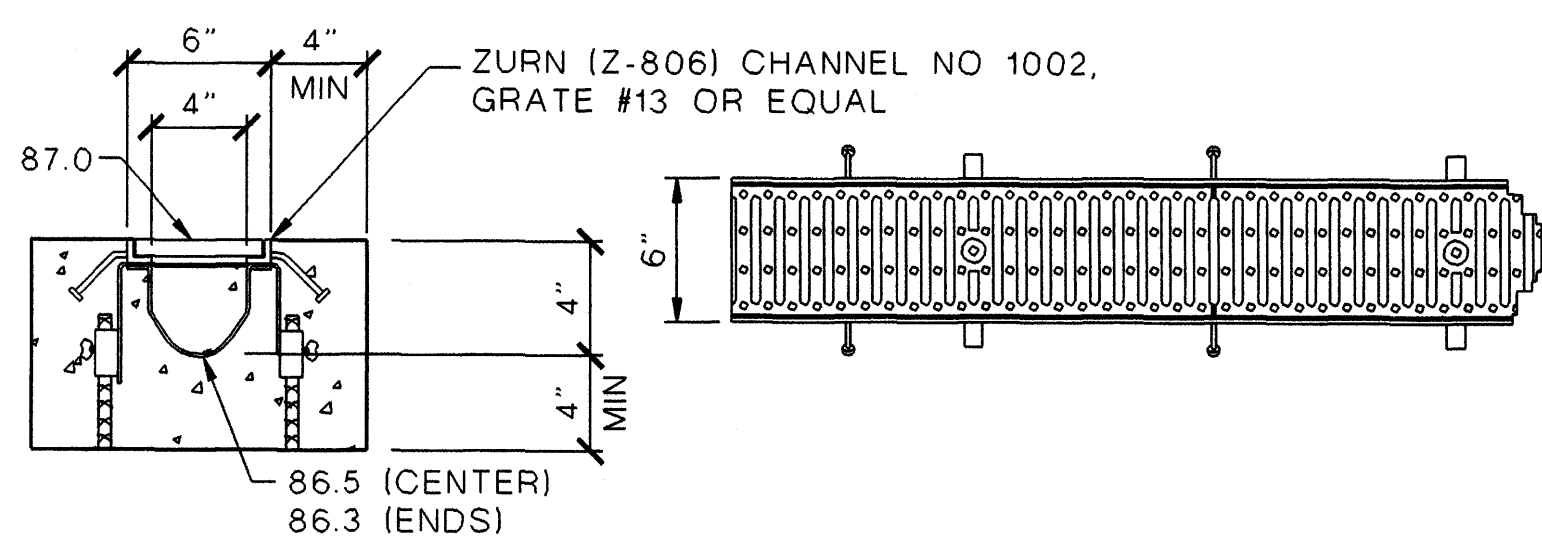
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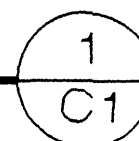
**GRADING/DRAINAGE PLAN**

SCALE: 1" = 20'



**TRENCH DRAIN DETAIL**

SCALE: 1 1/2" = 1'-0"



**General Notes**

- A. MINIMUM DEPTH OF BURY FOR WATER LINE IS 3.0'.
- B. MINIMUM DEPTH OF BURY FOR SEWER LINE IS 4.0'.
- C. MAXIMUM SLOPE OF SIDEWALK SHALL NOT EXCEED 1:20.
- D. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
- E. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
- F. CONTRACTOR SHALL COORDINATE WITH WATER SYSTEM DIVISION (857-8200) FIVE (5) WORKING DAYS PRIOR TO ANY WORK THAT MAY AFFECT EXISTING CITY PUBLIC WATER AND SEWER UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUT-OFF. EXISTING CITY VALVES TO BE OPERATED BY CITY PERSONNEL ONLY.
- G. THIS SIDE IS NOT LOCATED IN A DESIGNATED 100 YEAR FLOOD HAZARD AREA PER FEMA PANEL NO 325 OF 825 DATED SEPTEMBER 20, 1996. EARTH SURFACED DISTURBED IN THE CONSTRUCTION PROCESS SHALL BE EITHER FORMALLY LANDSCAPED OR SEEDING IN ACCORDANCE WITH CITY OF ALBUQUERQUE REQUIREMENTS.

