



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002404

AGENDA ITEM NO: 9

SUBJECT:

Site Plan for Subd
Site Plan for BP
Final Plat
Preliminary Plat

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

Albuquerque

ENGINEERING COMMENTS:

New Mexico 87103

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

www.cabq.gov

RESOLUTION:

2-13-08

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: January 30, 2008



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002404

AGENDA ITEM NO: 2

SUBJECT:

Site Plan for Subd
Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

Albuquerque

Need concurrent platting action.
An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off by City Engineer.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED 1-30-08 X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: January 23, 2008

January 22, 2008

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Jack Cloud, DRB Chair

FROM: Anna DiMambro, Planner ^{AD}

SUBJECT: Project # 1002404

On November 15, 2007, the Environmental Planning Commission approved Project # 1002404/07EPC-40050 and 40051, a request for a site development plan for subdivision and a site development plan for building permit for Lots 1B and 1D, Ladera Industrial Center, located Unser and Vista Oriente NW.

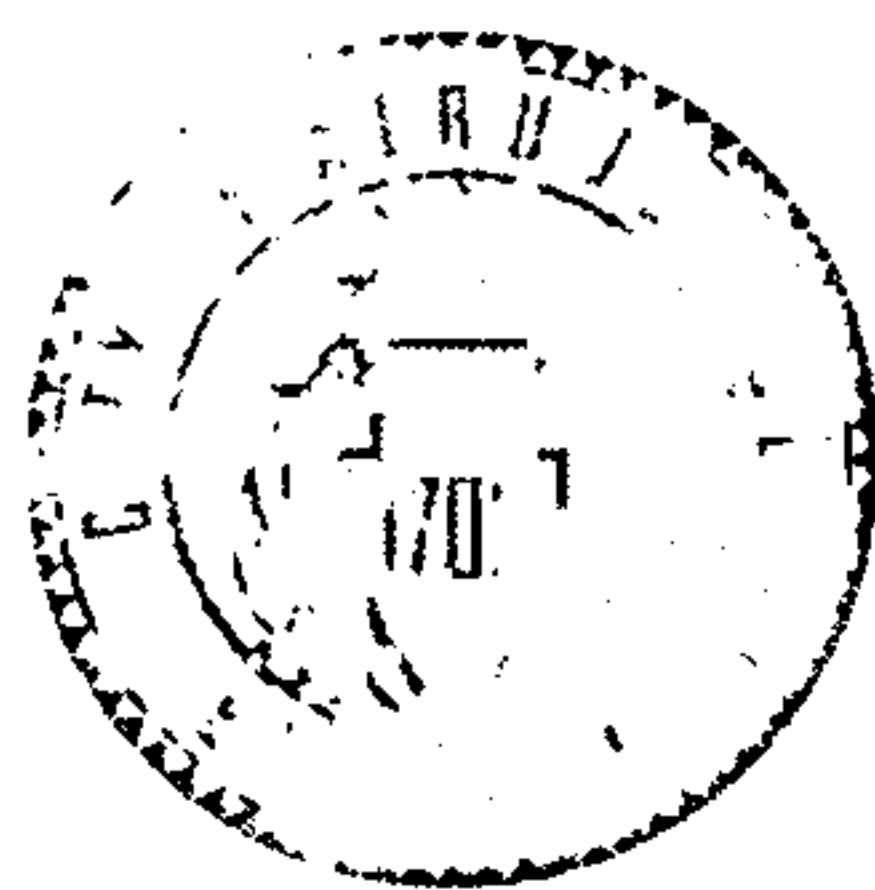
The applicant has satisfied all of the EPC conditions of approval for the site development plan for subdivision with the following exceptions:

1. Condition #3c requires the applicant to specifically state that 75% live groundcover shall be provided for **each** landscaping area.
2. Condition #3e allows the applicant two 12-foot signs along Vista Oriente. As written, the design guidelines would only permit one such sign. The applicant should be made aware that the current language of the design guidelines is more restrictive than what the EPC approved.

The applicant has satisfied all of the EPC conditions of approval for the site development plan for building permit.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3924.

Thank you.



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1002404

Application Number: 08DRB-70023

DRB Date: 1/30/2008

Item Number: 9

Subdivision:

Lots 1-B & 1-D, Ladera Industrial Center

Zoning: SU-1 for Light Industrial

Zone Page: H-09

New Lots (or units) : 0

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- ✓ Site Development Plan for Subdivision
- ✓ Site Development Plan for Building Permit
- ✓ Preliminary Plat
- ✓ Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

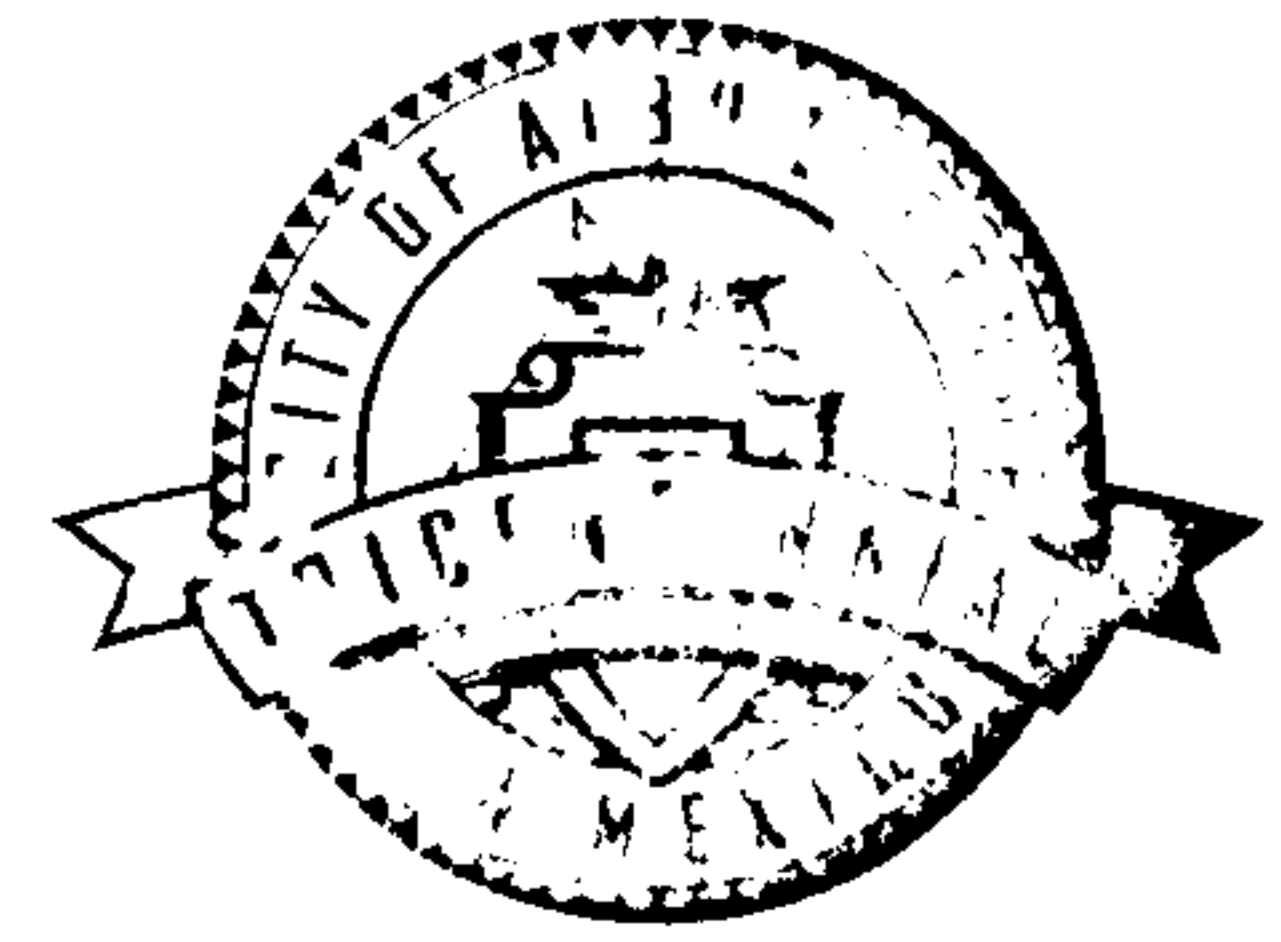
Parks and Recreation Comments:

There should not be sidewalk on Unser it should be trail. Confirm if trail is existing.

Signed:

Christina Sandoval, (DMD)

Phone: 768-3808



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1002404

AGENDA ITEM NO: 10

SUBJECT:

FINAL PLAT
PRELIMINARY PLAT
SITE PLAN FOR BUILDING PERMIT
SITE PLAN FOR SUBDIVISION

ENGINEERING COMMENTS:

NMDOT concurrence is required prior to approval.
Portions of the public sidewalk are located outside of the right of way. These sections will require a sidewalk easement
Show a detail for all wheelchair ramps, or refer to the appropriate city standard.
A 6-foot wide, ADA accessible, pedestrian path must be provided.
Cross lot access easements are required.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

INDEF.

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: FEBRUARY 13, 2008



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002404

AGENDA ITEM NO: 10

SUBJECT:

Site Plan for Subd
Site Plan for BP
Final Plat
Preliminary Plat

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

Albuquerque

ENGINEERING COMMENTS:

New Mexico 87103

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.
No adverse comments on plat.

www.cabq.gov

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: February 13, 2008



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002404

AGENDA ITEM NO: 10

SUBJECT:

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ACTION REQUESTED:

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Albuquerque

ENGINEERING COMMENTS:

New Mexico 87103

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.
No adverse comments on plat.

www.cabq.gov

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED Indef^x; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: February 13, 2008

#6



Complete Ag
6/29/07

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00535 (SBP)

Project # 1002404

Project Name: WALGREENS @ VISTA ORIENTE AND UNSER

Agent: George Rainhart Architect & Associates

Phone No.: 884-9110 Ext. 106

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/16/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: • SIDEWALK LAYOUT
 • ZONING LIST ITEMS TO BE PERIOD out SITE PLAN *ok*

UTILITIES: _____

CITY ENGINEER / AMAFCA: GAHA

PARKS / CIP: _____

PLANNING (Last to sign): 3 Copies ok. Case Planners initials ok

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1002404

#6



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>07DRB-00535 (SBP)</u>	Project # <u>1002404</u>
Project Name: <u>WALGREENS @ VISTA ORIENTE AND UNSER</u>	
Agent: <u>George Rainhart Architect & Associates</u>	Phone No.: <u>884-9110 Ext. 106</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/16/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: SIDEWALK EASEMENT
INFRA LIST ITEMS TO BE PLACED ON SITE PLAN
-
-
-
-
- UTILITIES: _____
-
-
-
- CITY ENGINEER / AMAFCA: EWA
-
-
-
- PARKS / CIP: _____
-
-
- PLANNING (Last to sign): 3 Copies
Case Planners initials
-
-

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages.

- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1002404



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

May 16, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 10:55 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1003717**
07DRB-00236 Major-Vacation of Public Easements

GREG RILEY agent(s) for ERIC C. JOHNSON request(s) the above action(s) for all or any portion of Lot(s) 6, Block(s) 38, **EASTERN ADDITION**, zoned SU-2/NCR located on CESAR CHAVEZ SE between BROADWAY SE and ARNO SE containing approximately 1 acre(s). [REF: 04DRB-01565] *[Was Indefinitely Deferred on 3/28/07]* (L-14) **THE VACATION WAS APPROVED AS SHOWN OF EXHIBIT B IN THE PLANNING FILE WITH THE FOLLOWING CONDITION OF FINAL PLAT: TO PROVIDE A K-TURN AT THE SOUTH END OF THE VACATION.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

2. **Project # 1005545**
07DRB-00588 Minor-SiteDev Plan
BldPermit
- MULLEN HELLER ARCHITECTURE agent(s) for FARM CREDIT OF NEW MEXICO request(s) the above action(s) for all or any portion of Tract(s) C-1-A, **NORTH GATEWAY SUBDIVISION**, zoned IP industrial park, located on BALLOON FIESTA PARKWAY NE between SAN MATEO NE and PAN AMERICAN FREEWAY containing approximately 2 acre(s). [REF: DRB-97-6] *[Deferred from 5/16/07]* (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 05/30/07.**
3. **Project # 1000365**
07DRB-00584 Minor-SiteDev Plan
BldPermit/EPC
07DRB-00585 Minor- SiteDev Plan
Subd/EPC
- MASTERWORKS ARCHITECTS INC agent(s) for TUAN VAN HUYNH request(s) the above action(s) for all or any portion of Lot(s) 2, 3, 4 and 19, 20, 21, Block(s) 1, **UNITY ADDITION**, zoned SU-1 RT, located on RHODE ISLAND ST SE between CENTRAL AVE SE and ZUNI SE containing approximately 1 acre(s). **[Anna DiMambro, EPC Case Planner]** (K-19) **THE SITE PLAN FOR BUILDING PERMIT APPLICATION #07DRB-00584 WAS WITHDRAWN. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR NARROWER DRIVE PADS AND PLANNING FOR 3 COPIES.**
- 07DRB-00073 Minor-Prelim&Final Plat
Approval
- WAYJOHN SURVEYING INC agent(s) for TUAN VAN HUYNH request(s) the above action(s) for all or a portion of Lot(s) 2-4 and 19-21, Block(s) 1, **UNITY ADDITION** (to be known as **UNITY TOWNHOMES**) zoned SU-1 RT, located on RHODE ISLAND ST SE, between CENTRAL AVE SE and ZUNI RD SE containing approximately 1 acre(s). [REF: ZA-95-296, ZA-97-2, ZA-97-4] *[Deferred from 1/31/07 & 5/09/07]* (K-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/16/2007 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/4/2007 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

4. **Project # 1003993**
07DRB-00591 Minor-SiteDev Plan
BldPermit/EPC

SUJAY THAKUR request(s) the above action(s) for all or any portion of Tract(s) A-37-1, **NE UNIT TOWN OF ATRISCO GRANT**, zoned SU-1 O-1 located on COORS BLVD NW between ST JOSEPHS NW and SEQUOIA NW containing approximately 4 acre(s). [REF: EPC07-00113, EPC07-00112, 06DRB01003, 06DRB01005] **[Maggie Gould, EPC Case Planner]** *[Indef deferred on 5/16/07]* (G-11) **INDEFINITELY DEFERRED ON A NO SHOW. LATER DEFERRED TO 5/23/07.**

5. **Project # 1002404**
07DRB-00535 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECTS agent(s) for WALGREEN CO. request(s) the above action(s) for all or any portion of Lot(s) 1C, LADERA INDUSTRIAL CENTER (to be known as **WALGREENS @ VISTA ORIENTE AND UNSER**) zoned SU-1 FOR IP USES located on UNSER BLVD NW between VISTA ORIENTE NW and AUSTIN AVE NW containing approximately 2 acre(s). [REF: 07EPC-00104] **[Carol Toffaleti, EPC Case Planner]** *[Deferred from 05/02/07 & 05/09/07]* (H-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK EASEMENTS AND INFRASTRUCTURE LIST ITEMS TO BE PLACED ON THE SITE PLAN AND TO PLANNING FOR 3 COPIES.**

6. **Project # 1005437**
07DRB-00559 Minor-SiteDev Plan
BldPermit

STUDIO SOUTHWEST ARCHITECTS agent(s) for MARBLE BREWERY INC request(s) the above action(s) for all or any portion of Lot(s) 9-12, Block(s) 5, (to be known as **MARBLE BREWERY**) zoned SU-2 C, located on the northwest corner of 1ST ST NW and MARBLE AVE NW and containing approximately 1 acre(s). *[Deferred from 05/09/07]* (J-14) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR APPROVAL BY ADC SEVERAL COMMENTS AND 3 COPIES OF THE PLAN.**

7. **Project # 1000504**
07DRB-00378 Minor-SiteDev Plan
BldPermit

NCA ARCHITECTS agent(s) for JEFFERSON PLAZA LLC request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP, located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 6 acre(s). [REF: 07DRB-00364] [*Indef deferred from 4/4/07*] [*Deferred from 5/09/07*] (E-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR TIS AND POSSIBLE INFRASTRUCTURE AND PLANNING FOR 2 COPIES.**

07DRB-00364 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for CINCO BISCO LIMITED request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 9 acre(s). [REF: 00DRB-00608] [*Indef deferred from 4/4/07*] [*Deferred from 5/09/07*] (E-17) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE AND TO RECORD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project # 1005176**
07DRB-00581 Minor-Prelim&Final Plat
Approval
07DRB-00582 Minor-Subd Design (DPM)
Variance

ALBUQUERQUE SURVEYING CO INC agent(s) for JOHN HERRERA AND TERRI SANCHEZ request(s) the above action(s) for all or any portion of Lot(s) 2-A, **HERRERA REDIVISION**, zoned R-D residential and related uses zone, located on 90th ST SW , between SAN YGNACIO SW and SAGE SW containing approximately 2 acre(s). [REF: 06DRB01403] (L-9) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO REMOVE NOTE 5 AND TO RECORD. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED.**

9. **Project # 1000809**
07DRB-00519 Minor-Ext of SIA for Temp
Defer SDWK

PATRICK PENNINGTON agent(s) for JOHN SANCHEZ request(s) the above action(s) for Lot(s) 1-23, Unit 1 and Lot(s) 1-62, Unit 2, **SUNSET FARMS**, zoned R-1 located on CENTRAL AVE SW between SUNSET RD SW and ATRISCO RD SW containing approximately 14 acre(s). [REF: DRB-97-408, 05DRB-01658] [*Indef defer from 05/02/07*] (K-12) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF THE SIDEWALKS WAS APPROVED.**

10. **Project # 1005123**
06DRB-01550 Minor- Final Plat Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for CUNADO LTD request(s) the above action(s) for all or a portion of Lot(s) 1 and 32, Block(s) 10, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **CUNADO RETAIL CENTER**) zoned SU-2 for M-1, located on SAN MATEO NE, between OAKLAND NE and EAGLE ROCK NE containing approximately 2 acre(s) [*Indef Deferred from 11/01/06*] (C-18) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

11. **Project # 1004820**
06DRB-01008 Minor- Final Plat Approval

FANNING BARD TATUM ARCHITECTS agent(s) for AQUATIC CONSULTANTS INC request(s) the above action(s) for all or a portion of Tract(s) D-1-B, Adobe Wells Subdivision (to be known as **AQUATIC CONSULTANTS OFFICE BUILDING**) zoned C-2, located on IRVING BLVD NW and EAGLE RANCH RD NW and containing approximately 3 acre(s). [REF: 06EPC-00470, DRB-95-33] [**Carmen Marrone, EPC Case Planner**] [*Final plat indef deferred from 7/19/06*] (B-13) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

12. **Project # 1005544**
07DRB-00587 Minor-Prelim&Final Plat
Approval

JACKS HIGH COUNTRY INC agent(s) for T. M. SUNDARAM & RADHA SUNDARAM request(s) the above action(s) for Lot(s) 263-A, 263-B & 263-C, **TOWN OF ATRISCO GRANT, UNIT 8**, zoned C-2, located on ILIFF RD NW between COORS NW and I-40 containing approximately 5 acre(s). (H-11) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR CLARIFICATION OF PRIVATE WATER AND SANITARY SEWER EASEMENTS AND ADDITION OF PUBLIC EASEMENTS AND CITY ENGINEER FOR PRIVATE DRAINAGE EASEMENTS, MAINTENANCE AND BENEFICIARY STATEMENT AND TO RECORD THE PLAT.**

13. **Project # 1005548**
07DRB-00592 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for CARSON & DIANE LEMMON, CHRISTINE HODSON AND PATRICK FERRON request(s) the above action(s) for all or any portion of Lot(s) 45 & 46, **COUNTRY HILLS UNIT ONE @ VENTANA RANCH**, zoned R-LT located on TAPATIO DR NW between LOS PRADOS RD NW and VALLE VERDE RD NW containing approximately 1 acre(s). (B-9) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

14. **Project # 1005401**
07DRB-00593 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for ROBERT MIERA request(s) the above action(s) for all or any portion of Lot(s) 17-20, Block(s) K, **NEW KIMO ADDITION**, zoned O-1, located on SAN PEDRO DR NE between TAYLOR AVE NE and CUTLER AVE NE containing approximately 1 acre(s). [REF: 07DRB-00233] *[Deferred from 5/16/07]* (H-18) **DEFERRED AT THE AGENT'S REQUEST TO 5/23/07.**

15. **Project # 1005437**
07DRB-00531 Minor-Prelim&Final Plat
Approval

ABQ ENGINEERING INC agent(s) for SANTA FE PROPERTIES request(s) the above action(s) for all or any portion of Lot(s) 9 thru 12, **NORTHERN ADDITION**, zoned SU-2 C located on MARBLE SW between 1ST ST SW and 2ND ST SW containing approximately 1 acre(s). *[Defer from 05/02/07]* (J-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1005549**
07DRB-00594 Minor-Sketch Plat or Plan

VINCENT MARTINEZ request(s) the above action(s) for all or any portion of Lot(s) 19 & 20, **ANDERSON ADDITION**, zoned S-R, located on MCKINLEY NW between 8th ST NW and FORRESTER NW containing approximately 1 acre(s). (J-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. Approval of the Development Review Board Minutes for May 9, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR MAY 9, 2007 WERE APPROVED.**

ADJOURNED: 10:55 A.M.

#6

**City of Albuquerque
Planning Department
Inter-Office Memorandum**

To: Sheran Matson, DRB Chair
From: Carol Toffaleti, Planner, Development Review Division
Date: May 1, 2007
Subject: Project # 1002404 / 07EPC-00104, Walgreen's

On March 15, 2007, the Environmental Planning Commission approved this Site Development Plan for Building Permit for an approximately 3-acre site located at the northeast corner of Unser Blvd. and Vista Oriente Street.

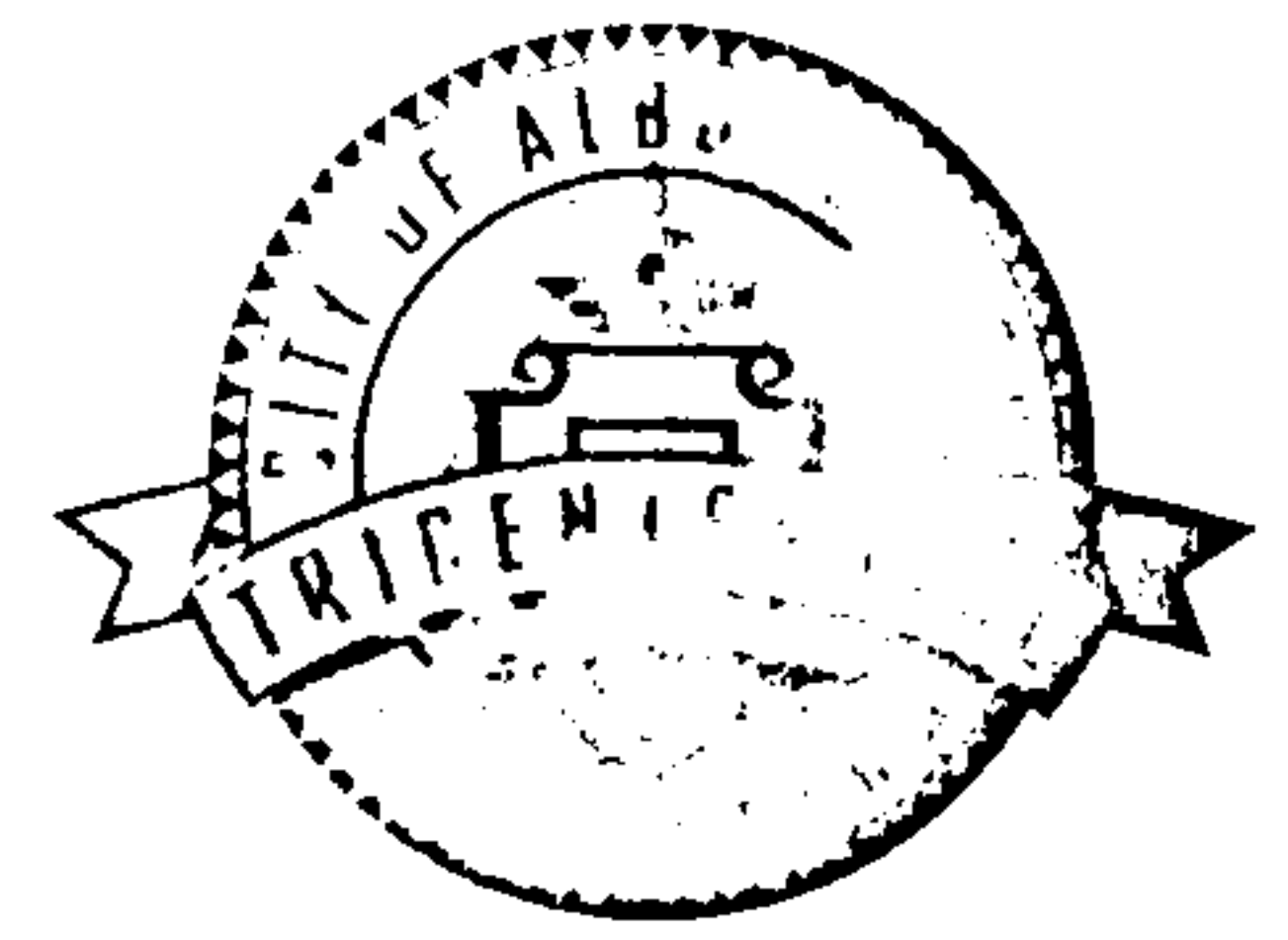
The DRB submittal generally meets the EPC conditions of approval with the following exceptions, mostly related to the landscape plan:

6. b. The proposed 'off-site' landscaping is street trees and gray gravel without any landscaped beds. The applicant has two options:
 - Leave the off-site areas out of the calculations altogether and treat them separately, as street trees only.
 - Include the off-site areas as landscaped area and add plantings to achieve 75% live ground cover, including under the tree canopy.The calculations and/or plan will need to be adjusted accordingly.
 - c. The intent of this condition was for plantings to break up the mass of the retaining wall that is visible from the building, i.e. the east side of the wall along Unser. Adding evergreen shrubs to the proposed vines at the base of the wall would achieve this.
 - g. The sidewalk on Vista Oriente needs to be set back or 'meandered' to accommodate an adequate planting area for trees between the curb and sidewalk, per DPM standards and the Street Tree Ordinance. (Also, the proposed sidewalk is labeled 6 ft but scales at 5 ft.)
7. The notches in the curbs must be indicated on the plan (keyed or noted).

If you have any questions regarding this case, please call me at 924-3345.



CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1002404

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

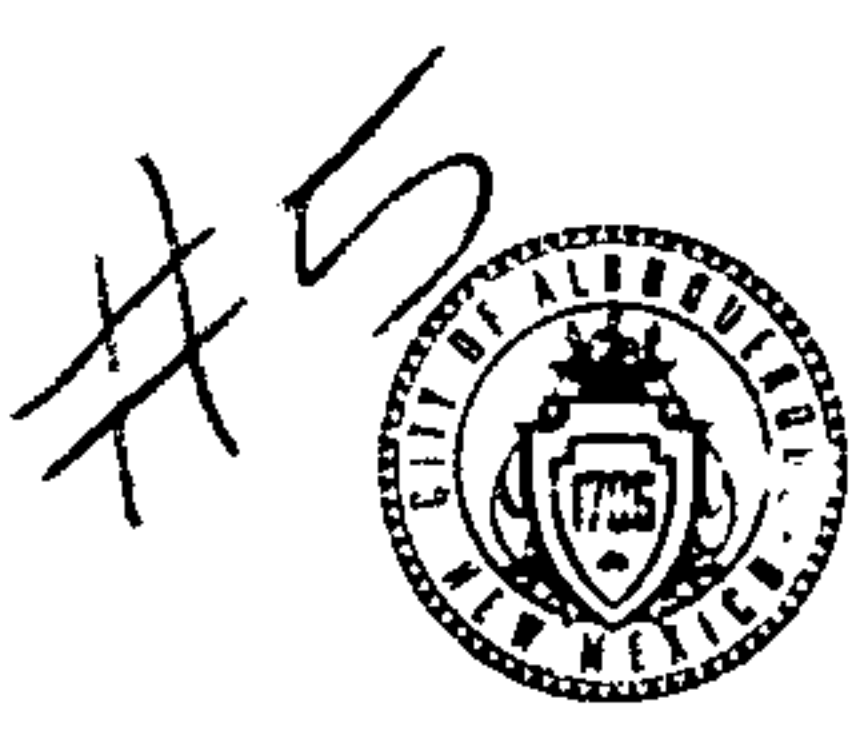
APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) TO: (UD) (CE) **(TRANS)** (PRKS) **(PLNG)**

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

(H-10/D006A2)

DATE: MAY 16, 2007



DRB CASE ACTION LOG (SITE PLAN FOR BUILDING PERMIT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00559 (SBP)	Project # 1005437
Project Name: MARBLE BREWERY	
Agent: Surveys Southwest Architects	Phone No: 843-9639

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/16/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 3 Copies
 Approved by ADC
 General comments

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Project Number 1005437



**DEVELOPMENT REVIEW BOARD
ACTION SHEET
Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

May 9, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: Adjourned: 11:40 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002591**
07DRB-00464 Major-One Year SIA
TIERRA WEST LLC agent(s) for KPS GROUP INC request(s) the above action(s) for all or any portion of Tract(s) C & G, **FOUR HILLS VILLAGE SHOPPING CENTER AND APARTMENT COMPLEX**, zoned SU-1 PDA FOR RES & COMM located on CENTRAL AVE SE between TRAMWAY BLVD SE and DORADO PLACE SE containing approximately 6 acre(s). [REF: 06DRB00249] (L-22) **A ONE YEAR SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

2. **Project # 1002642**
07DRB-00503 Major-Vacation of Public Easements

PRECISION SURVEYS INC agent(s) for AVALON TOWER LLC request(s) the above action(s) for all or any portion of Tract(s) B-1-A (to be known as **TRACTS B-1-A-2 & B-1-A-1, TOWER WEST SUBDIVISION**) zoned SU-1 for C-2 and R-1 Uses located on TOWER RD SW between 97TH ST SW and 98TH ST containing approximately 2 acre(s). (L-9) **THE VACATION(S) WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

07DRB-00556 Minor-Prelim&Final Plat Approval

PRECISION SURVEYS INC agent(s) for AVALON TOWER LLC request(s) the above action(s) for all or any portion of Tract(s) B-1-A (to be known as **TRACTS B-1-A-2 & B-1-A-1, TOWER WEST SUBDIVISION**) zoned SU-1 for C-2 and R-1 Uses located on TOWER RD SW between 97TH ST SW and 98TH ST containing approximately 2 acre(s). (L-9) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS SECTIONS AT 98TH ST AND TOWER RD, CROSS ACCESS EASEMENTS AND TO PLANNING FOR THE 15-DAY APPEAL PERIOD.**

3. **Project # 1004361**
07DRB-00493 Major-Vacation of Pub Right-of-Way

DON DUDLEY ARCHITECTS agent(s) for RIVER HORSE INVESTMENTS request(s) the above action(s) for Lot(s) 1-P-1 & 13-P-1, Block(s) 1, **TULANE TOWNHOUSES**, zoned R-3 located on TULANE NE between COMANCHE NE and CARLISLE NE containing approximately 1 acre(s). [REF: 05DRB01698] (G-16) **THE VACATION(S) WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1005354**
07DRB-00499 Major-Vacation of Public Easements
07DRB-00500 Minor-Vacation of Private Easements

BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND TRUST request(s) the above action(s) for all or any portion of Lot(s) B-2-A, **DUKE CITY LUMBER COMPANY ADDITION**, zoned SU-2 SMI located on BELLAMAH AVE NW between 18TH ST NW and 19TH ST NW containing approximately 8 acre(s). [REF: 07EPC00107, 07EPC00109] (J-13/H-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE**

PLANNING FILE. THE VACATION OF PRIVATE EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

- 5. Project # 1005437**
07DRB-00559 Minor-SiteDev Plan
BldPermit

STUDIO SOUTHWEST ARCHITECTS agent(s) for MARBLE BREWERY INC request(s) the above action(s) for all or any portion of Lot(s) 9-12, Block(s) 5, (to be known as **MARBLE BREWERY**) zoned SU-2 C, located on the northwest corner of 1ST ST NW and MARBLE AVE NW and containing approximately 1 acre(s). *[Deferred from 05/09/07]* (J-14) **DEFERRED AT THE AGENT'S REQUEST TO 5/16/07.**

- 6. Project # 1004997**
07DRB-00557 Minor-SiteDev Plan
BldPermit/EPC

MULLEN HELLER ARCHITECTURE agent(s) for 98TH TOWER JACK LLC request(s) the above action(s) for all or any portion of Lot(s) B-1-A, **TOWER WEST SUBDIVISION**, zoned SU-1 for C-1 and R-2 uses, located on TOWER RD SW between 98TH ST SW and 97TH ST SW containing approximately 2 acre(s). [REF: 06EPC00952, 06EPC00953, 07EPC00105] [**Catalina Lehner, EPC Case Planner**] (L-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR THE CITY STANDARD WORK DRAWING NUMBERS, A WIDER CROSS ACCESS SIMILAR TO THE PLAT AND PLANNING FOR CATALINA LEHNER'S INITIALS AND 3 COPIES OF THE PLAN.**

7. **Project # 1004772**
07DRB-00560 Minor-SiteDev Plan
BldPermit

GEORGE RAINHART ARCHITECTS & ASSOCIATES agent(s) for HOLLY-SP LLC request(s) the above action(s) for all or any portion of Lot(s) 18, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 special neighborhood zone M-1 located on PASEO DEL NORTE NE between SAN PEDRO NE and I-25 containing approximately 1 acre(s). *[Deferred from 05/09/07]* (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 5/23/07.**

8. **Project # 1000504**
07DRB-00378 Minor-SiteDev Plan
BldPermit

NCA ARCHITECTS agent(s) for JEFFERSON PLAZA LLC request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP, located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 6 acre(s). [REF: 07DRB-00364] *[Indef deferred from 4/4/07]* *[Deferred from 5/09/07]* (E-17) **DEFERRED AT THE AGENT'S REQUEST TO 5/16/07.**

07DRB-00364 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for CINCO BISCO LIMITED request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 9 acre(s). [REF: 00DRB-00608] *[Indef deferred from 4/4/07]* *[Deferred from 5/09/07]* (E-17) **DEFERRED AT THE AGENT'S REQUEST TO 5/16/07.**

9. **Project # 1004927**
06DRB-01632 Minor-SiteDev Plan
BldPermit/EPC

MULLEN HELLER ARCHITECTURE agent(s) for HARVARD MALL PARTNERS request(s) the above action(s) for all or a portion of Lot(s) 6-10 & 16-21, Block(s) 1, **UNIVERSITY HEIGHTS ADDITION**, zoned SU-1 for UC & R3C, located on HARVARD DR SE between CENTRAL AVE SE and SILVER AVE SE containing approximately 2 acre(s). [REF: 06EPC-00777] [Stephanie Shumsky, EPC Planner] [Def. 11/22/06, 1/24/07 & 2/7/07] (K-15 & K-16) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/09/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA, ADDITIONAL SANITARY SEWER EASEMENTS ALONG THE ALLEY (5-FEET) AND PLANNING FOR STEPHANIE SHUMSKY'S INITIALS AND 3 COPIES.**

07DRB-00555 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC. agent(s) for HARVARD MALL PARTNERS request(s) the above action(s) for all or any portion of Lot(s) 16-21, Block(s) 1, **UNIVERSITY HEIGHTS ADDITION**, zoned SU-2 for UC & R3C, located on HARVARD DR SE between CENTRAL AVE SE and SILVER AVE SE containing approximately 1 acre(s). [REF: 06DRB01632] (K-15 & K-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ADDITIONAL WATER AND SEWER EASEMENT AND TO PLANNING FOR APS LANGUAGE, AGIS DXF FILE AND TO RECORD.**

10. Project # 1002404
07DRB-00535 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECTS agent(s) for WALGREEN CO. request(s) the above action(s) for all or any portion of Lot(s) 1C, LADERA INDUSTRIAL CENTER (to be known as **WALGREENS @ VISTA ORIENTE AND UNSER**) zoned SU-1 FOR IP USES located on UNSER BLVD NW between VISTA ORIENTE NW and AUSTIN AVE NW containing approximately 2 acre(s). [REF: 07EPC-00104] [Carol Toffaleti, EPC Case Planner] [Deferred from 05/02/07 & 5/09/07] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 5/16/07.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1005349**
07DRB-00511 Minor-Prelim&Final Plat
Approval
- ROLANDO PEREZ request(s) the above action(s) for all or any portion of Lot(s) 9 & 10, Block(s) 8, **LOMA VERDE SUBDIVISION**, zoned R-2 located on SAN PABLO ST NE between DOMINGO NE and CHICO NE containing approximately 1 acre(s). [REF: 07DRB-00097] [*Indef deferred 4/25/07*] (K-19) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR OPENING NEW ACCOUNTS, TAPPING PERMITS AND SIDEWALK CONSTRUCTION AND TO PLANNING FOR AGIS DXF FILE, CROSS ACCESS EASEMENT AND TO RECORD.**
12. **Project # 1004617**
07DRB-00542 Minor-Prelim&Final Plat
Approval
- JACKS HIGH COUNTRY agent(s) for TONY & MYRA GUTIERREZ request(s) the above action(s) for all or any portion of Lot(s) 100, Block(s) A, **LA VICTORIA**, zoned C-2 located on BLUEWATER NW between YUCCA NW and 56TH ST NW containing approximately 2 acre(s). [REF: 06DRB00721] [*Final plat indef deferred form 5/09/07*] (J-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/09/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/17/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: PROOF THAT THE CONDITIONAL USE WAS REINSTATED FOR THE PROPERTY. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**
13. **Project # 1003128**
07DRB-00514 Minor-Prelim&Final Plat
Approval
- JOSH SKARSGARD agent(s) for BANDELIER EQUITIES LTD CO request(s) the above action(s) for all or any portion of Lot(s) 1 - 5, Block(s) 11, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned SU-2 for C-1 located on PASEO DEL NORTE NE between SAN PEDRO NE and PALOMAS NE containing approximately 3 acre(s). [*Indef deferred 4/25/07*](C-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING**

FOR AGIS DXF FILE, ZONING DESIGNATION ON THE PLAT AND TO RECORD.

14. **Project # 1000365**
07DRB-00073 Minor-Prelim&Final Plat Approval
- WAYJOHN SURVEYING INC agent(s) for TUAN VAN HUYNH request(s) the above action(s) for all or a portion of Lot(s) 2-4 and 19-21, Block(s) 1, UNITY ADDITION (to be known as **UNITY TOWNHOMES**) zoned SU-1/C-1, located on RHODE ISLAND ST SE, between CENTRAL AVE SE and ZUNI RD SE containing approximately 1 acre(s). [REF: ZA-95-296, ZA-97-2, ZA-97-4] [Deferred from 1/31/07 & 5/09/07] (K-19) **DEFERRED AT THE AGENT'S REQUEST TO 5/16/07.**
15. **Project # 1004228**
07DRB-00538 Major-Final Plat Approval
- TERRAMETRICS OF NEW MEXICO agent(s) for HEADSTART ENTERPRISES request(s) the above action(s) for Tract(s) A, **GUTHRIE COMMERCE PARK**, zoned M-1 light manufacturing zone located on MONTANO RD NE between EDITH BLVD NE and PAN AMERICAN FREEWAY containing approximately 4 acre(s). [REF: 07DRB00199] [Defer from 05/02/07] (F-15) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**
- NO ACTION IS TAKEN ON THESE CASES:**
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING
16. **Project # 1005536**
07DRB-00553 Minor-Sketch Plat or Plan
- ISAACSON & ARFMAN PA agent(s) for BCR CONSTRUCTION request(s) the above action(s) for all or any portion of Lot(s) 57-58-59, ROSSITER ADDITION (to be known as **BACA TOWNHOMES SUBDIVISION**) zoned R-2 located on 12TH ST NW between GRIEGOS RD NW and CANDELARIA BLVD NW containing approximately 2 acre(s). (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1005537**
07DRB-00554 Minor-Sketch Plat or Plan

BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO INC request(s) the above action(s) for the NE ¼, NW ¼, SEC 8, 11N 2E, (to be known as **VENTANA OESTE**) zoned A-1 located on DEL OESTE RD NW between CORN MOUNTAIN PLACE NW and COYOTE CANYON PLACE NW containing approximately 40 acre(s).(B-8) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1005538**
07DRB-00558 Minor-Sketch Plat or Plan

URS agent(s) for MESA DEL SOL LLC request(s) the above action(s) for Tract(s) 4-A-1 thru 4-A-4, **MESA DEL SOL**, zoned SU-2 Planned Community, located on UNIVERSITY BLVD SE between SOLAR MESA SE and MESA DEL SOL BLVD SE containing approximately 33 acre(s). [REF: 06DRB01612] (R-15/S-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1005539**
07DRB-00561 Minor-Sketch Plat or Plan

WILSON AND COMPANY agent(s) for MGMe DEVELOPMENT INC request(s) the above action(s) for all or any portion of Lot(s) 1, Block(s) 5, VOLCANO CLIFFS SUBDIVISION, UNIT 26 (to be known as **TIERRA BUENA ESTATES**) zoned SU-2 - SRLI located on ROSA PARKS RD NW between UNSER BLVD NW and CALLE NORTENA NW containing approximately 4 acre(s). (C-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1005540**
07DRB-00562 Minor-Sketch Plat or Plan

WILSON AND COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT INC request(s) the above action(s) for all or any portion of Tract(s) D, **LA CUENTISTA SUBDIVISION, UNIT 3**, zoned SU-2 – SRLL, located on KIMMICK DR NW between ROSA PARKS RD NW and PETROGLYPH NATIONAL MONUMENT containing approximately 20 acre(s). [REF: 1000922] (C-11/D-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. Approval of the Development Review Board Minutes for May 2, 2007. **THE DRB MINUTES FOR MAY 2, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:40 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1002404

AGENDA ITEM NO: 10

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

5/16/07

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

(H-10/D006A2)

DATE: MAY 2, 2007



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

May 2, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:20 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1005185**
07DRB-00262 Major-Preliminary Plat
Approval

ISAACSON & ARFMAN PA agent(s) for W INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 2-A-1, LAND OF EDMUND I RADY (to be known as **VILLA LOMA ESTATES**) zoned SU1-PRD located on MONTGOMERY BLVD NE between TRAMWAY BLVD NE and SHILOH PL NE containing approximately 3 acre(s). [REF: 06EPC01435, 06EPC01436] [Deferred from 3/28/07 & 4/11/07 & 4/25/07] (F-22) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 05/02/07 AND APPROVAL OF THE GRADING PLAN ENGINEERS STAMP DATED 04/30/07 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: TO REVIEW THE CROSS ACCESS BETWEEN ADJACENT COMMERCIAL**

PROPERTY AND THIS PROPERTY, THE PRESIDENT OF THE HOMEOWNER'S ASSOCIATION MUST SIGN THE FINAL PLAT, CORRECTION TO NOTE 14.

07DRB-00353 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING LLC agent(s) for W INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 2-A-1, Land of Edmund I Rady (to be known as **VILLA LOMA ESTATES**) zoned SU-1 for PRD, located on MONTGOMERY BLVD NE between TRAMWAY BLVD NE and SHILOH NE containing approximately 3 acre(s). [REF: 06EPC01435, 06EPC01436, 07DRB00262] [**Carmen Marrone for Petra Morris, EPC Case Planner**] [*Deferred from 3/28/07 & 4/11/07 & 4/25/07*] (F-22) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR REMOVAL OF THE TREE OVER THE WATERLINE AND 3 COPIES OF THE SITE PLAN.**

2. **Project # 1005493**

07DRB-00455 Major- Variance for an overhead electric distribution line – Segment One

PNM request(s) the above action(s) for a VARIANCE FOR AN OVERHEAD ELECTRICAL DISTRIBUTION LINE - **SEGMENT ONE**, located on WESTERN TRAILS NW between UNSER BLVD NW and ATRISCO NW. (F-10/F-11) **THE REQUEST FOR A VARIANCE WAS DENIED.**

07DRB-00454 Major- Variance for an overhead electric distribution line – Segment Two

PNM request(s) the above action(s) for a VARIANCE FOR AN OVERHEAD ELECTRICAL DISTRIBUTION LINE - **SEGMENT TWO**, located on WESTERN TRAILS NW between ATRISCO NW and COORS NW. (F-10/F-11) **THE REQUEST FOR A VARIANCE WAS DENIED.**

3. **Project # 1003973**

07DRB-00365 Major-Preliminary Plat Approval
07DRB-00366 Minor-Sidewalk Waiver
07DRB-00367 Minor-Temp Defer SDWK

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or any portion of Tract(s) 5 & 7, THE TRAILS UNIT 2 (to be known as **TAOS AT THE TRAILS, UNIT 2**) zoned SU2-SRSL and SU2-UR, located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE BLVD NW containing approximately 34 acre(s). [*Deferred from 4/18/07 & 4/25/07*] (C-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED**

05/02/07 AND APPROVAL OF THE GRADING PLAN ENGINEERS STAMP DATED 03/21/07 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: THE HOMEOWNER'S ASSOCIATION PRESIDENT SHALL SIGN THE FINAL PLAT, TRANSPORTATION TO REVIEW THE CROSS SECTION OF UNIVERSE, PNM CONCURRENCE ON THE CROSS SECTION OF UNIVERSE IS REQUIRED. A SIDEWALK VARIANCE FOR A WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

4. **Project # 1004246**
07DRB-00144 Major-SiteDev Plan
BldPermit

TIERRA WEST LLC agent(s) for KOZANI LLC request(s) the above action(s) for Lot(s) 7-10 and 23-26, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **HOLLY PLAZA**) zoned SU-2 FOR IP, located on PASEO DEL NORTE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 5 acre(s). [*Deferred from 3/07/2007*] (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 05/02/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR CHANGES REGARDING SITE PLAN, TRAFFIC COMMENTS, 15-DAY APPEAL PERIOD AND 3 COPIES OF THE SITE PLAN.**

5. **Project # 1004075**
06DRB-01537 Major-Vacation of Pub
Right-of-Way
06DRB-01539 Minor-Vacation of Private
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] [*Deferred from 11/15/06, 12/13/06, 1/3/07, 1/17/07, 2/7/07, 2/28/07, 3/21/07, 04/11/07 & 05/02/07*]. (R-16, Q-16, R-15, R-17, S-

14, S-16, S-17, T-16) DEFERRED AT THE AGENT'S REQUEST TO 05/30/07.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1002404**
07DRB-00535 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECTS agent(s) for WALGREEN CO. request(s) the above action(s) for all or any portion of Lot(s) 1C, LADERA INDUSTRIAL CENTER (to be known as **WALGREENS @ VISTA ORIENTE AND UNSER**) zoned SU-1 FOR IP USES located on UNSER BLVD NW between VISTA ORIENTE NW and AUSTIN AVE NW containing approximately 2 acre(s). [REF: 07EPC-00104] **[Carol Toffaleti, EPC Case Planner]** *[Deferred from 05/02/07]* (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 05/09/07.**

7. **Project # 1005049**
07DRB-00488 Minor-SiteDev Plan
BldPermit/EPC

BRISCOE ARCHITECTS PC agent(s) for VINTAGE CAPITAL GROUP request(s) the above action(s) for all or any portion of Tract(s) M, R, S-1 and S-2, **FAR NORTH SHOPPING CENTER**, zoned C-2 and C-3 (SC), located on SAN MATEO BLVD NE between ACADEMY NE and HARPER NE containing approximately 18 acre(s). **[Maggie Gould, EPC Case Planner]** *[Deferred from 4/18/07]* (E-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK EASEMENT ALONG ACADEMY AND PLANNING FOR 3 COPIES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project # 1000809**
07DRB-00519 Minor-Ext of SIA for Temp
Defer SDWK
- PATRICK PENNINGTON agent(s) for JOHN SANCHEZ request(s) the above action(s) for Lot(s) 1-23, Unit 1 and Lot(s) 1-62, Unit 2, **SUNSET FARMS**, zoned R-1 located on CENTRAL AVE SW between SUNSET RD SW and ATRISCO RD SW containing approximately 14 acre(s). [REF: DRB-97-408, 05DRB-01658] [*Indef defer from 05/02/07*] (K-12) **INDEFINITELY DEFERRED FOR A NO SHOW.**
9. **Project # 1005529**
07DRB-00537 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST agent(s) for JOSE & IRMA JURADO request(s) the above action(s) for all or any portion of Lot(s) 7 & 8, Block(s) 47, **EASTERN ADDITION**, zoned SU-2/MR located on WALTER SE between DAN AVE SE and HIGH ST SE containing approximately 1 acre(s). (L-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
10. **Project # 1004717**
07DRB-00534 Major-Final Plat Approval
- SHAKEEL RIZVI request(s) the above action(s) for all or any portion of Lot(s) 70-P2 71- P1 72-P1 & 73-P2, **SONORA SUBDIVISION**, zoned R-D located on SENTIDO NE between SIGNAL NE and WILSHIRE NE containing approximately 1 acre(s). (C-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR APPROVED GRADING & DRAINAGE CERTIFICATION AND PLANNING FOR OPEN SPACE NOTE, ENVIRONMENTAL HEALTH SIGNATURE AND TO RECORD.**
-

11. **Project # 1003655**
07DRB-00522 Minor-Extension of
Preliminary Plat

ADIL RIZVI request(s) the above action(s) for all or any portion of Block(s) 1, Tract(s) 2, Lot(s) 15, 16, 17 and a portion of Lot(s) 18, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **LA VISTA @ DESERT TRAIL**) zoned RD located on WYOMING BLVD NE between EAGLE ROCK NE and MODESTO NE containing approximately 3 acre(s). [REF: 04DRB01373, 05DRB01833] (C-19) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

12. **Project # 1003703**
07DRB-00521 Minor-Extension of
Preliminary Plat

ADIL RIZVI request(s) the above action(s) for all or any portion of Block(s) 2, Tract(s) 3, Lot(s) 13,14,15,16,19 and 20, NOR ESTE, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **EAGLE VIEW ESTATES**, zoned R-D located on VENTURA NE between EAGLE ROCK NE and OAKLAND NE containing approximately 6 acre(s). [REF: 06DRB00886, 00887, 00888] (C-20) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED. THE CONDITIONS OF FINAL PLAT ARE STILL IN FORCE.**

13. **Project # 1003800**
07DRB-00539 Minor-Extension of
Preliminary Plat

LLAVE DEVELOPMENT INC. request(s) the above action(s) for all or any portion of Lot(s) 1-4, Block(s) 2, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **LA CUEVITA OESTE**) zoned R-D residential and related uses zone, developing area located on EAGLE ROCK NE between BARSTOW NE and VENTURA NE containing approximately 4 acre(s). [REF: 05DRB01906, 05DRB01907, 05DRB01908] (C-20) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

14. **Project # 1003674**
07DRB-00532 Minor-Final Plat Approval
07DRB-00533 Minor-Vacation of Private
Easements

JEFF MORTENSEN & ASSOCIATES agent(s) for LIAVE HOMES request(s) the above action(s) for all or any portion of Lot(s) 1 thru 6, Tract(s) A, **RICH COURT**, zoned R-D (3 DU/A) located on ALAMEDA NE between VENTURA NE and BARSTOW NE containing approximately 3 acre(s). (C-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO CHECK ON THE ISSUE OF THE CITY COUNCIL OVERTURNING THE DRB INTERPRETATION OF THE LA CUEVA SECTOR PLAN AND TO RECORD. THE VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

15. **Project # 1003885**
07DRB-00523 Minor-Prelim&Final Plat
Approval
07DRB-00525 Minor-Vacation of Private
Easements

ISAACSON & ARFMAN agent(s) for FAMILY HOUSING DEVELOPMENT CORP. request(s) the above action(s) for all or any portion of Lot(s) 7-9, **BELL TRADING POST HOMES** (to be known as **LOTS 7-A, 8-A thru 9-A, BELL TRADING POST HOMES**) zoned SU-2 TH, located on Roma Ave NW between 15TH St NW and 16TH St NW containing approximately 1 acre(s). (J-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD AND FOR AMAFCA'S SIGNATURE. THE VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

16. **Project # 1004228**
07DRB-00538 Major-Final Plat Approval

TERRAMETRICS OF NEW MEXICO agent(s) for ~~HEADSTART ENTERPRISES~~ request(s) the above action(s) for Tract(s) A, **GUTHRIE COMMERCE PARK**, zoned M-1 light manufacturing zone located on MONTANO RD NE between EDITH BLVD NE and PAN AMERICAN FREEWAY containing approximately 4 acre(s). [REF: 07DRB00199] [*Defer from 05/02/07*] (F-15) **DEFERRED AT THE AGENT'S REQUEST TO 05/09/07.**

17. **Project # 1005437**
07DRB-00531 Minor-Prelim&Final Plat
Approval

ABQ ENGINEERING INC agent(s) for SANTA FE PROPERTIES request(s) the above action(s) for all or any portion of Lot(s) 9 thru 12, **NORTHERN ADDITION**, zoned SU-2 C located on MARBLE SW between 1ST ST SW and 2ND ST SW containing approximately 1 acre(s). [Defer from 05/02/07] (J-14) **DEFERRED AT THE AGENT'S REQUEST TO 05/16/07.**

18. **Project # 1005528**
07DRB-00536 Minor-Prelim&Final Plat
Approval

ALPHA PROFESSIONAL SURVEYING INC. agent(s) for MICHAEL HOLGUIN request(s) the above action(s) for all or any portion of Lot(s) 4 & 3, Tract(s) 5, **GLENDALE GARDENS**, zoned R-1 located on UTE RD NW between 47TH ST NW and 50TH ST NW containing approximately 1 acre(s). (K-11) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A PUBLIC SIDEWALK EASEMENT AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

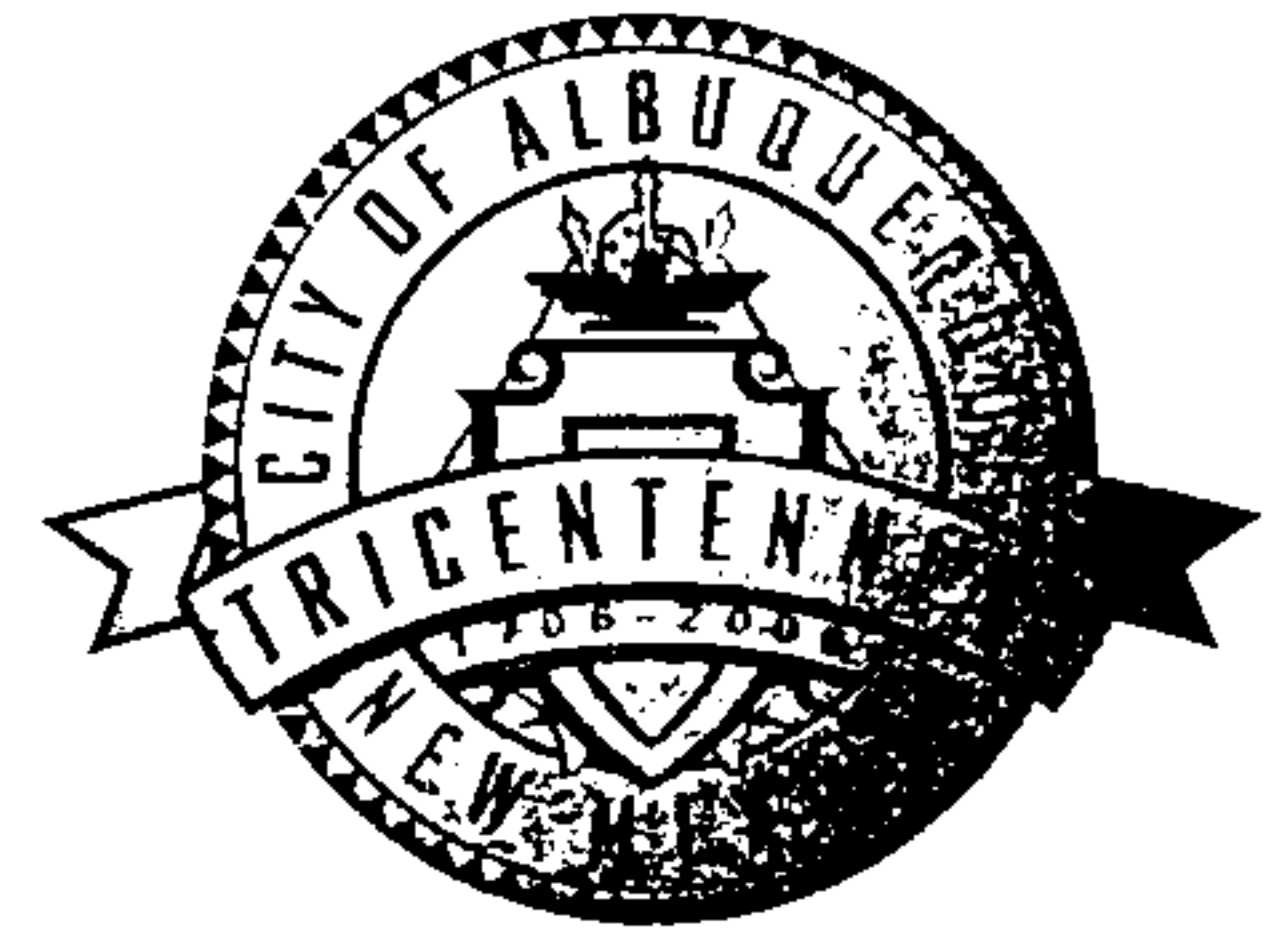
19. **Project # 1000337**
07DRB-00526 Minor-Sketch Plat or Plan

DAVID SEVIERI request(s) the above action(s) for all or any portion of Tract(s) A, **VOLCANO CLIFFS, UNIT 1**, zoned O-1 office and institution located on MONTANO NW between UNSER NW and COORS NW containing approximately 1 acre(s). (E-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. Approval of the Development Review Board Minutes for April 25, 2007. **THE DRB MINUTES FOR APRIL 25, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:20 P.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1002404

AGENDA ITEM NO: 6

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved SIA with Financial Guarantee(s) is required prior to site plan approval.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

5-9-07

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: MAY 2, 2007

(H-10/D006A2)

#12



Complete 6/25/04
30

DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **04DRB-00904 (FP)**

Project # **1002404**

Project Name: **LADERA INDUSTRIAL CENTER**

Agent: **Tierra West LLC**

Phone No.: **858-3100**

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6-16-04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): SPS lot area - AA submitted
To be revised to match plat. DM

Project Number 1002404

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required OK
- Copy of recorded plat for Planning.

