

VICINITY MAP
Not to Scale

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2007483519
- City of Albuquerque Zone Atlas Page: H-9-Z
- This property is currently zoned "SU-1 Light Industrial"

PURPOSE OF PLAT

The purpose of this plat is to

- Eliminate the existing interior tract/lot lines and subdivide into four (4) new Lots as shown hereon.
- Grant the new easements as shown hereon.

SUBDIVISION DATA

- Total number of existing Lots: 2
- Total number of Lots created: 4
- Gross Subdivision acreage: 7.0919 acres.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
December 18, 2007



**PLAT OF
LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4
LADERA INDUSTRIAL CENTER**

(BEING A REPLAT OF LOTS 1-B AND 1-D, LADERA INDUSTRIAL CENTER)

WITHIN
THE TOWN OF ATRISCO GRANT
IN

PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

DECEMBER, 2007

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services [Signature] 2/4/2008 Date

PNM Gas Services [Signature] 2/4/2008 Date

QWest Corporation [Signature] 1/17/08 Date

Comcast [Signature] 1-10-08 Date

City Approvals:

City Surveyor [Signature] 1-3-08 Date

Real Property Division _____ Date

Environmental Health Department _____ Date

Traffic Engineering, Transportation Division _____ Date

Utilities Development _____ Date

Parks and Recreation Department _____ Date

AMAFCA _____ Date

City Engineer _____ Date

DRB Chairperson, Planning Department _____ Date

PLAT OF
LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4
LADERA INDUSTRIAL CENTER
 (BEING A REPLAT OF LOTS 1-B AND 1-D, LADERA INDUSTRIAL CENTER)
 WITHIN
THE TOWN OF ATRISCO GRANT
 IN
PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2007

LEGAL DESCRIPTION

All of Lots One-B (1-B) and One-D (1-D), LADERA INDUSTRIAL CENTER as the same are shown and designated on the plat entitled "SUBDIVISION PLAT OF LOTS 1-A, 1-B, 1-C AND 1-D, LADERA INDUSTRIAL CENTER, BEING A REPLAT OF LOT 1, LADERA INDUSTRIAL CENTER SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 9, T. 10 N., R. 2 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 24, 2004 in Plat Book 2004C, page 194.

Said parcel contains 7.0919 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4, LADERA INDUSTRIAL CENTER (BEING A REPLAT OF LOTS 1-B AND 1-D, LADERA INDUSTRIAL CENTER) WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

PETERSON INV-98TH/UNSER, L.L.C.
 a New Mexico limited liability company
 By: Peterson Properties Investments, LLC,
 its Managing Member, by the James A.
 Peterson and Mary B. Peterson revocable Trust
 (created 8/18/98), its Managing Member


 By: James A. Peterson, Trustee

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 2nd day
 of January, 2008 by James A. Peterson.


 Notary Public

10/19/09
 My commission expires

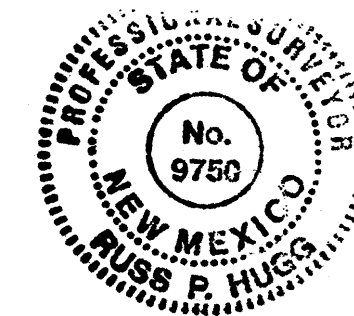


Documents used in the preparation of this survey are as follows:

- A. Plat entitled "PLAT OF LOTS 1 AND 2, LADERA INDUSTRIAL CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 1992", filed February 12, 1993, in Volume 93C, Folio 39, records of Bernalillo County, New Mexico.
- B. Plat entitled "EL RANCHO ATRISCO, PHASE II, TRACTS A-1 AND B-1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, NOVEMBER, 1986", filed February 12, 1987, in Volume C32, Folio 185, records of Bernalillo County, New Mexico.
- C. Plat entitled "EL RANCHO ATRISCO, PHASE III, TRACTS 5-A, 6-A AND THE BIKE AND JOGGING TRAIL, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, NOVEMBER, 1986", filed February 12, 1987, in Volume C32, Folio 184, records of Bernalillo County, New Mexico.
- D. Plat entitled "SUBDIVISION PLAT OF LOTS 1-A, 1-B, 1-C AND 1-D, LADERA INDUSTRIAL CENTER, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER, 2003", filed June 24, 2004, in Volume 2004C, Folio 194, records of Bernalillo County, New Mexico.
- E. Title Report prepared for this property by Commonwealth Land Title Insurance Company, Commitment for Title Insurance No. 6218001955, dated November 27, 2006.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision"



OURAY ROAD N.W.
 Vacated by V#02DRB-01579 and V#03DRB-00220
 A.M.A.F.C.A. DRAINAGE R/W
 Filed 5-13-03, Vol. 2003C, Folio 133

Albuquerque Control Survey Monument "2-G9"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 83) as published:
 N = 1,499,127.178
 E = 1,496,926.541
 Mapping Angle = -00°16'33.78"
 Elevation = unpublished (NAVD 88)
 Ground to grid factor = 0.999672239

LADERA DIVERSION CHANNEL

Ladera Channel Right of Way
 Easement Parcel LD-4-1D per
 Judgement Filed 9-28-76, in
 Bk. Misc. 498, Pg. 648

LOT 1-A
 LADERA INDUSTRIAL CENTER
 Filed 6-24-04, Vol. 2004C, Folio 194

TRACT B
 LADERA BUSINESS PARK
 Filed January 22, 2004 in Plat Book 2004C, Page 24

LOT 1-D
 LADERA INDUSTRIAL CENTER
 Filed 6-24-04, Vol. 2004C, Folio 194

TRACT 1, UNIT 2
 LADERA BUSINESS PARK
 Filed October 11, 2004, Book 2004C, Page 325

LOT 1-B
 LADERA INDUSTRIAL CENTER
 Filed 6-24-04, Vol. 2004C, Folio 194

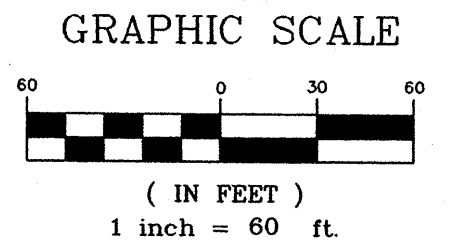
LOT 1-C
 LADERA INDUSTRIAL CENTER
 Filed 6-24-04, Vol. 2004C, Folio 194
 NOT PART OF THIS PLAT

TRACT 29
 LADERA BUSINESS PARK
 UNIT 2
 Filed 10-11-2004, Vol. 2004C, Folio 325

BOULEVARD N.W.
 R/W WIDTH VARIES

UNSER

VISTA ORIENTE STREET N.W.
 R/W WIDTH VARIES

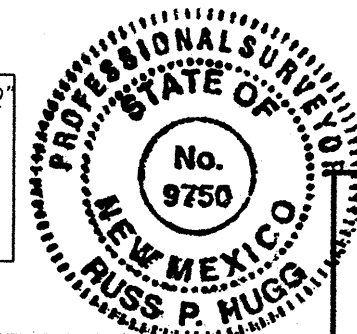


LINE TABLE		
LINE	LENGTH	BEARING
L1	58.73'	N00°13'56"W
L2	58.09'	N12°08'23"E
L3	25.57'	N90°00'00"W
L4	85.46'	N00°00'00"E
L5	47.49'	N70°59'22"W
L6	24.60'	S00°03'13"W
L7	14.11'	N90°00'00"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	82.29'	410.00'	41.28'	82.15'	S48°04'09"W	11°29'58"
C2	198.56'	350.00'	102.03'	195.90'	S58°35'53"W	32°30'15"

PLAT OF
 LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4
 LADERA INDUSTRIAL CENTER
 (BEING A REPLAT OF LOTS 1-B AND 1-D, LADERA INDUSTRIAL CENTER)
 WITHIN
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 IN
 PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2007

Albuquerque Control Survey Monument "3-H10"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 83) as published:
 N = 1,493,985.881
 E = 1,497,135.488
 Mapping Angle = -00°16'31.81"
 Elevation = 5196.151 (NAVD 88)
 Ground to grid factor = 0.999678906



SURV TEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3388 Fax: 505-897-3377

City of Albuquerque Public Water, Sanitary Sewer and Drainage Easement per Plat Filed 5-13-03, Vol. 2003C, Folio 133
Private Access and Public Utility Easement per Plat Filed 5-13-03, Vol. 2003C, Folio 133

OURAY ROAD N.W.
Vacated by V#02DRB-01579 and V#03DRB-00220
A.M.A.F.C.A. DRAINAGE R/W
Filed 5-13-03, Vol. 2003C, Folio 133

NOTE
Lots 1-B-1, 1-B-2, 1-B-3, 1-B-4 and 1-C, Ladera Industrial Center are subject to that certain "DECLARATION OF COVENANTS, RESTRICTIONS, AND CROSS EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the ____ day of _____, 2008, as Doc. No. _____

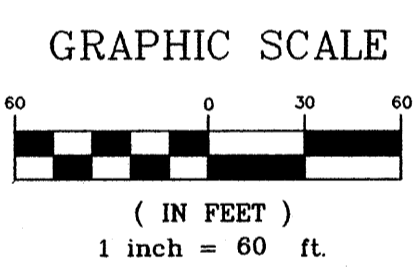
EASEMENT LEGEND

(A) = Proposed 20' Driveway Access Permit From N.M.D.O.T. as Shown on Plat Filed 6-24-04, Vol. 2004C, Folio 194

(B) = 20' Public Waterline Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat. Easement is 10' on each side of the centerline as shown hereon. (typical)

LINE TABLE

LINE	LENGTH	BEARING
L1	58.09'	N12°08'23"E
L2	24.60'	N00°00'00"E
L3	25.31'	N90°00'00"W
L4	85.46'	N00°00'00"E
L5	47.49'	N70°59'22"W
L7	14.11'	N90°00'00"E
L8	100.72'	N00°50'23"W
L9	10.73'	S89°46'04"W
L10	11.79'	N90°00'00"W
L11	13.01'	N42°35'52"W
L12	30.95'	N00°00'00"E
L13	80.42'	N45°00'00"E
L14	57.99'	N22°30'00"E
L15	30.28'	N22°30'00"E
L16	28.50'	N67°30'00"W
L17	53.14'	N00°00'00"E
L18	36.09'	S90°00'00"W
L19	22.90'	N90°00'00"W
L20	22.25'	N00°00'00"E
L21	22.34'	N00°00'00"E
L22	107.33'	S90°00'00"W
L23	39.59'	S90°00'00"W
L24	75.89'	S90°00'00"W
L25	33.00'	S90°00'00"W
L26	15.46'	N00°00'00"E
L27	29.64'	S22°30'00"E
L28	38.87'	S45°00'00"W
L29	9.37'	S90°00'00"W
L30	11.84'	N00°00'00"E
L31	68.65'	N70°59'22"W
L32	42.65'	N70°59'22"W
L33	11.23'	N90°00'00"W
L34	157.49'	S90°00'00"W
L35	63.97'	S90°00'00"W
L36	33.49'	N00°00'00"W
L37	48.73'	N00°00'00"W
L38	42.42'	N18°48'05"E



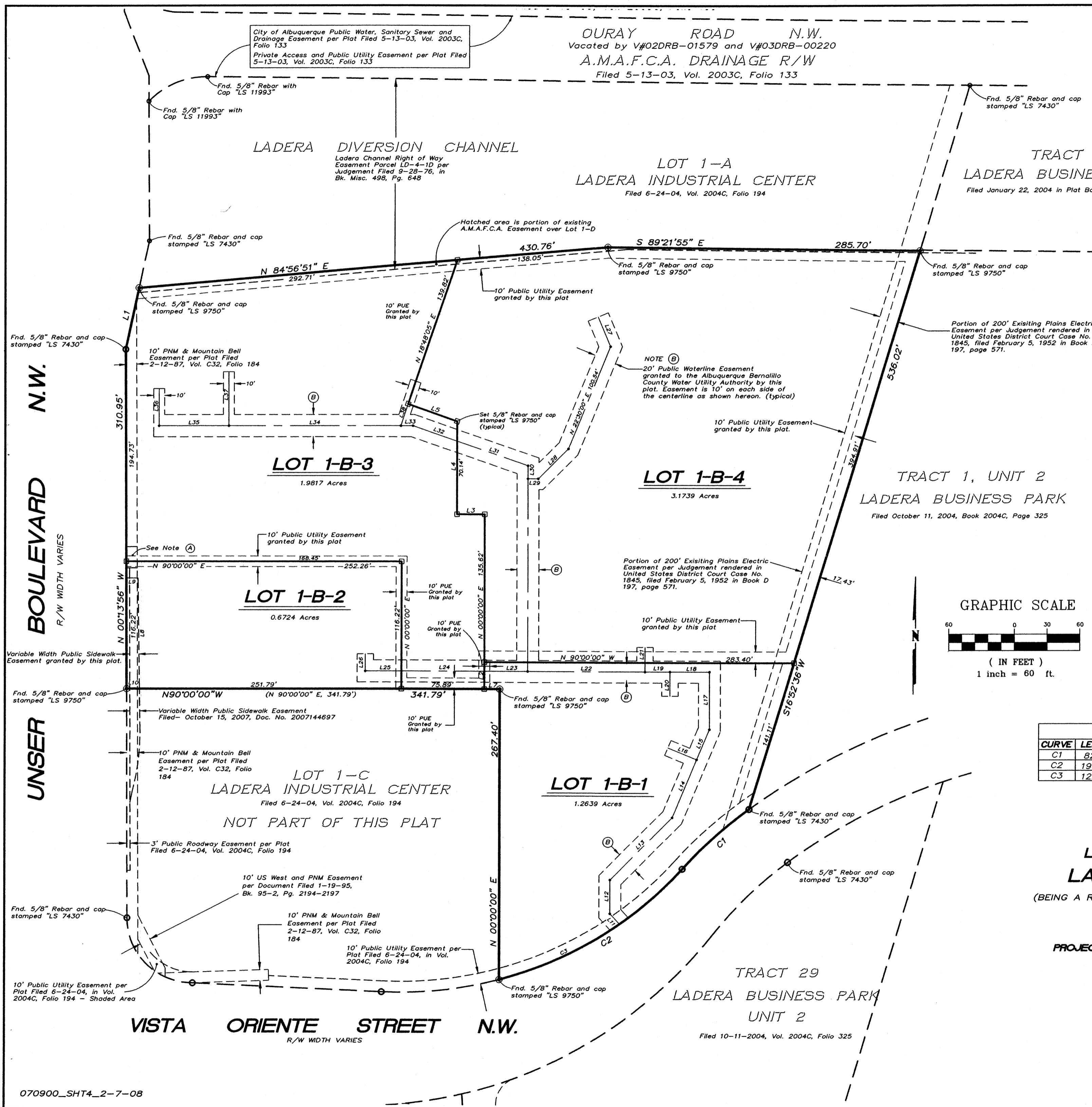
CURVE TABLE

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C3	122.09'	350.00'	61.67'	121.47'	N64°51'25"E	19°59'10"

PLAT OF
LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4
LADERA INDUSTRIAL CENTER
(BEING A REPLAT OF LOTS 1-B AND 1-D, LADERA INDUSTRIAL CENTER)
WITHIN
THE TOWN OF ATRISCO GRANT
IN
PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2007

SHEET 4 OF 4

SURV TEK, INC.
Consulting Surveyors
8884 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377



**PLAT OF
LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4
LADERA INDUSTRIAL CENTER**

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NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

DECEMBER, 2011

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantees, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

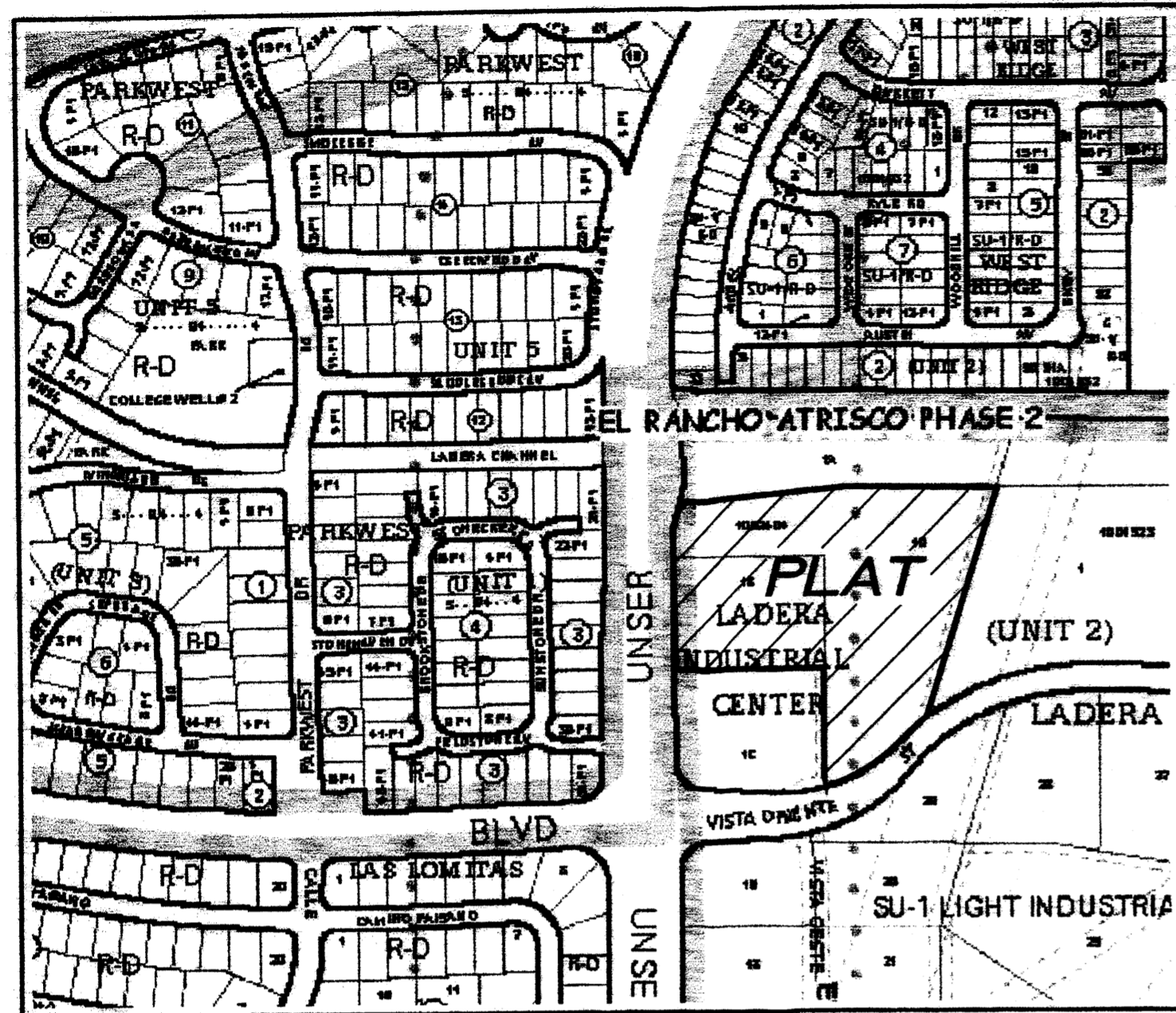
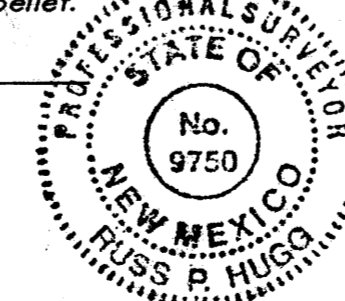
DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
December 1, 2011



VICINITY MAP
Not to Scale

GENERAL NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 83).
2. Distances are ground.
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5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
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7. City of Albuquerque Zone Atlas Page: H-9-Z

PURPOSE OF PLAT

The purpose of this plat is to

- A. Eliminate the existing interior tract/lot lines and subdivide into four (4) new Lots as shown hereon.
- B. Grant the new easements as shown hereon.

SUBMISSION DATA

1. Total number of existing Lots: 2
2. Total number of Lots created: 4
3. Gross Subdivision acreage: 7.0919 acres.

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

UTILITY APPROVALS:

Public Service Company of New Mexico	_____	Date
New Mexico Gas Company	_____	Date
QWest Corporation d/b/a CenturyLink QC	_____	Date
Comcast	_____	Date

CITY APPROVALS:

	_____	12-8-11
City Surveyor Department of Municipal Development	_____	Date
Real Property Division	_____	Date
Environmental Health Department	_____	Date
Traffic Engineering, Transportation Division	_____	Date
ABCWUA	_____	Date
Parks and Recreation Department	_____	Date
AMAFC	_____	Date
City Engineer	_____	Date
DRB Chairperson, Planning Department	_____	Date

PLAT OF
LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4
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 (BEING A REPLAT OF LOTS 1-B AND 1-D, LADERA INDUSTRIAL CENTER)
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CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2011

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Said parcel contains 7.0919 acres, more or less.

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SURVEYED and REPLATTED and now comprising PLAT OF LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4, LADERA INDUSTRIAL CENTER (BEING A REPLAT OF LOTS 1-B AND 1-D, LADERA INDUSTRIAL CENTER) WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

PETERSON INV-98TH/UNSER, L.L.C.
 a New Mexico limited liability company

By: JMD Partnership Ltd. Liability Co., its Managing Member


 By: Douglas H. Peterson, Managing Member

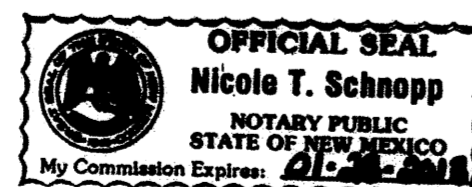
ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 7th day
 of December, 2011, by Douglas H. Peterson.


 Notary Public

January 28, 2013
 My commission expires



Documents used in the preparation of this survey are as follows:

- A. Plat entitled "PLAT OF LOTS 1 AND 2, LADERA INDUSTRIAL CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER 1992", filed February 12, 1993, in Volume 93C, Folio 39, records of Bernalillo County, New Mexico.
- B. Plat entitled "EL RANCHO ATRISCO, PHASE II, TRACTS A-1 AND B-1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, NOVEMBER, 1986", filed February 12, 1987, in Volume C32, Folio 185, records of Bernalillo County, New Mexico.
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- E. Title Report prepared for this property by Commonwealth Land Title Insurance Company, Commitment for Title Insurance No. 6218001955, dated November 27, 2006.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."



SHEET 2 OF 4

SURVOTEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366
 Fax: 505-897-3377

City of Albuquerque Public Water, Sanitary Sewer and Drainage Easement per Plat Filed 5-13-03, Vol. 2003C, Folio 133
Private Access and Public Utility Easement per Plat Filed 5-13-03, Vol. 2003C, Folio 133

OURAY ROAD N.W.
Vacated by V#02DRB-01579 and V#03DRB-00220
A.M.A.F.C.A. DRAINAGE R/W
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LADERA DIVERSION CHANNEL
Ladera Channel Right of Way Easement Parcel LD-4-1D per Judgement Filed 9-28-76, in Bk. Misc. 498, Pg. 648

LOT 1-A
LADERA INDUSTRIAL CENTER
Filed 6-24-04, Vol. 2004C, Folio 194

TRACT B
LADERA BUSINESS PARK
Filed January 22, 2004 in Plat Book 2004C, Page 24

LOT 1-D
LADERA INDUSTRIAL CENTER
Filed 6-24-04, Vol. 2004C, Folio 194

TRACT 1, UNIT 2
LADERA BUSINESS PARK
Filed October 11, 2004, Book 2004C, Page 325

LOT 1-B
LADERA INDUSTRIAL CENTER
Filed 6-24-04, Vol. 2004C, Folio 194

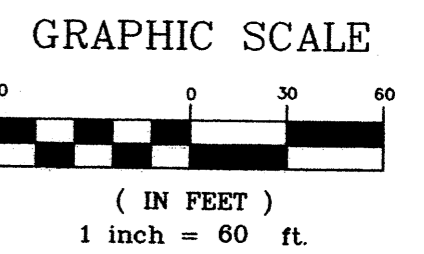
LOT 1-C
LADERA INDUSTRIAL CENTER
Filed 6-24-04, Vol. 2004C, Folio 194
NOT PART OF THIS PLAT

TRACT 29
LADERA BUSINESS PARK
UNIT 2
Filed 10-11-2004, Vol. 2004C, Folio 325

VISTA ORIENTE STREET N.W.
R/W WIDTH VARIES

BOULEVARD N.W.
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UNSER



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LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4
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(BEING A REPLAT OF LOTS 1-B AND 1-D, LADERA INDUSTRIAL CENTER)
WITHIN
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NEW MEXICO PRINCIPAL MERIDIAN
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Lots 1-B-1, 1-B-2, 1-B-3, 1-B-4 and 1-C, Ladera Industrial Center are subject to that certain "DECLARATION OF COVENANTS, RESTRICTIONS, AND CROSS EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the ____ day of _____, 20____, as Doc. No. _____

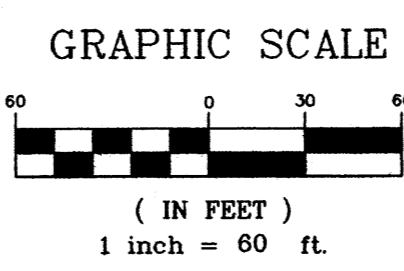
EASEMENT LEGEND
(A) = Proposed 20' Driveway Access Permit From N.M.D.O.T. as Shown on Plat Filed 6-24-04, Vol. 2004C, Folio 194
(B) = 20' Public Waterline Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat. Easement is 10' on each side of the centerline as shown hereon. (typical)

LINE TABLE

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L9	10.73'	S89°46'04"W
L10	11.79'	N90°00'00"W
L11	13.01'	N42°35'52"W
L12	30.95'	N00°00'00"E
L13	80.42'	N45°00'00"E
L14	57.99'	N22°30'00"E
L15	30.28'	N22°30'00"E
L16	28.50'	N67°30'00"W
L17	53.14'	N00°00'00"E
L18	36.09'	S90°00'00"W
L19	22.90'	N90°00'00"W
L20	22.25'	N00°00'00"E
L21	22.34'	N00°00'00"E
L22	107.33'	S90°00'00"W
L23	39.59'	S90°00'00"W
L24	75.89'	S90°00'00"W
L25	33.00'	S90°00'00"W
L26	15.46'	N00°00'00"E
L27	29.64'	S22°30'00"E
L28	38.87'	S45°00'00"W
L29	9.37'	S90°00'00"W
L30	11.84'	N00°00'00"E
L31	68.65'	N70°59'22"W
L32	42.65'	N70°59'22"W
L33	11.23'	N90°00'00"W
L34	157.49'	S90°00'00"W
L35	63.97'	S90°00'00"W
L36	33.49'	N00°00'00"W
L37	48.73'	N00°00'00"W
L38	42.42'	N18°48'05"E