**Drainage Plan Notes**

- 1. THE PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
- 2. IRRIGATION WITHIN 10 FEET OF ANY PROPOSED STRUCTURE IS NOT RECOMMENDED. INTRODUCTION OF IRRIGATION WATER TO SUBSURFACE SOILS ADJACENT TO THE STRUCTURE COULD CAUSE SETTLEMENT.
- 3. THIS PLAN IS PREPARED TO ESTABLISH ON-SITE DRAINAGE AND GRADING CRITERIA ONLY. ABO ENGINEERING ASSUMES NO RESPONSIBILITY FOR SUBSURFACE ANALYSIS, OR FOUNDATION/STRUCTURAL DESIGN.
- 4. LOCAL CODES MAY REQUIRE ALL FOOTINGS TO BE PLACED IN NATURAL UNDISTURBED SOIL. IF THE CONTRACTOR PLANS TO PLACE FOOTINGS ON ENGINEERED FILL, A CERTIFICATION BY A REGISTERED PROFESSIONAL ENGINEER WILL BE REQUIRED.

**Erosion Control**

- 1. TEMPORARY EROSION CONTROL WILL BE REQUIRED DURING CONSTRUCTION TO CONTROL THE DISCHARGE OF SEDIMENT INTO THE PUBLIC STREET AND STORM DRAINAGE NETWORK. TEMPORARY EROSION CONTROL BERMS SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION. THE BERMS ARE TO BE PLACED ALONG THE PERIMETER OF THE PROJECT LIMITS TO DIRECT SEDIMENT TO THE CONCRETE SWALE LOCATED TO THE NORTH OF THE SITE. THE BERMS SHALL REMAIN IN PLACE UNTIL DRAINAGE IMPROVEMENTS ARE IN PLACE.

**Bench Mark**

TOP OF PLASTIC CAP ELEVATION 5289.29  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 A.C.S. BENCHMARK REFERENCE.  
 PLASTIC CAP ADJACENT TO CONCRETE SIDEWALK AT SOUTHEAST CORNER OF PROPERTY ALONG CONSTITUTION AVENUE

TOPOGRAPHIC SURVEY PROVIDED BY FORSTBAUER SURVEYING, LLC. DATED SEPTEMBER 2002.

**Legal Description**

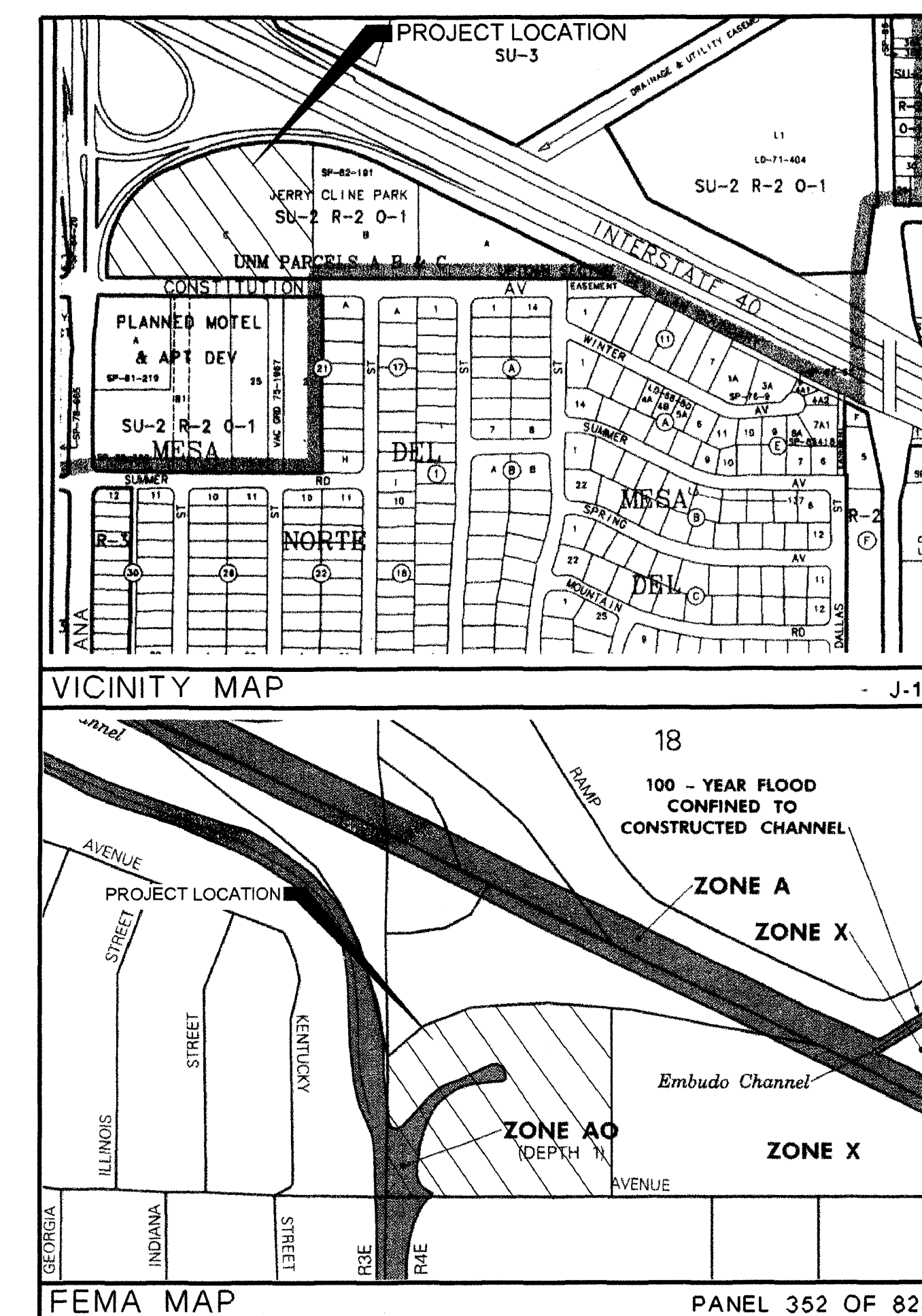
A PORTION OF U.N.M. PARCELS "A", "B" AND "C" ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**Keyed Notes**