12.B.C

AGIS ELECTRONIC APPROVAL FORM

DRB Project Case #: 1002404

Subdivision Name: Ladera Industrial Center - Lots 1A thru 1D

Surveyor: Thomas Patrick

Company/Agent: Community Sciences Corporation


Contact Person: _____ E-mail: _____

Phone: _____ Fax: _____

DXF Received Date: 6/8/2004

Hard-Copy Date: 6/8/2004

Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other


Approved

6/8/04
Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only

Copied cov2404 to agiscov on 6/8/2004. Contact person notified on 6/8/2004



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 16, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:55 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002002**
04DRB-00803 Major-Vacation of
Public Easements
04DRB-00805 Minor-Prelim&Final Plat
Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for RETAIL DEVELOPMENT INC, LLC request(s) the above action(s) for a Portion of Drainage Easement, **BEAR CANYON ARROYO**, zoned C-3 heavy commercial zone, located on SAN MATEO BLVD NE, between SAN MATEO BLVD NE and I-25 containing approximately 5 acre(s). [REF: 03DRB-00168, 03DRB-00605, 02DRB-01743] (E-17) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/16/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12/17/02 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION. FINAL PLAT WAS INDEFINITELY DEFERRED.**

2. **Project # 1002397**
04DRB-00798 Major-Vacation of
Public Easements
04DRB-00797 Minor-Vacation of
Private Easements

TIERRA WEST, LLC agent(s) for SHULL REALTY & WATERS EDGE LLC request(s) the above action(s) for all or a portion of Lot(s) 1-9, **LANDS OF TAYLOR - MARTIN L.**, zoned C-1 neighborhood commercial zone, located on LA ORILLA RD NW, between COORS BLVD NW and CORRALES DRAIN containing approximately 12 acre(s). [REF: Z-87-56, DRB-87-200, 04DRB-00762] (E-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

3. **Project # 1003236**
04DRB-00802 Major-Vacation of
Public Easements
04DRB-00801 Major-Preliminary Plat
Approval
04DRB-00799 Minor-SiteDev Plan
Subd/EPC
04DRB-00800 Minor-SiteDev Plan
BldPermit/EPC
04DRB-00804 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for JENNIFER SOULE request(s) the above action(s) for all or a portion of Lot(s) 1, MARIN SUBDIVISION, (to be known as **VILLA DE LA CHAMISA**, zoned SU-1 special use zone, for PRD, located on PARADISE BLVD NW, between VIVALDI TRAIL NW and BIG SAGE NW containing approximately 9 acre(s). [REF: 04EPC-00150] (*Deferred from 6/16/04*) (B-10) **DEFERRED AT THE AGENT'S REQUEST TO 6/23/04.**

4. **Project # 1002632**
04DRB-00760 Major-Bulk Land
Variance
04DRB-00761 Minor-Prelim&Final Plat
Approval

TIERRA WEST, LLC agent(s) for BUILDERS INVESTMENT CO. OF NM request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, PARAGON RESOURCES, (to be known as **SUNDANCE ESTATES**) zoned R-D residential and related uses zone, developing area FOR R-LT, located on PARADISE BLVD. NW, between LYONS BLVD. NW and BLANDA COURT NW containing approximately 122 acre(s). [REF: 03EPC-00690, 03DRB-01306] [*Deferred from 6/9/04*] (B-11) **THE BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY AND FINAL PLAT WERE APPROVED WITH FINAL PLAT DELEGATED TO PLANNING FOR AGIS DXF FILE AND THE 15-DAY APPEAL PERIOD AND TO CITY ENGINEER FOR AMAFCA SIGNATURE.**

5. **Project # 1002718**
04DRB-00758 Major-Preliminary Plat
Approval
04DRB-00759 Minor-Temp Defer
SDWK

TIERRA WEST, LLC agent(s) for TS MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 334B2A1 TRACT 334B2B, 334B1, **RIVERVIEW ACRES, UNIT 2**, zoned RA-1 residential and agricultural zone, semi-urban area, located on GABALDON RD NW, between RIVERSIDE DRAIN CANAL and GABALDON RD NW containing approximately 10 acre(s). [Deferred from 6/9/04]. (H-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/16/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/8/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

6. **Project # 1003231**
04DRB-00261 Major-Preliminary Plat
Approval
04DRB-00263 Minor-Temp Defer
SDWK

WILSON & COMPANY INC agent(s) for LONGFORD @ ARROWWOOD LLC request(s) the above action(s) for all or a portion of Tract(s) 29A & 30A1, **LANDS OF SALAZAR/QUATRO/SJ HANNETT**, zoned R-LT residential zone, located on 98TH ST SW, between RIO BRAVO SW and BLAKE SW containing approximately 59 acre(s). [REF: 02DRB-01621, 01622, 04DRB-00137] [Deferred from 5/19/04 & 6/9/04] (N-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/16/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/3/04 THE PRELIMINARY PLAT WAS APPROVED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE**

7. **Project # 1002739**
04DRB-00641 Major-Preliminary Plat Approval
04DRB-00642 Major-Vacation of Pub Right-of-Way
04DRB-00645 Major-Vacation of Public Easements
04DRB-00646 Minor-Sidewalk Waiver
04DRB-00647 Minor-Subd Design (DPM) Variance
04DRB-00648 Minor-Temp Defer SDWK
04DRB-00818 Minor-Subd Design (DPM) Variance

MARK GOODWIN & ASSOCIATES PA agent(s) for ANDERSON HEIGHTS LLC request(s) the above action(s) for all or a portion of Block(s) PARA & 2D, Tract(s) B-1 LANDS OF RIO BRAVO PARTNERS, ROSNER TRACTS, **ANDERSON HEIGHTS**, zoned R-D residential and related uses zone, developing area, located on 118TH STREET SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 249 acre(s). [REF: 03DRB-00983, 04DRB-00179] [*Deferred from 5-19-04 & 6-2-04*] (P-8/N-8) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/16/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/23/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

04DRB-00894 Minor-SiteDev Plan Subd

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HEIGHTS, LLC request(s) the above action(s) for all or a portion of Tract(s) 2-D, LANDS OF RIO BRAVO PARTNERS, **ANDERSON HEIGHTS**, zoned R-D residential and related uses zone, developing area, located on 118TH ST SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 119 acre(s). [REF: 04DRB00641, 00642-00645,00646,00647 & 0064848, 04DRB00818] (N-8/P-8) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. **Project # 1002792**
04DRB-00896 Minor-SiteDev Plan
Subd
04DRB-00897 Minor-SiteDev Plan
BldPermit
- GEORGE RAINHART ARCHITECTS & ASSOCIATES, agent(s) for TRUST OF ALBERT & MARY BLACK (JOHN BLACK), request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH**, zoned SU-1 FOR C3 (Restaurant w/full service liquor) & SU-1 FOR 0-1, located on COORS BLVD NW, between SEVEN BAR LOOP NW and ALAMEDA BLVD NW containing approximately 10 acre(s). REF: 04DRB-00184, 03DRB-01945, 03DRB-1946, 03DRB-02884, 03DRB017880, 03EPC02037, 03EPC02036, 03EPC02034, 0EPC02035, 3EPC01085, 03EPC01086, 0AA00222] [**Debbie Stover, EPC Case Planner**] (*Deferred from 6/16/04*) (B-14) **DEFERRED AT THE AGENT'S REQUEST TO 6/30/04.**
9. **Project # 1003239**
04DRB-00900 Minor-SiteDev Plan
BldPermit
04DRB-00899 Minor-SiteDev Plan
Subd/EPC
04DRB-00947 Minor-Prelim&Final Plat
Approval
- BRASHER & LORENZ, INC agent(s) for LEE SMITH request(s) the above action(s) for all or a portion of Tract(s) 264, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned SU-1 FOR C-3 USES, located on HANOVER RD NW, between 64th STREET NW and COORS BLVD NW containing approximately 5 acre(s). [REF: 04EPC00164, 04EPC00165] [**Makita Hill, EPC Case Planner**] (*Deferred from 6/16/04*) (H-10 & J-10) **DEFERRED AT THE AGENT'S REQUEST TO 6/23/04.**

10. **Project # 1000418**
04DRB-00824 Minor-SiteDev Plan
BldPermit

LPDJ ARCHITECTS, LLC, LELAND GRAY agent(s) for VICTORY LOVE FELLOWSHIP CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1 VICTORY LOVE FELLOWSHIP CHURCH (to be known as **LEGACY CHURCH**, zoned SU-1 FOR CHURCH & RELATED FACILITIES, located on CENTRAL AVE NW, between COORS BLVD NW and UNSER BLVD NW [REF: 00128-00459, 02EPC-01952, 03EPC 01471] [*Deferred from 6/2/04*] [**Makita Hill, EPC Case Planner**] K-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA. AN INFRASTRUCTURE LIST DATED 6/16/04 WAS APPROVED.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1002247**
04DRB-00890 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON, INC agent(s) for HUNT UPTOWN, LLC request(s) the above action(s) for all or a portion of Tract(s) A, **ABQ UPTOWN SITE, ST. PIUS X**, zoned SU-3 special center zone, located on INDIAN SCHOOL RD NE, between LOUISIANA BLVD NE and ESPANOLA ST NE containing approximately 18 acre(s). [REF: 1001164, 04DRB-00830] (*Deferred from 6/16/04*) (H-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/23/04.**

12. **Project # 1002404**
04DRB-00904 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) 1, **LADERA INDUSTRIAL CENTER**, zoned SU-1 FOR I-P, located on UNSER BLVD NW, between OLD OURAY RD NW and VISTA ORIENTE ST NW containing approximately 10 acre(s). [REF: Z-92-45, Z-81-49-1, DRB-99-102, 02EPC01948, 03EPC10192, 03EPC-01211, 03EPC01116, 04DRB00673, 04DRB00672] (H-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SPS LOT ACREAGE – AA SUBMITTED TO AMEND TO MATCH PLAT.**

13. **Project # 1002520**
04DRB-00893 Minor-Prelim&Final Plat
Approval
04DRB-00895 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for JENNIFER SOULE request(s) the above action(s) for all or a portion of Lot(s) 15 & 16, Tract(s) 2, Block(s) 4, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on ALAMEDA BLVD NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). [REF: 04DRB00705] (C-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/16/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/31/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

14. **Project # 1003469**
04DRB-00891 Minor-Prelim&Final Plat
Approval
04DRB-00892 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES, LTD request(s) the above action(s) for all or a portion of Lot(s) 25, 26 & 27, Tract(s) 3, Block(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 9, (to be known as OAKLAND SUBDIVISION)** zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB-00821] (*Deferred from 6/16/04*) (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 6/23/04.**

15. **Project # 1002743**
04DRB-00888 Minor-Prelim&Final Plat
Approval

BORDENAVE DESIGNS agent(s) for HARVEST HOMES LLC request(s) the above action(s) for all or a portion of Tract(s) C, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE NW containing approximately 2 acre(s). [REF: Z-03-01007, 03DRB00989] (F-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/16/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/17/79 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

04DRB-00886 Minor-Prelim&Final Plat
Approval

BORDENAVE DESIGNS agent(s) for HARVEST HOMES LLC request(s) the above action(s) for all or a portion of Tract(s) H, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE NW containing approximately 2 acre(s). [REF: 03DRB-00989, 03DRB01544, 03DRB02083, 04DRB00399] (F-11) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD WITH THE FINDING THAT THE REPLAT DOES NOT REQUIRE A REVISED INFRASTRUCTURE LIST OR SUBDIVISION IMPROVEMENTS AGREEMENT.**

16. **Project # 1003111**
04DRB-00715 Major-Final Plat Approval

ISAACSON & ARFMAN, PA agent(s) for WINDMILL MANOR PLACE, LLC request(s) the above action(s) for all or a portion of Tract(s) B, **WINDMILL MANOR**, zoned SU-1 PRD, located on DELLYNE AVE NW, between MARIPOSA DR NW and VALLE VISTA DR NW containing approximately 4 acre(s). [REF: 04DRB-00377, Z-95-79, Z-98-57, DRB-96-355, 03DRB-01986, 03DRB-01987, 01988, 01989] (Deferred from 5-19-04, Indef. Deferred on 5/26/04) (E-11) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

17. **Project # 1003430**
04DRB-00721 Minor-Prelim&Final Plat
Approval

ALDRICH LAND SURVEYING INC agent(s) for RONALD L. & JERI J. NASCI request(s) the above action(s) for all or a portion of Lot(s) 14A, Block(s) 03, **CRYSTAL RIDGE**, zoned R-LT, located on BARRETT AV E NW, between LOREN AVE. NW and LA CANADA DR. NW containing approximately 1 acre(s). [*Deferred from 5/19/04 & 6/2/04*] [REF: DRB 97-298, DRB 98-410] (Deferred from 6/16/04) (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 6/30/04.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

18. **Project # 1003486**
04DRB-00887 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST agent(s) for SERGIO ROMAN request(s) the above action(s) for all or a portion of Lot(s) 3, 4 & 4A, Block(s) 1, **APODACA & SEDILLO ADDITION**, zoned SU-2 special neighborhood zone, R-1 & LCR, located on EIGHTH ST SW, between BELL AVE. SW and LEWIS SW containing approximately 1 acre(s). (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1003475**
04DRB-00842 Minor-Sketch Plat or Plan

WILSON & COMPANY, INC. agent(s) for FELIX RABADI request(s) the above action(s) for an UNPLATTED PORTION of Tract(s) 7, **HORIZON LAND CORPORATION**, zoned SU-1 special use zone, PRD - FAR 0.5, located on the south side of PARADISE BLVD NW, between LYON BLVD NW and CONEFLOWER DR NW containing approximately 18 acre(s). [REF: Z-94-83, DRB-94-120] (*Deferred from 6/16/04*) (B-10 & B-11) **DEFERRED AT THE AGENT'S REQUEST TO 6/23/04.**

20. **Project # 1003488**
04DRB-00898 Minor-Sketch Plat or Plan

JEFF HENRY request(s) the above action(s) for all or a portion of Tract(s) 2A-2A-3, **JOURNAL CENTER BUSINESS PARK**, zoned IP, located on JOURNAL CENTER BLVD NW, between PAN AMERICAN and I-25 FRONTAGE RD containing approximately 7 acre(s). [REF: DRB-94-324, DRB-94-563, V-94-97] (D-17 & D-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1003487**
04DRB-00901 Minor-Sketch Plat or Plan

COMMUNITY SCIENCES CORPORATION, agent(s) for PETERSON PROPERTIES REAL ESTATE SERVICES INC. request(s) the above action(s) for all or a portion of Tract(s) 8 - 15 **BELMONT ADDITION AND** Tract(s) 10, **HARWOOD ADDITION**, zoned C-2 community commercial zone & P, located on 4TH ST NW, between SAN CLEMENTE NW and FREEMAN ST NW containing approximately 2 acre(s). (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Other Matters:

Project # 1003403
04DRB-00634 Minor-Sidewalk Waiver

ISAACSON & ARFMAN, P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) F, **THE TRAILS** (to be known as **THE RESERVE AT THE TRAILS**), zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and TOWN OF ALAMEDA GRANT SOUTH BOUNDARY containing approximately 18 acre(s). [REF: 1002962, 03DRB-01528] (Deferred from 5/19/04, 6/2/04) [On 6/9/04 the Preliminary Plat, Vacation of Public Easements and Temporary Deferral of Sidewalks was approved. The above request was omitted in error.] (C-9) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

ADJOURNED: 12:55 P.M.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICES HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002404

AGENDA ITEM NO: 12

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An executed Subdivision Improvements Agreement with financial guarantees is ^{on file} ~~required~~ for Final Plat sign-off.
Comments on plat.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 16, 2004



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00904 (FP)
Project Name: LADERA INDUSTRIAL CENTER
Agent: Tierra West LLC

Project # 1002404
Phone No.: 858-3100

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6.16.04 by the DRB with delegation of signature(s) to the following departments
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

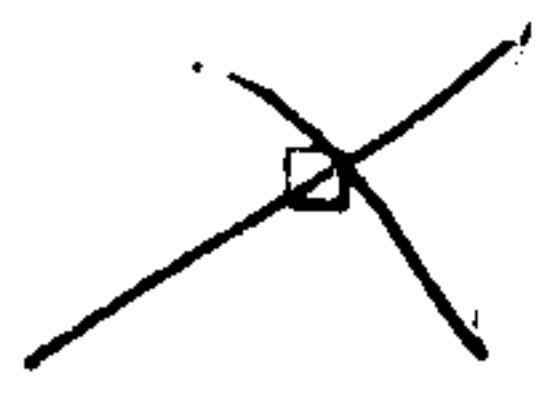
TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): PS lot acreages - AA submitted to amend to match plat.



Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required OK
- Copy of recorded plat for Planning.

Project Number 1002404

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
June 16, 2004
Comments**

ITEM # 12

PROJECT # 1002404

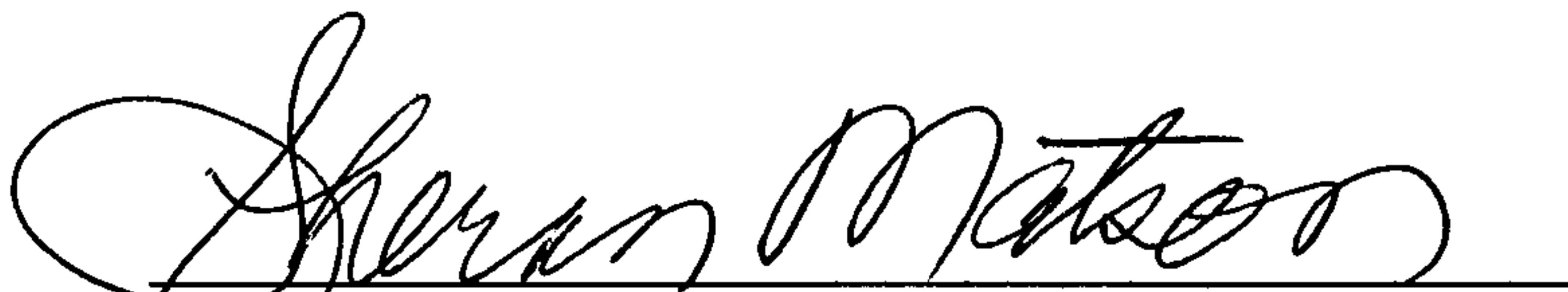
APPLICATION # 04-00904

RE: Lot 1, Ladera Industrial Center/final plat

The condition of final plat is: Does the acreage listed on the plat now match the acreage on the approved site plan?

Planning must file the plat as it has an infrastructure list attached.

AGIS dxf is approved.



Sheran Matson, AICP DRB Chairperson
924-3880 Fax 924-3864 smatson@cabq.gov

9

Complete 5/24/04 BL



DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00672 (SPS)
Project Name: LADERA INDUSTRIAL CENTER
Agent: Tierra West LLC

Project # 1002404
Phone No.: 858-3100

Your request for (SDP for SUB) (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/12/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: - need approved utility plan
- need Fire Marshall approval & fire flow calcs.

CITY ENGINEER / AMAFCA: _____

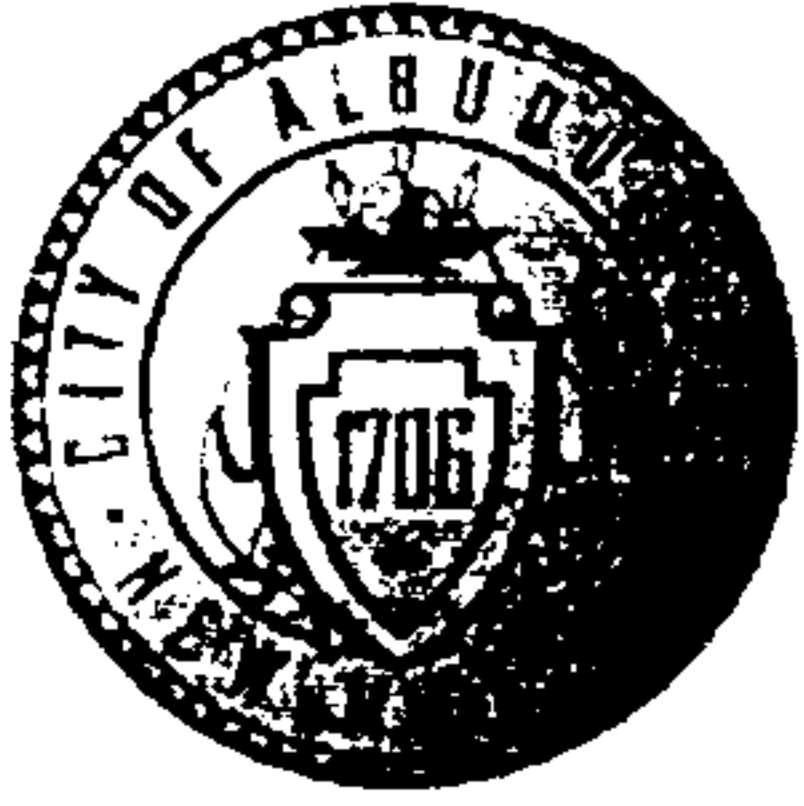
PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1002404



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

May 12, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE: 1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:05 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000332**
04DRB-00576 Major-Two Year SIA
SMITH ENGINEERING, INC. agent(s) for PRAXAIR, INC. request(s) this action(s) for all or a portion of Lot(s) 28A, Tract(s) A, Block(s) B, Unit(s) B, **NORTH ALBUQUERQUE ACRES**, zoned IP, located on SAN DIEGO ST NE, between SAN MATEO BLVD NE and I-25 containing approximately 3 acre(s). [REF: DRB-96-526, DRB-96-528, 02DRB-00340] (B-18) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED. THIS WILL BE THE LAST EXTENSION GRANTED.**

2. **Project # 1000128**
04DRB-00581 Major-Vacation of
Public Easements
04DRB-00580 Minor-Extension of
Preliminary Plat

MARK GOODWIN & ASSOCIATES, PA agent(s) for RANDALL HOMES, LLC request(s) these action(s) for **STONEBROOKE ESTATES**, zoned RD (7DU/Ac), located on EAGLE ROCK AVE NE, between SUNNYBROOK ST NE and JASPER DR NE containing approximately 1 acre(s). [REF: 03DRB-00640, 03DRB-00659] (C-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

3. **Project # 1001717**
04DRB-00594 Major-Preliminary Plat
Approval
04DRB-00595 Major-Vacation of Pub
Right-of-Way
04DRB-00597 Minor-Sidewalk Waiver
04DRB-00600 Minor-Temp Defer
SDWK

ABQ ENGINEERING INC agent(s) for WESTLAND DEVELOPMENT CORPORATION request(s) these action(s) for all or a portion of Tract(s) A, PARK & DRAINAGE MANAGEMENT AREA, TOWN OF ATRISCO GRANT, **LAURELWOOD SOUTH SUBDIVISION**, zoned RD, located on 72ND ST NW AND ALLEY H, between HANOVER RD NW and PARKWOOD DR NW containing approximately 8 acre(s). [REF: 02DRB-01391, DRB-95-348, DRB-97-268, 02DRB-00207, 02EPC-00133] (H-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5-12-04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12-17-02 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: PERIMETER WALL DESIGN MUST BE APPROVED PRIOR TO CONSTRUCTION. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

4. **Project # 1002798**
04DRB-00592 Major-Vacation of Pub
Right-of-Way
04DRB-00593 Minor-Vacation of
Private Easements

MARQUEZ SURVEYING agent(s) for WILLIAM HOLLER request(s) these action(s) for all or a portion of Tract(s) A, **RIMA ADDITION** and Tract(s) A, **CONRADO GARCIA ADDITION**, zoned SU-1, PRD located on CANDELARIA NW, between SAN ISIDRO NW and AVENIDA ENTRADA NW containing approximately 3 acre(s). [REF: 03EPC-01673, 03EPC-01674] [Deferred from 5-12-04] (G-13) **DEFERRED AT THE AGENT'S REQUEST TO 5-19-04.**

5. **Project # 1003366**
04DRB-00596 Major-Vacation of
Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for SHARIF (FELIX) RABADI request(s) this action(s) for all or a portion of Tract(s) T-1A-2, **TOWN OF ALAMEDA GRANT**, zoned SU-1 FOR PRD, located on GOLF COURSE RD NW, between IRVING BLVD NW and CALABACILLAS ARROYO containing approximately 9 acre(s). [REF: 04EPC-00498, Z-80-74, AX-80-16, Z-85-84, AX-85-20, Z-93-131, DRB-94-146, V-96-89] (B-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE FOLLOWING CONDITION OF FINAL PLAT: PRIOR TO FINAL PLAT APPROVAL FOR THE VACATION, THE SANITARY SEWER LINE HAS BEEN RELOCATED AND ACCEPTED FOR SERVICE BY NMUI.**

6. **Project # 1003369**
04DRB-00510 Major-Preliminary Plat Approval
04DRB-00511 Major-Vacation of Pub Right-of-Way
04DRB-00513 Minor-Temp Defer SDWK
04DRB-00519 Minor-Vacation of Private Easements

04DRB-00514 Major-Drainage Plan to Determine the Cost Allocation for Storm Drainage Improvements

04DRB-00659 Minor-Sidewalk Waiver

BOB KEERAN agent(s) for LLAVE CONSTRUCTION INC request(s) these action(s) for all or a portion of Unit(s) 3, Lot(s) 6 & 7, Tract(s) 3, Block(s) 16, NORTH ALBUQUERQUE ACRES, VINTNER COURT SUBDIVISION, zoned DETENTION POND, located on VINTNER NE, between VENTURA NE and CORONA NE containing approximately 2 acre(s). *[Deferred from 4/28/04]* (C-20) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5-12-04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4-20-04 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: A PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOT 8, BLOCK 16, TRACT 3, UNIT 3 ACROSS LOT 2. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. APPLICATION #04DRB-00514 WAS DEFERRED AT THE AGENT'S REQUEST TO 5-26-04.

BOB KEERAN agent(s) for LLAVE CONSTRUCTION INC. request(s) the above action(s) for all or a portion of Lot(s) 6 & 7, Block(s) 16, Tract(s) 3, Unit(s) 3, NORTH ALBUQUERQUE ACRES, VINTNER COURT SUBDIVISION, zoned R-D residential and related uses zone, developing area, located on VINTNER NE, between VENTURA NE and CORONA NE containing approximately 2 acre(s). [REF: 04DRB-00510, 04DRB-0511, 04DRB-00513, 04DRB-00519, 04DRB-00514] (C-20) THE SIDEWALK VARIANCE FOR THE WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

7. **Project # 1003232**
04DRB-00254 Major-Vacation of Pub
Right-of-Way
04DRB-00255 Major-Vacation of Public
Easements
04DRB-00253 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP. agent(s) for ENTRADA DEVELOPMENT LTD. CO. request(s) these action(s) for all or a portion of Lot(s) 8-P2, **CAMPBELL FARM SUBDIVISION** AND Tract(s) A, **LANDS OF ANDREWS**, zoned RA-2 residential and agricultural zone, located on CAMPBELL LANE NW, between CAMPBELL RD NW and MATTHEW RD NW containing approximately 2 acre(s). [REF: DRB-98-195, 04DRB-00139] [*Deferred from 3/24/04, 4/7/04 & 4/28/04*] (G-13) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN-OFF DELEGATED TO CITY ENGINEER FOR M.R.G.C.D. SIGNATURE AND THE REPLAT OF LOT 26 INCORPORATING THE VACATION.**

8. **Project # 1003087**
04DRB-00553 Major-Bulk Land Variance
04DRB-00554 Major-Vacation of Public
Easements
04DRB-00555 Major-Vacation of Public
Easements
04DRB-00556 Major-Preliminary Plat
Approval
04DRB-00557 Minor-Sidewalk Waiver
04DRB-00558 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) these action(s) for all or a portion of Tract(s) A, **WESTLAND NORTH, WATERSHED SUBDIVISION**, zoned SU-2 FOR PDA RESIDENTIAL RESORT, located on TIERRA PINTADA ST NW AND 98TH ST NW and containing approximately 531 acre(s). [REF: 03DRB-01869] [*Deferred from 5/5/04, 5-12-04*] (H-7, 8 & 9 & J-7 & 8) **DEFERRED AT THE AGENT'S REQUEST TO 5-19-04.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

9. Project # 1002404

04DRB-00672 Minor-SiteDev Plan

Subd/EPC

04DRB-00673 Minor-Prelim&Final Plat

Approval

TIERRA WEST, LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) 1, **LADERA INDUSTRIAL CENTER**, zoned SU-1 special use zone, for IP, located on UNSER BLVD NW, between OLD OURAY RD NW and VISTA ORIENTE ST NW containing approximately 10 acre(s). [REF: 03EPC-001211, 03EPC-01116, 03EPC-01092, 02EPC-01948, DRB-99-102] **[Russell Brito, for Simon Shima, EPC Case Planner] (H-9) THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT FOR APPROVED UTILITY PLAN AND FIRE MARSHALL'S APPROVAL FOR FIRE FLOW CALCULATIONS. THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: THE LOT ACREAGE ON THE FINAL PLAT MATCH THOSE ON THE SITE PLAN FOR SUBDIVISION. NEEDS CROSS LOT ACCESS AND DRAINAGE EASEMENTS. LOOK AT UTILITY EASEMENTS AND DEDICATION ALONG UNSER. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project # 1002984**
04DRB-00660 Minor-Prelim&Final Plat
Approval
- WILSON & CO. INC. agent(s) for VOLCANO CLIFFS PROPERTY OWNERS ASSOCIATION, request(s) the above action(s) for all or a portion of Lot(s) 8, Block(s) 7, **VOLCANO CLIFFS SUBDIVISION, UNIT 2** and Lots 9, 10, 17, 18, Block(s) 7, **VOLCANO CLIFFS SUBDIVISION, UNIT 5**, zoned R-1 residential zone, located on SHIPROCK CT NW, between KIBO DR. NW and RIMROCK DR NW containing approximately 2 acre(s). [REF: 03DRB-01610] (E-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5-12-04 THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN-OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND PROPERTY MANAGEMENT'S SIGNATURE.**
11. **Project # 1003186**
04DRB-00668 Minor-Temp Defer
SDWK
- RIO GRANDE ENGINEERING agent(s) for STV INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Lot(s) 442, Unit(s) 3, **LAND OF ATRISCO**, zoned RD-9DU / AC, located on 97th ST SW, between SAN YGNACIO RD SW and TOWER RD SW containing approximately 6 acre(s). (L-9) **THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREET WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

12. **Project # 1003123**
04DRB-00347 Minor-Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for EILEEN DEVEREUX & STEFAN WATSON request(s) this action for all or a portion of Tract(s) 77B1, **M.R.G.C.D MAP 36**, zoned S-M1, located on 5TH ST NW, between HAINES AVE NW and 6TH ST NW containing approximately 2 acre(s). [REF: 03DRB-02044] *[Final Plat was indefinitely deferred for SIA, deferred from 5/5/04]* (H-14) **THE FINAL PLAT WAS APPROVED AND SIGNED-OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

13. **Project # 1000976**
04DRB-00674 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS INC., agent(s) for GMR, LLC request(s) the above action(s) for all or a portion of **UNPLATTED LANDS OF MESA ENTERPRISES, UNPLATTED LANDS OF JACK HOFFMAN**, zoned MH residential zone, located WEST OF COORS BLVD SW, between ERVIEN LANE SW and ARENAL RD. SW containing approximately 27 acre(s). [REF: DRB-98-175, 00EPC-01763 & 64, 01DRB-00504] (M-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. **Project # 1003238**
04DRB-00661 Minor-Sketch Plat or Plan

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) A, B & C, Tract(s) 267, 268-B, 270-A-2, 270-A-1-C, 270-A-1-D, 270-B, AND 315-A-1-A-1, **M.R.G.C.D MAP #35 & LANDS OF ALBERT PEREZ**, zoned R-1 residential zone, located on I-40 WEST between RIO GRANDE BLVD NW and MONTOYA ST NW. [REF: 04EPC-00156 & 00157] (H-12/13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project # 1003393**
04DRB-00601 Minor-Sketch Plat or Plan

EQUITY REALTY agent(s) for VINCE J. AIELLO request(s) this action(s) for all or a portion of Lot(s) 12, 13, 14, 15 and 16, Block(s) 8, **ENCHANTED MESA**, zoned C-1 neighborhood commercial zone, located on CHELWOOD PARK BLVD NE, between MENAUL BLVD NE and CANDELARIA RD NE containing approximately 1 acre(s). (Was Indefinitely deferred on a no show 4/28/04) (H-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. **Project # 1003415**
04DRB-00664 Minor-Sketch Plat or Plan

DAVID M. SANCHEZ request(s) the above action(s) for all or a portion of Tract(s) 6 REPLAT OF LOTS 206, 207, 212, **TOWN OF ATRISCO GRANT, UNIT 6**, zoned R-1, located on OLD COORS RD SW, between BRIDGE BLVD SW and CENTRAL AVE SW containing approximately 1 acre(s). (L-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1003416**
04DRB-00670 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST agent(s) for MICHAEL GOMEZ request(s) the above action(s) for all or a portion of Tract(s) 317A, **TOWN OF ATRISCO GRANT, UNIT 3**, zoned R-1 residential zone, located on BRIDGE ST SW, between EUCARIZ AVE SW and BRIDGE BLVD SW containing approximately 3 acre(s). (L-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1003417**
04DRB-00671 Minor-Sketch Plat or Plan

MARK GOODWIN & ASSOCIATES, P.A. agent(s) for ALPHA EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 22-30, Block(s) 11, Tract(s) 1, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, 3 DU/AC, located on GLENDALE AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 8 acre(s). (B-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. Approval of the Development Review Board Minutes for April 28, 2004. **THE MINUTES FOR APRIL 28, 2004 WERE APPROVED.**

ADJOURNED: 12:05 P.M.

MEMO

#9

Date: 11 May 2004
To: Sheran Matson, DRB Chair
From: Russell Brito, Senior Planner *RS*
RE: Project # 1002404: 04DRB-00672 / 00673 /00538 (03EPC-01121)

It appears that all of the EPC Conditions of Approval for the site development plan for subdivision have been adequately addressed and/or met.

Please ensure that all Public Works, City Engineer, Municipal Development and Transportation Development conditions and necessities are provided for (Condition 5).



City of Albuquerque
 CITY OF ALBUQUERQUE, NEW MEXICO 87103
 PUBLIC WORKS DEPARTMENT
 DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002404

AGENDA ITEM NO: 9

SUBJECT:

- | | | |
|------------------------------|--------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Need cross-lot drainage easement.

RESOLUTION:

signed I.L. for RP.

FP indef

APPROVED X; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) **(SP-SUB)** (SP-BP) (FP) TO: **(UD)** (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: May 12, 2004

Complete

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 10024024 Application #: 11DRB-70353
 Project Name: Ladera Industrial Center
 Agent: Sion-Tek Inc. Phone #:

Your request was approved on 12-21-11 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA: add easement for pipe

PARKS / CIP:

PLANNING (Last to sign): add easement note for cross etc

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

~~AGIS DXF File approval required.~~

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): George Rainhart Architect / Associate PHONE: 505-884-9110
 ADDRESS: 2325 San Pedro NE suite 2-B FAX: 505-837-9877
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: grainhart@gra-arch.com

APPLICANT: Peterson Properties PHONE: 505-884-3578
 ADDRESS: 2325 San Pedro NE suite 2-A FAX: 505-884-6793
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: www.petersonproperties.net
 Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: _____

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 1-B, 1-D Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Ladera Industrial center
 Existing Zoning: SU-1 For IP uses Proposed zoning: same
 Zone Atlas page(s): H-9-Z UPC Code: _____ MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 03EPC-01211
and 07EPC00104

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 2 No. of proposed lots: 4 Total area of site (acres): 7.08 Acres
 LOCATION OF PROPERTY BY STREETS: On or Near: Unser Boulevard NW
 Between: Vista oriente NW and Ladera Channel

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 1/15/08
 (Print) Nasima Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>08DRB 70023</u>	<u>SBP</u>	<u>PL3</u>	<u>\$ 0</u>
<u>08DRB 70024</u>	<u>SPS</u>	<u>PL3</u>	<u>\$ 0</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	<u>\$ _____</u>
_____	_____	_____	<u>\$ _____</u>
Hearing date <u>01/23/08</u>	_____	_____	Total <u>\$ 20.00</u>

Sandy Handley 01/15/08
 Planner signature / date

Project # 1002404

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01) **Maximum Size: 24" x 36"**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Nasima A Hadi
Applicant name (print)

W. Aron 1/15/08
Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
08DRB - 70023
08DRB - 70024

Sandy Handley 01/15/08
Planner signature / date
 Project # 1002404

98th Unser



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 16, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project# 1002404**
07EPC-40050 SITE DEVELOPMENT -
SUBDIVISION
07EPC-40051 SITE DEVELOPMENT -
BUILDG PRMT

Peterson Properties
2325 San Pedro NE, Suite 2-A
Albuq. NM 87110

LEGAL DESCRIPTION: for all or a portion of
Lots 1-B and 1-D, LADERA INDUSTRIAL
CENTER zoned SU-1 FOR Light Industrial
located on UNSER BLVD NW BETWEEN
VISTA ORIENTE NW AND LADERA
CHANNEL containing approximately 7.08 acres.
(H-9) Anna DiMambro, Staff Planner

On November 15, 2007 the Environmental Planning Commission voted to approve Project 1002404/
07EPC 40050, a site development plan for subdivision, for Lots 1B and 1D, Ladera Industrial Center,
based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for subdivision with design guidelines for Lots 1B and 1D, Ladera Industrial Center, an approximately 7 acre site located on Unser Boulevard NW between Vista Oriente NW and the Ladera Channel. The subject site is currently vacant and is zoned SU-1 for Light Industrial.
2. This request was originally heard at the October 18, 2007 EPC hearing but was deferred for 30 days to the November 15, 2007 hearing to allow the applicant additional time to create a more pedestrian-friendly site design that would further applicable City policies.
3. The applicant is proposing to construct 6 buildings on the subject site with a variety of office, retail, and restaurant uses, all permissive under the current zoning. The site plan for subdivision eliminates the existing property line separating lots 1B and 1D and proposes new lot lines that will divide the subject site into four parcels. The western portion of the site will be developed as Phase I, with the remaining eastern portion of the site to be developed at a later date. The applicant has not provided a phasing timetable.

4. The site is located within the Developing Urban Area as designated by the Comprehensive Plan and is within the boundaries of the West Side Strategic Plan and the El Rancho Atrisco Phase III Sector Development Plan. The site is located partially within the boundaries of the Unser Boulevard Design Overlay Zone.
5. Transportation Planning findings:
 - a. Unser Blvd. is a limited access, principal arterial with a *minimum* right-of-way width of 156 feet as designated on Long Range Roadway System map.
 - b. Unser Blvd. is proposed to contain on-street bicycle lanes as designated on the Long Range Bikeway System map.
 - c. The City Engineer may require up to six (6) additional feet of right-of-way on Unser Blvd. to accommodate the designated bicycle lane.
6. This request furthers the following Comprehensive Plan policies for Developing and Established Urban Areas:
 - a. The applicant proposes to locate office and retail uses on the subject site. These are part of a full range of urban land uses (II.B.5.a).
 - b. The subject site is currently vacant and is contiguous to existing urban facilities and services. The proposed uses will not have a negative impact on the integrity of existing neighborhoods (II.B.5.e).
 - c. The proposal shows employment and service uses located to complement existing residential areas. Sufficient buffers exist between the subject site and residences to the north and west. The proposal will not draw traffic through a residential area (II.B.5.i).
7. This request furthers the following objectives of the West Side Strategic Plan:
 - a. This proposal will add to the mix of land uses on the West Side and will provide employment opportunities (Objective 1).
 - b. This request will promote job opportunities and business growth on the West Side. The ~~subject site is an appropriate location for this type of growth (Objective 8).~~
8. Several adverse comments have been received from reviewing agencies. Many of these have been addressed in subsequent site plan revisions. Recommended conditions of approval will address others of these comments.
9. There is no known neighborhood or other opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Design Guidelines:
 - ✓ a. Parking requirements for retail and financial businesses shall be stated as 1 space per 200 square feet.
 - b. The applicant shall revise guidelines concerning pedestrian crossways so that guidelines listed under "Site Planning" match those listed under "Pedestrian Features." The applicant may choose which guideline to use in making this correction.
 - ✓ c. Landscaping guidelines pertaining to landscape areas shall state, "Landscape areas shall be a minimum of 36 square feet and a minimum width of 5 feet. Living vegetative materials shall cover a minimum of 75% of each landscaped area. The area and percentage is calculated based on the mature size of all plant material."
 - ✓ d. Paragraph 2 under Signage shall read, "All signs shall be in compliance with the Unser Boulevard Design Overlay Zone."
 - ✓ e. Paragraph 3 under Signage shall read, "Two architecturally coordinated 12 foot tall signs, 75 square feet in sign area, are allowed along Vista Oriente Street. One such sign is allowed along Unser Boulevard. Each building pad is permitted a 50 square foot monument-sign adjacent to the internal site drive."
 - ✓ f. Transformer utility pads and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way but in such a way that is acceptable to the affected service provider to ensure safety and access for maintenance, repair and replacement of equipment.
4. The site development plan for subdivision shall be made to match the site development plan for building permit as approved by the EPC, including all conditions of approval.
5. City Engineer conditions:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.

- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- d. Construct site drives per recommendations in TIS.
- e. Provide cross access agreement between subdivided properties.
- f. Site plan shall comply and be designed per DPM Standards.
- g. Platting must be a concurrent DRB action.
- h. Dedication of a *minimum* 78 feet of right-of-way from the centerline of Unser Blvd. a limited access, principal arterial as designated on the Long Range Roadway System map.
- i. Dedication of an additional 6 feet of right-of-way along Unser Blvd. adjacent to the subject property as required by the City Engineer to provide for on-street bicycle lanes.
- j. Construction of the on-street bicycle lane along Unser Blvd. adjacent to the subject property as designated on Long Range Bikeways System map.

On November 15, 2007 the Environmental Planning Commission voted to approve Project 1002404/07EPC 40051, a site development plan for building permit, for Lots 1B and 1D, Ladera Industrial Center, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Lots 1B and 1D, Ladera Industrial Center, an approximately 7 acre site located on Unser Boulevard NW between Vista Oriente NW and the Ladera Channel. The subject site is currently vacant and is zoned SU-1 for Light Industrial.
2. The applicant is proposing to construct 6 buildings on the subject site with a variety of office, retail, and restaurant uses. The site plan for building permit shows a two-phase development. The western portion of the site will be developed as Phase I, with the remaining eastern portion of the site to be developed at a later date. The applicant has not provided a phasing timetable.

3. The site is located within the Developing Urban Area as designated by the Comprehensive Plan and is within the boundaries of the West Side Strategic Plan and the El Rancho Atrisco Phase III Sector Development Plan. The site is located partially within the boundaries of the Unser Boulevard Design Overlay Zone.
4. Transportation Planning findings:
 - a. Unser Blvd. is a limited access, principal arterial with a *minimum* right-of-way width of 156 feet as designated on Long Range Roadway System map.
 - b. Unser Blvd. is proposed to contain on-street bicycle lanes as designated on the Long Range Bikeway System map.
 - c. The City Engineer may require up to six (6) additional feet of right-of-way on Unser Blvd. to accommodate the designated bicycle lane.
5. This request furthers the following Comprehensive Plan policies for Developing and Established Urban Areas:
 - a. The applicant proposes to locate office and retail uses on the subject site. These are part of a full range of urban land uses (II.B.5.a).
 - b. The location and intensity of the proposed development respect existing neighborhood values and resources (II.B.5.d).
 - c. The subject site is currently vacant and is contiguous to existing urban facilities and services. The proposed uses will not have a negative impact on the integrity of existing neighborhoods (II.B.5.e).
 - d. The proposal shows employment and service uses located to complement existing residential areas. Sufficient buffers exist between the subject site and residences to the north and west. The proposal will not draw traffic through a residential area (II.B.5.i).
 - e. The proposed new commercial development is a permissive use under the current zoning. The applicant proposes to develop a small neighborhood-oriented center within reasonable distance of residential areas for walking and cycling (II.B.5.j).
6. This request conflicts with policy II.B.5.1 for Developing and Established Urban Areas because the proposed design is not innovative. Building architecture is ordinary.
7. This request furthers the following objectives of the West Side Strategic Plan:
 - a. This proposal will add to the mix of land uses on the West Side and will provide employment opportunities (Objective 1).
 - b. This request will promote job opportunities and business growth on the West Side. The subject site is an appropriate location for this type of growth (Objective 8).
 - c. The proposed site design is not in the form of a strip along a major street (Policy 1.3).
 - d. The proposed site design facilitates pedestrian access between most buildings (Policy 1.5).
 - e. The applicant is not proposing shared parking, but the site design is accommodating to pedestrians and bicyclists. Ample plaza areas are provided (Policy 1.15).

8. This request partially furthers Policy 3.23 of the West Side Strategic Plan because this proposal would locate commercial services on the western side of the Ladera Community. The subject site is not located in a designated Neighborhood Center; however, the proposed uses are consistent with the site's existing zoning (Policy 3.23).
9. This request is in conflict with Policy 4.6 of the West Side Strategic Plan because this proposal does not locate buildings directly adjacent to street frontages (Policy 4.6).
12. Several adverse comments have been received from reviewing agencies. Many of these have been addressed in subsequent site plan revisions. Recommended conditions of approval will address others of these comments.
13. There is no known neighborhood or other opposition.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered.
4. The applicant shall demonstrate how the Energy Management Goal, Section II.D.3 of the Comprehensive Plan, is furthered.
5. All signage shall be in compliance with the Unser Boulevard Design Overlay Zone.
6. Additional pedestrian connections shall be provided in the following locations:
 - a. From the far west row of parking adjacent to Unser Boulevard to Building 4 and to Building 6.
 - b. To the sidewalk surrounding the large triangular landscape area in the northeast corner of the site from the rows of parking to the north and to the east of it.