CURVE TABLE

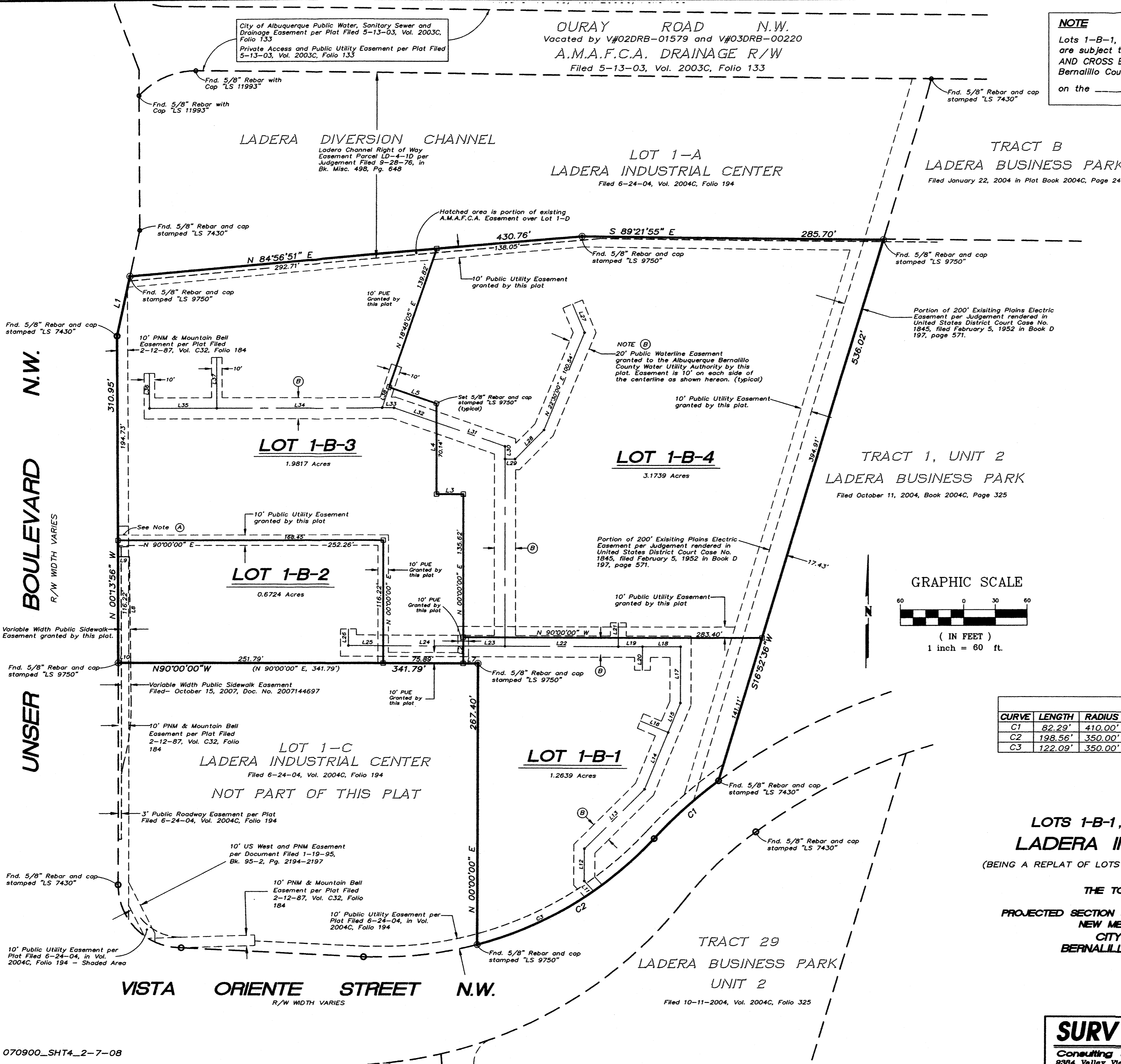
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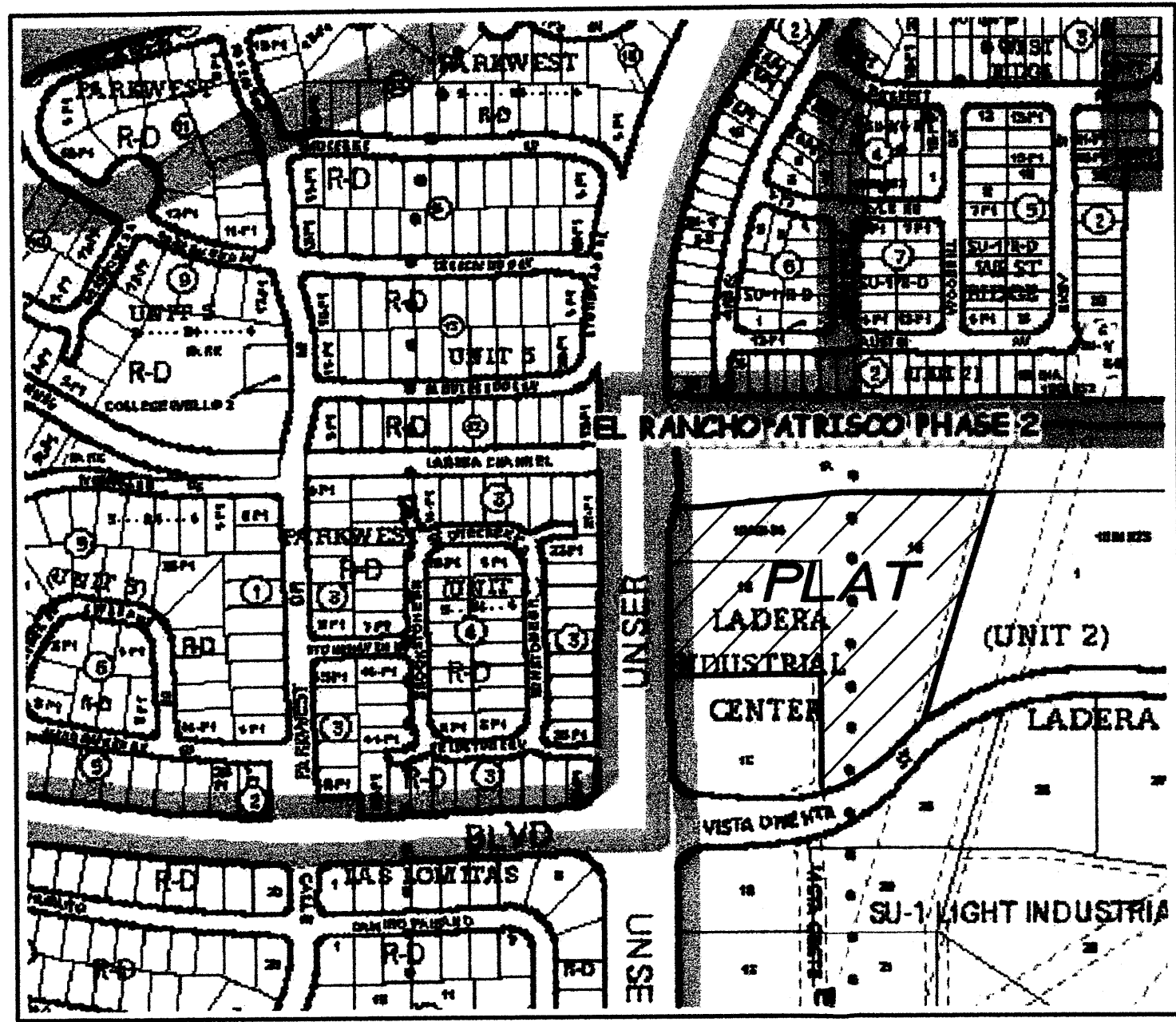


PLAT OF
LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4
LADERA INDUSTRIAL CENTER
(BEING A REPLAT OF LOTS 1-B AND 1-D, LADERA INDUSTRIAL CENTER)
WITHIN
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IN
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NEW MEXICO PRINCIPAL MERIDIAN
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BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2011

SHEET 4 OF 4

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Consulting Surveyors
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VICINITY MAP
Not to Scale

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2007483519
- City of Albuquerque Zone Atlas Page: H-9-Z
- This property is currently zoned "SU-1 Light Industrial"

PURPOSE OF PLAT

The purpose of this plat is to

- Eliminate the existing interior tract/lot lines and subdivide into four (4) new Lots as shown hereon.
- Grant the new easements as shown hereon.

SUBDIVISION DATA

- Total number of existing Lots: 2
- Total number of Lots created: 4
- Gross Subdivision acreage: 7.0919 acres.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer _____ Date _____

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

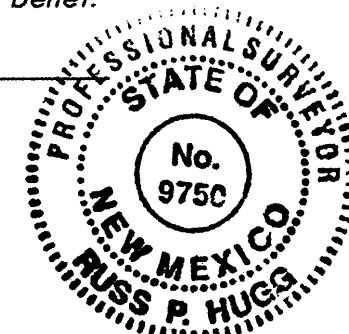
DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 December 18, 2007



**PLAT OF
 LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4
 LADERA INDUSTRIAL CENTER**

(BEING A REPLAT OF LOTS 1-B AND 1-D, LADERA INDUSTRIAL CENTER)

WITHIN
 THE TOWN OF ATRISCO GRANT
 IN
 PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2007

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date _____

QWest Corporation _____ Date _____

Comcast _____ Date _____

City Approvals:
 [Signature] _____ 1-3-08
 City Surveyor _____ Date _____

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Utilities Development _____ Date _____

Parks and Recreation Department _____ Date _____

AMA FCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

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LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4
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 (BEING A REPLAT OF LOTS 1-B AND 1-D, LADERA INDUSTRIAL CENTER)
WITHIN
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NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2007

LEGAL DESCRIPTION

All of Lots One-B (1-B) and One-D (1-D), LADERA INDUSTRIAL CENTER as the same are shown and designated on the plat entitled "SUBDIVISION PLAT OF LOTS 1-A, 1-B, 1-C AND 1-D, LADERA INDUSTRIAL CENTER, BEING A REPLAT OF LOT 1, LADERA INDUSTRIAL CENTER SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 9, T. 10 N., R. 2.E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 24, 2004 in Plat Book 2004C, page 194.

Said parcel contains 7.0919 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4, LADERA INDUSTRIAL CENTER (BEING A REPLAT OF LOTS 1-B AND 1-D, LADERA INDUSTRIAL CENTER) WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

PETERSON INV-98TH/UNSER, L.L.C.
 a New Mexico limited liability company
 By: Peterson Properties Investments, LLC,
 its Managing Member, by the James A.
 Peterson and Mary B. Peterson revocable Trust
 (created 8/18/98), its Managing Member

James A. Peterson
 By: James A. Peterson, Trustee

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 2nd day
 of January, 2008 by James A. Peterson.

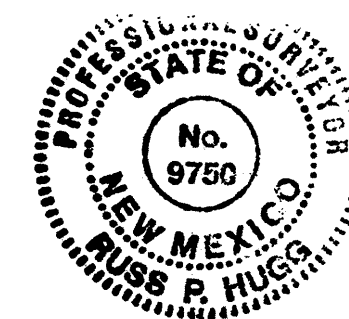
Colleen R. McGrath
 Notary Public

10/19/09
 My commission expires

OFFICIAL SEAL
 COLLEEN R. McGRATH
 NOTARY PUBLIC-STATE OF NEW MEXICO
 My commission expires 10/19/09

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LADERA BUSINESS PARK

Filed January 22, 2004 in Plat Book 2004C, Page 24

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TRACT 1, UNIT 2
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Filed October 11, 2004, Book 2004C, Page 325

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LADERA INDUSTRIAL CENTER

Filed 6-24-04, Vol. 2004C, Folio 194

LOT 1-C
LADERA INDUSTRIAL CENTER

Filed 6-24-04, Vol. 2004C, Folio 194

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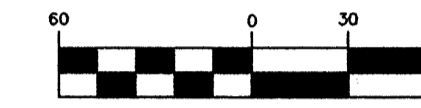
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R/W WIDTH VARIES
UNSER

GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.

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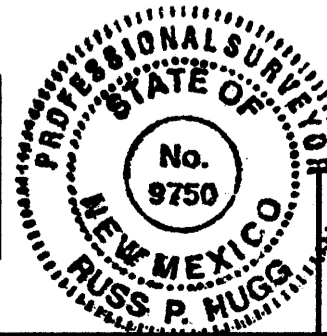
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SHEET 3 OF 4

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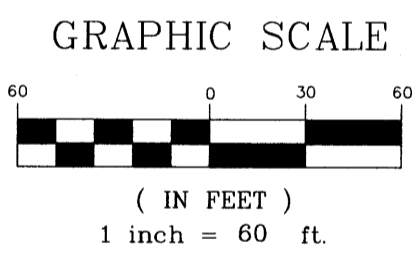
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L12	30.95'	N00°00'00"E
L13	80.42'	N45°00'00"E
L14	57.99'	N22°30'00"E
L15	30.28'	N22°30'00"E
L16	28.50'	N67°30'00"W
L17	53.14'	N00°00'00"E
L18	36.09'	S90°00'00"W
L19	22.90'	N90°00'00"W
L20	22.25'	N00°00'00"E
L21	22.34'	N00°00'00"E
L22	104.83'	S90°00'00"W
L23	42.09'	S90°00'00"W
L24	75.89'	S90°00'00"W
L25	33.00'	S90°00'00"W
L26	29.62'	N00°00'00"E
L27	46.53'	N00°00'00"E
L28	56.08'	N90°00'00"E
L29	30.99'	N00°00'00"E
L30	54.00'	N90°00'00"E
L31	46.10'	N19°00'38"E
L32	13.09'	N90°00'00"E
L33	42.20'	S70°59'22"E
L34	71.29'	S70°59'22"E
L35	13.63'	S00°00'00"E
L36	6.87'	N90°00'00"E
L37	38.87'	N45°00'00"E
L38	29.64'	N22°30'00"W



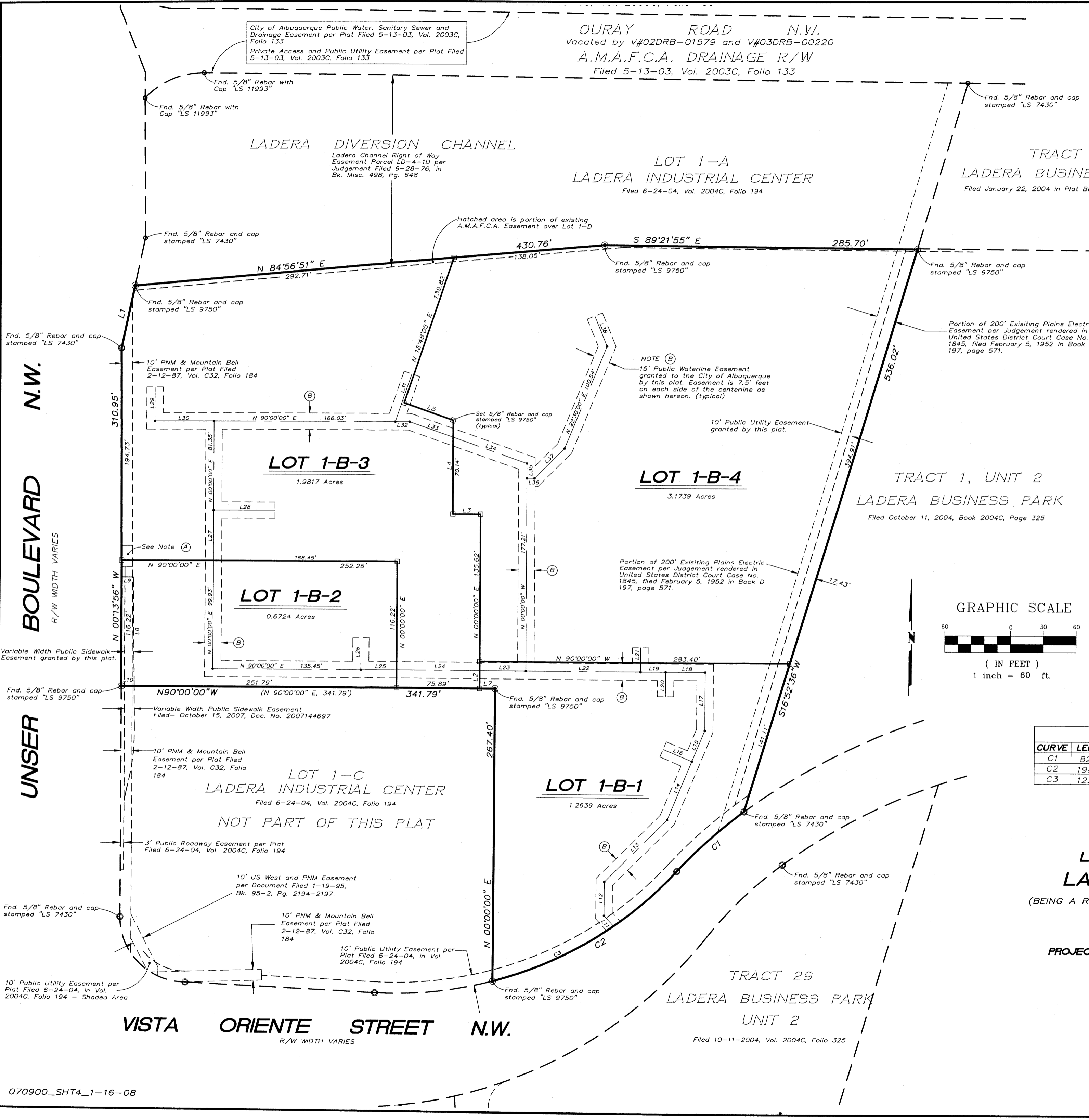
CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	82.29'	410.00'	41.28'	82.15'	S48°04'09"W	11°29'58"
C2	198.56'	350.00'	102.03'	195.90'	N58°35'53"E	32°30'15"
C3	122.09'	350.00'	61.67'	121.47'	N64°51'25"E	19°59'10"

PLAT OF
LOTS 1-B-1, 1-B-2, 1-B-3 AND 1-B-4
LADERA INDUSTRIAL CENTER
(BEING A REPLAT OF LOTS 1-B AND 1-D, LADERA INDUSTRIAL CENTER)
WITHIN
THE TOWN OF ATRISCO GRANT
IN
PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2007

SHEET 4 OF 4

SURV TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377



070900_SHT4_1-16-08

EXISTING LADERA CHANNEL
AMAFCA EASEMENT B

LOT 1-A

KEYED NOTES

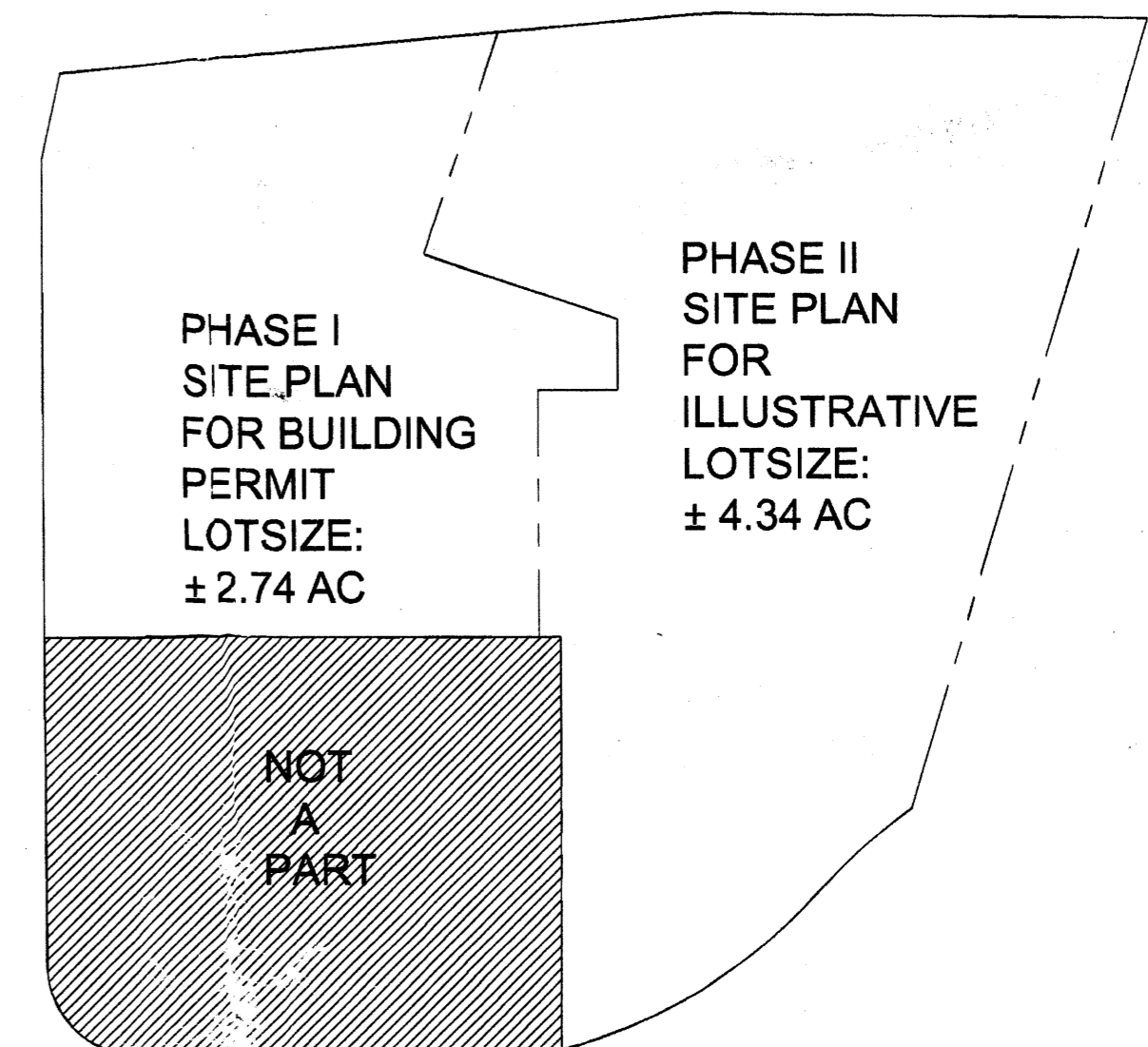
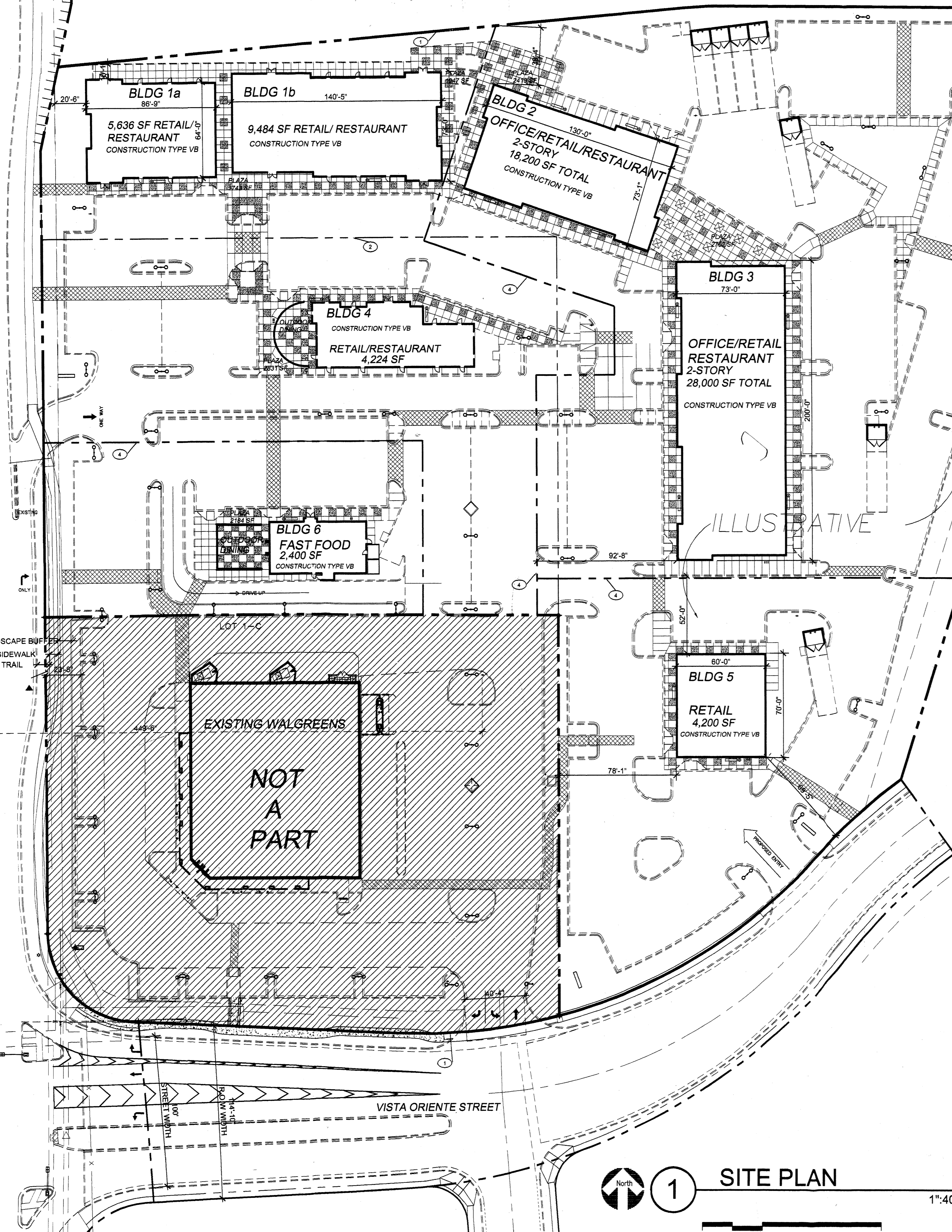
1. PROPERTY LINE
2. EXISTING LOT LINE TO BE ELIMINATED
3. EXISTING LOT LINE PER EXISTING PLAT
4. NEW PROPERTY LINE
- 5.

THE SITE IS LOCATED ON THE NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET. THE SITE IS 7.08 ACRES TWO LOTS. THE PROPOSED USES INCLUDE OFFICE, RETAIL, AND RESTAURANT IN COMPLIANCE WITH THE SU-1 FOR LIGHT INDUSTRIAL ZONING.

VEHICULAR ACCESS: TWO ACCESS POINTS ARE EXISTING ONE IS FROM UNSER BOULEVARD, ONE FROM VISTA ORIENTE STREET THROUGH THE WALGREEN'S PARTIAL. ANOTHER ACCESS WILL BE TAKEN FROM VISTA ORIENTE STREET. THE PROPOSED ACCESS OFF OF VISTA ORIENTE STREET WILL BE A FULL ACCESS POINT.

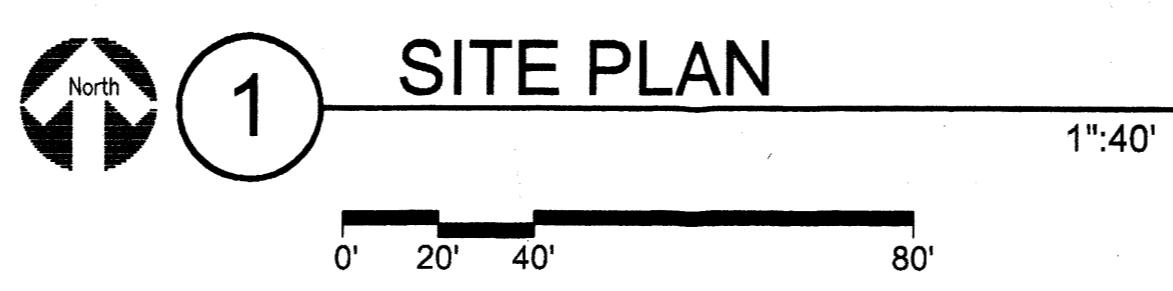
THEIR IS EXISTING PEDESTRIAN ACCESS FROM UNSER BOULEVARD AND VISTA ORIENTE STREET.

THE MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED A HEIGHT OF 27'. THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON.
THE MAXIMUM FLOOR AREA RATIO PHASE I : 0.188 (F.A.R.) AND PHASE II : 0.26 (F.A.R.)



PHASE	BUILDING	TOTAL SF	USE/ AREA	FACTOR	PARKING REQUIRED	PARKING PROVIDED	INCLUDES H.C. PARKING (REQUIRED & PROVIDED)	INCLUDES MC. PARKING (REQUIRED & PROVIDED)	BICYCLE PARKING (REQUIRED & PROVIDED)
PHASE I SITE PLAN FOR BUILDING PERMIT	BLDG 1a 1b	15,120 SF	RETAIL 19,344 SF	1/200 SF	97 SPACES	121	8	8	8
	BLDG 4	4,224 SF							
	BLDG 6	2,400 SF	RESTAURANT 2,400 (96 SEATS)	1 PER 4 SEATS	24 SPACES				
PHASE II ILLUSTRATIVE SITE PLAN	BLDG 2	18,200 SF							
	BLDG 3	28,000 SF	RETAIL 50,400 SF	1/200 SF	252 SPACES	287 SPACES	8	8	14
	BLDG 5	4,200 SF							
TOTAL					373 SPACES	420 SPACES	16	16	22

*PROVIDED PARKING NUMBERS INCLUDE HANDICAPPED AND MOTORCYCLE PARKING.