- 1. CONTRACTOR TO FIELD VERIFY WATER LINE CONNECTION LOCATION.
- 2. CONTRACTOR TO FIELD VERIFY FINAL INVERT. ADJUSTMENTS MADE NEED TO BE MADE TO AVOID EXISTING UTILITIES.
- 3. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS.

**Legend**

---	EXISTING CONTOUR
—	PROPOSED CONTOUR
188.251	EXISTING SPOT ELEVATION
86.0	PROPOSED SPOT ELEVATION
FF : 5287.50	PROPOSED FINISH FLOOR
—	EXISTING SIDEWALK
—	PROPOSED SIDEWALK
—	EXISTING WATER LINE
—W—	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER LINE
—SAS—	PROPOSED SANITARY SEWER LINE
—	NEW CURB AND GUTTER



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 lga@lga.com

**TENNIS SERVICE CENTER @ JERRY CLINE PARK**  
 ALBUQUERQUE, NEW MEXICO

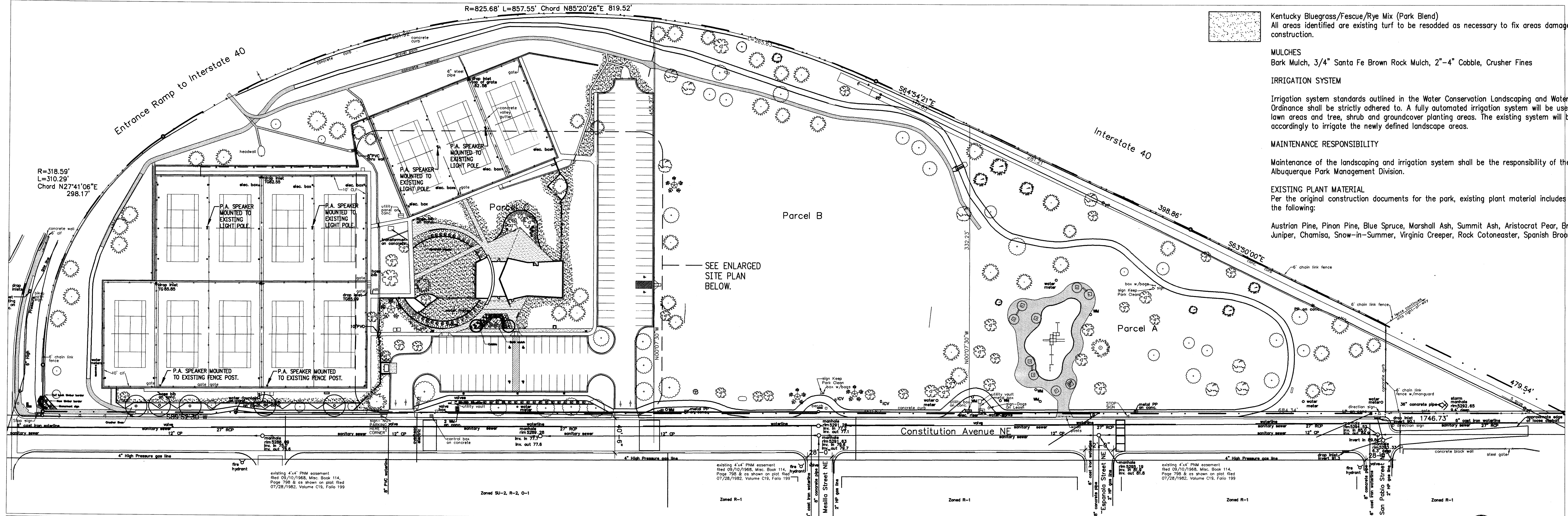
PROJECT ARCHITECT: LEE GAMELSKY, AIA  
 PROJECT #: \_\_\_\_\_ Date: 20 DECEMBER, 2002