7. Elevations:
 - a. Column titles on the color and material chart provided on elevation sheets shall be corrected.
 - b. The proposed material "bark" shall be changed to "brick."
 - c. Elevations shall indicate how far canopies are to extend.
- 8.) Plans must receive approval of the Solid Waste Management Department.
9. Glazing or similar articulation shall be added to the south elevation of Building 4. Walkways from service entrances, if necessary, should be shown on the site plan.
10. Landscaping:
 - a. Calculations shall be labeled by Phase.
 - b. Additional landscaping shall be provided adjacent to Building 4 and at the southeast side of Building 1.
11. City Engineer conditions:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Construct site drives per recommendations in TIS.
 - e. Provide cross access agreement between subdivided properties.
 - f. Site plan shall comply and be designed per DPM Standards.
 - g. Platting must be a concurrent DRB action.
 - h. Dedication of a *minimum* 78 feet of right-of-way from the centerline of Unser Blvd. a limited access, principal arterial as designated on the Long Range Roadway System map.
 - i. Dedication of an additional 6 feet of right-of-way along Unser Blvd. adjacent to the subject property as required by the City Engineer to provide for on-street bicycle lanes.
 - j. Construction of the on-street bicycle lane along Unser Blvd. adjacent to the subject property as designated on Long Range Bikeways System map.
12. An Air Quality Impact Analysis shall be submitted as required.

OFFICIAL NOTICE OF DECISION

NOVEMBER 15, 2007

PROJECT #1002404

PAGE 8 OF 9

13. Parking:

- a. Motorcycle parking shall not be included in calculations of parking provided.
- b. The "MC" notation north of Building 6 shall be removed from the drive aisle.
- c. Two motorcycle parking spaces each shall be provided adjacent to Buildings 4 and 6. Motorcycle parking adjacent to Building 1a may be reduced to 2 spaces.
- d. Parking calculations shall be revised to show 121 spaces required for Phase I.

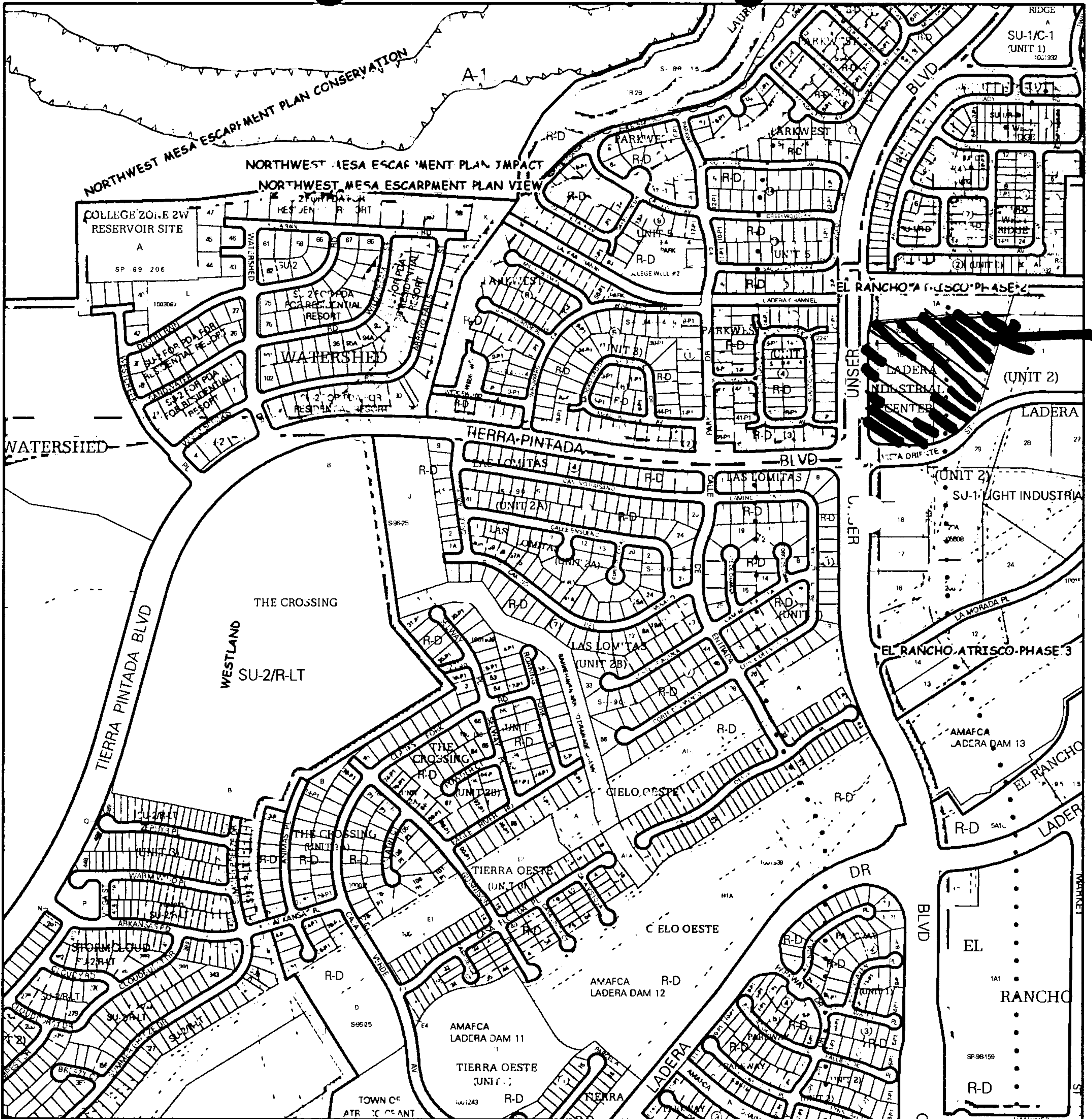
IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 30, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15-DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.


YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

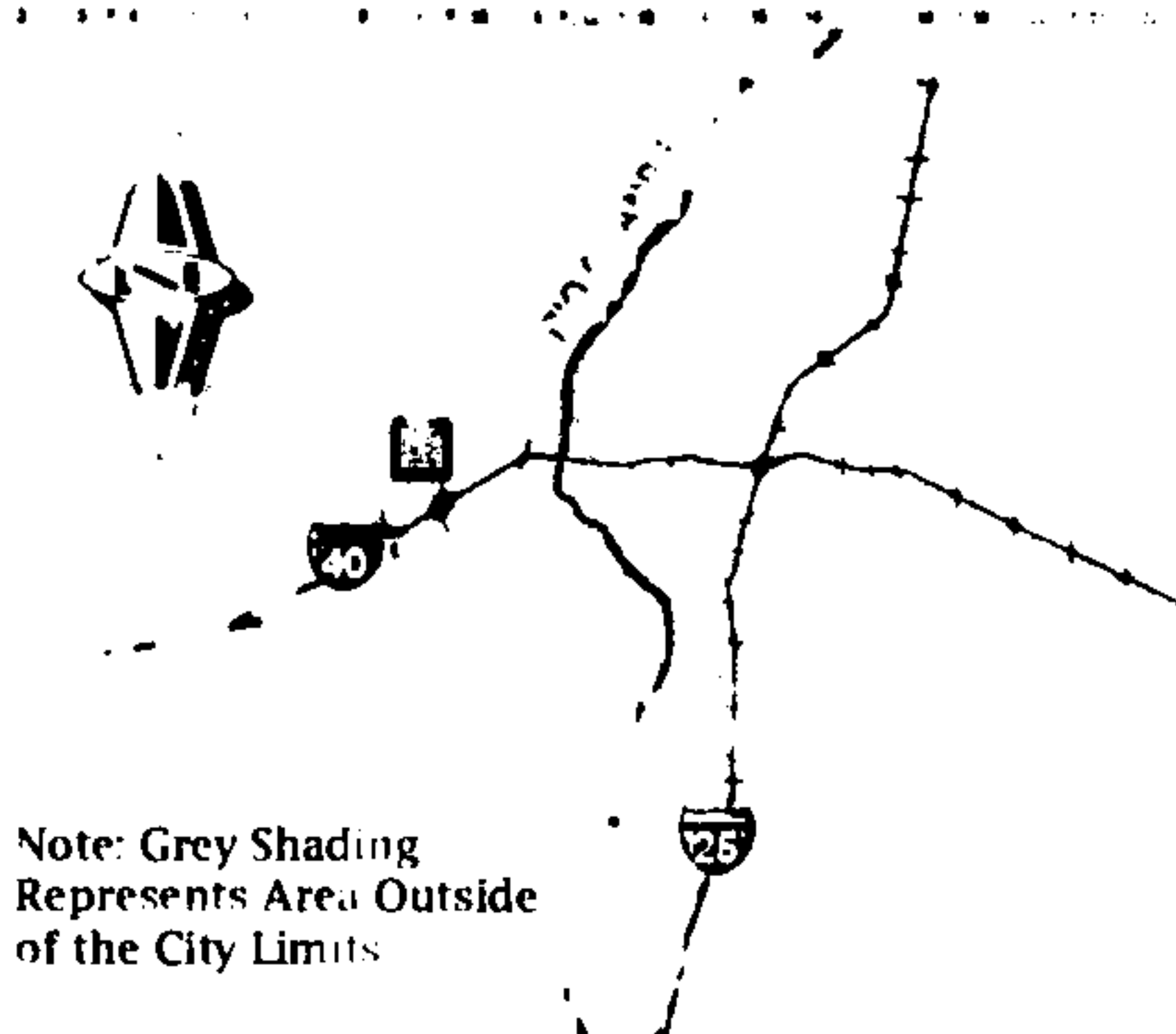
Sincerely,



For more current information and more details visit: <http://www.cabq.gov/gis>



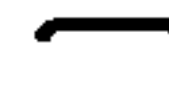
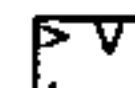


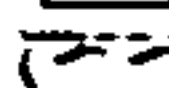




Map amended through: 9/6/2007

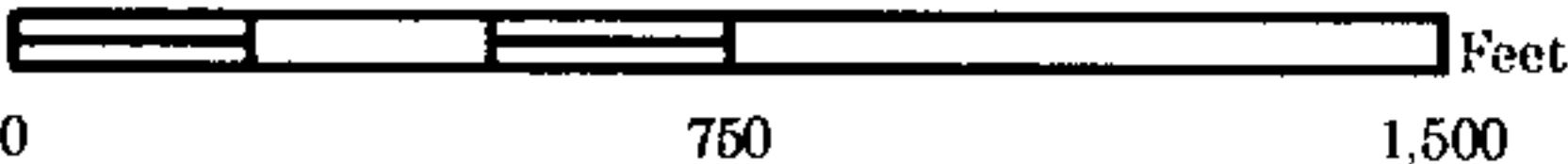


Note: Grey Shading Represents Area Outside of the City Limits

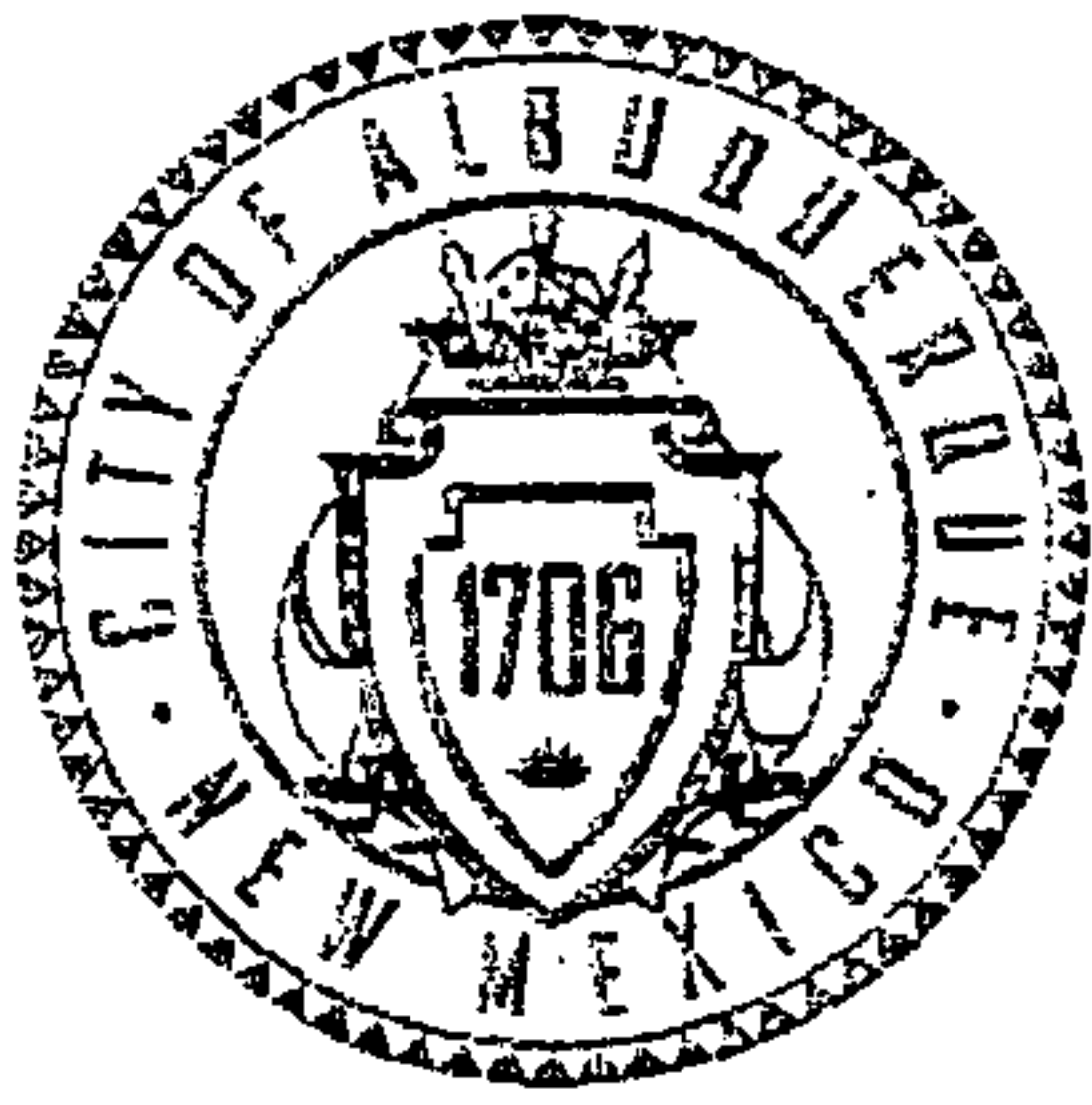
Zone Atlas Page:
H-09-Z

Selected Symbols

 SECTOR PLANS	 Escarpment
 Design Overlay Zones	 2 Mile Airport Zone
 City Historic Zones	 Airport Noise Contours
 H-1 Buffer Zone	 Wall Overlay Zone
 Petroglyph Mon.	



0 750 1,500 Feet



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

Interoffice Memorandum

November 8, 2007

Subject: Albuquerque Archaeological Ordinance—Compliance Documentation

Project Number(s):

Case Number(s):

Agent:

Applicant: DAC Enterprises

Legal Description: Lots 1-B and 1-D, Ladera Industrial Center

Acreage: 7.3 acres

Zone Atlas Page: H-9

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

NIAF submitted by TRC Solutions, October 2007

SITE VISIT: n/a

RECOMMENDATION(S):

- *CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 72 Section 4B(1)—no significant sites in project area).*

SUBMITTED:

Matthew Schmader, PhD
Superintendent, Open Space Division
Acting City Archaeologist

OFFICIAL NOTICE OF DECISION
NOVEMBER 15, 2007
PROJECT #1002404
PAGE 9 OF 9

CMarone

for

Richard Dineen
Planning Director

RD/AD/ac

cc: George Rainhart Arch., 2325 San Pedro NE, Suite 2-B, Albuquerque, NM 87110
Bob McCannon, Ladera West NA, 2808 El Tesoro Escondido NW, Albuquerque, NM 87120
Dan Serrano, Ladera West NA, 3305 Ronda De Lechusas NW, Albuquerque, NM 87120
JoAnne Barnett, Las Lomas NA, 8106 Calle Ensueno NW, Albuquerque, NM 87120
David Skowran, Las Lomas NA, 8116 Corte de Aguila NW, Albuquerque, NM 87120
John Valdez, Villages of Parkwest NW, 8312 Creekwood Ave. NW, Albuquerque, NM 87120
Tim Settle Villages of Parkwest NW, 8240 Meadowbrook NW, Albuquerque, NM 87120

January 11, 2008

City of Albuquerque
Planning Department
600 Second St. NW
Albuquerque, NM 87103

Re: SITE PLAN FOR BUILDING PERMIT & SITE PLAN FOR SUBDIVISION FOR
A 7.08 ACRE SITE LOCATED AT THE NORTHEAST CORNER OF UNSER
BOULEVARD AND VISTA ORIENTE STREETS
(Project #1002404/07EPC-40050 AND 07EPC-40051)

To Whom It May Concern:

We herewith are submitting a DRB application for Site Plan for Building Permit approval and Site Plan for Subdivision. The proposed project is located at Lot 1-B,1-D, Ladera Industrial Center, within the Town of Atrisco Grant, City of Albuquerque, Bernalillo County, N.M. The proposed site will be called "Unser Professional Park" Phase II. This submittal supersedes the master plan prepared by Tierra West, LLC Case numbers 03EPC-01211, and Case numbers 07EPC00104. The proposed buildings include restaurant, office/retail building and fast food with a drive up window. The submittal package includes supporting Civil and Landscape drawings, as well as the proposed design guidelines and proposed building elevations.

SITE DEVELOPMENT PLAN FOR SUBDIVISION

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

This letter describes the revisions made to the site plan in response to the EPC conditions.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

The staff planner has been consulted, and responses to conditions have been coordinated with her requirements.

3. Design Guidelines:
 - a. Parking requirements for retail and financial businesses shall be stated as 1 space per 200 square feet.
4. The site development plan for subdivision shall be made to match the site development plan for building permit as approved by the EPC, including all conditions of approval.
5. City Engineer conditions:

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be city standards. Those standards will include but not limited to sidewalk (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426), and wheelchair ramps (std. dwg. 2441).
- c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- d. Construct site drives per recommendation in TIS.
- e. Provide cross access agreement between subdivided properties.
- f. Site plan shall comply and be designed per DRB standards.
- g. Platting must be a concurrent DRB action.
- h. Dedication of a minimum 78 feet of right-of-way from the centerline of Unser Blvd. a limited access, principal arterial as designed on the Long Range Roadway System map.

All city Engineer requirements stated above will be met.

- i. Dedication of an additional 6 feet of right-of-way along Unser Blvd. adjacent to the subject property as required by the City Engineer to provide for on-street bicycle lanes.

There were nor required with Walgreens, should not to be required with this submittal.

- j. Construction of the on-site bicycle lane along Unser Blvd. adjacent to

the subject property as designed on Long Range Bikeways System map.

There are nothing to tie to construction dose not makes sense.

CONDITIONS:

1. The EPC Delegate final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

This letter describes the revisions made to the site plan in response to the EPC conditions.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

The staff planner has been consulted, and responses to conditions have been coordinated with her requirements.

3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered.

See notes on Design Guidelines under Landscaping paragraph two.

4. The applicant shall demonstrate how the Energy Management Goal, Section II.D.3 of the Comprehensive Plan, is furthered.

See notes on Design Guidelines under Architecture paragraph ten.

5. All signage shall be in compliance with the Unser Boulevard Design Overlay Zone.

The modification has been made.

6. Additional pedestrian connections shall be provided in the following locations:
 - a. From the far west row of parking adjacent to Unser Boulevard to Building 4 and to Building 6.

- b. To the sidewalk surrounding the large triangular landscape area in the northeast corner of the site from the rows of parking to the north and to the east of it.

The modification has been made see sheet AS.2.

7. Elevations:

- c. Column titles on the color and material chart provided on elevation sheets shall be corrected.
- d. The proposed material "bark" shall be changed to "brick."
- e. Elevations shall indicate how far canopies are to extend.

The modifications has been made see sheets A1.1, A1.2, A1.3 and A1.4.

7. Plans must receive approval of the solid Waste Management Department.

The Solid Waste Management Department has been approved.

8. Glazing or similar articulation shall be added to the south elevation of Building 4. Walkways from service entrances, if necessary, should be shown on the site plan.

The modification has been made see sheet A1.3.

9. Landscaping:

- a. Calculations shall be labeled by Phase.
- b. Additional landscaping shall be provided adjacent to Building 4 and at the southeast side of Building 1.

The modification has been made see sheet LS.1 and AS.2.

10. City Engineer conditions:

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All

public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and sheel chair ramps (std. dwg. 2441).

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- e. Provide cross access agreement between subdivided properties.
- f. Site plan shall comply and be designed per DPM Standards.
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All city Engineer requirements stated above will be met.

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- j. Construction of the on-street bicycle lane along Unser Blvd. adjacent to the subject property as designated on Long Range Bikeways System map.

There are nothing to tie to construction dose not makes sense.

An Air Quality Impact Analysis shall be submitted as required.

An Air Quality Impact Analysis has been made.

11. Parking:

- a. Motorcycle parking shall not be included in calculations of parking provided.

Motorcycle parking calculation is not included in calculation of parking.

- b. The "MC" notation north of Building 6 shall be removed from the drive aisle.

**"MC" notation removed from drive aisle
north of Building 6 see sheet AS.2**

- c. Two motorcycle parking spaces each shall be provided adjacent to Buildings 4 and 6. Motorcycle parking adjacent to building 1a may be reduced to 2 spaces.

**The modification has been made see
sheet AS.2.**

- d. Parking calculations shall be revised to show 121 spaces required for Phase I.

**The changes has been made see sheet
AS.2.**

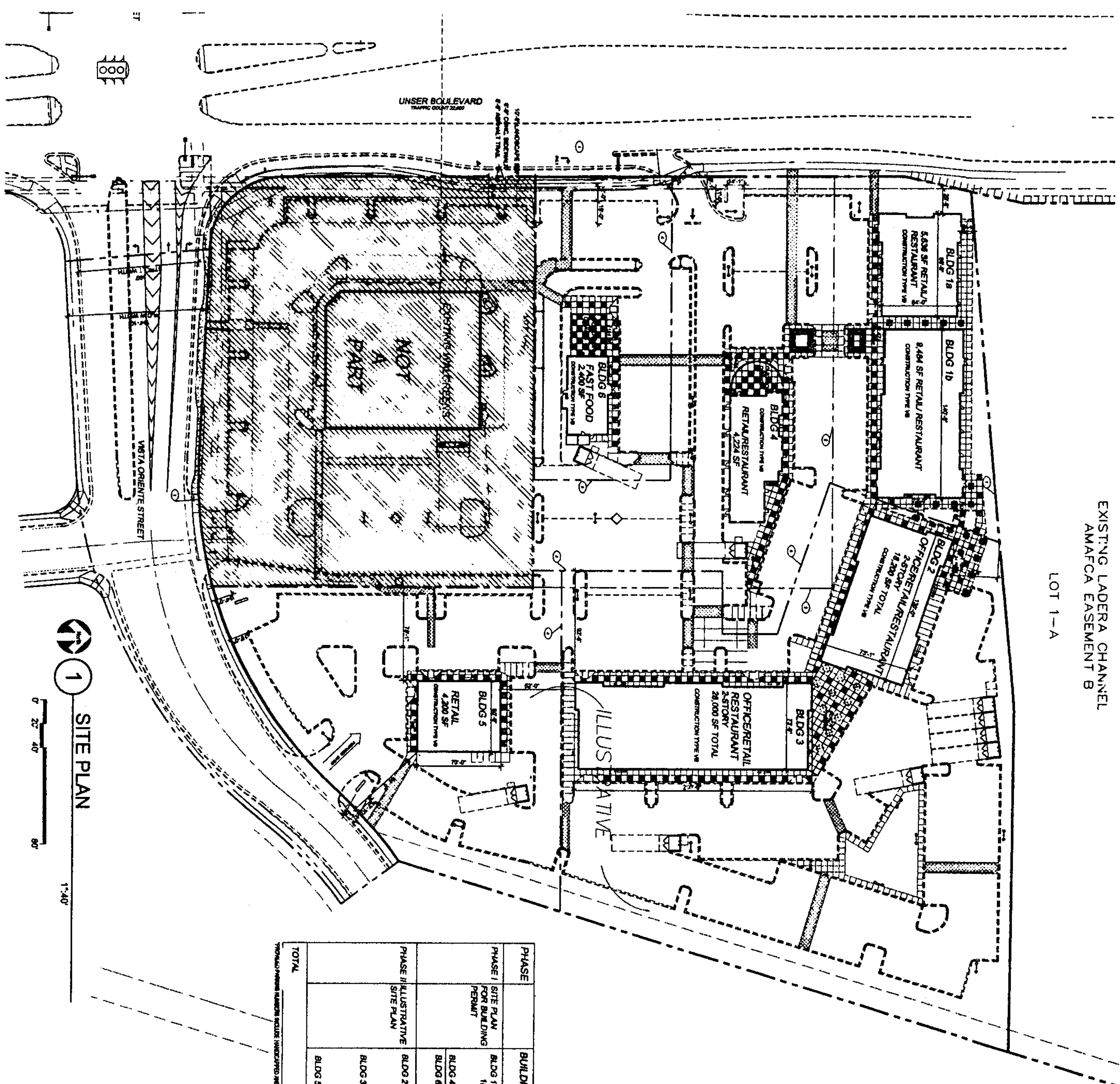
Sincerely,

George Rainhart Architects and Associates

Jonathan Stern AIA
Project Manager

EXISTING LADERA CHANNEL
AMAFCA EASEMENT B

LOT 1-A



KEYED NOTES

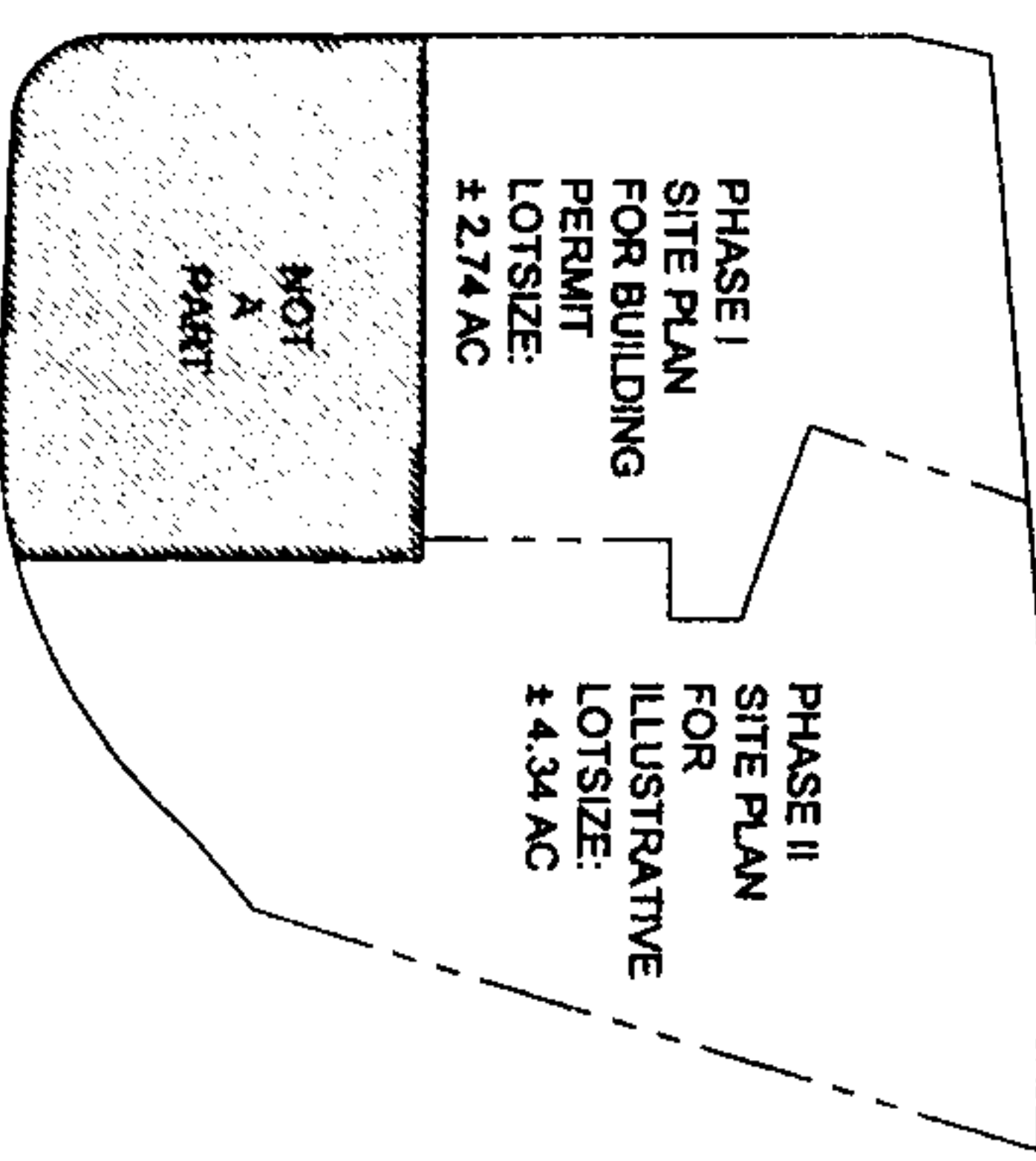
1. PROPOSED LOT LINE TO BE ESTABLISHED
2. EXISTING LOT LINE PER EXISTING PLAT
3. NEW PROPERTY LINE
4. EXISTING PROPERTY LINE

THE SITE IS LOCATED ON THE NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET. THE SITE IS 7.08 ACRES TWO LOTS. THE PROPOSED LOTS INCLUDE OFFICE, RETAIL, AND RESTAURANT IN CONFORMANCE WITH THE 2011 URBAN LIGHT INDUSTRIAL ZONING.

VEHICULAR ACCESS: TWO ACCESS POINTS ARE EXISTING ONE IS FROM UNSER BOULEVARD, ONE FROM VISTA ORIENTE STREET THROUGH THE WALGREENS PARTIAL. ANOTHER ACCESS WILL BE TACED FROM VISTA ORIENTE STREET. THE PROPOSED ACCESS OFF OF VISTA ORIENTE STREET WILL BE A FULL ACCESS POINT.

THERE IS EXISTING PEDESTRIAN ACCESS FROM UNSER BOULEVARD AND VISTA ORIENTE STREET. THE MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED A HEIGHT OF 27'. THESE SHALL BE AT FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON.

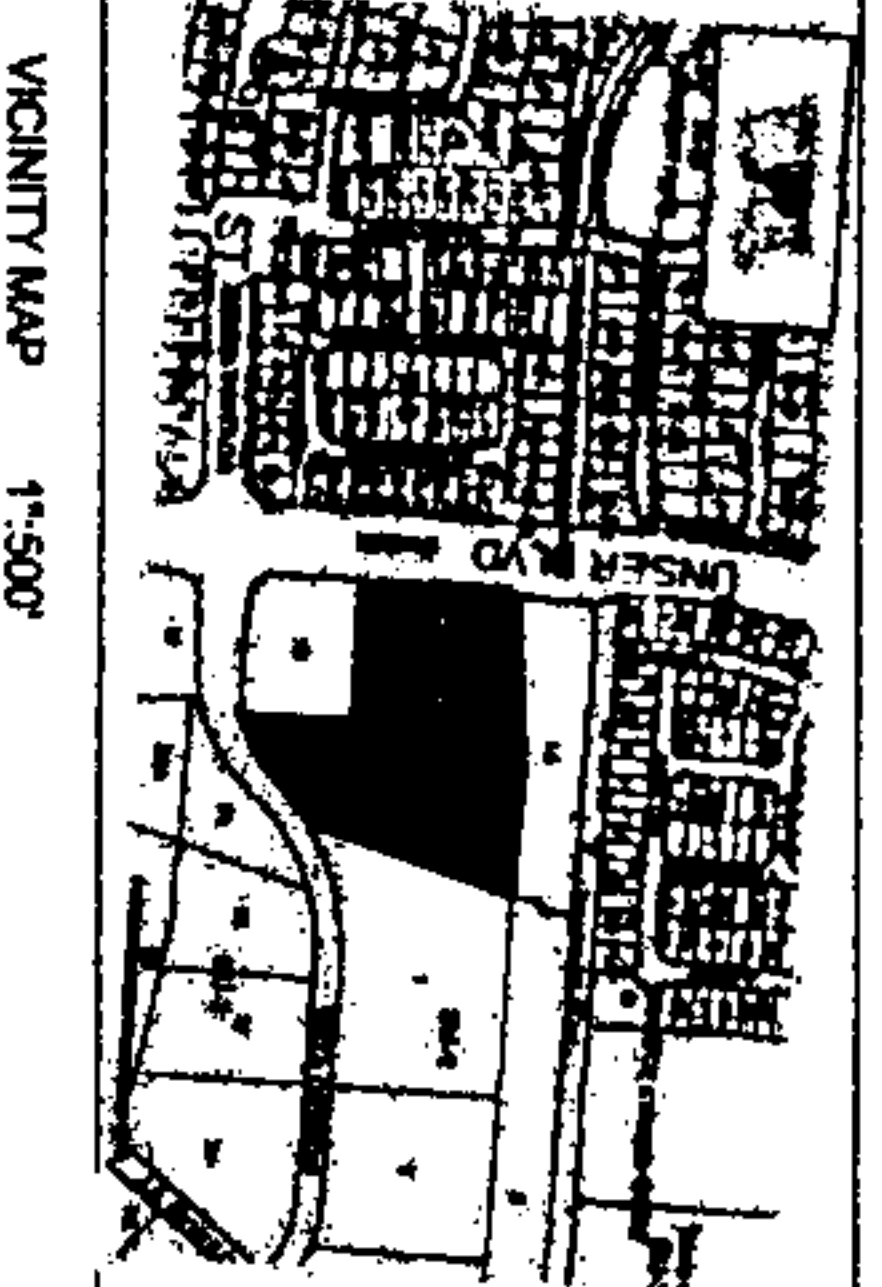
THE MAXIMUM FLOOR AREA RATIO PHASE I: 0.188 (F.A.R.) AND PHASE II: 0.28 (F.A.R.)



PHASE	BUILDING	TOTAL SF	USE/AREA	FACTOR	PARKING REQUIRED	PARKING PROVIDED	INCLUDES	INCLUDES	BICYCLE
PHASE I SITE PLAN PERMIT	BLDG 1a	15,120 SF	RETAIL 19,344 SF	1200 SF	87 SPACES	121	8	8	8
	BLDG 4	4,724 SF	RESTAURANT	1 PER 4 SEATS	24 SPACES				
	BLDG 6	2,400 SF	RESTAURANT (96 SEATS)						
	BLDG 8	4,200 SF	FAST FOOD						
PHASE II ILLUSTRATIVE SITE PLAN	BLDG 2	14,200 SF	RETAIL 20,400 SF	1200 SF	282 SPACES	287	8	8	14
	BLDG 3	28,000 SF	RETAIL 20,400 SF	1200 SF	282 SPACES	287	8	8	14
	BLDG 5	4,200 SF	RETAIL 20,400 SF	1200 SF	282 SPACES	287	8	8	14
TOTAL					373 SPACES	421 SPACES	16	16	22

NOTES: 1. EXISTING UTILITIES ARE SHOWN FOR INFORMATION ONLY. 2. EXISTING DRIVEWAYS AND WALKWAYS ARE SHOWN FOR INFORMATION ONLY.

1 SITE PLAN



VICINITY MAP 1"=500'

PROJECT TITLE
UNSER & VISTA ORIENTE
NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET
Albuquerque, NM

PROJECT MANAGER George Rainhart, AIA
JOB NO. 81423
DRAWN BY: MAN

SHEET TITLE
SITE PLAN FOR SUBDIVISION

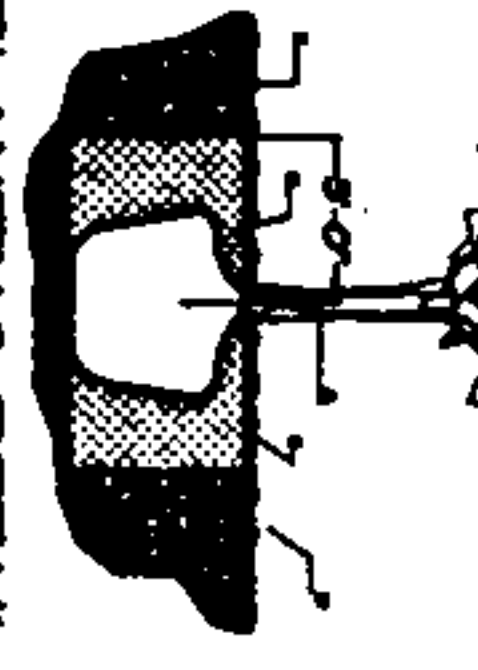
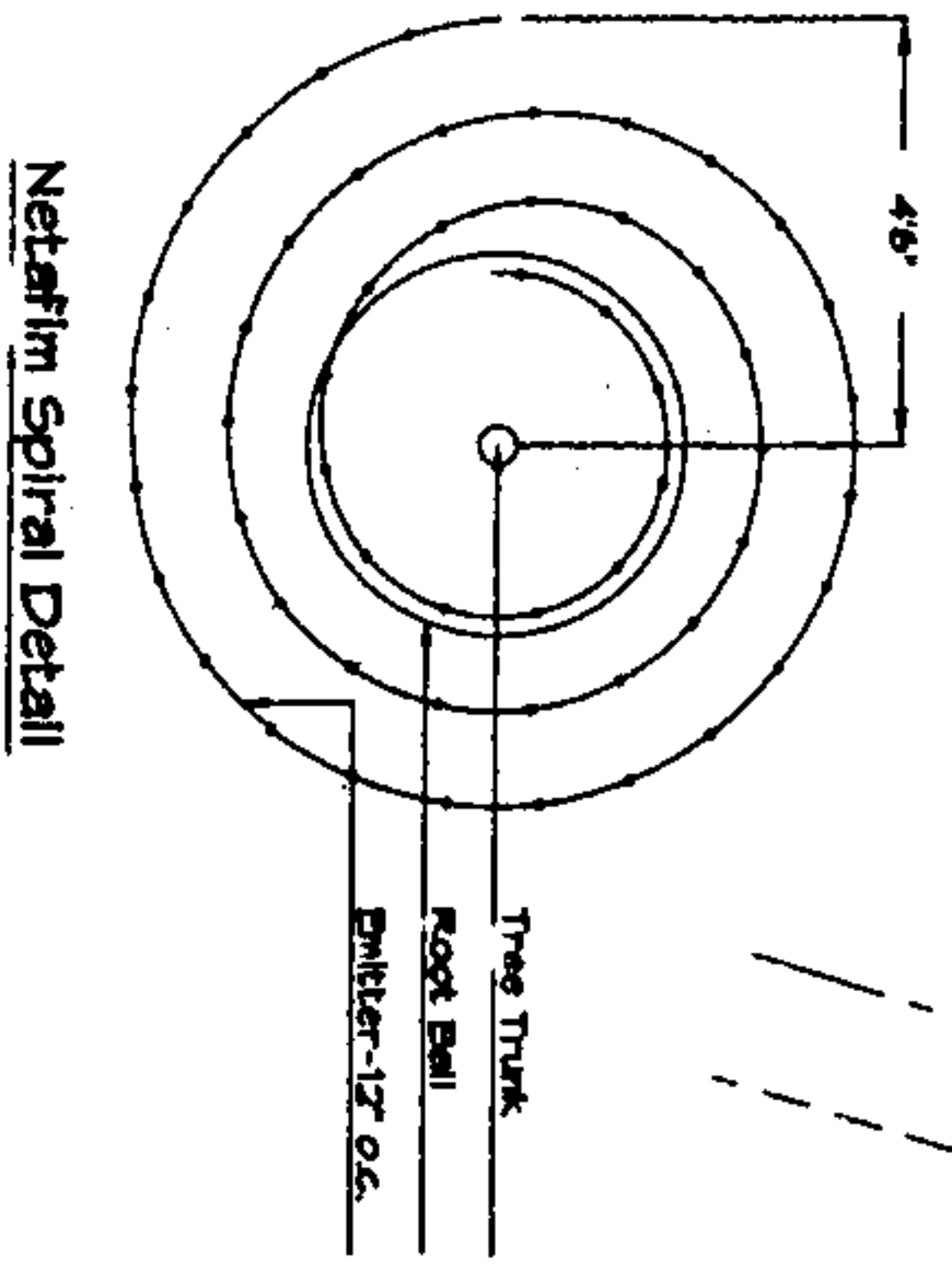
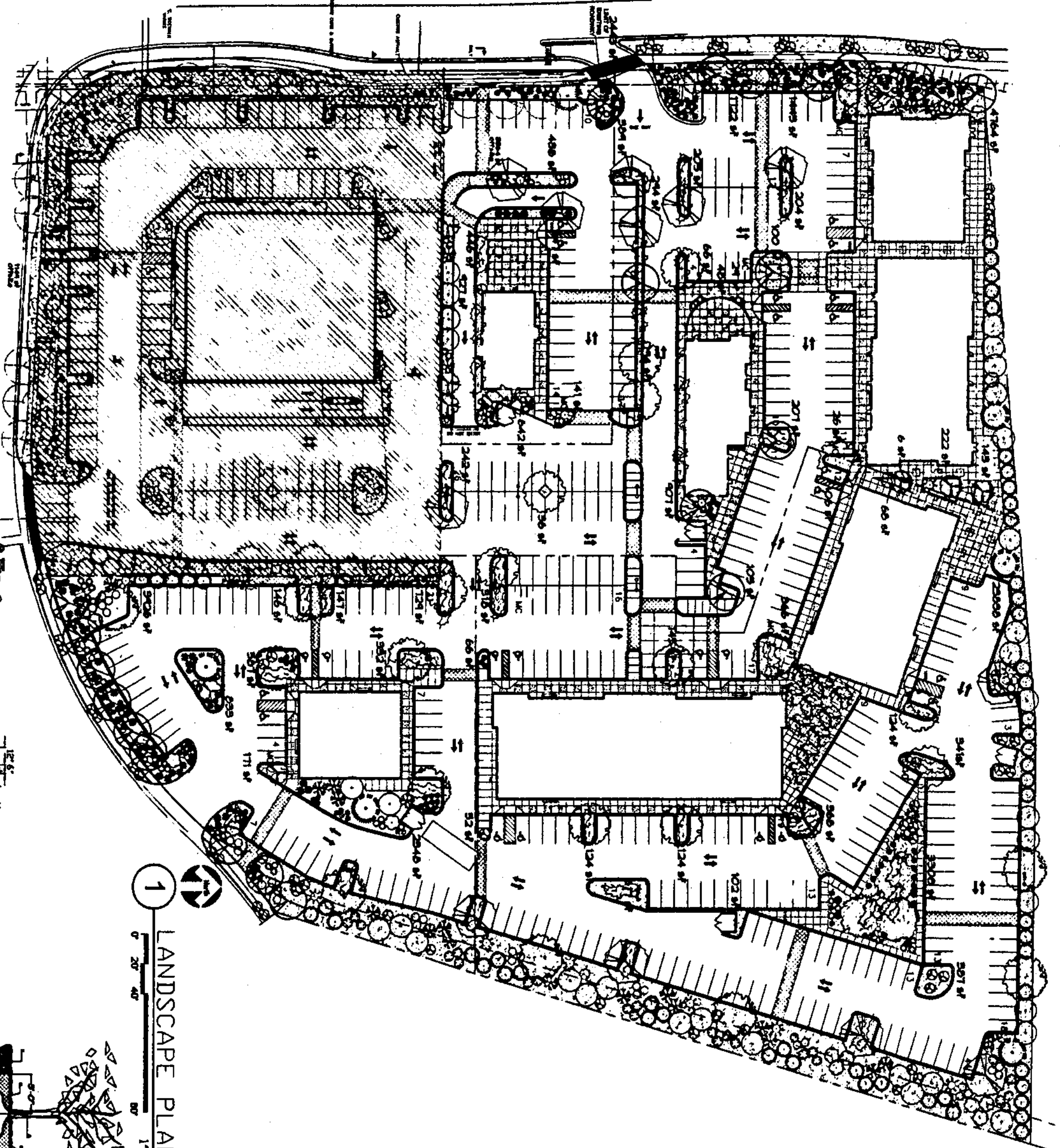
DATE: 10/20/07
SCALE: 1"=40'

AS.1



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 684-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION
1	10/20/07	MAN	CITY COMMENTS
2	10/20/07	MAN	CITY COMMENTS
3	10/20/07	MAN	CITY COMMENTS
4	10/20/07	MAN	CITY COMMENTS
5	10/20/07	MAN	CITY COMMENTS
6	10/20/07	MAN	CITY COMMENTS



SHRUB PLANTING DETAIL

GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RESTRICTION BARRIERS SHALL BE THREE TIMES THE DIAMETER OF THE SHRUBS PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUBS.
- B. BACKFILL WITH DIGGING SOIL.
- C. BASKET BERM AROUND WATER RESTRICTION BARRIER.
- D. 2\"/>

TREE PLANTING DETAIL

GENERAL NOTES:

1. INSTANTIAL SHALL BE PLACED ON UNDISTURBED SOIL.
2. PREPARE THE TREE FROM SETTING.
3. THE TREE SHALL BE PLACED AT THE CENTER OF THE PLANTING PIT.
4. THE TREE SHALL BE PLACED AT THE CENTER OF THE PLANTING PIT.
5. THE TREE SHALL BE PLACED AT THE CENTER OF THE PLANTING PIT.
6. THE TREE SHALL BE PLACED AT THE CENTER OF THE PLANTING PIT.
7. THE TREE SHALL BE PLACED AT THE CENTER OF THE PLANTING PIT.
8. THE TREE SHALL BE PLACED AT THE CENTER OF THE PLANTING PIT.
9. THE TREE SHALL BE PLACED AT THE CENTER OF THE PLANTING PIT.
10. THE TREE SHALL BE PLACED AT THE CENTER OF THE PLANTING PIT.

CONSTRUCTION NOTES:

- A. TREE.
- B. BACKFILL WITH DIGGING SOIL.
- C. 2\"/>

LANDSCAPE PLAN

PLANT LEGEND	PHASE ONE	PHASE TWO
SHRUBBED OAK (M) 2\"/>	0	12
GRAPPA (M) 2\"/>	4	0
COCAON OCCIDENTAL (M) 2\"/>	0	5
STRACONE (M) 2\"/>	1	5
CHAMPAGNE PISTACHE (M) 2\"/>	14	10
FRANCO (L) 6\"/>	1	4
NONI MEXICO OLIVE (L) 5\"/>	10	34
PARASOLAR PLANT (M) 1\"/>	10	15
QUILLAJA WITH MACHOANAY (L) 5\"/>	4	40
SPANISH BROOM (M) 5\"/>	6	26
BUTTERNUT (M) 1\"/>	2	12
ROSE OF SHARON (M) 5\"/>	5	4
APACHE PLUME (L) 5\"/>	0	36
RED YUCCA (L) 5\"/>	42	51
RESAL VEST (M) 5\"/>	59	72
TEMPERATE BUSH (L) 1\"/>	35	40
POTENTIALIA (M) 1\"/>	17	4
NONI MEXICO OLIVE (L) 1\"/>	51	52
CHRYSOCHLORUM MEXICANUM 1\"/>	0	29
THEODORAS (M) 1\"/>	57	24
GENERALIST COTONEASTER (M) 1\"/>	56	52

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	115,504	18,500 square feet
TOTAL BUILDINGS AREA	27,844	27,800 square feet
NET LOT AREA	87,660	87,660 square feet
LANDSCAPE REQUIREMENT	1,025	2,400 square feet
TOTAL BED PROVIDED	16,600	3,970 square feet
GRANDCOVER REQD	12,475	2,750 square feet
TOTAL GRANDCOVER REQUIREMENT	21,111	4,700 square feet
TOTAL GRANDCOVER PROVIDED	21,111	4,700 square feet
TOTAL BED AREA	0	0 square feet
TOTAL LANDSCAPE PROVIDED	16,600	3,970 square feet

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque's Water Conservation Landscaping and Water Reuse Ordinance. The Property Owner shall maintain the plants and trees in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping shall be in conformance with the City of Albuquerque's Water Conservation Landscaping and Water Reuse Ordinance. It is the intent of this plan to comply with the City of Albuquerque's Water Conservation Landscaping and Water Reuse Ordinance.

Plant beds shall achieve 75% the ground cover as indicated.

3/4\"/>

REGULATION NOTES:

Irrigation shall be a complete underground system with 1/2\"/>

STREET TREE REQUIREMENTS:

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Names of Street: Street Blvd.
 Required s.d.: Provided s. 4
 Name of Street: Vista Oriente
 Required s.d.: Provided s. 4
 Name of Street: Vista Oriente
 Required s.d.: Provided s. 4

PHASED LOT TREE REQUIREMENTS:

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

1. Shade trees per 10 spaces: 15
 1.6d. 1.6d. 1.6d.
 1.1.2. Required: 1.27. Provided: 1.30

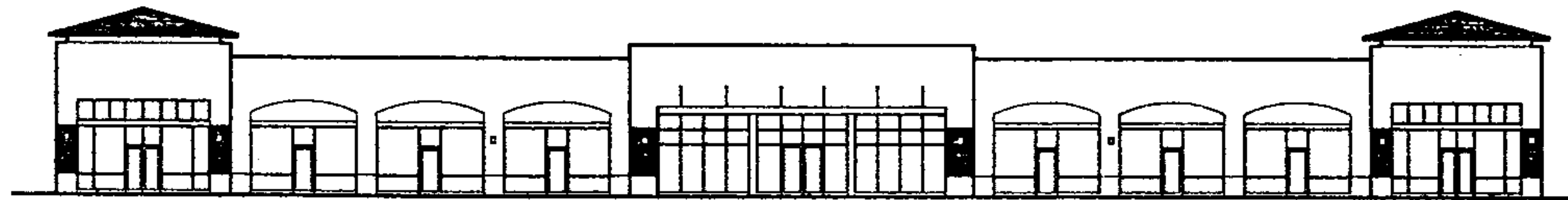
NOTE TO CLIENT:

Should the client require a landscape plan during the design process or the on-site grading and drainage plan, the landscape plan shall be provided. The landscape plan shall be provided. The landscape plan shall be provided.

The Hilltop

UNIVERSITY MICROFILMS & BOOKS
 300 N. ZEEB RD.
 ANN ARBOR, MI 48106
 TEL: (313) 996-4600
 FAX: (313) 996-7737
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UNSER & VISTA ORIENTE NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET ALBUQUERQUE, NM		GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C. 2325 SAN PEDRO NE., SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 884-9110 FAX (505) 837-9877																					
PROJECT NO: 14-25-01 SHEET NO: 15.1 DATE: 10-20-07	PROJECT MANAGER: George Rainhart DESIGNER: RAJ	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>BY</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td>15</td> <td>10-20-07</td> <td>RAJ</td> <td>revised site plan</td> </tr> <tr> <td>14</td> <td>10-20-07</td> <td>RAJ</td> <td>revised site plan</td> </tr> <tr> <td>13</td> <td>10-20-07</td> <td>RAJ</td> <td>revised site plan</td> </tr> <tr> <td>12</td> <td>10-20-07</td> <td>RAJ</td> <td>revised site plan</td> </tr> </tbody> </table>	REV	DATE	BY	REVISION	15	10-20-07	RAJ	revised site plan	14	10-20-07	RAJ	revised site plan	13	10-20-07	RAJ	revised site plan	12	10-20-07	RAJ	revised site plan	PROJECT TITLE: UNSER & VISTA ORIENTE SHEET TITLE: LANDSCAPING PLAN
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THE NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET

PROFESSIONAL PARK

UNSER PROFESSIONAL PARK DESIGN GUIDELINES

THE PURPOSE OF THESE DESIGN GUIDELINES IS TO PROVIDE A FRAMEWORK TO ASSIST THE ARCHITECTS, LANDSCAPE ARCHITECTS AND DESIGNERS IN UNDERSTANDING THE VISION OF THE DEVELOPMENT GOALS. THE DESIGN STANDARDS SHOULD BE USED TO FACILITATE THE DESIGN OF BUILDINGS WHICH RESPECT THE EXISTING SITE CONDITIONS AND THE CHARACTER AND LAND USES OF THE ADJACENT PROPERTIES AND NEIGHBORHOODS.

THESE DESIGN GUIDELINES REPLACE THE LAGUNA INDUSTRIAL CENTER DESIGN GUIDELINES.

WHERE CONFLICTS EXIST BETWEEN THESE GUIDELINES AND OTHER ADOPTED CITY GUIDELINES AND/OR REGULATIONS, THE MORE RESTRICTIVE SHALL APPLY.