REV	DATE	BY	REVISION
1	10/29/07	NAH	CITY COMMENTS
2	12/12/07	NAH	CITY COMMENTS
3	10/29/07	MSW	CITY COMMENTS
4	9/28/07	NAH	CITY COMMENTS
5	9/21/07	NAH	CITY COMMENTS
6	9/12/07	NAH	CITY COMMENTS

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
UNSER & VISTA ORIENTE
NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET
Albuquerque, NM

JOB NO. 0048 B
DRAWN BY: NAH
PROJECT MANAGER: George Rainhart, AIA
SHEET TITLE
SITE PLAN FOR SUBDIVISION

DATE: 10/29/07
SCALE: 1"=40'
sheet: AS.1
of:

EXISTING LADERA CHANNEL
AMAFCA EASEMENT B

LOT 1-A

NOTE:

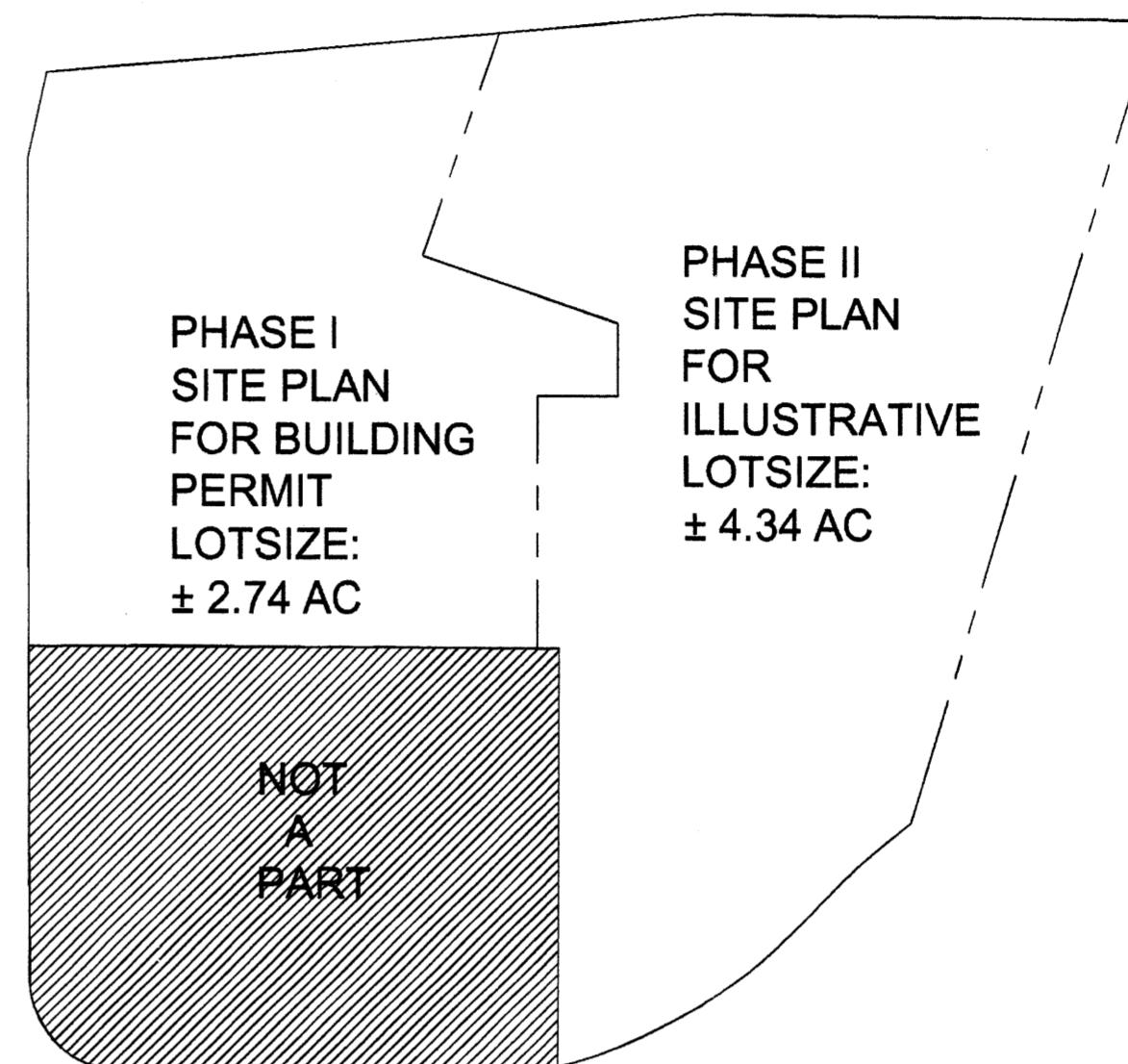
- SEE GRADING AND DRAINAGE PLAN (C14-C2) FOR FIRE HYDRANT LOCATIONS, DISTRIBUTION LINES, RIGHT-OF-WAY AND EASEMENTS, EXISTING AND PROPOSED WATER, SEWER, STORM DRAINAGE FACILITIES.
- OFFICE USES WILL ON THE 2ND FLOOR (BLDG 2, BLDG 3)
- CONTRACTOR SHALL PROVED SINGLE TO IDENTIFY DUMPSTER ENCLOSURE AND RECYCLE ARE FOR BLDG 1a, 1b AND 2.

KEYED NOTES

- PROPERTY LINE
- MONUMENT SIGN
- BICYCLE RACK LOCATION - 3 BIKES
- DUMPSTER ENCLOSURE
- DUMPSTER ENCLOSURE FOR BLDG 1a
- DUMPSTER ENCLOSURE FOR BLDG 1b
- DUMPSTER ENCLOSURE FOR BLDG 2
- CROSSWALK, TEXTURED, WITH BRICK OR TILE WALKS
- PROPOSED FUTURE RECYCLE AREA FOR BLDG 1a & 1b
- SITE LIGHTING
- 8'-0" X 1'-6" BENCH, LOCATION NOT TO BE WITH DOORS OR STREET TREES.
- LANDSCAPE AREA
- SCREEN WALL - MAX. HEIGHT 3', DARK RED BRICK
- TRASH RECEPTACLES
- TRANSFORMER LOCATION
- EXISTING FIRE HYDRANT
- SITE WALK
- BICYCLE RACK LOCATION - 2 BIKES
- EXISTING LOT LINE TO BE ELIMINATED
- EXISTING LOT LINE PER EXISTING PLAT
- EXISTING MEDIANS
- EXISTING TRAFFIC SIGN
- EXISTING BUS STOP
- EXISTING SIDEWALK
- NEW PROPERTY LINE
- NEW FIRE HYDRANT
- HANDICAP RAMP - SEE DETAIL A1AS.3, S1M.

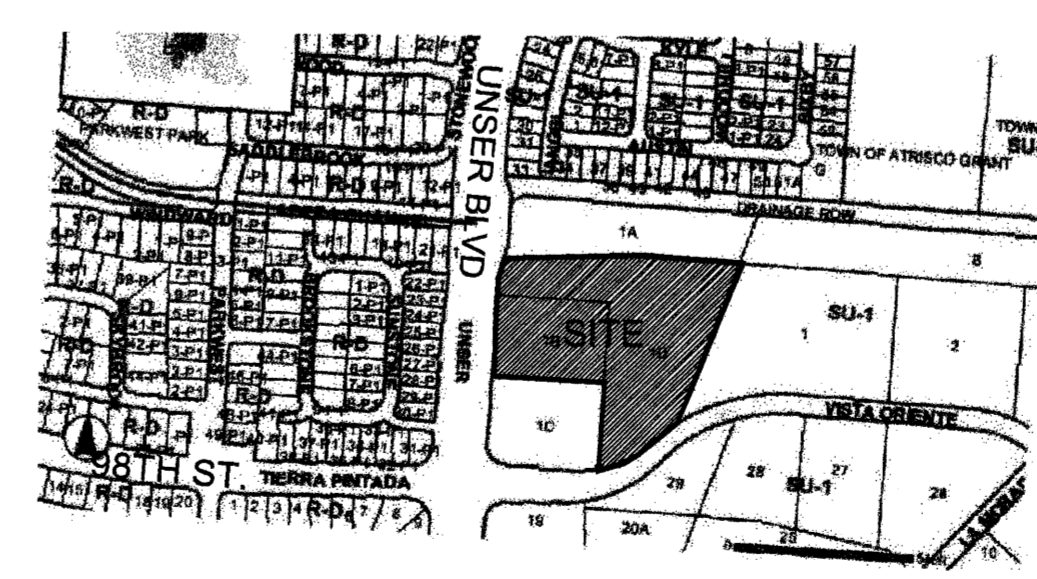
RADIUS INFORMATION:

- RADIUS = 1'-0"
- RADIUS = 2'-0"
- RADIUS = 3'-0"
- RADIUS = 4'-6"
- RADIUS = 5'-0"
- RADIUS = 6'-0"
- RADIUS = 9'-0"
- RADIUS = 15'-0"
- RADIUS = 20'-0"
- RADIUS = 25'-0"
- RADIUS = 30'-0"
- RADIUS = 40'-0"
- RADIUS = 50'-0"
- RADIUS = 60'-0"
- RADIUS = 100'-0"

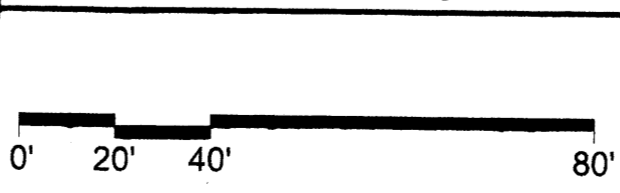


PHASE	BUILDING	TOTAL SF	USE/ AREA	FACTOR	PARKING REQUIRED	PARKING PROVIDED	INCLUDES H.C. PARKING (REQUIRED & PROVIDED)	INCLUDES MC. PARKING (REQUIRED & PROVIDED)	BICYCLE PARKING (REQUIRED & PROVIDED)
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	BLDG 4	4,224 SF							
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TOTAL					373 SPACES	420 SPACES	16	16	22

*PROVIDED PARKING NUMBERS INCLUDE HANDICAPPED AND MOTORCYCLE PARKING.



1 SITE PLAN



CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 1/25/08

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) YES () NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

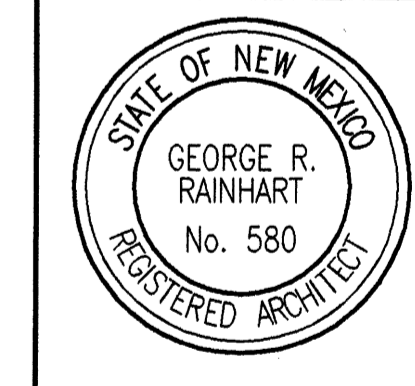
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	_____	Date
Water Utility Department	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department *(conditional)	_____	Date
Michael Holton Solid Waste Management	_____	1/25/08 Date
DRB Chairperson, Planning Department	_____	Date

* Environmental Health, if necessary

REV	DATE	BY	REVISION
1	01/04/08	NAH	CITY COMMENTS
2	12/12/07	NAH	CITY COMMENTS
3	10/25/07	MSW	CITY COMMENTS
4	9/28/07	NAH	CITY COMMENTS
5	9/21/07	NAH	CITY COMMENTS
6	9/12/07	NAH	CITY COMMENTS

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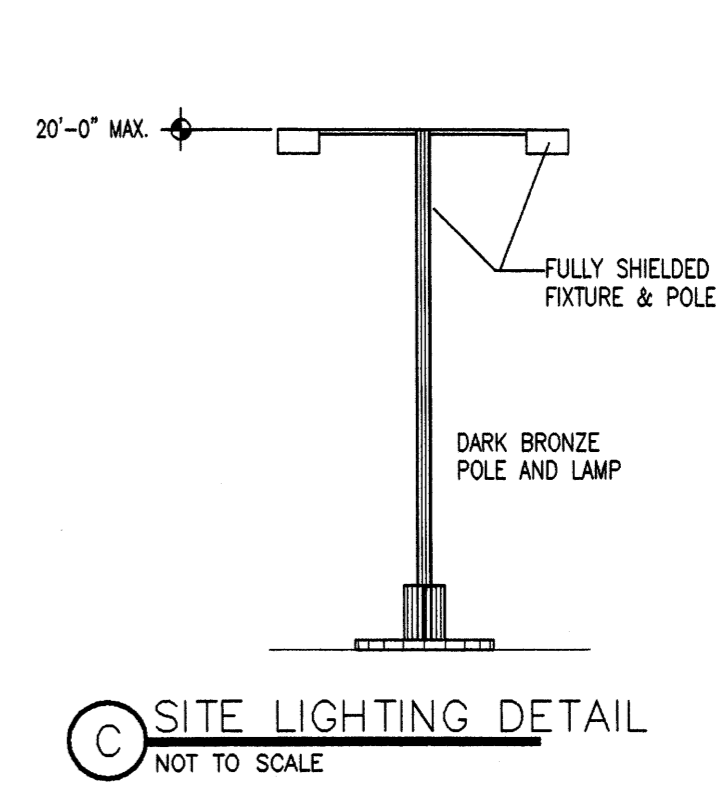
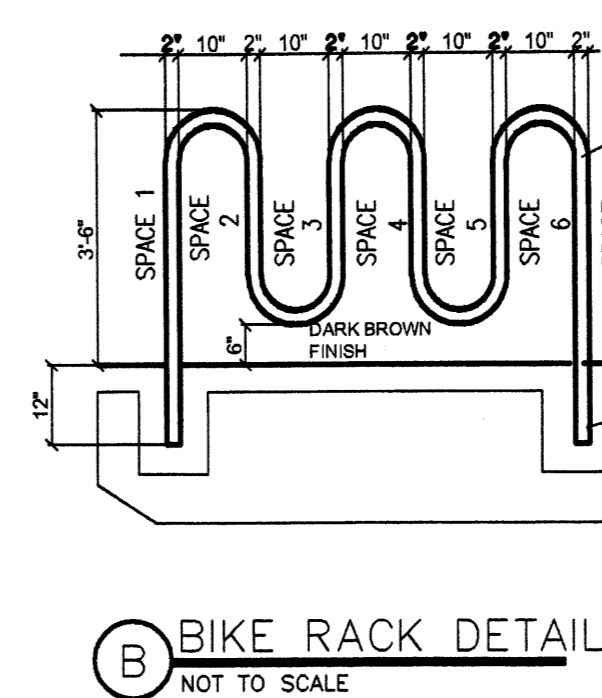
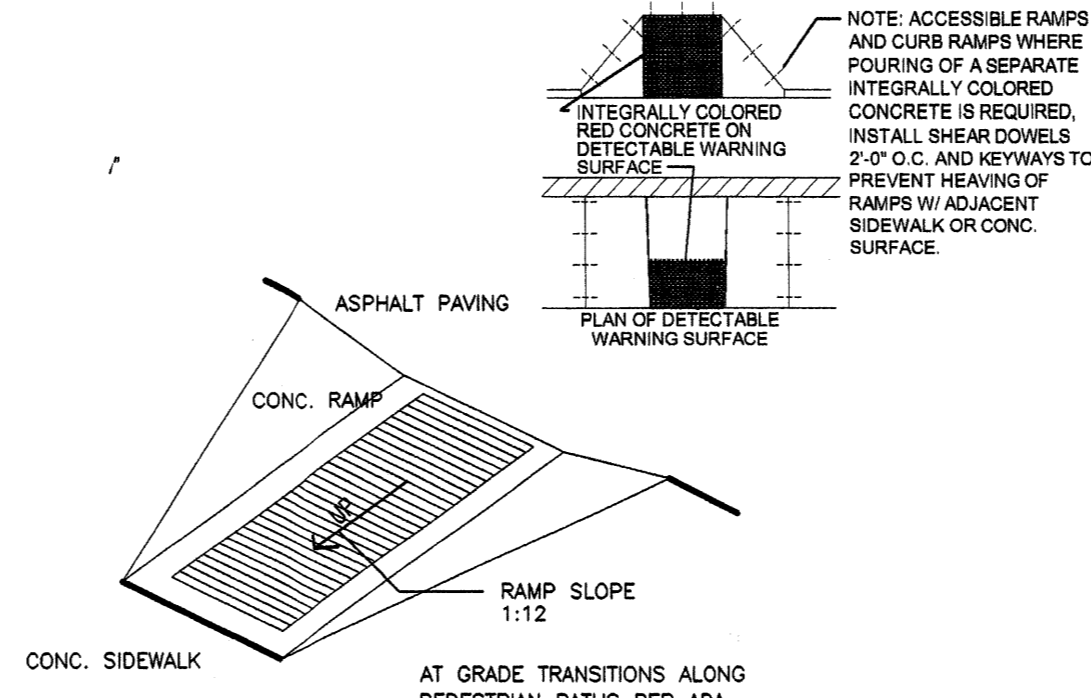
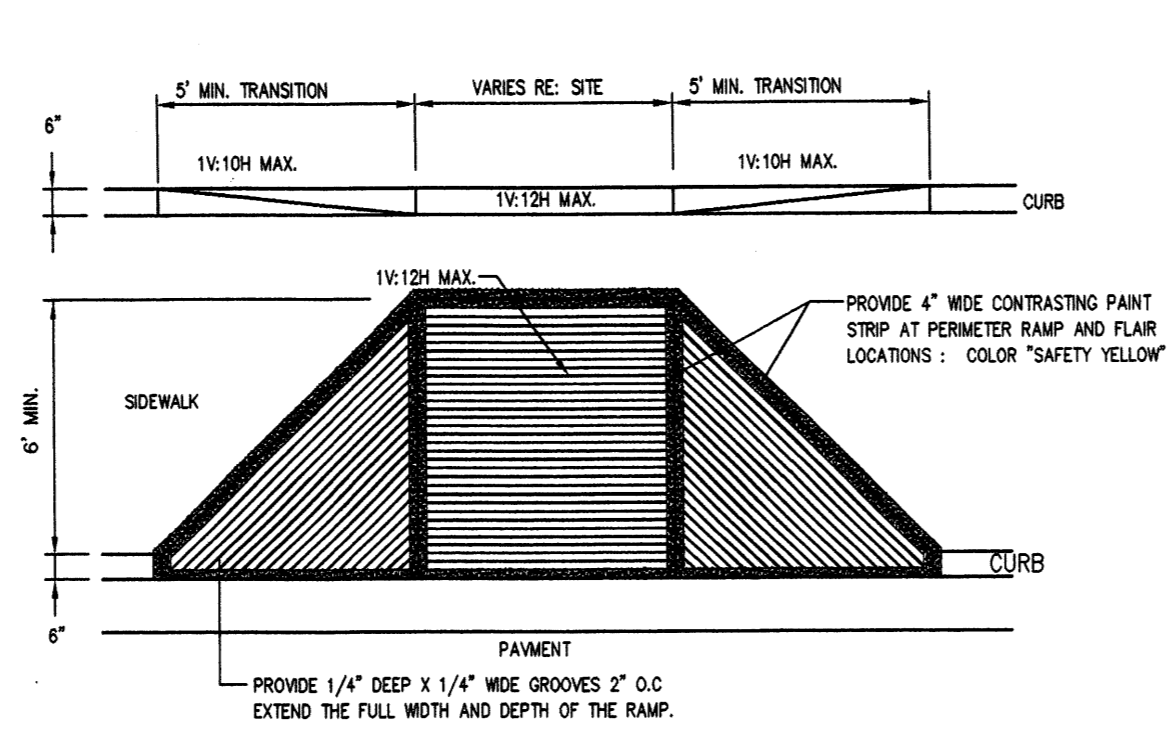
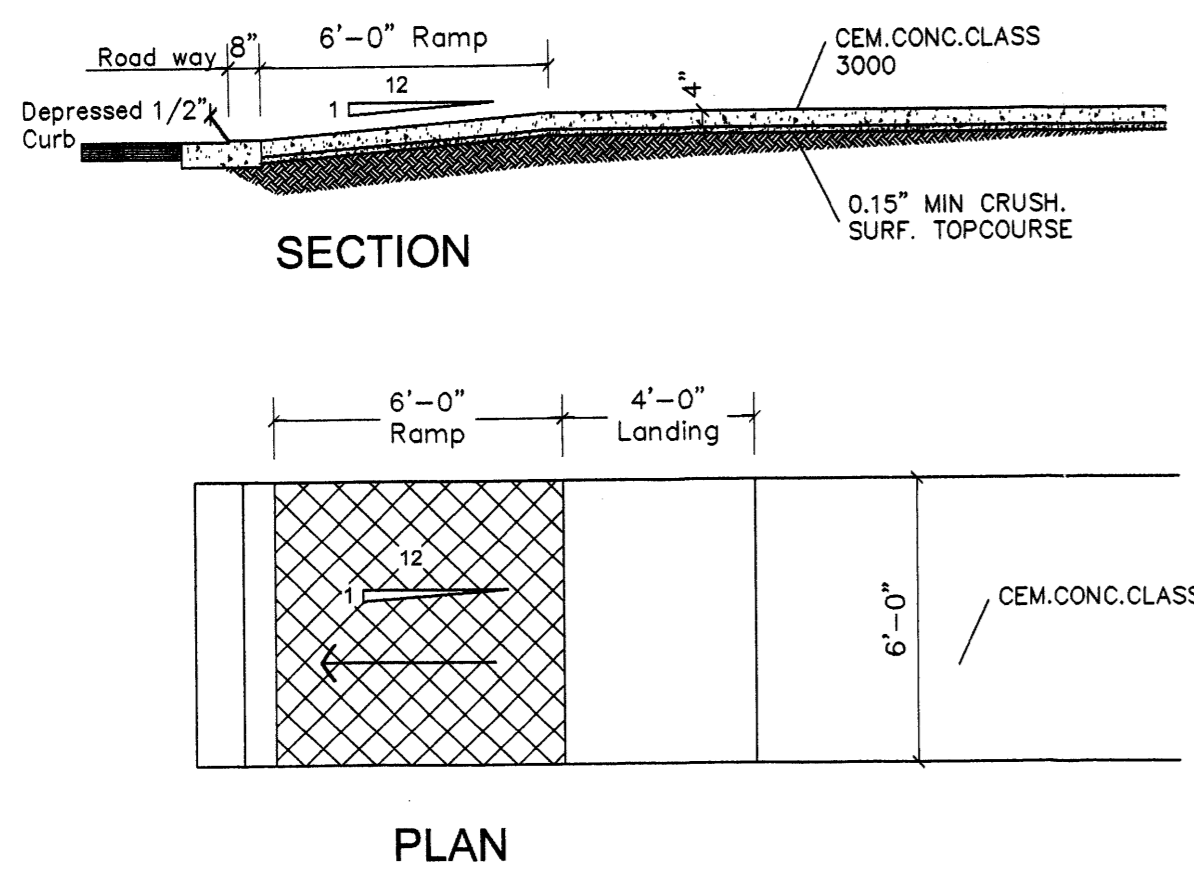


PROJECT TITLE: UNSER & VISTA ORIENTE
NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET
ALBUQUERQUE, NM

DRAWN BY: NAH
JOB NO.: 0348 B

PROJECT MANAGER: George Rainhart, AIA
SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

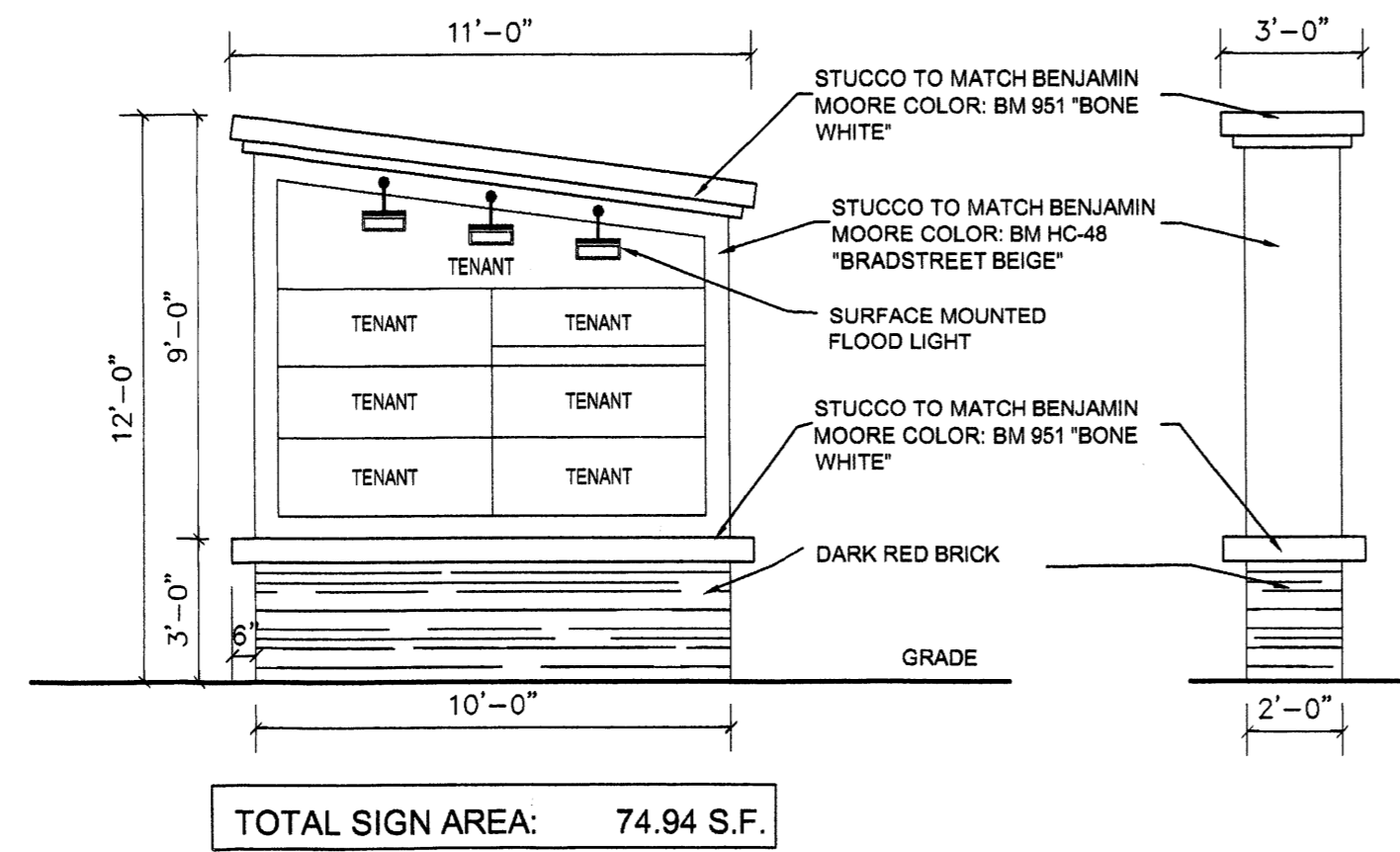
DATE: 10/25/07 sheet-
SCALE: 1"=40' AS.2
of.



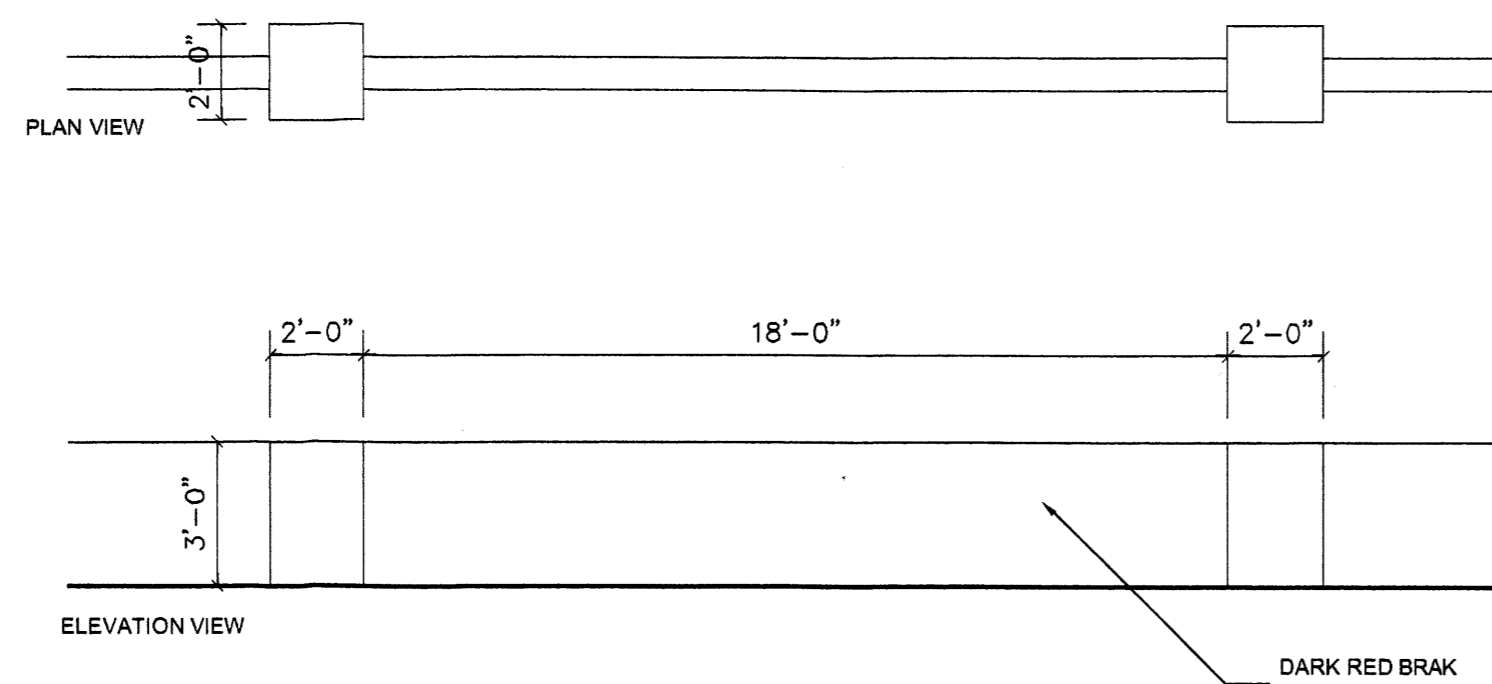
A HANDICAP RAMP DETAIL
NOT TO SCALE

B BIKE RACK DETAIL
NOT TO SCALE

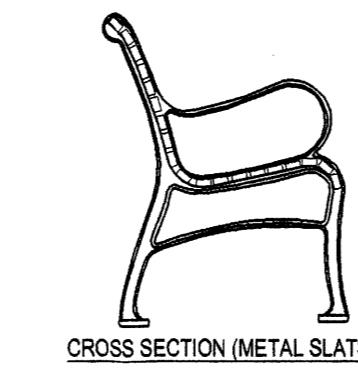
C SITE LIGHTING DETAIL
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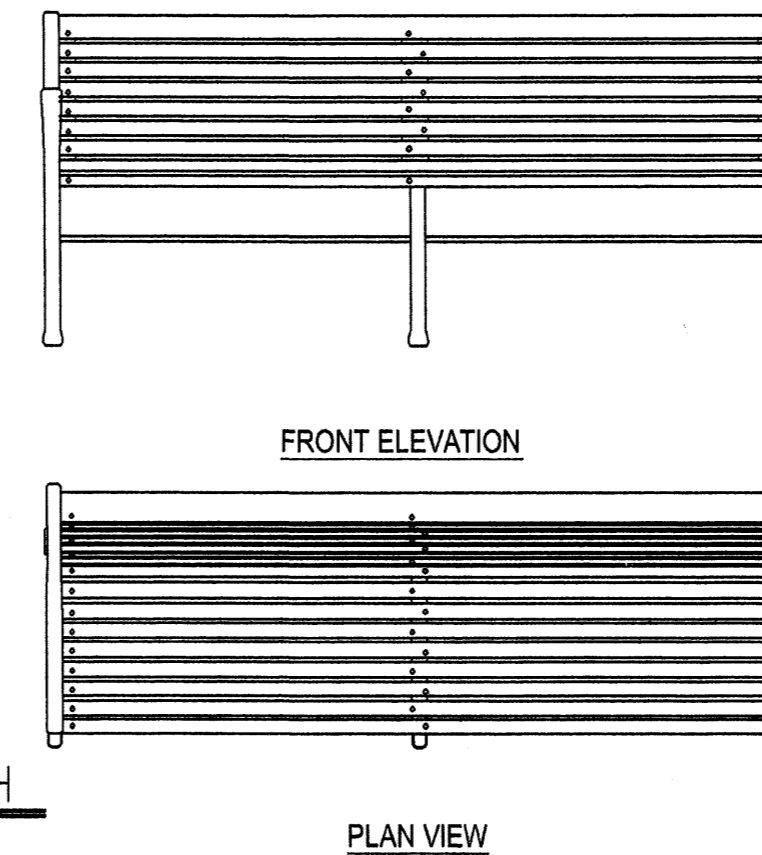
1 MONUMENT SIGN
Scale: 1/4"=1'-0"
UNSER BOULEVARD & VISTA ORIENTE STREET



