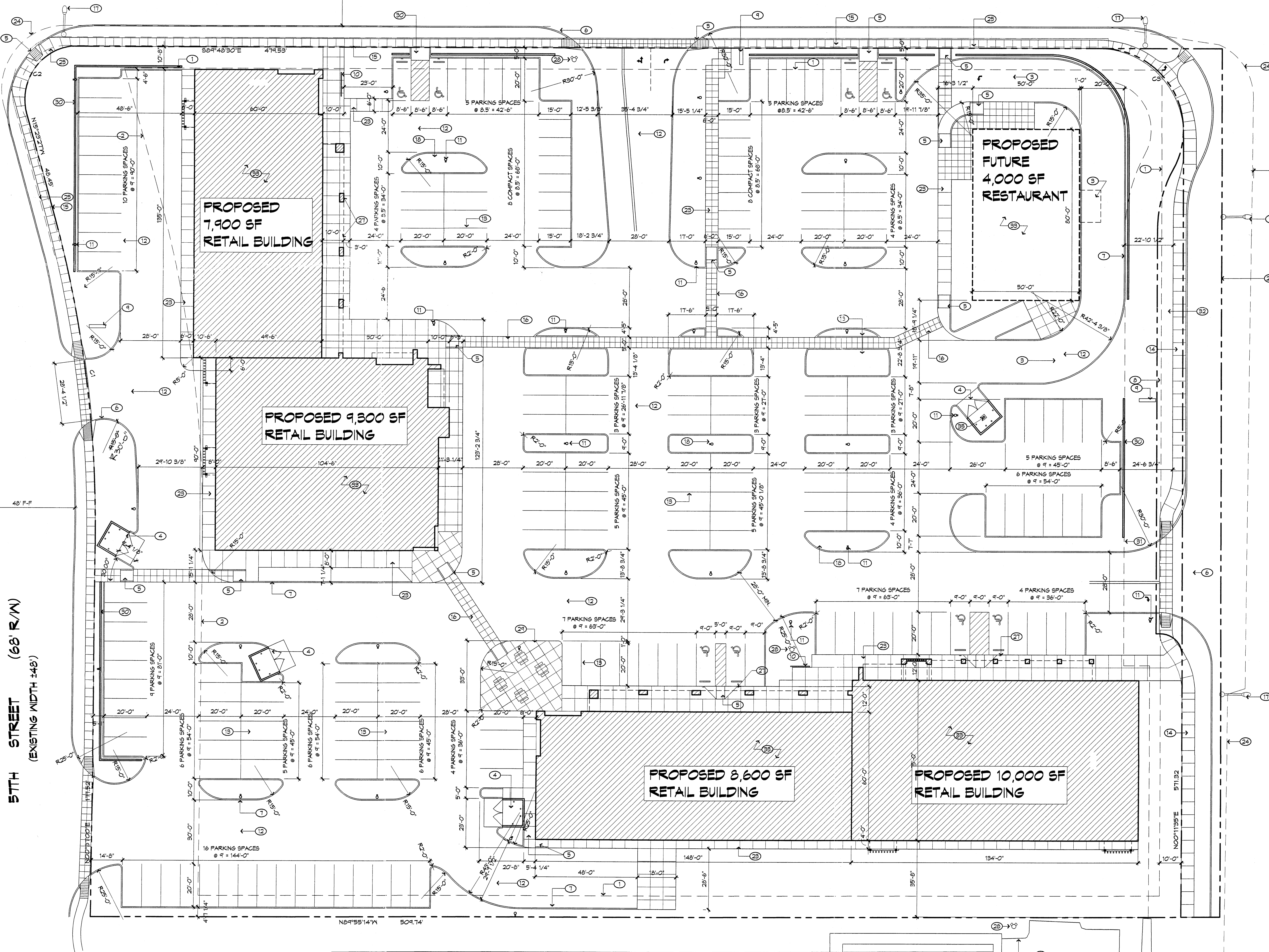


CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	199.39'	16°00'21"	949.00'	77.14'	N07°28'15"W	182.28'
C2	42.62'	47°40'12"	25.00'	28.34'	N33°26'34"E	37.64'
C3	54.64'	40°00'05"	38.00'	38.00'	S44°48'28"E	59.74'

REDLANDS ROAD (60' R/W)



