

LEGAL DESCRIPTION
 LOT 1, LADERA INDUSTRIAL CENTER

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED AND REQUIRED BY THIS SITE PLAN, AND WILL BE GRANTED ON THE REPLAT.
 - ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACTS THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 30' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 30' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 20' HIGH PURSUANT TO SECTION 14-16-3-9(D).
 - PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.
 - THE MINIMUM LANDSCAPING REQUIRED IS 15% OF THE NET LOT AREA.
 - STRUCTURE HEIGHT UP TO 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT 60° ANGLE FROM THE SAME BOUNDARIES OR CENTERLINES.
 - THERE SHALL BE A MINIMUM BUILDING FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A BUILDING SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
 - UPON APPROVAL OF THE SITE PLAN FOR SUBDIVISION BY THE EPC, A SITE PLAN FOR BUILDING PERMIT BE SUBMITTED FOR REVIEW BY THE EPC THAT INCORPORATES ARCHITECTURAL GUIDELINES, LANDSCAPE GUIDELINES, PEDESTRIAN CIRCULATION PLAN, AND SIGNAGE GUIDELINES IN COMPLIANCE WITH THE UNSER BOULEVARD DESIGN OVERLAY ZONE.
 - THE DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN FOR SUBDIVISION. THOSE IMPROVEMENTS WILL INCLUDE ANY ADDITIONAL RIGHT-OF-WAY REQUIREMENTS, PAVING, CURB AND GUTTER AND SIDEWALK THAT HAVE NOT ALREADY BEEN PROVIDED FOR.

INDEX TO DRAWINGS

- C1. SITE PLAN FOR SUBDIVISION
- C2. DESIGN GUIDELINES

PROJECT NUMBER: 1002404
APPLICATION NUMBER: 04-00672

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Will Sny</i> Traffic Engineer, Transportation Division	5-12-04 Date
<i>Cliff</i> Utilities Development Parks & Recreation Department	5-12-04 Date
<i>Bruce L. Bjork</i> City Engineer	5/12/04 Date
<i>NA</i> * Environmental Health Department (conditional)	Date
<i>Sheran Matson</i> Solid Waste Management DRB Chairperson, Planning Department	5/12/04 Date

* Environmental Health, if necessary
12/16/03

	LOT 1-A	LOT 1-B	LOT 1-C	LOT 1-D	TOTAL
TOTAL ACREAGE:	2.7128 AC.	1.9818 AC.	2.1355 AC.	5.1095 AC.	11.9400 AC.
EXISTING ZONING:	SU-1 (IP)	SU-1 (IP)	SU-1 (IP)	SU-1 (IP)	SU-1 (IP)
BUILDING SIZE:	N/A	5,656 SF	14,560 SF	90,045 SF	110,261 SF
MAX FAR:	N/A	.25	.25	.46	.21
PROPOSED USE:	OPEN SPACE	RESTAURANT	RETAIL/SERVICE	STORAGE UNITS	
TOTAL PARKING PROVIDED:	N/A	141 SPACES	102 SPACES	N/A	243 SPACES
TOTAL PARKING REQUIRED (INCLUDING EMPLOYEES):	N/A	29 SPACES	73 SPACES	N/A	102 SPACES
HC PROVIDED:	N/A	8 SPACES	4 SPACES	N/A	12 SPACES
HC REQUIRED:	N/A	8 SPACES	4 SPACES	N/A	12 SPACES
BIKE SPACES PROVIDED:	N/A	10 SPACES	5 SPACES	N/A	15 SPACES
BIKE SPACES REQUIRED:	N/A	7 SPACES	5 SPACES	N/A	12 SPACES
LANDSCAPE PROVIDED:	118,170 SF	21,715 SF	23,765 SF	32,789 SF	196,439 SF
LANDSCAPE REQUIRED:	N/A	12,100 SF	11,769 SF	19,878 SF	43,747 SF

- LEGEND**
- BOUNDARY LINE
 - EASEMENT
 - SETBACK
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB
 - PROPOSED SIDEWALK
 - EXISTING SIDEWALK
 - FUTURE SIDEWALK