**SITE PLAN**  
 GRADING / DRAINAGE PLAN

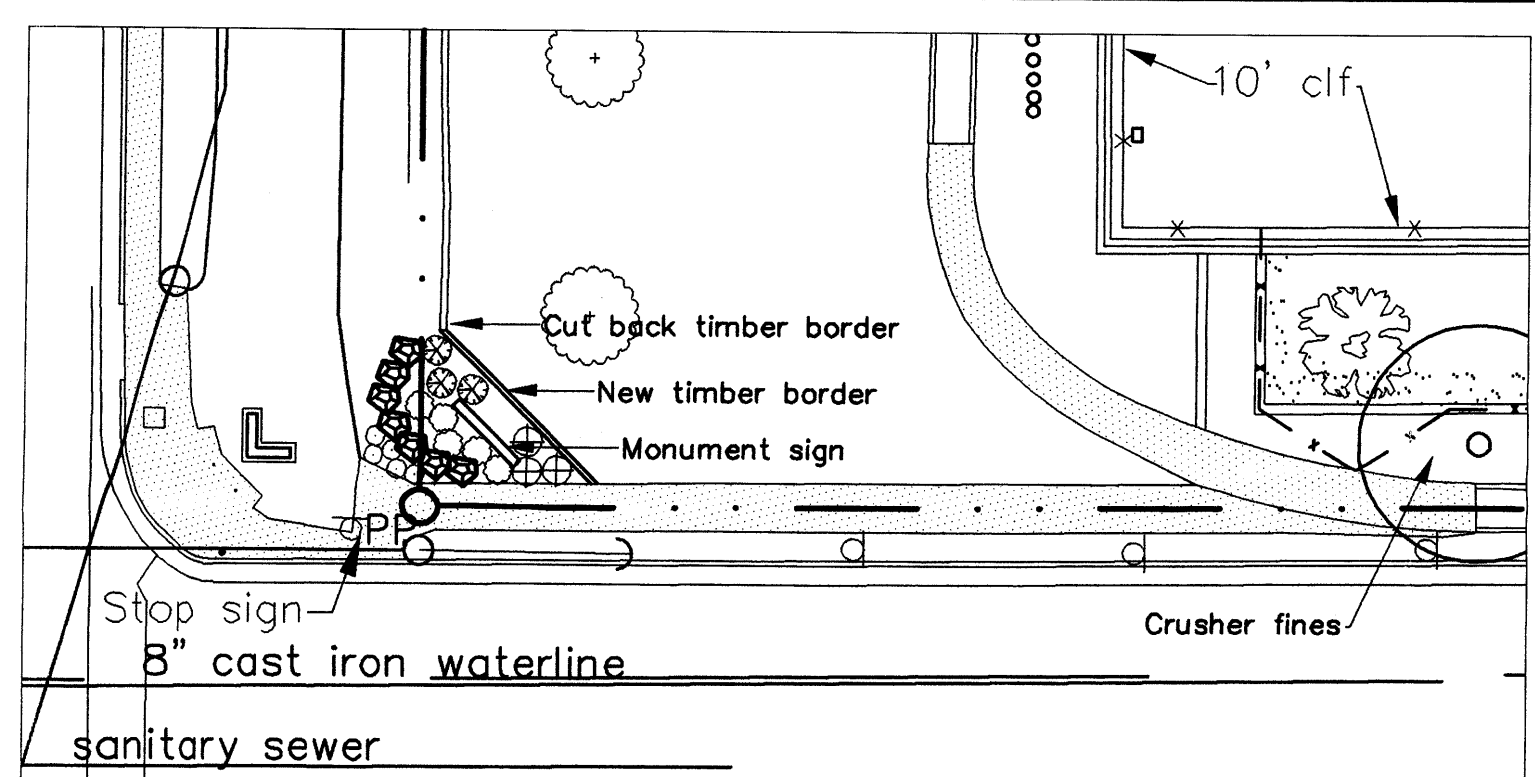
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**ABO**  
 Engineering, Inc.  
 Engineers - Planners  
 Construction Services  
 1831 Bohannan NE, Suite C  
 Albuquerque, NM 87112  
 505-255-7882 FAX 505-255-7992





