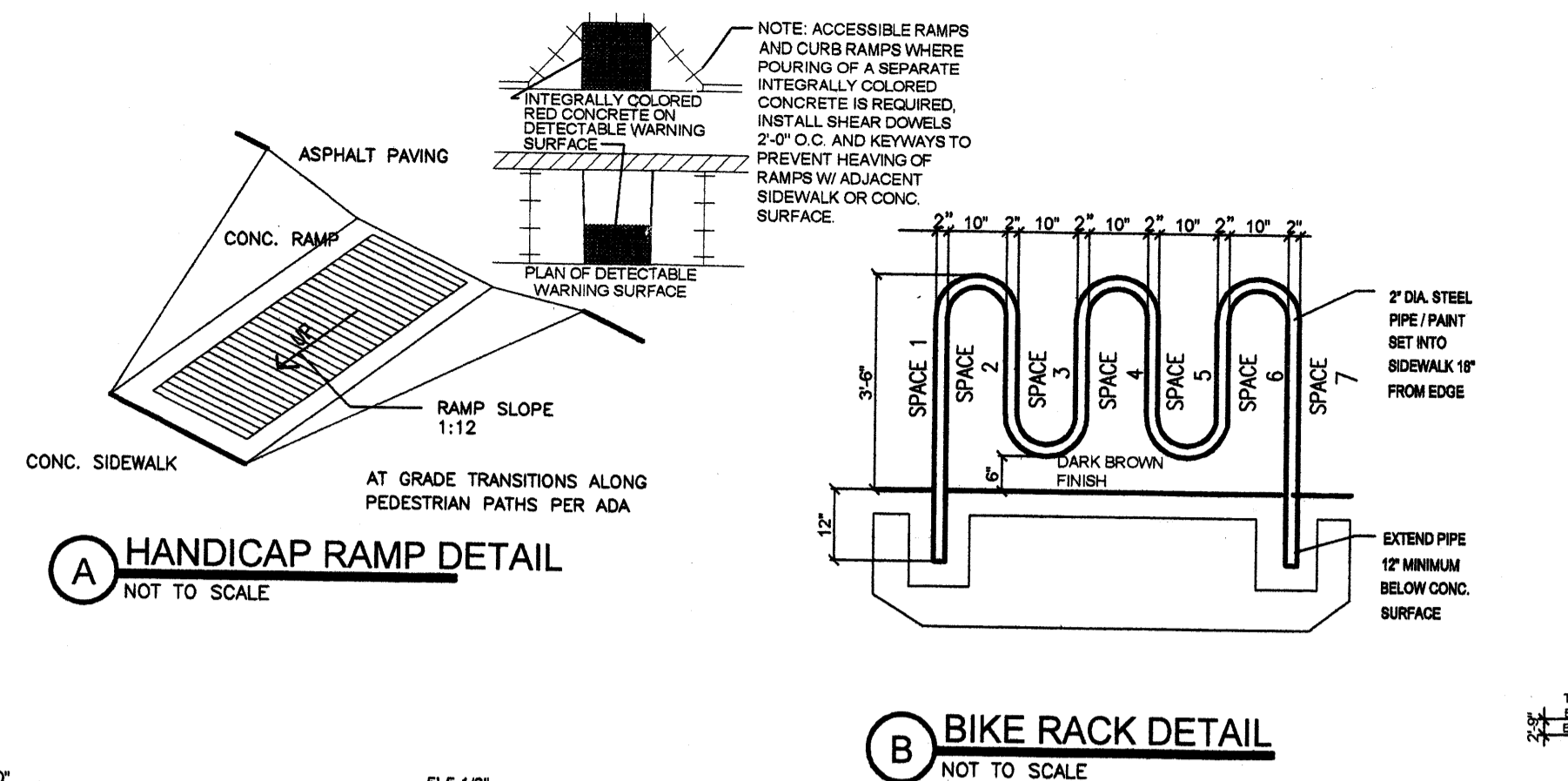
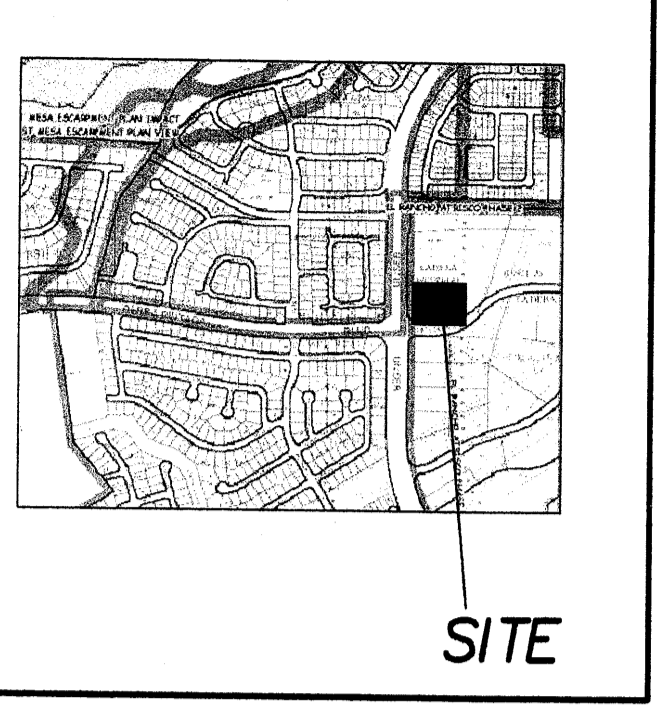


ZONE MAP H-09-Z



RADIUS INFORMATION:

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 30'-0"
- ⑨ RADIUS = 40'-0"
- ⑩ RADIUS = 50'-0"
- ⑪ RADIUS = 60'-0"
- ⑫ RADIUS = 100'-0"

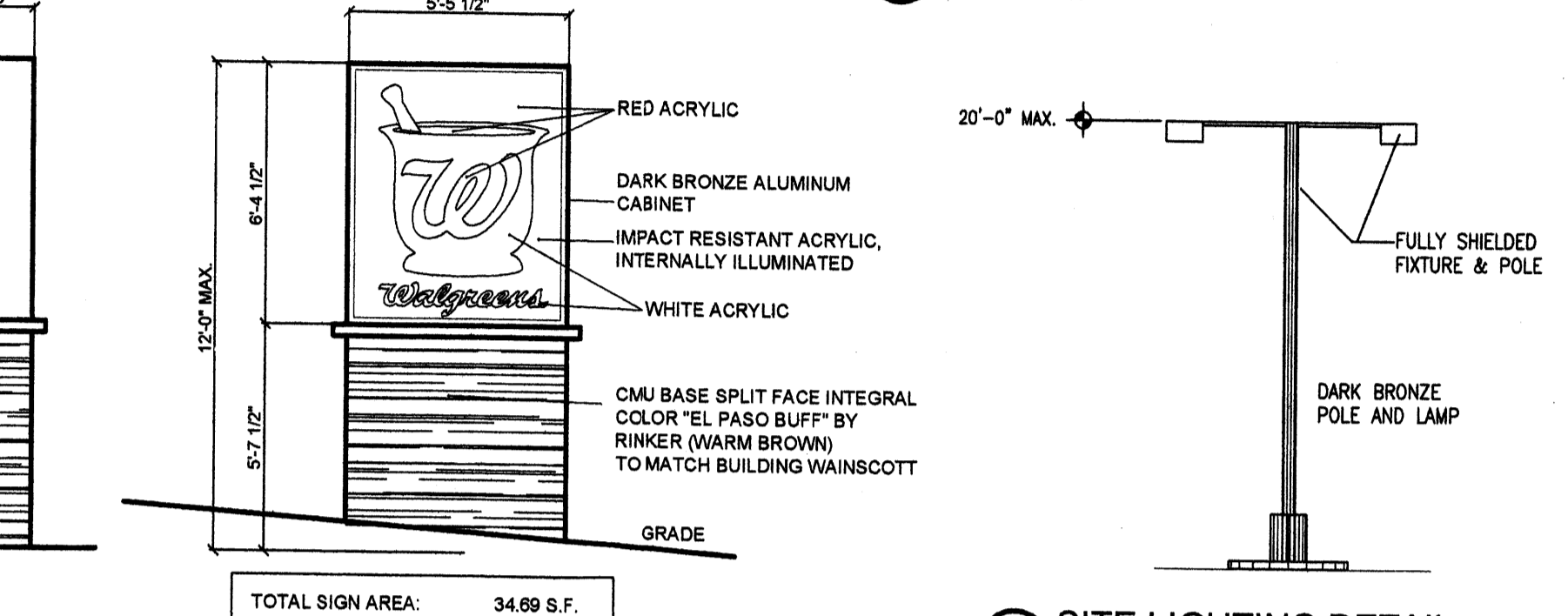
ROOFTOP MOUNTED EQUIPMENT SHALL NOT PROJECT ABOVE HEIGHT OF PARAPETS

LEGAL DESCRIPTION

LOT 1-C, LADERA INDUSTRIAL CENTER, WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALLO COUNTY, N. M.

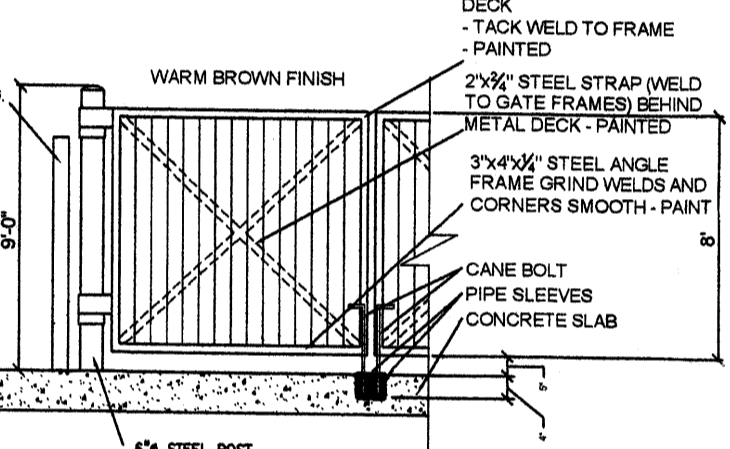
SITE DATA

ZONING: SU-1 FOR IP USES
 PROPOSED USE: PHARMACY WITH DRIVE-UP
 LOT AREA: 93,009 SF (2.1352 ACRES)
 BUILDING SIZE: 14,820 SF
 FAR: .16
 TOTAL PARKING PROVIDED: 84 SPACES (INCL. 15 COMPACT)
 TOTAL PARKING REQUIRED: 74 SPACES
 HC PROVIDED: 4 SPACES
 HC REQUIRED: 4 SPACES
 MC PROVIDED: 3 SPACES
 MC REQUIRED: 3 SPACES
 BIKE SPACE PROVIDED: 7 SPACES
 BIKE SPACE REQUIRED: 4 SPACES