ENGINEER'S SEAL

LADERA INDUSTRIAL CENTER LOT 1
SITE PLAN FOR SUBDIVISION

TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

RONALD R. DOHANNAN
 P.E. #7868

DRAWN BY
 DATE
 04/22/04

2200SPSD-4-22-04a

SHEET #
C1

JOB #
 220090

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD DIRECTION	CHORD
C1	94.24	60.00	89°59'46"	S43°13'32"E	84.85
C2	85.02	350.00	13°55'05"	N85°40'41"E	84.81
C3	222.17	350.00	36°22'08"	N60°32'05"E	218.45
C4	82.30	410.00	11°30'03"	S48°05'57"W	82.16
C5	59.97	75.00	45°48'57"	S67°42'50"W	58.39

Right turn access subject to NMDOT Approval

1002404

Business Park Design Guidelines

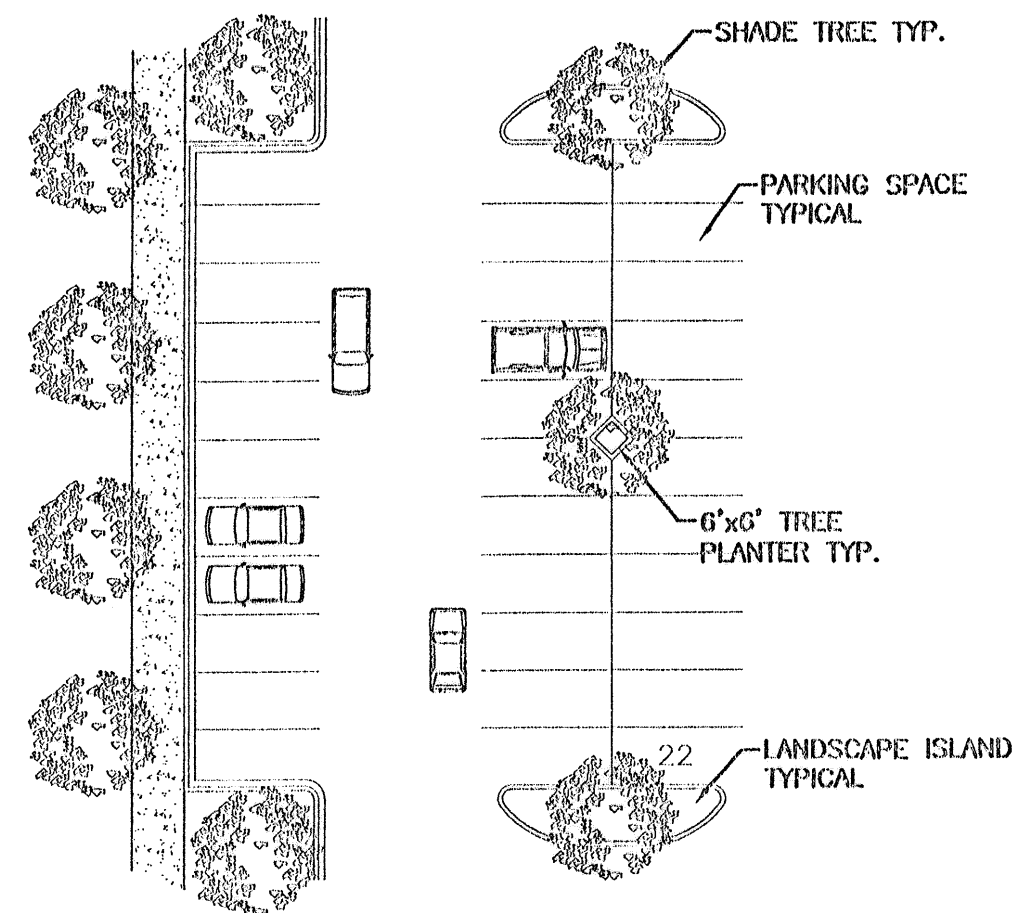
The purpose of these Design Guidelines is to provide a framework to assist developers and designers to understand the Owner's goals and objectives for high quality development. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Lot 1 Ladera Industrial Park. These standards are to be used as a supplement to the City of Albuquerque's Zoning Code and other pertinent City ordinance.

A. Landscape Concept

The development of an overall landscape concept will establish a framework that unifies the individual sites within the Lot 1 Ladera Industrial Park. To achieve a totally unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project.