GENERAL NOTES

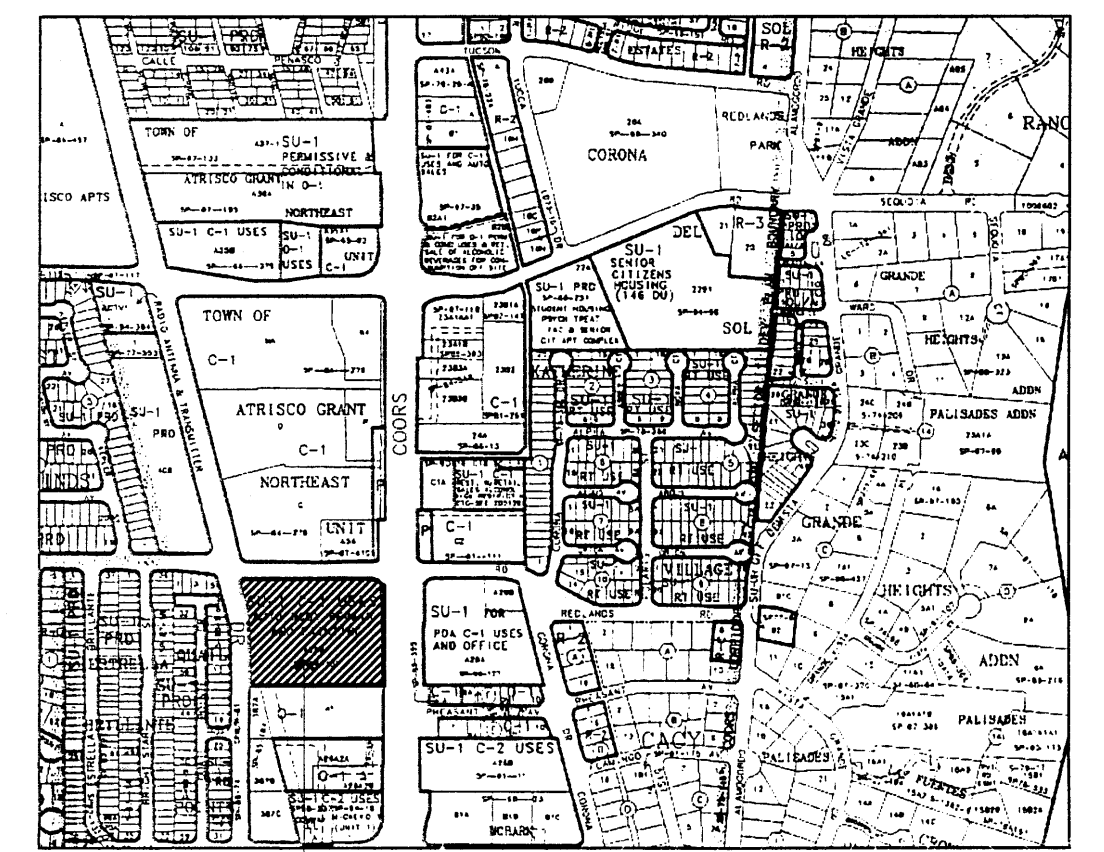
- A. BUILDING MOUNTED SIGNAGE - 48" MAXIMUM OF THE FACADE AREA. LETTERS TO BE CHANNELIZED OR NEON.
- B. ROOF TOP EQUIPMENT SHALL NOT BE VISIBLE FROM ADJACENT PROPERTY OR RIGHT-OF-WAYS. HEIGHT OF SUCH EQUIPMENT MUST BE BELOW PARAPET HEIGHT.

PROJECT DATA

- LEGAL DESCRIPTION
TRACT A-28-B1 OF THE NORTHEAST UNIT, TOWN OF ATRISCO GRANT, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAN FOR TRACT A-28-B1 AND A-28-B2 NORTHEAST UNIT, TOWN OF ATRISCO GRANT (Being a Replat of Tracts A-28 and A-28-1) Filed in the Office of the County Clerk of Bernalillo County, New Mexico, on May 3, 1996 in Map Book 78C, Folio 181.
- ZONING
CITY OF ALBUQUERQUE, NEW MEXICO ZONE G-1 S-U-1
AUTO BODY REPAIR AND PAINTING
- AREAS
TRACT AREA: 4.5723 ACRES - EXISTING
288 VACATED ROOM
BUILDING FOOTPRINTS: 34,800 SF
P.A.R.: .14
- PROPOSED USE
RETAIL CENTER
RESTAURANT
- Parking
PARKING REQUIRED (1 Per 200 NSF) 178
PARKING REQUIRED (1 Per 4 SEATS) 15
LESS 10% FOR TRANSIT 15
TOTAL REQUIRED 178
PARKING PROVIDED 200
ADA PARKING REQUIRED AND PROVIDED 2
BICYCLE PARKING REQUIRED (100 AUTOS) 10
BICYCLE PARKING PROVIDED 10
- LANDSCAPE
LANDSCAPE REQUIRED (15% NET LOT AREA) 25,344 SF
LANDSCAPE PROVIDED 34,035 SF