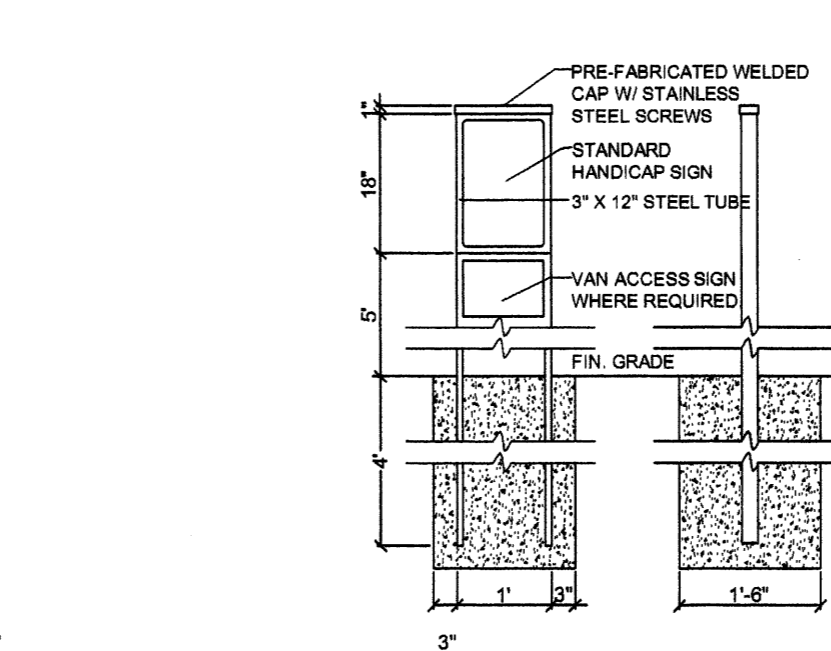
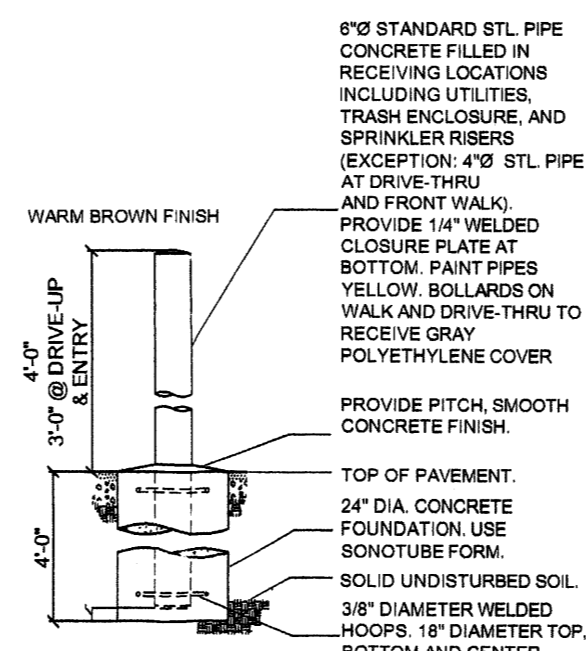
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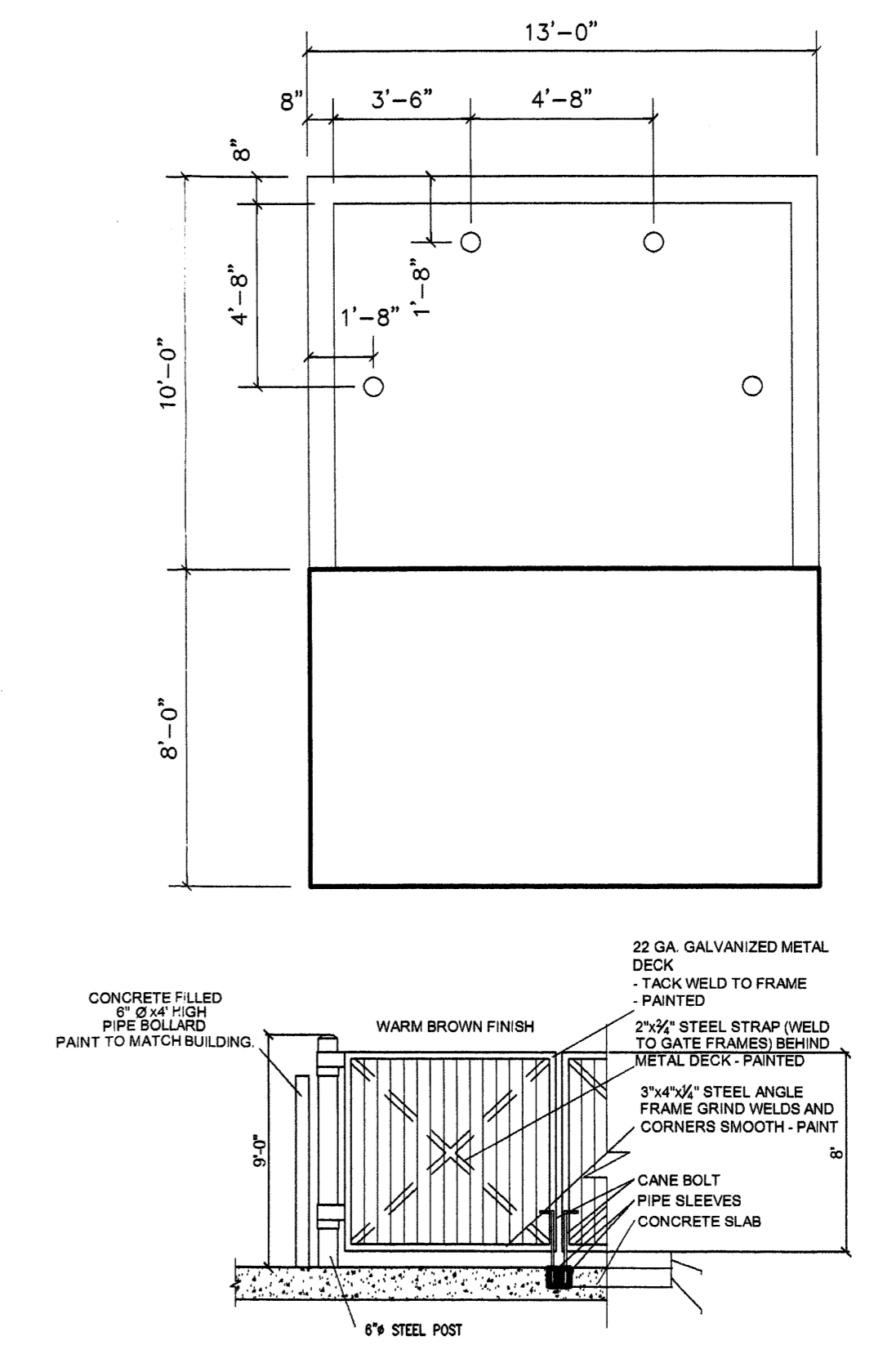
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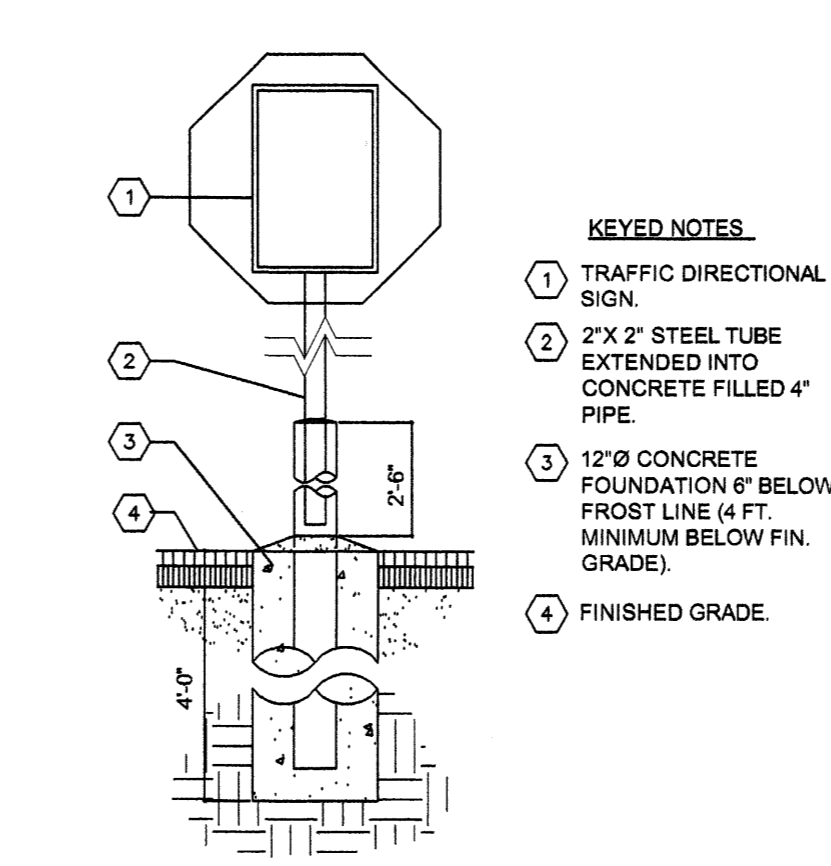
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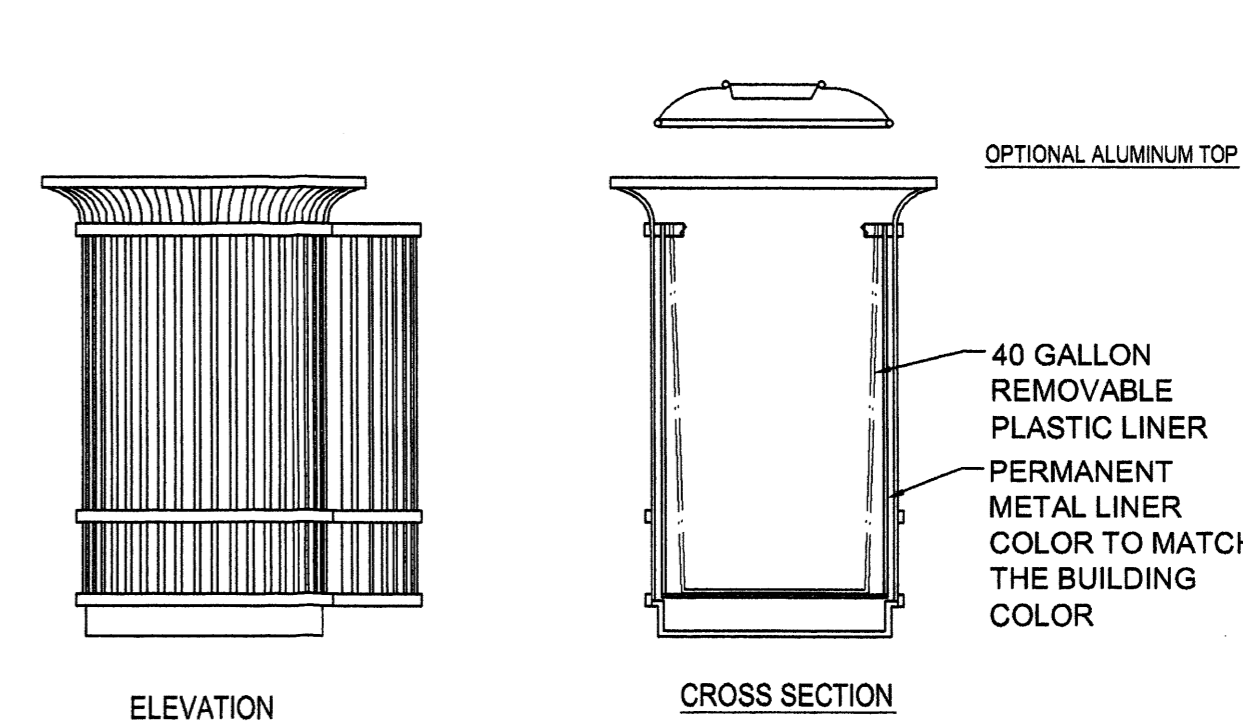
F HC PARKING SIGN & POST
NOT TO SCALE



G COMPACTOR ENCLOSURE GATE
NOT TO SCALE

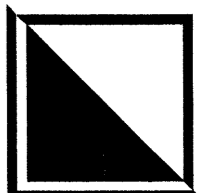


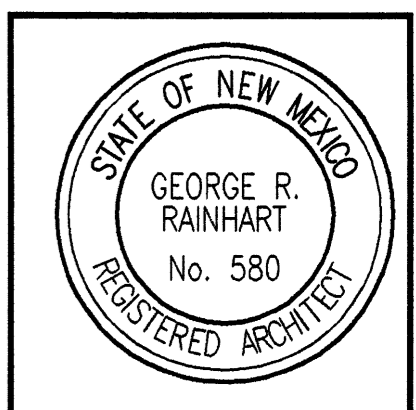
H TRAFFIC DIRECTIONAL SIGN
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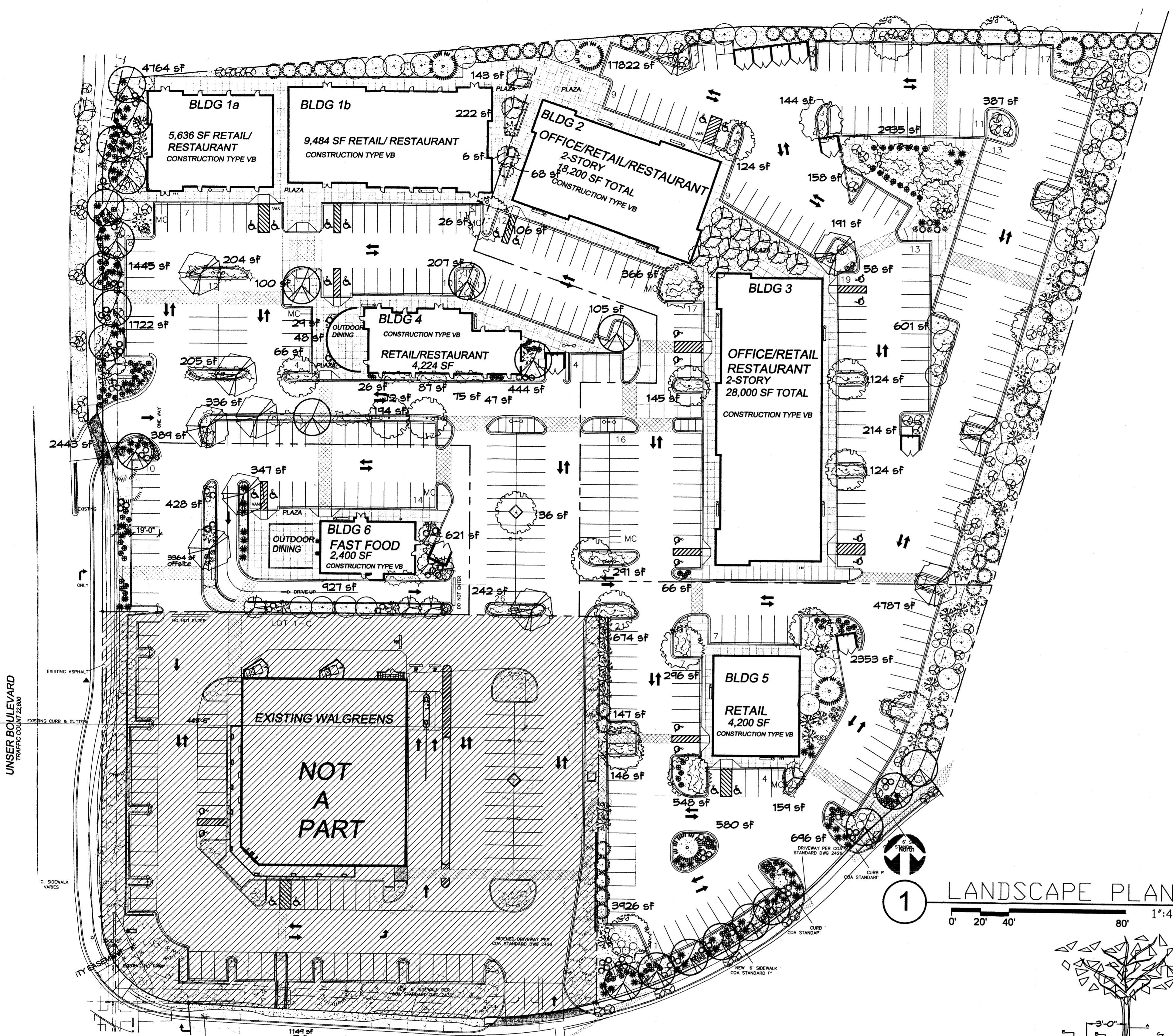
I TYPICAL TRASHCAN ENCLOSURE
NOT TO SCALE

REV	DATE	BY	REVISION
A			
B			
C			
D			
E			
F			
G			
H			
I			


GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
 UNSER & VISTA ORIENTE
 NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET
 Albuquerque, NM
PROJECT MANAGER
 George Rainhart, AIA
JOB NO.
 00488
DRAWN BY:
 NAH
SHEET TITLE
 Site Plan Details



LANDSCAPE PLAN
1" = 40'

PLANT LEGEND	PHASE ONE		PHASE TWO	
	QTY	SYM	QTY	SYM
SHUMARD OAK (M) <i>Quercus shumardii</i> 2" Cal.	0		12	
CHITALPA (M) <i>Chilopsis x Catalpa</i> 2" Cal.	4		8	
COMMON HACKBERRY (M) <i>Celtis occidentalis</i> 2" Cal.	0		3	
SYCAMORE (M) <i>Platanus spp.</i> 2" Cal.	7		6	
CHINESE PISTACHE (M) <i>Pistachia chinensis</i> 2" Cal.	15		9	
PINON PINE (L) <i>Pinus edulis</i> 6' tall and 2" Cal.	1		4	
NEW MEXICO OLIVE (L) <i>Forestiera neomexicana</i> 15 Gal. 225sf	10		33	
PURPLE-LEAF PLUM (M) <i>Prunus spp.</i> 1 1/2" Cal.	10		12	
CURLLEAF MTN MAHOGANY (L+) <i>Cercocarpus ledifolius</i> 5 Gal. 36sf	9		45	
SPANISH BROOM (M) <i>Genista hispanica</i> 5 Gal. 100sf	6		25	
BUTTERFLY BUSH (M) <i>Buddleia davidii</i> 5 Gal. 100sf	2		12	
ROSE OF SHARON (M) <i>Hibiscus syriacus</i> 5 Gal. 100sf	4		7	
APACHE PLUME (L) <i>Fallugia paradoxa</i> 5 Gal. 25sf	0		33	
RED YUCCA (L) <i>Hesperaloe parviflora</i> 5 Gal. 4sf	42		39	
REGAL MIST (M) <i>Muhlenbergia capillaris</i> 5 Gal. 4sf	60		72	
TURPENTINE BUSH (L+) <i>Ericameria laricifolia</i> 1 Gal. 16sf	56		33	
POTENTILLA (M) <i>Potentilla fruticosa</i> 1 Gal. 4sf	17		6	
HONEYSUCKLE (M) <i>Lonicera japonica 'Halliana'</i> 1 Gal. 144sf Unstaked-Groundcover	25		59	
CHAMISA (L) <i>Chrysothamnus nauseosus</i> 1 Gal. 25sf	0		23	
THREADGRASS (M) <i>Stipa tenuissima</i> 1 Gal. 4sf	37		27	
GREYLEAF COTONEASTER (M) <i>Cotoneaster buxifolius</i> 5 Gal. 81sf Symbol indicates 2 plants	34		46	
3/4" GRAY GRAVEL WITH FILTER FABRIC				

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Crushed Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

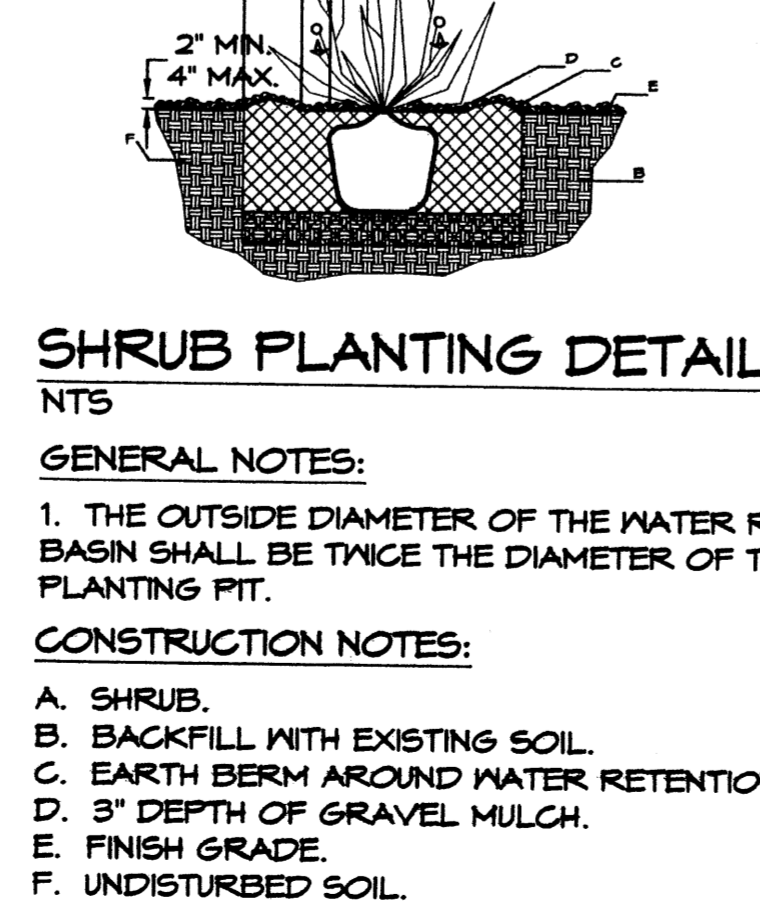
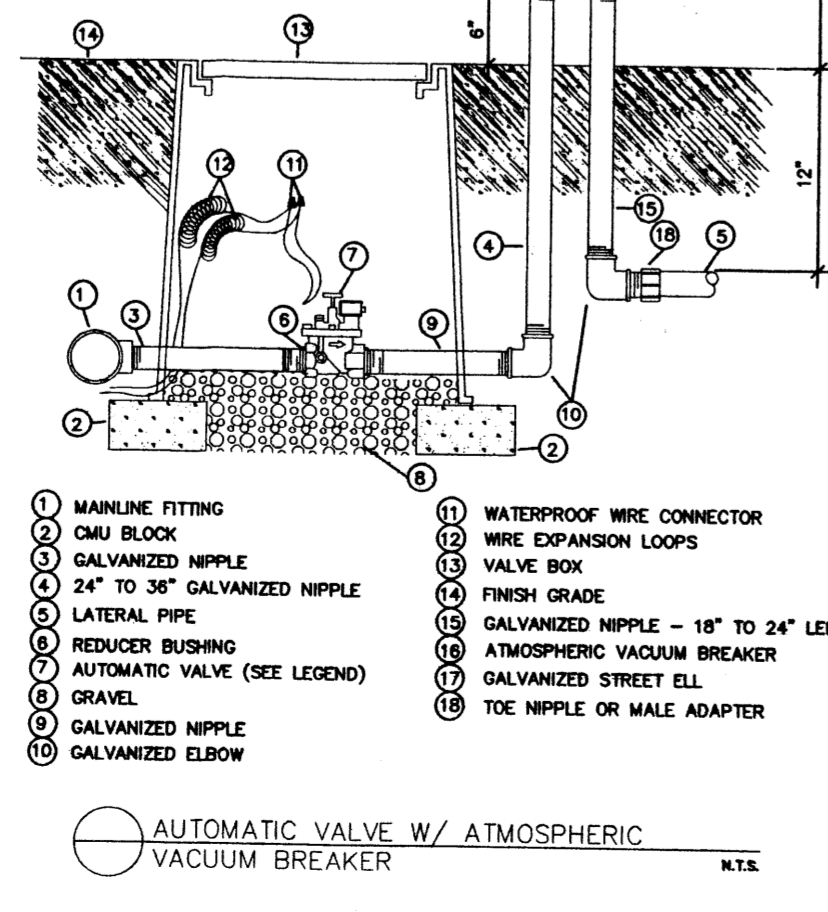
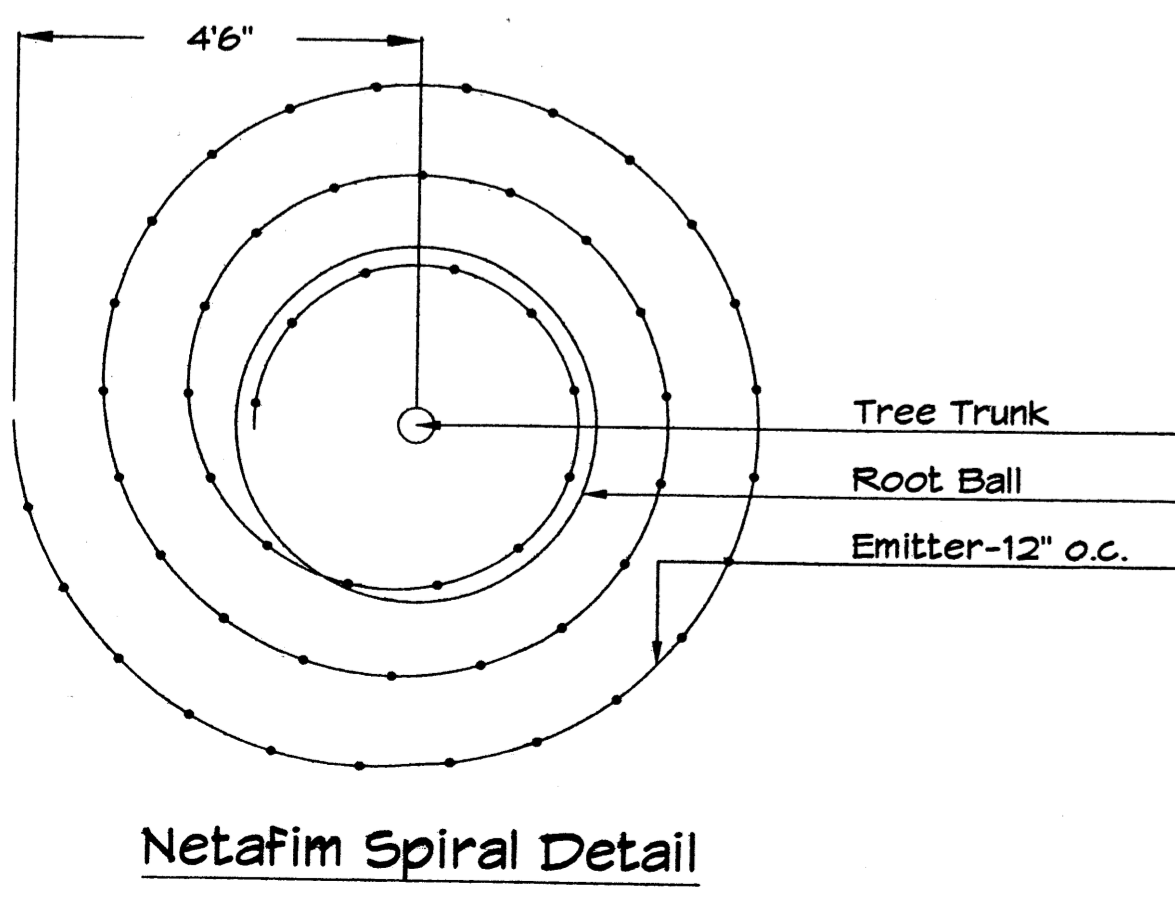
Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS
Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:
Name of Street: Unser Blvd.
Required # 8 Provided # 9

Name of Street: Vista Oriente
Required # 9 Provided # 9

PARKING LOT TREE REQUIREMENTS
Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:
1 Shade tree per 10 spaces
PH 1- Required # 15 Provided # 15
PH 2- Required # 27 Provided # 30

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



TREE PLANTING DETAIL
NTS

GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERM AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.