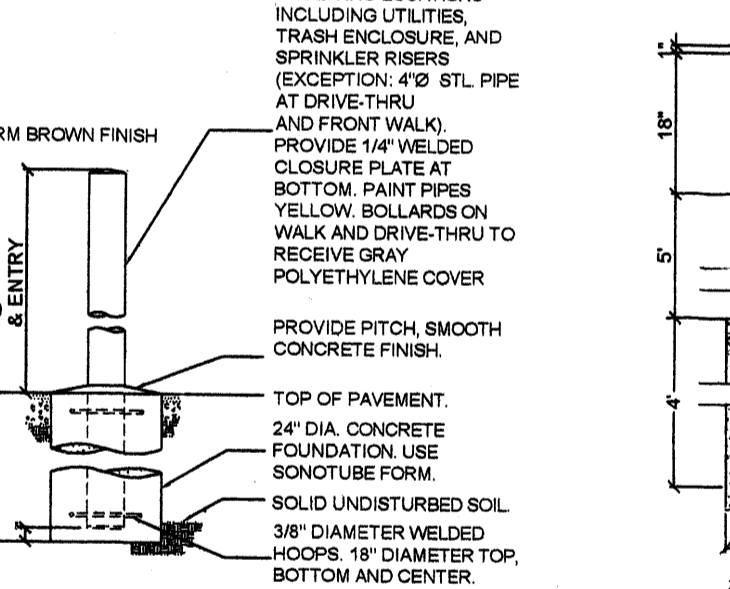
MONUMENT SIGN

NOT TO SCALE



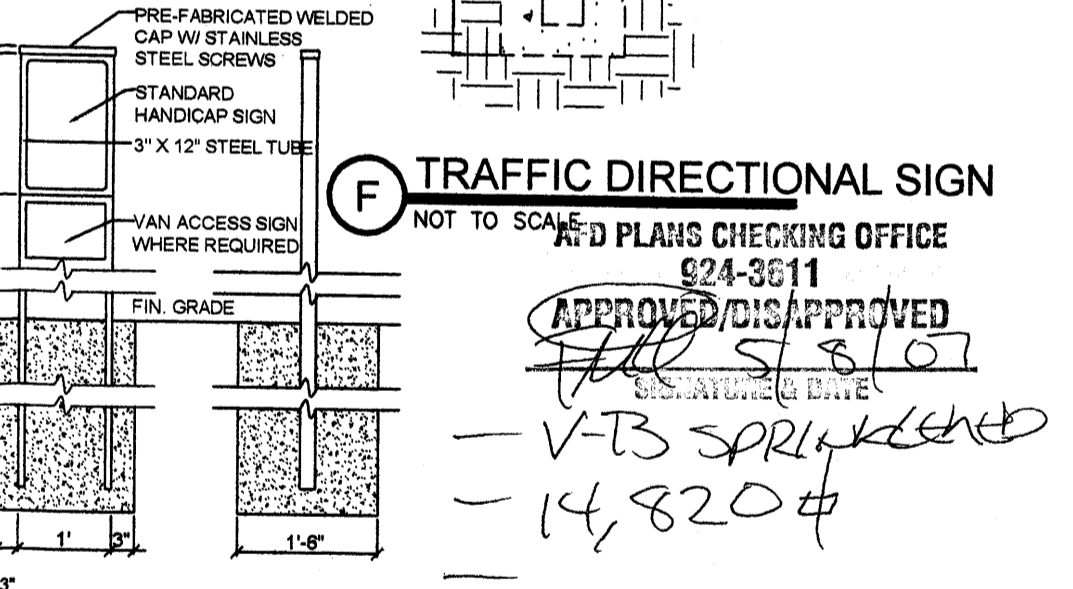
TOTE STORAGE & COMPACTOR ENCLOSURE GATE

NOT TO SCALE



TYPICAL BOLLARD

NOT TO SCALE

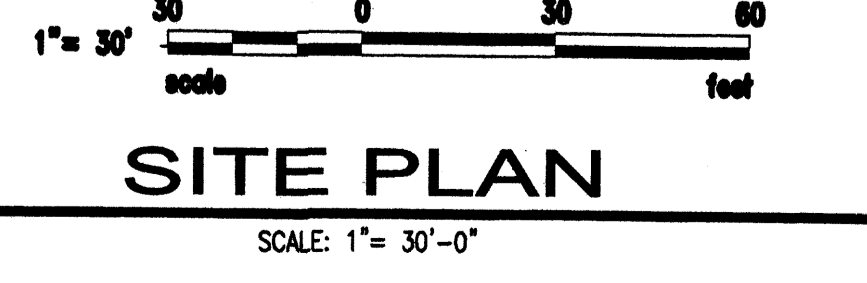


TRAFFIC DIRECTIONAL SIGN

NOT TO SCALE

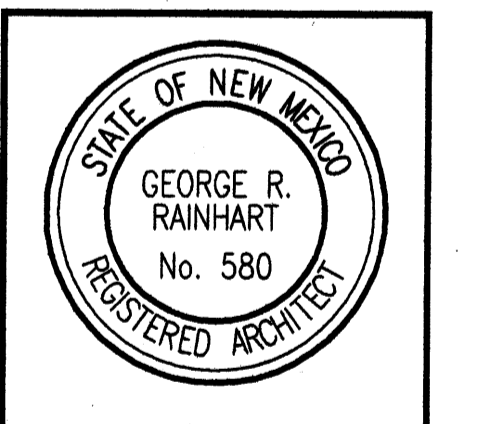
SITE PLAN KEYED NOTES:

1. COMPACTOR LOCATION - PAD AND ENCLOSURE TO CONCURRENT CITY OF ALBUQUERQUE REQUIREMENTS, SEE DTL. "E"
2. YELLOW PAINTED ARROW
3. WALGREENS MONUMENT SIGN PER DETAIL "C"
4. NEW LANDSCAPE BUFFERS/ISLANDS
5. BICYCLE RACK LOCATION - 7 BIKES, PER DETAIL "B"
6. STRIPING, YELLOW, 4" WIDE (TYPICAL)
7. HANDICAPPED SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS. SEE DETAIL "H"
8. LIMIT OF STANDARD ASPHALT PAVING FOR CAR TRAFFIC SEE GEO TECH REPORT
9. 2-LANE PHARMACY DRIVE-THRU
10. HC RAMP. INTEGRALLY COLORED RED CONCRETE W/DETECTABLE WARNING SURFACE PER DETAIL "A"
11. STRIPED HANDICAP ACCESS AISLE.
12. LIMIT OF HEAVY DUTY ASPHALT PAVING FOR TRUCK TRAFFIC SEE GEO TECH REPORT
13. YELLOW PAINTED ARROW AND 24' HIGH LETTERS.
14. "NO RIGHT TURN" SIGN, SEE DETAIL "F"
15. FLUSH CURB W/DETECTABLE WARNING SURF. AND BOLLARDS
16. TRANSFORMER LOCATION
17. "DO NOT ENTER" SIGN, SEE DETAIL "F"
18. NEW LIGHT POLE, TYP., SEE DETAIL "D"
19. MOTORCYCLE PARKING SPACE W/CITY APPROVED SIGNAGE
20. COMPACT PARKING SPACE
21. RETAINING WALL - MAX. HEIGHT 5', WARM BROWN SPLIT FACE CMU, W/OPEN STEEL TUBE RAILING (ALSO WARM BROWN) AT MIN. 3'6" ON HIGH SIDE SEE SHEET 2 "RETAINING WALL PLAN AND PROFILE" AND SECTIONS A-A AND B-B ON SHEET 1
22. INTEGRALLY COLORED SCORED CONCRETE, MEDIUM BROWN
23. 4' LONG BENCH
24. BOLLARD LIGHTS
25. NEW FIRE HYDRANT
26. EXIST. FIRE HYDRANT



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT NUMBER:	1002404
APPLICATION NUMBER:	07DRB-00535
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) on <u>MARCH 13, 2007</u> and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:	
Is an Infrastructure List required? () YES (X) NO	
Is there a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
SITE DEVELOPMENT PLAN	
Traffic Engineer, Transportation Division	6-28-07 Date
Utilities Development	5/16/07 Date
Parks and Recreation Department	5/16/07 Date
City Engineer, Engineering Division / AMAFCA	5/16/07 Date
Environmental Health Department *(conditional)	Date
Waste Management	5-23-07 Date
DRB Chairperson, Planning Department	6-29-07 Date
* Environmental Health, if necessary	

PROJECT TITLE	Ladera Industrial Center LOT 1C
PROJECT MANAGER	Unser & Vista Oriente, Albuquerque, NM
PROJECT MANAGER	Jon Stern
JOB NO.	
DRAWN BY:	
SHEET TITLE	SITE PLAN FOR BLDG. PERMIT
DATE:	1.25.07
SCALE:	AS.1
1"=30'	

7072001

PROJECT TYPE	
DRAWINGS/SPECIFICATIONS BY:	
<input type="checkbox"/> WALGREENS' CONSULTANT	
<input type="checkbox"/> LANDLORD'S CONSULTANT	
ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE BY:	
<input type="checkbox"/> WALGREENS' CONTRACTOR	
<input type="checkbox"/> LANDLORD'S CONTRACTOR	(TURNKEY CONSTRUCTION)
STORE	BUILDING
NEW	<input type="checkbox"/> NEW
REMODELING.....	<input type="checkbox"/> EXISTING.....
RELOCATION.....	<input type="checkbox"/> NEW SHELL ONLY ..
OTHERS.....	

PROJECT INFORMATION

8			
7			
6			
5			
4			
3	5-4-07	cj	site plan added meandering sw
2	4-19-07	rmm	REV SITE PLAN & EPC COMMENTS
1	1-30-07	CJ	REV SITE/RET. WALL/LIGHT POLES
NO.	DATE	BY	DESCRIPTION
REVISIONS			
CERTIFICATION AND SEAL			

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

PROJECT NAME
WALGREENS STORE
(NEC) UNSER & 98TH STREET
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877
www.gra-arch.com

DRAWING TITLE		
WALGREENS LANDSCAPE PLAN		
DATE	STORE NO.	DRAWING NO.
10.13.06	09715	L1.0
DRAWN BY:	SCALE:	RELEASED TO CONSTRUCTION BY:
RMM	1"=30'	
REVIEWED BY:	OF	DWGS.

PLANT LEGEND

- ASH (H) OR HONEY LOCUST (M) 6
Fraxinus pennsylvanica
Gleditsia triacanthos
v. 'Shade master' or 'Sunburst'
2" Cal.
- CHINESE PISTACHE (M) 33
Pistachia chinensis
2" Cal.
- PINION PINE (L) 6
Pinus edulis
6' tall and 2" Cal.
- CURLLEAF MTN MAHOGANY (L+) 16
Cercocarpus ledifolius
5 Gal. 36sf
- APACHE PLUME (L) 18
Fallugia paradoxa
5 Gal. 25sf
- UPRIGHT ROSEMARY (M) 65
Rosmarinus officinalis
5 Gal. 36sf
- RED YUCCA (L) 24
Hesperaloe parviflora
5 Gal. 46sf
- REGAL MIST (M) 26
Muhlenbergia capillaris
5 Gal. 46sf
- POTENTILLA (M) 44
Potentilla fruticosa
1 Gal. 46sf
- HONEYSUCKLE (M) 53
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- CHAMISA (L) 11
Chrysothamnus nauseosus
1 Gal. 25sf
- THREADGRASS (M) 18
Stipa tenuissima
1 Gal. 46sf
- GREYLEAF COTONEASTER (M) 22
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 2 plants
- 3/4" GRAY GRAVEL WITH FILTER FABRIC

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Crushed Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Unser Blvd.
Required # 10 @25' o.c. Provided # 13