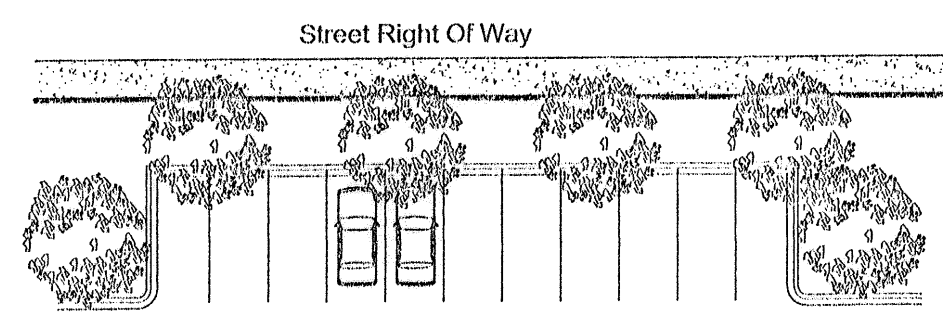
The following are minimum standards for the development of specific site landscape plans:

- > A minimum of 20 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.
- > Seventy-five percent of the required landscape area shall be covered with living vegetative materials. The area and percentage is calculated based on the mature canopy size of all plant materials.
- > A maximum of 35 percent of the provided landscape area is allowed to be covered with turf grasses. Areas of turf should be located at prominent visual points to create view corridors into specific sites.
- > All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or similar materials, which extends completely under the plant material.
- > Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.
- > One tree is required for each twenty-five linear feet of public or main access roadway. The required trees should be informally clustered with not more than a fifty-foot gap between groupings and shall have a 60/40 mix of deciduous to evergreen trees.
- > To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each twenty parking stalls with no stall being more than 100 feet from a tree.



Off-street parking areas shall have one tree for each twenty parking stalls

- > Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet.
- > A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way.



Provide a landscape strip (min. 10' strip) between the street right of way and parking areas.

- > Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper, or be 10 to 12 in height; shrubs and groundcovers shall be a one gallon container; and turf grasses shall be capable of providing complete ground coverage within one growing season after installation.
- > An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- > All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive conditions. All areas shall be maintained free of weeds through the use of chemical spray or pervious filter material.
- > Xeriscaping principles shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical.

B. Setbacks

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of Lot 1 Ladera Industrial Park.

Building Setbacks

Buildings shall be located on each site according to the following setback dimension:

- 35' from the R.O.W. line of roadway rights-of-way
- 50' from the property line of a residential
- 5' from internal lot lines

Parking Area Setbacks

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 15' from the R.O.W. line of roadway rights-of-way

C. Sidewalks / Bikeways

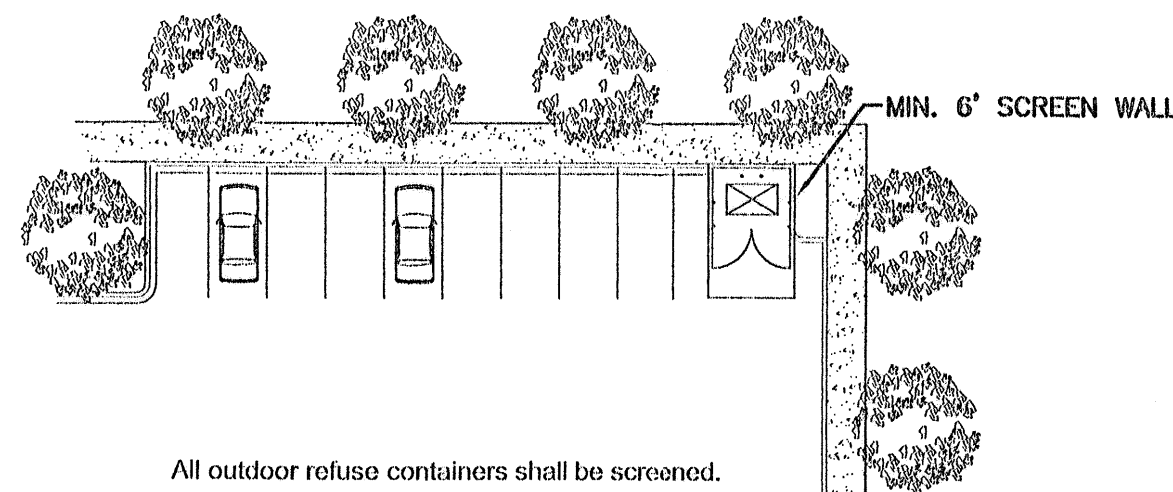
To encourage and enhance the pedestrian nature of the Lot 1 Ladera Industrial Park, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. All streets within the site are required to have sidewalks on both sides of the street. Two pedestrian connections shall be provided to physically connect the Business Park to the surrounding commercial and neighborhoods and Unser Boulevard.