THESE STANDARDS ADDRESS THE ISSUES OF LANDSCAPE, SETBACKS, PEDESTRIAN AMENITIES, SCREENING, LIGHTING, SIGNAGE AND ARCHITECTURE THAT WILL ESTABLISH THE VISUAL IMAGE FOR UNSER PROFESSIONAL PARK. THESE STANDARDS ARE ESTABLISHED TO CONTROL FUTURE COMMERCIAL DEVELOPMENT WITHIN UNSER PROFESSIONAL PARK.

SUBSEQUENT SITE PLANS FOR BUILDING PERMITS SHALL BE CONSISTENT WITH THE DESIGN STANDARDS ESTABLISHED BY THIS SITE PLAN FOR SUBDIVISION AND SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION. ALL MINOR AMENDMENTS TO THIS SITE PLAN FOR SUBDIVISION SHALL BE APPROVED ADMINISTRATIVELY BY THE PLANNING DIRECTOR IN ACCORDANCE WITH THE COMPREHENSIVE CITY ZONING CODE, SECTION 14-16-3-2(A)(X). MAJOR AMENDMENTS SHALL BE REQUIRED APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION.

SITE PLANNING

IT IS INTENDED TO MAINTAIN A STANDARD QUALITY AND CONSISTENCY IN STYLE FOR SITE AMENITIES SUCH AS BENCHES, WALKWAYS, LIGHTING, ETC., CREATING SAFE AND PLEASANT FEELS THAN CIRCULATION WAYS.

THE FOLLOWING ARE INTENDED TO SET THESE STANDARDS:

ALL PEDESTRIAN WALKWAYS THROUGHOUT UNSER PROFESSIONAL PARK SHALL BE BUILT TO CITY OF ALBUQUERQUE REQUIREMENTS.

ALL CROSS WALKS BETWEEN PARCELS AND ACROSS DRIVES SHALL BE 4'-0" INSET OR RAISED BRICK OR TILE WALKS.

ALL PEDESTRIAN WALKS SHALL BE DESIGNED TO SATISFY AMERICAN WITH DISABILITIES ACT CRITERIA EXCEPT WHERE TOPOGRAPHY MAKES THIS UNFEASIBLE.

EACH BUILDING IS TO HAVE A CROSSWALK CONNECTION TO EACH OTHER.

EACH COMMERCIAL LOT IS TO HAVE AN OUTDOOR SITTING AREA WITH FIXED BENCH. EACH LOT SHALL PROVIDE A SECURE BICYCLE STORAGE RACK THAT IS CONVENIENTLY LOCATED TO EACH BUILDING AND IN A LOCATION LEAST OBSTRUCTIVE TO PEDESTRIAN AND VEHICULAR CIRCULATION.

PARKING

IN SUPPORT OF THE GOALS FOR PEDESTRIAN ACCESSIBILITY, CAREFUL ATTENTION SHOULD BE PAID TO THE PARKING DESIGN. AN EFFORT SHALL BE MADE BY SITE DESIGNERS TO MINIMIZE THE VISUAL IMPACT OF PARKING FACILITIES. IN RELATING TO THE SURROUNDING AREAS SHALL BE BROKEN WITH INTERMEDIATE LANDSCAPE AREAS. ADDITIONAL GUIDELINES ARE AS FOLLOWS:

PARKING REQUIREMENTS FOR RETAIL AND FINANCIAL BUSINESSES SHALL BE 8 SPACES PER 300 SQUARE FEET.

HANDICAPPED AND MOTORCYCLE PARKING SPACES SHALL BE PROVIDED ADJACENT TO THE BUILDING ENTRANCES.

PARKING SHALL BE DESIGNED TO INCLUDE A PEDESTRIAN ACCESS TO BUILDINGS. (SEE PEDESTRIAN FEATURES BELOW)

PARKING AREAS ADJACENT TO VISTA ORIENTE AND UNSER BLVD ARE REQUIRED TO BE SCREENED BY THE USE OF LANDSCAPING, LANDSCAPING BERRIS, GARDEN WALLS OR ANY COMBINATION OF SCREENING. GARDEN WALLS SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE SURROUNDING BUILDINGS.

PEDESTRIAN FEATURES

- 1) ALL PEDESTRIAN PATHS SHALL BE DESIGNED TO BE HANDICAPPED- ACCESSIBLE (SEE AMERICAN WITH DISABILITIES ACT CRITERIA FOR BANNER-FREE).
- 2) PEDESTRIAN CONNECTIONS TO BUILDINGS SHALL BE PROVIDED IN PARKING LOTS FOLLOWING THE ILLUSTRATIVE SITE PLAN SHALL CONNECT TO ADJACENT ROADWAYS, SIDEWALKS, AND PATHWAYS.
- 3) PEDESTRIAN CROSSINGS SHALL BE CLEARLY DEMARCATED WITH TEXTURED, WITH BRICK OR TILE WALKS WHERE THEY CROSS VEHICULAR ENTRANCES AND DRIVE AISLES.

OFF STREET PARKING REQUIREMENTS

RETAIL AND FINANCIAL BUSINESSES PARKING SHALL BE STATED AS 1 SPACE PER 200 SQUARE FEET. PER 1,000 SQUARE FEET OF LEASED BUILDING AREA.

FAST FOOD RESTAURANTS SHALL HAVE NO LESS THAN 8 SPACES PER 1,000 SQUARE FEET OF BUILDING AREA. FAST FOOD RESTAURANTS SHALL HAVE NO LESS THAN 8 SPACES PER 1,000 SQUARE FEET OF BUILDING AREA OR ONE PARKING SPACE PER FOUR SEATS WHOEVER PROVIDES FOR LESS PARKING SPACES.

EACH PARCEL SHALL HAVE A MOTORCYCLE PARKING AREA TO ACCOMMODATE TWO MOTORCYCLES.

LANDSCAPING

THE DEVELOPMENT OF THE OVERALL LANDSCAPE DESIGN SHALL ESTABLISH GUIDELINES THAT UNIFY THE PROPERTY AND IS APPROPRIATE FOR THE NEARBY NEIGHBORHOODS. THE LANDSCAPE DESIGN SHOULD EMPHASIZE LOW WATER, NATIVE AND NATURALIZED PLANT SPECIES. ALL LANDSCAPE AREAS NEED TO BE COORDINATED AND RESPONSIVE TO EXISTING ENVIRONMENTAL CONDITIONS AND LOCAL BUILDING POLICIES. THESE STANDARDS ARE TO BE USED AS A SUPPLEMENT TO THE CITY REQUIREMENTS IN THE WATER CONSERVATION LANDSCAPING AND WATER BERRY CRONANNE. THE STREET TREE ORDINANCE AND LANDSCAPE REGULATIONS INCLUDED IN THE CITY OF ALBUQUERQUE COMPREHENSIVE CITY CLERK OUTS TO ALLOW STORM WATER INFILTRATION INTO LANDSCAPE AREAS ARE TO BE PROVIDED.

ZONING CODE

THE FOLLOWING ARE MINIMUM STANDARDS FOR THE DEVELOPMENT OF SPECIFIC LANDSCAPE PLANS.

STREET TREES SHALL BE PROVIDED ALONG ROADWAYS ACCORDING TO THE POLICES OUTLINED IN THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE.

THE DEVELOPER/OWNER WILL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE LANDSCAPE ON THE PROPERTY. ALL PLANT MATERIALS, INCLUDING TREES, SHRUBS, GROUND COVERS, TURF, WILDFLOWERS, ETC. SHALL BE MAINTAINED BY THE PROPERTY OWNER FOR THE LONG ATTRACTIVE CONDITION.

A MINIMUM OF 15 PERCENT OF THE SITE AREA FOR COMMERCIAL PROJECTS (MINUS THE BUILDING SQUARE FOOTAGE) SHALL BE DEVOTED TO LANDSCAPE MATERIALS.

LANDSCAPE AREAS SHALL BE A MINIMUM OF 36 SQUARE FEET AND A MINIMUM WIDTH OF 5 FEET. LIVING VEGETATIVE MATERIALS SHALL COVER A MINIMUM OF 75 PERCENT OF THE LANDSCAPED AREAS. THE AREA AND PERCENTAGE IS CALCULATED BASED ON THE MATURE SIZE OF ALL PLANT MATERIAL.

ALL PLANT AREAS NOT COVERED WITH TURF SHALL HAVE A GROUND TOPPING OF RIVER ROCK, SHREDDED BARK, GRAVEL, MULCH OR SIMILAR MATERIAL WHICH EXTENDS COMPLETELY UNDER THE PLANT MATERIAL.

LANDSCAPE HEADERS SHALL BE USED TO SEPARATE ANY TURF AND GROUND COVER AREAS.

TO SHADE AND MITIGATE VISUAL IMPACT OF LARGE EXPANSES OF PAVEMENT, INTERIOR PARKING AREAS SHALL HAVE ONE TREE FOR EACH TWO PARKING SPACES WITH NO SPACE BEING MORE THAN 100 FEET FROM A TREE.

75 PERCENT OF THE REQUIRED PARKING AREA TREES SHALL BE DECIDUOUS AND HAVE A MATURE HEIGHT AND CANOPY OF AT LEAST 20 FEET.

AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE PROVIDED TO SUPPORT ALL REQUIRED LANDSCAPING. IRRIGATION COMPONENTS SHOULD BE CHECKED PERIODICALLY TO ENSURE MAXIMUM EFFICIENCY.

MINIMUM PLANT SIZES AT TIME OF INSTALLATION SHALL BE AS FOLLOWS:

TREES 1 1/2" INCH CALIPER OR 10 TO 12 FEET IN HEIGHT

SHRUBS & GROUNDCOVER 1 GALLON

TURF GRASSES SHALL PROVIDE COMPLETE GROUND COVERAGE WITHIN 1 GROWING SEASON AFTER INSTALLATION.

ARCHITECTURE

THE ARCHITECTURAL DESIGN SHALL DEMONSTRATE A QUALITY AESTHETIC CHARACTER THROUGHOUT THE PROPERTY AND SHALL RESPOND TO CLIMATE, WINDS, SOLAR SENSITIVITY AND AESTHETIC COMPATIBILITY.

COMMERCIAL ARCHITECTURAL STYLE

THE GENERAL ARCHITECTURAL CHARACTER FOR THE RETAIL STRUCTURES SHALL BE A CONTEMPORARY MISSION STYLE. ABOVE IS A PRELIMINARY ELEVATION OF THE PROPOSED ARCHITECTURAL THEME. RETAIL STORE FRONTS MAY HAVE PITCHED ROOFS OVER COLOMNADE COVERED WALK AREA. PITCHED ROOF AREAS ARE TO BE ROOFED WITH MONOCULPTURE SLATE. TREE CHESTNUT BROWN. TOWER ELEMENTS ARE TO BE ARTICULATED TO WALK THROUGH WITH RAISED VALUED CEILING AND UPPER OPENINGS TO ALLOW PENETRATION OF NATURAL LIGHT. MAIN STRUCTURE ROOFS ARE TO BE FLAT ROOFS WITH RAISED PARAPETS TO CREATE ROOF TOP EQUIPMENT SCREENING. OTHER FEATURES ARE TO INCLUDE CONCRETE MASONRY UNIT SPILT FACED MASONRY. ADDITIONAL DETAILS SUCH AS CORNICE TRIM, ORNAMENTAL FIXTURES ARE ALSO REQUIRED.

MAXIMUM BUILDING PARAPET HEIGHT IS LIMITED TO 27' WITH ARCHITECTURAL ACCENTS SUCH AS TOWERS AND ENTRY ELEMENTS MAY EXTEND ABOVE MAXIMUM PARAPET HEIGHT. THE MAXIMUM HEIGHT OF A PITCHED ROOF SHALL BE BASED ON THE AVERAGE HEIGHT BETWEEN THE PLATE AND RIDGE.

THE FOLLOWING ARE MINIMUM ARCHITECTURAL STANDARDS FOR COMMERCIAL DEVELOPMENT:

COMMERCIAL BUILDINGS SHALL COMPLY WITH SECTION 14-16-3-14, GENERAL BUILDING AND SITE DESIGN REGULATIONS FOR NON-RESIDENTIAL USES OF THE CITY ZONING CODE, AS WELL AS OTHER LOCAL BUILDING AND FIRE CODES.

AWNINGS ARE PERMITTED ABOVE WINDOW AREAS. AWNINGS WITH PAINT OR ENAMELED COGNATE LOGOS OR SIGNAGE ARE PERMITTED ABOVE WINDOW AREAS. AWNINGS WITH PAINT OR ENAMELED COGNATE LOGOS OR SIGNAGE ARE PERMITTED ABOVE WINDOW AREAS. AWNINGS WITH PAINT OR ENAMELED COGNATE LOGOS OR SIGNAGE ARE PERMITTED ABOVE WINDOW AREAS. AWNINGS WITH PAINT OR ENAMELED COGNATE LOGOS OR SIGNAGE ARE PERMITTED ABOVE WINDOW AREAS.

REFLECTIVE GLAZING IS PROHIBITED. CLEAR BRONZE TINTED GLASS IS PERMITTED.

NO PLASTIC OR VINYL BUILDING PANELS, AWNINGS OR CANOPIES ARE ALLOWED.

ENTRYWAYS TO COMMERCIAL BUILDINGS SHALL CLEARLY DEFINED.

ROOFS MAY BE FLAT, PITCHED (RUE) OR A COMBINATION OF BOTH AND SHALL BE MADE OF NON-REFLECTIVE MATERIALS. ROOF TILE COLOR SHALL BE MATCH WITH WALLS OR WINDOWS COLOR. BUILDING FINISHES WILL BE STUCCO AND COLORS SHALL BE LIGHT TAN, MEDIUM TAN AND BROWN/GREY.

LOW "E" GLAZING AND PORTALS SHALL BE UTILIZED WHERE PRACTICAL TO MITIGATE SOLAR GAIN. BUILDINGS SHALL COMPLY WITH MODEL ENERGY CODES.

SCREENING/BUFFERING

THE EFFECTIVE USE OF SCREENING DEVICES FOR PARKING LOTS, LOADING AREAS, REFUSE ENCLOSURES, DELIVERY/STORAGE AREAS AND MECHANICAL EQUIPMENT IS ESSENTIAL TO LIMIT THEIR ADVERSE VISUAL IMPACT ON THE PROPERTY. THE STANDARDS ESTABLISHED IN THE LANDSCAPE SECTION WILL PROVIDE THE MAIN OBJECTIVES TO SCREENING UNATTRACTIVE ELEMENTS AND ACTIVITIES.

PERMETER FENCING ARE ALLOWED, WHERE REQUIRED BY ZONING CODE. HOWEVER, AN EFFORT SHOULD BE MADE BY THE SITE DESIGNER TO LESSON ITS VISUAL IMPACT THROUGH LANDSCAPING, MEANDERING WITHIN LANDSCAPE AREA OR PROVIDING OPENINGS. WALLS AND FENCES SHALL COMPLY WITH SECTION 14-16-3-18 GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES AND RETAINING WALLS OR THESE DESIGN STANDARDS AS SPECIFIED BELOW.

DRIVE-UP AND PUPUP WINDOWS SHALL BE SCREENED WITH A 3 FOOT HIGH OPAQUE WALL AND 5 FOOT WIDE (MINIMUM) LANDSCAPE AREA WITH EVERGREEN TREES. A BERM OF SAME HEIGHT AS THE WALL MAY BE PROVIDED IN LIEU OF THE WALL.

SERVICE AREAS SUCH AS REFUSE LOCATIONS AND COMPACTORS ARE TO BE SCREENED FROM THE VIEW OF THE ADJACENT RESIDENTIAL AREA. PUBLIC RIGHTS-OF-WAY AND ADJACENT MONUMENTAL AREA FREE-STANDING WALL COLOR AND MATERIAL.

UNFINISHED BRICK WALLS AND BARBED WIRE, CHAIN LINK, CONCRETINA WIRE AND PLASTIC/VINYL FENCING ARE PROHIBITED.

CLEAR SIGHT DISTANCES FOR SAFETY PURPOSES WILL BE MAINTAINED AT ALL DRIVEWAY LOCATIONS.

THE MAXIMUM HEIGHT OF RETAINING WALLS IS 8 FEET. AREAS REQUIRING GREATER RETENTION ARE REQUIRED TO BE TERRACED WITH A 4 FOOT HORIZONTAL SEPARATION BETWEEN WALLS.

TRANSFORMER UTILITY AND TELEPHONE BODIES SHALL BE APPROPRIATELY SCREENED WITH WALLS AND/OR VEGETATION WHEN VIEWED FROM THE PUBLIC RIGHT-OF-WAY BUT IN SUCH A WAY THAT IS ACCEPTABLE TO THE AFFECTED SERVICE PROVIDER TO ENSURE SAFETY AND ACCESS FOR MAINTENANCE, REPAIR AND REPLACEMENT OF EQUIPMENT.

LIGHTING

IN ORDER TO ENHANCE THE SAFETY, SECURITY AND VISUAL AESTHETICS CAREFUL CONSIDERATION MUST BE GIVEN TO BOTH THE EXISTING AND IMPACT THE APPEARANCE OF THE LIGHTING DESIGN AND FIXTURES. THE PRIMARY DESIGN OBJECTIVE OF THE LIGHTING SHALL BE TO MAINTAIN PUBLIC SAFETY WHILE NOT AFFECTING ADJACENT PROPERTIES, BUILDINGS OR ROADWAYS WITH UNNECESSARY GLEAM, REFLECTION OR BRIGHT LIGHTING.

THE FOLLOWING IS THE GUIDELINES TO THE LIGHTING DESIGN TO SUCCESSFULLY ACCOMPLISH THESE GOALS: ALL LIGHTING SHALL COMPLY WITH SECTION 14-16-3-8, AREA LIGHTING REGULATIONS OF THE COMPREHENSIVE CITY ZONING CODE. PLACEMENT OF FIXTURES AND STANDARDS SHALL CONFORM TO STATE AND LOCAL SAFETY AND ILLUMINATION STANDARDS.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN COMMERCIAL PARKING AREA.

PAD LIGHT LIGHTING SHALL NOT EXCEED 20 FEET FROM THE FINISHED GRADE TO THE TOP OF THE POLE. PARKING LOT LIGHTS WITHIN 100 FEET OF RESIDENTIAL AREAS SHALL BE A MAXIMUM OF 18 FEET HIGH FROM FINISHED GRADE TO TOP OF POLE.

UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS SHALL BE SHIELDED SHOE BOX-TYPE FIXTURES.

INDIVIDUAL SITE LIGHTING STANDARDS SHALL BLEND WITH THE ARCHITECTURAL CHARACTER OF THE BUILDINGS AND OTHER SITE FIXTURES.

THE LOCATION OF LIGHT FIXTURES SHALL BE IDENTIFIED ON SUBSEQUENT SITE PLANS FOR BUILDING PERMIT. AREA LIGHTING SHALL BE RESTRICTED TO A MAXIMUM OFF-SITE ILLUMINANCE OF 1,000 FOOT-CANDELS FROM ANY POINT AND MAXIMUM OF 200 FOOT-CANDELS FROM ANY RESIDENTIAL PROPERTY LINE.

ACCENT LIGHTING IS PERMITTED. HOWEVER SURFACE LIGHTING IS LIMITED TO AN AVERAGE OF 2 FOOT-CANDELS MEASURED 4 FEET FROM THE SURFACE LEVEL OF ANY POINT ON THE BUILDING SURFACE BEING ILLUMINATED.

UTILITIES

TO ENSURE THE OVERALL AESTHETIC QUALITY AND THE NATURAL ENVIRONMENT, THE VISUAL IMPACT OF UTILITIES AND EQUIPMENT SHOULD BE MINIMIZED BY THE FOLLOWING:

TRANSFORMERS, UTILITY PADS AND TELEPHONE BODIES SHALL BE APPROPRIATELY SCREENED WITH WALLS AND/OR VEGETATION WHEN VIEWED FROM THE PUBLIC RIGHT-OF-WAY.

WHEN AN ABOVEGROUND BACK FLOW PREVENTION DEVICE IS REQUIRED BY THE CITY OF ALBUQUERQUE, THE HEATED ENCLOSURE SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE ARCHITECTURAL MATERIALS USED AS THE MAIN ELEMENTS OF THE BUILDING. IF PREFABRICATED FIBERGLASS ENCLOSURES ARE USED, THEY SHALL BE APPROPRIATELY SCREENED FROM VIEW BY WALLS AND/OR LANDSCAPING.

SIGNAGE

THE FOLLOWING SIGNAGE STANDARDS WERE DEVELOPED TO REGULATE THE SIZE, LOCATION, TYPE AND QUALITY OF THE SIGN ELEMENTS WITHIN UNSER PROFESSIONAL PARK. THE PRIMARY GOAL IS TO PROVIDE A SIGNAGE PROGRAM WHICH QUALITY, MAINTAINS A CONSISTENT STYLE, CREATES A SENSE OF ARRIVAL AND COMPLEMENTS THE VISUAL CHARACTER OF THE DEVELOPMENT.

ALL SIGNS SHALL BE IN COMPLIANCE WITH THE UNSER BOULEVARD DESIGN OVERLAY ZONE.

ONE ARCHITECTURALLY-COORDINATED 12 FOOT TALL SIGN, 75 SQUARE FEET IN SIGN AREA IS ALLOWED ALONG VISTA ORIENTE STREET. ONE ARCHITECTURALLY-COORDINATED 12 FOOT TALL SIGN, 75 SQUARE FEET IN SIGN AREA IS ALLOWED ALONG UNSER BOULEVARD. EACH BUILDING PAD IS PERMITTED A 50 SQUARE FEET MONUMENT SIGN ADJACENT TO THE INTERNAL SITE DRIVE.

ALL BUILDING MOUNTED SIGNAGE WILL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 8 PERCENT OF THE WALL AREA OF EACH BUILDING ELEVATION OR TEN PERCENT OF THE WALL AREA OF MULTI-TENANT SHOPS BUILDINGS.

ALL SIGNS ARE TO BE OF INDIVIDUAL LETTERS (OTHER THAN WITH RESPECT TO DEMINUS PORTIONS OF SIGN, SUCH AS FOR LOGOS, ETC.) THE FOLLOWING TYPES OF LETTERS ARE ACCEPTABLE:

TYPE 1: OPAQUE, LETTERING INDEPENDENTLY ILLUMINATED BY DOORSE W/OC TYPE LIGHTING

TYPE 2: CHANNEL LETTERS WITH TRIMCAPS OF DARK BROWN OR BLACK COLOR INTERNALLY ILLUMINATED WITH LETTER SIDES TO MATCH LETTER FACE COLOR. FACE COLORS TO BE TO THE DISCRETION OF THE TENANT.

TYPE 3: SAME AS TYPE 2 EXCEPT HALO LIT.

TYPE 4: HALO LIT LETTERS CUT OUT OF SOLID METAL BACKGROUND SPACED OFF THE FACE OF THE BUILDING.

(OTHER THAN WITH RESPECT TO DEMINUS PORTIONS OF SIGN, SUCH AS FOR LOGOS, ETC.) CAN TYPE SIGNS ARE PROHIBITED. ANY SPECIAL LOGOS ASSOCIATED WITH SPECIFIC TENANT ARE TO BE PROVIDED IN A NON-ILLUMINATED FASHION FOR SPECIFIC APPROVAL.

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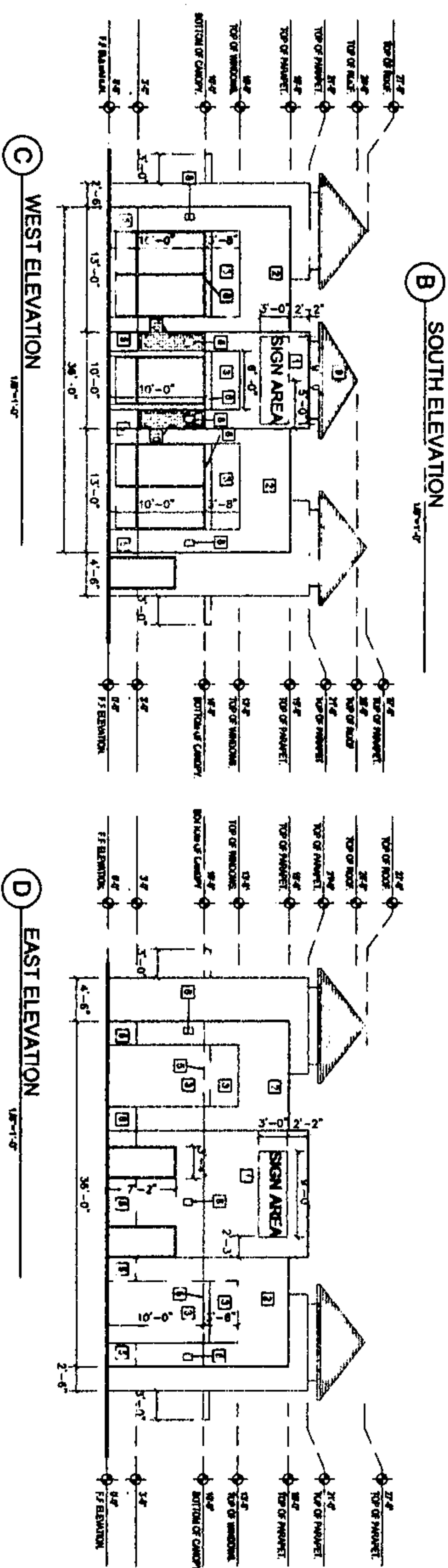
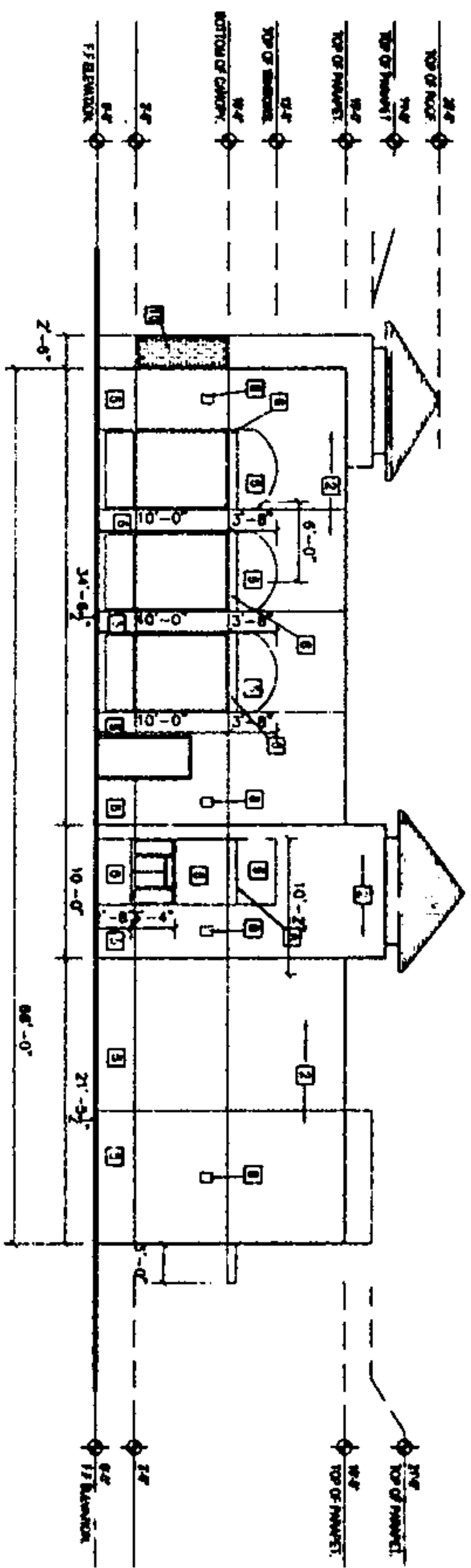
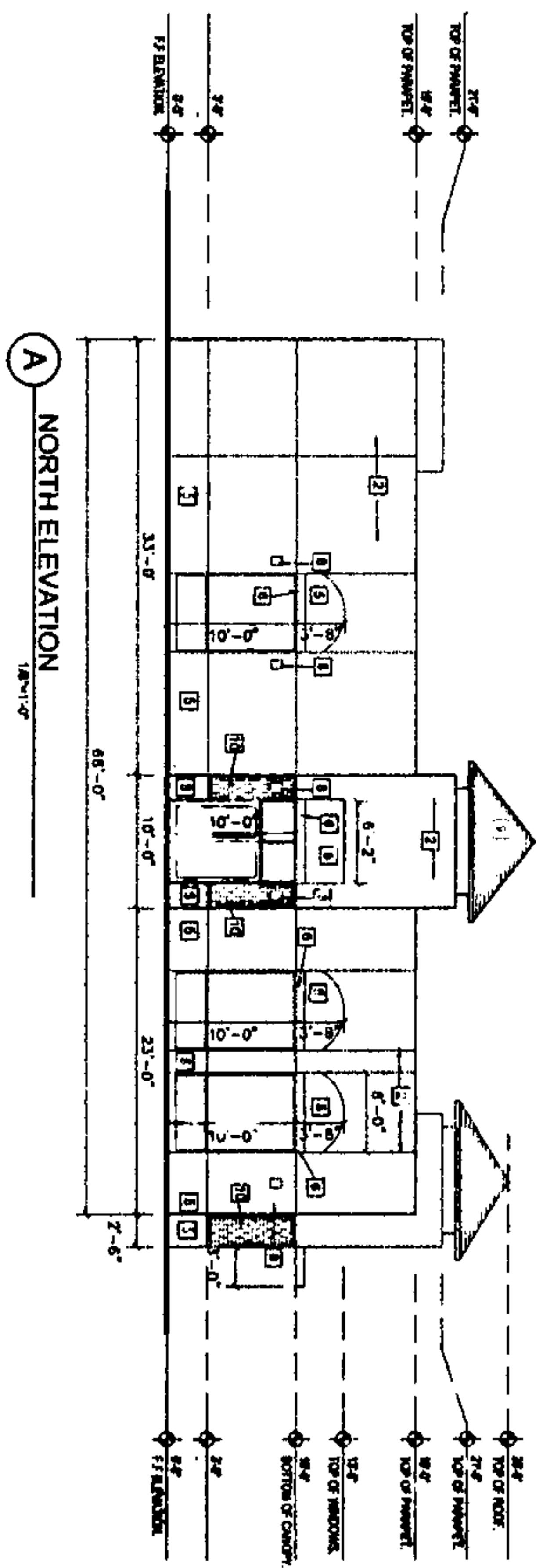
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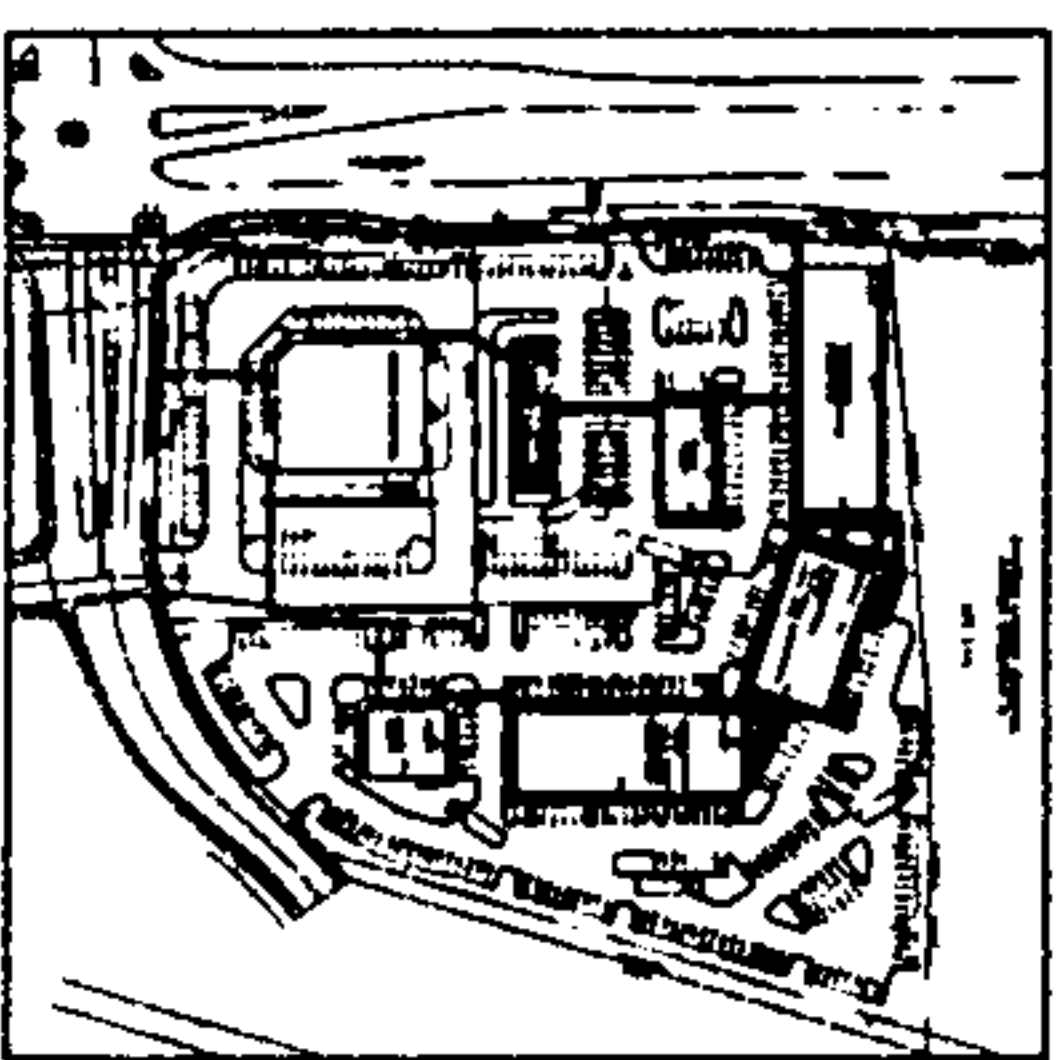
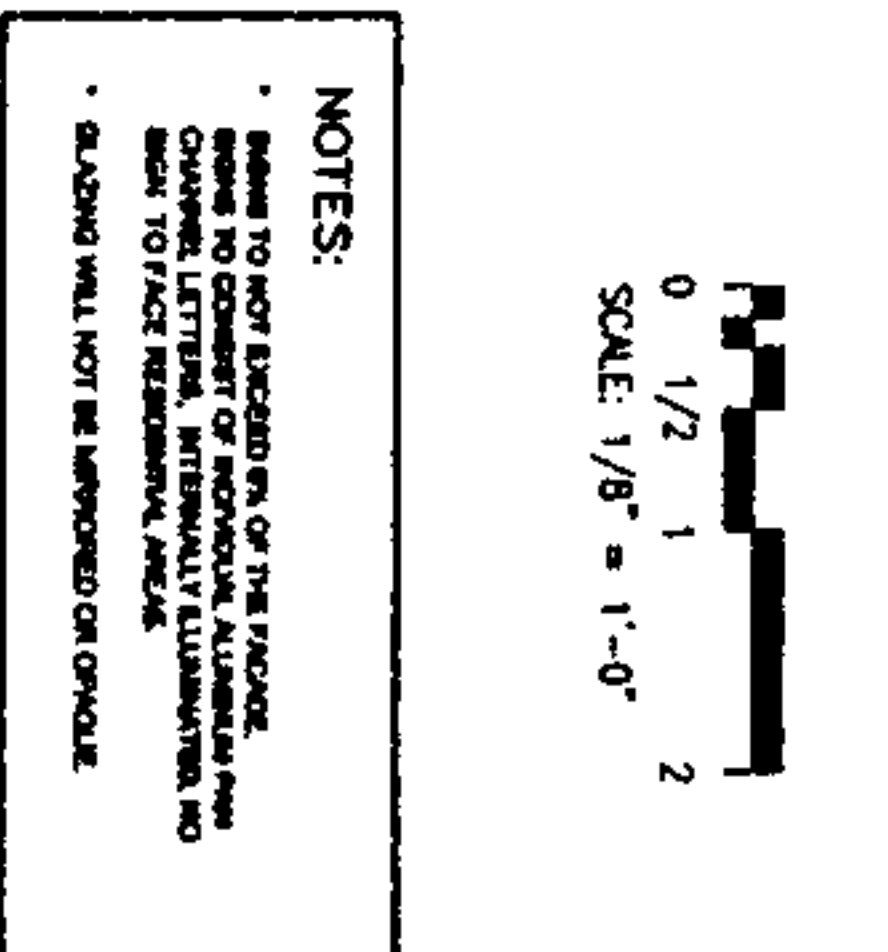
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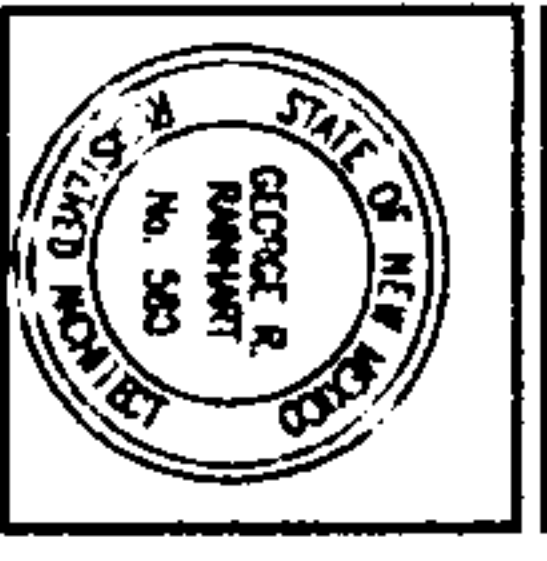


Material Schedule	Keyed Color	Common Name
1) STUCCO	UNIVERSITY BRICK	CREAM
2) STUCCO	INTERMEDIATE CRACK	CREAM
3) STUCCO	MANUFACTURE BLUE BRICK	BRICK
4) STUCCO	ROY BRICK	LIGHT GRAY
5) STUCCO	EXTRA WHITE BRICK	WHITE
6) STUCCO	PAVILION BRICK	PAVILION BRICK
7) STUCCO	EXTRA WHITE BRICK	WHITE
8) STUCCO	UNIVERSITY BRICK	CREAM
9) STUCCO	MANUFACTURE BLUE BRICK	BRICK
10) STUCCO	ROY BRICK	LIGHT GRAY
11) STUCCO	EXTRA WHITE BRICK	WHITE
12) STUCCO	PAVILION BRICK	PAVILION BRICK
13) STUCCO	EXTRA WHITE BRICK	WHITE
14) STUCCO	UNIVERSITY BRICK	CREAM
15) STUCCO	MANUFACTURE BLUE BRICK	BRICK
16) STUCCO	ROY BRICK	LIGHT GRAY
17) STUCCO	EXTRA WHITE BRICK	WHITE
18) STUCCO	PAVILION BRICK	PAVILION BRICK
19) STUCCO	EXTRA WHITE BRICK	WHITE
20) STUCCO	UNIVERSITY BRICK	CREAM
21) STUCCO	MANUFACTURE BLUE BRICK	BRICK
22) STUCCO	ROY BRICK	LIGHT GRAY
23) STUCCO	EXTRA WHITE BRICK	WHITE
24) STUCCO	PAVILION BRICK	PAVILION BRICK
25) STUCCO	EXTRA WHITE BRICK	WHITE
26) STUCCO	UNIVERSITY BRICK	CREAM
27) STUCCO	MANUFACTURE BLUE BRICK	BRICK
28) STUCCO	ROY BRICK	LIGHT GRAY
29) STUCCO	EXTRA WHITE BRICK	WHITE
30) STUCCO	PAVILION BRICK	PAVILION BRICK
31) STUCCO	EXTRA WHITE BRICK	WHITE
32) STUCCO	UNIVERSITY BRICK	CREAM
33) STUCCO	MANUFACTURE BLUE BRICK	BRICK
34) STUCCO	ROY BRICK	LIGHT GRAY
35) STUCCO	EXTRA WHITE BRICK	WHITE
36) STUCCO	PAVILION BRICK	PAVILION BRICK
37) STUCCO	EXTRA WHITE BRICK	WHITE
38) STUCCO	UNIVERSITY BRICK	CREAM
39) STUCCO	MANUFACTURE BLUE BRICK	BRICK
40) STUCCO	ROY BRICK	LIGHT GRAY
41) STUCCO	EXTRA WHITE BRICK	WHITE
42) STUCCO	PAVILION BRICK	PAVILION BRICK
43) STUCCO	EXTRA WHITE BRICK	WHITE
44) STUCCO	UNIVERSITY BRICK	CREAM
45) STUCCO	MANUFACTURE BLUE BRICK	BRICK
46) STUCCO	ROY BRICK	LIGHT GRAY
47) STUCCO	EXTRA WHITE BRICK	WHITE
48) STUCCO	PAVILION BRICK	PAVILION BRICK
49) STUCCO	EXTRA WHITE BRICK	WHITE
50) STUCCO	UNIVERSITY BRICK	CREAM
51) STUCCO	MANUFACTURE BLUE BRICK	BRICK
52) STUCCO	ROY BRICK	LIGHT GRAY
53) STUCCO	EXTRA WHITE BRICK	WHITE
54) STUCCO	PAVILION BRICK	PAVILION BRICK
55) STUCCO	EXTRA WHITE BRICK	WHITE
56) STUCCO	UNIVERSITY BRICK	CREAM
57) STUCCO	MANUFACTURE BLUE BRICK	BRICK
58) STUCCO	ROY BRICK	LIGHT GRAY
59) STUCCO	EXTRA WHITE BRICK	WHITE
60) STUCCO	PAVILION BRICK	PAVILION BRICK
61) STUCCO	EXTRA WHITE BRICK	WHITE
62) STUCCO	UNIVERSITY BRICK	CREAM
63) STUCCO	MANUFACTURE BLUE BRICK	BRICK
64) STUCCO	ROY BRICK	LIGHT GRAY
65) STUCCO	EXTRA WHITE BRICK	WHITE
66) STUCCO	PAVILION BRICK	PAVILION BRICK
67) STUCCO	EXTRA WHITE BRICK	WHITE
68) STUCCO	UNIVERSITY BRICK	CREAM
69) STUCCO	MANUFACTURE BLUE BRICK	BRICK
70) STUCCO	ROY BRICK	LIGHT GRAY
71) STUCCO	EXTRA WHITE BRICK	WHITE
72) STUCCO	PAVILION BRICK	PAVILION BRICK
73) STUCCO	EXTRA WHITE BRICK	WHITE
74) STUCCO	UNIVERSITY BRICK	CREAM
75) STUCCO	MANUFACTURE BLUE BRICK	BRICK
76) STUCCO	ROY BRICK	LIGHT GRAY
77) STUCCO	EXTRA WHITE BRICK	WHITE
78) STUCCO	PAVILION BRICK	PAVILION BRICK
79) STUCCO	EXTRA WHITE BRICK	WHITE
80) STUCCO	UNIVERSITY BRICK	CREAM
81) STUCCO	MANUFACTURE BLUE BRICK	BRICK
82) STUCCO	ROY BRICK	LIGHT GRAY
83) STUCCO	EXTRA WHITE BRICK	WHITE
84) STUCCO	PAVILION BRICK	PAVILION BRICK
85) STUCCO	EXTRA WHITE BRICK	WHITE
86) STUCCO	UNIVERSITY BRICK	CREAM
87) STUCCO	MANUFACTURE BLUE BRICK	BRICK
88) STUCCO	ROY BRICK	LIGHT GRAY
89) STUCCO	EXTRA WHITE BRICK	WHITE
90) STUCCO	PAVILION BRICK	PAVILION BRICK
91) STUCCO	EXTRA WHITE BRICK	WHITE
92) STUCCO	UNIVERSITY BRICK	CREAM
93) STUCCO	MANUFACTURE BLUE BRICK	BRICK
94) STUCCO	ROY BRICK	LIGHT GRAY
95) STUCCO	EXTRA WHITE BRICK	WHITE
96) STUCCO	PAVILION BRICK	PAVILION BRICK
97) STUCCO	EXTRA WHITE BRICK	WHITE
98) STUCCO	UNIVERSITY BRICK	CREAM
99) STUCCO	MANUFACTURE BLUE BRICK	BRICK
100) STUCCO	ROY BRICK	LIGHT GRAY



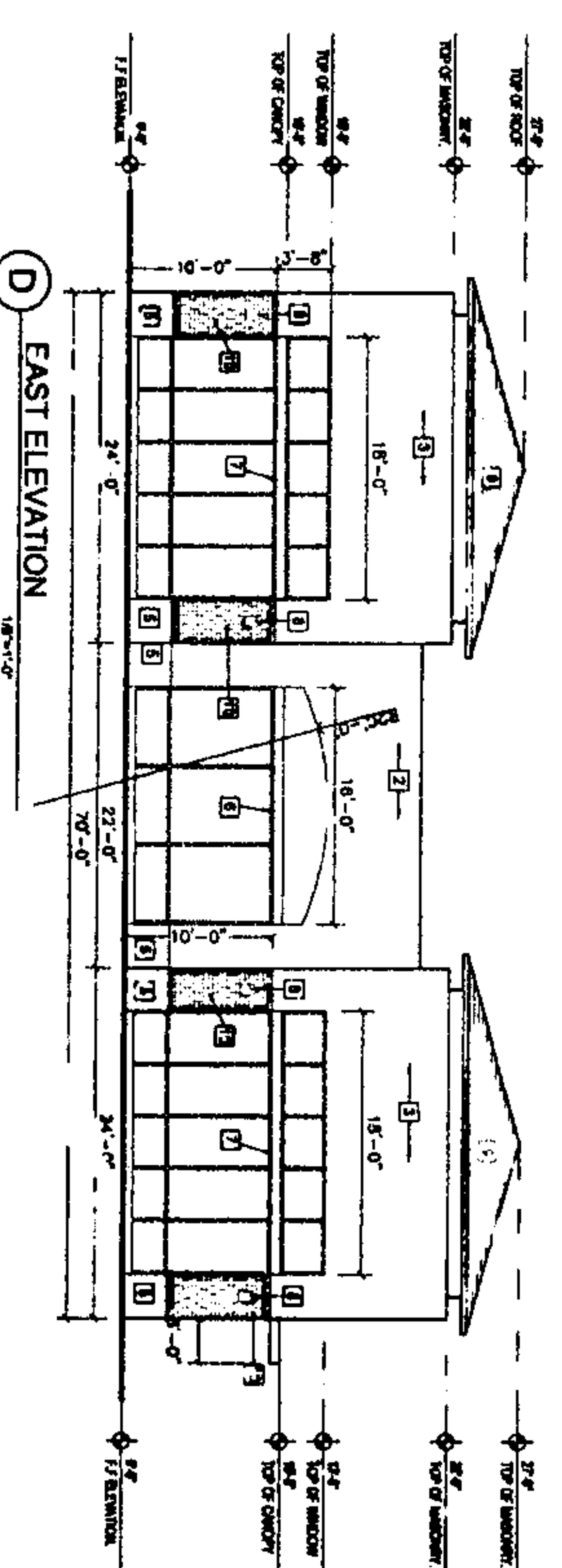
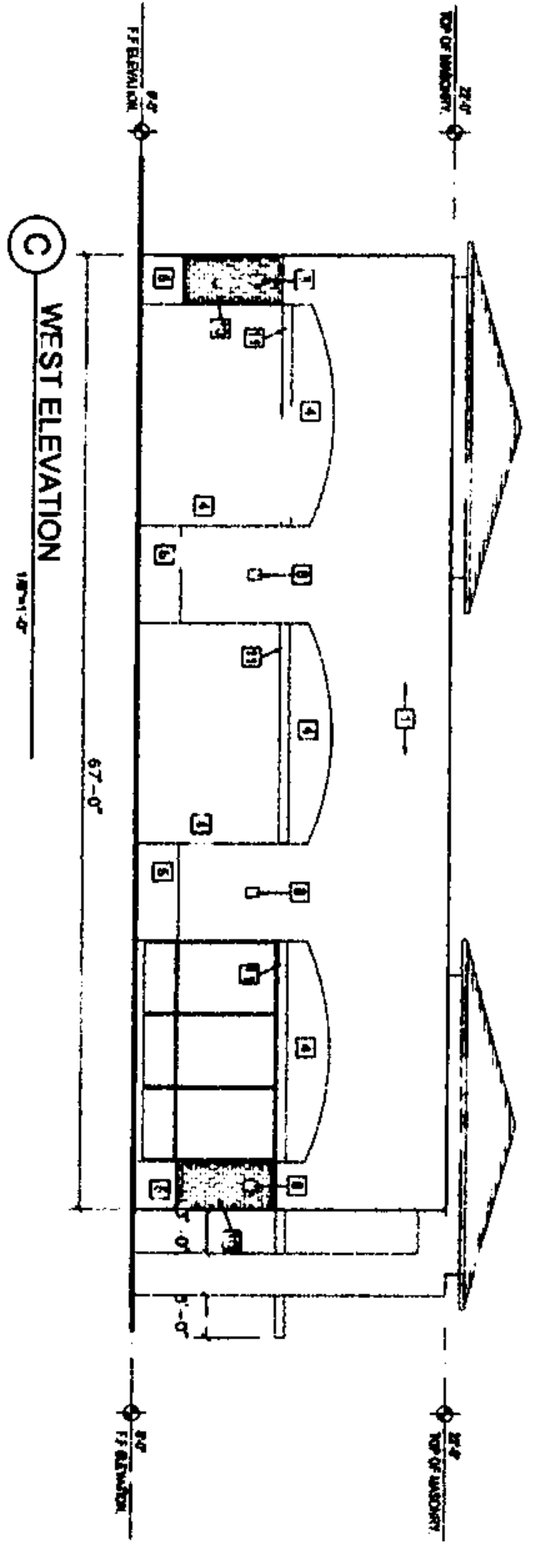
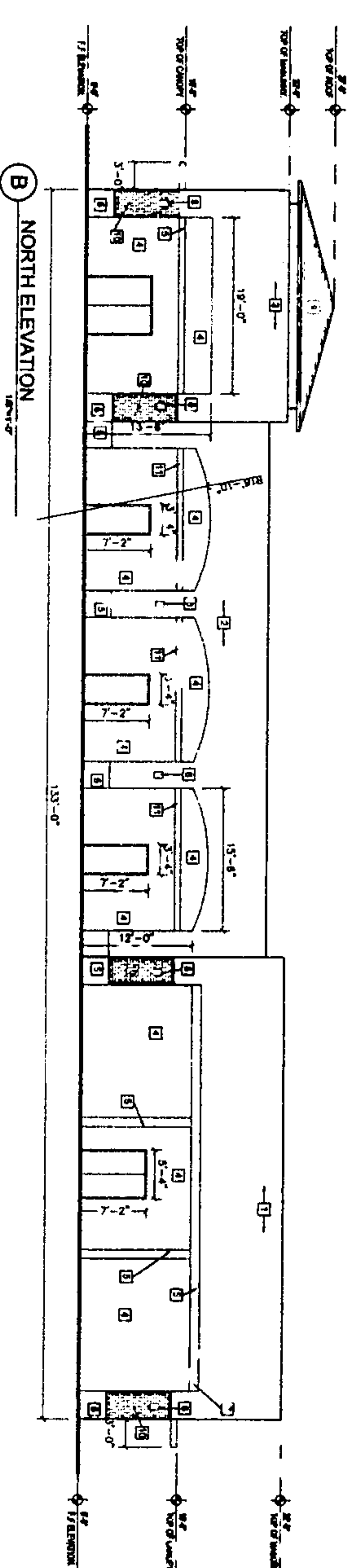
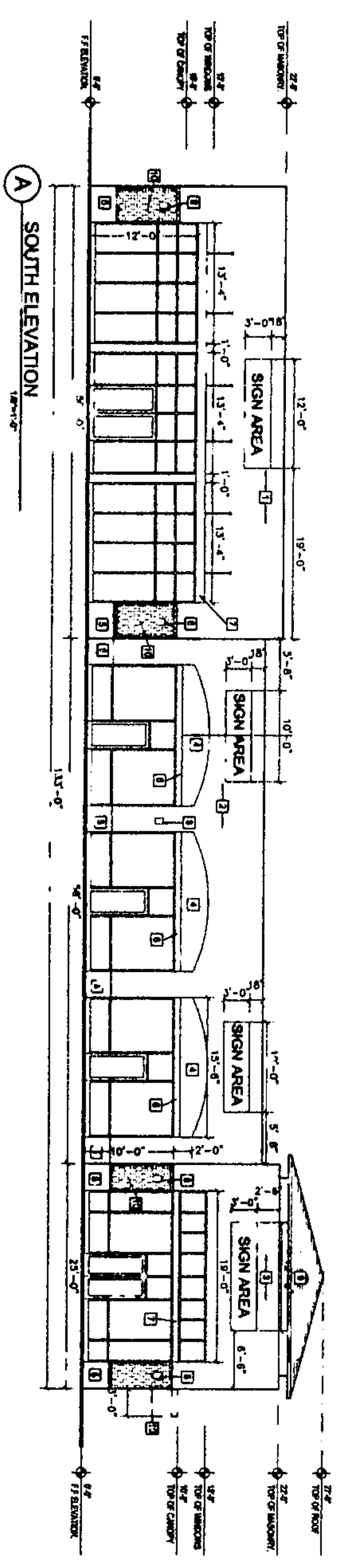
NOTES:
 1. ALL BUILDING MOUNTED SIGNAGE WILL BE INDICATED BY LETTERS NOT TO EXCEED A HEIGHT OF 18" FROM THE FACE OF THE SIGNAGE.
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DATE	1/2/07
SCALE	1/8" = 1'-0"
PROJECT TITLE	UNSER & VISTA ORIENTE
PROJECT LOCATION	NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET
PROJECT NUMBER	1012
DATE	1/2/07
SCALE	1/8" = 1'-0"
PROJECT TITLE	ELEVATION BLDG 6