OVERALL LANDSCAPE PLAN



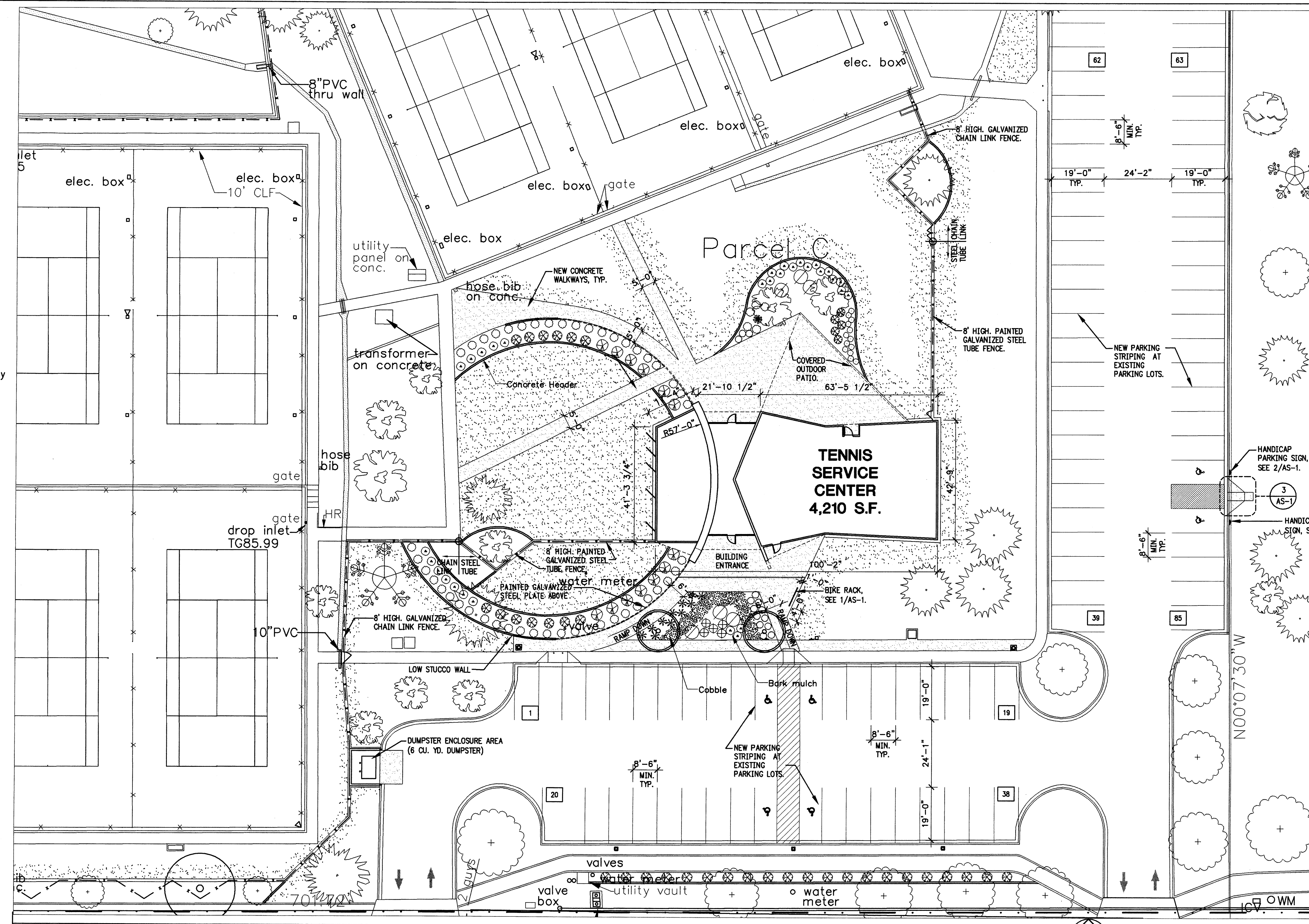
LANDSCAPE AT MONUMENT SIGN

**GENERAL**  
The design and provision of landscape features for the Jerry Cline Tennis Center will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in the design and installation.