Name of Street: Vista Oriente
Required # 11 @25' o.c. Provided # 11

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

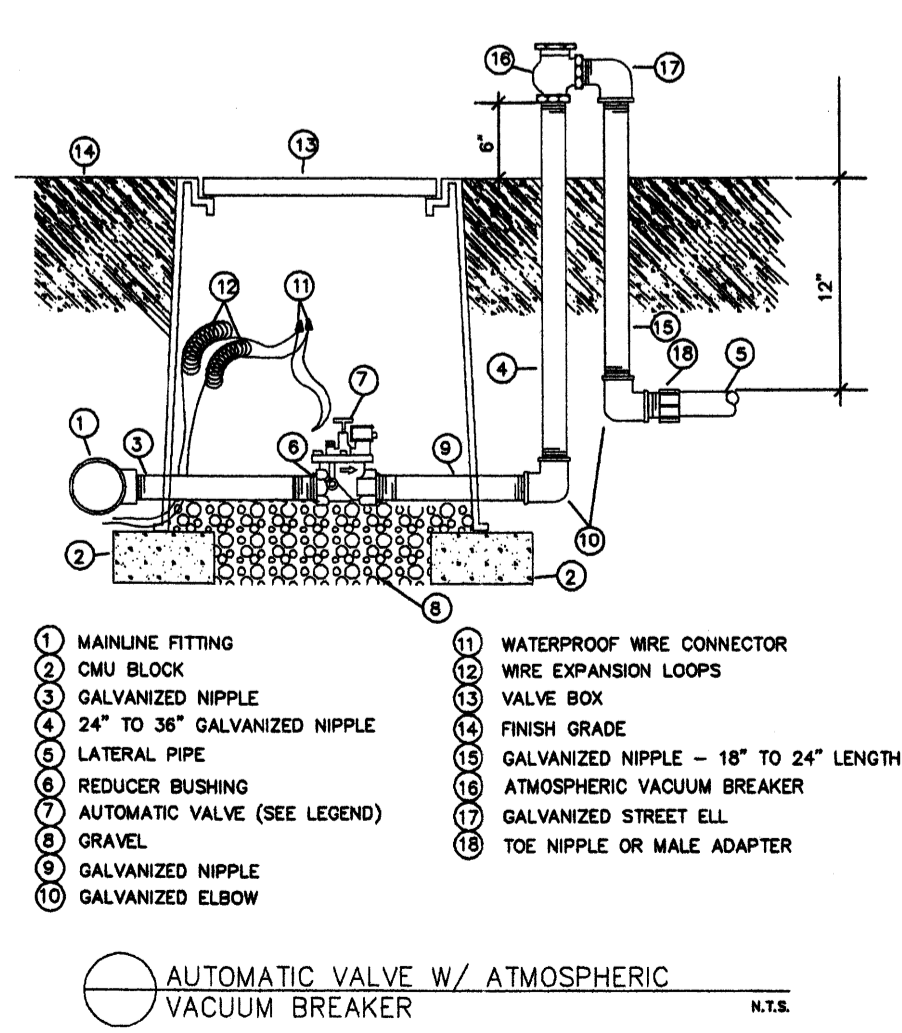
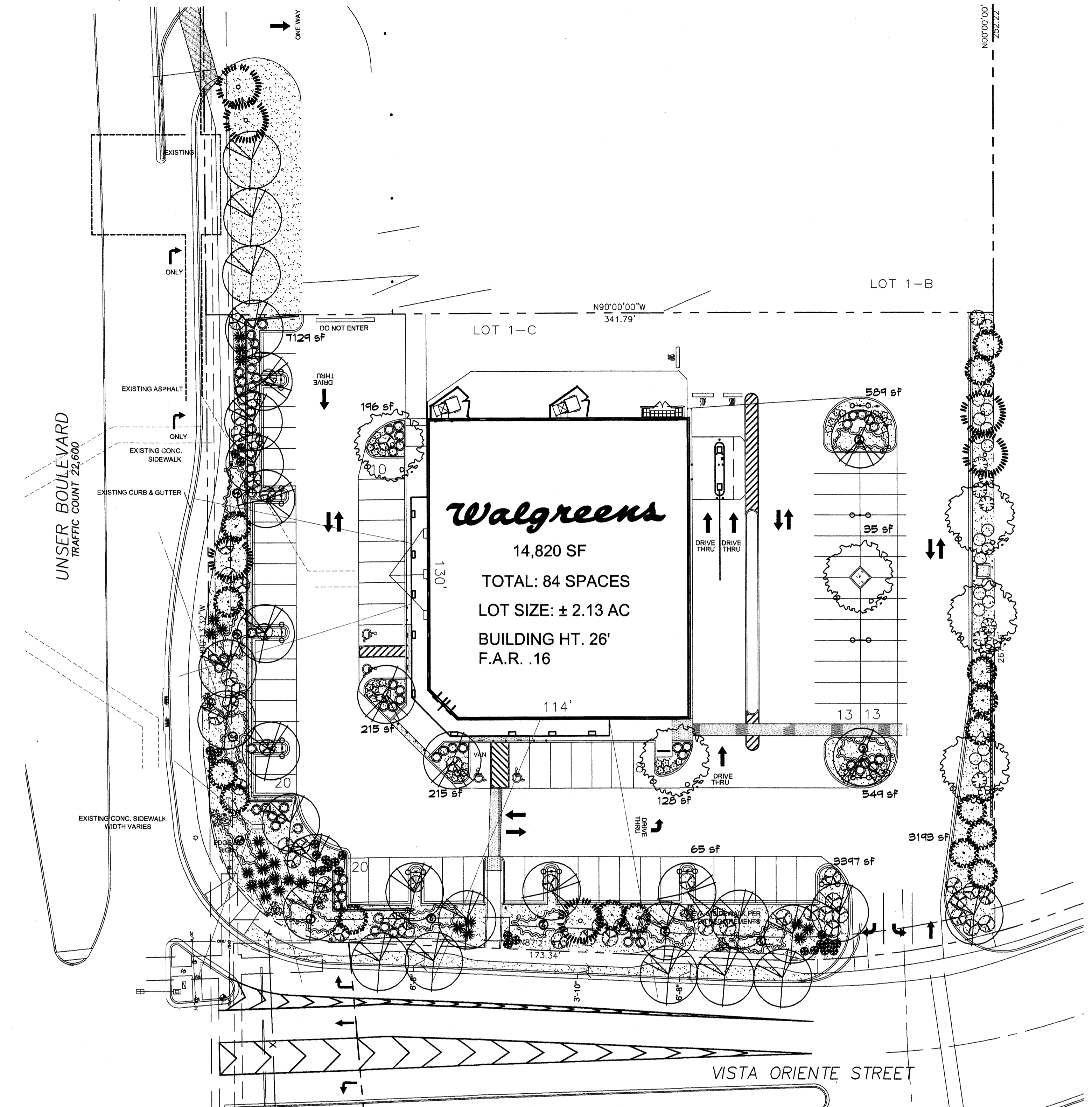
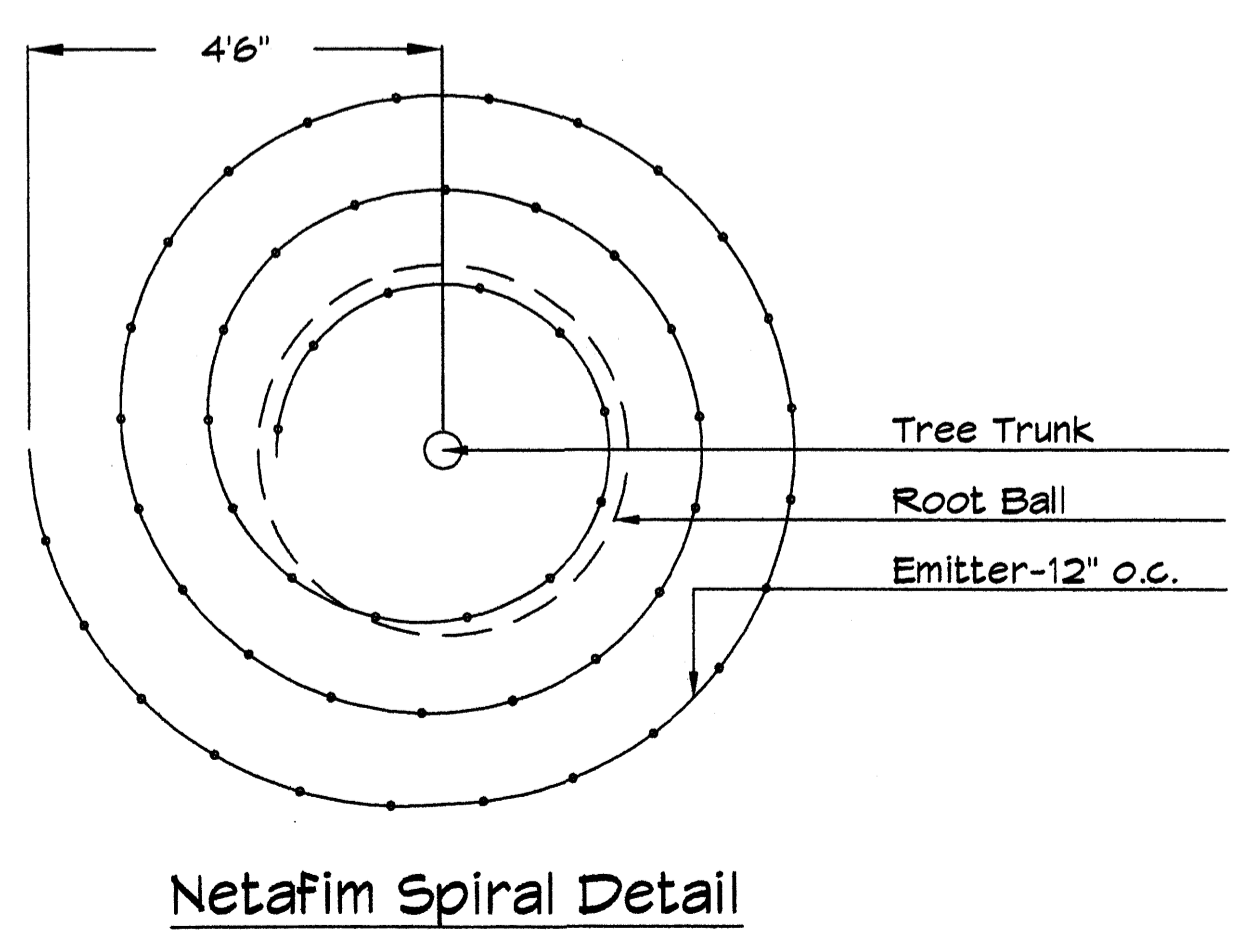
1 Shade tree per 10 spaces
Required # 9 Provided # 10

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	92990	square feet
TOTAL BUILDINGS AREA	14820	square feet
NET LOT AREA	78170	square feet
TOTAL OFFSITE AREA	4462	square feet
LANDSCAPE REQUIREMENT	20%	
TOTAL LANDSCAPE REQUIREMENT	15634	square feet

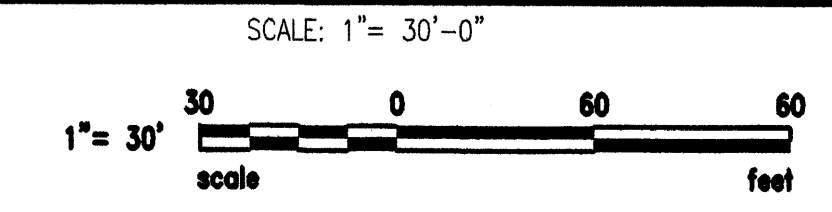
TOTAL BED PROVIDED	15711	square feet
GROUND COVER REQ.	75%	
TOTAL GROUND COVER REQUIREMENT	11783	square feet
TOTAL GROUND COVER PROVIDED	13472(85%)	square feet

TOTAL LANDSCAPE PROVIDED 15711 (20%) square feet



- 1 MAINLINE FITTING
- 2 CMU BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16 GALVANIZED VACUUM BREAKER
- 17 ATMOSPHERIC STREET ELL
- 18 GALVANIZED STREET ELL
- 19 TOE NIPPLE OR MALE ADAPTER

LANDSCAPE PLAN



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@thehilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE		BUILDING	
NEW	<input type="checkbox"/>	NEW	<input type="checkbox"/>
REMODELING...	<input type="checkbox"/>	EXISTING.....	<input type="checkbox"/>
RELOCATION.....	<input type="checkbox"/>	NEW SHELL ONLY ..	<input type="checkbox"/>
OTHERS.....	<input type="checkbox"/>		

PROJECT INFORMATION

NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6				
5				
4				
3				
2	4-19-07	RMM	LANDSCAPE REVISION	
1	1-30-07	CJ	LANDSCAPE REVISION	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