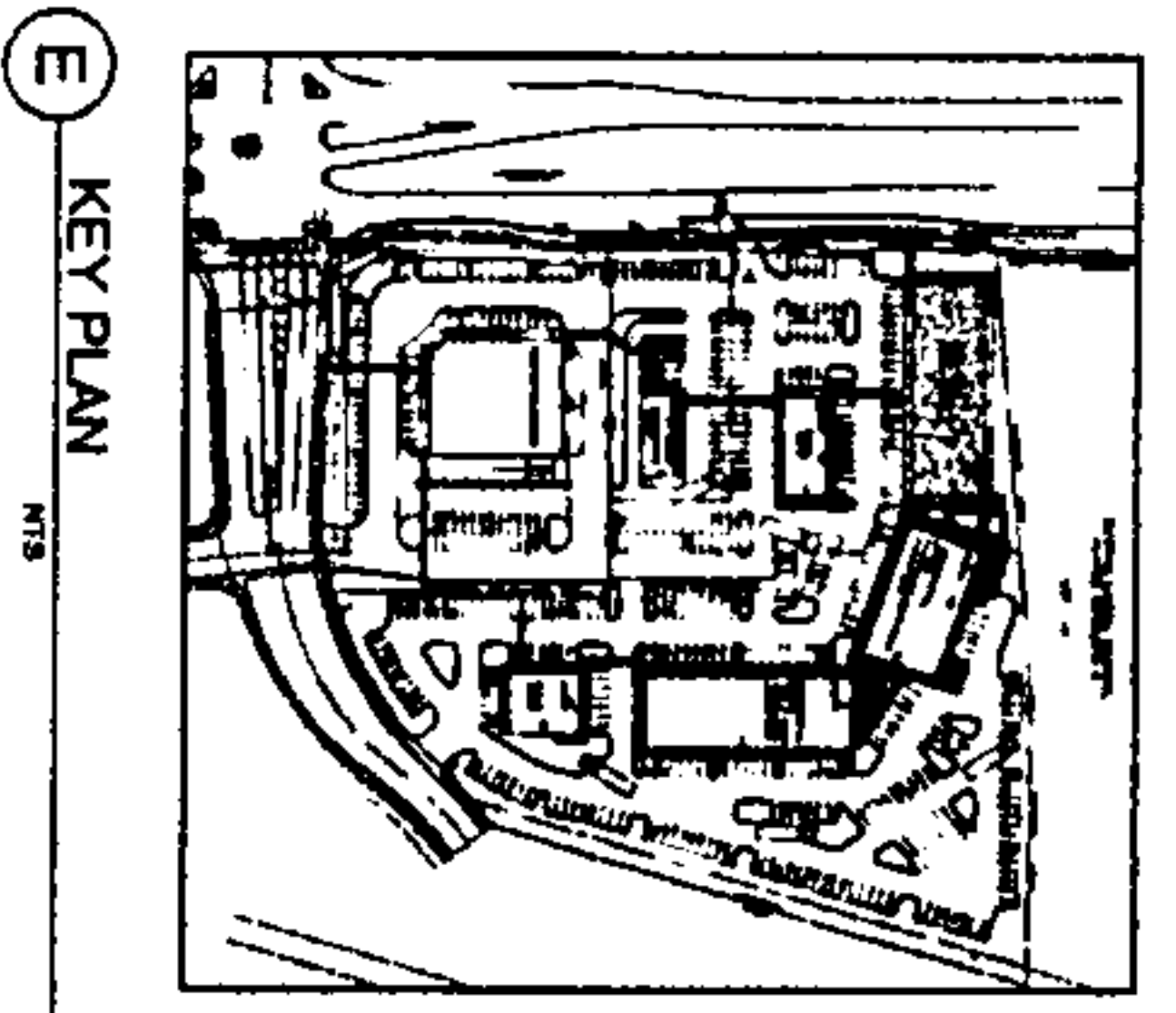
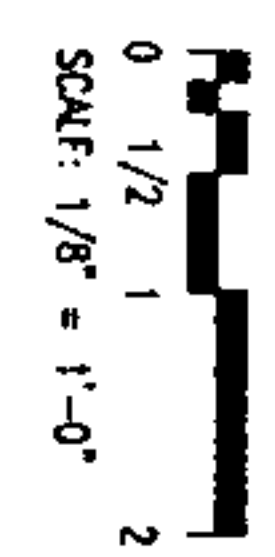
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-8110 FAX (505) 837-9877

REV	DATE	BY	REVISION
1	10/12/06	MMH	CITY COMMENTS
2	05/14/07	MMH	CITY COMMENTS
3	01/26/07	MMH	CITY COMMENTS



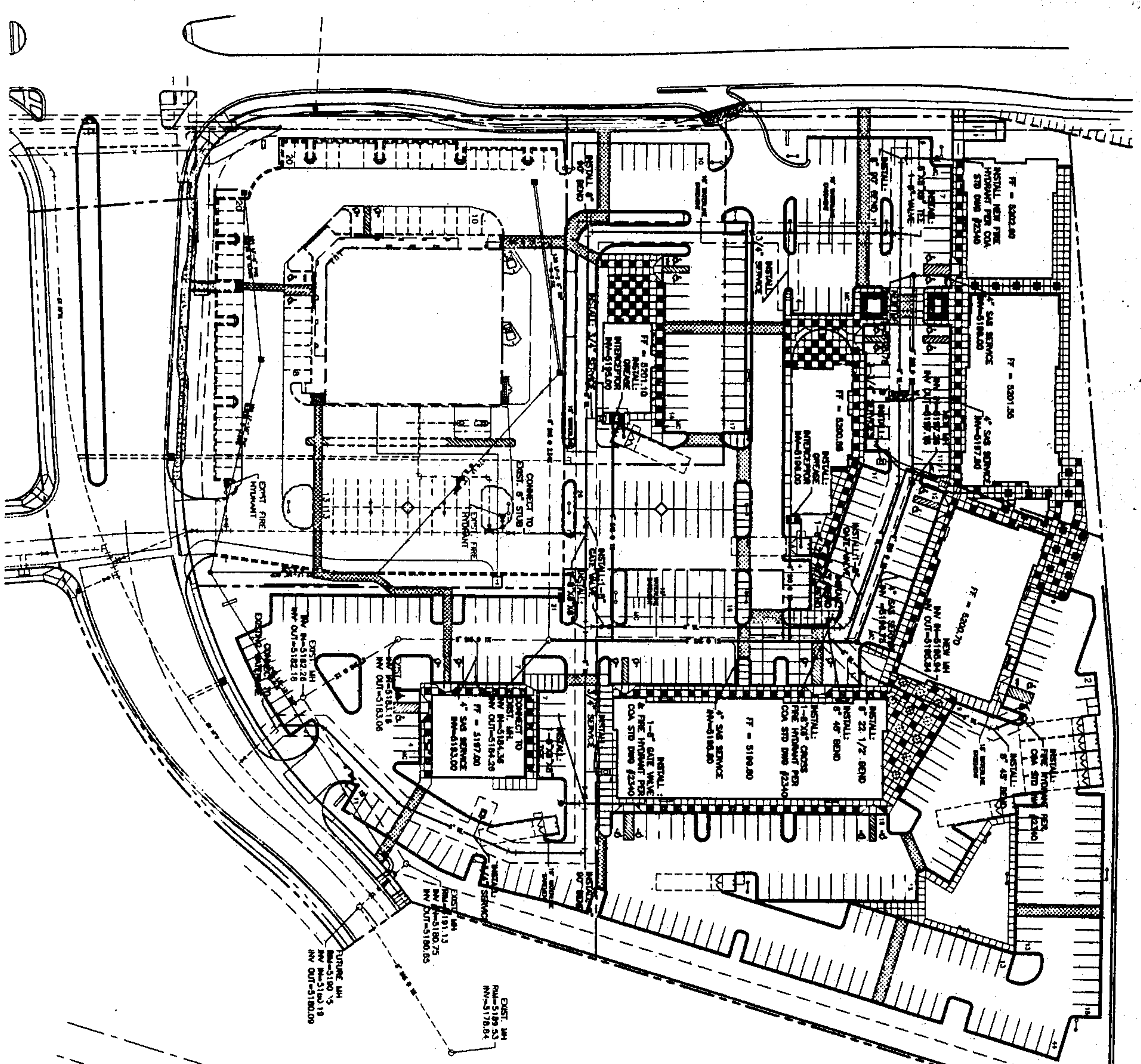
Material Schedule	Keyed Code	Common Name
1 STUCCO	INDICATED WHITE	LIGHT GREY
2 STUCCO	INDICATED WHITE	CRACK
3 STUCCO	INDICATED WHITE	CRACK
4 STUCCO	INDICATED WHITE	CRACK
5 STUCCO	INDICATED WHITE	CRACK
6 STUCCO	INDICATED WHITE	CRACK
7 STUCCO	INDICATED WHITE	CRACK
8 STUCCO	INDICATED WHITE	CRACK
9 STUCCO	INDICATED WHITE	CRACK
10 STUCCO	INDICATED WHITE	CRACK
11 STUCCO	INDICATED WHITE	CRACK
12 STUCCO	INDICATED WHITE	CRACK
13 STUCCO	INDICATED WHITE	CRACK
14 STUCCO	INDICATED WHITE	CRACK
15 STUCCO	INDICATED WHITE	CRACK
16 STUCCO	INDICATED WHITE	CRACK
17 STUCCO	INDICATED WHITE	CRACK
18 STUCCO	INDICATED WHITE	CRACK
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24 STUCCO	INDICATED WHITE	CRACK
25 STUCCO	INDICATED WHITE	CRACK
26 STUCCO	INDICATED WHITE	CRACK
27 STUCCO	INDICATED WHITE	CRACK
28 STUCCO	INDICATED WHITE	CRACK
29 STUCCO	INDICATED WHITE	CRACK
30 STUCCO	INDICATED WHITE	CRACK

NOTES:
 1. REFER TO THE ARCHITECT'S NOTES FOR MATERIAL SCHEDULES.
 2. REFER TO THE ARCHITECT'S NOTES FOR MATERIAL SCHEDULES.
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NOTES:
 1. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND INCHES.
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 30. REFER TO THE ARCHITECT'S NOTES FOR MATERIAL SCHEDULES.

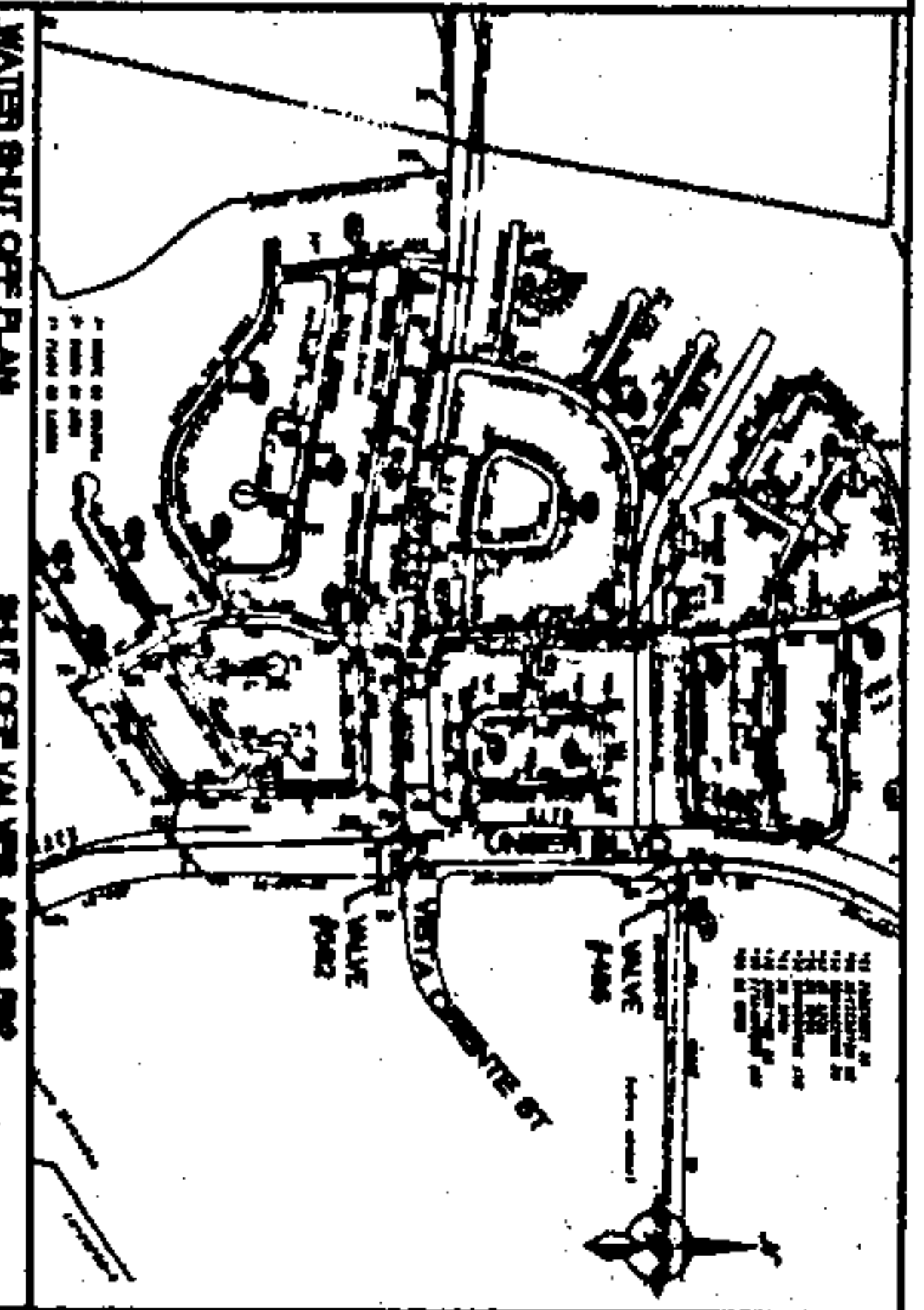
PROJECT TITLE UNSER & VISTA ORIENTE NORTH EAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET ALBUQUERQUE, NM	PROJECT ARCHITECT GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C. 2325 SAN PEDRO NE., SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 884-9110 FAX (505) 837-9877	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>BY</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> <td></td> </tr> <tr> <td>7</td> <td></td> <td></td> <td></td> </tr> <tr> <td>8</td> <td></td> <td></td> <td></td> </tr> <tr> <td>9</td> <td></td> <td></td> <td></td> </tr> <tr> <td>10</td> <td></td> <td></td> <td></td> </tr> <tr> <td>11</td> <td></td> <td></td> <td></td> </tr> <tr> <td>12</td> <td></td> <td></td> <td></td> </tr> <tr> <td>13</td> <td></td> <td></td> <td></td> </tr> <tr> <td>14</td> <td></td> <td></td> <td></td> </tr> <tr> <td>15</td> <td></td> <td></td> <td></td> </tr> <tr> <td>16</td> <td></td> <td></td> <td></td> </tr> <tr> <td>17</td> <td></td> <td></td> <td></td> </tr> <tr> <td>18</td> <td></td> <td></td> <td></td> </tr> <tr> <td>19</td> <td></td> <td></td> <td></td> </tr> <tr> <td>20</td> <td></td> <td></td> <td></td> </tr> <tr> <td>21</td> <td></td> <td></td> <td></td> </tr> <tr> <td>22</td> <td></td> <td></td> <td></td> </tr> <tr> <td>23</td> <td></td> <td></td> <td></td> </tr> <tr> <td>24</td> <td></td> <td></td> <td></td> </tr> <tr> <td>25</td> <td></td> <td></td> <td></td> </tr> <tr> <td>26</td> <td></td> <td></td> <td></td> </tr> <tr> <td>27</td> <td></td> <td></td> <td></td> </tr> <tr> <td>28</td> <td></td> <td></td> <td></td> </tr> <tr> <td>29</td> <td></td> <td></td> <td></td> </tr> <tr> <td>30</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV	DATE	BY	REVISION	1				2				3				4				5				6				7				8				9				10				11				12				13				14				15				16				17				18				19				20				21				22				23				24				25				26				27				28				29				30			
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CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND CHARACTERISTICS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE UTILITY COMPANIES. ANY CHANGES TO THE PLAN SHALL BE COORDINATED WITH THE CITY AND APPROVED BY THE ENGINEER.

NOTICE TO CONTRACTOR:

1. ALL DIMENSIONS/PERMITS SHALL BE OBTAINED FROM THE CITY OF ALBUQUERQUE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE UTILITY COMPANIES. ANY CHANGES TO THE PLAN SHALL BE COORDINATED WITH THE CITY AND APPROVED BY THE ENGINEER.
2. ALL WORK DETAIL ON THESE PLANS TO BE PROVIDED EXCEPT AS NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE UTILITY COMPANIES. ANY CHANGES TO THE PLAN SHALL BE COORDINATED WITH THE CITY AND APPROVED BY THE ENGINEER.
3. THE WORKING DATE FROM TO AIR EXPANSION, CONTRACTOR MUST CONTACT THE UTILITY COMPANIES TO OBTAIN THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE UTILITY COMPANIES. ANY CHANGES TO THE PLAN SHALL BE COORDINATED WITH THE CITY AND APPROVED BY THE ENGINEER.
5. ALL EXCAVATION SHALL BE ACCORDING TO RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE UTILITY COMPANIES. ANY CHANGES TO THE PLAN SHALL BE COORDINATED WITH THE CITY AND APPROVED BY THE ENGINEER.
6. ALL EXCAVATION SHALL BE ACCORDING TO RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE UTILITY COMPANIES. ANY CHANGES TO THE PLAN SHALL BE COORDINATED WITH THE CITY AND APPROVED BY THE ENGINEER.
7. WORK ON AIRLINE SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STOPS AT THE LOCATION OF ALL UTILITIES.
9. CONTRACTOR SHALL REMOVE LOCATION OF AIR UNDERGROUND FACILITY AND FACILITIES FOR SECTION 02-14-4 WATER UTILITY.
10. CONTRACTOR SHALL REMOVE LOCATION OF AIR UNDERGROUND FACILITY AND FACILITIES FOR SECTION 02-14-4 WATER UTILITY.
11. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF CONSTRUCTION TO ALL UTILITIES AND TO THE CITY OF ALBUQUERQUE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE UTILITY COMPANIES. ANY CHANGES TO THE PLAN SHALL BE COORDINATED WITH THE CITY AND APPROVED BY THE ENGINEER.
12. CONTRACTOR SHALL REMOVE EXISTING UTILITIES AND FACILITIES FOR SECTION 02-14-4 WATER UTILITY.
13. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND UTILITIES AND FACILITIES.
14. CONTRACTOR SHALL REMOVE EXISTING UTILITIES AND FACILITIES FOR SECTION 02-14-4 WATER UTILITY.
15. CONTRACTOR SHALL REMOVE EXISTING UTILITIES AND FACILITIES FOR SECTION 02-14-4 WATER UTILITY.
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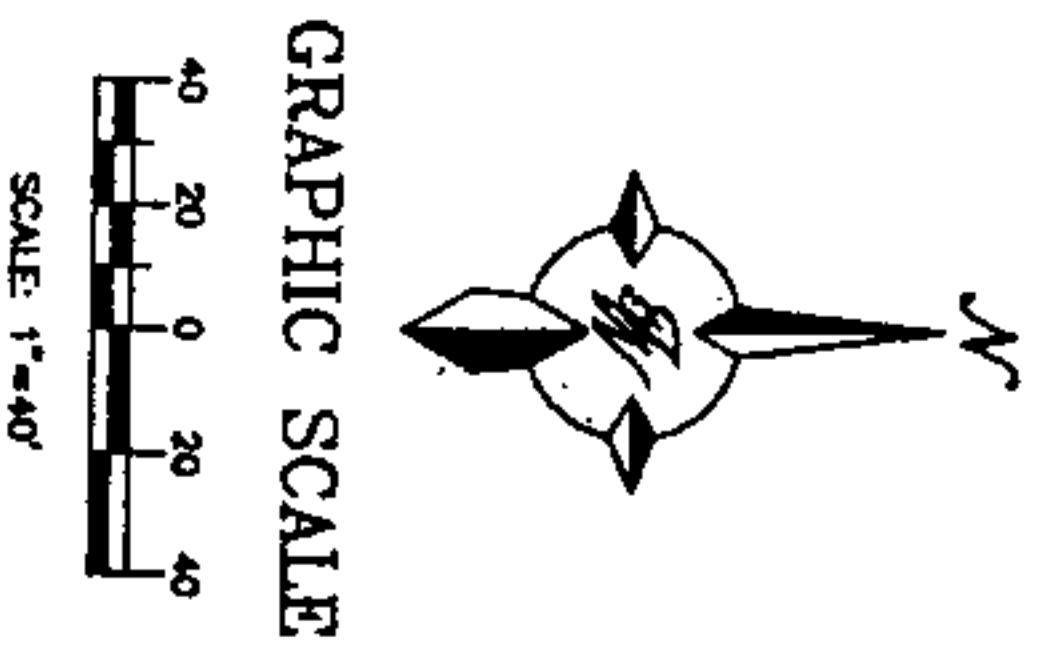
WATER SHUT-OFF PLAN NOTES:
 1. ONLY WATER SYSTEMS IDENTIFIED ARE AUTHORIZED TO OPERATE WATER VALVES.
 2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 800-220-2200) PRIOR TO CONSTRUCTION.
 3. NOTIFY UTILITY COMPANIES IN ADVANCE OF NECESSARY EXCAVATION OF THE WATER MAINS.
 4. SHUT-OFF THE WATER IN THE MAIN LINE TO BE DONE ONLY IN THE PRESENCE OF THE CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION.

GENERAL NOTES:

1. ALL 6" SANITARY SEWER PIPE TO BE 609-3X.
2. ALL 6" AND 8" WASTEWATER PIPE TO BE C-40X.
3. ALL SANITARY SEWER SERVICE PIPE TO BE 6" PVC.
4. ALL WASTEWATER SERVICE PIPE TO BE 8" PVC.
5. 6" SANITARY SEWER SERVICE PIPE TO BE 6" PVC.
6. 8" SANITARY SEWER SERVICE PIPE TO BE 8" PVC.
7. EXISTING GUTTERS ARE TO BE RELOCATED PER UTILITY PLANNING CODE.
8. ALL EXCAVATION IS PER CITY OF ALBUQUERQUE STANDARD SPEC. 2004.
9. ALL PIPE WASTEWATER TO BE USED PER LFC.

LEGEND:

---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EXISTING
---	EXISTING 20" MANHOLE
---	EXISTING 18" MANHOLE
---	EXISTING 15" MANHOLE
---	EXISTING WATER METER
---	PROPOSED PARKING LOT LIGHT
---	PROPOSED CLEAN OUT
---	EXISTING OVERHEAD UTILITIES
---	EXISTING UNDERGROUND UTILITIES
---	EXISTING GAS
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
---	PROPOSED STORM SEWER LINE
---	PROPOSED GAS MANHOLE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED FIRE HYDRANT
---	PROPOSED WASTEWATER



	UNSER AND VISTA ORIENTE MASTER UTILITY PLAN	DRAWN BY: DATE: 07-14-08 2776-448
TERINA WEST, LLC 5011 MONTE VISTA PLACE NE ALBUQUERQUE, NM 87110 (505) 833-3100	C2	SHEET 7 2776-448

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Walgreens
AGENT Geo. Baunhart Architects
ADDRESS _____
PROJECT & APP # 1002404
PROJECT NAME Walgreens

\$ _____ 441032/3424000 Conflict Management Fee

\$ 100.00 441006/4983000 DRB Actions 2 deferral fees

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 100.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

5/14/2007 11:16AM LOC: ANNX
RECEIPT# 00076616 WSH 006 TRANS# 0022
Account 441006 Fund 0110
Activity 4983000 TRSCXG
Trans Amt \$100.00
J24 Misc \$100.00
CK \$100.00
CHANGE \$0.00

Thank You

#10

May 7, 2007

City of Albuquerque
Planning Department
600 Second St. NW
Albuquerque, NM 87103

Re: Project #1002404/
07 DRB-00535 Minor-SiteDev Plan BldPermit/EPC

98th of W. USER WALGREGUS

Ms Senova:

We are requesting deferral of this project, and would like it to be placed on the May 16, 2007 agenda. We will be submitting revised materials and deferral fees prior to then as required.

Thank you,

George Rainhart Architects and Associates



Jonathan Stern AIA
Project Manager



FAX TRANSMITTAL SHEET



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C
2325 SAN PEDRO, N.E., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 884-9110 EXT. 110
FAX: (505) 837-9877
E-MAIL ADDRESS: grainhart@gra-arch.com

GRA PROJECT #: _____

DATE: 5/7/07

TO: CLAIRE SENOVA

FAX NUMBER: 924-3864 PHONE NUMBER: _____

NUMBER OF PAGES BEING SENT (including Transmittal Sheet): 2

FROM: JON STERN

PROJECT: 98th & UNSER WAGGREENS

COMMENTS: PLEASE DEFER 98th & UNSER DRB
PER ATTACHED LETTER TO MAY 16th.

THANKS!

JON STERN

IF YOU DO NOT RECEIVE THE NUMBER OF PAGES REFERENCED ABOVE. PLEASE CALL _____ AT (505) 884-9110

COPIES TO: _____

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 4/24/07
 Date Site Plan Approved: _____
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Project No.: 1002404
 DRB Application No.: _____

ORIGINAL

INFRASTRUCTURE LIST
 (Rev. 9-20-05)
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Walgreens at Vista Oriente and Unser
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 1-C of Ladera Industrial Center
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
DRC #	DRC #								
<input type="text"/>	<input type="text"/>	6'	Concrete Sidewalk North Side Only	Vista Oriente Street	East Property Line	Unser Blvd Intersection Ramp	/	/	/
<input type="text"/>	<input type="text"/>	8"	AC Curb Taper on AC Trail	Unser Blvd Decel. Lane Pedestrian Ramps	20' North of Ped Ramp	20' South of Ped Ramp	/	/	/
<input type="text"/>	<input type="text"/>		Pedestrian Ramp to be Removed And Replaced	Northeast Corner of Vista Oriente St and Unser Blvd Intersection			/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 _____
Street Lights and Signs per DPM requirements.
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
---------------	---

JONATHAN STERN

NAME (print)

GERO RAMMART ARCHITECTS

FIRM

[Signature] 4/24/07

SIGNATURE - date

DRB CHAIR - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

_____ - date

CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

<p>SUBDIVISION</p> <p>___ Major Subdivision action</p> <p>___ Minor Subdivision action</p> <p>___ Vacation</p> <p>___ Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p>___ for Subdivision Purposes</p> <p><input checked="" type="checkbox"/> for Building Permit</p> <p>___ IP Master Development Plan</p> <p>___ Cert. of Appropriateness (LUCC)</p> <p>STORM DRAINAGE</p> <p>___ Storm Drainage Cost Allocation Plan</p>	<p>Supplemental form</p> <p>S Z ZONING & PLANNING</p> <p>___ Annexation</p> <p>___ County Submittal</p> <p>___ EPC Submittal</p> <p>___ Zone Map Amendment (Establish or Change Zoning)</p> <p>___ Sector Plan (Phase I, II, III)</p> <p>___ Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p>___ Text Amendment (Zoning Code/Sub Regs)</p> <p>___ Street Name Change (Local & Collector)</p> <p>L A APPEAL / PROTEST of...</p> <p>D ___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
--	---

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: WALGREEN CO. PHONE: 847-315-4018

ADDRESS: 106 WILMOT RD. FAX: 847-315-4901

CITY: DEERFIELD STATE IL ZIP 60015 E-MAIL: BRIAN.BEVAN@WALGREENS.COM

Proprietary interest in site: OWNER List all owners: WALGREEN CO., CONTACT BRIAN BEVAN

AGENT (if any): GEORGE RAINHART ARCHITECTS CONTACT: JON STERN PHONE: 884-9110 EXT 110

ADDRESS: 2325 SAN PEDRO NE, SUITE 2B FAX: 505-837-9877

CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: JSTERN@GRA-ARCH.COM

DESCRIPTION OF REQUEST: APPROVAL (DRB) OF SITE PLAN FOR BUILDING PERMIT FOR NEW PHARMACY BUILDING

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 1-C Block: ___ Unit: ___

Subdiv. / Addn. LADERA INDUSTRIAL CENTER TRK WALGREENS @ VISTA ORIENTE

Current Zoning: SU-1 FOR IP USES Proposed zoning: SAME AND UNSEER

Zone Atlas page(s): H-9 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 2.13 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: ___

Within city limits? Yes. No ___ , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No. 10090594663/210205 MRGCD Map No. ___

LOCATION OF PROPERTY BY STREETS: On or Near: Unser Blvd. NW.

Between: Vista Oriente NW. and Austin Ave NW

CASE HISTORY: Casal Topalote Epc Case Planner

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): GPC #1002404 / 07EPC 00104

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ? . Date of review: 1/23/07

SIGNATURE [Signature] DATE 4/24/07

(Print) JONATHAN STERN Applicant Agent

GEORGE RAINHART ARCHITECTS

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	07DRB - 00535	GBP	P(3)	\$ 0
<input checked="" type="checkbox"/> All fees have been collected	___	CMF	___	\$ 20.00
<input checked="" type="checkbox"/> All case #s are assigned	___	___	___	\$
<input checked="" type="checkbox"/> AGIS copy has been sent	___	___	___	\$
<input checked="" type="checkbox"/> Case history #s are listed	___	___	___	\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	___	___	___	\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus	___	___	___	\$
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	___	___	___	\$
	Hearing date <u>05/02/07</u>			Total
				\$ 20.00

Andrew Garcia 4/24/07

Project # 1002404

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

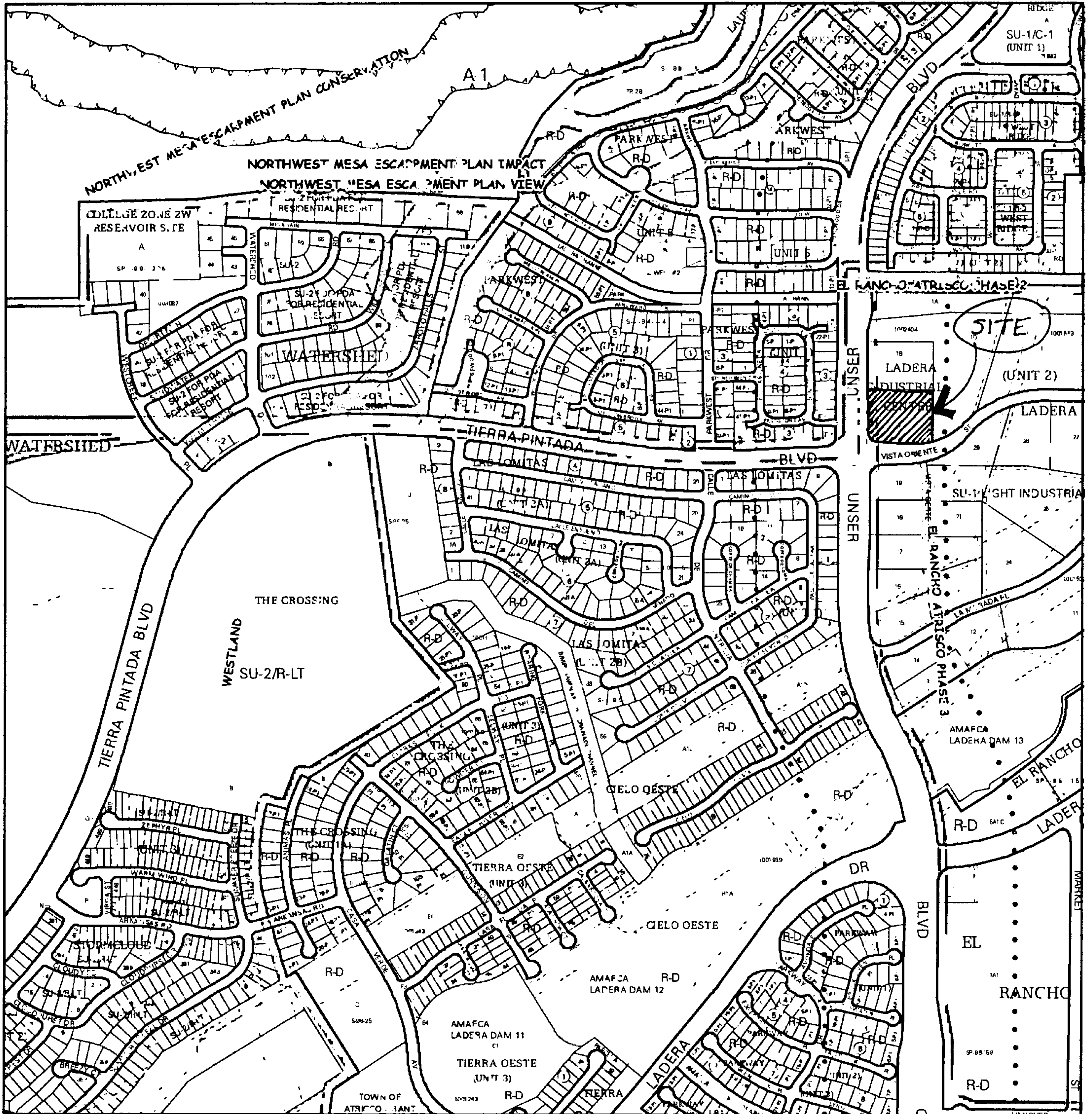
JONATHAN STERN
 Applicant name (print)
[Signature] 4/24/07
 Applicant signature / date



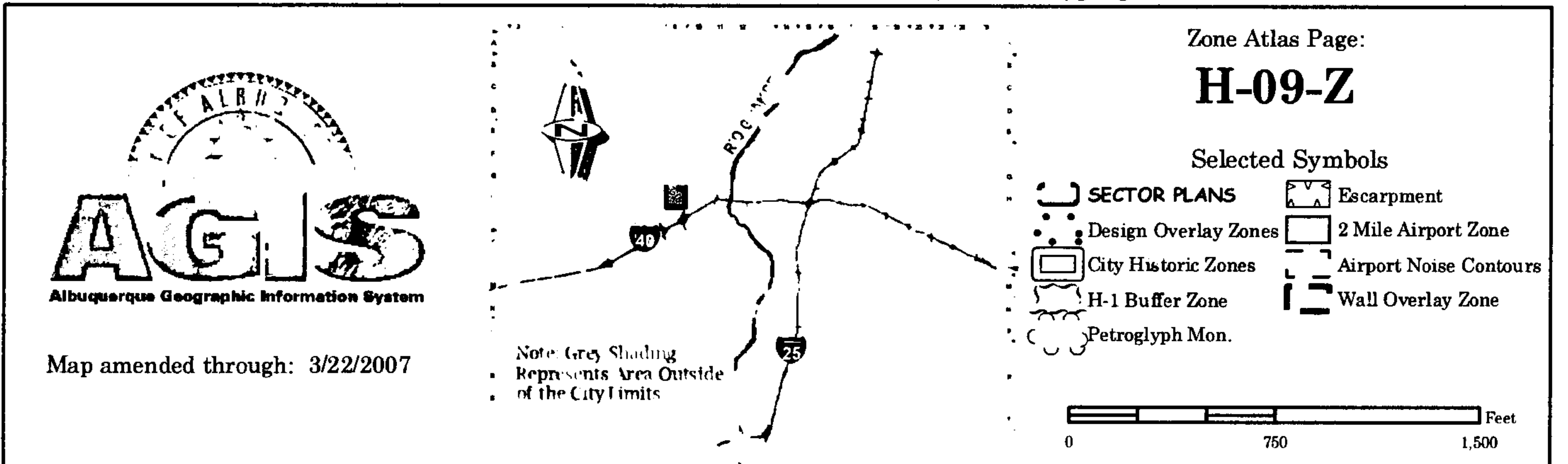
Form revised JUNE 2005

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- | | |
|--------------------------|-------|
| Application case numbers | |
| 07DRB - | 00535 |
| - | - |
| - | - |

Andrew Genoa 4/24/07
 Planner signature / date
Project # 1002404



For more current information and more details visit: <http://www.cabq.gov/gis>



April 23, 2007

City of Albuquerque
Planning Department
600 Second St. NW
Albuquerque, NM 87103

Re: SITE PLAN FOR BUILDING PERMIT FOR A 2.13 ACRE SITE LOCATED AT
THE NORTHEAST CORNER OF UNSER BOULEVARD AND VISTA ORIENTE
STREETS
(Project #1002404/07EPC00104)

To Whom It May Concern:

We herewith are submitting a DRB application Tuesday, April 23, 2007 for Site Plan for Building Permit approval. The proposed project is located at Lot 1-C, Ladera Industrial Center, within the Town of Atrisco Grant, City of Albuquerque, Bernalillo County, N.M. zone map #H-9-Z (at the Northeast corner of Unser Boulevard and Vista Oriente Street). The proposed building is a Walgreens Pharmacy with a drive up window. The submittal package includes supporting Civil and Landscape drawings, and proposed building elevations.

The EPC voted to approve the Site Development Plan for Building Permit on March 15, 2007, with the following conditions (responses to conditions are in bold type):

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

This letter describes the revisions made to the site plan in response to the EPC conditions.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

The staff planner has been consulted, and responses to conditions have been coordinated with her requirements.

3. RECOMMENDED COMDITONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMEN, WATER AUTHORITY AND NMDOT – Conditions of approval for the proposed Site Development Plan for Building Permit shall include:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed with in public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2426), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required systems improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Site plan shall comply and be designed per DPM Standards.

Many of the required improvements were already completed pursuant to the previously approved Site Plan for Subdivision. All remaining required infrastructure will comply with DPM standards.

4. The following changes shall be made relevant sheets of the site development plan:
 - a. Label the adjoining lot to the north of the site '1-B' (correction).

This correction has been made.

- b. Add enhanced pedestrian crossing across the vehicular access on Vista Oriente, to match the one shown on the Unser Blvd access.

Enhanced pedestrian crossing has been provided where requested.

- c. Motorcycle parking shall be relocated to the northwest corner by the entrance to the building.

Motorcycle parking has been relocated close to the building entrance.

- d. The portal and walkway on the west side of the building shall be adjusted

as necessary to accommodate seating that complies with the approved Design Guidelines and is away from disabled parking spaces, while maintaining a 6 foot wide clear path and a sidewalk width of 10 feet minimum.

As noted on the site plan, the sidewalk on the west side under the portal is 10' wide with a 6' minimum clear path.

e. Pedestrian-scale lighting shall be added in order to accent walkways.

Pedestrian scale lighting has been added in locations agreeable to the Planning Department.

f. Building-mounted lighting shall be shown.

Building-mounted lighting has been noted on the building elevation sheet.

g. The eastern most drive shall be reduced to 28 feet in width. The next drive moving westward shall be reduced to 24 feet and the striped area between that and the pharmacy area shall be widened accordingly, with plantings added.

The drive aisle modifications have been completed per this condition, including the addition of the requested planter.

5. The monument sign on the site development plan for building permit (sheet AS-1) shall be reduced to a maximum height of 12 feet.

The monument sign will be no higher than 12 feet per the exhibit on AS-1.

6. The landscape plan shall be amended as follows:
a. 40% of the total trees provided shall be evergreen native species.

Because street trees and parking lot trees must have a canopy of 30' and there are no native evergreen trees that meet that criterion, 20 native evergreen trees consisting of a mix of pinon and curleaf mountain mahogany were added to the plan.

b. Correct the total landscape provided to indicate 20%, not 15%.

The percentage has been corrected and is now 26% including the offsite landscaping.

- c. Plantings at the base of the west retaining wall (facing the building) shall include a 40% minimum of evergreen shrubs or climbing vines to break up the mass of the wall.

Plants in this area consist of honeysuckle, rosemary, greyleaf cotoneaster, red yucca, pinon pine, and curleaf mahogany, all of which are evergreen. There are also 15 grasses along the west wall for variety and interest.

- d. Street trees shall be provided along the Unser vehicular access drive.

We have provided 3 Chinese Pistache and 2 Pinon Pines. This will provide some shade and 40% native evergreen trees as required in condition 6a.

- e. The No-Tree Zone Walgreens footnote shall be deleted.

Note deleted per request.

- f. Honey Locust shall be either the Shade master or Sunburst varieties.

A note has been added to the plant legend indicating that Honey Locust will be one of these varieties.

- g. Street trees shall be added along Unser and Vista Oriente Streets as per City DPM standards and per recommendations of Urban Forester between the curb and the sidewalk to the best extent as possible.

Unser has an existing asphalt trail between curb and sidewalk, so no trees have been added along Unser. Five Chinese Pistache have been added along Vista Oriente while leaving clear areas along the site lines for the signs.

- h. A single tree shall be added at the eastern most parking cluster about at the center of the parking spaces.

An ash or honey locust was added to the planter in the east parking lot.

- i. The irrigation plan shall be amended to increase the bubblers to a minimum of three 1 – gallon bubblers per tree.

Trees will be watered with a 50' length of Netafim. The Netafim detail has been added to the plan and the irrigation notes were changed.

7. The grading at the south row of parking shall be redesigned to achieve infiltration of storm water into landscaped areas.

The site has been regarded on the south side and includes notches in curbs to allow infiltration.

8. The facades of the east and north sides of the building shall be articulated with wall plane projections or recesses, vertical changes in color, texture or material, or projection elements, in accordance with Section 14-16-3-18 (D) (2) of the Zoning Code and design guidelines.

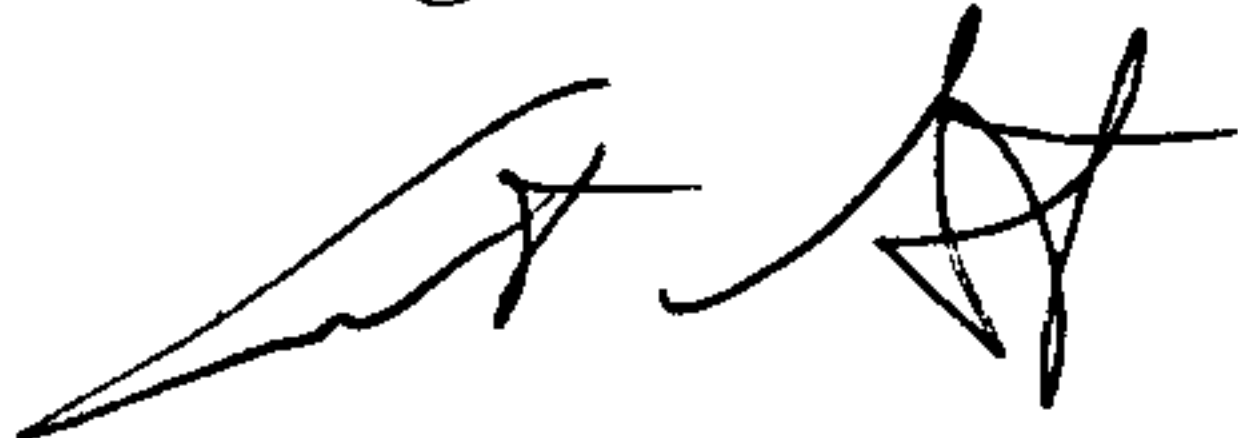
Pilasters have been added, colors on the north walls have been modified to achieve the required articulation.

9. A future application for development of Lot 1-B will be reviewed by EPC in conjunction with the site development plan for building permit for the subject site, Lot 1-C, to ensure landscape and access coordination.

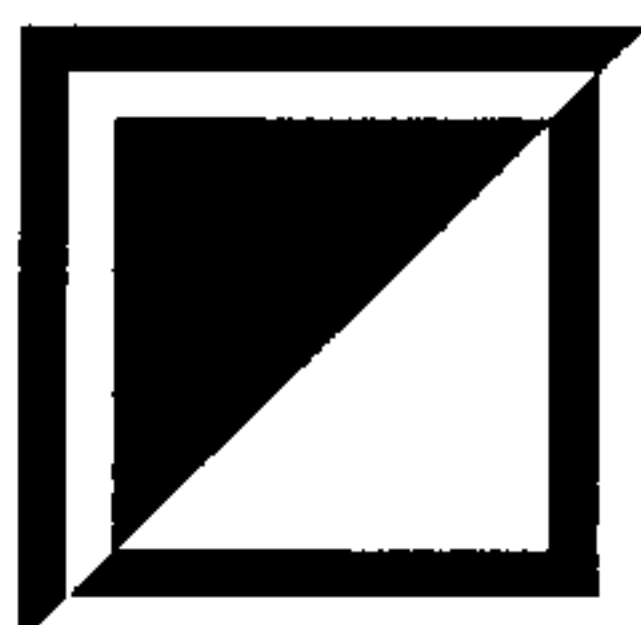
This condition affects future development on adjacent parcels, will be complied with in the future.

Sincerely,

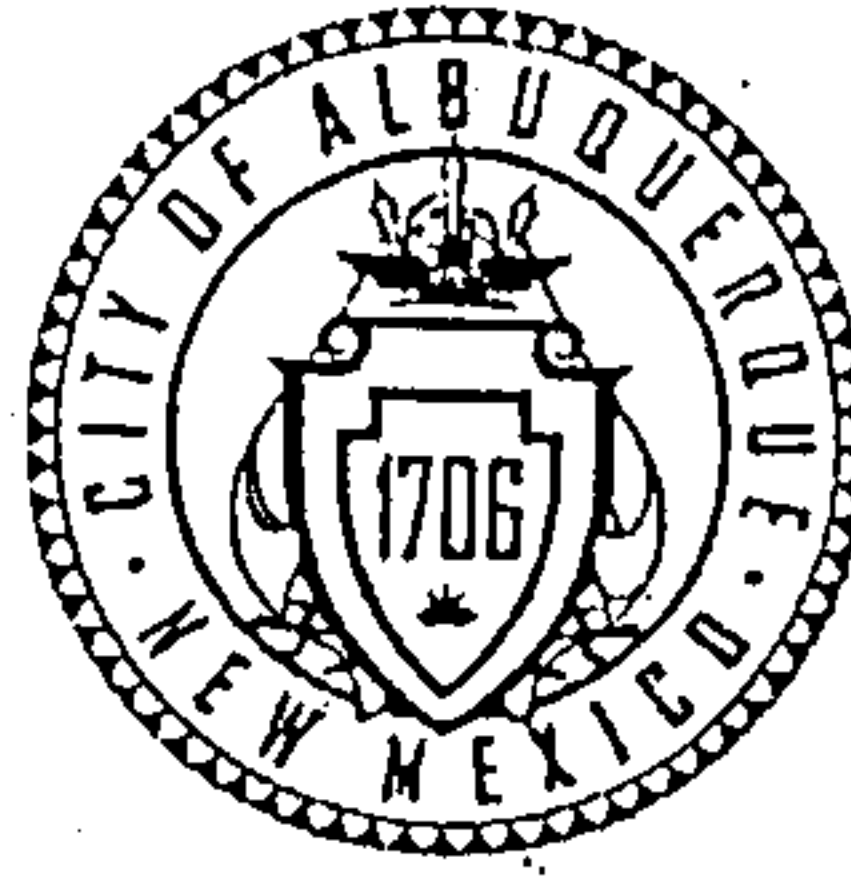
George Rainhart Architects and Associates



Jonathan Stern AIA
Project Manager



2200 UNSER BLVD NW



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 16, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1002404*
07EPC-00104 EPC Site Development Plan-
Building Permit

Walgreen Co.
106 Wilmot Rd.
Deerfield, IL 60015

LEGAL DESCRIPTION: for all or a portion of Lot 1-C, Ladera Industrial Center, zoned SU-1 for IP Uses, located on UNSER Blvd. NW, at the NORTHEAST CORNER of UNSER and VISTA ORIENTE, containing approximately 3 acres. (H-9) Carol Toffaleti, Staff Planner

On March 15, 2007 the Environmental Planning Commission voted to approve Project #1002404/ 07EPC 00104, a request for approval of a Site Development Plan for Building Permit, for Lot 1-C, Ladera Industrial Center, zoned SU-1 for IP, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for a site development plan for building permit for Lot 1-C, Ladera Industrial Center, a site of approximately 2 acres, zoned SU-1 for IP and located at the northeast corner of Unser Blvd. and Vista Oriente NW.
2. The applicant proposes to construct a 14,820 square foot Walgreen's with a drive through pharmacy with access off Unser Blvd and Vista Oriente NW. The store will not sell alcohol.
3. The proposal furthers the goal and the following policies in the Developing and Established Urban Area section of the Comprehensive Plan for these reasons:
 Goal - The proposal increases the variety and choice of work areas and creates a visually pleasing built environment.
 Policy II.B.5.d - The location, intensity and design of the proposed development respects existing neighborhood values.
 Policy II.B.5.e - The proposal will develop vacant land that is continuous to existing or programmed urban facilities and services.

Policy II.B.5.i – The proposal creates employment and service uses in a location that complements residential areas and is sited and designed to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

Policy II.B.5.j – This commercial development is located in an existing commercially zoned area that provides pedestrian and bicycle access within reasonable distance of residential areas for walking or bicycling.

Policy II.B.5.k: The proposal/on a site adjacent to an arterial street is designed to minimize harmful effects of traffic.

Policy II.B.5.l: The building design is appropriate to the plan area.

~~Policy II.B.5.m: The proposal will improve the quality of the visual environment in this location.~~

4. The proposal furthers policy 3.23 in the West Side Strategic Plan by providing commercial services on the west side of the Ladera Community.
5. There is a relatively significant grade change along the west boundary of the site, east of Unser Blvd.
6. Two comments from residents were received in support of the proposal, with one contingent on the store not selling alcohol. The applicant states that the business does not intend to sell alcohol.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. ~~Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.~~
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT - Conditions of approval for the proposed Site Development Plan for Building Permit shall include:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.

- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Site plan shall comply and be designed per DPM Standards.
4. The following changes shall be made to all relevant sheets of the site development plan:
- a. Label the adjoining lot to the north of the site '1-B' (correction).
 - b. Add an enhanced pedestrian crossing across the vehicular access on Vista Oriente, to match the one shown on the Unser Blvd access.
 - c. Motorcycle parking shall be relocated to the northwest corner by the entrance to the building.
 - d. The portal and walkway on the west side of the building shall be adjusted as necessary to accommodate seating that complies with the approved Design Guidelines and is away from disabled parking spaces, while maintaining a 6 foot wide clear path and a sidewalk width of 10 feet minimum.
 - e. Pedestrian-scale lighting shall be added in order to accent walkways.
 - f. Building-mounted lighting shall be shown.
 - g. The eastern most drive shall be reduced to 28 feet in width. The next drive moving westward shall be reduced to 24 feet and the striped area between that and the pharmacy area shall be widened accordingly, with plantings added.
5. The monument sign on the site development plan for building permit (sheet AS-1) shall be reduced to a maximum height of 12 feet.
6. The landscape plan shall be amended as follows:
- a. 40% of the total trees provided shall be evergreen native species.
 - b. Correct the total landscape provided to indicate 20%, not 15%.
 - c. Plantings at the base of the west retaining wall (facing the building) shall include a 40% minimum of evergreen shrubs or climbing vines to break up the mass of the wall.
 - d. Street trees shall be provided along the Unser vehicular access drive.
 - e. The No-Tree Zone Walgreens footnote shall be deleted.
 - f. Honey Locust shall be either the Shade-master or Sunburst varieties.
 - g. Street trees shall be added along Unser and Vista Oriente Streets as per city DPM standards and per recommendations of Urban Forester between the curb and sidewalk to the best extent possible.
 - h. A single tree shall be added at the eastern most parking cluster about at the center of the parking spaces.