KEYED NOTES

1. 10' PUBLIC UTILITY EASEMENT
2. 30' PUBLIC UTILITY EASEMENT
3. RESTAURANT DRIVE-THRU LANE DRIVE THROUGH SHALL BE SHADED WITH AN ARCHITECTURALLY INTEGRATED CANOPY
4. 8" CMU REFUSE ENCLOSURE PER GOA SOLID WASTE DEPARTMENT STANDARDS, STUCCO TO MATCH PRIMARY BUILDING COLOR. REFER DETAIL 3, PAGE 6
5. ACCESSIBLE SIDEWALK RAMP
6. 8" CONCRETE CURB AND DRIVE ENTRY PER GOA STANDARDS
7. 8" CONCRETE CURB
8. 10' SET BACK
9. NEW MONUMENT SIGN, REFER DETAIL 1, PAGE 6 SIZE SHALL CONFORM TO THE GOA'S CORRIDOR PLAN SIGN AREA SHALL BE NO GREATER THAN 15 SF
10. BICYCLE RACK, 5 SPACES, REFER DETAIL 4, PAGE 6
11. LIGHT POLE, REFER DETAIL 2, PAGE 6
12. ASPHALTIC PAVING
13. 4" WIDE PAINTED PARKING STALL STRIPES, WHITE TYPICAL
14. 8" WIDE SIDEWALK
15. 4" WIDE SIDEWALK
16. TEXTURED CONCRETE PEDESTRIAN CROSSING
17. EXISTING LIGHT POLE
18. LANDSCAPED PARKING ISLAND
19. EXISTING OFFICE BUILDING
20. EXISTING BANK
21. EXISTING RETAIL TREE STORE
22. EXISTING PARKING AT OFFICE BUILDING
23. CONCRETE PAVK, WIDTH AS NOTED ON PLAN
24. EXISTING CURB
25. EXISTING 4" WIDE SIDE WALK
26. EXISTING PROPERTY LINE
27. HANDICAP PARKING STALL SIGN
28. FIRE HYDRANT
29. PLAZA WITH TABLES AND SEATING SHADED WITH SHADE TREES IN TREE GRATES 250 SF MINIMUM
30. 3" HIGH CMU WALLS TO SCREEN PARKING AREAS FROM THE STREET, STUCCO TO MATCH PRIMARY BUILDING COLOR
31. 15' LANDSCAPE BUFFER ALONG COORS BLVD.
32. 12' WIDE ROW DEDICATION FOR DECELERATION LANE
33. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THE SITE. ALTERNATIVELY, ROOFTOP EQUIPMENT SHALL BE SCREENED BY ROOFTOP WALLS THAT ARE PAINTED TO MATCH THE ROOF COLOR OR THE DOMINANT BUILDING COLOR. ALL BUILDING MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW THE TOP OF THE SCREEN WALL.
34. ANY ATIS SHALL BE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN
35. DRAIN TO SANITARY SEWER, THIS REFUSE ENCLOSURE ONLY.



VICINITY MAP
6-11-C

CASE NUMBER: 1002405
Site Development Plan for Building Permit

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE SPECIFIC MASTER DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 18, 2001, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAS BEEN COMPLIED WITH:

<i>Ribal Durr</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	8-26-03	DATE
<i>Andrew Sandora</i> PARKS & RECREATION DEPARTMENT	8/6/03	DATE
<i>Ronald Allen</i> PUBLIC WORKS, WATER UTILITIES DIVISION	2/6/04	DATE
<i>Budd & Bigham</i> CITY ENGINEER, ENGINEERING DIVISION / AMAFCA	2/9/04	DATE
<i>[Signature]</i> SOLID WASTE	5-28-03	DATE
<i>[Signature]</i> CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	3/6/03	DATE

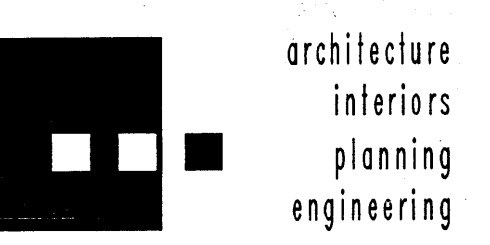
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual

REVISIONS

△	
△	
△	
△	
△	

DRAWN BY: PB
REVIEWED BY: [Signature]
DATE: 4/21/08
PROJECT NO.: 02041
DRAWING NAME: DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NO. 1 OF 6



Dekker Perich Sabatini

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

ARCHITECT

ENGINEER

PROJECT

Coors & Redlands Shopping Center
Westerly Portion Tract A-28 & A-29
Coors Blvd. and Redlands Road

PROS 1002405

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

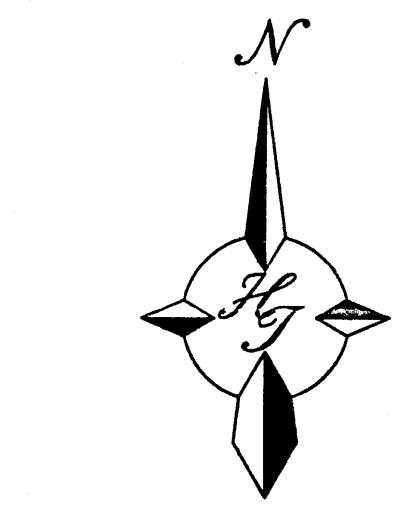
NET LANDSCAPE AREA	
TOTAL LOT AREA	208,762 square feet
TOTAL BUILDINGS AREA	39,800 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	168,962 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	25,344 square feet
TOTAL LANDSCAPE PROVIDED	34,663 square feet
TOTAL BED PROVIDED	34,663 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