**STREET TREE REQUIREMENTS**  
Street trees are not required as part of this project.

**PLANT LEGEND**

Symbol	Scientific Name Common Name	Size	Remarks	Water Use
⊕	Existing Trees to remain (Protect during construction)			
○	Fraxinus velutina 'Modesto Ash' Modesto Ash	2" B&B	12' ht. x 6' spr.	Medium +
○	Pyrus calleryana 'Aristocrat' Flowering Pear	2" B&B	12' ht. x 4' spr.	Medium +
○	Artemesia 'Pawis Castle' Pawis Castle Sage	1-Gal	3' o.c.	Low +
○	Ericameria laricifolia 'Aguirre' Turpentine Bush	1-Gal	2' o.c.	Low
○	Fallugia paradoxa Apache Plume	1-Gal	5' o.c.	Low
*	Nasella tenuissima Threadgrass	1-Gal	3' ht. x 2' spr.	Low +
○	Nepeta x fassenii 'Select Blue' Blue Catmint	1-Gal	3' o.c.	Low
○	Nolina texana Beargrass	1-Gal	4' ht. x 4' spr.	Low
○	Perovskia atriplicifolia Russian Sage	1-Gal	5' o.c.	Medium
○	Potentilla fruticosa Shrubby Cinquefoil-Yellow	1-Gal	3' o.c.	Low +
○	Rhapidois ind. 'Enchantment' Indian Hawthorn	5-Gal	3' o.c.	Medium
○	Salvia greggii Cherry Sage	1-Gal	3' o.c.	Medium



LANDSCAPE AT TENNIS SERVICE CENTER

**Kentucky Bluegrass/Fescue/Rye Mix (Park Blend)**  
All areas identified are existing turf to be resodded as necessary to fix areas damaged during construction.

**MULCHES**  
Bark Mulch, 3/4" Santa Fe Brown Rock Mulch, 2"-4" Cobble, Crusher Fines

**IRRIGATION SYSTEM**  
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate lawn areas and tree, shrub and groundcover planting areas. The existing system will be renovated accordingly to irrigate the newly defined landscape areas.

**MAINTENANCE RESPONSIBILITY**  
Maintenance of the landscaping and irrigation system shall be the responsibility of the City of Albuquerque Park Management Division.

**EXISTING PLANT MATERIAL**  
Per the original construction documents for the park, existing plant material includes the following:  
Austrian Pine, Pinon Pine, Blue Spruce, Marshall Ash, Summit Ash, Aristocrat Pear, Broadmoor Juniper, Chamaisa, Snow-in-Summer, Virginia Creeper, Rock Cotoneaster, Spanish Broom

**Site Data**

**LEGAL DESCRIPTION:** A PORTION OF U.N.M. PARCELS "A", "B" AND "C" WITHIN THE NW1/4 SECTION 18, T10N, R4E, N.M.P.M., ALBUQUERQUE, NEW MEXICO filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 28, 1982 in Volume C19, Folio 199.