OFFICIAL NOTICE OF DECISION
PROJECT #1002404
MARCH 15, 2007
PAGE 4 OF 5

- i. The irrigation plan shall be amended to increase the bubblers to a minimum of three 1-gallon bubblers per tree.
7. The grading at the south row of parking shall be redesigned to achieve infiltration of storm water into landscaped areas.
8. The facades of the east and north sides of the building shall be articulated with wall plane projections or recesses, vertical changes in color, texture or material, or projection elements, in accordance with Section 14-16-3-18 (D) (2) of the Zoning Code and design guidelines.
9. A future application for development of Lot 1-B will be reviewed by the EPC in conjunction with the site development plan for building permit for the subject site, Lot 1-C, to ensure landscape and access coordination.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MARCH 30, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

OFFICIAL NOTICE OF DECISION
PROJECT #1002404
MARCH 15, 2007
PAGE 5 OF 5

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,

CMarone

for Richard Dineen
Planning Director

RD/CT/ac

cc: George Rainhart Architects, 2325 San Pedro NE, Suite 2B, Albuquerque, NM 87110
Bob McCannon, Ladera West NA, 2808 El Tesoro Escondido NW, Albuquerque, NM 87120
Dan Serrano, Ladera West NA, 3305 Ronda de Lechugas NW, Albuquerque, NM 87120
Joanne Barnett, Las Lomas NA, 8106 Calle Ensueno NW, Albuquerque, NM 87120
David Skowran, Las Lomas NW, P.O. Box 67222, Albuquerque, NM 87193-7222
John Valdez, Villages of Parkwest NA, 8312 Creekwood Ave. NW, Albuquerque, NM 87120
Tim Settle, Villages of Parkwest NA, 8240 Meadowbrook NW, Albuquerque, NM 87120

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Walgreen Co.
AGENT George Rainhart, Architects
ADDRESS 2325, San Pedro NE, Suite 2B.
PROJECT & APP # 1002404 / 07 DRB-00535
PROJECT NAME Ladera Industrial Center

\$ 20.00 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

GEORGE R. RAINHART
ARCHITECT & ASSOCIATES, P.C.
2325 SAN PEDRO NE-SUITE 2B
ALBUQUERQUE, NM 87110
884-9110

2922

DATE 04/24/2007 CITY OF ALBUQUERQUE
Treasury Division \$ 20

PAY TO THE ORDER OF

City of Albuquerque

TWENTY and 00/100

 **Compass Bank**
Albuquerque, New Mexico

FOR

DRB 1002404

4/24/2007 10:44AM LOC: ANNY
Account 441032 Fund 0110
Activity 3424000 TRSLJS
Trans Am \$20.00
174.115 \$20.00 MP
\$0.00

⑆002922⑆ ⑆107000783⑆ 00125779⑆

Thank You

22

FILE

No. Of Lots 4
Nearest Major Streets Unser & 98th NW - 1002104

FIGURE 12
SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 9th day of June, 2004, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and **AIM MANAGEMENT CORPORATION** ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] **A Texas corporation**, whose address is **1015 Tijeras NW, Albuquerque, NM 87102** and whose telephone number is **(505) 338-2285**, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

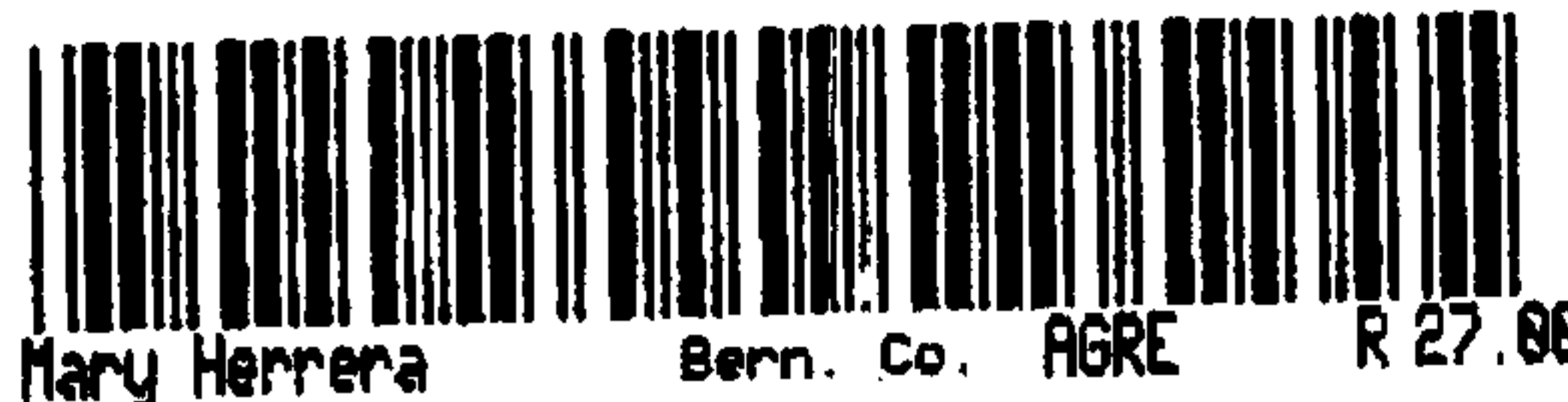
1. **Recital.** The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] **Lot numbered One (1) Ladera Industrial Center, Albuquerque, New Mexico**, recorded on **FEBRUARY 12, 1993** in the records of the Bernalillo County Clerk at Book **93-C**, Folio **39** (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] **GORDON L. SKARSGARD** ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as **Lots 1-A, 1-B, 1-C and 1-D Ladera Industrial Center** describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. **Improvements and Construction Deadline.** The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the **1st** day of **MAY**, 2005 ("Construction Completion Deadline"), at no cost to the City. The improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. **738981**.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board (DRB), unless the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain





Supplemental form

SUBDIVISION **S**

Major Subdivision action

Minor Subdivision action

Vacation **V**

Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

Supplemental form

ZONING & PLANNING **Z**

Annexation

County Submittal

EPC Submittal

Zone Map Amendment (Establish or Change Zoning)

Sector Plan (Phase I, II, III)

Amendment to Sector, Area, Facility or Comprehensive Plan

Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: AMC DEVELOPMENT SERVICES PHONE: 338.2285

ADDRESS: 1015 TIJERAS NW STE 200 FAX: 338.0200

CITY: ABQ STATE NM ZIP 87102 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: CITY OF ALBUQUERQUE

AGENT (if any): TIERRA WEST LLC PHONE: 858-3100

ADDRESS: 8509 JEFFERSON NE FAX: 858-1118

CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: twllc@tierrawestllc.com

DESCRIPTION OF REQUEST: FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 1 Block: _____ Unit: _____

Subdiv. / Addn. LADERA INDUSTRIAL CENTER

Current Zoning: SU-1 FOR IP Proposed zoning: SU-1 FOR IP

Zone Atlas page(s): H-9 No. of existing lots: 1 No. of proposed lots: 4

Total area of site (acres): 9.2 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No. 100905945634410201 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: UNSER BOULEVARD NW

Between: OLD OURAY ROAD NW and VISTA ORIENTE STREET NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): Z-92-45/Z-81-49-1/DRB-99-102/V-99-39/02EPC-01948/-03EPC-01092 - PROJ#1002404, 03EPC-01211, 03EPC-01116, 04DRB-00673, 04DRB-00672

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Tyler Ashton DATE 6-8-04

(Print) TYLER ASHTON, P.E. Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>C4DRB - 00904</u>	<u>EP</u>	<u>5(3)</u>	<u>\$ 0</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	<u>\$</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	<u>\$ 20</u>
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	<u>\$</u>
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	<u>\$</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	<u>\$</u>
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	<u>Total</u>
<input type="checkbox"/> F.H.D.P. fee-rebate	_____	_____	_____	<u>\$ 40.00</u>

Hearing date 6/16/04

B. Verbert 6/8/04 Project # 1002404

Planner signature / date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.

Vacant Land

- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule) \$20
- Any original and/or related file numbers are listed on the cover application

SIA

Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Tyler Ashton

Tyler Ashton
Applicant name (print)
6-8-04
Applicant signature / date



Form revised 10/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
0402B - 00904

Planner signature / date
1002404

Project # 1002404

TIERRA WEST, LLC

6509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

June 8, 2004

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Final Plat Approval
For All or a Portion of Lot 1, Ladera Industrial Park.
Located on Unser Boulevard between Old Ouray Road & Vista Oriente Street NW
Project #1002404, 03EPC-01211; Zone Atlas H-9**

Dear Ms. Matson:

Tierra West LLC, on behalf of the owner, requests approval of the Final Plat for the above-referenced project. The site is located on Unser Boulevard between Old Ouray Road & Vista Oriente Street NW; is zoned SU-1 for IP and is approximately 11.9 acres. On May 12, 2004 DRB approved the preliminary plat and deferred the final plat approval until the SIA was recorded. The SIA has been recorded and we request that the final plat be approved.

If you have any questions or need additional information regarding the matter, please do not hesitate to call me.

Sincerely,

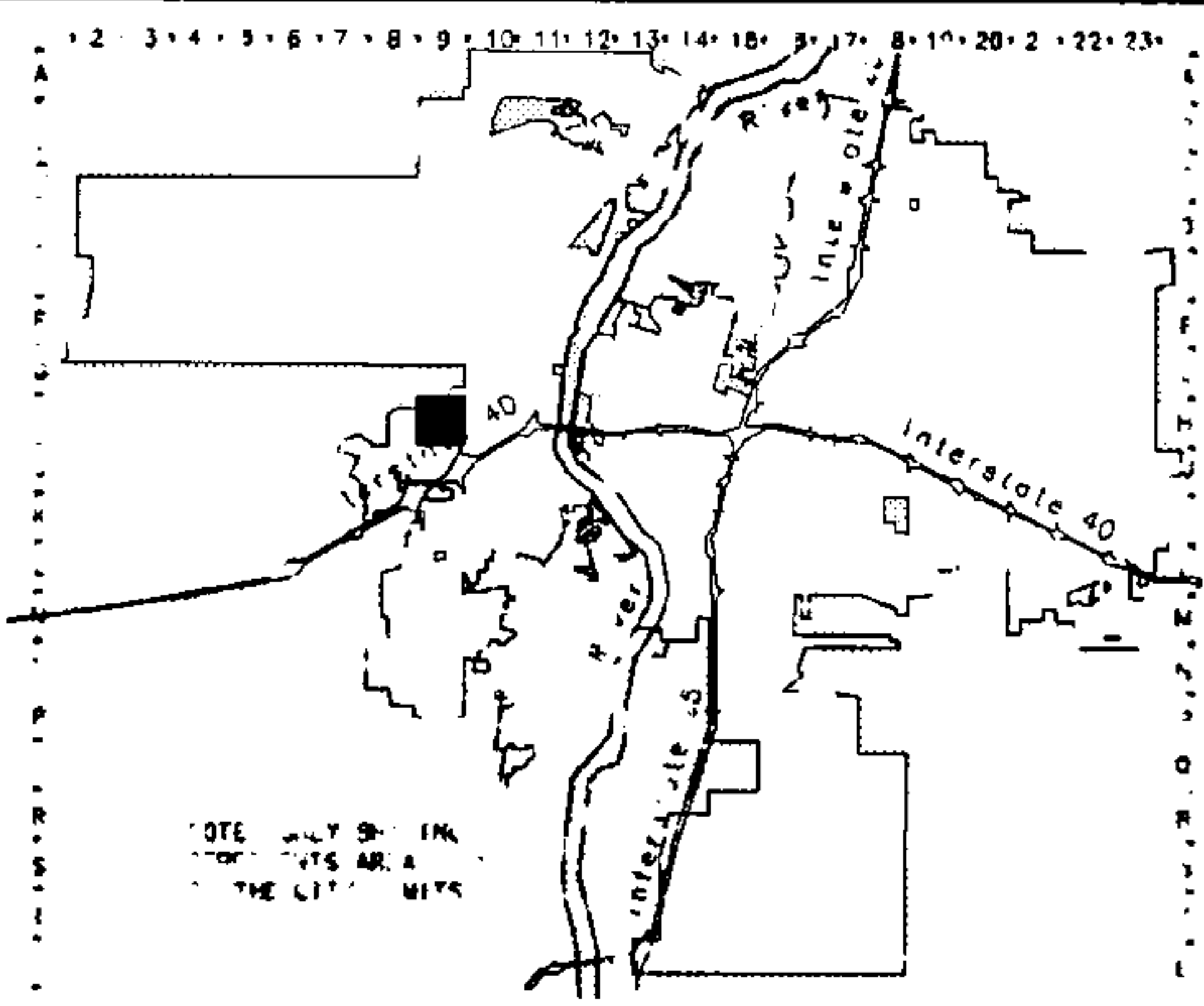
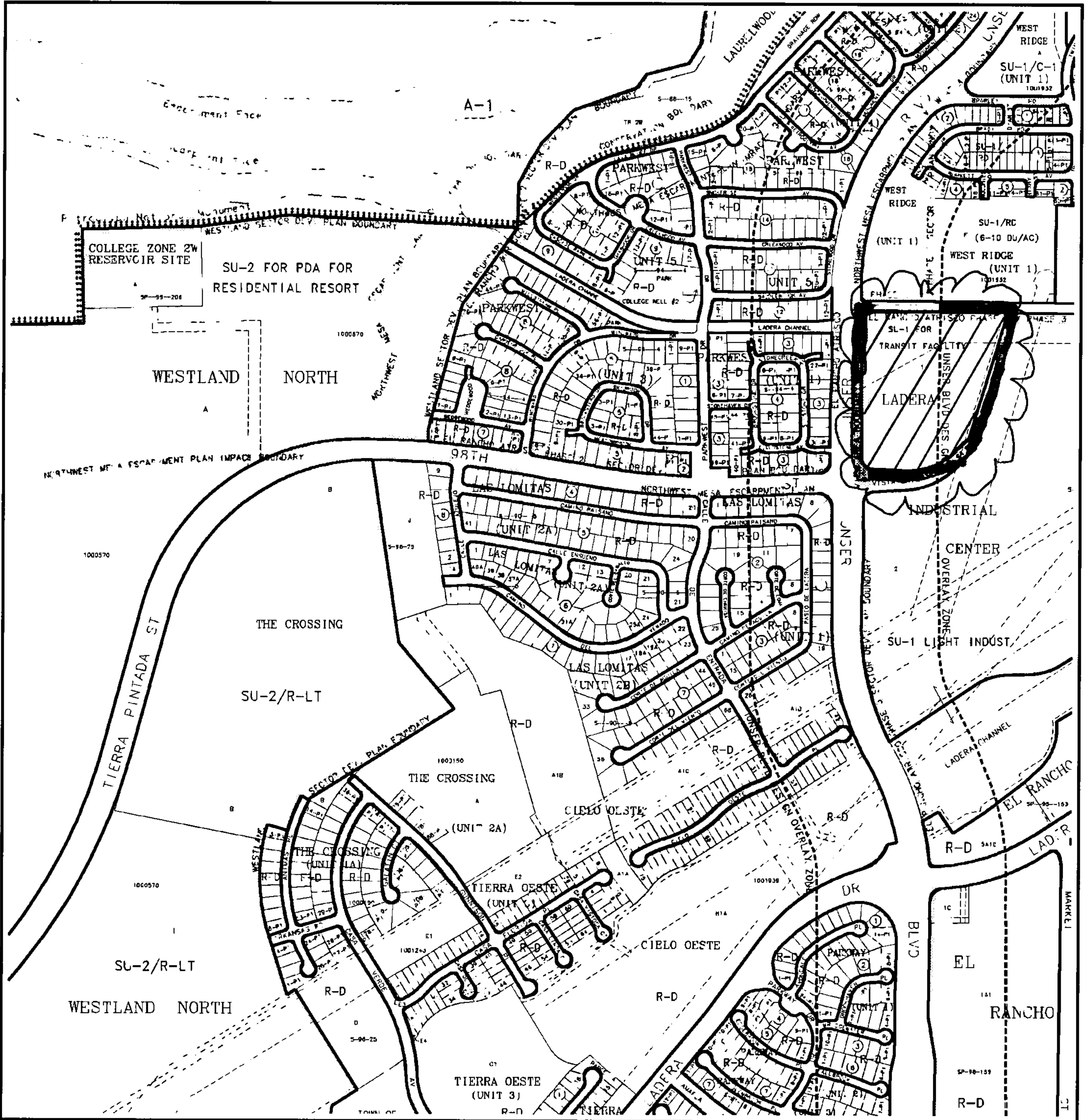


Tyler J. Ashton, P.E.

Enclosure/s

cc: Jeff Jesionowski

JN: 220090
RRB/jf



CITY OF
Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

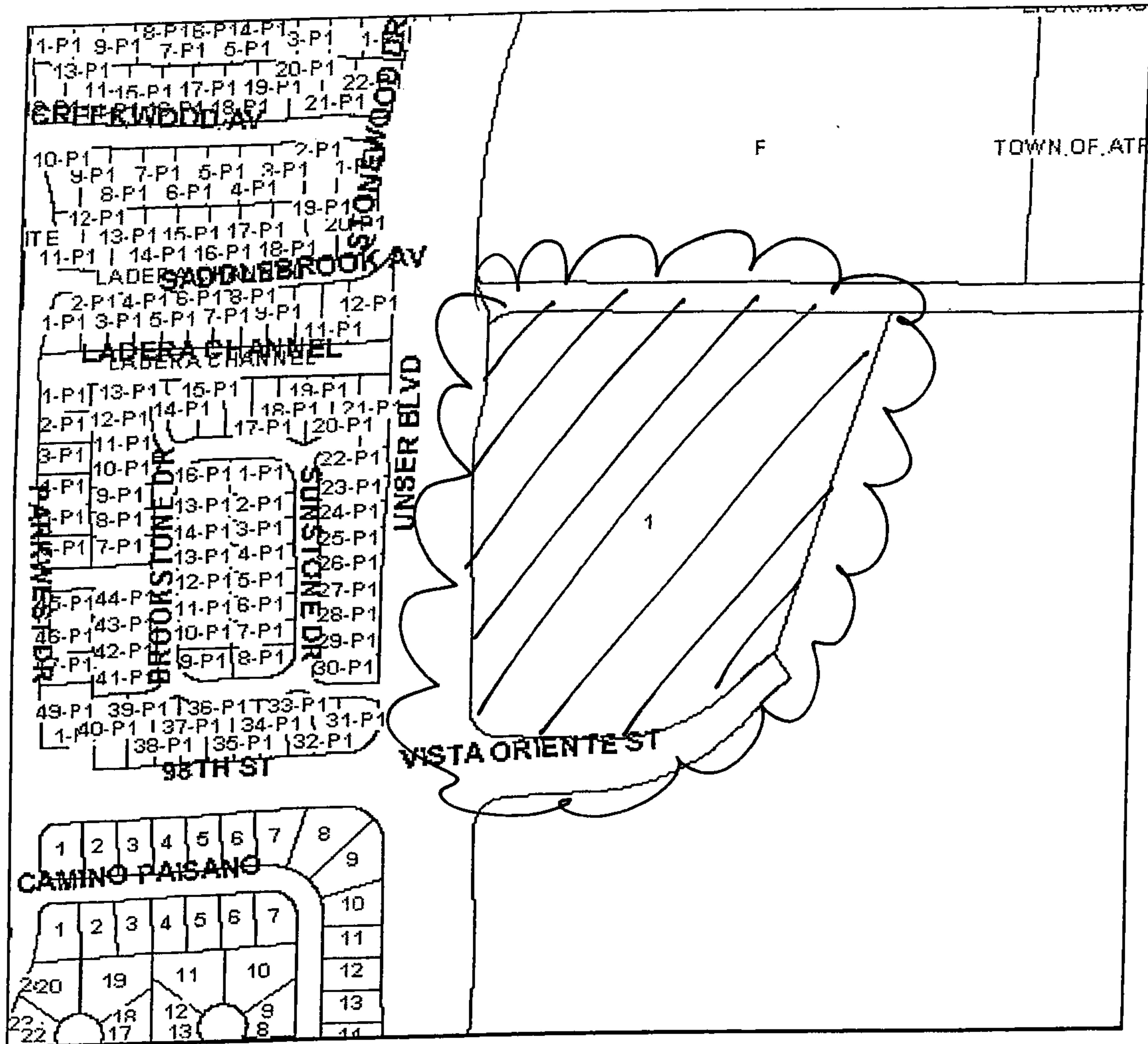
© Copyright 2003



Zone Atlas Page

H-9-Z

Map Amended through August 01, 2003



Zoning: SU-1 LIGHT INDUST
 Lot/Block/Subd: 1 , 0000 , LADERA INDUSTRIAL CENTER
 ZoneMap Page: H9
 Jurisdiction: CITY
 UPC #: 100905945634410201
 Owner Name: CITY OF ALBUQUERQUE

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME AMC DEV. SERV,
 AGENT TIERRA WEST LLC
 ADDRESS 8509 JEFFERSON ST NE,
 PROJECT & APP # 1002404 / 03 DRB-00907
 PROJECT NAME _____

\$ 2000 469099/4916000 Conflict Management Fee
 \$ _____ 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 2000 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

TIERRA WEST LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NM 87113
 (505) 858-3100

1659
 95-677/1070

DATE 6/8/04

PAY TO THE ORDER OF City of Albuquerque
Twenty

\$ 20.00

*****DUPLICATE*****

City of Albuquerque
 Treasury Division

06/08/2004 4:27 PM LDC: ANN
 RECEIPT# 00027157 WRM 007 TRANSH 0049
 469099

FOR 22090.02 #35 DRB Final Plan

⑈001659⑈ ⑆107006677⑆

20040613 4916000 TRSLJS

Trans Amt \$20.00

J24 Misc	\$20.00
CK	\$20.00
CHANGE	\$0.00

Thank You

Current DRC
Project Number:

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: 5/12/04
Date Preliminary Plat Expires: 5/12/05
DRB Project No.: 1002404
DRB Application No.: _____

9

Ladera Lot 1

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots 1-A, 1-B, 1-C, and 1-D, Ladera Industrial Center
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<i>Public Improvements</i>									
		12' F-Exist.	* Arterial Paving(Deccel Lane), Curb and Gutter and 6' Sidewalk / <i>Trail</i>	Unser	180' North of Intersection of Vista Oriente St	Entrance to Center	/	/	/
		48' F-F	Pavement/ C & G / Median (north half) <i>6' Sidewalk</i>	Vista Oriente	Unser	SE corner of Lot 1	/	/	/
		10'	<i>Aspha H. Trail</i>	<i>Old Quarry Road Lot 1A</i>	<i>Unser</i>	<i>NE Corner of Lot 1A</i>	/	/	/
		8" SAS	<i>GRAVITY SAS</i>	<i>Unser</i>	<i>West Road Unser</i>	<i>Lot 1-B Unser Road (Unser Blm)</i>	/	/	/
Certified Grading and Drainage with Private Walls and Private Drainage (Non-work order item) Required for SIA Financial Guarantee Release.									

NOTES

- 1 8" SAS GRAVITY
Line: Case Blvd. West Row Line of UNCD (EXHUM.) Lot 1-B Edge of Row of UNCD Blvd.
- 2
- 3
- 4
- 5 * Subject to NMDOT approval.

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Ronald R. Bohannon
NAME (print)

[Signature] 5/12/04
DRB CHAIR - date

[Signature] 5/12/04
PARKS & GENERAL SERVICES - date

Tierra West LLC
FIRM

[Signature] 5-12-04
TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature] 5/12/04
SIGNATURE - date

[Signature] 5/12/04
UTILITY DEVELOPMENT - date

_____ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

[Signature] 5/12/04
CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

9



DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00672 (SPS)
Project Name: LADERA INDUSTRIAL CENTER
Agent: Tierra West LLC

Project # 1002404
Phone No.: 858-3100

Your request for (SDP for SUB) (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/12/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: - need approved utility plan
- need Fire Marshall approval & fire flow rates.

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1002404



Supplemental form
SUBDIVISION **S**
 Major Subdivision action
 Minor Subdivision action
 Vacation **V**
 Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**
 ...for Subdivision Purposes
 ...for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC) **L**

Supplemental form
ZONING & PLANNING **Z**
 Annexation
 County Submittal
 EPC Submittal
 Zone Map Amendment (Establish or Change Zoning)
 Sector Plan (Phase I, II, III)
 Amendment to Sector, Area, Facility or Comprehensive Plan
 Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... **A**
 Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: AMC DEVELOPMENT SERVICES PHONE: 338.2285
 ADDRESS: 1015 TIJERAS NW STE 200 FAX: 338.0200
 CITY: ABQ STATE NM ZIP 87102 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: CITY OF ALBUQUERQUE
 AGENT (if any): TIERRA WEST LLC PHONE: 858-3100
 ADDRESS: 8509 JEFFERSON NE FAX: 858-1118
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: twlc@tierrawestllc.com

DESCRIPTION OF REQUEST: PRELIMINARY PLAT & EPC FINAL SIGN OFF APPROVAL OF SITE PLAN FOR SUBDIVISION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 1 Block: _____ Unit: _____
 Subdiv. / Adn. LADERA INDUSTRIAL CENTER
 Current Zoning: SU-1 FOR IP Proposed zoning: SU-1 FOR IP
 Zone Atlas page(s): H-9 No. of existing lots: 1 No. of proposed lots: 2
 Total area of site (acres): 9.2 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 100905945634410201 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: UNSER BOULEVARD NW
 Between: OLD OURAY ROAD NW and VISTA ORIENTE STREET NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): Z-92-45/Z-81-49-1/DRB-99-102/V-99-39/02EPC-01948/-03EPC-01092 - PROJ#1002404 03EPC-01211, 03EPC-01116

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE

[Signature] DATE 5/4/04
 (Print) RONALD R. BOHANNAN, P.E. _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>04 DRB - 00673</u>	<u>P&F</u>	<u>5(3)</u>	<u>\$ 425</u>
<input type="checkbox"/> All fees have been collected	<u>04 DRB - 00672</u>	<u>SPS</u>	<u>1(3)</u>	<u>\$ 0</u>
<input type="checkbox"/> All case #s are assigned	_____	<u>CONFL.MGMT. FEE</u>	_____	<u>\$ 20</u>
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	<u>\$</u>
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	<u>\$</u>
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	<u>\$</u>
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	<u>Total</u>
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 445⁰⁰</u>

Hearing date MAY 12, '04
[Signature] 05/04/04 Project # 1002404
 Planner signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
- Blue-line copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
- Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
- Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald P. Bohannon, P.E.
Applicant name (print)
[Signature]
Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04DRB- -00672

Bohannon 5/4/04
Planner signature / date
Project # 1002404

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule 18425)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, P.E.
Applicant name (print)
[Signature]
Applicant signature / date



Form revised 10/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04DRB - - - - - 00673
_____-_____-_____
_____-_____-_____

[Signature] 5/4/04
Planner signature / date
Project # 1002404



TIERRA WEST, LLC

3509 Jefferson NE
Albuquerque, NM 87113

(505) 855-3100
fax (505) 858-1118

twll@tierrawestllc.com
1-800-245-3102

May 4, 2004

Ms. Sheran Matson, AICP, Chair
Development Review Board
CITY OF ALBUQUERQUE
P.O. Box 1293
Albuquerque, NM 87103

**RE: DRB Final Sign Off of EPC Approved Site Plan for Building Permit
For All or a Portion of Lot 1, Ladera Industrial Park.
Located on Unser Boulevard between Old Ouray Road & Vista Oriente Street NW
Project #1002404, 03EPC-01211; Zone Atlas H-9**

Dear Ms. Matson:

Tierra West, LLC on behalf of the owner, is providing the following responses to the conditions of the approval, stated in the Official Notice of Decision dated August 22, 2003. The conditions are reiterated below with the responses (in bold) as follows:

1. The applicant shall add language, "and required", to a cross access clause on Note #1 of the Site Plan to read: "Common storm drainage, pedestrian, and vehicular access across new tracts is granted and required by this site plan, and will be granted on the replat."
The language was added to note 1 the Site Plan.
2. A maximum height of light poles, not within 100 feet of residential zoning, shall be limited to 20 feet pursuant to Section 14-16-3-9(D).
This note was added to note 5 on the Site Plan.
3. Pedestrian ingress and egress from Unser Boulevard to Lot 1-B, Lot 1-C, and Lot 1-D shall be shown by a diagram, respectively.
Pedestrian ingress and egress from Unser Boulevard is shown on the Site Plan.
4. Upon approval of the Site Plan for Subdivision by the EPC, a Site Plan for Building Permit shall be submitted for review by the EPC that incorporates architectural guidelines, landscape guidelines, pedestrian circulation plan, and signage guidelines in compliance with the Unser Boulevard Design Overlay Zone.
Site specific plans will be submitted to EPC as the properties are developed.
5. Conditions of approval for the proposed Site Development Plan for Subdivision shall include:

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and/or provided for, if applicable.
All requirements were addressed.
 - b. Traffic Impact Study (TIS) is required. Must be submitted prior to Site Development Plan for Building Permit
A TIS was submitted and comments from the NMDOT are being addressed.
 - c. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, and sidewalk that have not already been provided for.
All permanent improvements that have not been provided for will be installed and an infrastructure list will be submitted.
 - d. Provide separate access, from Vista Oriente Street, to storage units. Driveway spacing to be per DPM requirements.
Separate access was provided from Vista Oriente Street to the storage units and is spaced per the DPM requirements.
 - e. The proposed right-turn access midway between Old Ouray Road and Vista Oriente Street (98th Street) is not a permitted access as designated on the Long Range Roadway System, unless otherwise approved by the Metropolitan Transportation Board (MTB) of the Mid-Region Council of Governments.
An agreement with NMDOT was reached for a 'right-in only' access and this access is shown on the Site Plan and is also being submitted for approval through the Metropolitan Transportation Board.
 - f. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required prior to placement on DRB agenda.
A drainage plan was submitted to City Hydrology for review and approval.
 - f. Platting should be a concurrent DRB action.
Platting will be concurrent with the Site Plan for Subdivision submittal.
6. The design guidelines be modified to incorporate those concerns raised by the Commission and staff. (Pedestrian connection, parking space dimensions, screening of parking lot/area that faces public street, language substitute "shall" should substitute for "should" on item number g or h. The 6 foot linear seating in front of building entrances.)
The design guidelines, number g and h, were modified to reflect the concerns of Commission and staff.
 7. Lack of agreement between Planning Department staff and the applicant as to the design elements contained in any subsequent site plan for building permit applications to the DRB for the subject property shall result in the application being heard by the EPC for determination. Site Plan for building permit applications at the DRB shall be fully noticed and advertised in the fashion. A fully publicly noticed hearing (30-day) hearing shall be provided for DRB hearings of the site plans for building permit.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink that reads "Tyler Ashton". The signature is written in a cursive, flowing style.

Tyler J. Ashton, PE

Enclosure/s

cc: Jeff Jesionowski

JN: 220090

TA/dg

JN 22090
17/11/03
EPC
cc: Jeff
David



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: August 22, 2003

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002404 ***
03EPC-01092 Zone Map Amendment
03EPC-01211 Site Development plan-Subdivision
03EPC-01116 Sector Plan Amendment

City of Albuquerque, Transit Department
100 First Street SW
Albuq. NM 87102

LEGAL DESCRIPTION: for all or a portion of Lot 1, **Ladera Industrial Park**, a zone map amendment from SU-1 for Transit to SU-1 for IP, located on UNSER BLVD. NW between OLD OURAY RD. NW and VISTA ORIENTE ST. NW, containing approximately 12 acres. (H-9) Simon Shima, Staff Planner

On August 21, 2003 the Environmental Planning Commission voted to accept withdrawal of Project 1002404/03EPC 01092, a zone map amendment, and 03EPC 01116, a sector development plan amendment, at the request of the agent.

On August 21, 2003 the Environmental Planning Commission voted to approve Project 1002404/03EPC-01211, a Site Development Plan for Subdivision for Lot 1, Ladera Industrial Center based on the following Findings:

FINDINGS:

1. This is a request for approval of a site development plan for subdivision for Lot 1 of Ladera Industrial Center, hereinafter referred to as the "Site Plan". The request is to approve a subdivision of an approximately 12 acre lot, located on the east side of Unser Boulevard between Old Ouray Road and Vista Oriente Street, into 5 lots of varied sizes and uses, Lot 1-A, Lot 1-B, Lot 1-C, Lot 1-D, and Lot 1-E, as shown on the accompanying Site Plan.
2. The applicant is requesting that final approval authority of the Site Plan for Building Permit be delegated to the Design Review Board, hereinafter referred to as the "DRB."

OFFICIAL NOTICE DECISION
PROJECT #1002404
AUGUST 21, 2003
PAGE 2 OF 4

3. The Site Plan is generally consistent with the applicable Comprehensive Plan goal and policies for the Developing Urban Area by offering a choice in service and work areas and creating a visually pleasant built environment (goal) that respects existing neighborhood values and natural environmental conditions (Policy d) and that maintains unique vistas (policy m). The proposed commercial uses on existing Unser Boulevard would provide an effective buffer for future developments to the east of the site (Policy j), and would also further Policy k by minimizing harmful effects of traffic on Unser Boulevard.
4. The site is located within the West Side Strategic Plan (WSSP) boundaries. It is not within a designated Activity Center. The WSSP Policy 1.3 encourages commercial development in "concentrated clustered areas rather than new strip developments". Nonetheless, the WSSP does not explicitly prohibit commercial development outside of Activity Centers.
5. The Site Plan is generally consistent with the El Rancho Atrisco Area Plan industrial development guidelines. However, review of full compliance with the guidelines will be done when the Site Development Plan for Building Permit is approved.
6. The Site Plan meets all of the requirements of the Zoning Code except for pedestrian ingress and egress from Unser Boulevard to Lot 1-B, Lot 1-C, and Lot 1-D, respectively.
7. The Ladera West Neighborhood Association declined a second facilitated meeting to review the current revised proposal.

CONDITIONS:

1. The applicant shall add language, "and required", to a cross access clause on Note #1 of the Site Plan to read: "Common storm drainage, pedestrian, and vehicular access across new tracts is granted and required by this site plan, and will be granted on the replat."
2. A maximum height of light poles, not within 100 feet of residential zoning, shall be limited to 20 feet pursuant to Section 14-16-3-9(D).
3. Pedestrian ingress and egress from Unser Boulevard to Lot 1-B, Lot 1-C, and Lot 1-D shall be shown by a diagram, respectively.
4. Upon approval of the Site Plan for Subdivision by the EPC, a Site Plan for Building Permit be submitted for review by the EPC that incorporates architectural guidelines, landscape guidelines, pedestrian circulation plan, and signage guidelines in compliance with the Unser Boulevard Design Overlay Zone.
5. Conditions of approval for the proposed Site Development Plan for Subdivision shall include:

OFFICIAL NOTICE DECISION
PROJECT #1002404
AUGUST 21, 2003
PAGE 3 OF 4

- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for, if applicable.
 - b. Traffic Impact study (TIS) is required. Must be submitted prior to Site Development Plan for Building Permit.
 - c. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for.
 - d. Provide separate access, from Vista Oriente Street, to storage units. Driveway spacing to be per DPM requirements.
 - e. The proposed right-turn access midway between Old Ouray Road and Vista Oriente Street (98th Street) is not a permitted access as designated on the Long Range Roadway System, unless otherwise approved by the Metropolitan Transportation Board (MTB) of the Mid-Region Council of Governments.
 - f. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required prior to placement on DRB agenda.
 - g. Platting should be a concurrent DRB action.
6. The design guidelines be modified to incorporate those concerns raised by the Commission and staff. (pedestrian connection, parking space dimensions, screening of parking lot/area that faces public street, language substitute "shall" should substitute for "should" on item number g or h. The 6 foot linear seating in front of building entrances.)
7. Lack of agreement between Planning Department staff and the applicant as to the design elements contained in any subsequent site plan for building permit applications to the DRB for the subject property shall result in the application being heard by the EPC for determination. Site plan for building permit applications at the DRB shall be fully noticed and advertised in the fashion. A fully publicly noticed hearing (30-day) hearing shall be provided for DRB hearings of the site plans for building permit.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY SEPTEMBER 5, 2003 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

OFFICIAL NOTICE DECISION
PROJECT #1002404
AUGUST 21, 2003
PAGE 4 OF 4

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

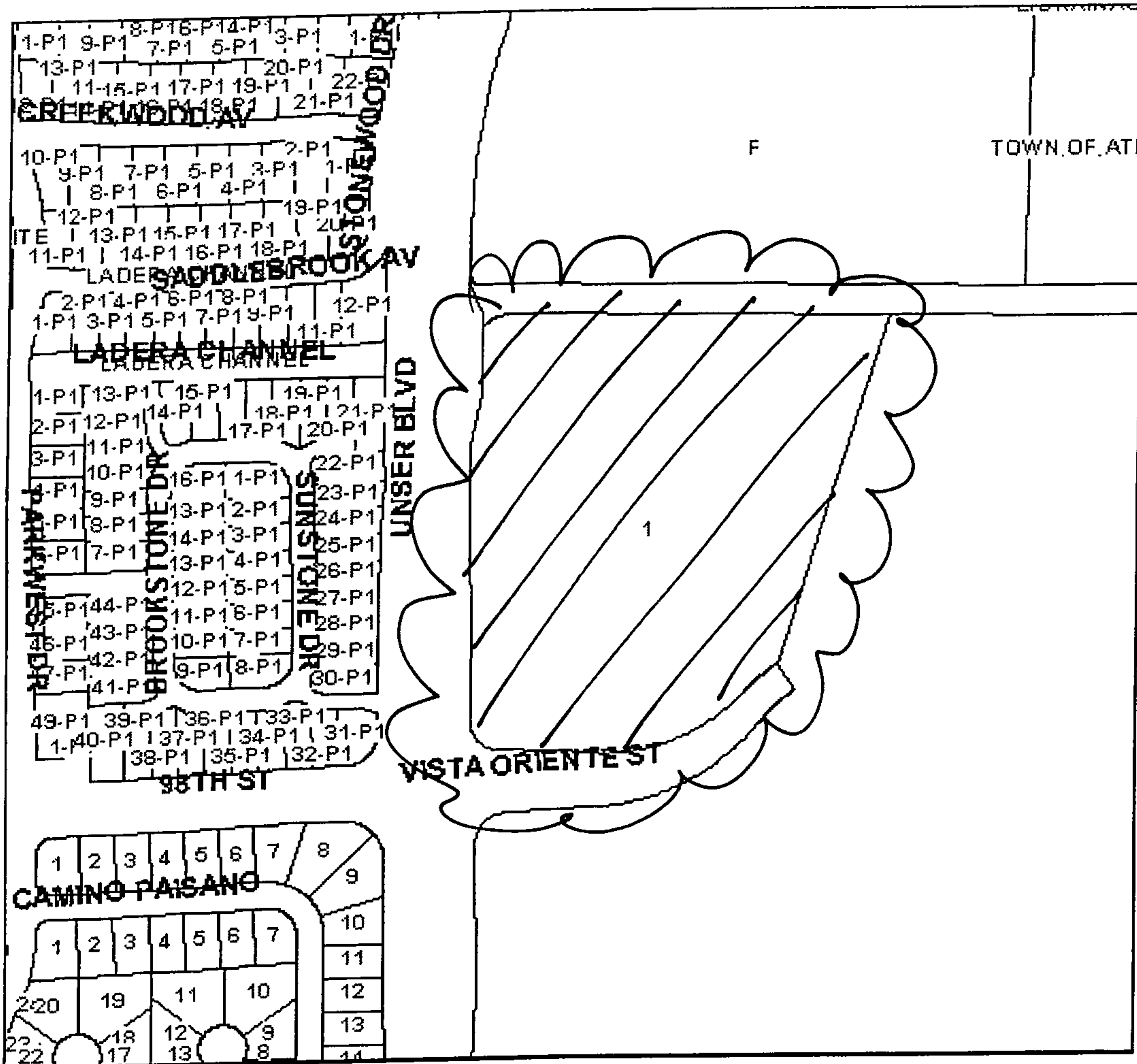
Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Victor J. Chavez
Planning Director

VJC/SS/ac

cc: Tierra West LLC, 8509 Jefferson NE, Albuquerque, NM 87113
Dan Serrano, Ladera West NA, 3305 Ronda de Chusas, Albuquerque, NM 87120
Barry King, Ladera West NA, 3808 Todos Santos NW, Albuquerque, NM 87120
Darlene Motley, Las Lomas NA, 8139 Corte de Aguila NW, Albuquerque, NM 87120
Susan Summey, Las Lomas NA, 8310 Camino Paisano NW, Albuquerque, NM 87120



Zoning: SU-1 LIGHT INDUST
Lot/Block/Subd: 1 , 0000 , LADERA INDUSTRIAL CENTER
ZoneMap Page: H9
Jurisdiction: CITY
UPC #: 100905945634410201
Owner Name: CITY OF ALBUQUERQUE

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1002404
DRB Application No.: _____

INFRASTRUCTURE LIST

**EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Ladera Lot 1

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots 1-A, 1-B, 1-C, and 1-D, Ladera Industrial Center

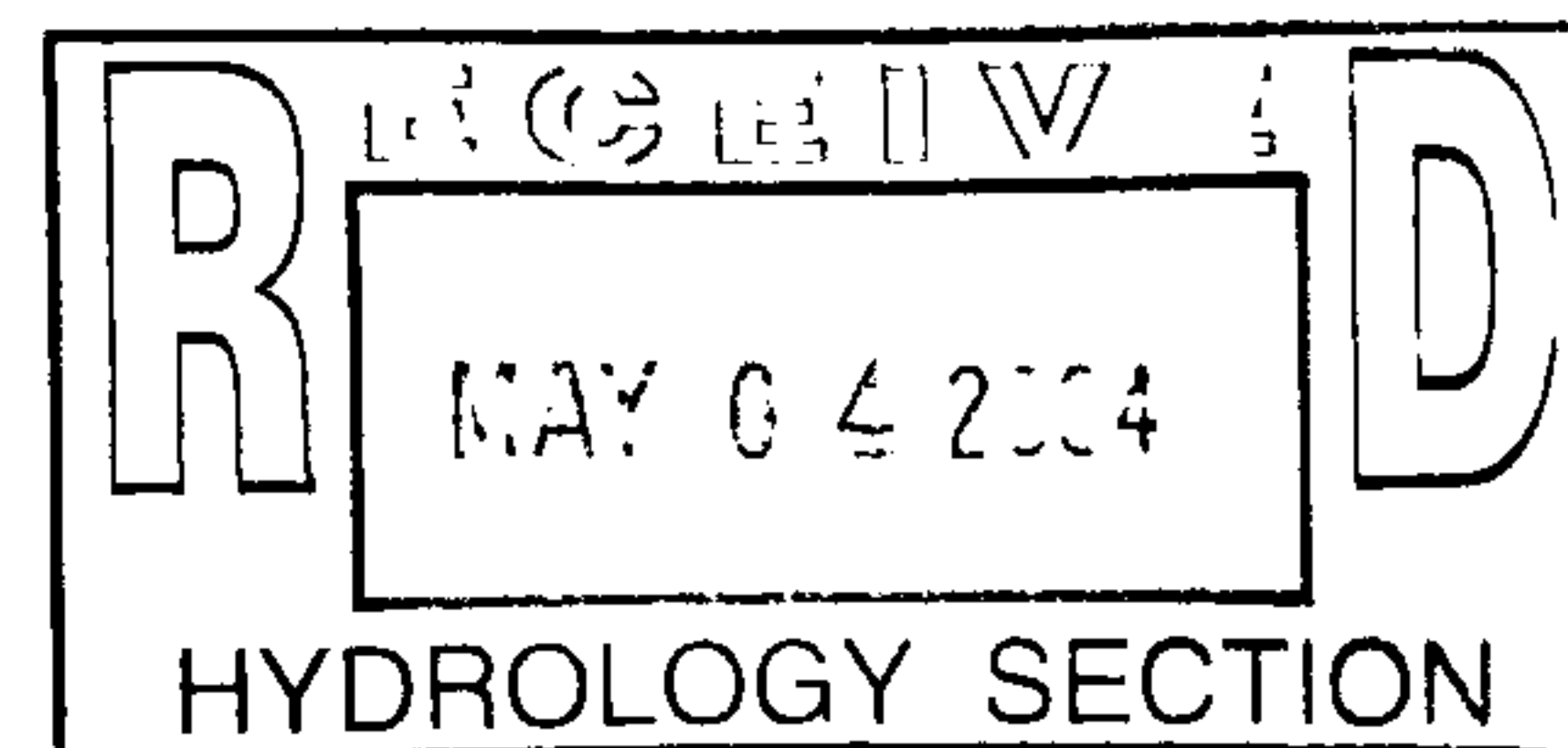
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

Size	Type of Improvement	Location	From	To
<i>Public Improvements</i>				
12' F-Exist.	Arterial Paving(Deccel Lane), Curb and Gutter and 6' Sidewalks (Half Street)	Unser	180' North of Intersection of Vista Oriente St	Entrance to Center
Certified Grading and Drainage with Private Walls and Private Drainage (Non- work order item) Required for SIA/Financial Guarantee Release.				

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/



NOTES

1
2
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4
5

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Ronald R. Bohannon
NAME (print)

DRB CHAIR - date

PARKS & GENERAL SERVICES - date

Terra West LLC
FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature] 5/1/04
SIGNATURE - date

UTILITY DEVELOPMENT - date

_____ - date

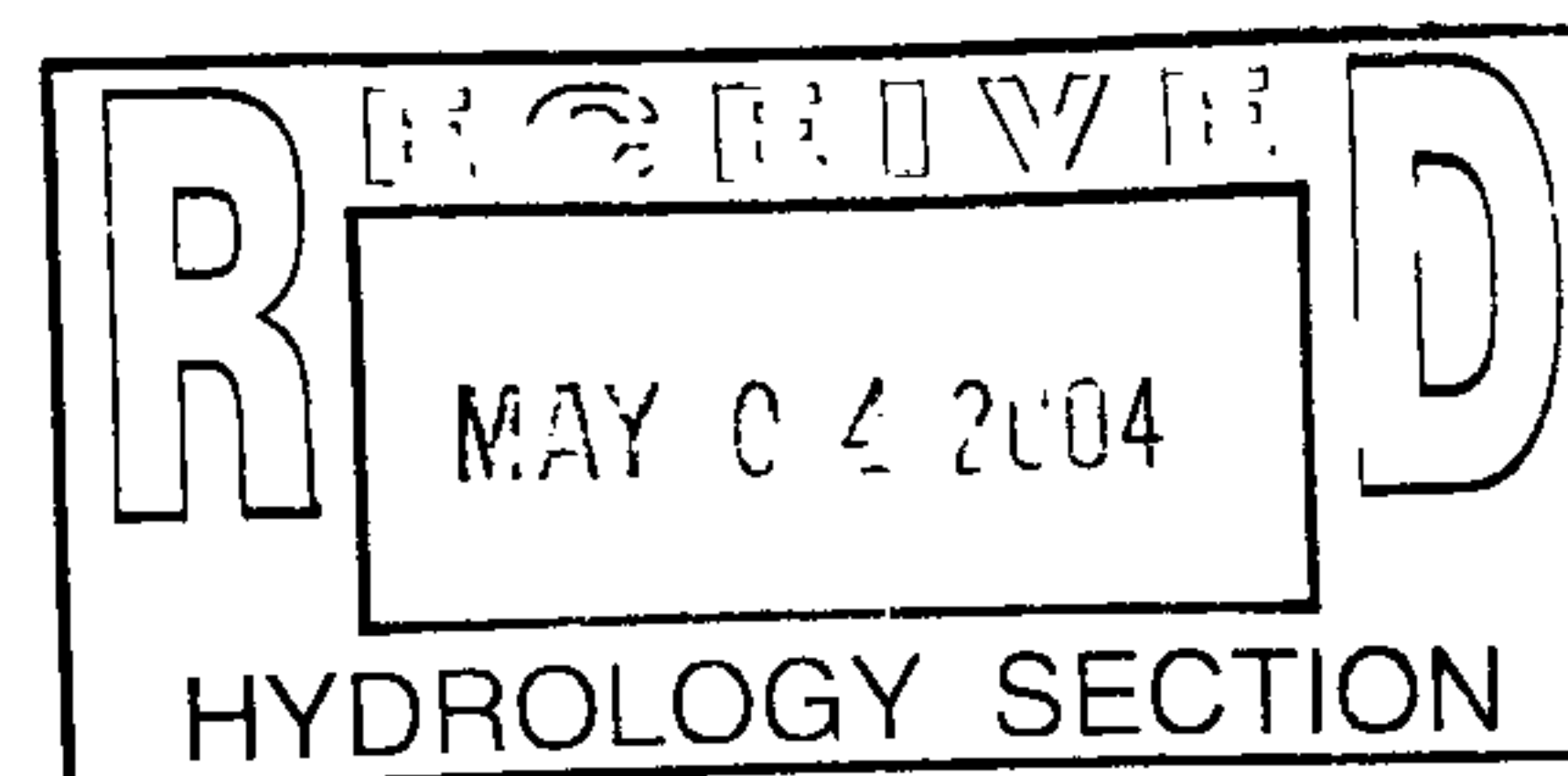
MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

tw@tierrawestllc.com
1-800-245-3100

May 4, 2004

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Preliminary Plat Approval
For All or a Portion of Lot 1, Ladera Industrial Park.
Located on Unser Boulevard between Old Ouray Road & Vista Oriente Street NW
Project #1002404, 03EPC-01211; Zone Atlas H-9**

Dear Ms. Matson:

Tierra West LLC, on behalf of the owner, requests approval of the Preliminary Plat for the above-referenced project. The site is located on Unser Boulevard between Old Ouray Road & Vista Oriente Street NW; is zoned SU-1 for IP and is approximately 11.9 acres. A perimeter wall design was not submitted because the individual tracts will have to submit to DRB and at that time the perimeter wall design will be submitted.

If you have any questions or need additional information regarding the matter, please do not hesitate to call me.