PROJECT NAME
WALGREENS STORE
(NEC) UNSER & 98TH STREET
ALBUQUERQUE, NEW MEXICO

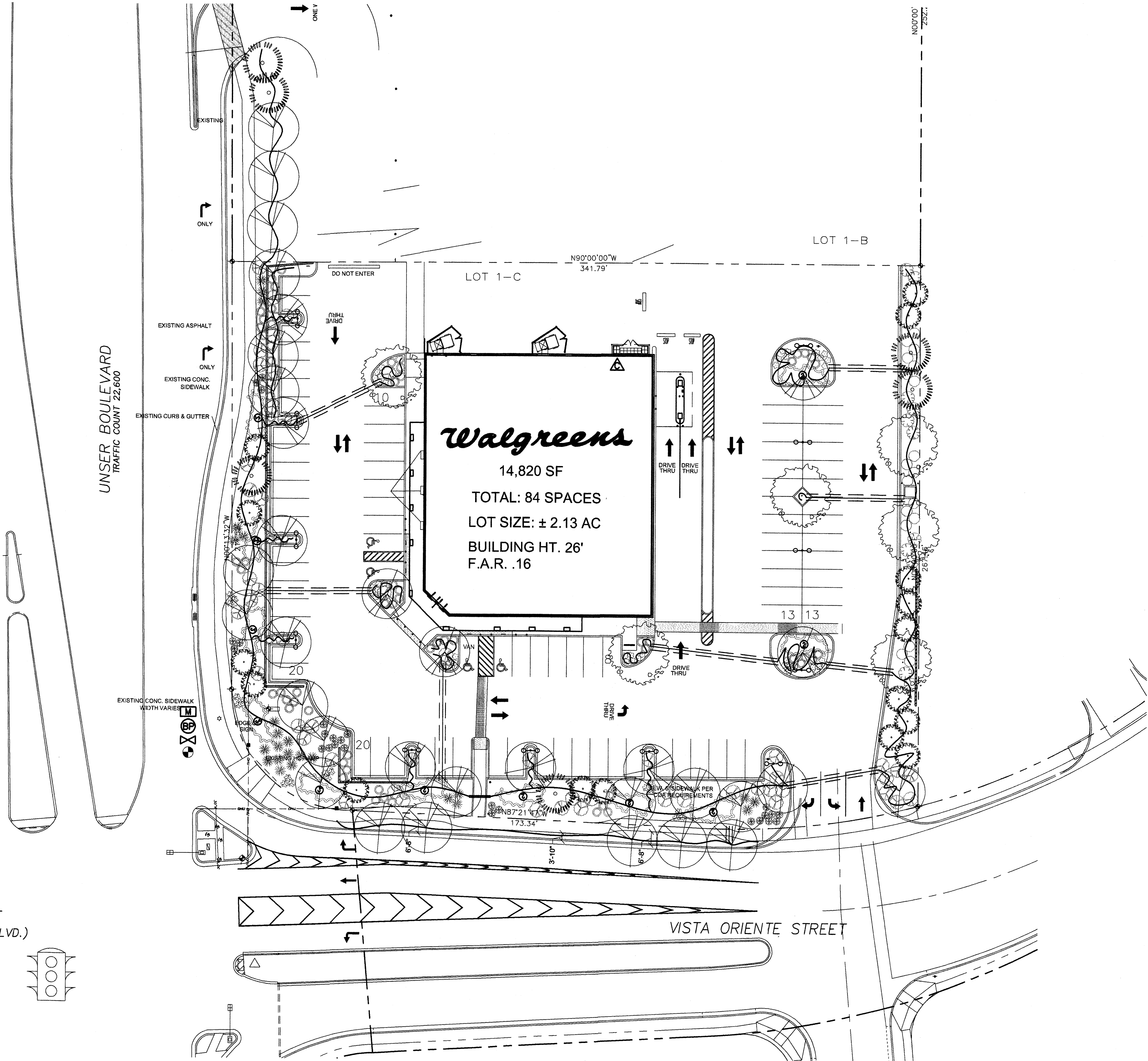
GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877
www.gra-arch.com

DRAWING TITLE
WALGREENS IRRIGATION PLAN

DATE	10.13.06	STORE NO.	09715	DRAWING NO.	
DRAWN BY:	RMM	SCALE:	1"=30'	11.0	OF DWGS.
REVIEWED BY:		RELEASED TO CONSTRUCTION:			

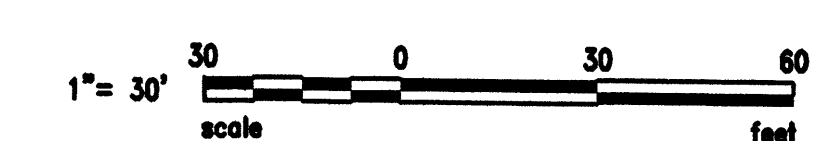
IRRIGATION LEGEND

- BACKFLOW PREVENTOR, LOCATION TBD
- CONTROLLER
- WATER METER, LOCATION UNKNOWN
- MASTER VALVE, LOCATION TBD
- PGA VALVE, LOCATION TBD IN FIELD
- LATERAL, SIZE PER PLAN (UNSIZED PIPE TO BE 3/4")
- DRIP LINE, SIZE PER PLAN (UNSIZED DRIP LINE TO BE 1/2")
- SLEEVE, 2X PIPE TO BE SLEEVED.



IRRIGATION PLAN

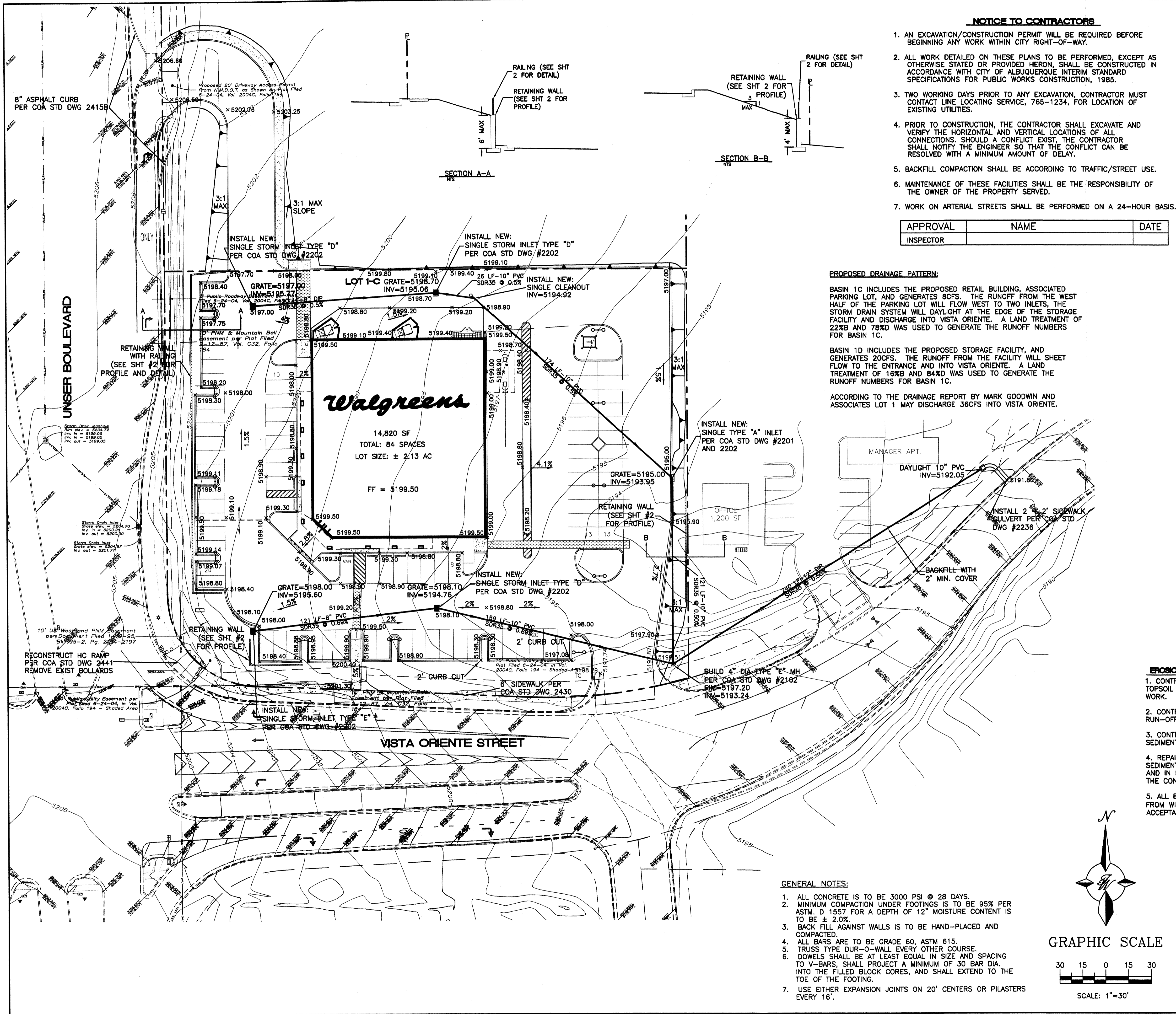
SCALE: 1" = 30'-0"