LANDSCAPE CALCULATIONS

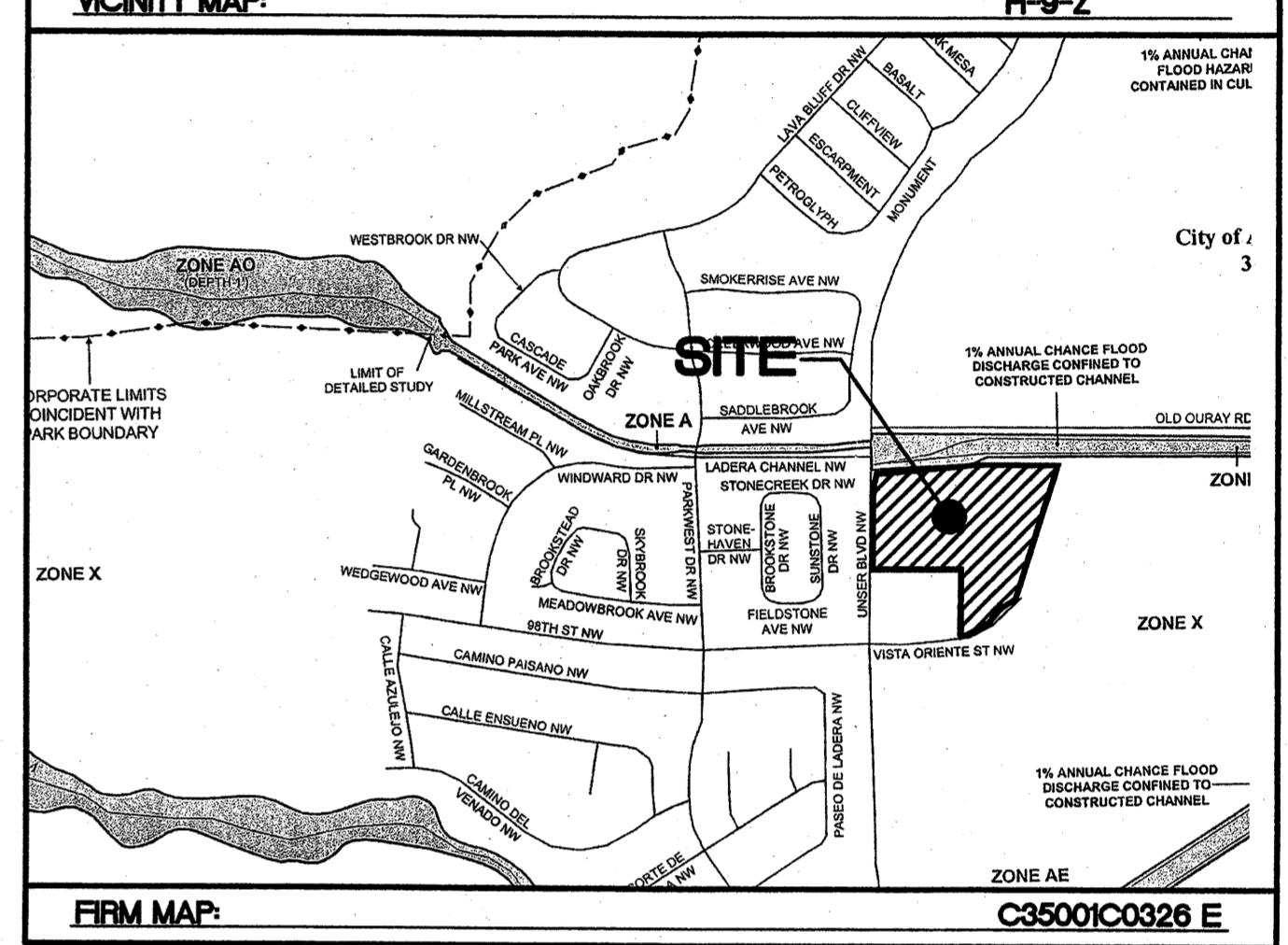
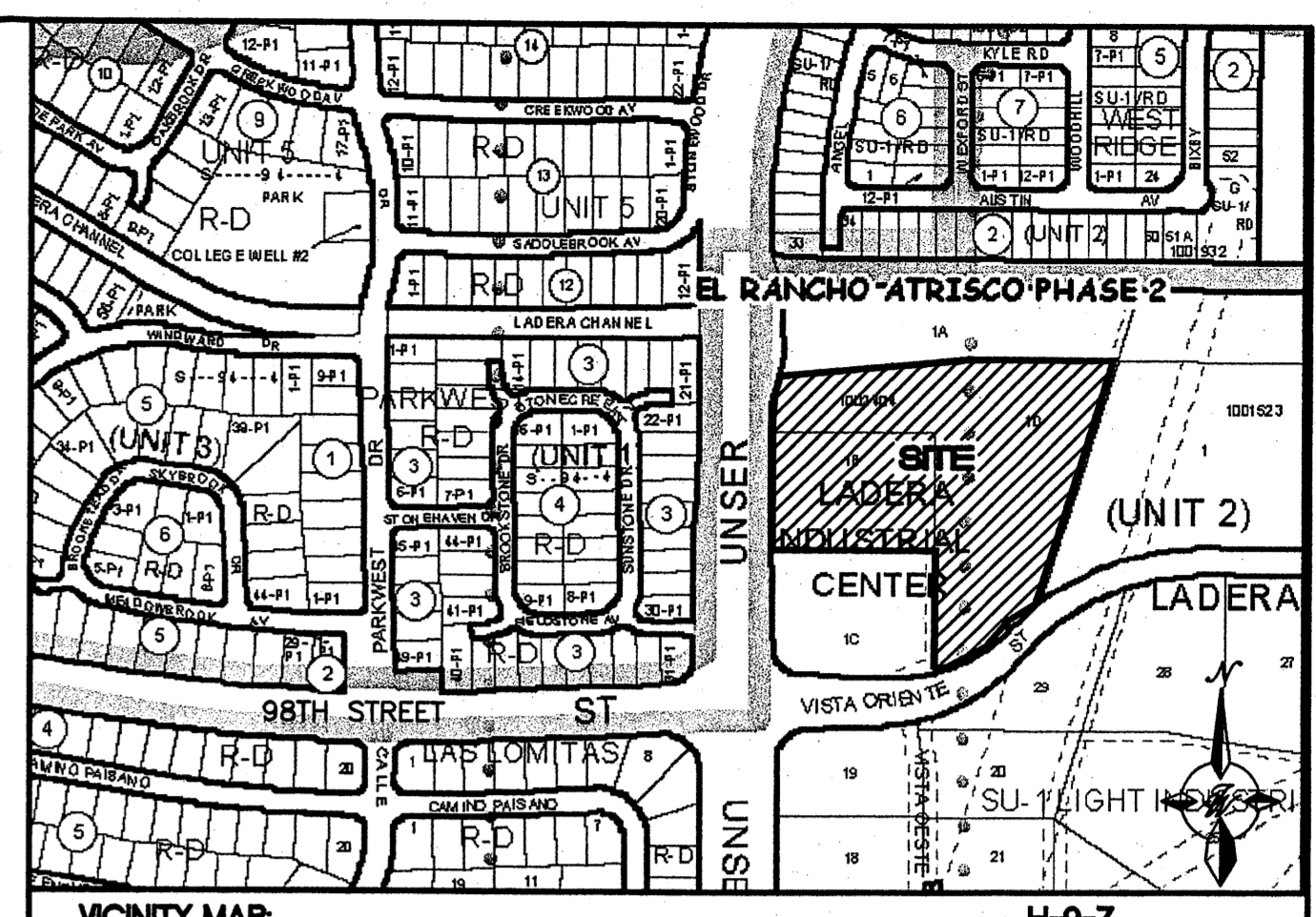
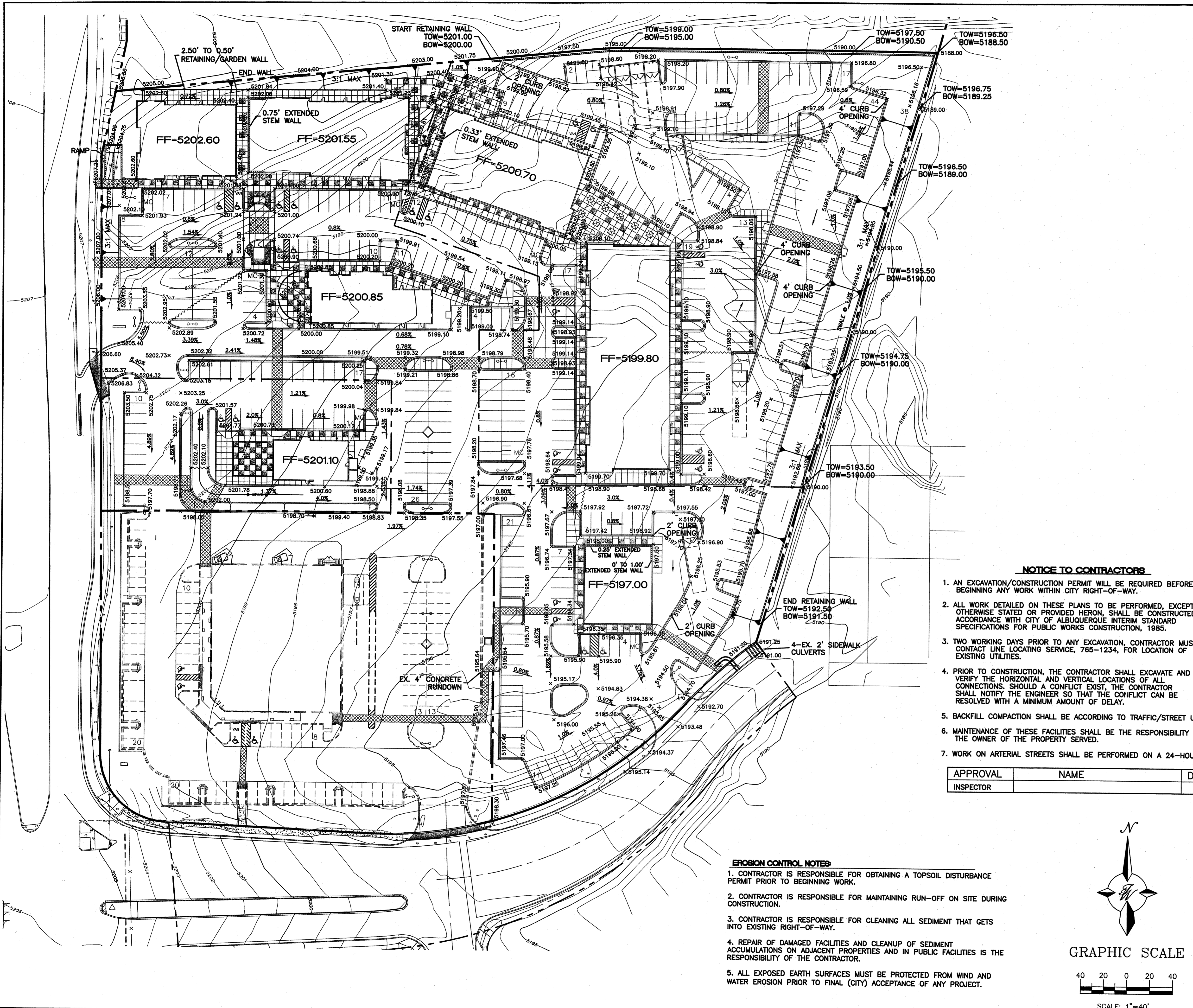
	PHASE ONE	PHASE TWO
TOTAL LOT AREA	115434	192970 square feet
TOTAL BUILDINGS AREA	21744	27300 square feet
NET LOT AREA	93690	165670 square feet
LANDSCAPE REQUIREMENT	15%	15%
TOTAL LANDSCAPE REQUIREMENT	14053	24850 square feet
TOTAL BED PROVIDED	16184	38236 square feet
GROUND COVER REQ.	75%	75% square feet
TOTAL GROUND COVER REQUIREMENT	12138	29677 square feet
TOTAL GROUND COVER PROVIDED	12243 (76%)	28756 (75%) square feet
TOTAL SOD AREA	0	0 square feet
TOTAL LANDSCAPE PROVIDED	16184 (17%)	38236 (23%) square feet

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

PROJECT TITLE UNSER & VISTA ORIENTE NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET ALBUQUERQUE, NM	JOB NO. 048 B	DRAWN BY RM	REVISION
PROJECT MANAGER George Rainhart, AIA	SHEET TITLE LANDSCAPING PLAN	DATE 10-30-07	BY mm
DATE 10-30-07	SCALE 1" = 40'	REVISION	DATE
REVISION	DATE	BY	REVISION
1	1-25-08	mm	Revised site plan
2	1-8-08	mm	Revised site plan and comments
3	12-28-07	RM	revised site plan
4	10-30-07	cmj	revised site plan
5	9/21/07	cmj	revised site plan
6	10-30-07	cmj	REVISED SITE PLAN

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

1-25-08

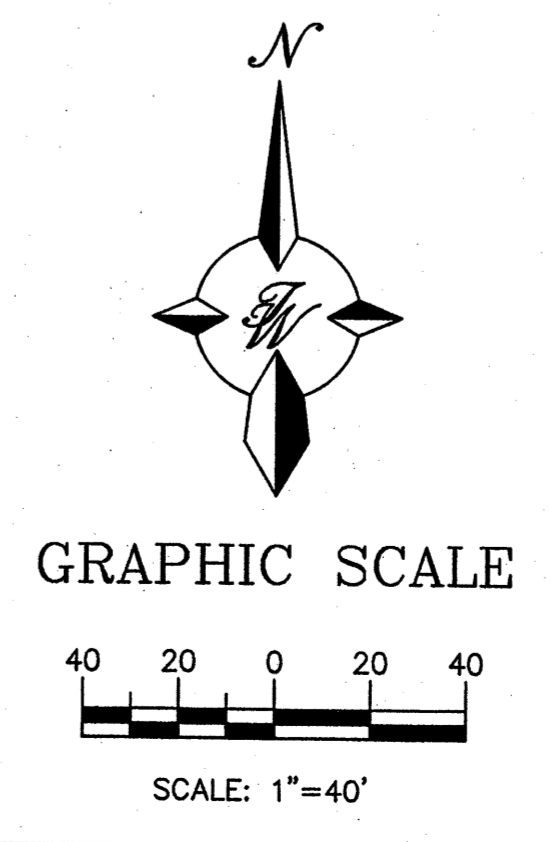


- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- LEGEND**
- EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SCREEN WALL
 - PROPOSED RETAINING WALL
 - EXISTING SIDEWALK
 - 5011 EXISTING CONTOUR
 - 5010 EXISTING INDEX CONTOUR
 - x 5048.25 EXISTING SPOT ELEVATION
 - x 5048.25 PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - BOUNDARY LINE

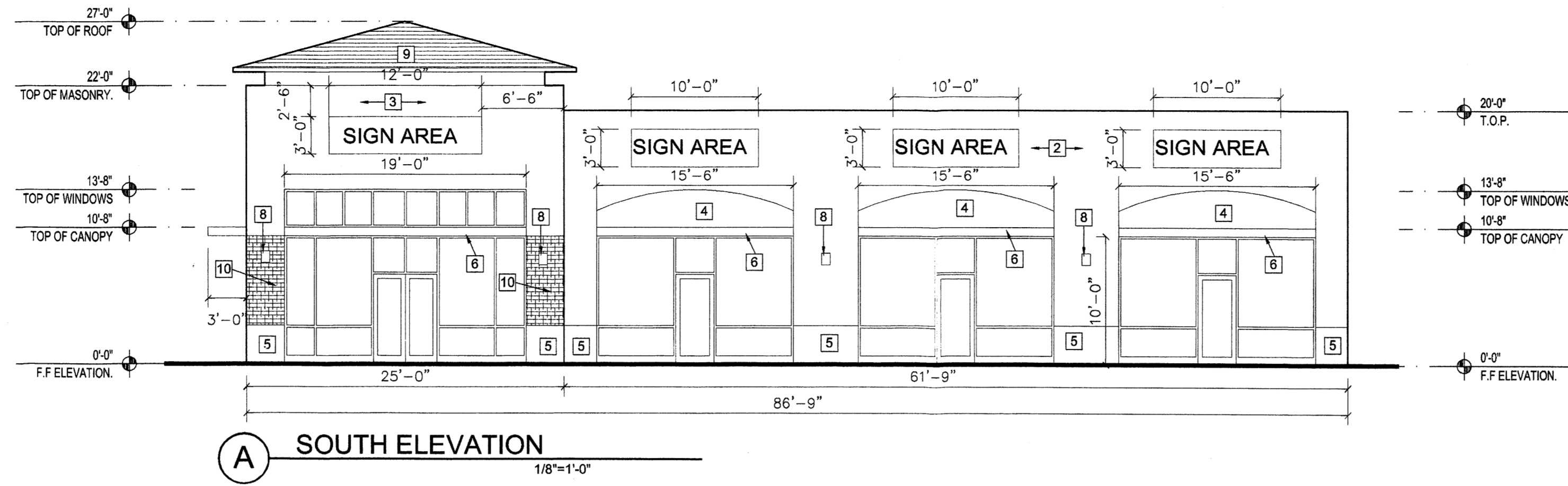
APPROVAL	NAME	DATE
INSPECTOR		

- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

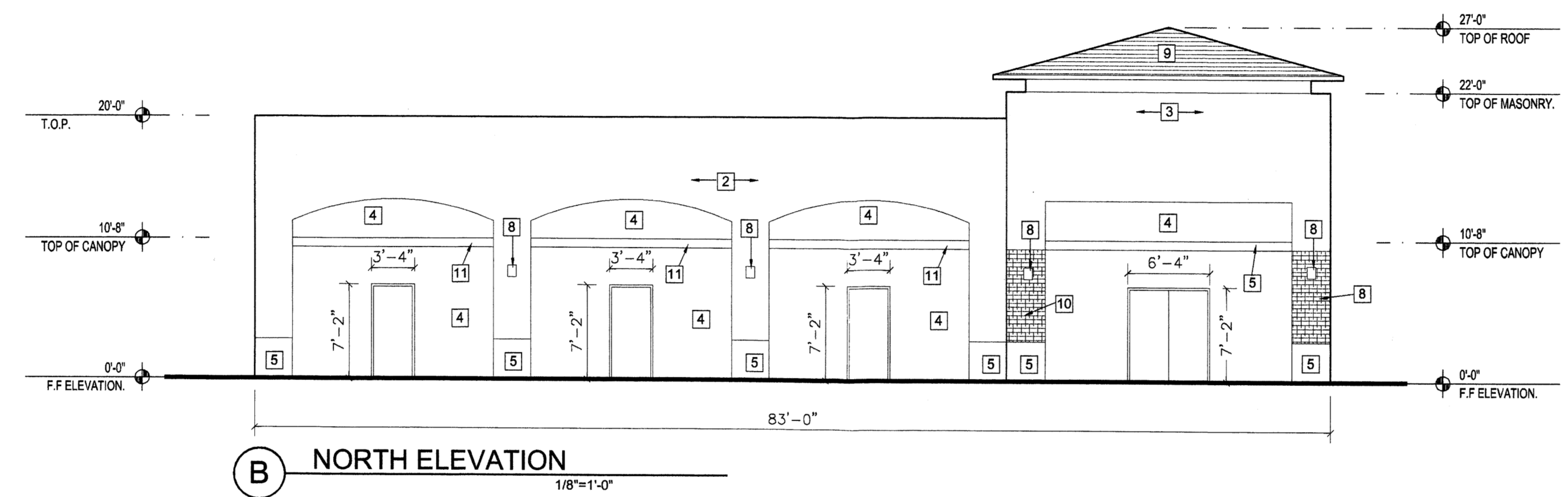


ROUGH GRADING APPROVAL _____ DATE _____

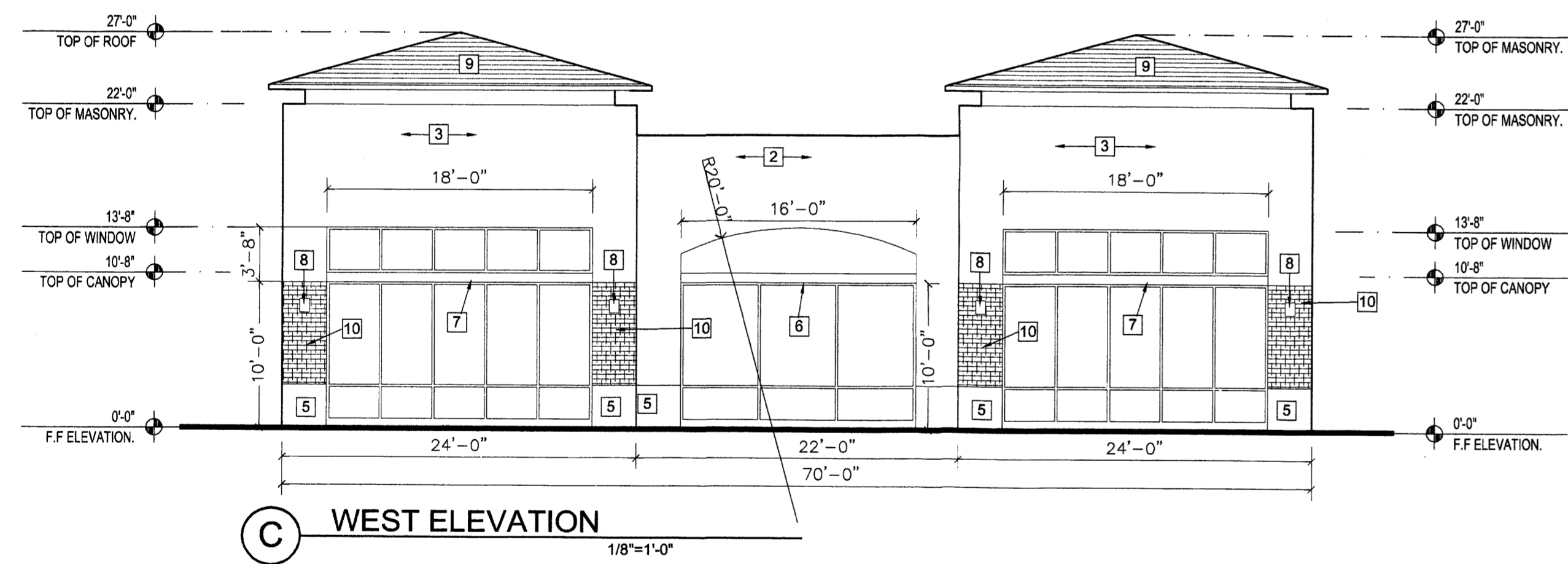
	UNSER AND VISTA ORIENTE GRADING AND DRAINAGE PLAN	DRAWN BY DY
		DATE 01-14-08
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100	2779-GRB
		SHEET # C1
RONALD R. BOHANNAN P.E. #7868		JOB # 27079



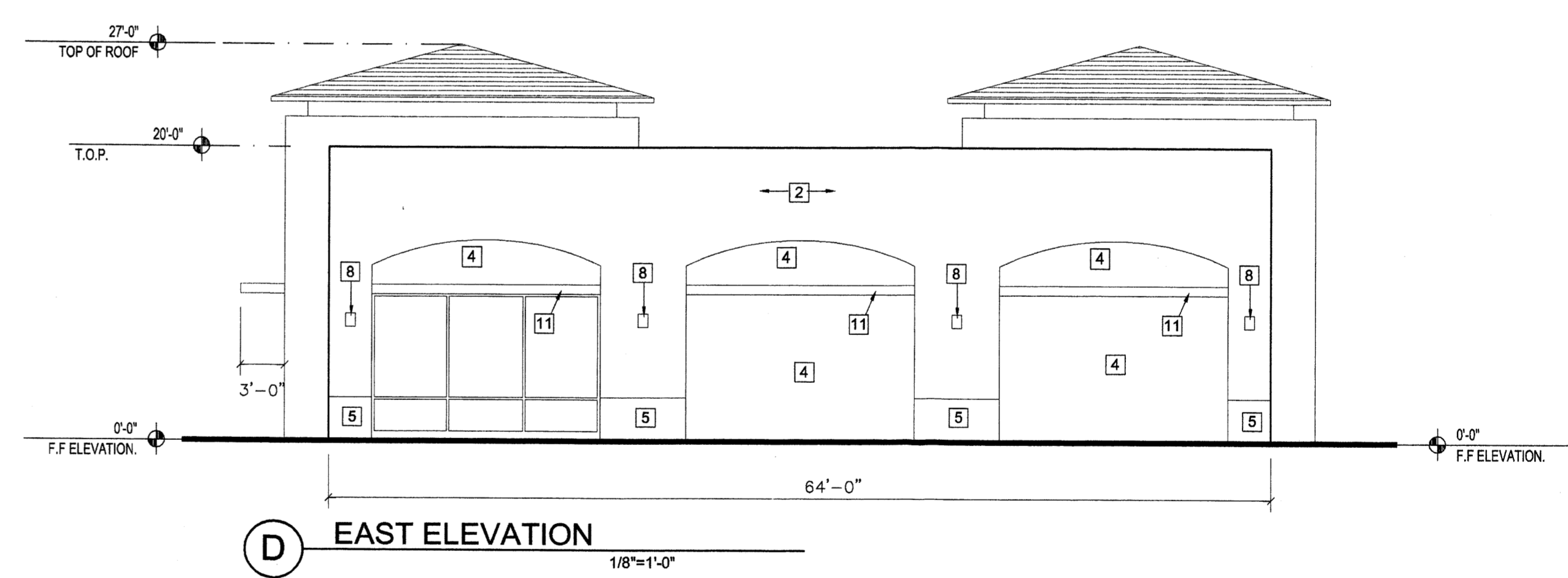
A SOUTH ELEVATION
1/8"=1'-0"



B NORTH ELEVATION
1/8"=1'-0"



C WEST ELEVATION
1/8"=1'-0"

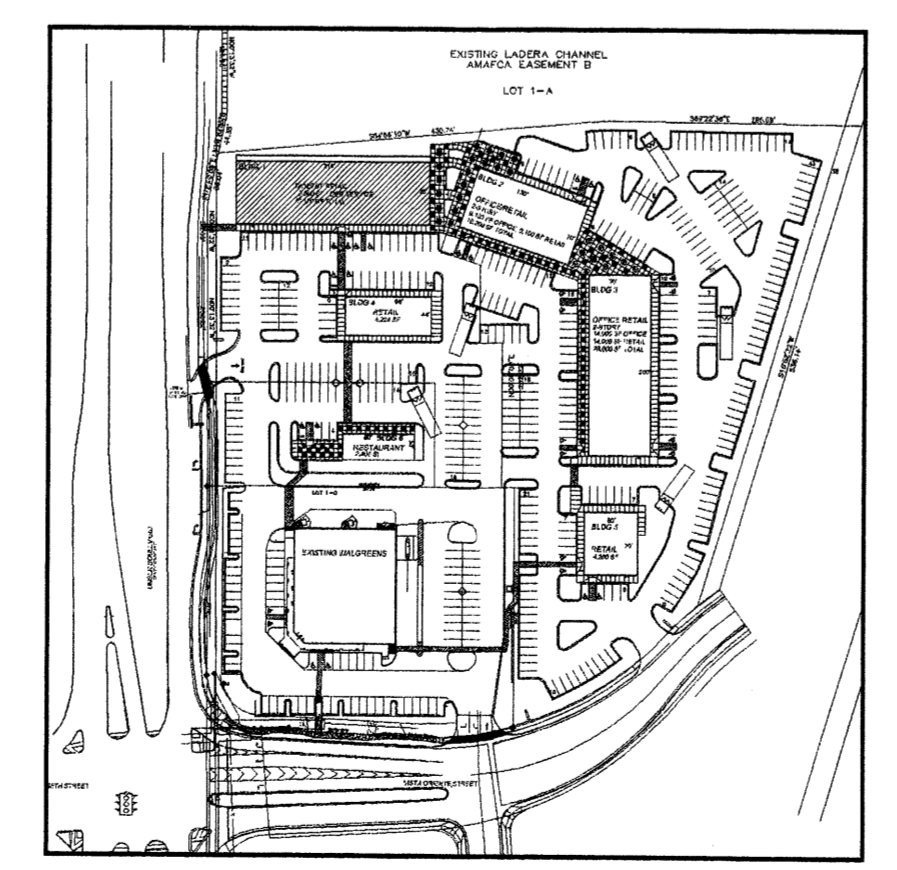


D EAST ELEVATION
1/8"=1'-0"

Material Schedule	Keyed Color	Common Name
1 STUCCO	MODERATE WHITE SW 6140	LIGHT CREAM
2 STUCCO	INTERACTIVE CREAM SW 6113	CREAM
3 STUCCO	SENSATIONAL SAND SW 6094	BROWN
4 STUCCO	ICY SW 6534	LIGHT GRAY
5 STUCCO	EXTRA WHITE SW 7006	WHITE
6 TUBE STEEL CANOPY	DARK BRONZE	DARK BRONZE
7 TUBE STEEL CANOPY	EXTRA WHITE SW 7006	WHITE
8 LIGHT FIXTURE	BLACK	BLACK
9 ROOF	WESRILE, SIERRA MISSION-SLURRY "HARVEST BLEND"(011133)	LIGHT BROWN
10 BRICK	DARK RED	DARK RED
11 STUCCO	BLACK SWAN SW 6279	BLACK

NOTES:

- SIGNS TO NOT EXCEED 8% OF THE FACADE
- SIGNS TO CONSIST OF INDIVIDUAL ALUMINUM PAN CHANNEL LETTERS, INTERNALLY ILLUMINATED, NO SIGN TO FACE RESIDENTIAL AREAS.
- GLAZING WILL NOT BE MIRRORRED OR OPAQUE.