PLANT LEGEND

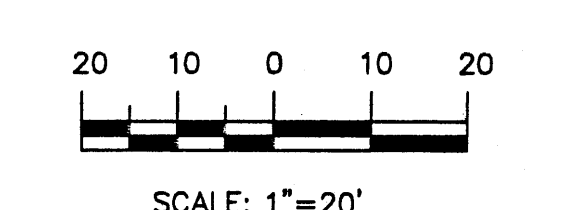
- ASH (H) AND HONEY LOCUST (H) 53
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- FLOWERING PEAR (H) 30
Pyrus calleryana
2" Cal.
- PINON PINE (M) 2
Pinus edulis
6"-8"
- WASHINGTON HAWTHORN (H) 11
Crotaegus phaenopyrum
15 Gal.
- PALM YUCCA (L) 5
- APACHE PLUME (L) 4
Fallugia paradoxa
5 Gal. 25sf
- BLUE MIST SPIREA (M) 15
Corydalis clandonensis
5 Gal.
- LANAS/ SCOTCH BROOM (M) 35
Cytisus scoparius/
Genista hispanica
5 Gal.
- RED YUCCA (L) 35
Hesperaloe parviflora
5 Gal.
- NANDINA (M) 15
Nandina domestica
5 Gal. 25sf
- MAIDENGRASS (M) 47
Miscanthus sinensis
5 Gal. 16sf
- INDIAN HAWTHORN (M) 53
Raphiolepis indica
5 Gal.
- RUSSIAN SAGE (M) 13
Perovskia atriplicifolia
5 Gal.
- AUTUMN SAGE (M) 46
Salvia greggii
5 Gal. 9sf
- HONEYSUCKLE (M) 46
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
- CHAMISA (L) 45
Chrysothamnus nauseosus
1 Gal. 25sf
- WILDFLOWER 147
1 Gal. 4sf
- CREEPING ROSEMARY (M) 69
Rosmarinus officinalis
2 Gal. 36sf
Symbol indicated 3 plants
- VINE 7
1 Gal. 200sf
- OVERSIZED GRAVEL & 25 BOULDERS
- SANTA FE BROWN WITH FILTER FABRIC



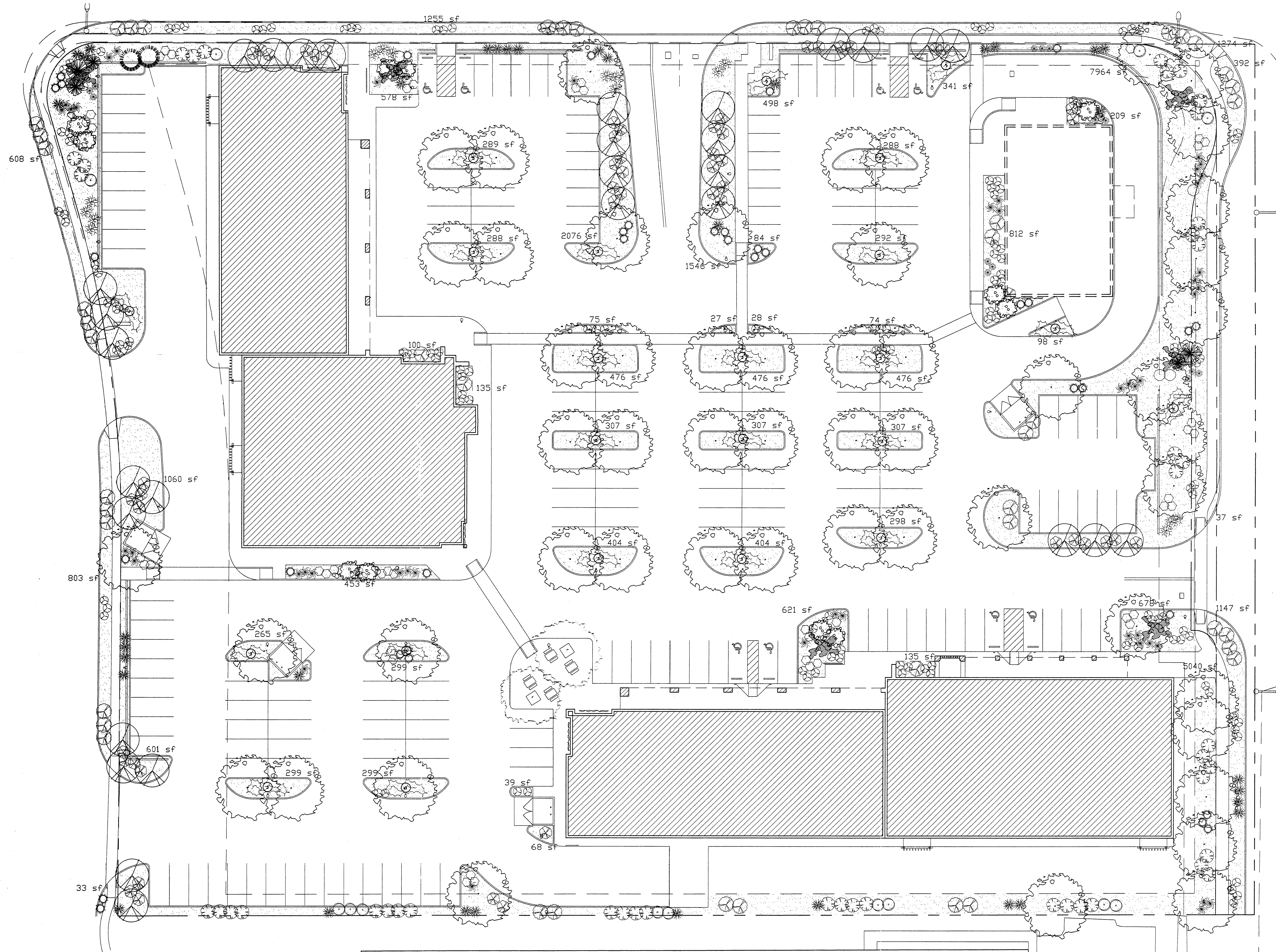
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com