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

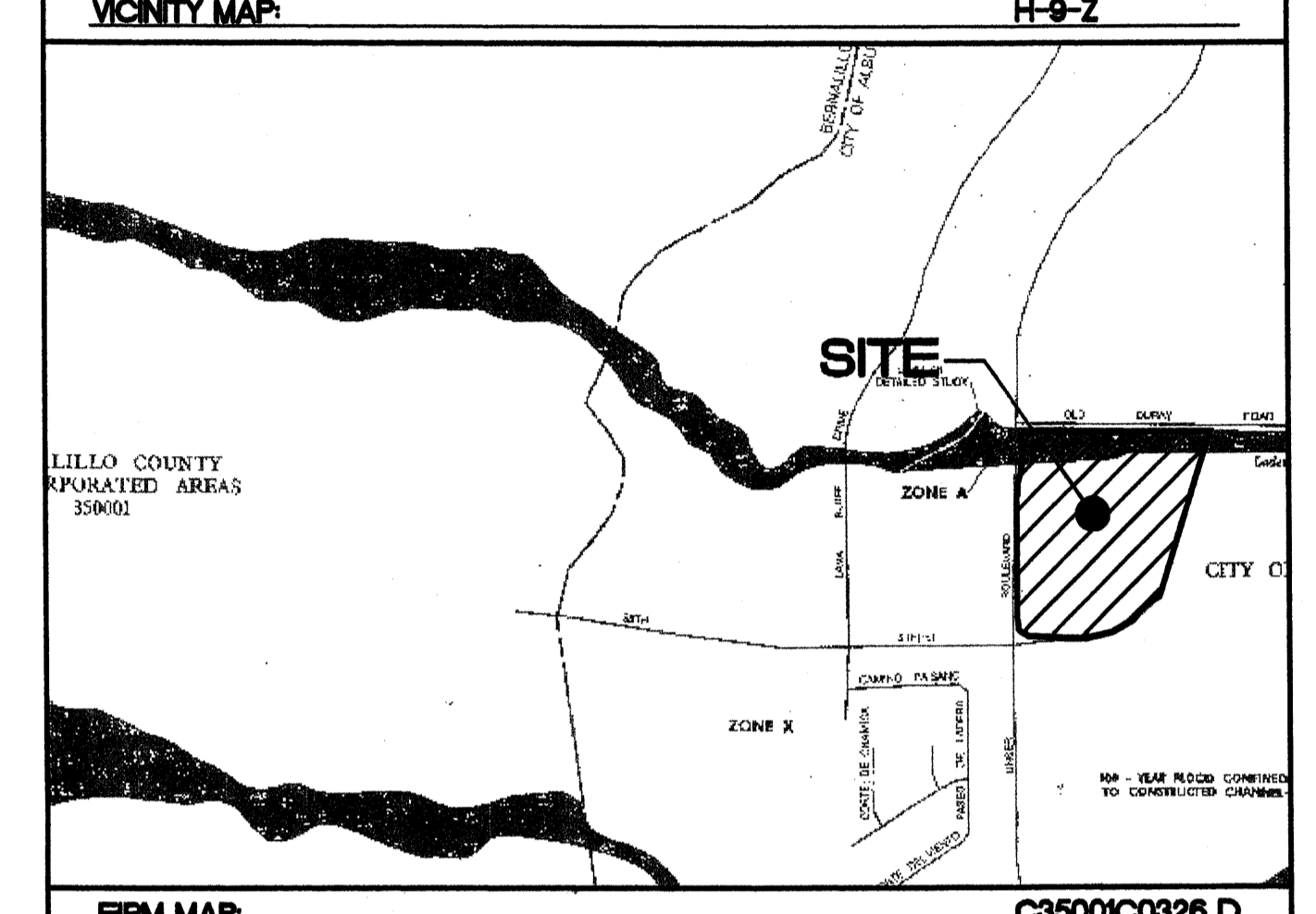
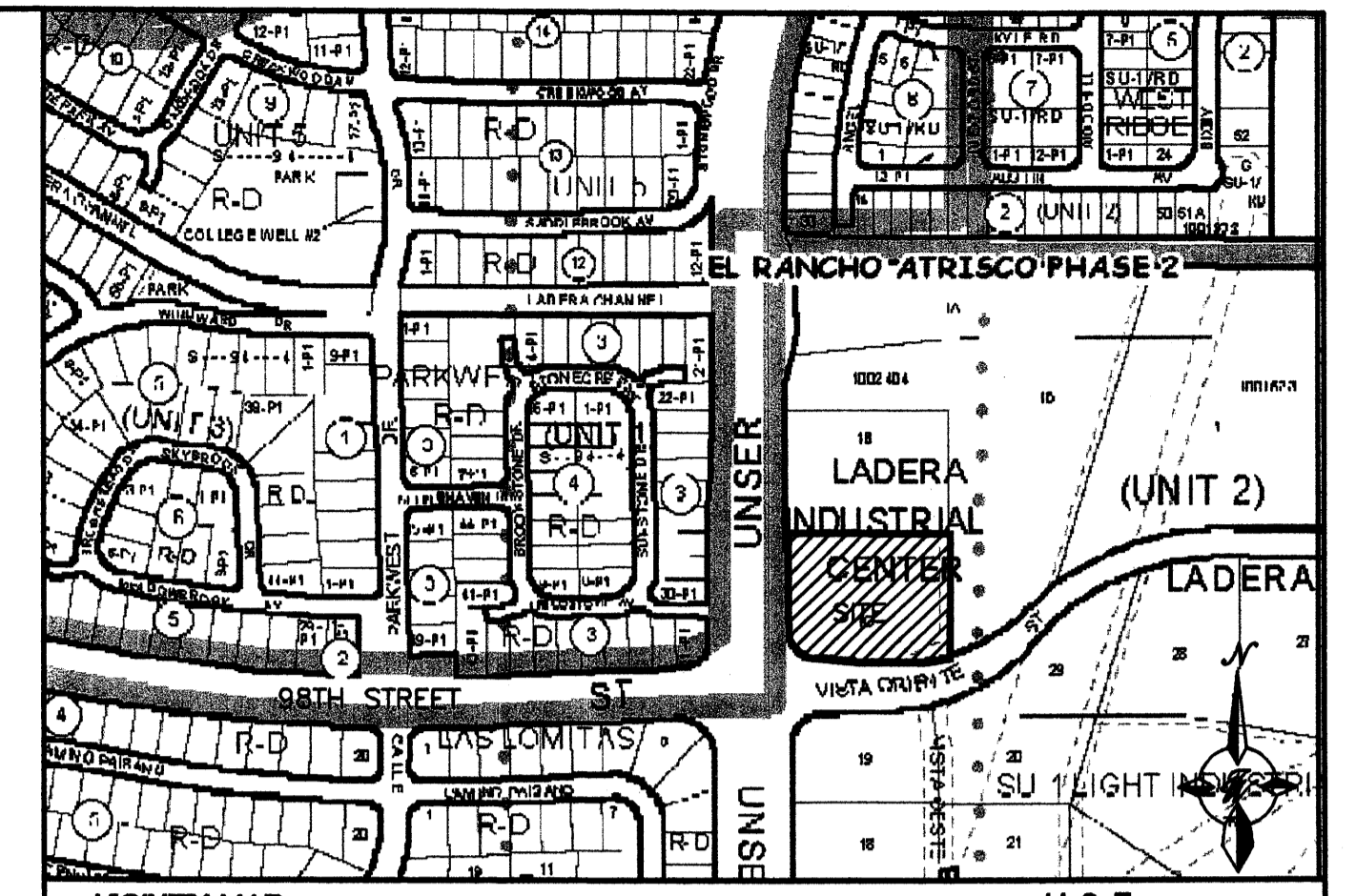
APPROVAL	NAME	DATE
INSPECTOR		

PROPOSED DRAINAGE PATTERN:

BASIN 1C INCLUDES THE PROPOSED RETAIL BUILDING, ASSOCIATED PARKING LOT, AND GENERATES 86CFS. THE RUNOFF FROM THE WEST HALF OF THE PARKING LOT WILL FLOW WEST TO TWO INLETS. THE STORM DRAIN SYSTEM WILL DAYLIGHT AT THE EDGE OF THE STORAGE FACILITY AND DISCHARGE INTO VISTA ORIENTE. A LAND TREATMENT OF 22%B AND 78%D WAS USED TO GENERATE THE RUNOFF NUMBERS FOR BASIN 1C.

BASIN 1D INCLUDES THE PROPOSED STORAGE FACILITY, AND GENERATES 20CFS. THE RUNOFF FROM THE FACILITY WILL SHEET FLOW TO THE ENTRANCE AND INTO VISTA ORIENTE. A LAND TREATMENT OF 16%B AND 84%D WAS USED TO GENERATE THE RUNOFF NUMBERS FOR BASIN 1C.

ACCORDING TO THE DRAINAGE REPORT BY MARK GOODWIN AND ASSOCIATES LOT 1 MAY DISCHARGE 36CFS INTO VISTA ORIENTE.



LEGEND

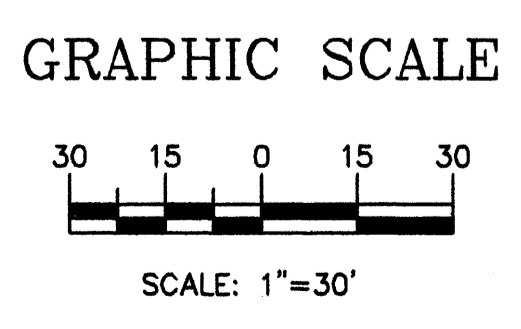
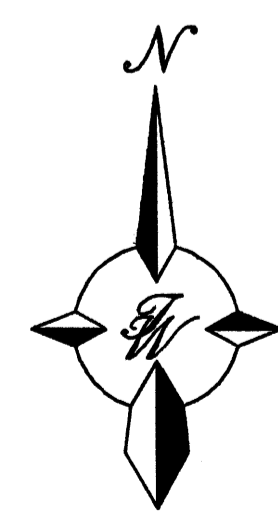
- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED CROSSWALK
- 5011 EXISTING CONTOUR
- 5010 EXISTING INDEX CONTOUR
- x 5048.25 EXISTING SPOT ELEVATION
- x 5048.25 PROPOSED SPOT ELEVATION
- FLOW ARROW
- PROPOSED STORM SEWER LINE

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

GENERAL NOTES:

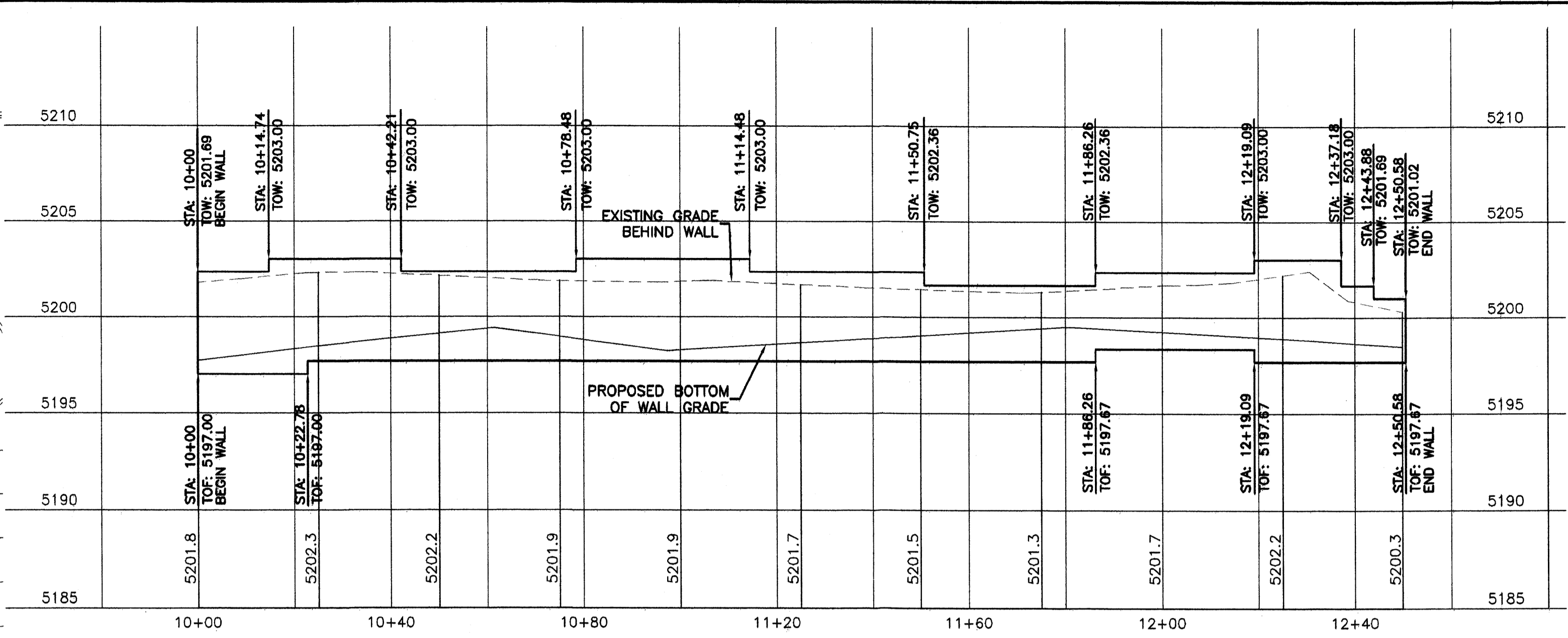
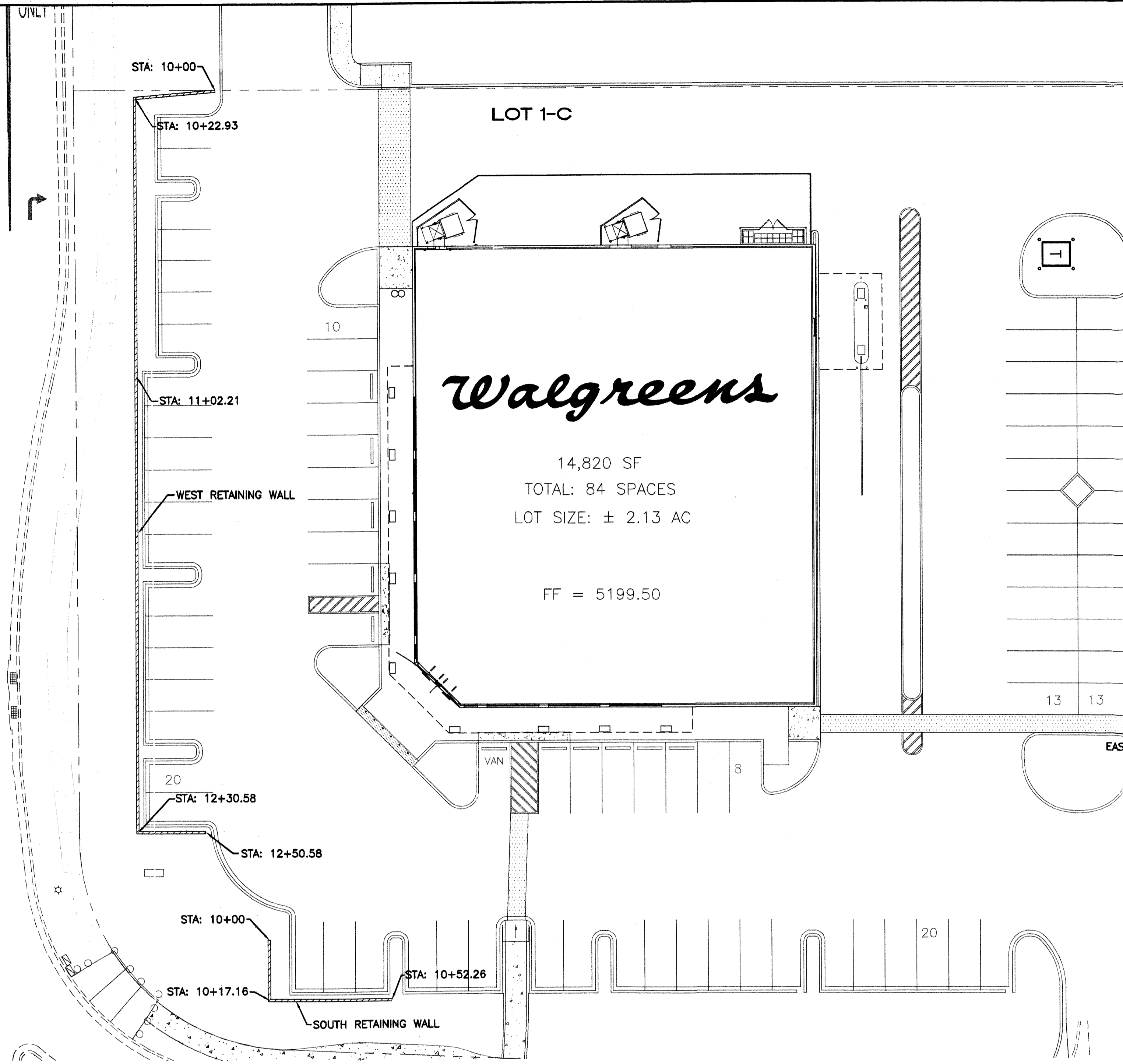
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM, D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