E KEY PLAN
NTS

NOTES:

ALL BUILDING MOUNTED SIGNAGE WILL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 8 PERCENT OF THE WALL AREA OF EACH BUILDING ELEVATION OR TEN PERCENT OF THE WALL AREA OF MULTI-TENANT SHOPS BUILDINGS.

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TYPE 1: OPAQUE LETTERING INDEPENDENTLY ILLUMINATED BY GOOSE NECK TYPE LIGHTING.

TYPE 2: CHANNEL LETTERS WITH TRIMCAPS OF DARK BROWN OR BLACK COLOR INTERNALLY ILLUMINATED WITH LETTER SIDES TO MATCH LETTER FACE COLOR. FACE COLORS TO BE TO THE DISCRETION OF THE TENANT.

TYPE 3: SAME AS TYPE 2 EXCEPT HALO LIT.

TYPE 4: HALO LIT LETTERS CUT OUT OF SOLID METAL BACKGROUND SPACED OFF THE FACE OF THE BUILDING.

(OTHER THAN WITH RESPECT TO DEMINIMUS PORTIONS OF SIGN, SUCH AS FOR LOGOS, ETC.) CAN TYPE SIGNS ARE PROHIBITED. ANY SPECIAL LOGOS ASSOCIATED WITH SPECIFIC TENANT ARE TO BE PROVIDED IN A NON-ILLUMINATED SPECIFICATION FOR SPECIFIC APPROVAL.

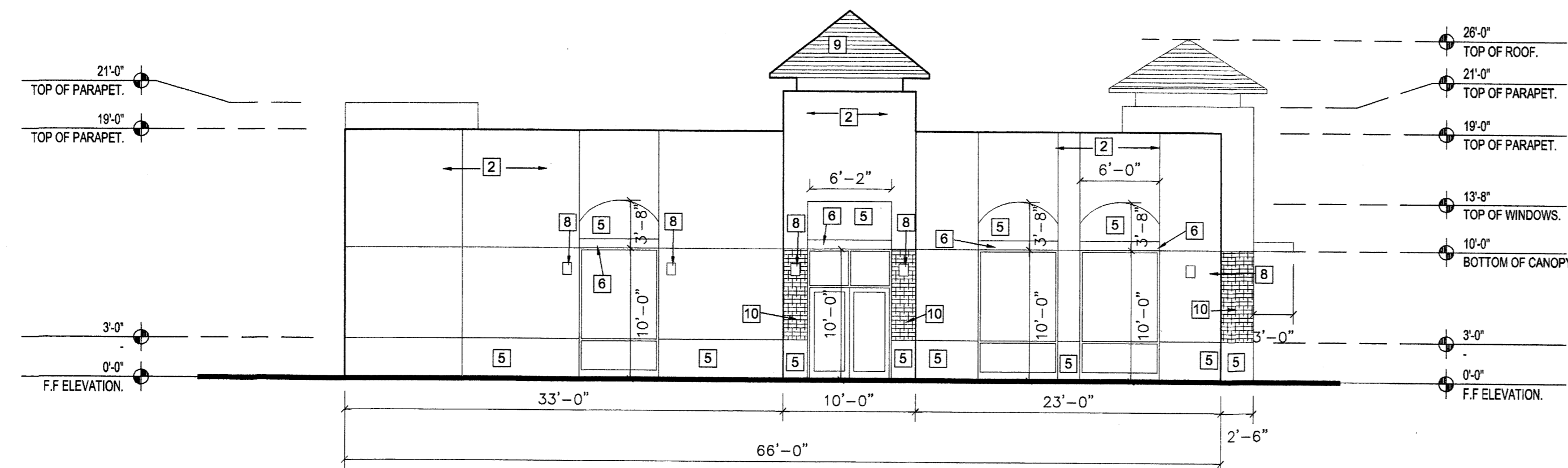
VARIETY OF COLOR (SIGN COLORS ARE BY TENANT)

	REVISION				
REV	DATE	BY	NAH	12/12/07	CITY COMMENTS
6			NAH	9/12/07	
5			NAH		
4			NAH		
3			NAH		
2			NAH		
1			NAH		

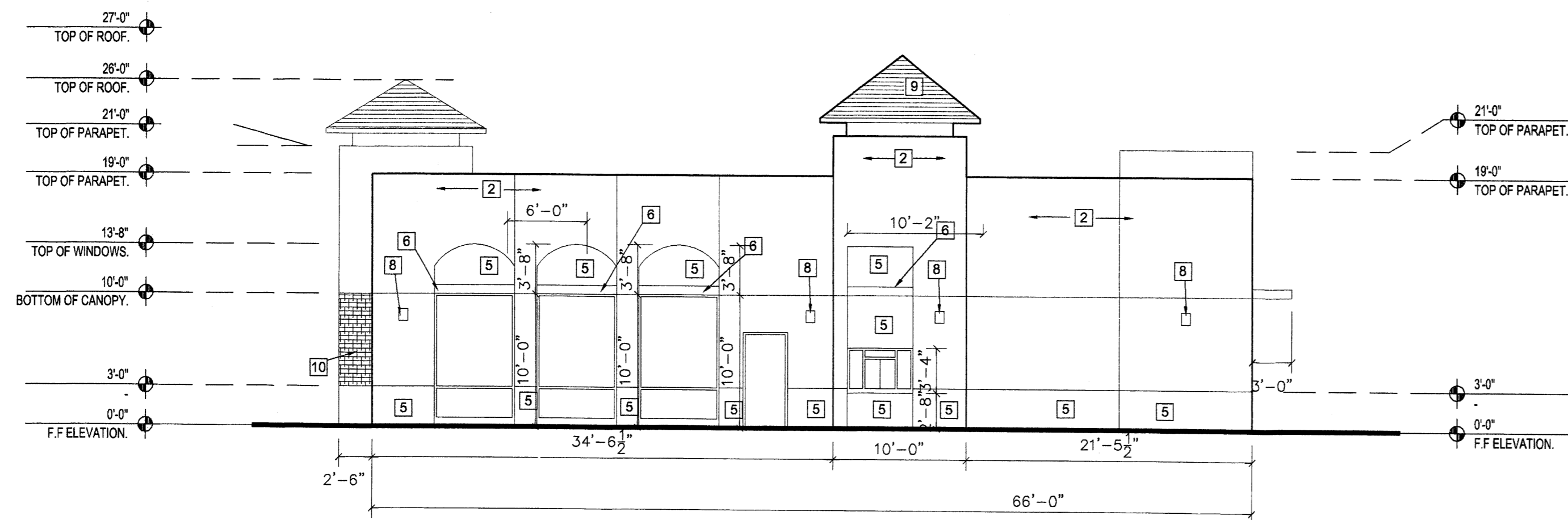
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE UNSER & VISTA ORIENTE NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET Albuquerque, NM	DRAWN BY NAH
PROJECT MANAGER George Rainhart, AIA	JOB NO. 0348 B
ELEVATIONS BLDG 1A	

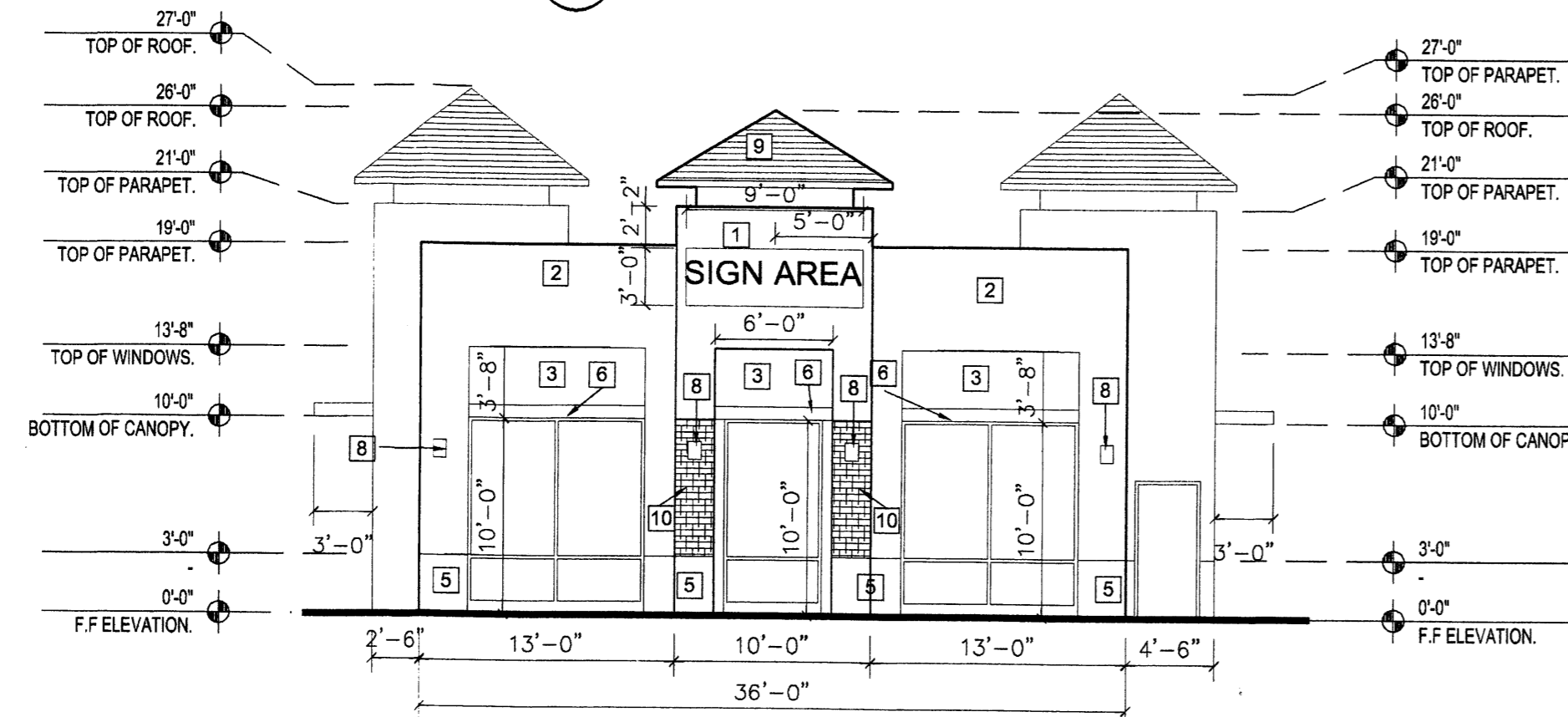
DATE: 8/28/07	sheet- A1.1
SCALE:	of



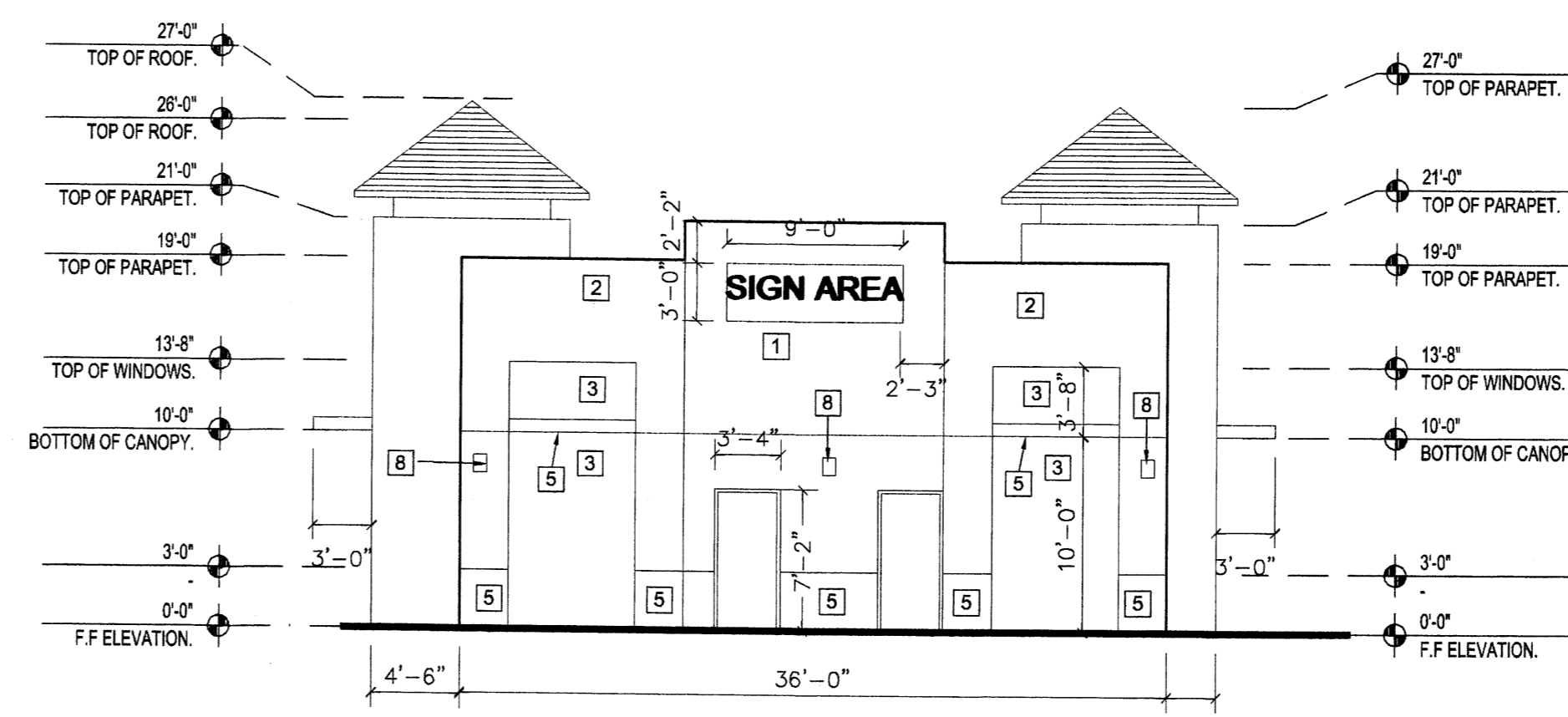
(A) NORTH ELEVATION
1/8"=1'-0"



(B) SOUTH ELEVATION
1/8"=1'-0"

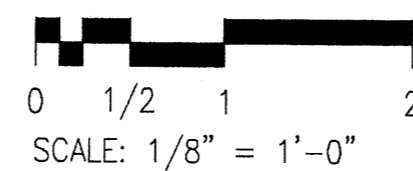


(C) WEST ELEVATION
1/8"=1'-0"



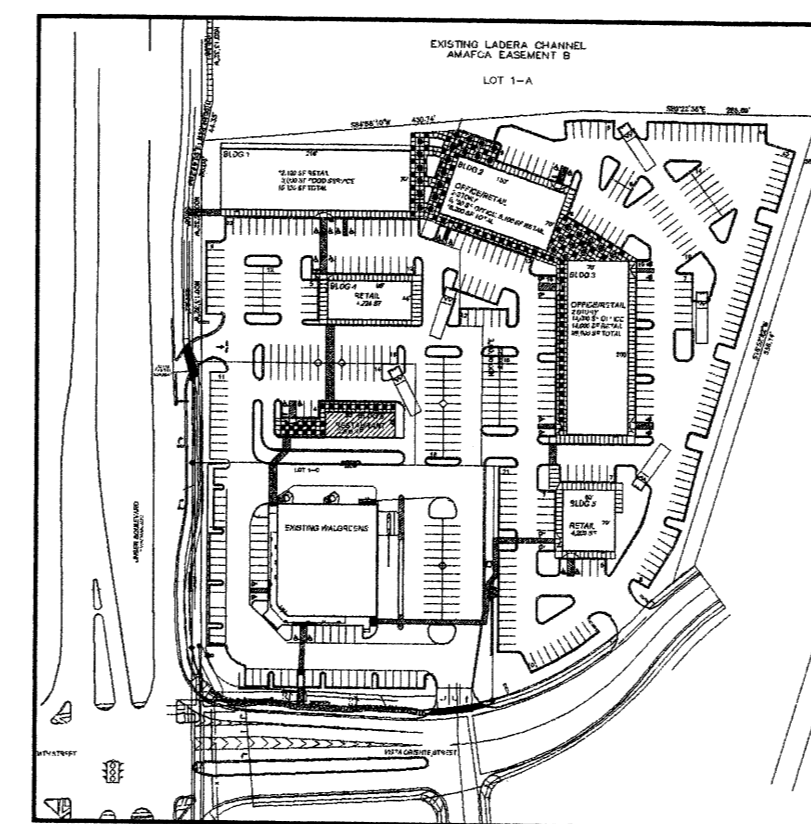
(D) EAST ELEVATION
1/8"=1'-0"

Material Schedule	Keyed Color	Common Name
1 STUCCO	NAPERY SW 6388	CREAM
2 STUCCO	NTERACTIVE CREAM SW 6113	CREAM
3 STUCCO	RAPTURE BLUE SW 6773	SKY BLUE
4 STUCCO	ICY SW 6534	LIGHT GRAY
5 STUCCO	EXTRA WHITE SW 7006	WHITE
6 TUBE STEEL CANOPY	DARK BRONZE	DARK BRONZE
7 TUBE STEEL CANOPY	EXTRA WHITE SW 7006	WHITE
8 LIGHT FIXTURE	BLACK	BLACK
9 TILE ROOF	WESRILE, SIERRA MISSION-SLURRY "HARVEST BLEND"(011133)	LIGHT BROWN
10 BRICK	DARK RED	DARK RED
11 STUCCO	BLACK SWAN SW 6279	BLACK



NOTES:

- SIGNS TO NOT EXCEED 8% OF THE FACADE.
- SIGNS TO CONSIST OF INDIVIDUAL ALUMINUM PAN CHANNEL LETTERS, INTERNALLY ILLUMINATED, NO SIGN TO FACE RESIDENTIAL AREAS.
- GLAZING WILL NOT BE MIRROR OR OPAQUE.



(E) KEY PLAN
NTS

NOTES:

ALL BUILDING MOUNTED SIGNAGE WILL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 8 PERCENT OF THE WALL AREA OF EACH BUILDING ELEVATION OR TEN PERCENT OF THE WALL AREA OF MULTI-TENANT SHOPS BUILDINGS.

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TYPE 3: SAME AS TYPE 2 EXCEPT HALO LIT.

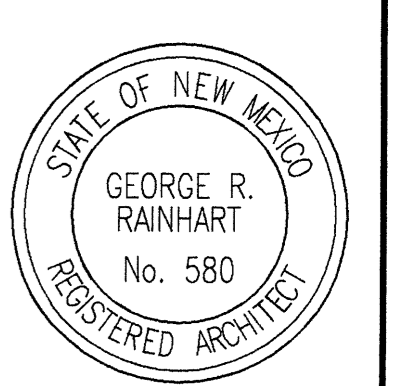
TYPE 4: HALO LIT LETTERS CUT OUT OF SOLID METAL BACKGROUND SPACED OFF THE FACE OF THE BUILDING.

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VARIETY OF COLOR (SIGN COLORS ARE BY TENAT)

REV	DATE	BY	REVISION
6			
5			
4			
3	12/12/07	NAH	CITY COMMENTS
2	9/21/07	NAH	CITY COMMENTS
1	9/12/07	NAH	CITY COMMENTS

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 864-9110 FAX (505) 837-9877



PROJECT TITLE
UNSER & VISTA ORIENTE
NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET
Albuquerque, NM

PROJECT MANAGER
George Rainhart, AIA

JOB NO.
0048 B

DRAWN BY
NAH

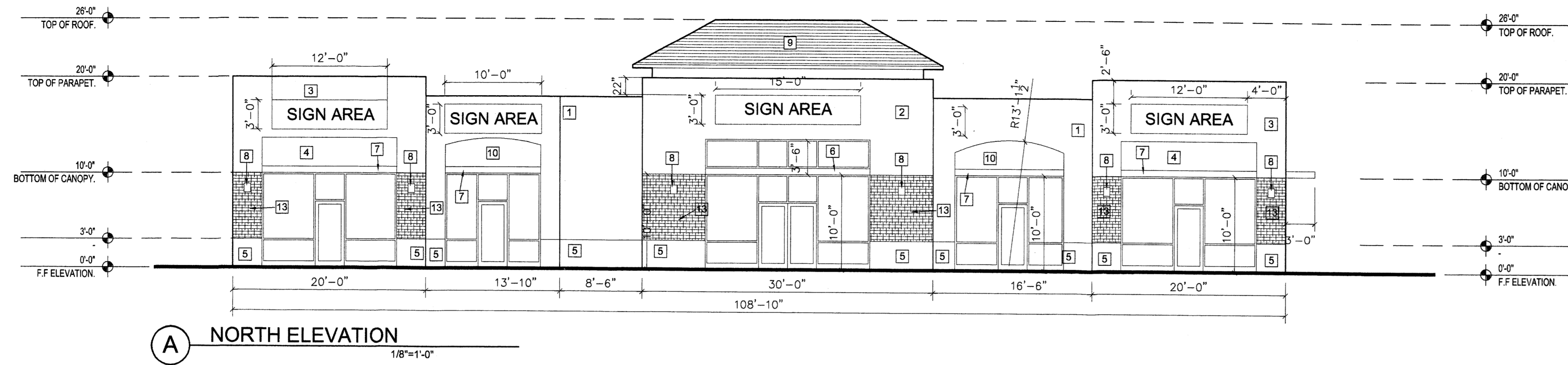
SHEET TITLE
ELEVATION BLDG 6

DATE:
8/28/07

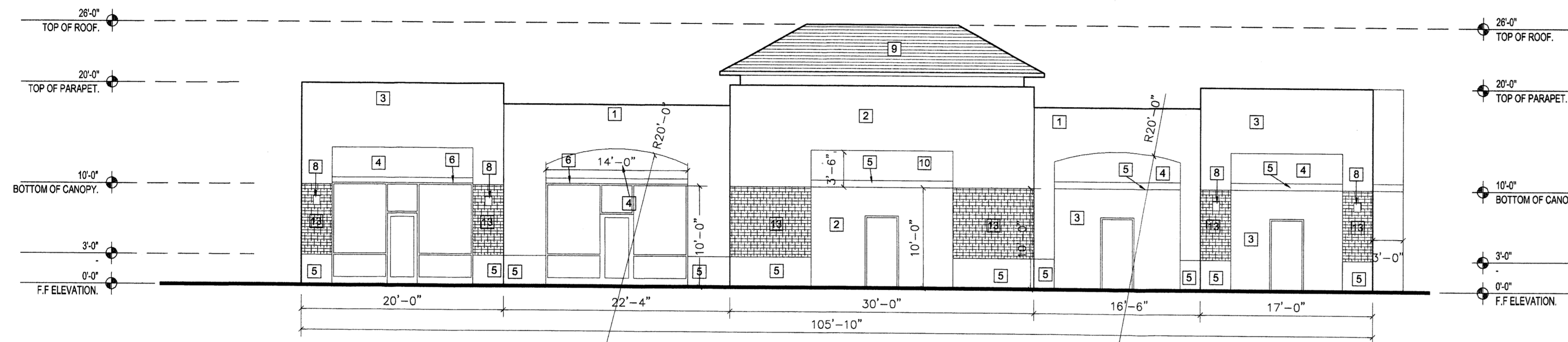
SCALE:
1/8"= 1'-0"

sheet:
A1.2

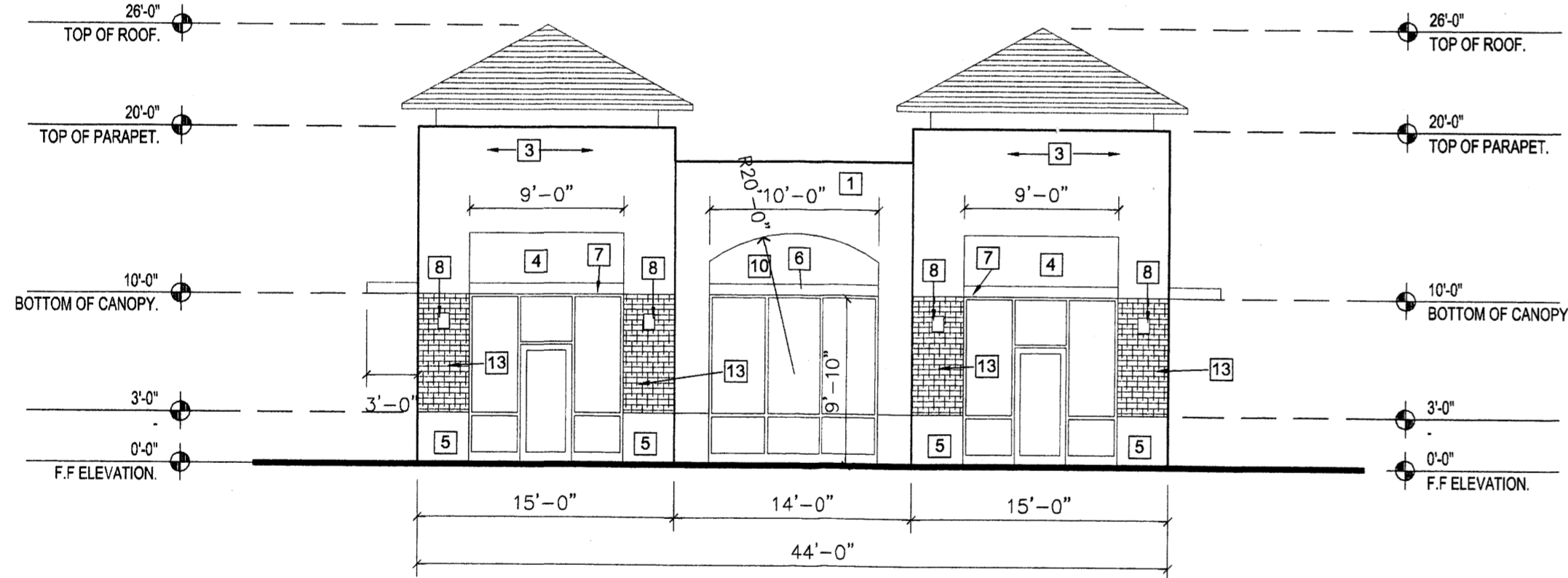
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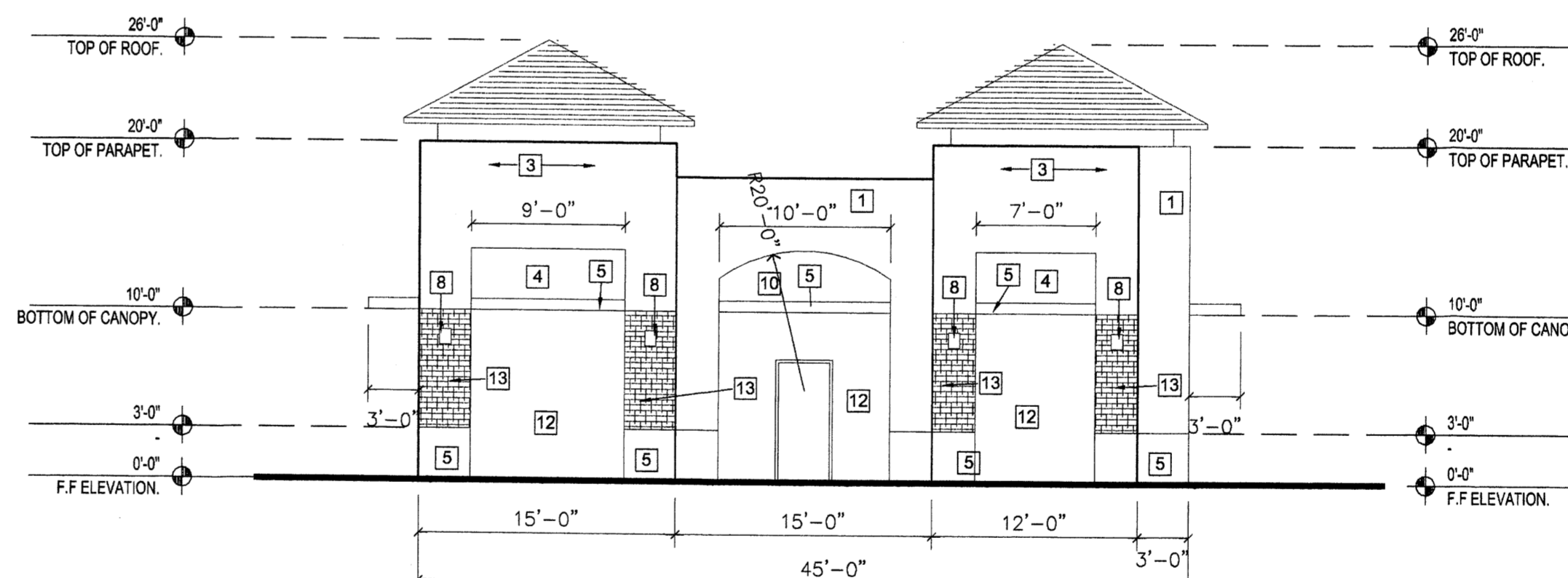
A NORTH ELEVATION
1/8"=1'-0"



B SOUTH ELEVATION
1/8"=1'-0"

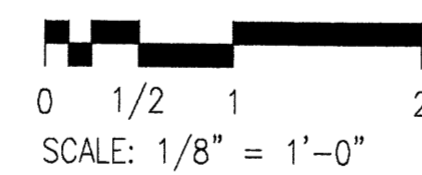


C WEST ELEVATION
1/8"=1'-0"