**LOT AREA:** 532,492 S.F.

**CURRENT ZONING:** SU-3

**MAXIMUM BUILDING HEIGHT:** 35'-0"

**PROPOSED USAGE AND BUILDING AREA:**

**TENNIS SERVICE CENTER:** 4,210 S.F.

**SITE AREA:** 532,492 S.F.

**FLOOR AREA RATIO:** = BUILDING AREA = 4,210 S.F. / LOT AREA = 532,492 S.F.

**BUILDING HEIGHT:** 22'-0"

**PARKING REQUIREMENTS:** NET LEASABLE AREA = 1,757 S.F. = 9 PARKING SPACES REQUIRED

**EXISTING PARKING:** 70 SPACES

**NEW PARKING AFTER RESTRIPIING:** = 85 SPACES

**85 - 70 = 15 NEW PARKING SPACES**

**9x15 THEREFORE OK**

**HANDICAP PARKING SPACES REQUIRED:** 1

**HANDICAP PARKING SPACES PROVIDED:** 4

**NO. OF BICYCLE SPACES REQUIRED:** 1 PER 20 PARKING SPACES PROVIDED

**85 / 20 = 5 BICYCLE SPACES REQUIRED**

**NO. OF BICYCLE SPACES PROVIDED:** 1 RACK, RACK HAS 7 SPACES

**LANDSCAPE CALCULATIONS:**

**TOTAL LOT AREA:** 532,492 S.F.

**TOTAL BUILDING AREA:** 4,210 S.F.

**TOTAL NET AREA:** 528,282 S.F.

**LANDSCAPE REQUIREMENT:** 15%

**TOTAL LANDSCAPE REQUIREMENT:** 79,242 S.F.

**TOTAL LANDSCAPE PROVIDED:** 367,234 S.F.

**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
924 Park Avenue SW  
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e-mail: cp@consensusplanning.com

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**TENNIS SERVICE CENTER @ JERRY CLINE PARK**