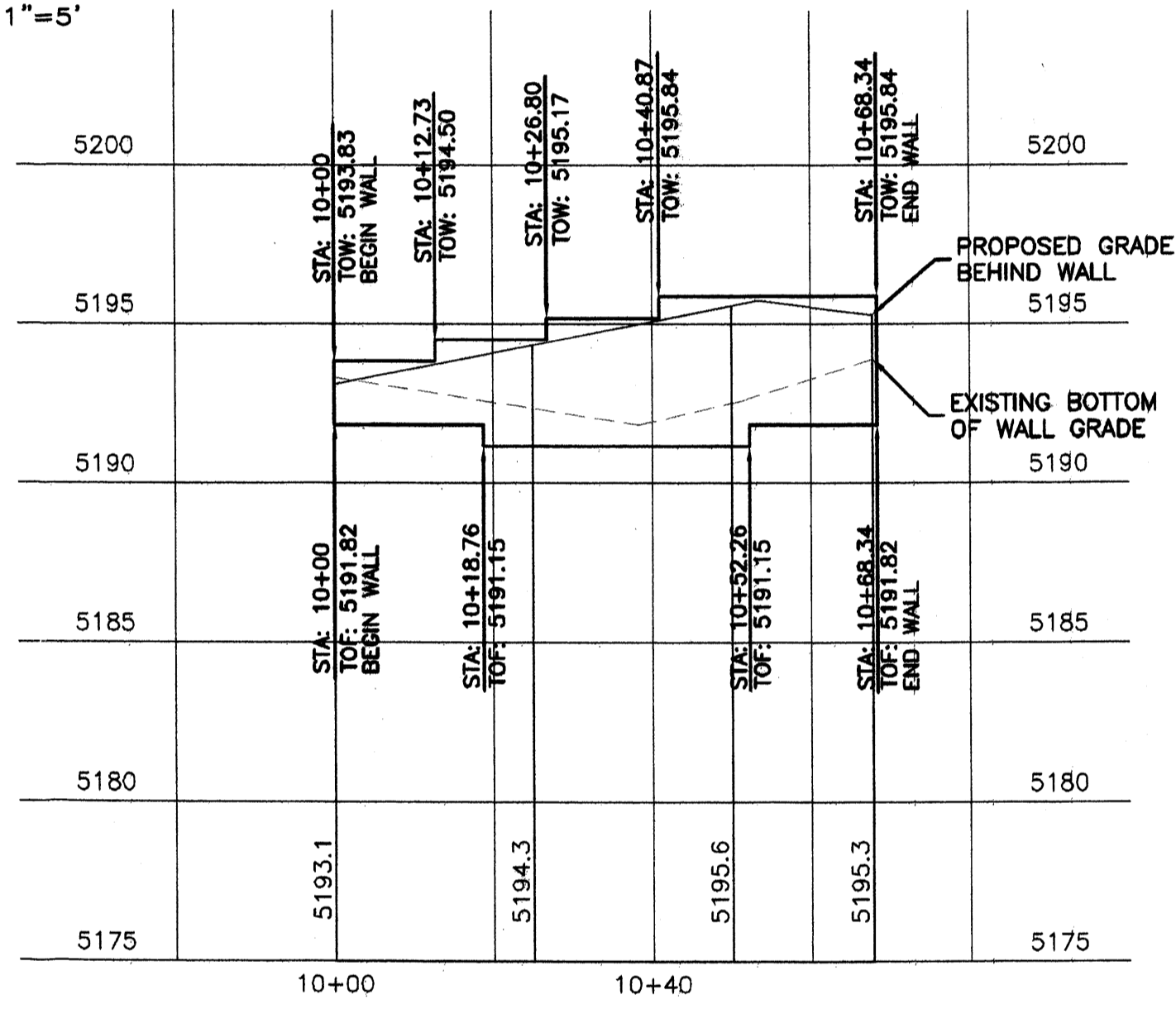
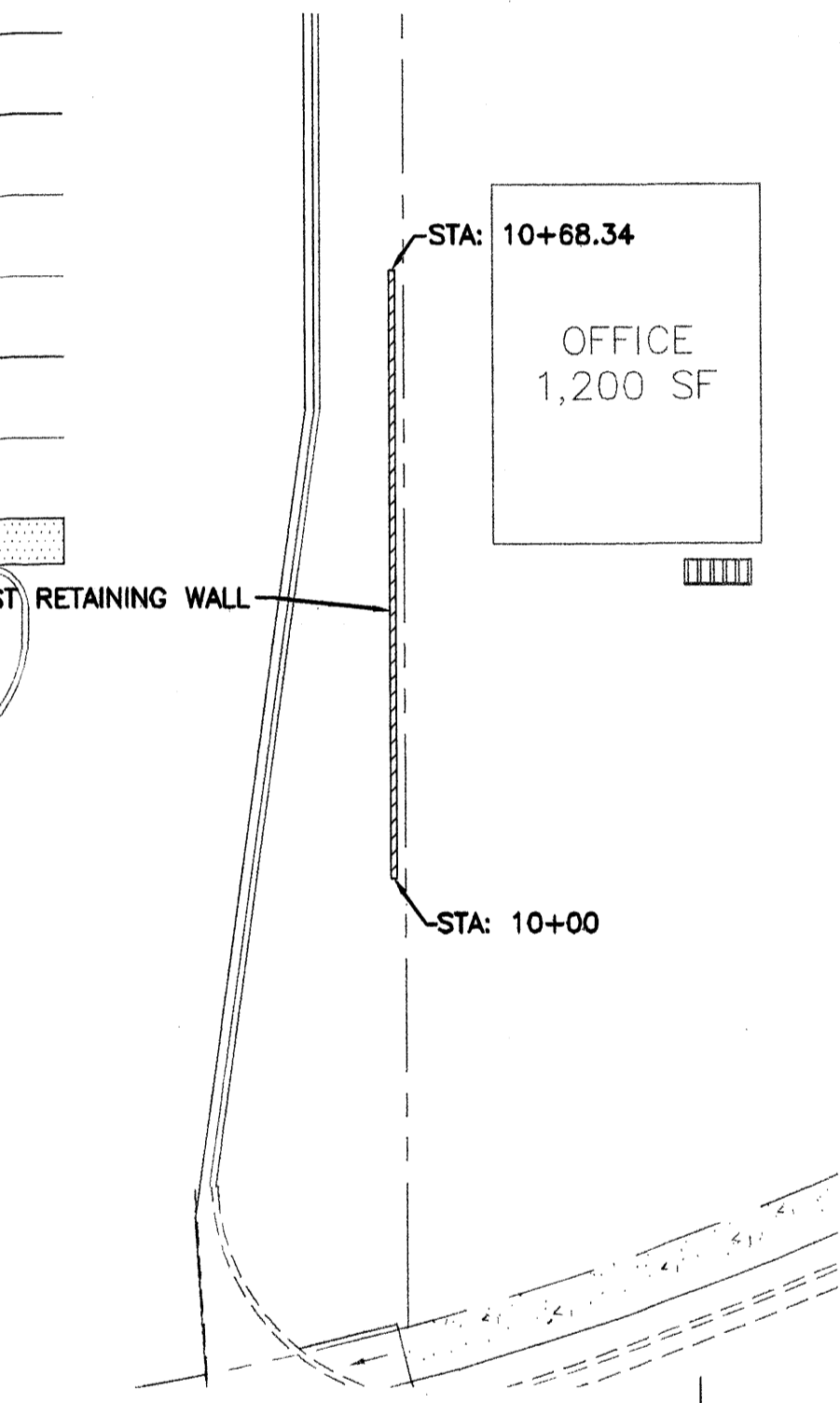
ROUGH GRADING APPROVAL _____ DATE _____

ENGINEER'S SEAL	WALGREENS 98TH AND UNSER GRADING AND DRAINAGE PLAN	DRAWN BY pm
		DATE 5-7-07
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100	24086-GRB
		SHEET # 1
		JOB # 24086

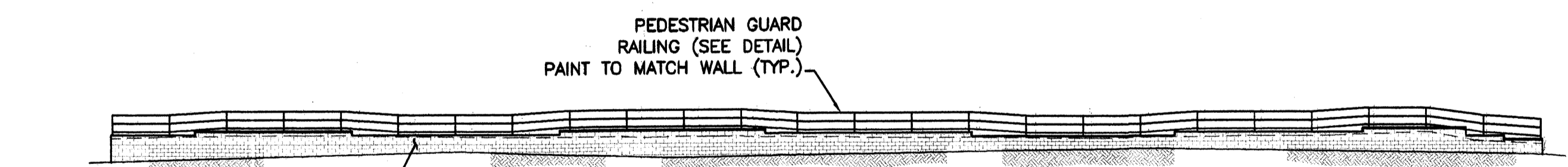
UNSER BOULEVARD



WEST RETAINING WALL
SCALE: HORIZ. 1"=20'
VERT. 1"=5'



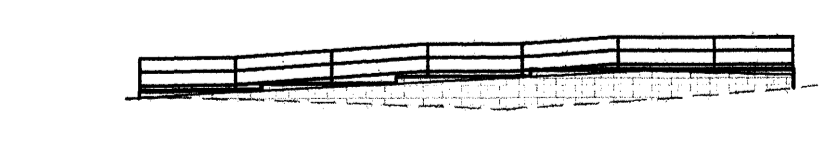
EAST RETAINING WALL
SCALE: HORIZ. 1"=20'
VERT. 1"=5'