Sincerely,

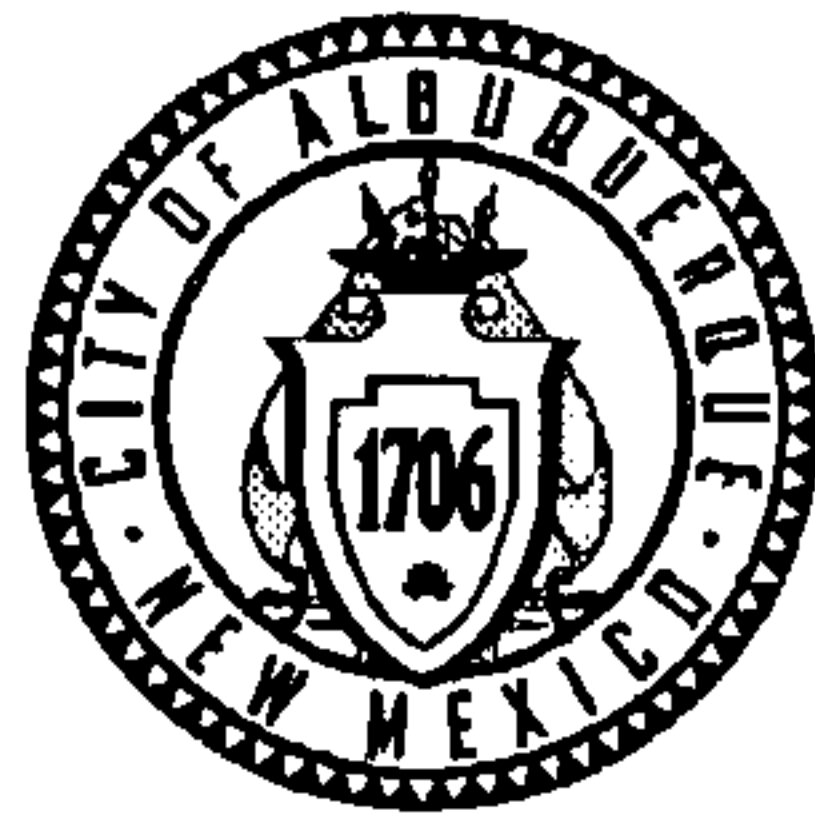
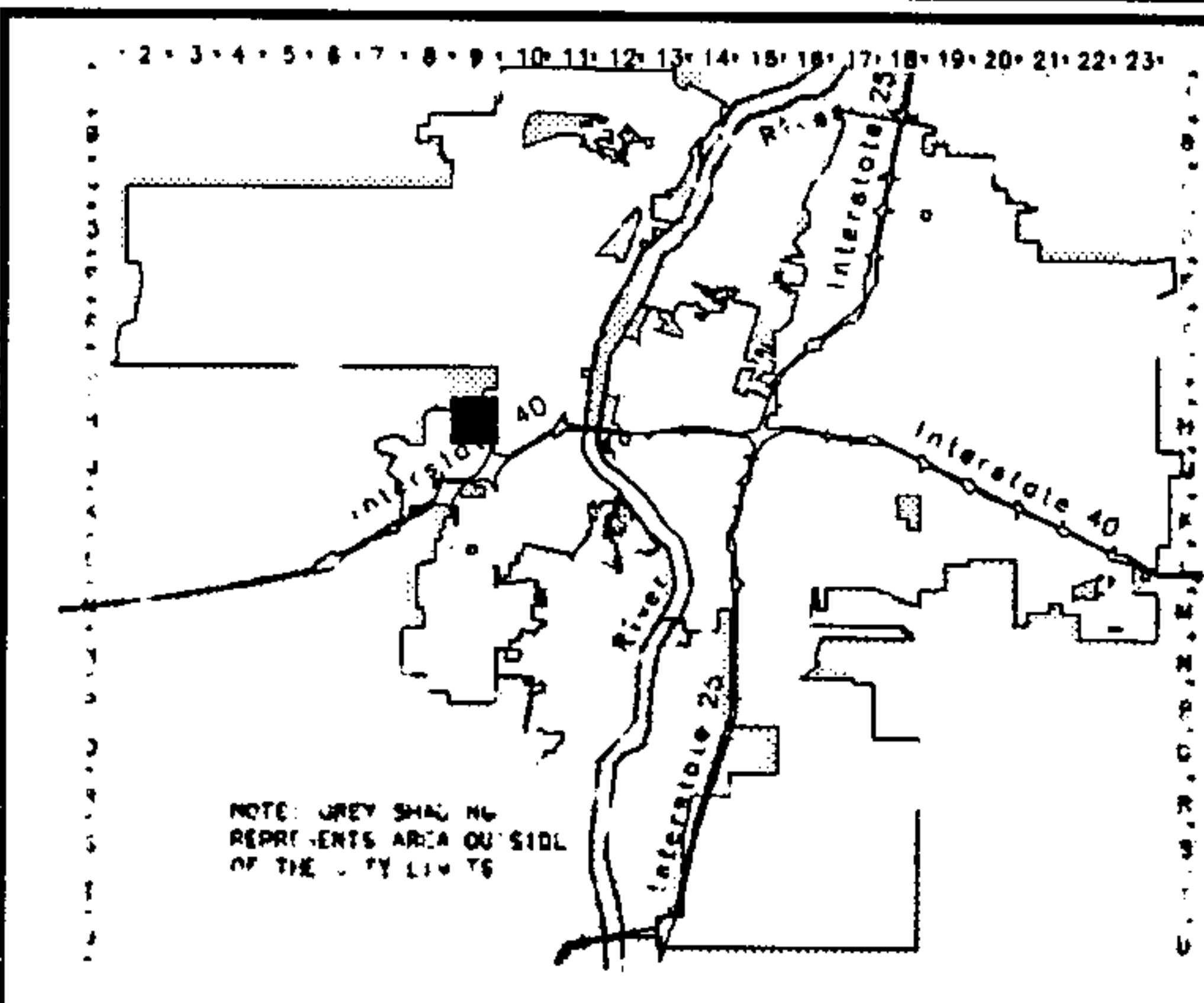
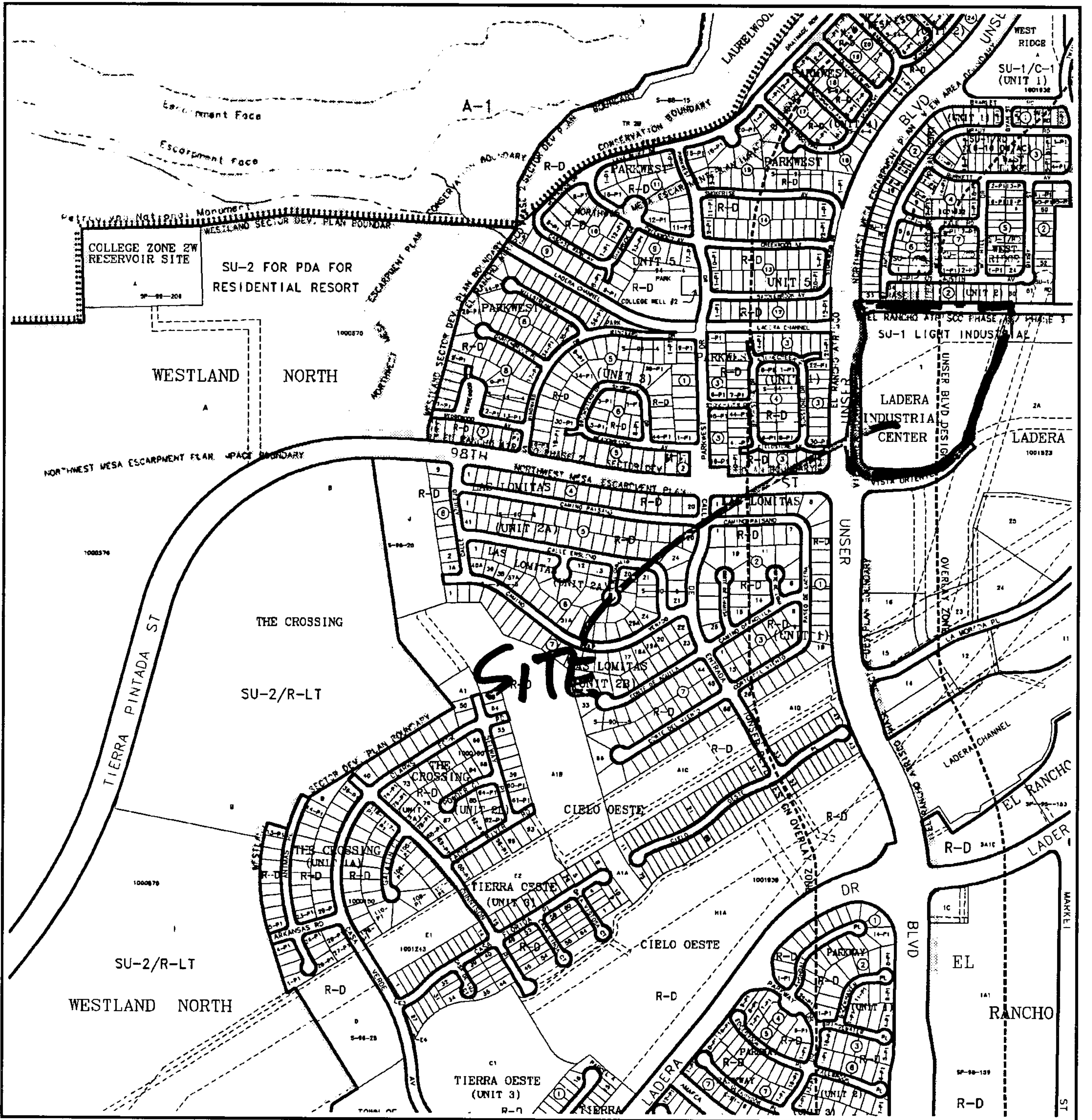


Tyler J. Ashton, P.E.

Enclosure/s

cc: Jeff Jesionowski

JN: 220090
RRB/jf



Albuquerque Geographic Information System
 PLANNING DEPARTMENT

© Copyright 2004

Zone Atlas Page

H-9-Z

Map Amended through April 02, 2004

Current DRC
Project Number: _____

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1002404
DRB Application No.: _____

Ladera Lot 1

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots 1-A, 1-B, 1-C, and 1-D, Ladera Industrial Center

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<i>Public Improvements</i>									
<input type="text"/>	<input type="text"/>	12' F-Exist.	Arterial Paving(Deccel Lane), Curb and Gutter and 6' Sidewalks (Half Street)	Unser	180' North of Intersection of Vista Oriente St	Entrance to Center	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
		Certified Grading and Drainage with Private Walls and Private Drainage (Non- work order item) Required for SIA/Financial Guarantee Release.							

NOTES

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AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Ronald R. Bohannon
NAME (print)

DRB CHAIR - date

PARKS & GENERAL SERVICES - date

Terra West LLC
FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature] 5/1/04
SIGNATURE - date

UTILITY DEVELOPMENT - date

_____ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME AMC DEV. SVCS.
 AGENT TERRA WEST
 ADDRESS 8509 JEFFERSON ST. NE
 PROJECT & APP # 1002407 / 04DRB-00672
04DRB-00673
 PROJECT NAME LADERA INDUST. CNTR.

\$ 20 469099/4916000 Conflict Management Fee
 \$ 425 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 445.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

05/04/2004 11:26AM
 X
 RECEIPT# 00025375 WSH 007 TRANSH 0005
 Account 469099 Fund 0110
 Activity 4916000 TRSLJS
 Trans Amt \$445.00
 J24 Misc \$20.00
 DOC: ANN
 Receipt.doc 12/29/03

*****DUPLICATE*****
 City of Albuquerque
 Treasury Division

*****DUPLICATE*****
 City of Albuquerque
 Treasury Division

05/04/2004 11:27AM LOC: ANN
 X
 RECEIPT# 00025376 WSH 007 TRANSH 0005
 Account 441006 Fund 0110
 Activity 4983000 TRSLJS
 Trans Amt \$445.00
 J24 Misc \$425.00
 CK \$445.00
 CHANGE \$0.00

Thank You



Agenda Number: 7
Project Number: 1002404
Case Number 03EPC-01116, 03EPC-01092 & 03EPC- 01211.

Staff Report

Agent	Tierra West LLC
Applicant	City of Albuquerque Transit Dept.
Requests	Sector Plan Amendment, Zone Map Amendment & Site Plan Approval for Subdivision
Legal Description	Lot 1, Ladera Industrial Center
Location	Unser Blvd. NW between Old Ouray Rd. NW and Vista Oriente St. NW
Size	Approximately 12 acres
Existing Zoning	SU-1 for Transit Use
Proposed Zoning	SU-1 for IP Use

Staff Recommendation

WITHDRAWAL of 03EPC- 01116 based on the findings on pages 7-8;

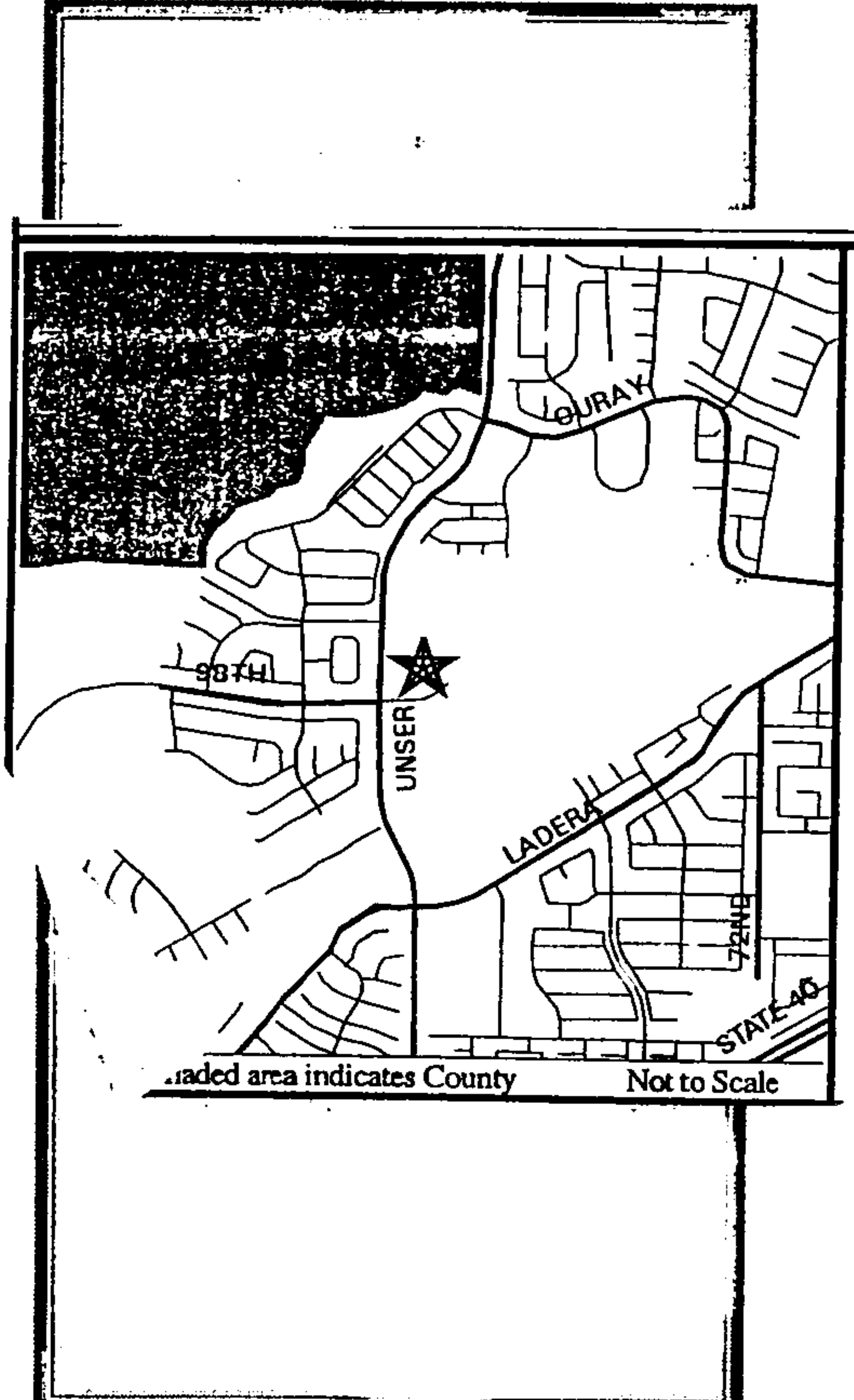
WITHDRAWAL of 03EPC-01092 based on findings on pages 9-10; &

APPROVAL of 03EPC- 01211 based on findings on pages 10-11 and the Conditions of Approval on page 12.

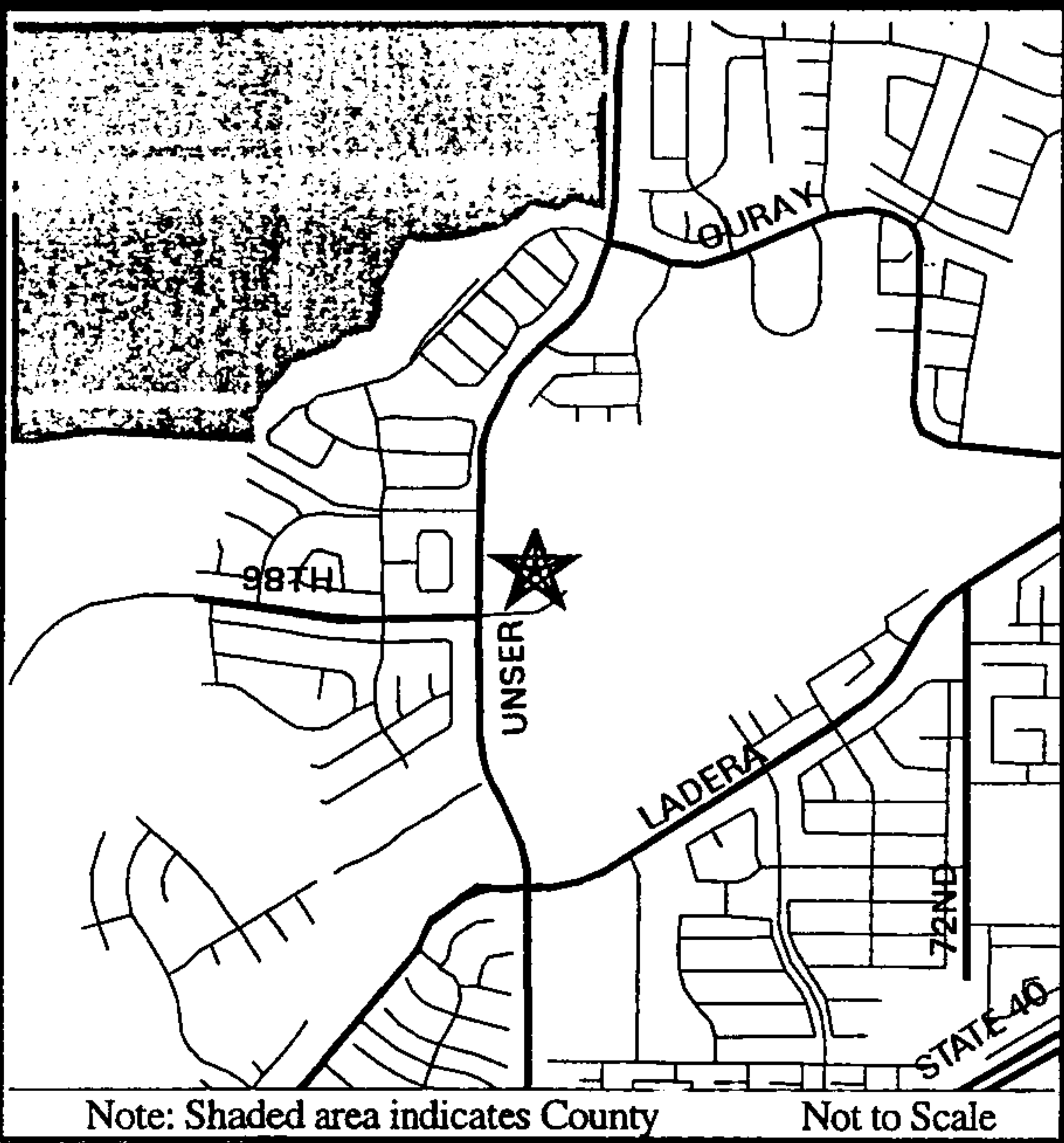
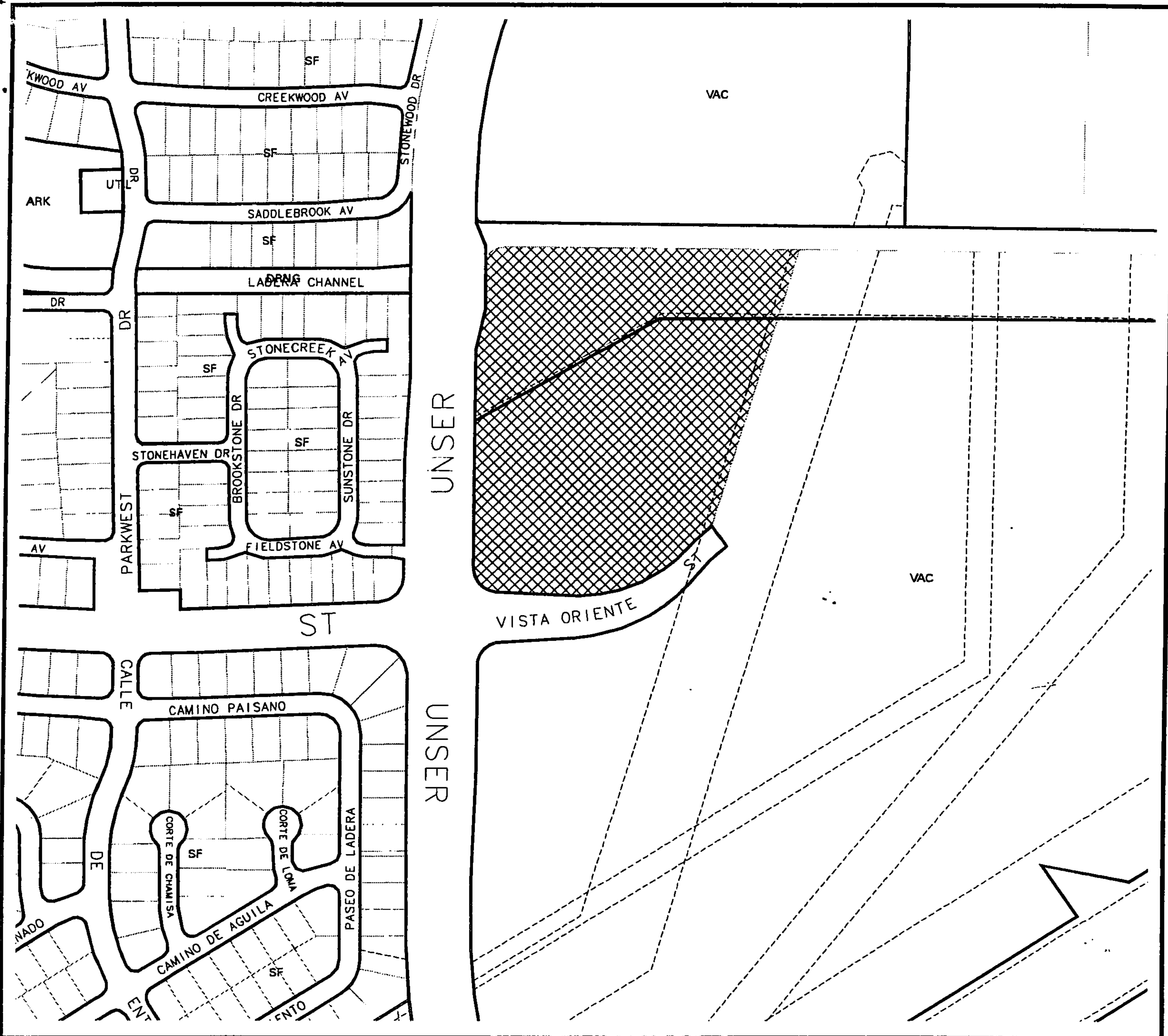
Staff Planner
Simon Shima, Senior Planner

Summary of Analysis

This is a request for: 1) an amendment to the El Rancho Atrisco Phase III Sector Development Plan; 2) a corresponding zone map amendment from SU-1 for Transit to SU-1 for IP; and 3) approval of a site development plan for subdivision, respectively, for approximately 12 acres of land located on Unser Boulevard NW between Old Ouray Road NW and Vista Oriente Street NW (the "subject site"). It was found that the 1992 July 16 EPC recommendations for approval to the City Council of amending the Sector Development Plan (SD-81-1-1) and the Zone Map from SU-1 Light Industrial to SU-1 for Transit Facility (Z-92-45) have never been materialized. As a result, the SU-1 for Transit Facility as currently shown on the Zone Atlas is in error. Therefore, there is no need to amend the Sector Development Plan and the Zone Map to allow the uses as proposed on the Site Plan for the subject site. Staff recommends that the request to amend the Sector Development Plan and the Zone Map be withdrawn. The Site Plan is generally consistent with applicable adopted plans. Further, the Site Plan meets all of the requirements of the Zoning Code except for pedestrian ingress and egress from Unser Boulevard. Staff recommends approval of the Site Plan for Subdivision with certain conditions as provided in the report. Staff also recommends that upon approval of the Site Plan for Subdivision, a site plan for building permit incorporating all the required design requirements be submitted for review by the EPC.



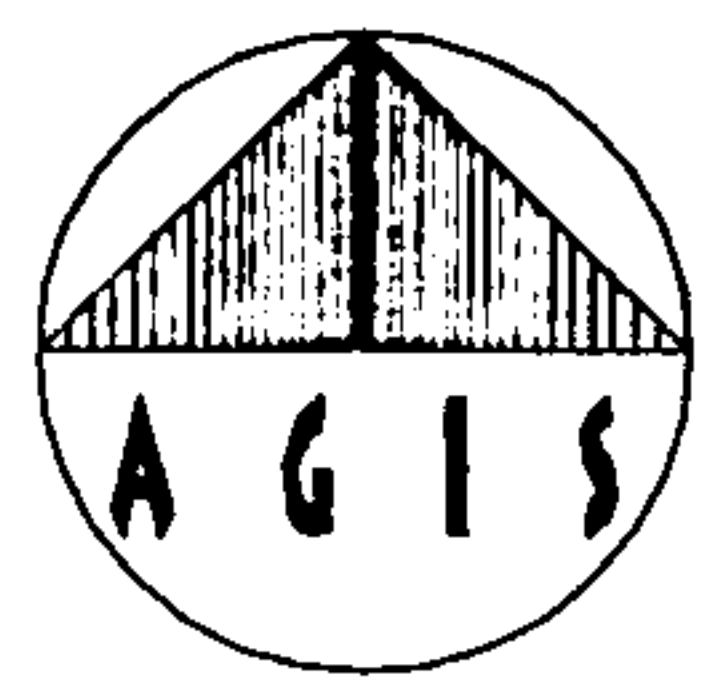
City Departments and other interested agencies reviewed this application from 3/1/03 to 17/1/03.
 Agency comments were used in the preparation of this report, and begin on page 13.



LAND USE MAP

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial -Retail, Service, Wholesale
- DRNG Drainage
- EDUC Public or Private School
- GOLF Golf Course
- MED Medical Office or Facility
- MFG Manufacturing or Mining
- MH Mobile Home
- MULT Multi-Family or Group Home
- OFF Office
- ORG Social or Civic Organization
- PARK Park, Recreation or Open Space
- PRKG Parking
- PUBF Public Facility
- RELG Religious Facility
- SF Single Family
- TRAN Transportation Facility
- UTIL Utility
- VAC Vacant Land or Abandoned Bldgs
- WH Warehousing & Storage



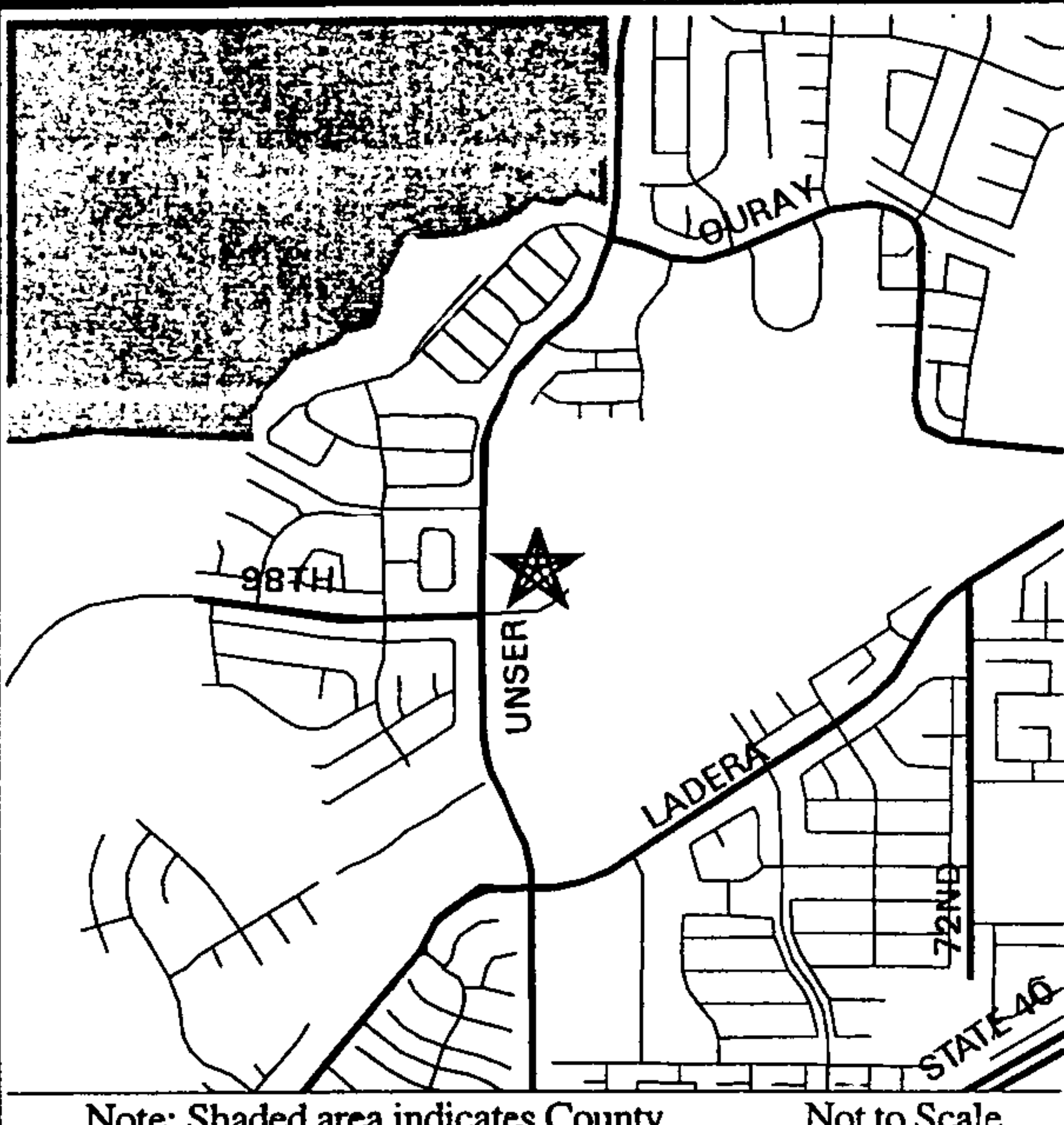
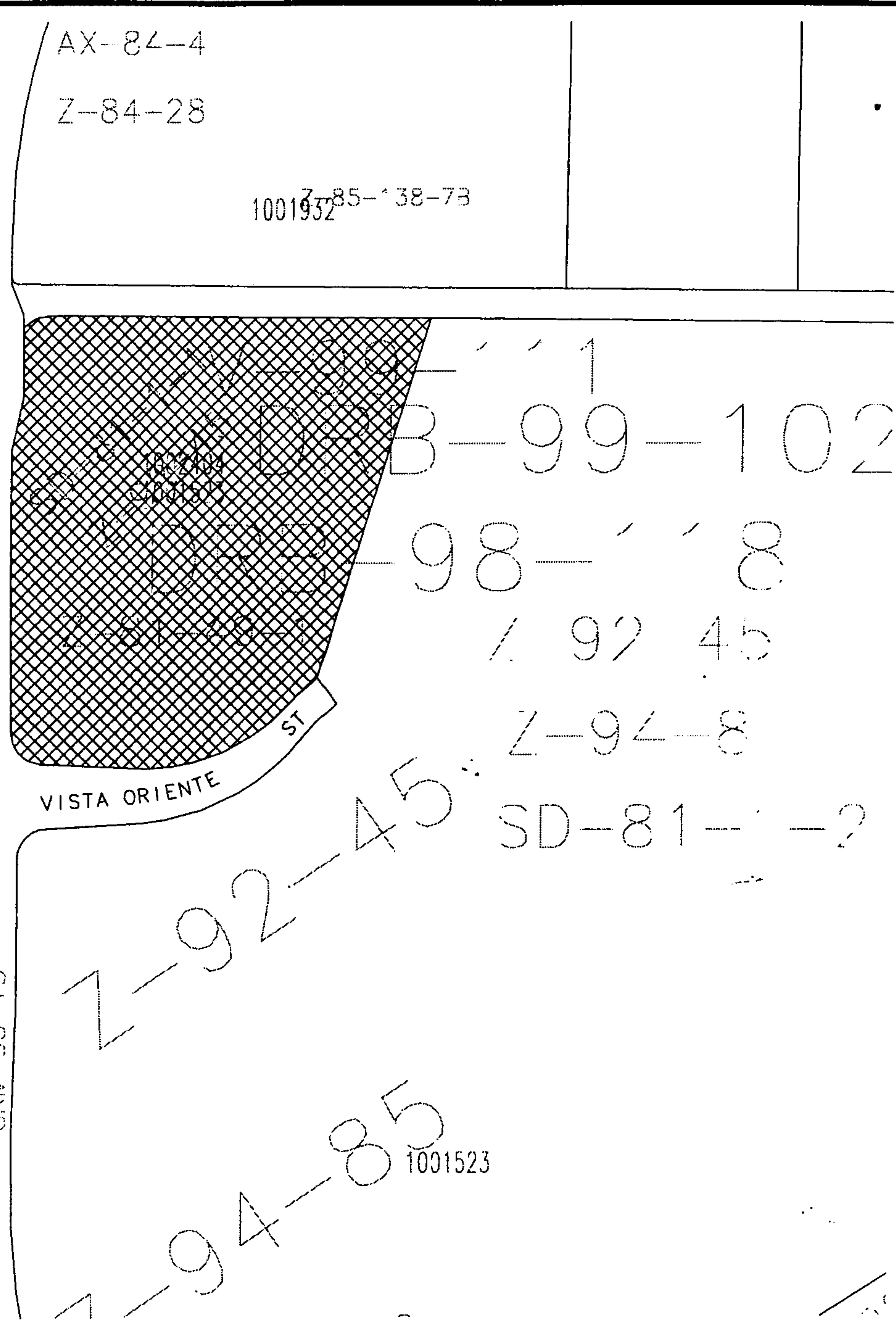
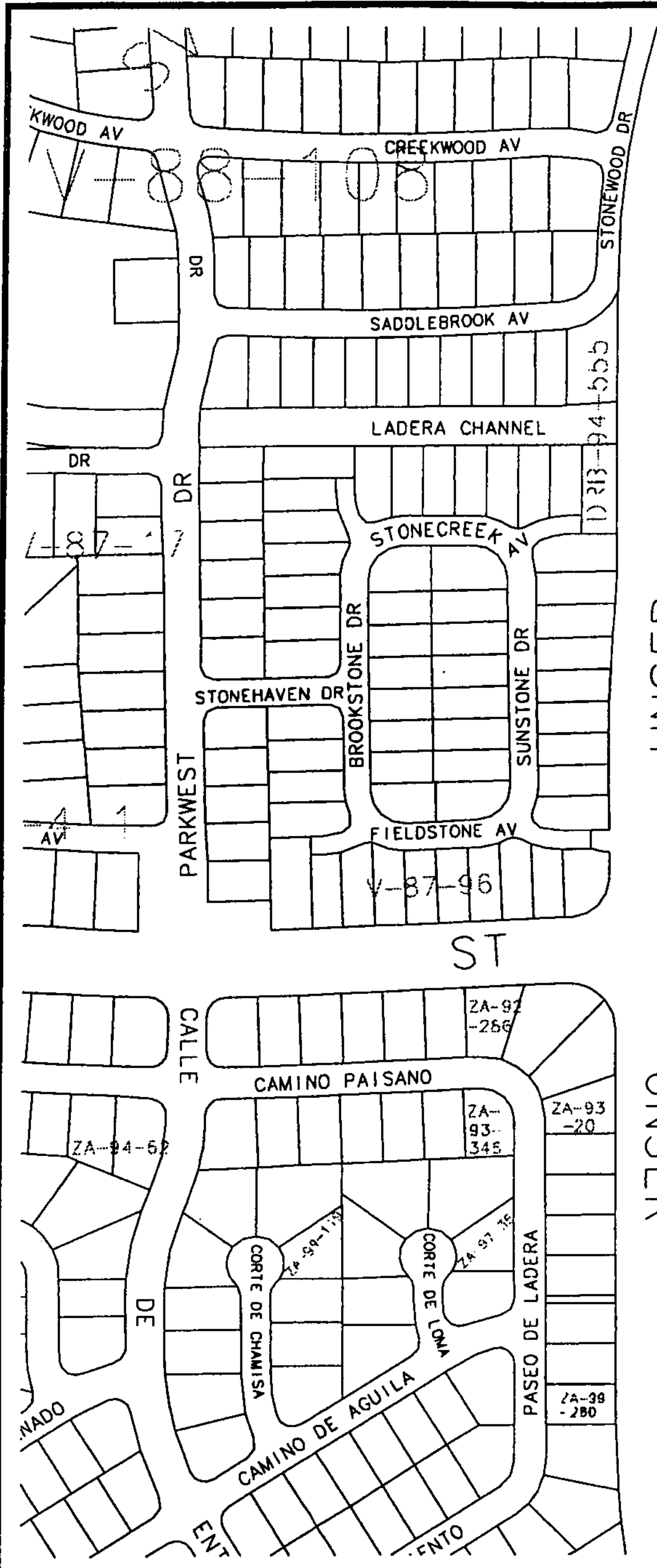
Scale 1" = 345'

PROJECT NO.
1002404

HEARING DATE
08-21-03

MAP NO.
H-9

ADDITIONAL CASE NUMBER(S)
03EPC-01092



HISTORY MAP



Scale 1" = 345'

PROJECT NO.
1002404

HEARING DATE
08-21-03

MAP NO.
H-9

ADDITIONAL CASE NUMBER(S)
03EPC-01092

Note: Shaded area indicates County Not to Scale

Development Services Report

SUMMARY OF REQUEST

<i>Requests</i>	<i>Amendment to El Rancho Atrisco Phase III Sector Development Plan; Zone Map Amendment; and Approval of Site Development Plan for Subdivision</i>
<i>Location</i>	<i>Unser Blvd. NW between Old Ouray Rd. NW and Vista Oriente St. NW</i>

AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations, and land uses:

	<i>Zoning</i>	<i>Comprehensive Plan Area; Applicable Rank II & III Plans</i>	<i>Land Use</i>
<i>Site</i>	SU-1 for Transit	Comprehensive Plan Developing Urban Area; West Side Strategic Plan; El Rancho Atrisco Phase III Sector Development Plan	Vacant
<i>North</i>	SU-1 for RD (6-10 du/ac)	El Rancho Atrisco Phase II Sector Development Plan in part	Vacant
<i>South</i>	SU-1/Light Industrial	Same as above	Vacant
<i>East</i>	SU-1/Light Industrial	Same as above	Vacant
<i>West</i>	R-D	Same as above	Single-family residential

Background, History and Context

This is a request for an amendment to the El Rancho Atrisco Phase III Sector Development Plan, a corresponding zone map amendment from SU-1 for Transit to SU-1 for IP, and a site development plan for subdivision, respectively, for approximately 12 acres of land located on Unser Boulevard NW between Old Ouray Road NW and Vista Oriente Street NW, hereinafter referred to as the "subject site".

In 1980, the City Council presumably adopted the El Rancho Atrisco Area Plan prepared for Westland Development Co. Inc. that covers approximately 3,200 acres of land located west of Coors and north of I-40 (a copy of a resolution adopting this plan is not available). In 1981, the City Council adopted the El Rancho Atrisco Phase III Sector Development Plan (SD-81-1) for approximately 348 acres of lands located north of I-40 and east of Unser Boulevard within the El Rancho Atrisco Area Plan boundaries. This Sector Development Plan zoned SU-1 for Light Industrial for the approximately 115-acre triangular area bounded on the west by Unser Boulevard, on the southeast by the Mirehaven (also known as Ladera) Diversion and Detention Channel, and on

the north by Old Ouray Road. The subject site, located within this triangular area, is owned by the City. The Zone Atlas shows that the subject site is zoned SU-1 for Transit Facility.

On July 16, 1992, the Environmental Planning Commission, hereinafter referred to as the "EPC", voted to recommend approval to the City Council of: 1) an amendment to the El Rancho Atrisco Area Plan (SD-81-1-1); and 2) a change of zone from SU-1 for Light Industrial to SU-1 for Transit Facility (Z-92-45). It should be noted that despite the "SD" designation on the above case number, it appears that the EPC action was on an amendment to the "El Rancho Atrisco Area Plan", not the "El Rancho Atrisco Phase III Sector Plan".

Pursuant to the EPC action on SD-81-1-1 and Z-92-45, the Official Notification of Decision was issued on July 17, 1992, and the Certificate of Zoning was issued on January 15, 1993. The legal description given on the Official Notice of Decision for SD-81-1-1 and Z-92-45 is "requests an amendment to the El Rancho Atrisco Area Plan and a change of zone from SU-1 for Light Industrial to SU-1 for Transit Facility for the northwest portion of Tract 6-A, El Rancho Atrisco Phase III Subdivision." Nevertheless, its findings are titled "Sector Plan Amendment." A distinction made between the Area Plan and the Sector Plan in this Official Notice of Decision is not clear, if any. For the purpose of this report, however, it is assumed that the EPC action is intended for both the El Rancho Atrisco Area Plan and the El Rancho Atrisco Phase III Sector Plan wherever applicable. On September 21, 1992, the City acquired the subject site for the West Side Transit Facility.

Recent EPC actions took place in the vicinity of the subject site are outlined here. First, on November 15, 2001, the EPC voted to approve a Master Development Plan creating 26 small business/industrial lots for the approximately 105-acre Ladera Industrial Center located immediately south and east of the subject site. Second, on August 15, 2002, the EPC voted to approve: 1) a zone map amendment from SU-1 for IP, Public Utilities, and C-1, to SU-1 for RD (6-10 du/ac) for approximately 24-acres of lands; and 2) an amendment to the El Rancho Atrisco Phase II Sector Development Plan to change the land use designations for a 9-acre portion of lands from SU-1 for IP and C-1 to SU-1 for RD (6-10 du/ac) located, respectively, immediately north of the subject site across the Ladera Channel and west of the PNM Switching Station.

ANALYSIS

1. Sector Development Plan & Zone Map

Pursuant to Subsection 14-16-4-3(C)(3) providing for the sector development plan decision procedure, only the City Council can approve sector development plans for areas which are not entirely zoned R-D or PC. Furthermore, pursuant to Subsection 14-16-4-3(A)(4) providing for the amended sector development plan application procedure, where the zone map has been set by a sector development plan, applications for the zone map amendment are through amendment to the sector development plan. Nonetheless, the record indicates that the City Council has heard and approved neither SD-81-1-1 nor Z-92-45. Therefore, notwithstanding the EPC action on July 16, 1992, pursuant to Subsections 14-16-4-3(C)(3) and 14-16-4-3(A)(4), no official amendments have been made on the El Rancho Atrisco Area Plan and/or the El Rancho Atrisco Phase III Sector Plan, nor on the Zone Map amendment from SU-1 Light Industrial to SU-1 for Transit Facility. In other words, the SU-1 for Transit Facility Zone as currently shown on the Zoning Atlas is in error. As an

attached August 8, 2003 memo from Jack Basye, Zoning Enforcement Supervisor to Victor Chavez, Planning Director, indicates, the appropriate zoning for the subject site remains SU-1 Light Industrial. With respect to the official zone map, Subsection 14-16-4-9(A) provides in part that "The Planning Director shall maintain the official zone map. Such map shall indicate the zone of all areas within the boundaries of the city." Pursuant to the above provision, the Planning Director can administratively rectify the zone map that is in error. The Planning Director is in the process of correcting the zoning designation of the subject site from SU-1 for Transit Facility to SU-1 Light Industrial. By August 21, 2003 when the EPC is scheduled to hear this case, such correction will be completed.

While the El Rancho Atrisco Phase III Sector Plan does not provide any specific development guidelines. Therefore, the El Rancho Atrisco Area Plan industrial development guidelines are provided here.

The El Rancho Atrisco Area Plan provides industrial development guidelines on page 41 as follows:

- Uses permissive and conditional within the M-1 zone should apply with SU-1 restrictions and requirements.
- Sign restrictions should be the same as for commercial.
- Setbacks should be restricted as specified for the M-1 zone. Relaxation of setback requirements should be made on an individual basis where utility easements restrict use and if certain additional amenities are provided.
- Height limitations of the M-1 zone shall apply.
- Tract or lot size should not be restricted.
- Parking requirements should comply with Section 40A of the Comprehensive Zoning Code with reduced requirements for pooled parking to be considered on an individual basis.
- Additional landscaping should be required wherever residential uses are across from industrial uses.
- Utility easements should be used for parking and other uses discussed in this chapter under "Utility Easements." Additional amenities developed or maintained within these easements for open space uses should be a consideration for relaxation setback requirements.

Since the El Rancho Atrisco Area Plan provides only the Light Industrial designation for industrial, based on the above guidelines language, SU-1 Light Industrial is equivalent of SU-1 for M-1. The M-1 zoning generally permits more encompassing uses than the IP zoning. The M-1 zoning permits all the uses as proposed on the Site Development Plan, as submitted. Therefore, the existing SU-1 Light Industrial zoning is not only compatible with the existing zoning pattern to the east and to the south, but also permits all the uses as proposed by the applicant. To conclude, there is no need for the Sector Development Plan amendment nor the Zone Map amendment, as requested, to accommodate the uses proposed for the subject site.

Based on the above analysis, staff recommends that the applicant withdraw the request for the El Rancho Atrisco Phase III Sector Development Plan amendment and for the Zone Map amendment. Should the EPC agree with the above staff recommendation, the request before us would be reduced to approval of the Site Development Plan for Subdivision.

2. Site Development Plan for Subdivision

This is a request for approval of a site development plan for subdivision for Lot 1 of Ladera Industrial Center, hereinafter referred to as the "Site Plan". The request is to approve a subdivision of an approximately 12 acre lot, located on the east side of Unser Boulevard between Old Ouray Road and Vista Oriente Street, into 5 lots of varied sizes and uses, Lot 1-A, Lot 1-B, Lot 1-C, Lot 1-D, and Lot 1-E, as shown on the accompanying Site Plan. The proposed uses are an AMAFCA drainage easement of the existing Ladera Channel for Lot 1-A, a restaurant for Lot 1-B, a restaurant and auto service station for Lot 1-C, a retail store for Lot 1-D, and a self storage facility for Lot 1-E including the office and manager apartment.

Furthermore, as Note #2 of the Site Plan indicates, the applicant is requesting that final approval authority of the Site Plan for Building Permit be delegated to the Design Review Board, hereinafter referred to as the "DRB."

Conformance of the Site Plan to adopted plans and policies is reviewed below.

a. Albuquerque/Bernalillo County Comprehensive Plan

The subject site is located in the area designated Developing Urban by the Comprehensive Plan with a Goal to "create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment."

Applicable policies include:

Policy d – The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

Policy j – Where new commercial development occurs, it should generally be located in existing commercially zoned areas – in small neighborhood-oriented centers provided with pedestrian and bicycle access within reasonable distance of residential areas for walking or bicycling.

Policy k – Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

Policy m – Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

b. West Side Strategic Plan ("WSSP")

Policy 1.3 addressing commercial development is the most applicable to the request. Policy 1.3 states in part:

Strip commercial developments shall not be approved on the West Side. Commercial development shall occur in concentrated clustered areas rather than new strip developments. Zone changes to commercial, industrial, or office uses for areas outside the centers are strongly discouraged, in order to reinforce the Neighborhood and Community Centers.

The Site Plan is generally consistent with the applicable Comprehensive Plan goal and policies for the Developing Urban Area by offering a choice in service and work areas and creating a visually pleasant built environment (goal) that respects existing neighborhood values and natural environmental conditions (Policy d) and that maintains unique vistas (policy m). The proposed commercial uses on existing Unser Boulevard would provide an effective buffer for future developments to the east of the site (Policy j), and would also further Policy k by minimizing harmful effects of traffic on Unser Boulevard.

The subject site is located within the WSSP. It is not within a designated Activity Center. To reinforce the Neighborhood and Community Centers, the WSSP Policy 1.3 encourages commercial development in "concentrated clustered areas rather than new strip developments". Nonetheless, the WSSP does not explicitly prohibit commercial development outside of Activity Centers.

Furthermore, the Site Plan is generally consistent with the El Rancho Atrisco Area Plan industrial development guidelines as previously provided. However, full compliance with the guidelines will be reviewed when the site development plan for building permit is approved.

The Site Plan, as submitted, provides a scale of at least 1 inch to 100 feet, property lines, proposed uses, vehicular ingress and egress, internal circulation requirements, and for each lot, maximum building height, minimum building setback, and nonresidential use uses' maximum floor area ratio. Therefore, the Site Plan meets all of the requirements of the Zoning Code except for pedestrian ingress and egress from Unser Boulevard to Lot 1-B, Lot 1-C, and Lot 1-D, respectively. Such pedestrian ingress and egress can be shown by a diagram for this purpose.

Two access points to the site are shown on the Site Plan, one from Unser Boulevard and the other from Vista Oriente Street. Since Unser Boulevard is a limited access arterial, vehicular access from Unser Boulevard is not recommended. Vista Oriente Street should serve as the sole access to the site.

Regarding a cross access clause addressed in Note #1, it is recommended that language, "and required", be added to read as follows:

Common storm drainage, pedestrian, and vehicular access across new tracts is granted and required by this site plan, and will be granted on the replat.

Regarding light poles addressed in Note #5, it is recommended that a maximum height of light poles, not within 100 feet of residential zoning, be 20 feet pursuant to Section 14-16-3-9(D) rather than 30 feet, as submitted

By way of Note #2, the applicant is requesting that final approval authority of the Site Plan for Building Permit be delegated to the DRB. To comply with such request, the EPC would need to review and approve architectural guidelines, landscape guidelines, pedestrian circulation plan, and signage guidelines in compliance with the Unser Boulevard Design Overlay Zone. To be more specific, the EPC would opt to review: 1) the exact locations of the proposed structures including the proposed auto service facility and refuse dump (it should be noted that the Site Plan, as submitted, shows the refuse dump for Lot 1-C facing and located next to the Unser Boulevard right-of-way); 2) the architectural design plan including façade, massing, colors, materials, etc.; 3) the landscape design plan showing plant list, buffer areas locations, etc.; 4) the signage design plan showing face area, colors, materials, etc.; 5) the outdoor lighting design plan showing locations, colors, materials of light poles, etc.; and 6) pedestrian amenities showing walkways, shading, etc.

Based on the above discussion, staff recommends approval of the Site Plan for Subdivision with conditions that: 1) no vehicular access be permitted to the site from Unser Boulevard; 2) pedestrian access from Unser Boulevard to Lot 1-B, Lot 1-C, and Lot 1-D be shown diagrammatically; and 3) upon approval of the Site Plan for Subdivision by the EPC, such a Site Plan for Building Permit be submitted for review by the EPC that incorporates detail design requirements, as listed above.

Concerns of Reviewing Agencies / Pre-Hearing Discussion

Transportation Development staff commented that a Traffic Impact Study (TIS) was completed for the Westside Transit Facility on subject site and Ladera Industrial Park and TIS mitigation measures will be discussed at the time of development. Traffic Engineering staff commented that access onto Unser Boulevard shall be only at Vista Oriente Street.

Utility Development staff commented that in view of the shared access with industrial uses, the subject site should be reincorporated with the rest of the Ladera Industrial Park. Contrary to this comment, the primary access to the Ladera Industrial Park will be by La Mirada Street pursuant to the Ladera Business Park Site Plan as approved, rather than by Vista Oriente Street, the would be only access to the subject site. Incidentally, the final plat for the Ladera Industrial Park has not been filed.

PNM commented that there should be no encroachment on the PNM rights-of-way without express permission of PNM.

Neighborhood Concerns

A facilitated meeting was held with the Ladera West and Las Lomas Neighborhood Associations on January 29, 2003. Both the Ladera West Neighborhood Association and Las Lomas Neighborhood Association supported the request for the R-T zoning. Attached to this report are the Facilitator's Report indicating the support from the Ladera West Neighborhood Association and a letter from the Las Lomas Neighborhood Association endorsing the request. The Facilitator's Report dated August 4, 2003, as attached, states that since minimum changes have been made to the previous request, Darlene Motley, representative of Las Lomas Neighborhood Association, responded to the Facilitator that there is no need for a facilitated meeting this time. Nonetheless, the Facilitator's Report dated August 4, 2003 captions in part "requests a Zone Map Amendment from SU-1 for Transit to R-T and a Sector Plan Amendment." It is not known as to whether the

applicable neighborhood associations are aware of the currently requested zoning of SU-1 for IP rather than SU-1 for RT, as previously requested.

Conclusions

In the process of analyzing this request, it was found that the 1992 July 16 EPC recommendations for approval to the City Council to amend the El Rancho Atrisco Area Plan/ El Rancho Atrisco Phase III Sector Development Plan (SD-81-1-1), and the Zone Map from SU-1 Light Industrial to SU-1 for Transit Facility (Z-92-45) have never been heard nor approved by the City Council. As the results, the SU-1 for Transit Facility as currently shown for the subject site on the Zone Atlas in error. Since the Planning Director can administratively correct the zone map that is in error, he is in the process of rectifying the error. Therefore, there is no need to amend the Sector Development Plan and the Zone Map to accommodate the uses proposed for the subject site. Staff recommends that the requests for the Sector Development plan amendment and the Zone Map amendment be withdrawn.