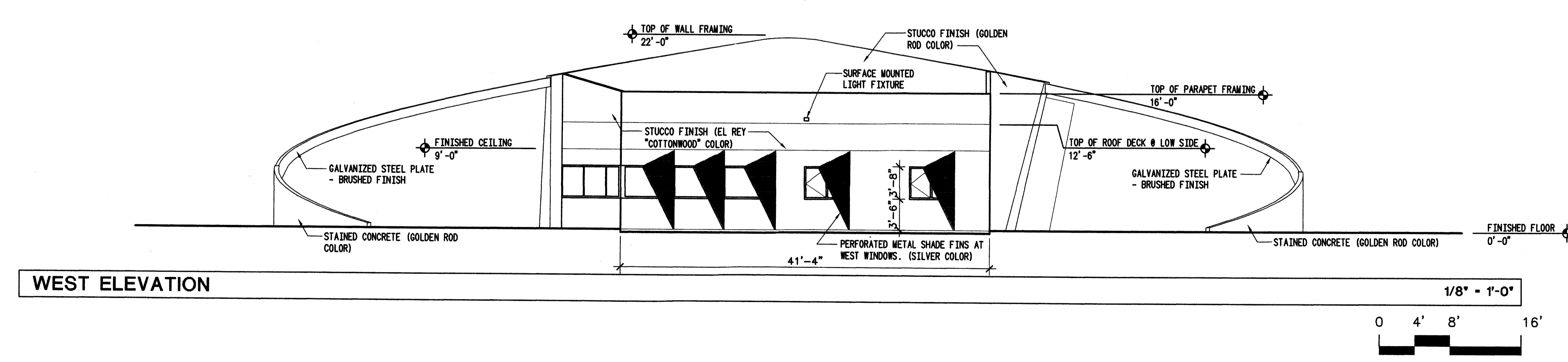
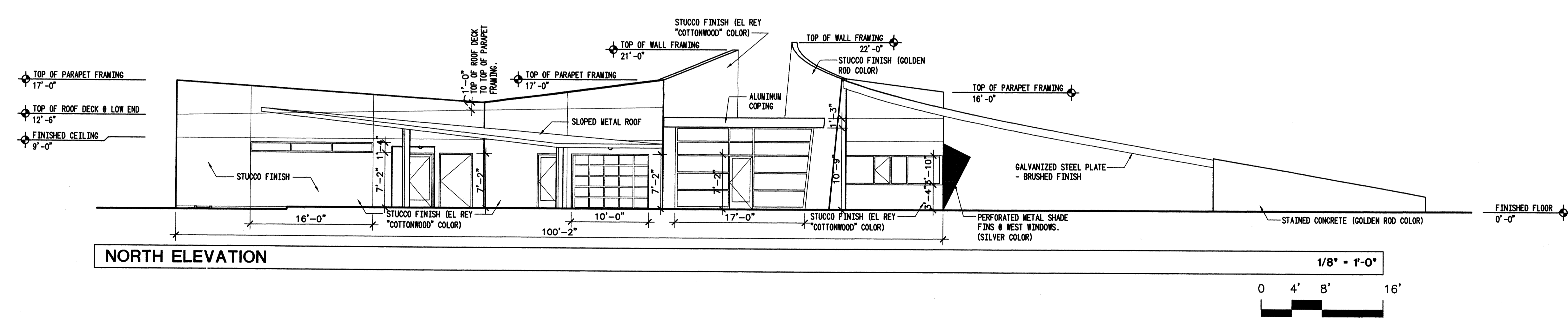
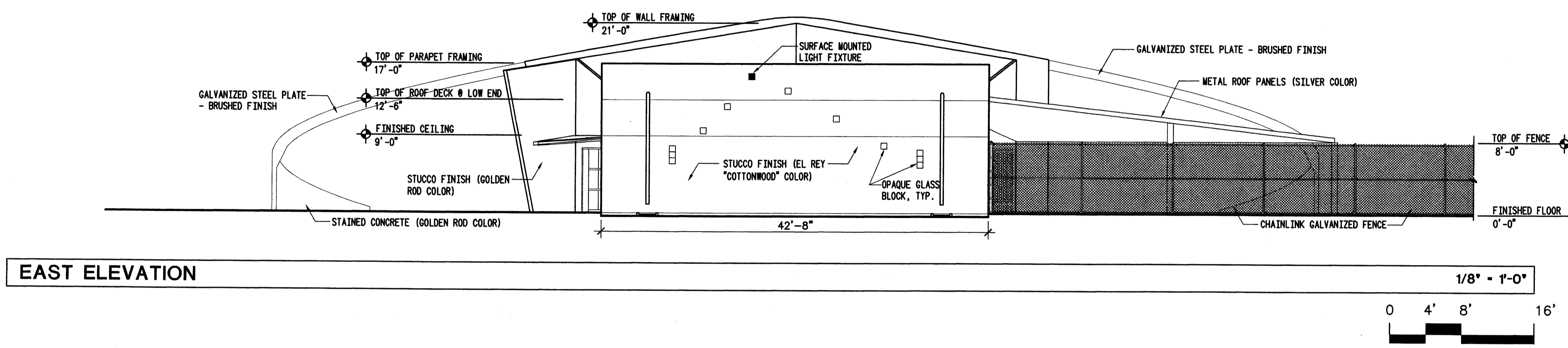
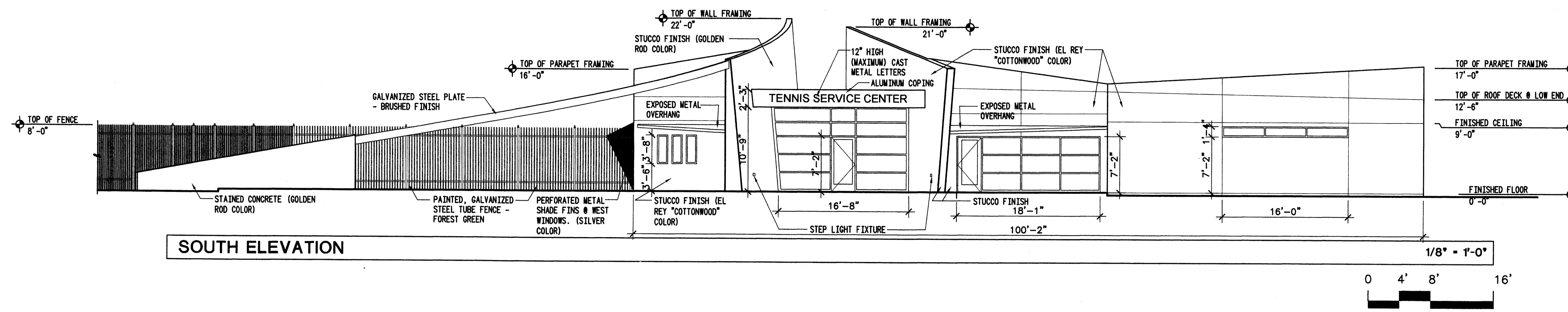
ALBUQUERQUE, NEW MEXICO

PROJECT ARCHITECT:  
**LEE GAMESKY, AIA**

Project #:  
Date: 18 MARCH, 2003

**LANDSCAPE PLAN**





LEE GAMELSKY ARCHITECTS P.C.  
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 ALBUQUERQUE, NM 87106  
 505.842.1865 FAX 505.842.1893  
 lga@lgaap.com

**TENNIS SERVICE CENTER @ JERRY CLINE PARK**

ALBUQUERQUE, NEW MEXICO  
 PROJECT ARCHITECT: LEE GAMELSKY, AIA  
 Date: 21 MARCH 2003

**EXTERIOR ELEVATIONS**