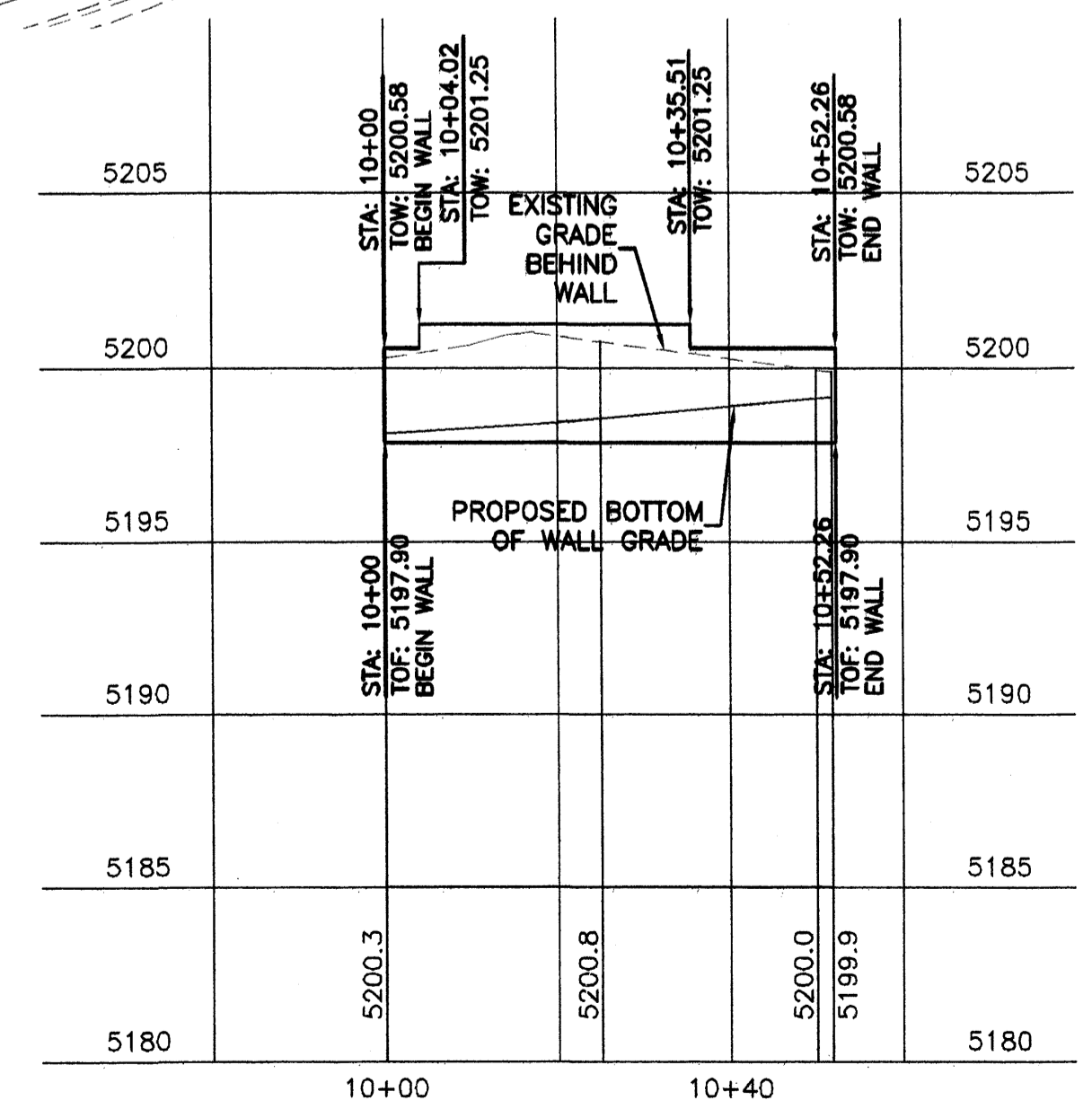
WEST RETAINING WALL ELEVATION
SCALE: 1"=20'



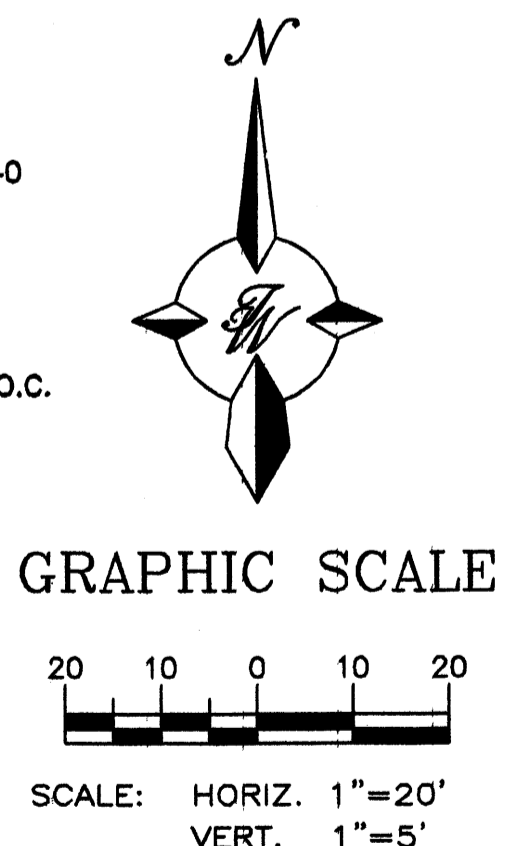
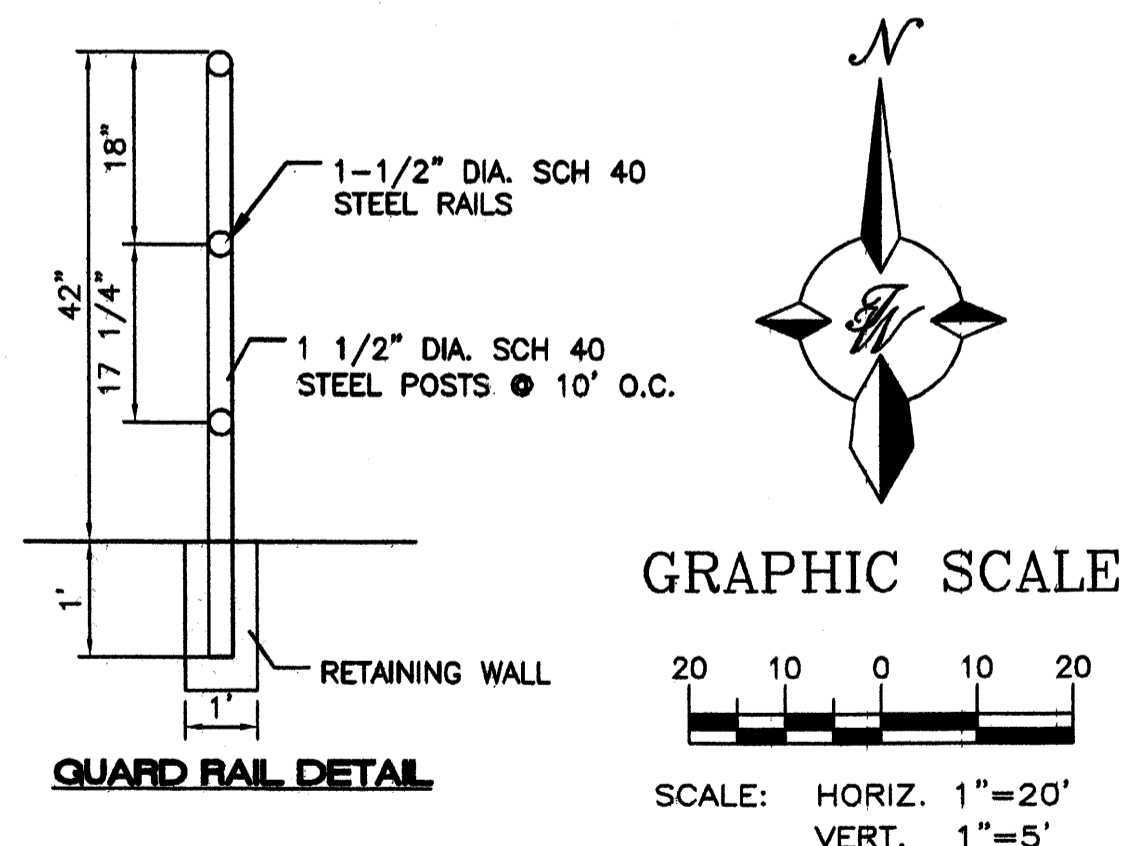
SOUTH RETAINING WALL ELEVATION
SCALE: 1"=20'



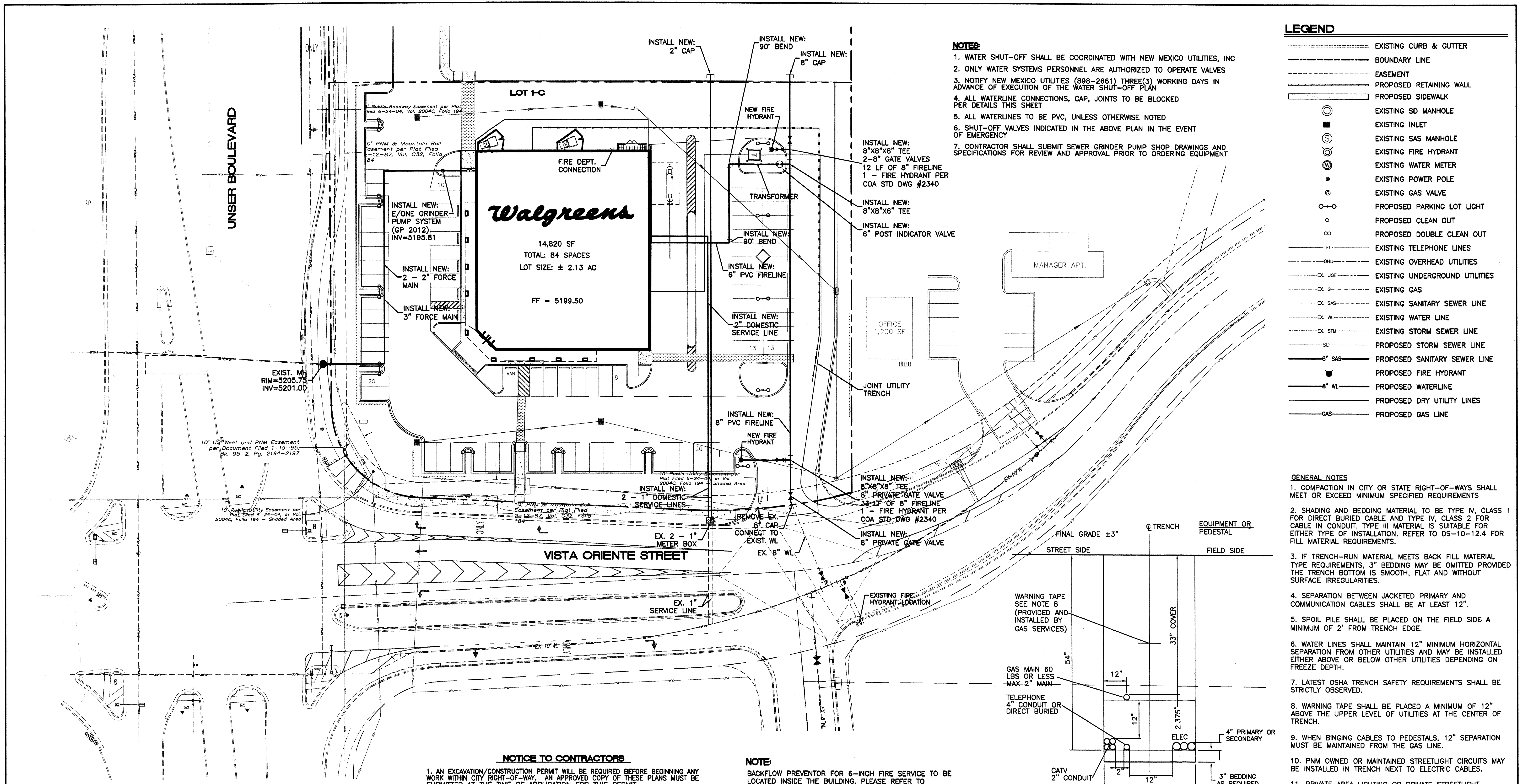
EAST RETAINING WALL ELEVATION
SCALE: 1"=20'



SOUTH RETAINING WALL
SCALE: HORIZ. 1"=20'
VERT. 1"=5'



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	WALGREENS 98TH AND UNSER RETAINING WALL PLAN AND PROFILE	DRAWN BY pm
		DATE 5-7-07
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100	24086-WALL PNP
		SHEET # 2
		JOB # 24086