D. Screening Walls and Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions shall be away from any street or pedestrian area, whenever practical. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function within the Lot 1 Ladera Industrial Park landscape.

The following are standards to ensure effective screening of negative elements:

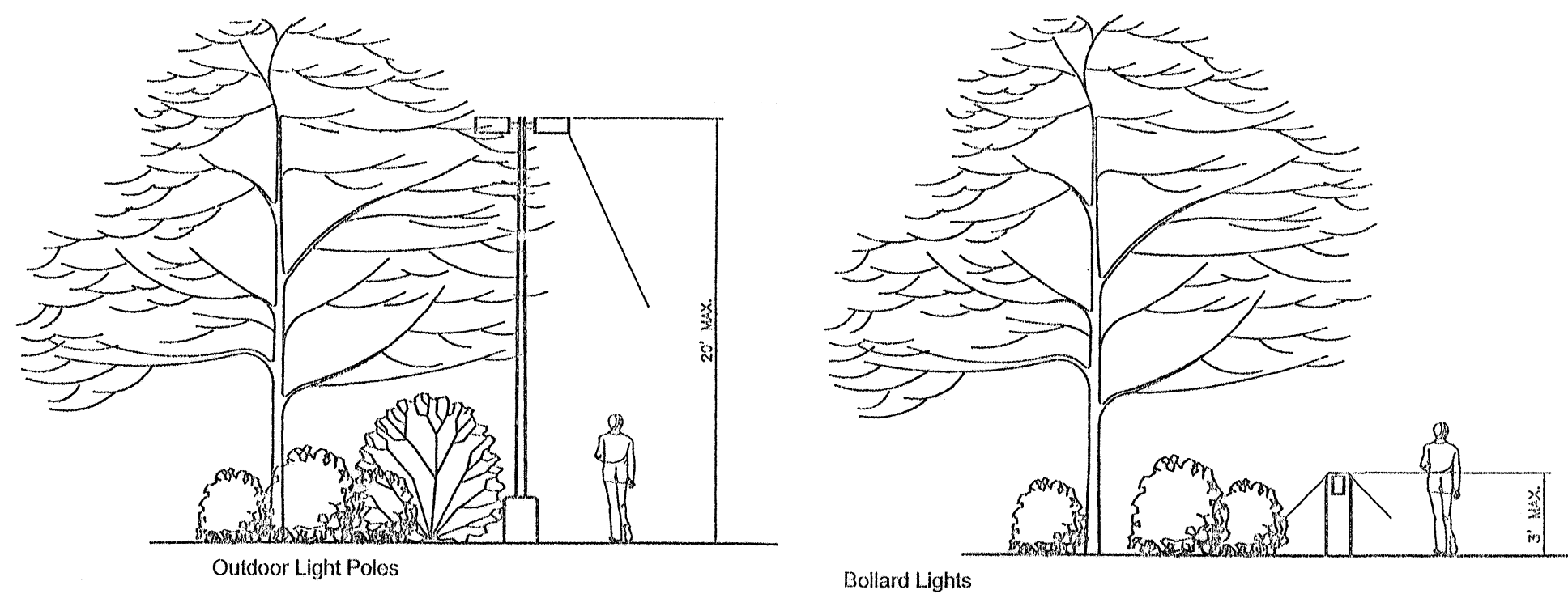
- > Employee and customer/client parking areas shall be screened from adjacent streets and properties with a combination of plant materials, walls, and earth berming. Such screening shall have a minimum height of 30 feet. Visitor parking should not be completely screened from adjacent streets. Appropriate signage and/or highlighted landscaping should be used to direct visitors.
- > Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a masonry wall of no less than 6 feet in height above adjacent grade.



- > All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure, which is large enough to contain all refuse generated between collections.
- > The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building with compatible materials and colors utilized.
- > When security fencing is required, it should be a combination of masonry pillars of short solid wall segments combined with decorative wrought iron or similar decorative fencing. The use of chainlink fencing is not permitted between the building and any street right-of-way.
- > Outdoor storage areas are permitted provided they shall be fenced and screened with vines and/or shrubs.
- > Barbed wire or concertina wire are not allowed in the Lot 1 Ladera Industrial Park.

E. Lighting Standards

In order to enhance the safety, security and visual aesthetics of the Lot 1 Ladera Industrial Park, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature, which contributes to the overall character of the development.