GRAPHIC SCALE



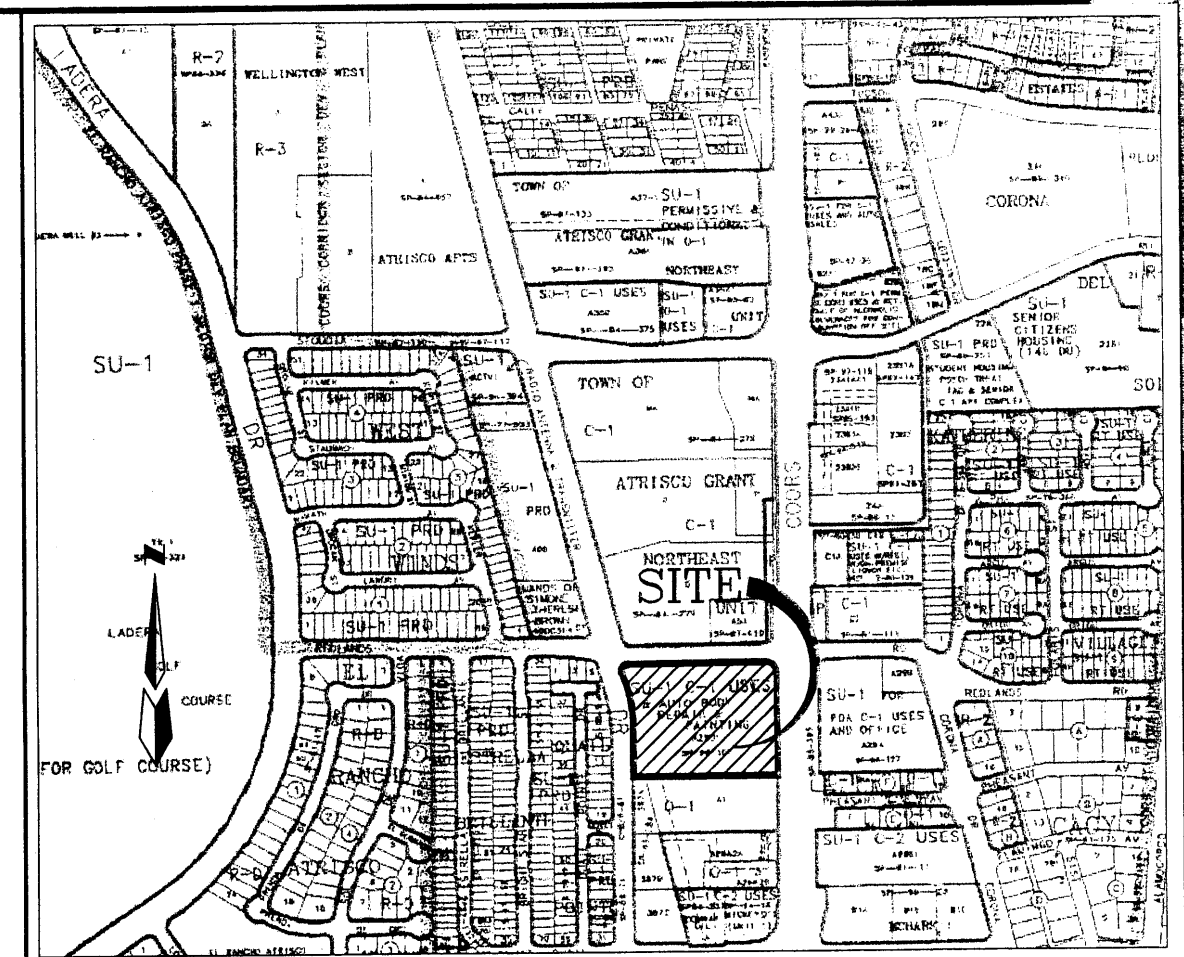
THE HILLTOP expressly reserves the copyright in this drawing and all other property rights therein. These plans are not to be reproduced, changed or copied in any manner whatsoever, nor are they to be supplied to any third party without obtaining the express written permission and consent of THE HILLTOP.



STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Coors Blvd.	Provided	Required
14	14	14



VICINITY MAP ZONE MAP: G-11-Z

GENERAL NOTES

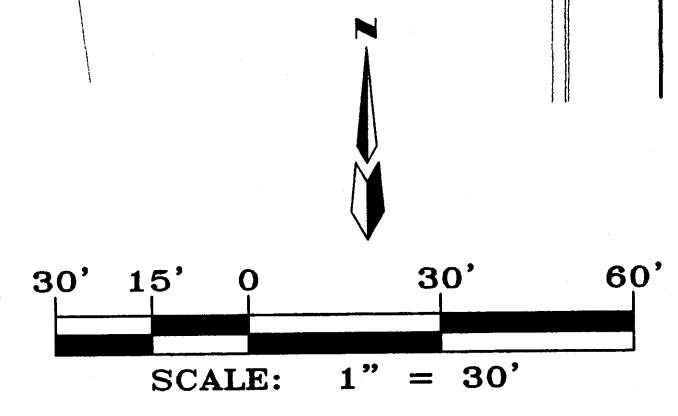
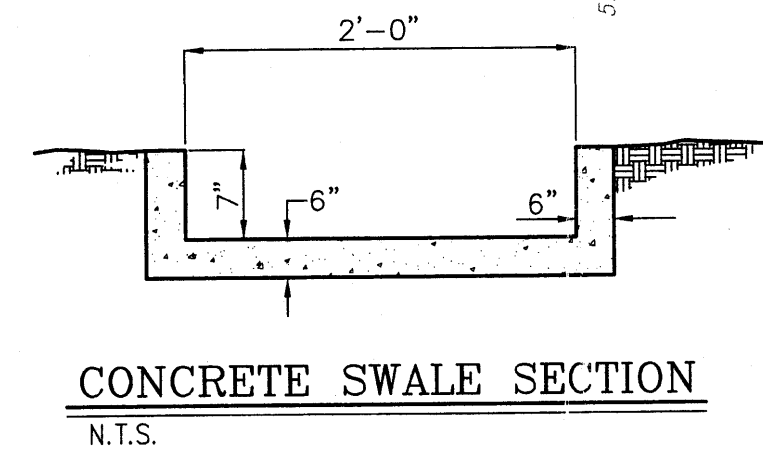
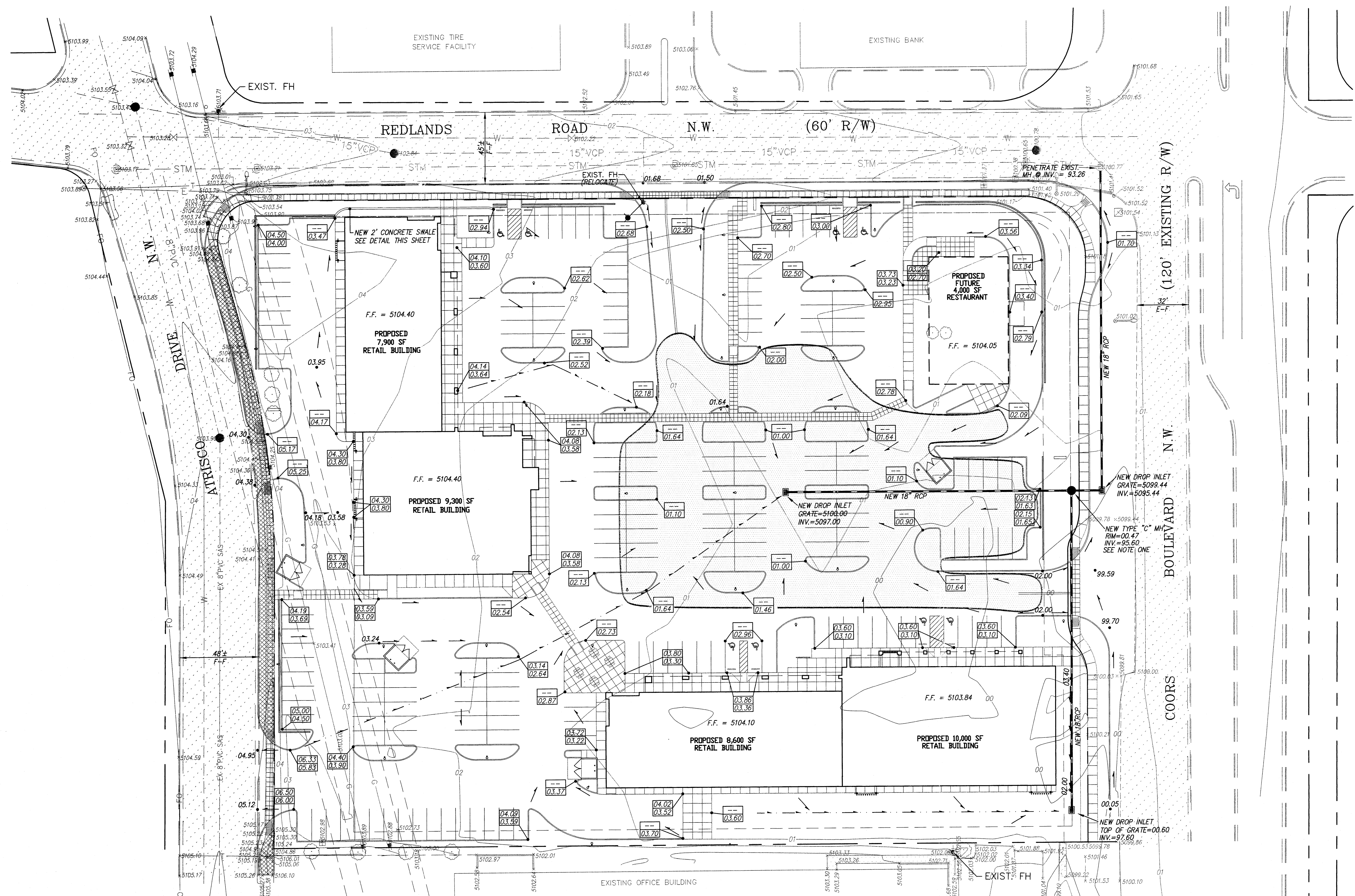
1. THE OPENING FROM THE ON-SITE DROP INLET TO THE 18" RCP OUTFALL SHALL BE COVERED WITH A 1/4" THICK STAINLESS STEEL PLATE WITH A 3 1/2" DIAMETER BORING LOCATED SO THAT ITS BOTTOM MATCHES THE FLOWLINE OF THE RCP.
2. SEE CITY HYDROLOGY FILE FOR DETAILED DRAINAGE INFORMATION.
3. THIS PLAN SHALL BE FOLLOWED-UP BY A MORE DETAILED GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT.
4. THIS PROPERTY IS NOT LOCATED IN A FEMA FLOODPLAIN PER FIRM NO. 3500100327.
5. THERE ARE NO SIGNIFICANT OFFSITE FLOWS ENTERING THIS SITE. EXISTING MINOR OFF-SITE FLOWS FROM THE SOUTH WILL BE ROUTED THROUGH THE SITE.
6. PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING DRAINAGE IMPROVEMENTS ON THE PROPERTY SO THAT THEY CONTINUE TO FUNCTION PROPERLY YEAR AFTER YEAR.
7. ELEVATIONS SHOWN HEREON ARE INTENDED TO BE FINAL GRADES. OWNER, ROUGH GRADING CONTRACTOR AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR ASSURING THAT AFTER ALL WORK IS COMPLETE, SITE'S FINAL SURFACE GRADES ARE AS SHOWN HEREON.
8. EARTHWORK CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FOLLOWING REQUIREMENTS OF THE SURFACE DISTURBANCE PERMIT FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT.
9. OWNER AND ALL ASSOCIATED CONTRACTORS WHO ENGAGE IN ALTERATION OF SITE SURFACES OUTSIDE OF BUILDINGS, SHALL FILE A NOTICE OF INTENT WITH EPA AND FOLLOW STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS.