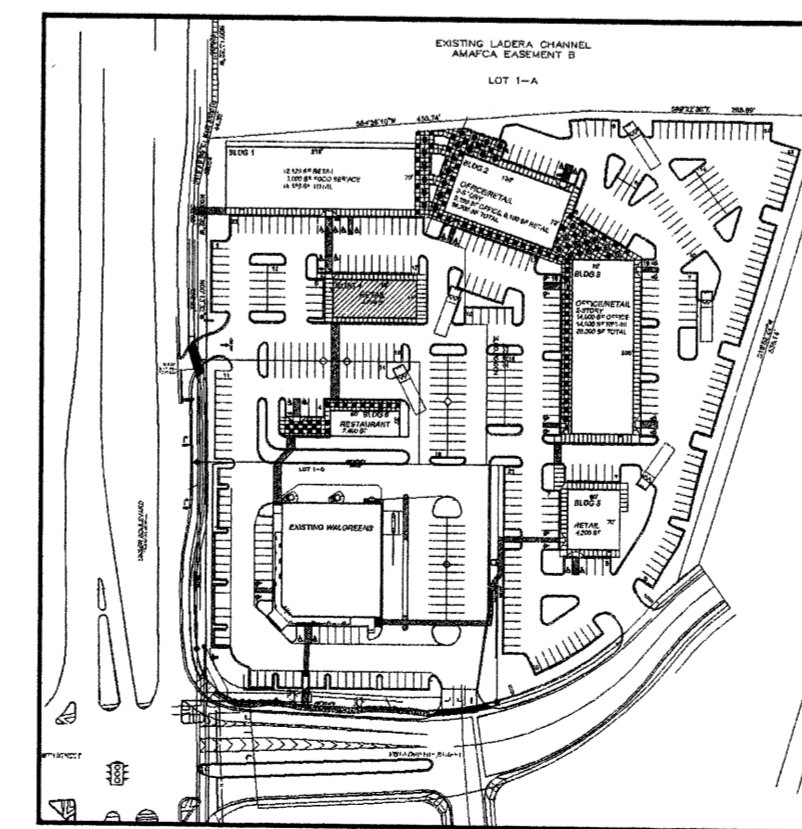
D EAST ELEVATION
1/8"=1'-0"

Material Schedule	Keyed Color	Common Name
1 STUCCO	NAPERY SW 6386	CREAM
2 STUCCO	SENSATIONAL SAND SW 6094	BROWN
3 STUCCO	UNCERTAIN GRAY SW 6234	GRAY
4 STUCCO	KARAL KICKS SW 6610	PINK CORAL
5 STUCCO	EXTRA WHITE SW 7006	WHITE
6 TUBE STEEL CANOPY	DARK BRONZE	DARK BRONZE
7 TUBE STEEL CANOPY	EXTRA WHITE SW 7006	WHITE
8 LIGHT FIXTURE	BLACK	BLACK
9 TILE ROOF	WESRILE, SIERRA MISSION-SLURRY "HARVEST BLEND"(011133)	LIGHT BROWN
10 STUCCO	MESA TAN SW 2208	TAN
11 STUCCO	BLACK SWAN SW 6279	BLACK
12 STUCCO	ICY SW 6534	LIGHT GRAY
13 BRICK	DARK RED	DARK RED



NOTES:

- * SIGNS TO NOT EXCEED 6% OF THE FACADE.
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E KEY PLAN
NTS

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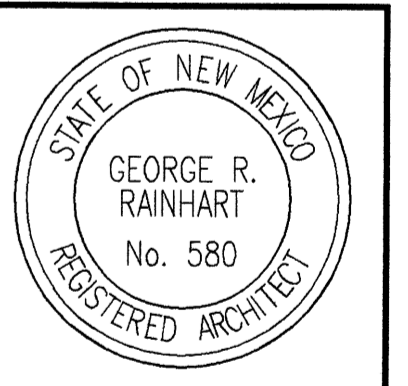
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VARIETY OF COLOR (SIGN COLORS ARE BY TENANT)

REV	DATE	BY	REVISION
6			
5			
4			
3	12/12/07	NAH	CITY COMMENTS
2	9/21/07	NAH	CITY COMMENTS
1	9/12/07	NAH	CITY COMMENTS

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
UNSER & VISTA ORIENTE
NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET
Albuquerque, NM

PROJECT MANAGER
George Rainhart, AIA

JOB NO.
0248 B

DRAWN BY:
NAH

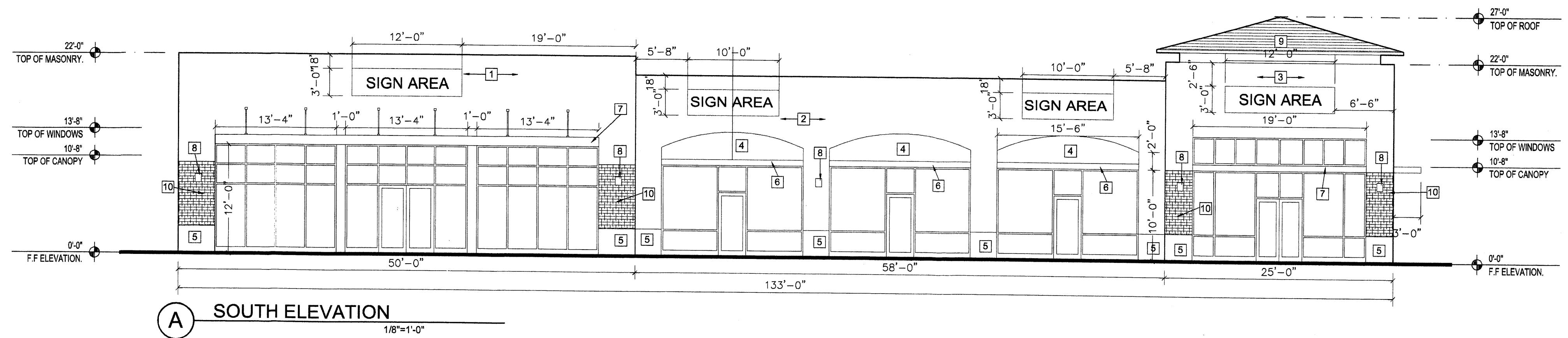
SHEET TITLE
ELEVATION BLDG 4

DATE:
8/28/07

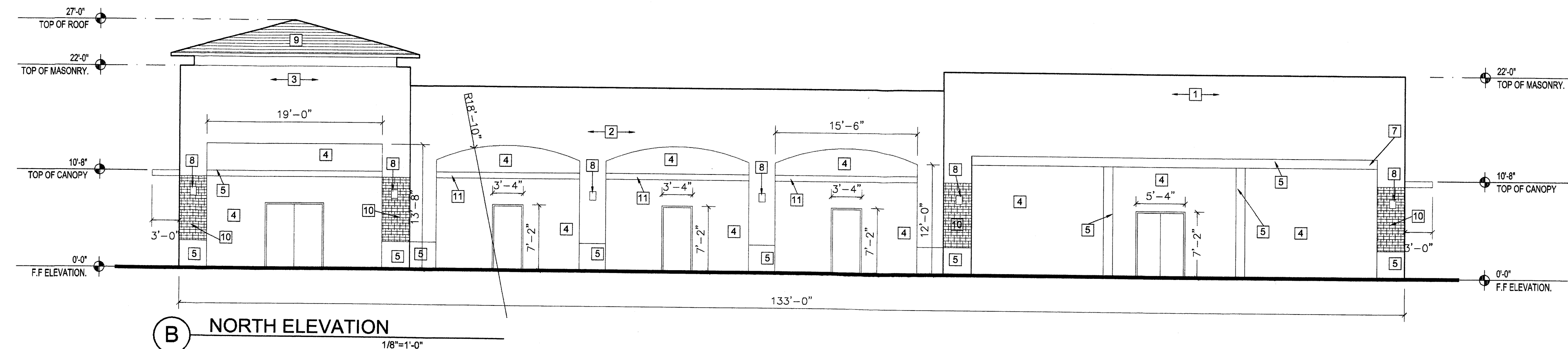
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1/8"= 1'-0"

sheet:
A1.3

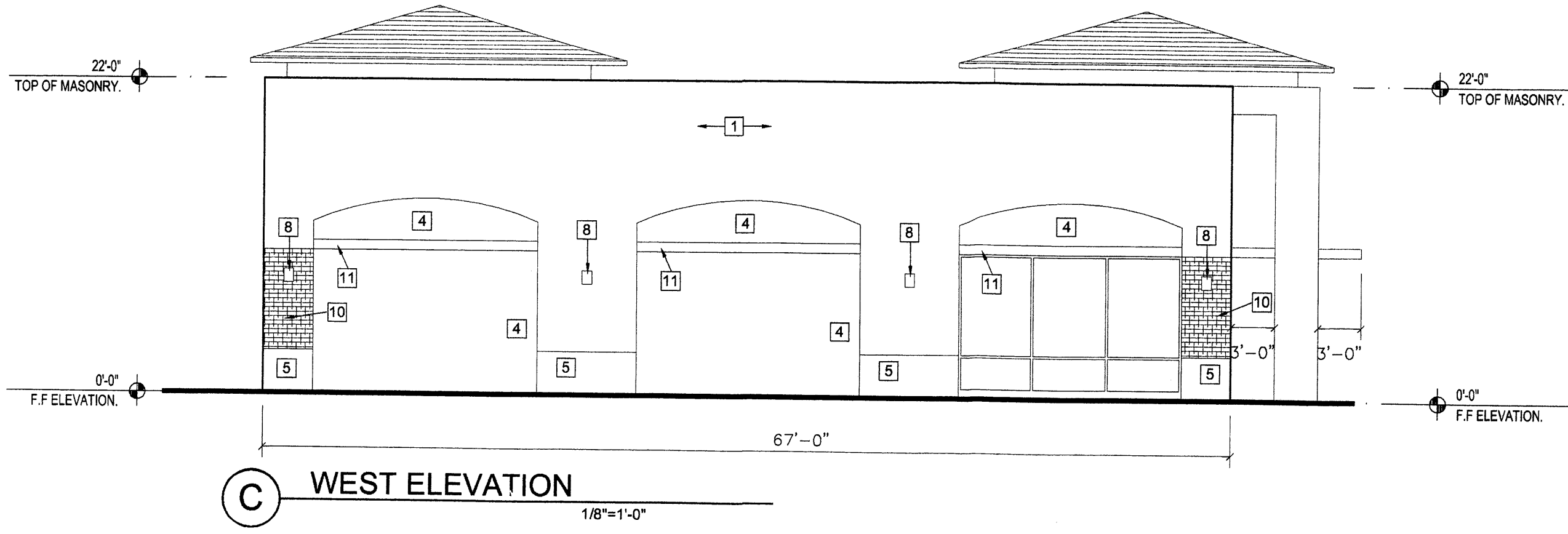
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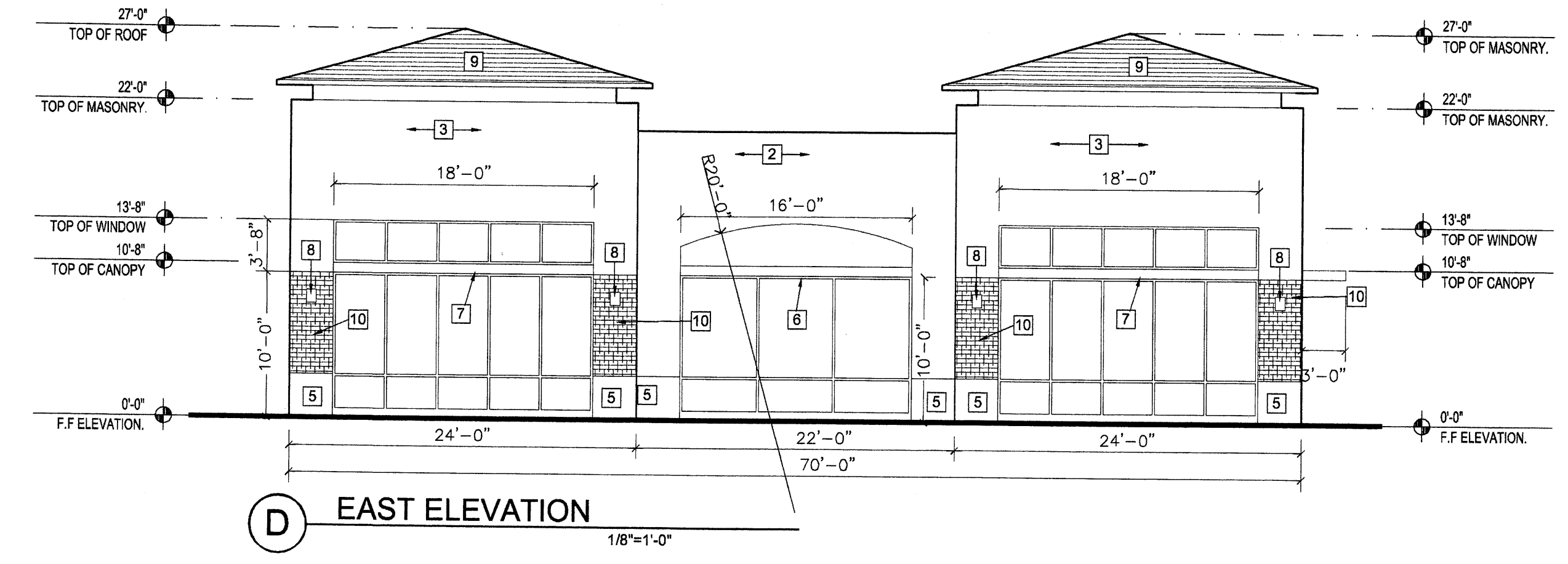
A SOUTH ELEVATION
1/8"=1'-0"



B NORTH ELEVATION
1/8"=1'-0"



C WEST ELEVATION
1/8"=1'-0"

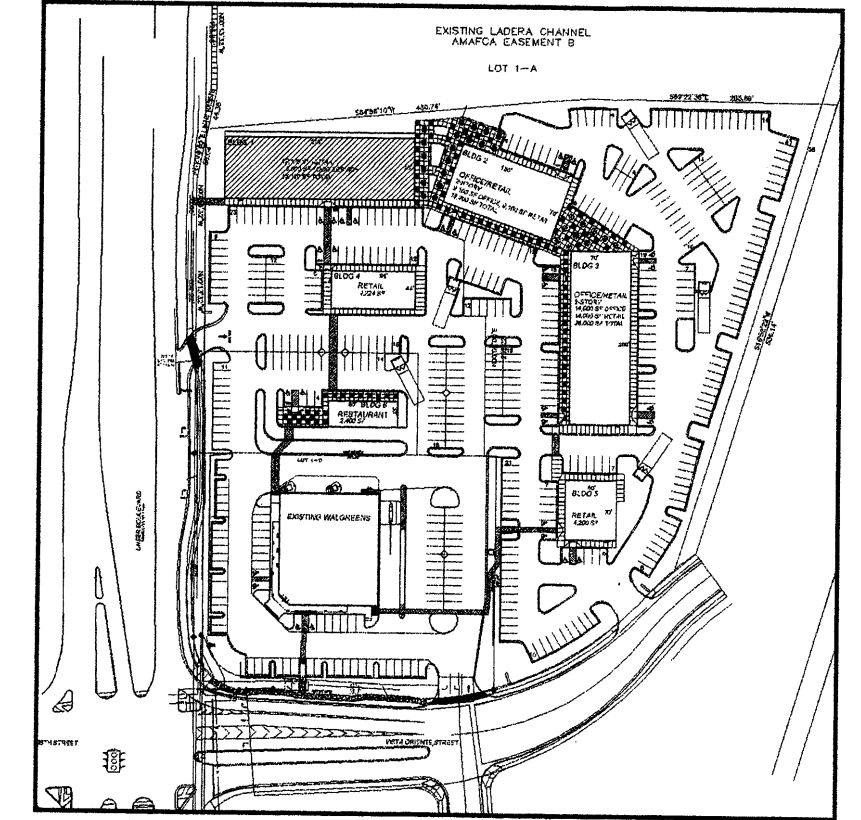
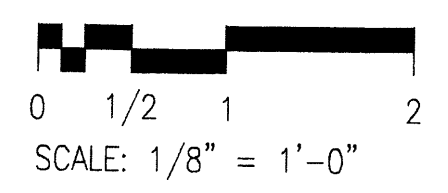


D EAST ELEVATION
1/8"=1'-0"

Material Schedule	Keyed Color	Common Name
1	MODERATE WHITE SW 6140	LIGHT CREAM
2	INTERACTIVE CREAM SW 6113	CREAM
3	SENSATIONAL SAND SW 6094	BROWN
4	ICY SW 6534	LIGHT GRAY
5	EXTRA WHITE SW 7006	WHITE
6	DARK BRONZE	DARK BRONZE
7	EXTRA WHITE SW 7006	WHITE
8	BLACK	BLACK
9	WESRILE, SIERRA MISSION-SLURRY "HARVEST BLEND"(011133)	LIGHT BROWN
10	DARK RED	DARK RED
11	BLACK SWAN SW 6279	BLACK

NOTES:

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E KEY PLAN
NTS

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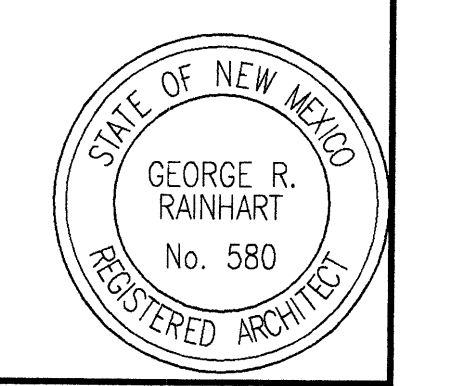
TYPE 4: HALO LIT LETTERS CUT OUT OF SOLID METAL BACKGROUND SPACED OFF THE FACE OF THE BUILDING.

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VARIETY OF COLOR (SIGN COLORS ARE BY TENANT)

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
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UNSER & VISTA ORIENTE
NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET
Albuquerque, NM

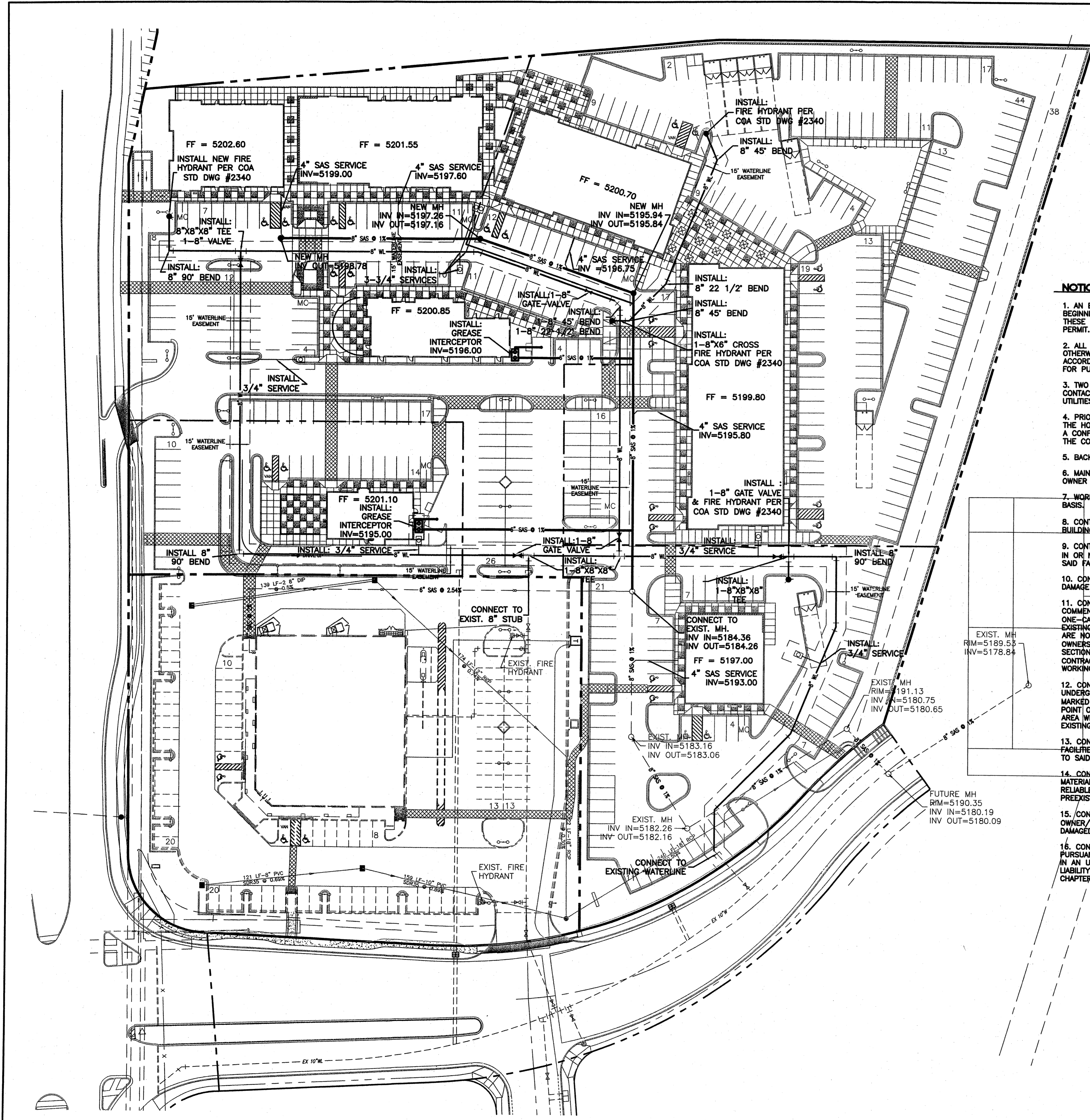
PROJECT MANAGER
George Rainhart, AA

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NAH

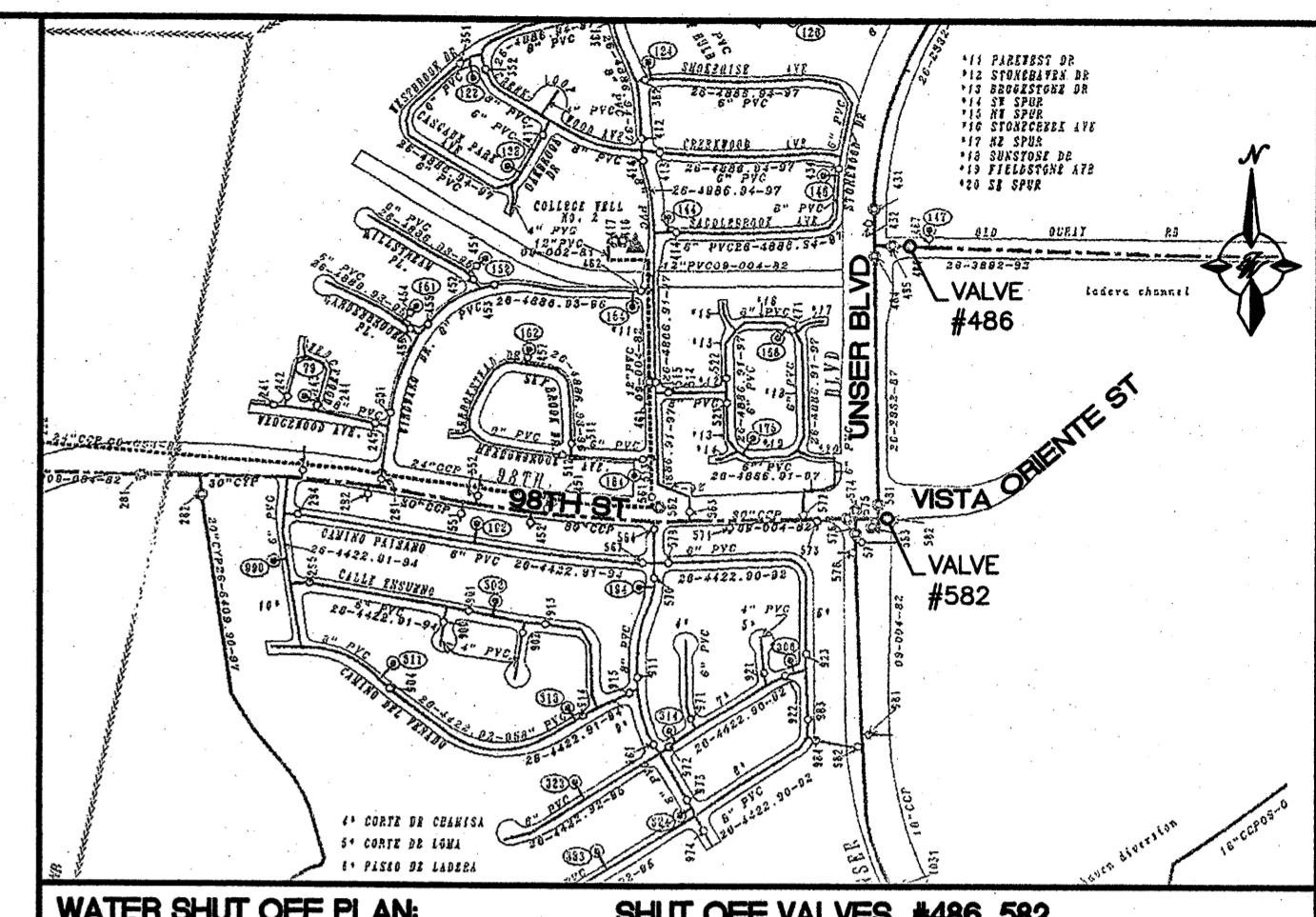
JOB NO.:
0048 B

SHEET TITLE
ELEVATION BLDG 1B

DATE: 8/28/07
SCALE: 1/8"= 1'-0"
sheet: **A1.4**
of:



CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



NOTICE TO CONTRACTORS

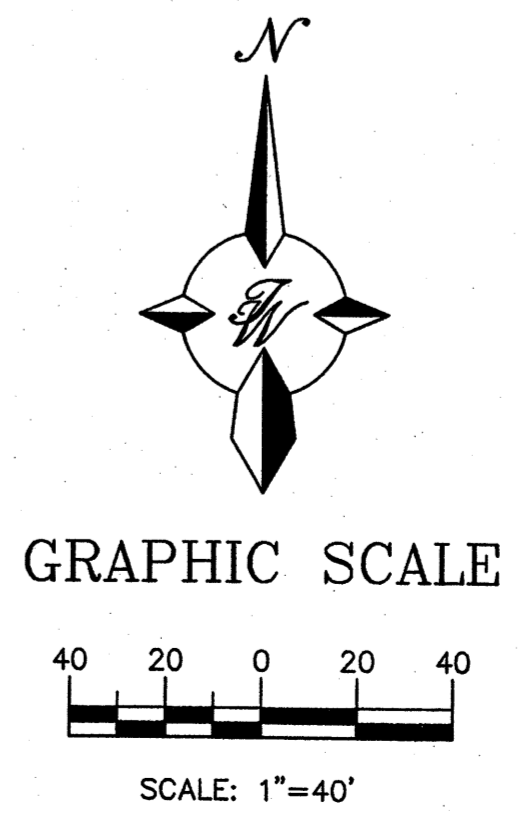
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING.
9. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
10. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OF DAMAGE OF UNDERGROUND FACILITIES.
11. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER. IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITIES PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK, CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATING EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
12. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
13. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
14. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNED AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
15. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
16. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN AN UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

- WATER SHUT OFF PLAN NOTES:**
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 4. SHUT OFF THE VALVES INDICATED IN THE ABOVE PLAN. TO BE DONE ONLY IN THE EVENT OF EMERGENCY. CONNECTION TO EXISTING WATER LINE TO BE PRESSURIZED.