In addition to the guidelines listed below, all lighting shall be consistent with the provisions of the State of New Mexico's Night Sky Ordinance. The following are a few general guidelines to consider for the design of the lighting system:

- > Placement of fixtures and standards shall conform to state and local safety and illumination requirements.
- > Individual site lighting standards should blend with the architectural character of the building and other site fixtures.
- > A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.
- > A maximum height of light poles, not within 100 feet of residential zoning, shall be limited to 20 feet pursuant to Section 14-16-3-9(D).
- > Area lighting should be used to highlight public spaces and walkways. Area lighting standards may range from 10 to 15 feet in height. The use of walkway level lighting, such as bollard lights or wall pocket lights, is also encouraged to accent pedestrian zones.
- > Additional landscape lighting is encouraged to enhance certain landscape features. Such lighting should be either ground level "bullet" lights concealed by plant materials, flush mounted "can" lights with waterproof enclosure, or be mounted in trees to "moonlight" areas.
- > All light fixtures for pole and building mounted lights shall be fully shielded in order to prevent light spillage.

F. Signage Standards

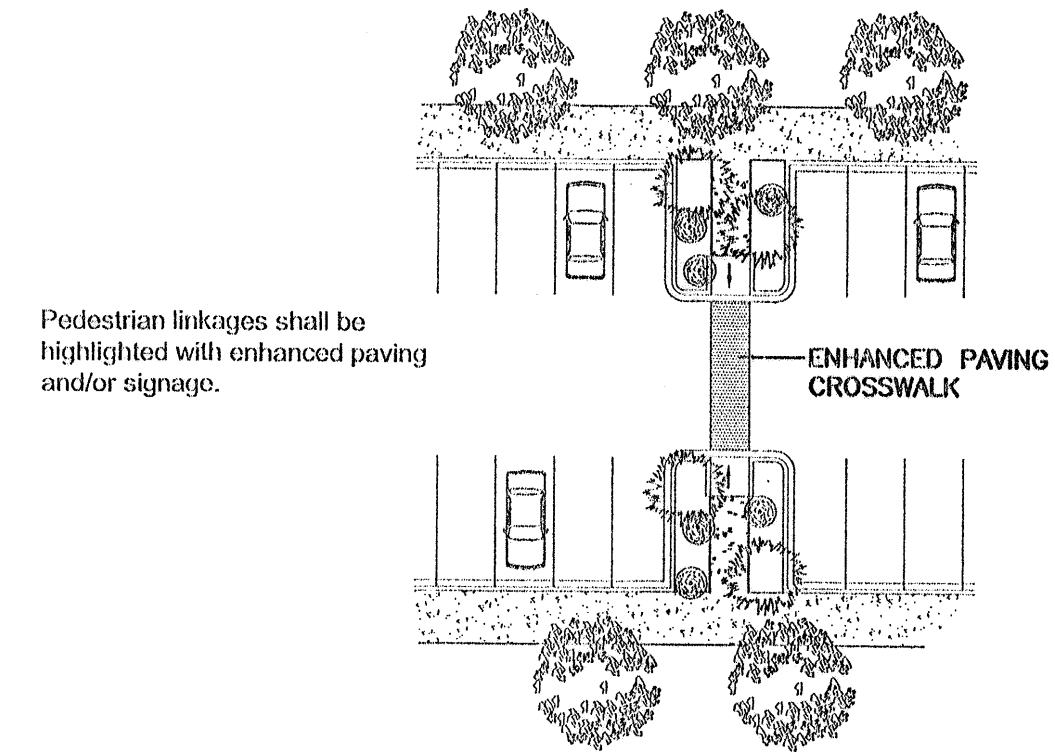
The signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within the Lot 1 Ladera Industrial Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

The following are general guidelines for signage design and placement:

- > All elements of a sign shall be maintained in a visually appealing manner.
- > Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- > No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- > All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- > No sign shall overhang into the public right-of-way or extend above the building roofline.
- > Each building site is limited to one freestanding monument-type sign of no greater than 75 square feet per face. The sign shall not be higher than 6 feet above adjacent grade.
- > Individual buildings are allowed one facade-mounted sign whose area shall not exceed 6% of the area of the facade to which it is applied.

G. Site / Architectural Objectives

The creation of an active pedestrian environment in the Lot 1 Ladera Industrial Park is dependent upon creative site and architectural design. It is the Owner's desire to have the individual sites within the Park linked together as well as the surrounding neighborhoods. Important to the formation of a pedestrian-oriented development is the relationship between the buildings and the street. Too often buildings are placed in the center of the site and surrounded by parking, with no pedestrian connection between the structure and the street.