LEGAL DESCRIPTION

TRACT 4-28-B1 AND A-28-B2, NORTHEAST UNIT, TOWN OF ATRISCO GRANT, SECTION 2 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO.

LEGEND

x 00.10	EXISTING SPOT ELEV.
00.64 00.12	PROPOSED TOP OF CURB AND FLOWLINE SPOT ELEVATIONS
---	PROPERTY LINE
---	EASEMENT LINE
5102	EXISTING CONTOUR LINE
STM	EXISTING STORM DRAIN LINE
---	EXISTING CURB & GUTTER
---	EXISTING EDGE OF PAVEMENT
---	EXISTING CONCRETE/SIDEWALK
---	EXISTING PAVEMENT
---	NEW POND AREA



Professional Engineer Seal for Mark Goodwin, State of New Mexico, License No. 11878. Signature: John H. [unclear] 5-15-03

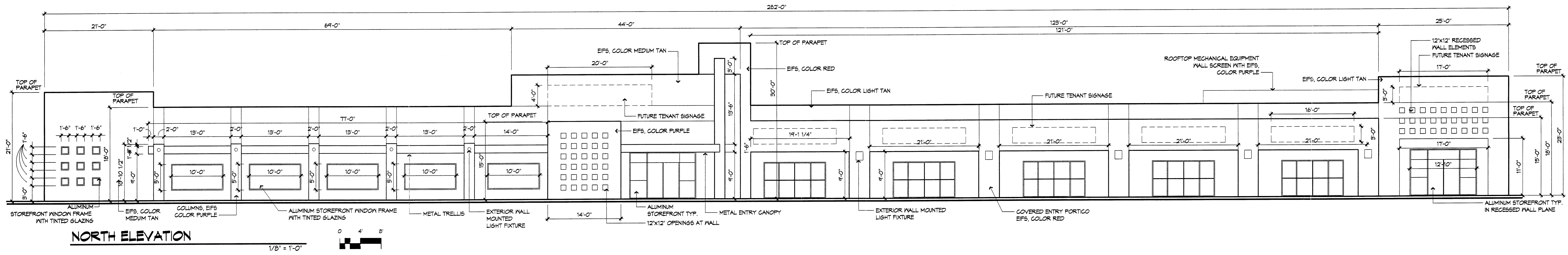
REDLANDS SHOPPING CENTER
CONCEPTUAL GRADING & DRAINAGE