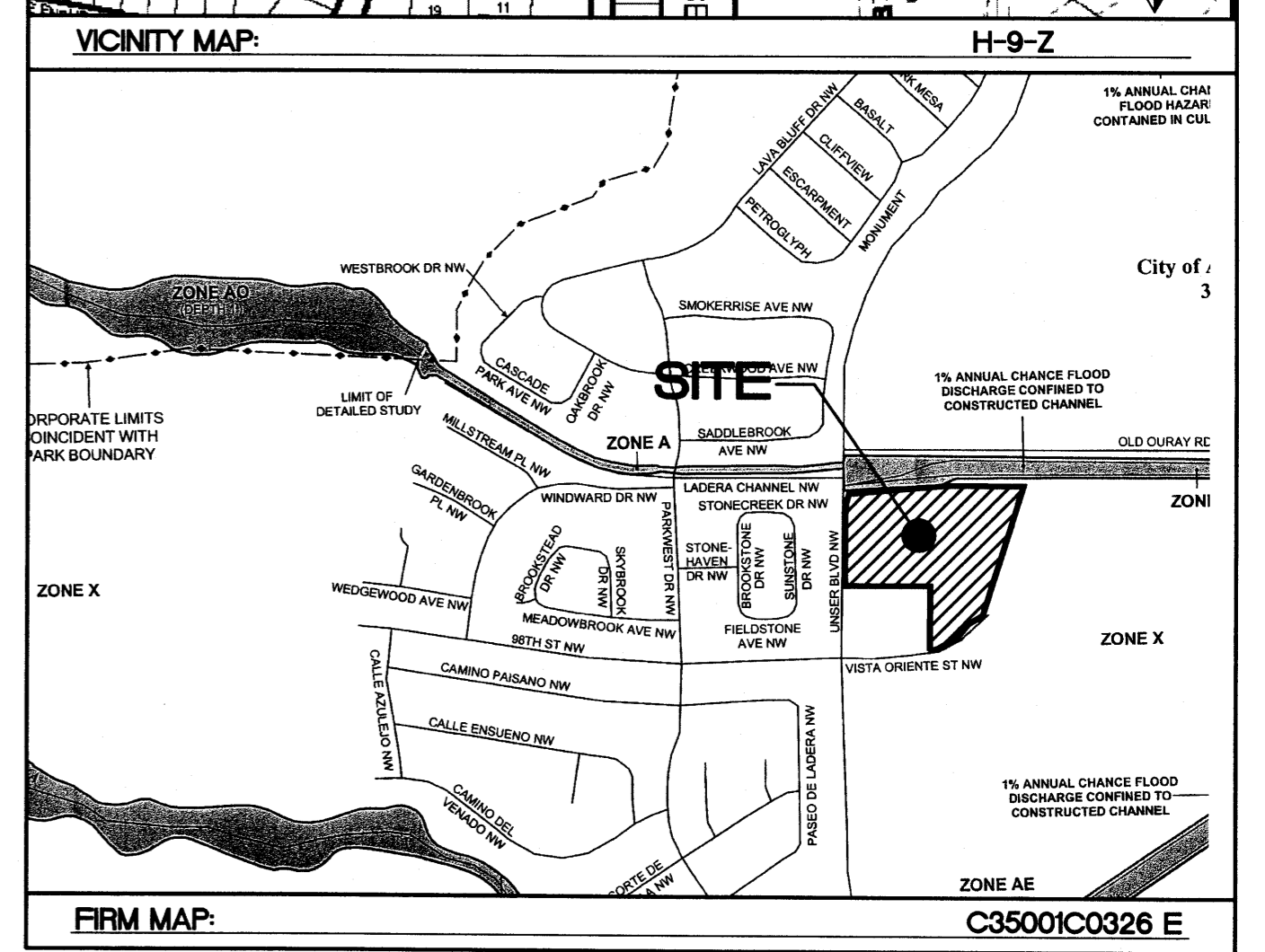
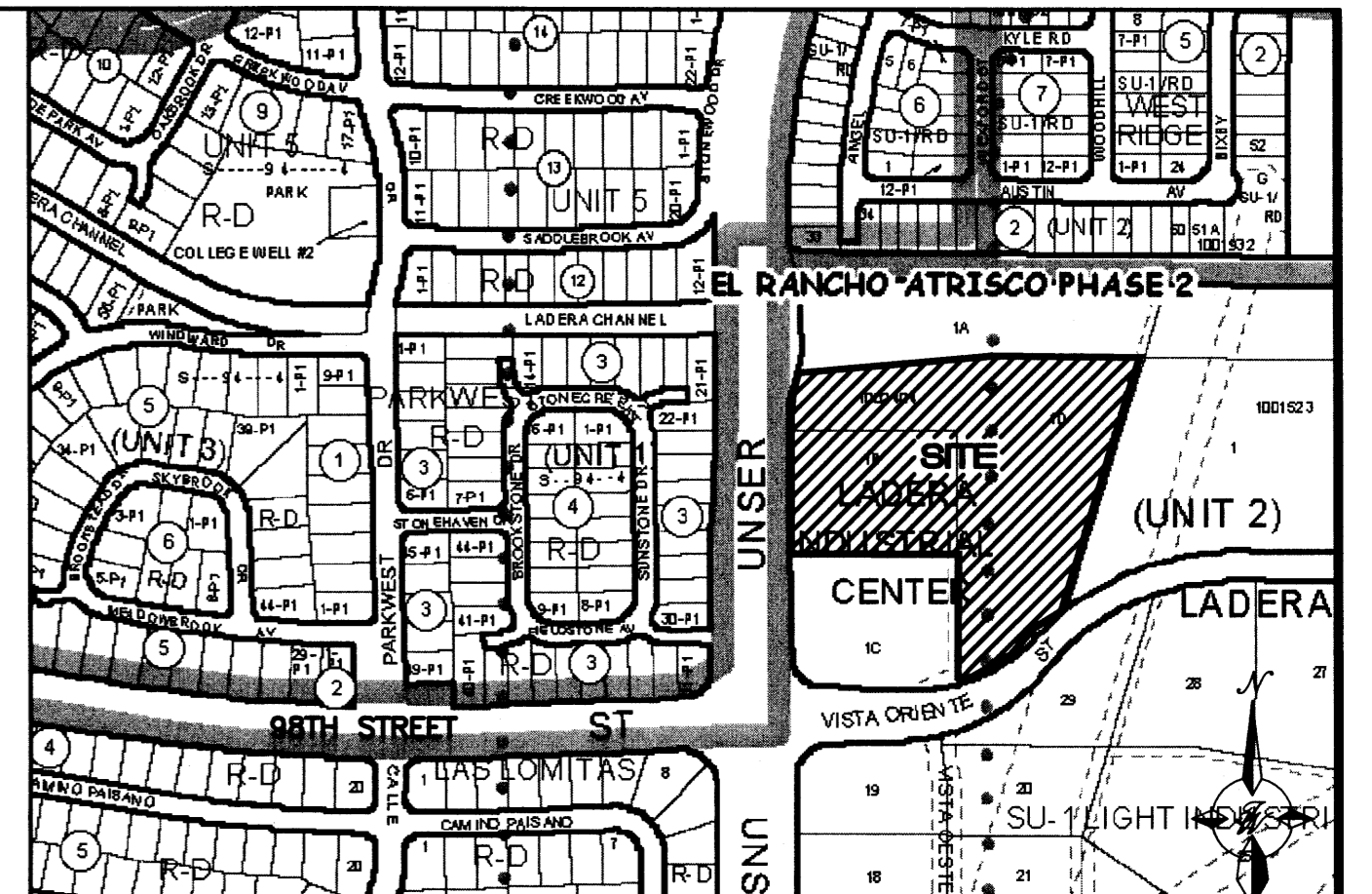
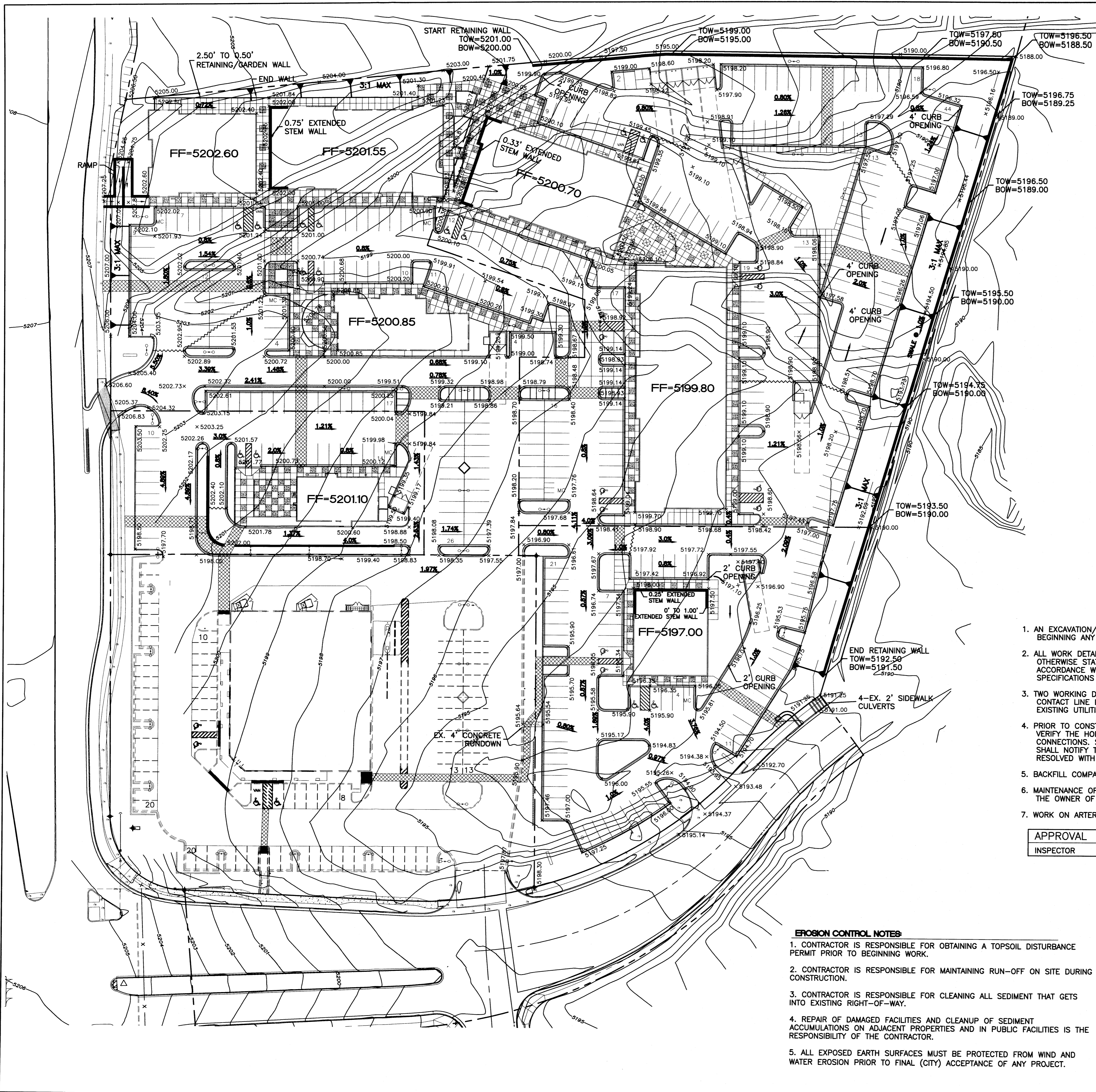
- GENERAL NOTES:**
1. ALL 8" SANITARY SEWER PIPE TO BE SDR-35.
 2. ALL 6" AND 8" WATERLINE PIPE TO BE C-900.
 3. ALL SANITARY SEWER SERVICE PIPE TO BE 4" PVC.
 4. ALL WATERLINE SERVICE PIPE TO MATCH DESIGNATED METER SIZE AND BE OF PVC MATERIAL.
 5. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 6. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 7. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 8. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
 9. ALL PIPE MATERIAL TO BE USED PER UPC.

LEGEND

=====	EXISTING CURB & GUTTER
-----	BOUNDARY LINE
- - - - -	EASEMENT
○	EXISTING SD MANHOLE
○	EXISTING INLET
○	EXISTING SAS MANHOLE
○	EXISTING WATER METER
○	PROPOSED PARKING LOT LIGHT
○	PROPOSED CLEAN OUT
○	PROPOSED DOUBLE CLEAN OUT
○	EXISTING OVERHEAD UTILITIES
---	EXISTING UNDERGROUND UTILITIES
---	EXISTING GAS
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
---	PROPOSED STORM SEWER LINE
●	PROPOSED SAS MANHOLE
●	PROPOSED SANITARY SEWER LINE
●	PROPOSED FIRE HYDRANT
●	PROPOSED WATERLINE



	UNSER AND VISTA ORIENTE MASTER UTILITY PLAN	ENGINEER'S SEAL SEAL	DRAWN BY DY
	TIERRA WEST, L.L.C. 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100	DATE 01-14-08	PROJECT # 2779-MUB
RONALD R. BOHANNAN P.E. #7868			JOB # 27079

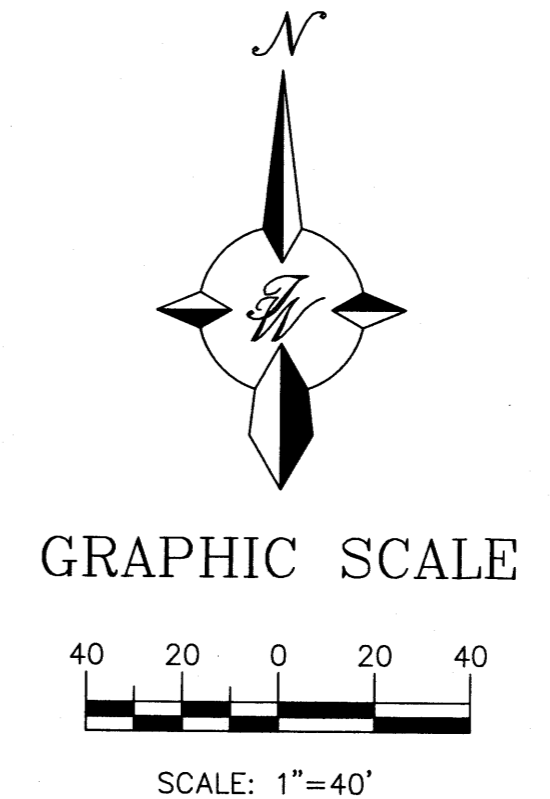


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 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

- LEGEND**
- EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SCREEN WALL
 - PROPOSED RETAINING WALL
 - EXISTING SIDEWALK
 - 5011--- EXISTING CONTOUR
 - 5010--- EXISTING INDEX CONTOUR
 - x 5048.25 EXISTING SPOT ELEVATION
 - x 5048.25 PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - BOUNDARY LINE

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



ROUGH GRADING APPROVAL _____ DATE _____

ENGINEER'S SEAL	UNSER AND VISTA ORIENTE	DRAWN BY DY
	GRADING AND DRAINAGE PLAN	DATE 01-14-08
		2779-GRB
		SHEET # C1
		JOB # 27079
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100		
RONALD R. BOHANNAN P.E. #7868		

EXISTING LADERA CHANNEL
AMAFA EASEMENT B

LOT 1-A

NOTE:

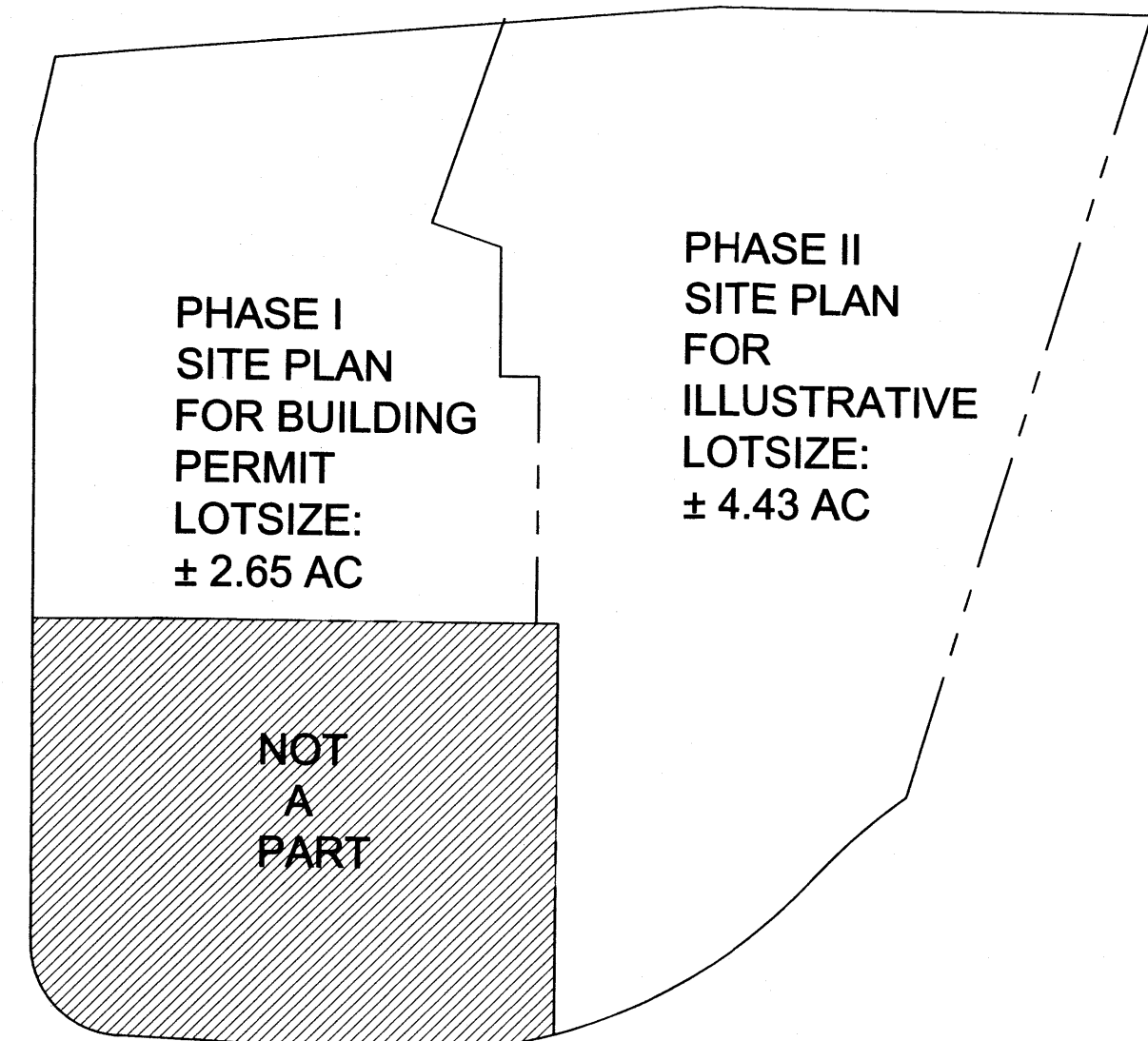
- SEE GRADING AND DRAINAGE PLAN (C1-C2) FOR FIRE HYDRANT LOCATIONS, DISTRIBUTION LINES, RIGHT-OF-WAY AND EASEMENTS, EXISTING AND PROPOSED WATER, SEWER, STORM DRAINAGE FACILITIES.
- OFFICE USES WILL ON THE 2ND FLOOR (BLDG 2, BLDG 3)

KEYED NOTES

- PROPERTY LINE
- MONUMENT SIGN
- BICYCLE RACK LOCATION - 3 BIKES
- DUMPSTER ENCLOSURE
- CROSSWALK, COLORED AND TEXTURED CONCRETE
- NOT USED
- SITE LIGHTING
- 8'-0" X 1'-6" BENCH, LOCATION NOT TO BE WITH DOORS OR STREET TREES
- LANDSCAPE AREA
- RETAINING WALL - MAX. HEIGHT 3', DARK RED BRICK
- TRASH RECEPTACLES
- TRANSFORMER LOCATION
- NEW FIRE HYDRANT
- SITE WALK
- BICYCLE RACK LOCATION - 2 BIKES
- EXISTING LOT LINE TO BE ELIMINATED
- EXISTING LOT LINE PER EXISTING PLAT
- EXISTING MEDIANS
- EXISTING TRAFFIC SIGN
- EXISTING BUS STOP
- EXISTING SIDEWALK
- NEW PROPERTY LINE

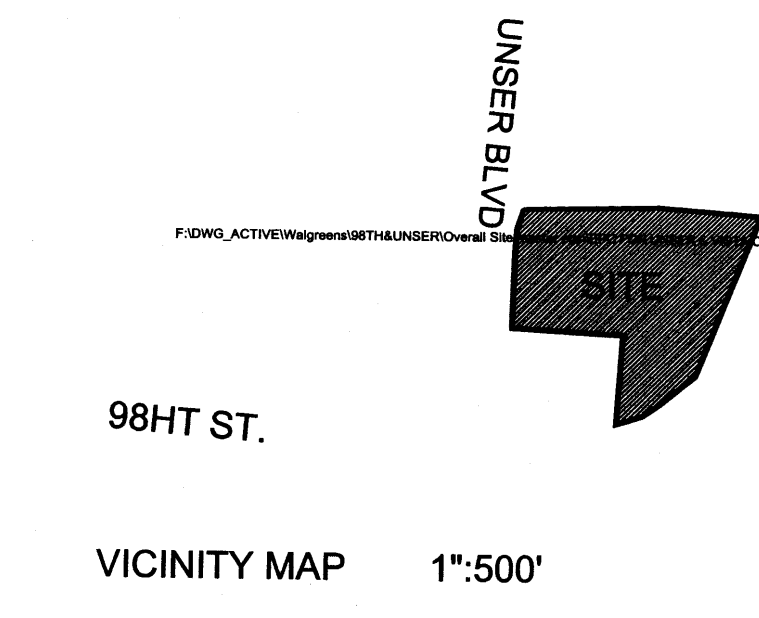
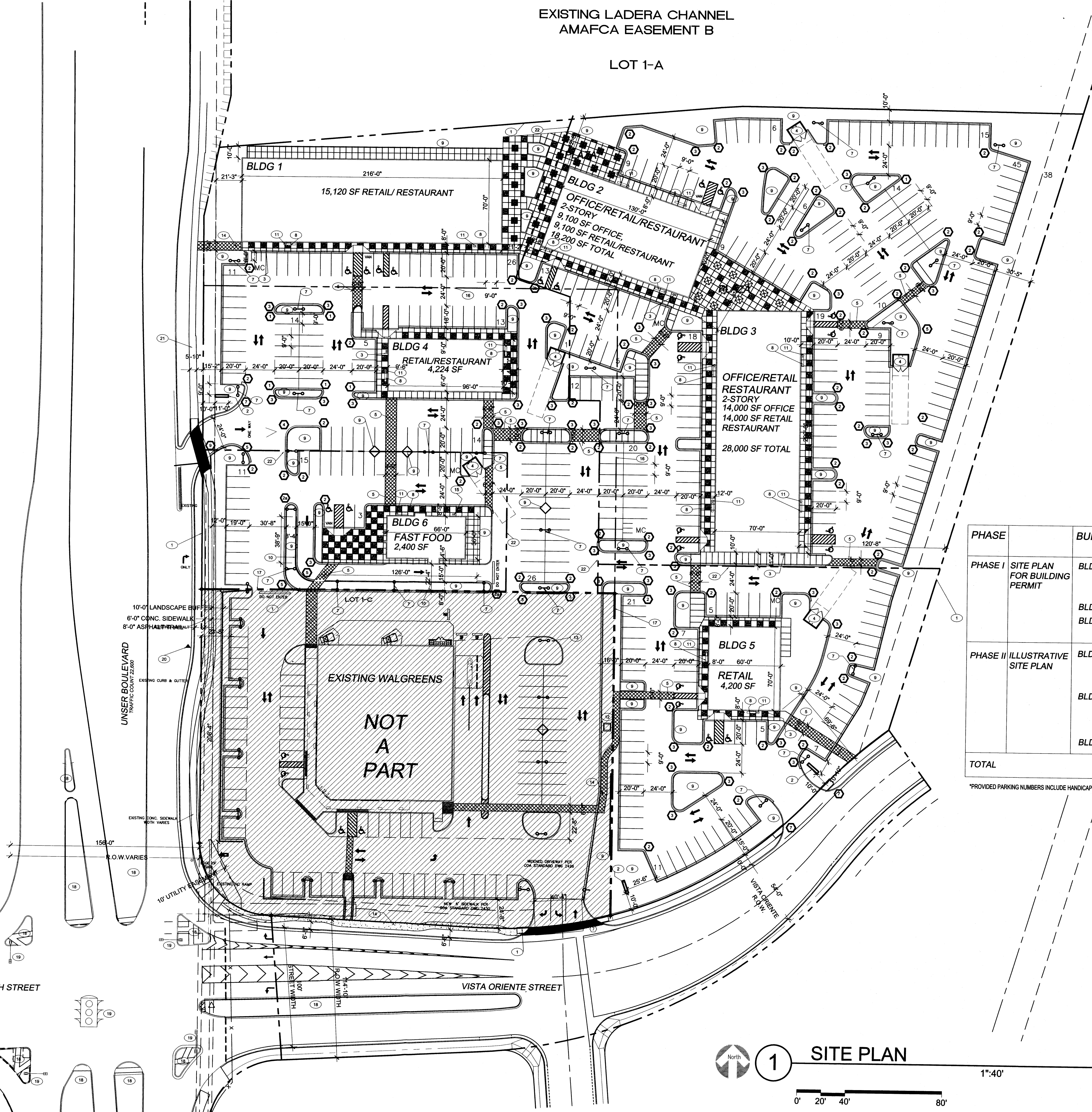
RADIUS INFORMATION:

- RADIUS = 2'-0"
- RADIUS = 3'-0"
- RADIUS = 4'-6"
- RADIUS = 5'-0"
- RADIUS = 6'-0"
- RADIUS = 9'-0"
- RADIUS = 15'-0"
- RADIUS = 20'-0"
- RADIUS = 25'-0"
- RADIUS = 30'-0"
- RADIUS = 40'-0"
- RADIUS = 50'-0"
- RADIUS = 60'-0"
- RADIUS = 100'-0"



PHASE	BUILDING	TOTAL SF	USE/ AREA	FACTOR	PARKING REQUIRED	PARKING PROVIDED	H.C. PARKING	MC. PARKING	BICYCLE PARKING
PHASE I SITE PLAN FOR BUILDING PERMIT	BLDG 1	15,120 SF	RETAIL 12,120 RESTAURANT 3,000 (120 SEATS)	1/200 SF 1 PER 4 SEATS	60 SPACES 30 SPACES	135 136 SPACES	8	8	8
	BLDG 4	4,224 SF	RETAIL 4,224	1/200 SF	21 SPACES				
	BLDG 6	2,400 SF	RESTAURANT 2,400 (96 SEATS)	1 PER 4 SEATS	24 SPACES				
PHASE II ILLUSTRATIVE SITE PLAN	BLDG 2	18,200 SF	RETAIL 4,200 RESTAURANT 4,800 (192 SEATS) OFFICE 9,100	1/200 SF 1 PER 4 SEATS 1/300 SF	21 SPACES 46 SPACES 30 SPACES	257 262 SPACES	16	8	9
	BLDG 3	28,000 SF	RETAIL 9,200 RESTAURANT 4,800 (192 SEATS) OFFICE 14,000	1/200 SF 1 PER 4 SEATS 1/300 SF	46 SPACES 46 SPACES 47 SPACES				
	BLDG 5	4,200 SF	RETAIL 4,200	1/200 SF	21 SPACES				
	TOTAL								

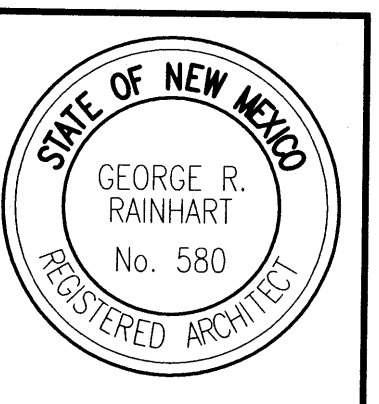
*PROVIDED PARKING NUMBERS INCLUDE HANDICAPPED AND MOTORCYCLE PARKING.



1 SITE PLAN
1"=40'

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
UNSER & VISTA ORIENTE
NORTHEAST CORNER OF UNSER BLVD AND VISTA ORIENTE STREET
ALBUQUERQUE, NM

PROJECT MANAGER
George Rainhart, AIA

DRAWN BY:
NAH

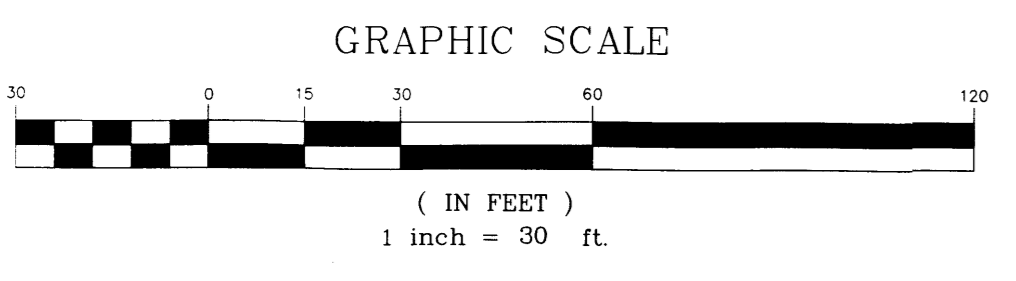
JOB NO.
0348 B

SHEET TITLE
SITE PLAN FOR BUILDING PERMIT

DATE: 8/28/07
SCALE: 1"=40'
sheet: AS.2
of:

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	82.29'	410.00'	41.28'	82.15'	S48°04'09"W	112°29'58"
	(81.53')		(81.41')	(81.41')	(S47°55'32"W)	(112°34'22")
C2	198.95'	350.00'	102.03'	195.90'	S58°15'53"W	32°30'14"
	(199.20')		(186.52')	(186.52')	(S58°18'44"W)	(32°36'35")
C3	108.68'	350.00'	54.78'	108.24'	S83°44'43"W	174°27'26"
	(108.00')		(107.57')	(107.57')	(S83°47'28"W)	(174°40'48")

- LEGEND**
- Pull Box =
 - Water Valve =
 - Bollard =
 - Storm Drain Manhole =
 - Sanitary Sewer Manhole =
 - Water Manhole =
 - Traffic Light Box =
 - Concrete =
 - Drop Inlet =
 - Light Pole =
 - Hydrant =
 - Utility Pedestal =
 - Sanitary Sewer Lines =
 - Telephone Lines =
 - Overhead Utility Lines =
 - Water Lines =
 - Storm Drain Lines =
 - Asphalt Curb =
 - Standard Curb & Gutter =
 - Traffic Signals =



ALTA./A.C.S.M. LAND TITLE SURVEY
LOT 1-D
LADERA INDUSTRIAL CENTER
 WITH-IN
 THE TOWN OF ATRISCO GRANT
 IN
 PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2006