- > Parking areas shall be designed so that pedestrians walk parallel to moving cars. Minimize the need for pedestrians to cross parking aisles and landscaped islands.
- > Pedestrian linkages shall be clearly visible and highlighted with enhanced paving and/or signage.
- > Parking areas shall be designed to include a pedestrian link to the street sidewalk network.
- > Long stretches of parking facilities adjacent to the streets shall be avoided whenever possible or screened with low walls or landscaping.
- > Structures shall be sited, keeping in mind the creation of "outdoor rooms" which may be used for pedestrian activities.
- > All pedestrian paths shall be designed to be accessible to the handicapped (See Americans with Disabilities Act criteria for barrier free design).

Architectural (Building Elevations Exclude Mini Warehouse Storage Units)

The architectural objective is to create a site that is visually integrated through the use of a few select architectural styles. The recommended styles have many similarities of scale, proportion, massing, and color. The recommended architectural styles include Spanish Colonial, Territorial, and Mission. Each style has common detailing and plan form that is related to the environmental design requirements of the region. Common elements and preferred features of these styles include: smooth textured stucco as the primary surface treatment; the use of earth tone colors, such as white, beige, tan and sand; the use of clay barrel tile on pitched roofs with flat rooflines being acceptable; and the limited use of accent colors along with tile or brick.

Additionally, all buildings shall conform to the following requirements:

- > Buildings and structures erected within the site shall comply with all applicable zoning and building code requirements as well as other local applicable codes.
- > Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Finished building materials must be applied to all exterior sides of buildings and structures. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be similar compatible design and materials.
- > Employ variety in structural forms that create visual character and interest. Avoid long, unarticulated facades. Facades should have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 2' minimum offset, fenestration, material change, etc.).
- > Entries to structures should portray a quality retail/office appearance while being architecturally tied into the overall mass and building composition.
- > Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.
- > Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.
- > The staggering of planes along an exterior wall elevation creates pockets of light and shadow, providing relief from monotonous expanses of individual facades and is encouraged.
- > Highly reflective surfaces (other than windows), exposed, untreated precision block walls, and materials with high maintenance requirements are undesirable and shall be avoided.
- > Wall materials shall be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery.
- > Berming in conjunction with landscaping can be used at the building edge to reduce structure mass and height along facades.
- > The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring.
- > All rooftop and ground mounted equipment shall be screened from the public view by materials of the same nature as the building's basic materials.

H. Utilities

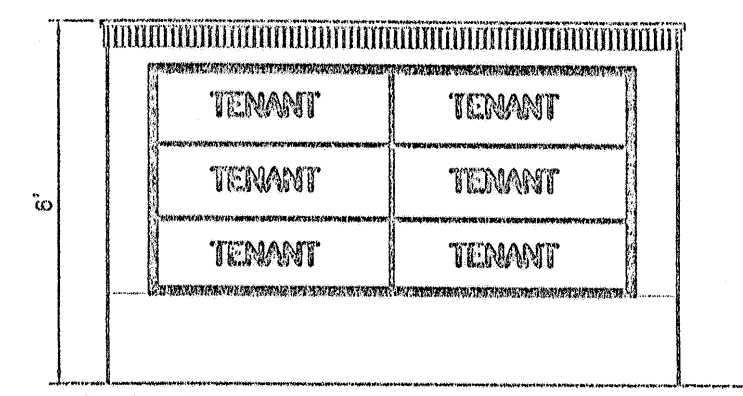
To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of the Lot 1 Ladera Industrial Park:

- > All electric distribution lines within the Park shall be placed underground.
- > When an above-ground backflow prevention device is required, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they should be appropriately screened from view by walls and/or landscaping.
- > Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

I. Patios

All patio areas on the southeast or west sides of buildings shall have 100 sf of shaded area per 10,000 sf of building area, a minimum of 150 sf of shaded area, either with trees or shade structures.

All patio areas shall have a minimum of 8 linear feet of fixed seating, six feet of seating will be new building entrance.



Each building site is limited to one freestanding monument type sign.

ENGINEER'S SEAL	LADERA INDUSTRIAL CENTER LOT 1	DRAWN BY	DY
		DATE	04/27/03
	DESIGN GUIDELINES		DESIGN GUIDELINES
		SHEET #	C2
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB #	220090