LEGEND

-----	EXISTING CURB & GUTTER
-----	BOUNDARY LINE
-----	EASEMENT
-----	PROPOSED RETAINING WALL
-----	PROPOSED SIDEWALK
○	EXISTING SD MANHOLE
■	EXISTING INLET
○	EXISTING SAS MANHOLE
○	EXISTING FIRE HYDRANT
⊙	EXISTING WATER METER
●	EXISTING POWER POLE
⊙	EXISTING GAS VALVE
○	PROPOSED PARKING LOT LIGHT
○	PROPOSED CLEAN OUT
∞	PROPOSED DOUBLE CLEAN OUT
-----	EXISTING TELEPHONE LINES
-----	EXISTING OVERHEAD UTILITIES
-----	EXISTING UNDERGROUND UTILITIES
-----	EXISTING GAS
-----	EXISTING SANITARY SEWER LINE
-----	EXISTING WATER LINE
-----	EXISTING STORM SEWER LINE
-----	PROPOSED STORM SEWER LINE
-----	PROPOSED SANITARY SEWER LINE
-----	PROPOSED FIRE HYDRANT
-----	PROPOSED WATERLINE
-----	PROPOSED DRY UTILITY LINES
-----	PROPOSED GAS LINE

- NOTES**
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
 2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES
 3. NOTIFY NEW MEXICO UTILITIES (898-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
 4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
 5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED
 6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY
 7. CONTRACTOR SHALL SUBMIT SEWER GRINDER PUMP SHOP DRAWINGS AND SPECIFICATIONS FOR REVIEW AND APPROVAL PRIOR TO ORDERING EQUIPMENT

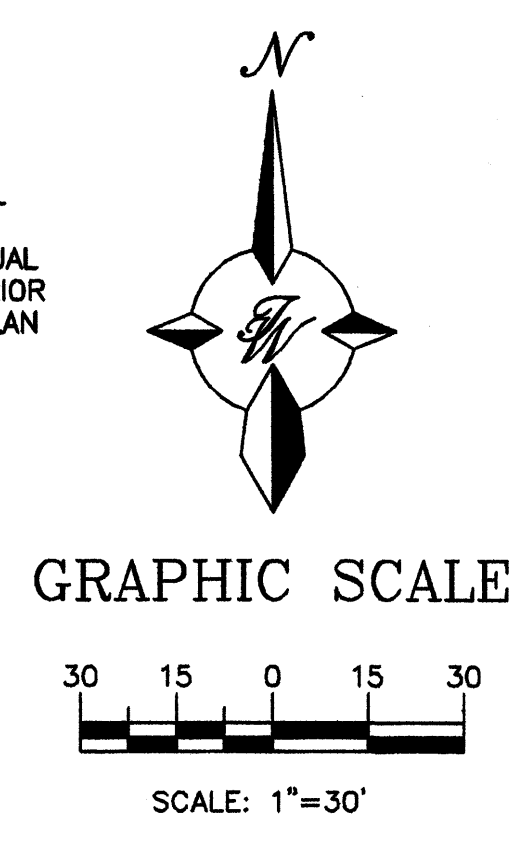
- GENERAL NOTES**
1. COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS
 2. SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE AND TYPE IV, CLASS 2 FOR CABLE IN CONDUIT, TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
 3. IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL TYPE REQUIREMENTS, 3" BEDDING MAY BE OMITTED PROVIDED THE TRENCH BOTTOM IS SMOOTH, FLAT AND WITHOUT SURFACE IRREGULARITIES.
 4. SEPARATION BETWEEN JACKETED PRIMARY AND COMMUNICATION CABLES SHALL BE AT LEAST 12".
 5. SPOIL PILE SHALL BE PLACED ON THE FIELD SIDE A MINIMUM OF 2' FROM TRENCH EDGE.
 6. WATER LINES SHALL MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES AND MAY BE INSTALLED EITHER ABOVE OR BELOW OTHER UTILITIES DEPENDING ON FREEZE DEPTH.
 7. LATEST OSHA TRENCH SAFETY REQUIREMENTS SHALL BE STRICTLY OBSERVED.
 8. WARNING TAPE SHALL BE PLACED A MINIMUM OF 12" ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF TRENCH.
 9. WHEN BINGING CABLES TO PEDESTALS, 12" SEPARATION MUST BE MAINTAINED FROM THE GAS LINE.
 10. PNM OWNED OR MAINTAINED STREETLIGHT CIRCUITS MAY BE INSTALLED IN TRENCH NEXT TO ELECTRIC CABLES.
 11. PRIVATE AREA LIGHTING OR PRIVATE STREETLIGHT CIRCUITS MAY NOT BE IN JOINT TRENCH.
 12. GAS SERVICE MUST BE 12" AWAY FROM WHERE IT WILL PASS EQUIPMENT OR PEDESTALS.
- REFERENCES**
1. NESC RULE 352, 353, 354.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS OF NEW MEXICO UTILITIES INCORPORATED AND WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1999), FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE TO RESIDENTIAL STREET USE.
 6. MAINTENANCE OF THOSE FACILITIES NOT WITHIN DEDICATED EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
 9. CONTRACTOR IS REQUIRED TO VERIFY INVERT AND LOCATIONS OF STORM DRAINS AND SANITARY SEWER AT SERVICE CROSSINGS AND CONNECTIONS AT START OF CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF DISCREPANCIES BETWEEN INVERT ELEVATIONS SHOWN ON THESE PLANS AND ACTUAL FIELD ELEVATIONS.

NOTE
BACKFLOW PREVENTOR FOR 6-INCH FIRE SERVICE TO BE LOCATED INSIDE THE BUILDING. PLEASE REFER TO ARCHITECTURAL PLANS FOR DETAILS.

CAUTION
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

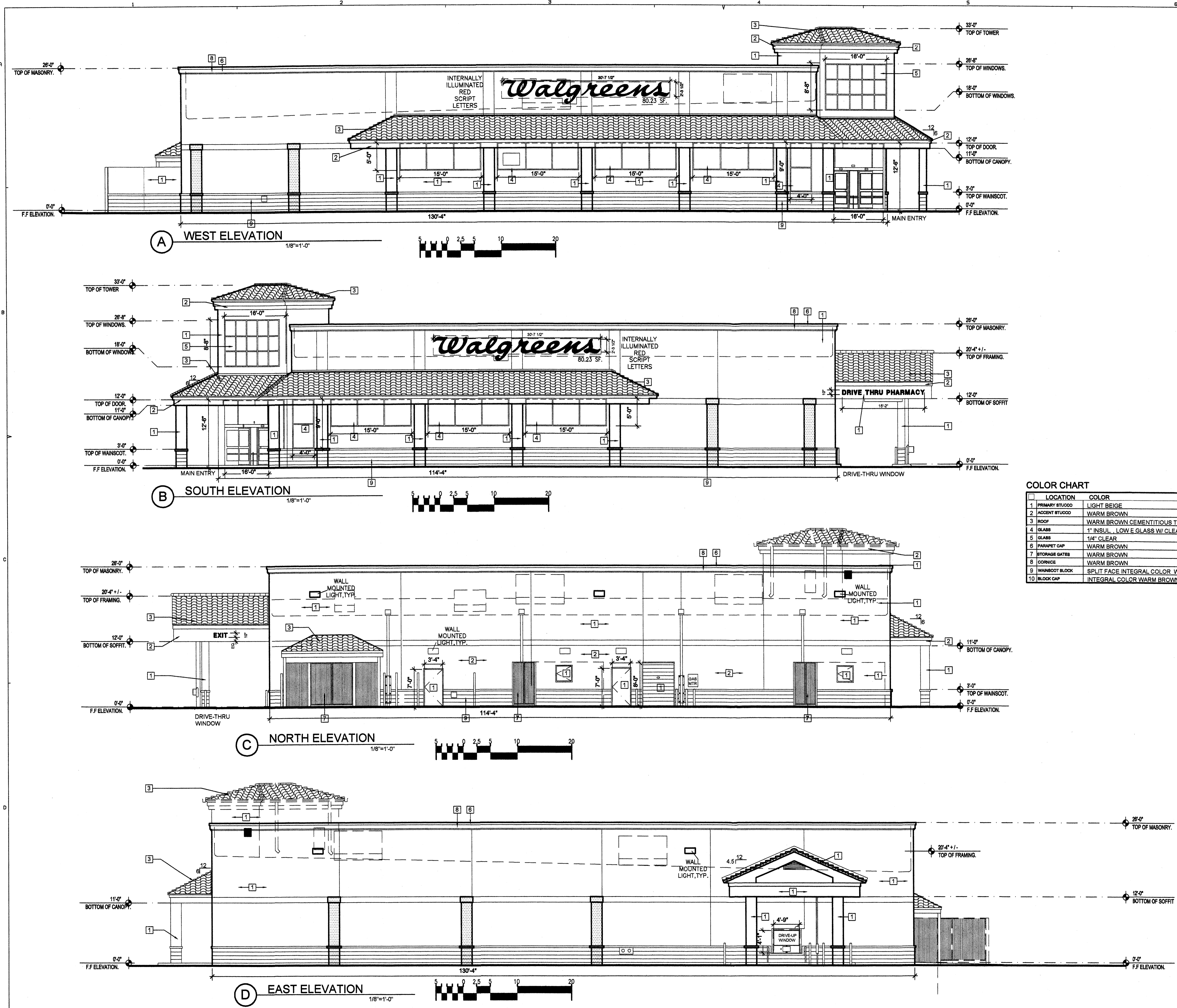
- GENERAL NOTES**
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 4. CONTRACTOR TO USE FULL BLOCKING AT ALL TEES, ELBOWS, PLUGS & CAPS. SEE DETAIL THIS SHEET.
 5. ALL PIPE MATERIAL TO BE USED PER NM UTILITY, INC. (SDR-35 TYPICAL)
 6. CONTRACTOR TO PROVIDE CONDUITS FOR QWEST, COMCAST AND PNM; CONTRACTOR SHALL COORDINATE WITH APPROPRIATE CONTACTS FOR EACH.



TYPICAL TRENCH DETAIL
NTS

ENGINEER'S SEAL	WALGREENS	DRAWN BY
	98TH AND UNSER	pm
RONALD R. BOHANNAN P.E. #7868	MASTER UTILITY PLAN	DATE
		5-7-07
		24086-MUB
		SHEET #
		3
		JOB #
		24086

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100



Walgreens

FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD DEERFIELD, IL 60015
708-940-2500

PROJECT TYPE
DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	

PROJECT INFORMATION

WEST ELEVATION
30'-7 1/2" x 27 1/2" WALGREENS SCRIPT SIGN 80.32 SF

NORTH ELEVATION

SOUTH ELEVATION
30'-7 1/2" x 27 1/2" WALGREENS SCRIPT SIGN 80.32 SF

EAST ELEVATION

BUILDING TOTAL 160.64 SF

DIRECTIONAL SIGNS AT DRIVE THRU
10" DRIVE THRU PHARMACY 12.6 SF
10" EXIT 2.1 SF

SIGNAGE BY SEPARATE PERMIT

COLOR CHART

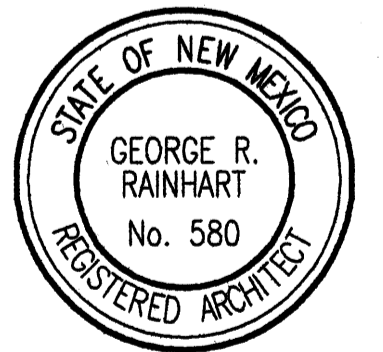
LOCATION	COLOR
1 PRIMARY STUCCO	LIGHT BEIGE
2 ACCENT STUCCO	WARM BROWN
3 ROOF	WARM BROWN CEMENTITIOUS TILE
4 GLASS	1" INSUL. LOW E GLASS W/ CLEAR ANOD. FRAMES
5 GLASS	14" CLEAR
6 PARAPET CAP	WARM BROWN
7 STORAGE GATES	WARM BROWN
8 CORNICE	WARM BROWN
9 WAINSCOT BLOCK	SPLIT FACE INTEGRAL COLOR WARM BROWN
10 BLOCK CAP	INTEGRAL COLOR WARM BROWN

NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6				
5				
4				
3				
2				
1				

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.



PROJECT NAME
WALGREENS STORE
(NEC) UNSER & 98TH STREET
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877
www.gra-arch.com

DRAWING TITLE
ELEVATIONS

DATE	1/25/07	STORE NO.	09715	DRAWING NO.	
DRAWN BY:	J/NAH	SCALE:	1/8"=1'-0"	A2	
REVIEWED BY:		RELEASED TO CONSTRUCTION:			OF