The Site Plan is generally consistent with applicable adopted plan and policies. Furthermore, the Site Plan meets all of the requirements of the Zoning Code except for pedestrian ingress and egress from Unser Boulevard. Staff recommends approval of the Site Plan for Subdivision with certain conditions as provided. Nonetheless, staff does not recommend delegation of site plan for building permit approval authority to the DRB, as requested. Instead staff recommends that upon approval of the Site Plan for Subdivision, a site plan for building permit incorporating all the design requirements be submitted for review by the EPC.

FINDINGS – 03EPC- 01116 (Sector Development Plan), March 20, 2003

1. This is a request for an amendment to the El Rancho Atrisco Phase III Sector Development Plan for approximately 12 acres of land located on Unser Boulevard NW between Old Ouray Road NW and Vista Oriente Street NW, hereinafter referred to as the “subject site.”
2. In 1980, the City Council presumably adopted the El Rancho Atrisco Area Plan prepared for Westland Development Co. Inc. that covers approximately 3,200 acres of land located west of Coors and north of I-40 (a copy of a resolution adopting this plan is not available).
3. In 1981, the City Council adopted the El Rancho Atrisco Phase III Sector Development Plan (SD-81-1) for approximately 348 acres of lands located north of I-40 and east of Unser Boulevard within the El Rancho Atrisco Area Plan boundaries. This Sector Development Plan designated the subject site for Light Industrial.
4. On July 16, 1992, the Environmental Planning Commission, hereinafter referred to as the “EPC”, voted to recommend approval to the City Council of an amendment to the El Rancho Atrisco

Area Plan (SD-81-1-1) for the subject site. Despite the "SD" designation on the above case number, it appears that the EPC action was on an amendment to the "El Rancho Atrisco Area Plan", not the "El Rancho Atrisco Phase III Sector Plan".

5. Pursuant to the EPC action on SD-81-1-1, the Official Notification of Decision was issued on July 17, 1992. A distinction made between the Area Plan and the Sector Plan in this Official Notice of Decision is not clear, if any. For the purpose of this report, however, it is assumed that the EPC action is intended for both the El Rancho Atrisco Area Plan and the El Rancho Atrisco Phase III Sector Plan wherever applicable.
6. On September 21, 1992, the City acquired the subject site for the West Side Transit Facility. In early 2001, the City Council declared the subject site non-essential for municipal purposes.
7. Pursuant to Subsection 14-16-4-3(C)(3) providing for the sector development plan decision procedure, only the City Council can approve sector development plans for areas which are not entirely zoned R-D or PC. Nonetheless, the record indicates that the City Council has not heard nor approved SD-81-1-1. Therefore, notwithstanding the EPC action on July 16, 1992, pursuant to the above Subsections 14-16-4-3(C)(3), no official amendment has been made on the El Rancho Atrisco Area Plan and/or the El Rancho Atrisco Phase III Sector Plan with SD-81-1-1. Light Industrial remains as the land use designation on the subject site.
8. There is no need for the Sector Development Plan amendment, as requested, to accommodate the proposed uses on the subject site.
9. A facilitated meeting was held on January 29, 2003 with the Ladera West and Las Lomas Neighborhood Associations for the previous request for the R-T zoning. Both Associations supported the request. Facilitator's Report dated August 4, 2003 captions in part "requests a Zone Map Amendment from SU-1 for Transit to R-T and a Sector Plan Amendment." According to the Report, the Las Lomas Neighborhood Association responded that another facilitated meeting was not needed this time. It is not known, however, as to whether or not the above neighborhood associations are aware of the current request that differs from the previous request.

RECOMMENDATION – 03EPC- 01116 (Sector Development Plan), August 21, 2003

WITHDRAWAL of 03EPC 00229, an amendment to El Rancho Atrisco Phase III Sector Development Plan, for Lot 1, Ladera Industrial Center based on the preceding Findings.

FINDINGS – 03EPC 01092 (Zone Map Amendment), August 21, 2003

1. This is a request for a Zone Map Amendment from SU-1 for Transit to SU-1 for IP for approximately 12 acres of land located on Unser Boulevard NW between Old Ouray Road NW and Vista Oriente Street NW, hereinafter referred to as the “subject site”.
2. In 1980, the City Council presumably adopted the El Rancho Atrisco Area Plan prepared for Westland Development Co. Inc. that covers approximately 3,200 acres of land located west of Coors and north of I-40 (a copy of a resolution adopting this plan is not available).
3. In 1981, the City Council adopted the El Rancho Atrisco Phase III Sector Development Plan (SD-81-1) for approximately 348 acres of lands located north of I-40 and east of Unser Boulevard within the El Rancho Atrisco Area Plan boundaries. This Sector Development Plan zoned the subject site for SU-1 Light Industrial.
4. On July 16, 1992, the Environmental Planning Commission, hereinafter referred to as the “EPC”, voted to recommend approval to the City Council of a change of zone from SU-1 for Light Industrial to SU-1 for Transit Facility (Z-92-45).
5. Pursuant to the EPC action on Z-92-45, the Official Notification of Decision was issued on July 17, 1992, and the Certificate of Zoning was issued on January 15, 1993.
6. On September 21, 1992, the City acquired the subject site for the West Side Transit Facility. In early 2001, the City Council declared the subject site non-essential for municipal purposes.
7. Pursuant to Subsection 14-16-4-3(A)(4) providing for the amended sector development plan application procedure, where the zone map has been set by a sector development plan, applications for the zone map amendment are through amendment to the sector development

plan. Nonetheless, the record indicates that the City Council has heard and approved neither the applicable Sector Development Plan amendment (SD-81-1-1) nor Zone Map amendment (Z-92-45). Therefore, notwithstanding the EPC action on July 16, 1992, pursuant to the above Subsection 14-16-4-3(A)(4), no official Zone Map amendment from SU-1 Light Industrial to SU-1 for Transit Facility has been made.

8. As a result, the valid zoning for the subject site remains SU-1 Light Industrial. There is no need for the Zone Map amendment, as requested, to accommodate the proposed uses on the subject site.

9. A facilitated meeting was held on January 29, 2003 with the Ladera West and Las Lomas Neighborhood Associations for the previous request for the R-T zoning. Both Associations supported the request. Facilitator's Report dated August 4, 2003 captions in part "requests a Zone Map Amendment from SU-1 for Transit to R-T and a Sector Plan Amendment." According to the Report, the Las Lomas Neighborhood Association responded that another facilitated meeting was not needed at this time. It is not known, however, as to whether or not the above neighborhood associations are aware of the current request that differs from the previous request.

RECOMMENDATION – 03EPC- 01092 (Zone Map Amendment), August 21, 2003

WITHDRAWAL of 03EPC- 01092, a zone map amendment from SU-1 for Transit Facility to SU-1 for IP for Lot 1, Ladera Industrial Center based on the preceding Findings.

FINDINGS – 03EPC- 01211 (Site Development Plan for Subdivision), August 21, 2003

1. This is a request for approval of a site development plan for subdivision for Lot 1 of Ladera Industrial Center, hereinafter referred to as the "Site Plan". The request is to approve a subdivision of an approximately 12 acre lot, located on the east side of Unser Boulevard between Old Ouray Road and Vista Oriente Street, into 5 lots of varied sizes and uses, Lot 1-A, Lot 1-B, Lot 1-C, Lot 1-D, and Lot 1-E, as shown on the accompanying Site Plan. The proposed uses are an AMAFCA drainage easement of the existing Ladera Channel for Lot 1-A, a restaurant for Lot 1-B, a restaurant and auto service station for Lot 1-C, a retail store for Lot 1-D, and a self storage facility for Lot 1-E including the office and manager apartment.

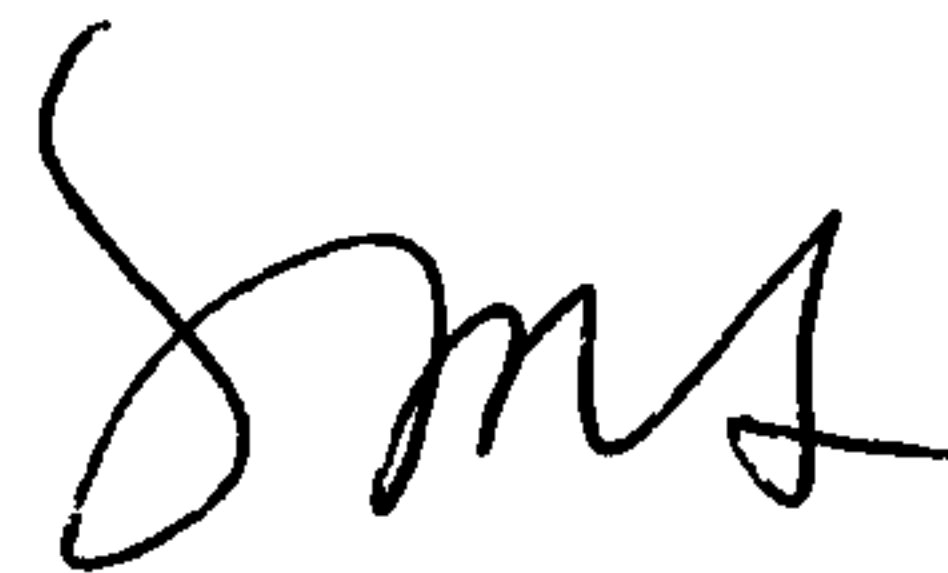
2. The applicant is requesting that final approval authority of the Site Plan for Building Permit be delegated to the Design Review Board, hereinafter referred to as the "DRB."
3. The Site Plan is generally consistent with the applicable Comprehensive Plan goal and policies for the Developing Urban Area by offering a choice in service and work areas and creating a visually pleasant built environment (goal) that respects existing neighborhood values and natural environmental conditions (Policy d) and that maintains unique vistas (policy m). The proposed commercial uses on existing Unser Boulevard would provide an effective buffer for future developments to the east of the site (Policy j), and would also further Policy k by minimizing harmful effects of traffic on Unser Boulevard.
4. The site is located within the West Side Strategic Plan (WSSP) boundaries. It is not within a designated Activity Center. The WSSP Policy 1.3 encourages commercial development in "concentrated clustered areas rather than new strip developments". Nonetheless, the WSSP does not explicitly prohibit commercial development outside of Activity Centers.
5. The Site Plan is generally consistent with the El Rancho Atrisco Area Plan industrial development guidelines. However, review of full compliance with the guidelines will be done when the Site Development Plan for Building Permit is approved.
6. The Site Plan meets all of the requirements of the Zoning Code except for pedestrian ingress and egress from Unser Boulevard to Lot 1-B, Lot 1-C, and Lot 1-D, respectively.
7. The applicant is requesting that final approval authority of the Site Plan for Building Permit be delegated to the Design Review Board (DRB). To comply with such request, the Environmental Planning Commission (EPC) would need to review and approve architectural guidelines, landscape guidelines, pedestrian circulation plan, and signage guidelines in compliance with the Unser Boulevard Design Overlay Zone. Therefore, staff recommends that upon approval of the Site Plan for Subdivision by the EPC, such a Site Plan for Building Permit be submitted for review by the EPC that incorporates the above design requirements.

RECOMMENDATION – 03EPC- 01211 (Site Development Plan for Subdivision), August 21,2003

APPROVAL of 03EPC- 01211, a Site Development Plan for Subdivision for Lot 1, Ladera Industrial Center based on the preceding Findings.

CONDITIONS OF APPROVAL - 03EPC- 01211 (Site Development Plan for Subdivision), August 21, 2003

1. No vehicular access to the subject site shall be permitted from Unser Boulevard.
2. The applicant shall add language, "and required", to a cross access clause on Note #1 of the Site Plan to read: "Common storm drainage, pedestrian, and vehicular access across new tracts is granted and required by this site plan, and will be granted on the replat."
3. A maximum height of light poles, not within 100 feet of residential zoning, shall be limited to 20 feet pursuant to Section 14-16-3-9(D).
4. Pedestrian ingress and egress from Unser Boulevard to Lot 1-B, Lot 1-C, and Lot 1-D shall be shown by a diagram, respectively.
5. Upon approval of the Site Plan for Subdivision by the EPC, such a Site Plan for Building Permit be submitted for review by the EPC that incorporates architectural guidelines, landscape guidelines, pedestrian circulation plan, and signage guidelines in compliance with the Unser Boulevard Design Overlay Zone.



Simon Shima AICP, Senior Planner

cc: City of Albuquerque, Transit Department, 100 First Street SW, Albuquerque, NM 87102
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Dan Serrano, Ladera West NA, 3305 Ronda de Chusas, Albuquerque, NM 87120
Barry King, Ladera West NA, 3808 Todos Santos NW, Albuquerque, NM 87120
Darlene Motley, Las Lomas NA, 8139 Corte de Aguila NW, Albuquerque, NM 87120
Susan Summey, Las Lomas NA, 8310 Camino Paisano NW, Albuquerque, NM 87120

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Code Services

Reviewed, no comment.

Office of Neighborhood Coordination

Ladera West ®, Lós Lomas ®

PUBLIC WORKS DEPARTMENT

Transportation Development:

- Note - a Traffic Impact Study was completed for the Westside Suntran Facility & Ladera Industrial Park. Completion of the required TIS mitigation measures, per Transportation Development Staff, shall be discussed at time of development.

Utility Development:

- A site plan was approved for the rest of the Ladera Industrial Park in December '02. See project #1523. Zoning should more appropriately revert to IP and the site be 'reincorporated with the rest of the Ladera Industrial Park. This is especially true given the shared access. RT seems particularly inappropriate given the shared access. Subdivision and or service to any development will be contingent on developer construction of public water and sanitary sewer line extensions. An availability statement must be requested and completed prior to subdivision and or development.

Traffic Engineering Operations:

- Access onto Unser at Vista Oriente only.

Hydrology:

- Downstream storm drain capacity may not support this density.

Transportation Planning:

- No adverse effect to on-street bikeway or roadway system facilities.

Street Maintenance:

- No comments.

Water Resources, Water Utilities and Wastewater Utilities:

- No comments.

New Mexico State Highway and Transportation Department:

- No comments.

RECOMMENDED CONDITIONS FROM CITY ENGINEER and PUBLIC WORKS:

Conditions of approval for the proposed Zone Map Amendment shall include:

- a. None.

ENVIRONMENTAL HEALTH DEPARTMENT

Air Quality Division

Environmental Services Division

PARKS AND RECREATION

Planning and Design

Future subdivision plats will be subject to the requirements of the City Park Dedication and Development Ordinance, which include:

The dedication of land suitable for the development of a neighborhood park and/or the payment of a fee in lieu of and equal to the value of the required park land dedication prior to sign-off on the related plat.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

Open Space Division

No adverse comment.

POLICE DEPARTMENT/Planning

No comment.

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

Approved on condition must have storage area for carts not visible from street & not in garage.

FIRE DEPARTMENT/Planning

TRANSIT DEPARTMENT

No comment.

COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

No objection to requested action. Grading & Drainage Plan should be coordinated with AMAFCA

ALBUQUERQUE PUBLIC SCHOOLS

The requests above for the rezoning of **Ladera Industrial Park**, on 11 acres (68 lots to be rezoned R-T from SU-1 transit), located on Unser NW between Old Ouray NW and Vista Oriente NW, will affect Susie Rayos Marman Elementary School, Jimmy Carter Middle School, and West Mesa High School.

ALL the above schools are currently enrolled beyond their designed capacities and iare projected to substantially increase further in population. The APS facilities in the area have recently, and continue to be expanded and upgraded. In the fall of 1998, the district opened a new elementary school (Painted Sky) and a middle school (Jimmy Carter) opened in the fall of 2000.

All planned additions to existing educational facilities are contingent upon taxpayer approval. This region's growth has outpaced the district's ability to construct new schools. As schools become overcrowded, boundary changes, alternative schedules, transportation to less crowded schools, and/or combinations of the above strategies may be employed to relieve schools with large numbers of students.

*Attached to this correspondence is a spreadsheet indicating student Enrollments/School Capacities/6 year enrollment trend, for the West Mesa Cluster of Albuquerque Public Schools District._

MID-REGION COUNCIL OF GOVERNMENTS

No adverse comment. For information, the Long Range Roadway System designates Unser Boulevard as a limited access principal arterial.

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

PUBLIC SERVICE COMPANY OF NEW MEXICO

There are overhead electric transmission and distribution lines near the property. However, electric service will need to be extended to the new buildings. To some degree this impacts the area electric facilities. This area load increase combined with other area changes will position PNM to need to upgrade existing substations and/or build a new substation. Care should be taken that there should be no improvements encroaching upon the rights of way without PNM's express permission. Access to maintain facilities and code clearances must be maintained.



**DEVELOPMENT
PLAN REVIEW
APPLICATION**

SUBDIVISION	Supplemental form S	ZONING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation & Zone Establishment	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> Variance (Non-Zoning)		<input checked="" type="checkbox"/> Zone Change	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Text Amendment	
<input checked="" type="checkbox"/> ...for Subdivision Purposes		APPEAL / PROTEST of...	A
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>CITY OF ALBUQUERQUE TRANSIT DEPARTMENT</u>	PHONE: <u>724-3100</u>
ADDRESS: <u>100 FIRST STREET SW</u>	FAX: <u>724-3186</u>
CITY: <u>ABQ</u> STATE <u>NM</u> ZIP <u>87102</u>	E-MAIL: _____
Proprietary interest in site: <u>OWNER</u>	
AGENT (if any): <u>TIERRA WEST LLC</u>	PHONE: <u>858-3100</u>
ADDRESS: <u>8509 JEFFERSON NE</u>	FAX: <u>858-1118</u>
CITY: <u>ABQ</u> STATE <u>NM</u> ZIP <u>87113</u>	E-MAIL: <u>twllc@tierrawestllc.com</u>

DESCRIPTION OF REQUEST: ZONE CHANGE FROM SU-1 FOR TRANSIT TO SU-1 FOR IP USE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 1 Block: _____ Unit: _____

Subdiv. / Addn. LADERA INDUSTRIAL

Current Zoning: SU-1 FOR TRANSIT Proposed zoning: SU-1 FOR IP USE

Zone Atlas page(s): H9 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 92 11.94 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 100905945634410201 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: UNSER BLVD NW
Between: OLD OURAY RD NW and VISTA ORIENTE ST NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): Z-92-45/Z-81-49-1/....DRB-99-102/V-99-39/02EPC-01948/03EPC-01092 PROJECT#1002404

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE _____ DATE 07/02/03
(Print) RONALD R. BOHANNAN, P.E. Applicant Agent

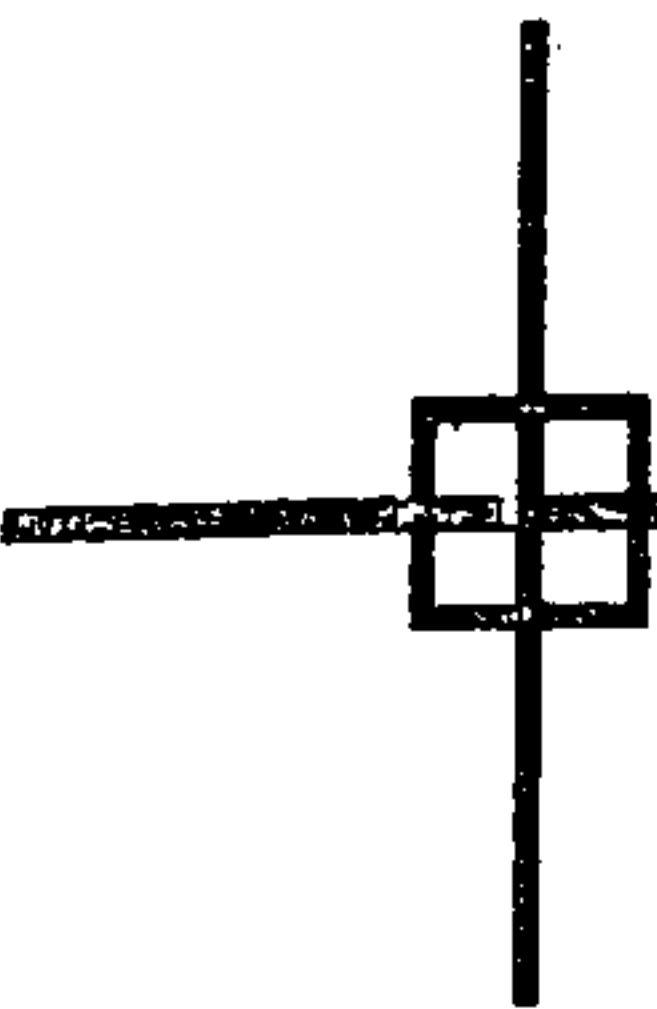
FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>03EPC - 01211</u>	<u>SPS</u>	_____	\$ _____
<input type="checkbox"/> All fees have been collected	<u>03EPC - 01092</u>	<u>EMA</u>	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	<u>03EPC - 01116</u>	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>August 21, 2003</u>	_____	_____	\$ _____

Paul Lande
Planner signature / date

Project # 100 2404



TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

July 17, 2003

Mr. Mick McMann, Vice-Chair
Environmental Planning Commission
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Request for Zone Change from SU-1 for Transit to SU-1 for IP Use
Lot 1, Ladera Industrial Park, 9.2 ± Acres
Project#: 1002404
Application #: 03EPC-01092
Zone Atlas Page H-9**

Dear Mr. McMann:

Tierra West, LLC, on behalf of the City of Albuquerque's Transit Department, requests a change in zone from SU-1 for Transit to SU-1 for IP Use for 9.2 ± acres of Lot 1, Ladera Industrial Park. This property consists of 9.2 ± acres and is bounded on the west by Unser Boulevard NW, with Old Ouray Road NW on the north, and Vista Oriente Street NW on the south. The site is shown highlighted on the attached Zone Atlas page H-9. The current zoning for this lot is SU-1 for Transit and we request the zoning be established as SU-1 for IP Use for this lot. The remaining portion of the property would retain the existing zoning.

Proposed Development

The owner proposes to develop this site into a community scale neighborhood center and we anticipate approximately ± 100,000 square feet, or a net density of approximately .25 Floor Area Ratio per acre. The SU-1 for IP Use zoning category is called out by the El Rancho Atrisco Phase 3 Sector Development Plan and is a less intense zoning category than the Transit Facility under the City Zoning Code and is permissible in the developing urban area of the Comprehensive Plan.

Resolution 270-1980

The establishment of zoning requires that Resolution 270-1980 be addressed. Based upon Resolution 270-1980, we feel the establishment of SU-1 for IP Use zoning is appropriate under Section 1D (3). A different use category is more advantageous to the community as articulated in the Comprehensive Plan and other City plans. The establishment of SU-1 for IP Use zoning is consistent with the health, safety, morals, and general welfare of the area's residents. The establishment of the project brings stability to the land use and is not in substantial conflict with any adopted elements of the Comprehensive Plan. In specific, the policies identified in the Albuquerque/Bernalillo Comprehensive Plan, Goals and Policies Section 5 e, k and m are all appropriate for the zone change request.

Policy e

New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

Policy k

Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

Policy m

Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

Establishment of zoning for this property is consistent with the health, safety, morals and general welfare of the City.

Stability of land use and zoning is desirable. The proposed land use and zoning is appropriate given surrounding land uses, which include SU-1 for IP and RD.

West Side Strategic Plan

The site, we believe, also meets the specific policies of the West Side Strategic Plan under Policy 3.17. By preserving the arroyo, we are encouraging the development of the trail network adjacent to the channel as specifically called in Policy 3.17:

Policy 3.17 The Boca Negra Arroyo is a major east-west natural feature on the West Side traversing the Taylor Ranch Community. Regional trail connections and designated public open space will occur along the Boca Negra, subject to restrictions within the Petroglyph National Monument. Development policies protecting other major arroyos shall also apply to the Boca Negra.

In addition, while not consolidating the transmission lines as called for in the West Side Strategic Plan, this proposal will incorporate and blend the neighborhoods with power lines and start to screen the switch yard located to the north.

Traffic Impact

Traffic generated by the change from SU-1 Transit Facility to Industrial will allow residents the opportunity to reduce travel by reducing the length of trips traveling out of the community bringing in service and employment to the area. We think that the traffic generated from this use will not contribute to the peak hour movements of Unser Boulevard. Due to the number of proposed levels of development below the thresholds, a TIS was not prepared.

Additional Community Advantages

Both water and sewer for the site exist and the project does not represent any additional impact to the system. The sanitary sewer interceptor line lies east and is programmed for the area to receive waste. The water system is programmed to provide service as well. The lines that service this area represent an investment the City has in the community and the development of the property allows repayment to the City and taxpayers for those improvements. Using water conservation measures in both landscaping and in the development of the units, the project will follow the City's guidelines and will meet the City's goal for water conservation and reduced impacts.

Impacts on Police, Fire, and Emergency use are also reduced. Anytime you can increase the density of a project (in an area that already has coverage for all three services) you will have economics of scale. The increased revenue base provided by the development and the increase in intensity will pay for the services in the system. The increase in the assessed value of the land and improvements and the resulting increased revenue will pay for the streets, roads, utilities, and services in the area.

Conclusion

In summary, the change of zoning from SU-1 Transit to SU-1 for IP Use will conform to the approved Comprehensive Plan and meets the requirement of Resolution 270-1980. The SU-1 for IP Use zoning is appropriate based upon the uses established in the El Rancho Atrisco Phase 3 Sector Development Plan. The City has elected to remove the transit facility and as such, has created instability; this proposed zone change would create stability.

If you have any questions or need additional information, please do not hesitate to call me. I will attend the hearing to answer any questions the Commission may have.

Sincerely,



Ronald R. Bohannon, PE

Enclosure/s

cc: Jeff Jesionowski
Bruce Rizzieri
Dan Serrano, Ladera West N.A.
Barry King, Ladera West N.A.
Darlene Motley, Las Lomas N.A.
Sharon Pruitt, Las Lomas N.A.

JN: 220090
RRB/kk


City of Albuquerque

Albuquerque, New Mexico
Planning Department
Zoning Enforcement Services

INTER-OFFICE CORRESPONDENCE

August 8, 2003

To: Victor Chavez, Planning Director

From: Jack Basye, Zoning Enforcement Supervisor 

Subject: Transit Facility, 7999 Ouray NW (address approximate and subject to change)

The referenced property, legally described as Lot 1, Ladera Industrial Center, is currently designated for zoning as SU-1 Special Use, special use for transit facility. Recent requests for map amendments for this site have resulted in research revealing that required procedure for prior zoning action has not been followed, specifically approval of the map amendment that established the current zoning of the property.

This site is located within the boundaries of the El Rancho Atrisco Phase Three Sector Development Plan, adopted as SD-81-1. The plan is not entirely zoned R-D or PC. Section 14-16-4-3 Sector Development Plan Procedures (C)(3) provides that "only the City Council shall approve Sector Development Plans for areas which are not entirely zoned R-D or PC. If the City Council has jurisdiction to adopt the governing Sector Development Plan, only the City Council may approve Sector Development Plan amendments, except that applications for zoning to Sector Development Plans for less than one block shall be decided by the Planning Commission." A block is defined as "an area no larger than ten acres which is bounded by but not crossed by public streets." The site exceeds ten acres in area and is bounded but not crossed by public streets. Therefore, a map amendment for this site requires City Council approval.

In July 1992 the EPC recommended approval to the City Council of SD-81-1-1, a map amendment for this site to SU-1 Transit Facility. Subsequently, a certificate of zoning was issued, dated January 15, 1993, and the official zone map was duly amended. However, documentation of City Council action is not recorded and cannot be located. The conclusion is that City Council did not hear and approve the map amendment referenced as SD-81-1-1. That being the case, the appropriate zoning for this site would be the previous zone as established by the sector development plan, SU-1 Light Industrial. Further, correcting the official zone map for this site would not result in any incongruity of zoning pattern, as the property abutting this site is also zoned SU-1 Light Industrial.

Section 14-16-4-9 Official Zone Map (A) provides that "the Planning Director shall maintain the official zone map. Such map shall indicate the zone of all areas within the boundaries of the city..."

C: Ellen Concini, Zoning Enforcement Manager

Peace Builders

PROJECT #1002404

FACILITATOR'S REPORT dated August 4, 2003

NO FACILITATED MEETING HELD

between Applicant/Agent: City of Albuquerque--Transit Department/
Tierra West LLC - Ron Bohannon

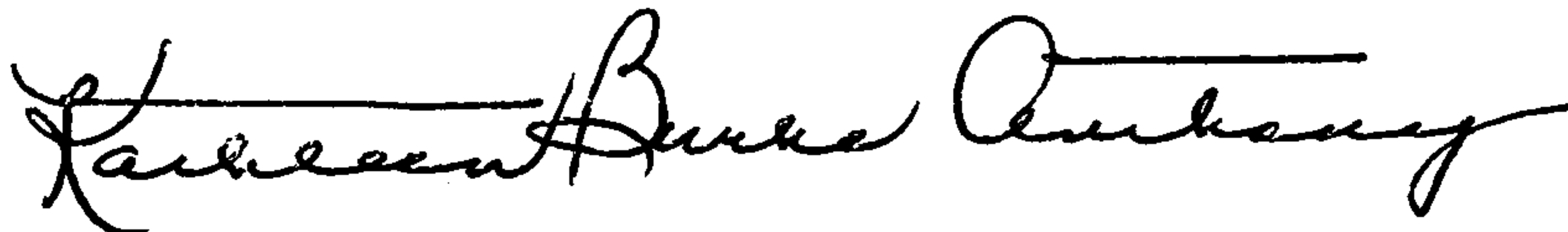
and

Neighborhood Associations: Las Lomas/Darlene Motley
Ladera West/Dan Serrano

re: Project #1002404, in which Tierra West LLC, agent for City of Albuquerque--Transit Department, requests a Zone Map Amendment from SU-1 for Transit to R-T and a Sector Plan Amendment for all or a portion of Lot 1, Ladera Industrial Park, located on Unser Blvd N.W. between Old Ouray Road and Vista Oriente Street N.W.

Facilitator: Kathleen Burke Anthony

Comment: Having been assigned this case in January 2003 and having done a meeting regarding this application on January 29, 2003, facilitator checked in with the NA representatives to see whether they had further comment. Darlene Motley returned my call to say that minimal changes were being proposed since the January meeting and Las Lomas NA has no need for a facilitated meeting.



PROJECT #1002404

FACILITATOR'S REPORT dated January 30, 2003

FACILITATED MEETING HELD January 29, 2003 6:30 p.m.
Shawn McWethy Police Substation

between Applicant/Agent: City of Albuquerque/Tierra West LLC
and

Neighborhood Associations: Ladera West/Dan Serrano
Las Lomas/Darlene Motley

re: Project #1002404 in which Tierra West LLC, agent for City of Albuquerque/Transit Department, requests a Zone Map Amendment from SU-1 for Transit to RT for all or a portion of Lot 1, Ladera Industrial Park. Located on Unser Blvd N.W. between Old Ouray Road and Vista Oriente Street N.W.

Facilitator: Kathleen Burke Anthony

Summary: Mr. Bohannon and Arlen Collatz of Tiffany Homes presented drawings, explained application, and answered questions about the zone change request. Peoples' first concern was magnetic fields from power lines nearby; Blake Forbes from PNM gave data, statistics, and results of studies--saying 'No Consistent Effects' is present standard. Other concerns were impacts on Las Lomas neighborhood, traffic, and community park or lack thereof.

At meeting's end, Mr. Serrano offered the support of Ladera West NA; Ms. Motley indicated Las Lomas NA would discuss their position some more before committing themselves.

Notes from the Meeting:

DEVELOPER INFORMATION

- *Subdivision located near Unser and 98th Street (access from 98th)
- *Presently zoned SU-1 for Light Industrial
- *11 acres allocated for bus facility/yard
- *Property owned by City; contracted for sale to Tiffany Homes
- *Adjoins 23 acres for single-family use and zoning
- *Proposed layout showing electrical lines brought to this meeting
- *Lots are especially deep to keep homes further from electricity
- *A thirty- to forty-foot distance matters in the effect from lines
- *R-T zoning requested; complies under El Rancho Atrisco Sector Plan
- *R-T not overly dense here

NEIGHBORS' INFORMATION/CONCERNS

HEALTH EFFECTS OF MAGNETIC FIELDS AROUND ELECTRIC LINES

--EMF's are a concern; 115 KB lines are in the area; what effect will magnetic fields have on peoples' health, especially children under 8 years of age?

- *Statistics have been gathered, studies have been ongoing: to date, no established/proven guidelines have been decided upon. A public health debate since 1979 has not resulted in determination of a negative effect on health.

All flow of electric current has a magnetic field; household appliances have magnetic fields (approximately 20-40 milligauss).

Measurement is by gauss, milli-gauss is one-thousandth of gauss.

The measurements found here are not exceptional compared to household magnetic fields.

*--Benchmark is? *Approximately 500 milligauss at earth's surface*

*--Rate for a typical house? *Approximately 2-4 milligauss*

--Some studies have referenced childhood leukemia as a risk...

*and in particular, children from gestation to age 8, considered vulnerable after these studies. *Ratio for leukemia in large-*

population study cited as 1:12,000. In terms of relative risk, 1 = no effect; 2 = twice as likely; still considered weak.

Smoking/lung cancer risk = 40. 'Confounders' enter in as well; other countries' studies and ours have resulted in "No Consistent Effect" conclusions.

EFFECT OF THIS PROPOSED SUBDIVISION ON LAS LOMITAS

*Tiffany Homes caters to the moveup buyer; the Tiffany name stands for responsibility and high value. Homes are comparable to those in Rinconada Mesa at Unser and Western Trail. Come see the models-- Homes 1200 square-feet up to 2700 square-feet; 5-6/acre; 45-foot lots \$118,900 will be the price of some homes, but every home plan can be built on every lot.

--*Doing what to Las Lomas home values?*

Discussion: MLS Area 11; appraisal definitions

--*Seismic movement from construction constitutes possibility of damage--consultation with lawyer has elicited promise of suit if this happens again* *It will not be necessary to use the type of equipment that caused damaging vibration in neighboring areas, so that equipment will not be used here.

--*Covenants?* *Yes. --*Neighborhood association?* *Of some kind

--*In fact, this area is included in the Ladera West NA area.*

TRAFFIC AND COMMUNITY PARK CONCERNS

--*How many homes will have entry/egress only onto 98th Street?*

*Plans call for 137 homes

--*Traffic light and configuration are greatly inadequate...*

*The industrial park has responsibility for signaling.

--*Provision for a community park?*

*Only open space and trails are provided for, because City is not allowing park. You can call Parks and Recreation at 768-5342 to give them your take on this.

--*Do these homes belong to Painted Sky School district?* *Yes.

--*Timeline?* *Permits and hearings will take 5 to 6 months; plus 2 to 3 months construction; gets us homes in some nine months.

EPC HEARING ON MARCH 20, Thursday all day Call for application's place on agenda at Planning Department 924-3860.

ATTENDEES

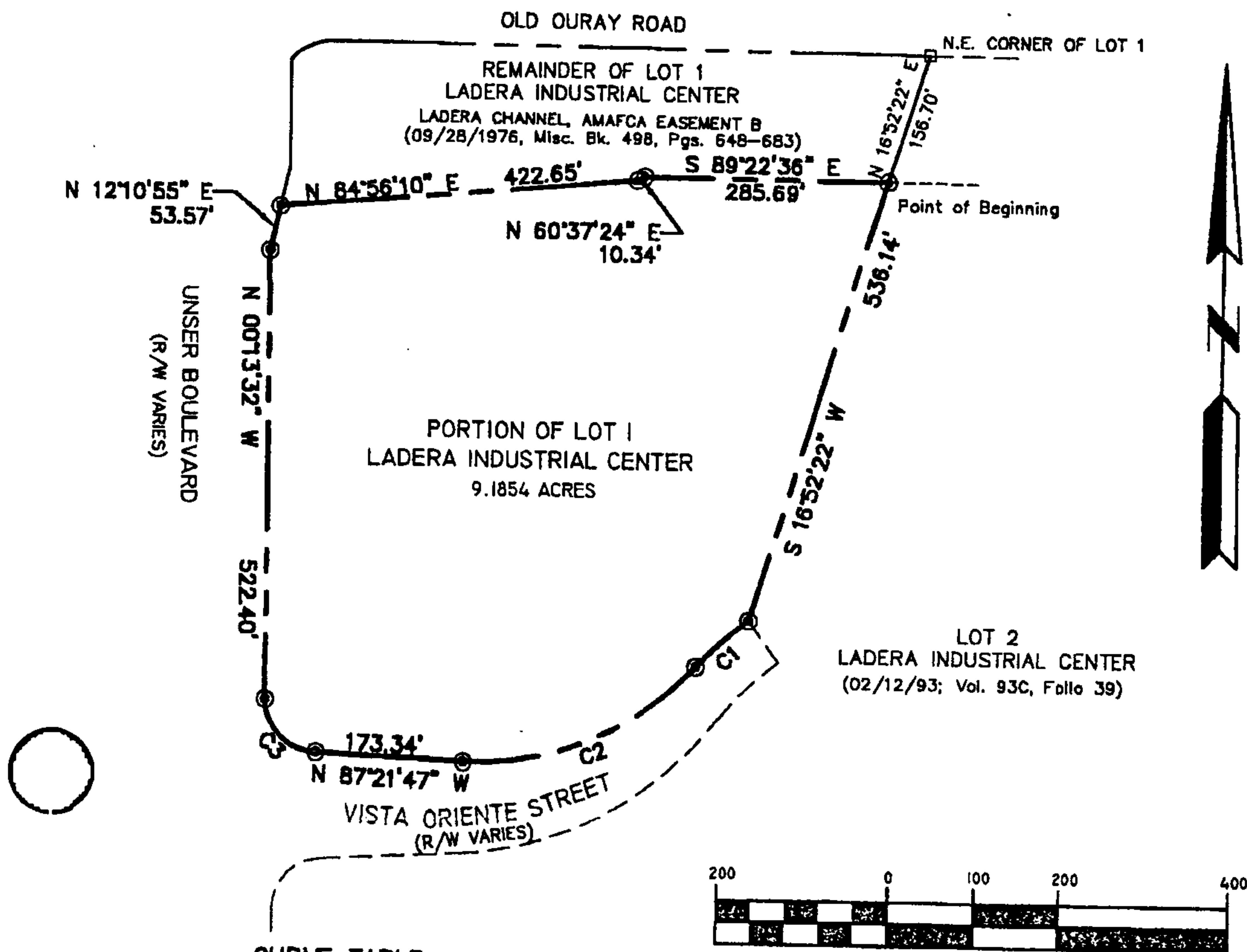
Joey Quintana	8120 Corte del Viento N.W.	87120
David Skowran	8116 Corte de Aguila N.W.	87120
Michael Seal	8106 Camino del Venado N.W.	87120
JoAnne Barnett	8106 Calle Ensueno N.W.	87120
Janet Smith	2108 Corte del Caballo N.W.	87120
Jane Anderson	2112 Corte del Caballo N.W.	87120
Ron Bohannon	8509 Jefferson N.E.	87113
Sharon Pruitt.	2139 Calle Azulejo N.W.	87120
Darlene Motley	8139 Corte de Aguila N.W.	87120
Roberto Aguirre	8122 Camino del Venado N.W.	87120
Patricia Corea-Aguirre	same	
Donald E. Burrell	8318 Camino Paisano N.W.	87120
Roberta Melville	8131 Corte de Aguila N.W.	87120
Randy Summey	8310 Camino Paisano N.W.	87120
V. Turnbow	8300 Camino del Venado N.W.	87120
Dan Serrano	8305 Rhonda de las Chusas N.W.	87120

EXHIBIT AND LEGAL DESCRIPTION PORTION OF LOT 1, LADERA INDUSTRIAL CENTER

A tract of land being a Portion of Lot 1, Ladera Industrial Center as such Lot is shown and so designated on the Plat of LOTS 1 AND 2, LADERA INDUSTRIAL CENTER, filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 12, 1993 in Volume 93C, Folio 39, situate within the Town of Atrisco Grant and within projected Section 9, Township 10 North, Range 2 East, of the New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico. Said Portion of Lot 1 described by Metes and Bounds as follows:

BEGINNING at the Northeastly Corner of the herein described tract of land at a Point of Intersection with the Southerly Easement Line of the Ladera Channel, AMAFCA Easement B (filed on 09/28/1976, Misc. Book 498, Pages 648-683) and the Easterly Line of said Lot 1, from Whence the Northeastly Corner of said Lot 1 bears North 16°52'22" East, a Distance of 156.70 Feet;
 THENCE, along said Easterly Line, South 16°52'22" West, a Distance of 536.14 Feet to a Point on the Northerly Right-of-Way Line of Vista Oriente Street;
 THENCE, along said Northerly Right-of-Way Line the following three courses:
 1) along a Curve to the Left, Radius = 410.00 Feet, Arc Length = 82.30 Feet, Delta = 11°30'03", Chord Bearing South 48°05'57" West, a Distance of 82.16 Feet;
 2) along a Curve to the Right, Radius = 350.00 Feet, Arc Length = 307.19 Feet, Delta = 50°17'14", Chord Bearing South 67°29'37" West, a Distance of 297.42 Feet;
 3) North 87°21'47" West, a Distance of 173.34 Feet;
 THENCE, departing from said Northerly Right-of-Way Line, along a Curve to the Right, Radius = 60.00 Feet, Arc Length = 94.25 Feet, Delta = 89°59'54", Chord Bearing North 45°13'32" West, a Distance of 84.85 Feet, to a Point on the Easterly Right-of-Way Line of Unser Boulevard;
 THENCE, along said Easterly Right-of-Way Line, North 00°13'32" West, a Distance of 522.40 Feet;
 THENCE, continuing along said Easterly Right-of-Way Line, North 12°10'55" East, a Distance of 53.57 Feet to a Point of Intersection with said Easterly Right-of-Way Line of Unser Boulevard and said Southerly Easement Line of the Ladera Channel;
 THENCE, departing from said Easterly Right-of-Way Line, along said Southerly Easement Line, North 84°56'10" East, a Distance of 422.65 Feet;
 THENCE, continuing along said Southerly Easement Line, North 60°37'24" East, a Distance of 10.34 Feet;
 THENCE, continuing along said Southerly Easement Line, South 89°22'36" East, a Distance of 285.69 Feet to the Point of Beginning.

The above described Portion of Lot 1 contains 9.1854 Acres, more or less.



CURVE TABLE

CURVE	RADIUS	ARC LENGTH	DELTA	BEARING	DISTANCE
C1	410.00	82.30	11°30'03"	S 48°05'57" W	82.16
C2	350.00	307.19	50°17'14"	S 67°29'37" W	297.42
C3	60.00	94.25	89°59'54"	N 45°13'32" W	84.85

SCALE: 1" = 200'

community sciences corporation
 LAND PLANNING - ENGINEERING - LAND SURVEYING
 P.O. BOX 1328, CORRALES, NEW MEXICO 87048
 PHONE 505/897-0008

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: TIERRA WEST LLC DATE OF REQUEST: 7/2/03 ZONE ATLAS PAGE(S): H-9-Z

CURRENT: ZONING SU-1 FOR TRANSIT TO C-2

LEGAL DESCRIPTION:
LOT OR TRACT # TRACT 1
BLOCK # _____
SUBDIVISION NAME LADERA INDUSTRIAL PARK

PARCEL SIZE (AC/SQ. FT.) 9.2 AC
REQUESTED CITY ACTION(S):

ANNEXATION [] SECTOR PLAN []
COMP. PLAN [] ZONE CHANGE [X]
AMENDMENT [] CONDITIONAL USE []

SITE DEVELOPMENT PLAN:
A) SUBDIVISION [] BUILDING PERMIT []
B) BUILD'G PURPOSES [] ACCESS PERMIT []
C) AMENDMENT [] OTHER []

PROPOSED DEVELOPMENT:
NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION []
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:¹
OF UNITS: _____
BUILDING SIZE: _____

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE *Karen Klein* DATE 7/2/03
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES NO [] BORDERLINE []
PWD DEVELOPMENT SERVICES & TRANSPORTATION DEVELOPMENT DIV. PLAZA DEL SOL (TONY LOYD)

THRESHOLDS MET? YES NO []
MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:

WESTSIDE SUNTRAM FACILITY & LADERA INDUSTRIAL PARK TIS

NOTES: TIS (MAY) NEED TO BE UPDATED TO REFLECT NEW DEVELOPMENT PROPOSAL. TIS REQUIRED PRIOR TO FIRST DRB ACTION. SEE TRANSPORTATION STAFF CONCERNING DETERMINATION.

IF A TIS IS REQUIRED: A SCOPING MEETING (AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL) MUST BE HELD TO DEFINE THE LEVEL OF ANALYSIS NEEDED AND THE PARAMETERS OF THE STUDY. **ANY SUBSEQUENT CHANGES TO THE DEVELOPMENT PROPOSAL IDENTIFIED ABOVE MAY REQUIRE AN UPDATE OR NEW TIS.**

Tommy J... DATE 7-2-03
TRAFFIC ENGINEER

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES NO [] BORDERLINE []
ENVIRONMENTAL HEALTH DEPT. AIR QUALITY DIV. 3RD FLOOR / ROOM 3023 CITY/COUNTY BLDG. 768-2638 (CATALINA LEHNER)

THRESHOLDS MET? YES NO [] ALTERNATE
MITIGATING REASONS FOR NOT REQUIRING AQIA: PREVIOUSLY STUDIED []

NOTES: NEW AQIA OR UPDATE (IF AQIA PREVIOUSLY STUDIED) REQUIRED AT TIME OF TIS.

IF AN AQIA IS REQUIRED: A SCOPING MEETING MUST BE HELD TO DEFINE THE LEVEL OF ANALYSIS NEEDED AND THE PARAMETERS OF THE STUDY. **ANY SUBSEQUENT CHANGES TO THE DEVELOPMENT PROPOSAL IDENTIFIED ABOVE MAY REQUIRE AN UPDATE OR NEW AQIA.**

Tommy J... DATE 7-2-03
ENVIRONMENTAL HEALTH

REQUIRED TIS AND / OR AQIA **MUST BE COMPLETED PRIOR TO APPLYING TO THE EPC.** ARRANGEMENTS MUST BE MADE PRIOR TO SUBMITAL IF A VARIANCE TO THIS PROCEDURE IS REQUESTED AND NOTED ON THIS FORM, OTHERWISE THE APPLICATION MAY NOT BE ACCEPTED OR DEFERRED IF THE ARRANGEMENTS ARE NOT COMPLIED WITH.

TIS - SUBMITTED 3/31/99 *Tommy J...* DATE 7-2-03
- FINALIZED 1/1/ TRAFFIC ENGINEER

AQIA - SUBMITTED 1/1/ *Tommy J...* DATE _____
- FINALIZED 1/1/ ENVIRONMENTAL HEALTH



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: June 30, 2003

TO CONTACT NAME: Karen Kline
COMPANY/AGENCY: Tierra West
ADDRESS/ZIP: 8509 Jepperson DE 87113
PHONE/FAX #: 858-3100 / 858-1118

Thank you for your inquiry of 6-30-03 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at lot 1, Ladera Industrial Center

zone map page(s) A-9

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Las Lomas
Neighborhood Association
Contacts: Darlene Motley
8139 Corte De Aguila NW
839-9789 (h) 235-5802 (w) 87120
Sharon Pruitt
2139 Calle Azulejo NW / 87120
831-0277 (h) 379-1258 (w)

Ladera West
Neighborhood Association
Contacts: Dan Serrano
3305 Rhonda de la Chusas NW
836-6399 (h) 344-5311 (w) 87120
Barry King
3808 Todos Santos NW
836-6044 (h) 87120

See reverse side for additional Neighborhood Association Information: YES { } NO

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalana S. Camona
OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.



Martin Chávez,
Mayor

City of Albuquerque

Transit Department

Peter Behrman, Director

100 First Street SW, Albuquerque, NM 87102
505-724-3100 505-724-3186 (fax)

December 20, 2002

Environmental Planning Commission
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

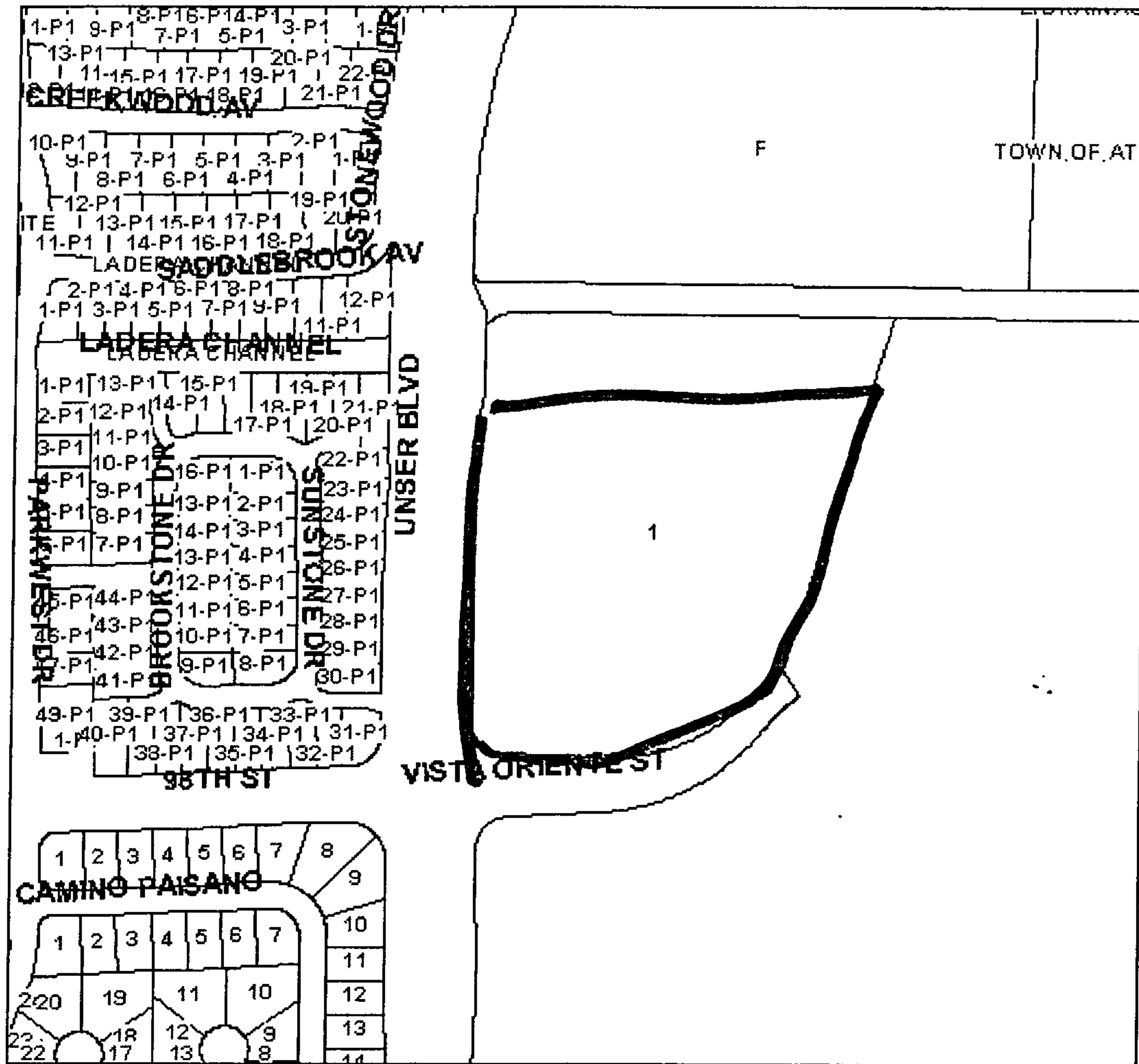
Dear Commissioners:

This letter authorizes AMC Development Services and/or its consultant Tierra West to act as agent on behalf of the City of Albuquerque Transit Department to amend the zoning designation for City land located at the northeast corner of Unser Boulevard and 98th Street.

Please do not hesitate to contact me at 724.3100 if you have any questions.

Sincerely,

Bruce Rizzieri
Associate Director



Zoning: SU-1 LIGHT INDUST
Lot/Block/Subd: 1 , 0000 , LADERA INDUSTRIAL CENTER
ZoneMap Page: H9
Jurisdiction: CITY
UPC #: 100905945634410201
Owner Name: CITY OF ALBUQUERQUE