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

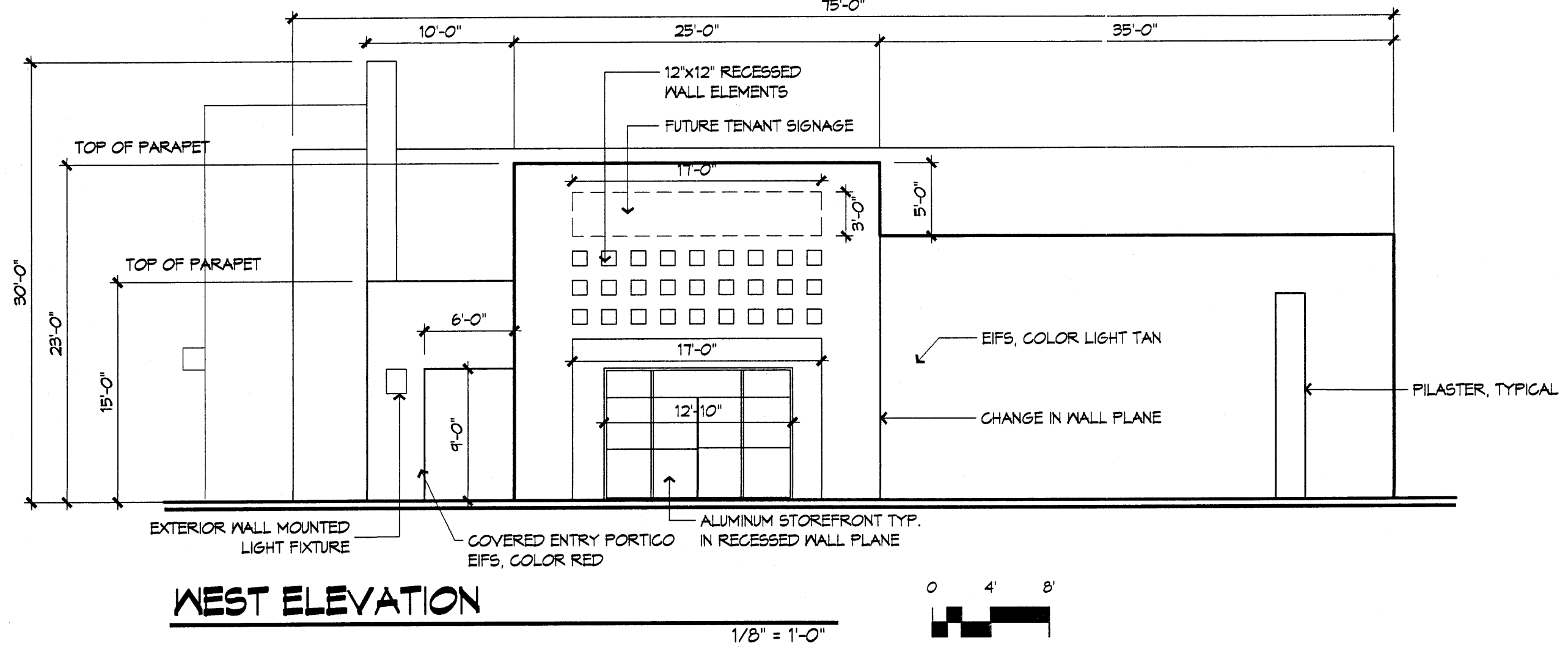
Designed: JMM Drawn: MJR Checked: DMG Sheet 3 of 6
Scale: 1" = 30' Date: 04/02/03 Job: A02104

A02jpb\A2104\rc\A2104gd.dwg\05-14-03\ MJR ACH

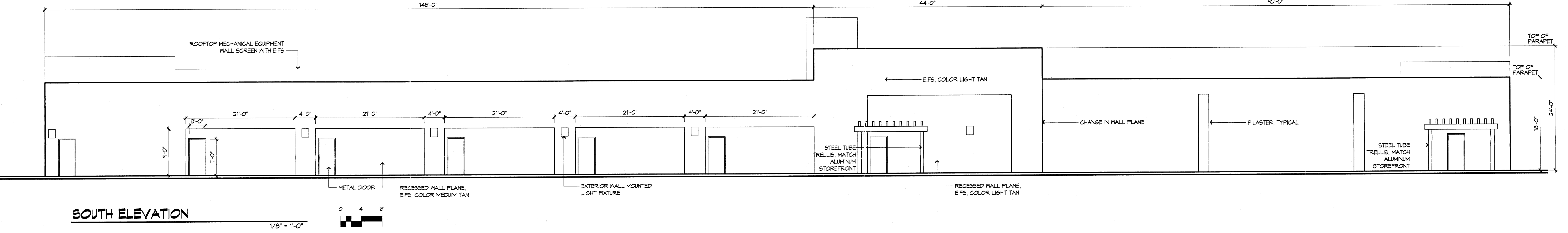
PROJECT 1002405



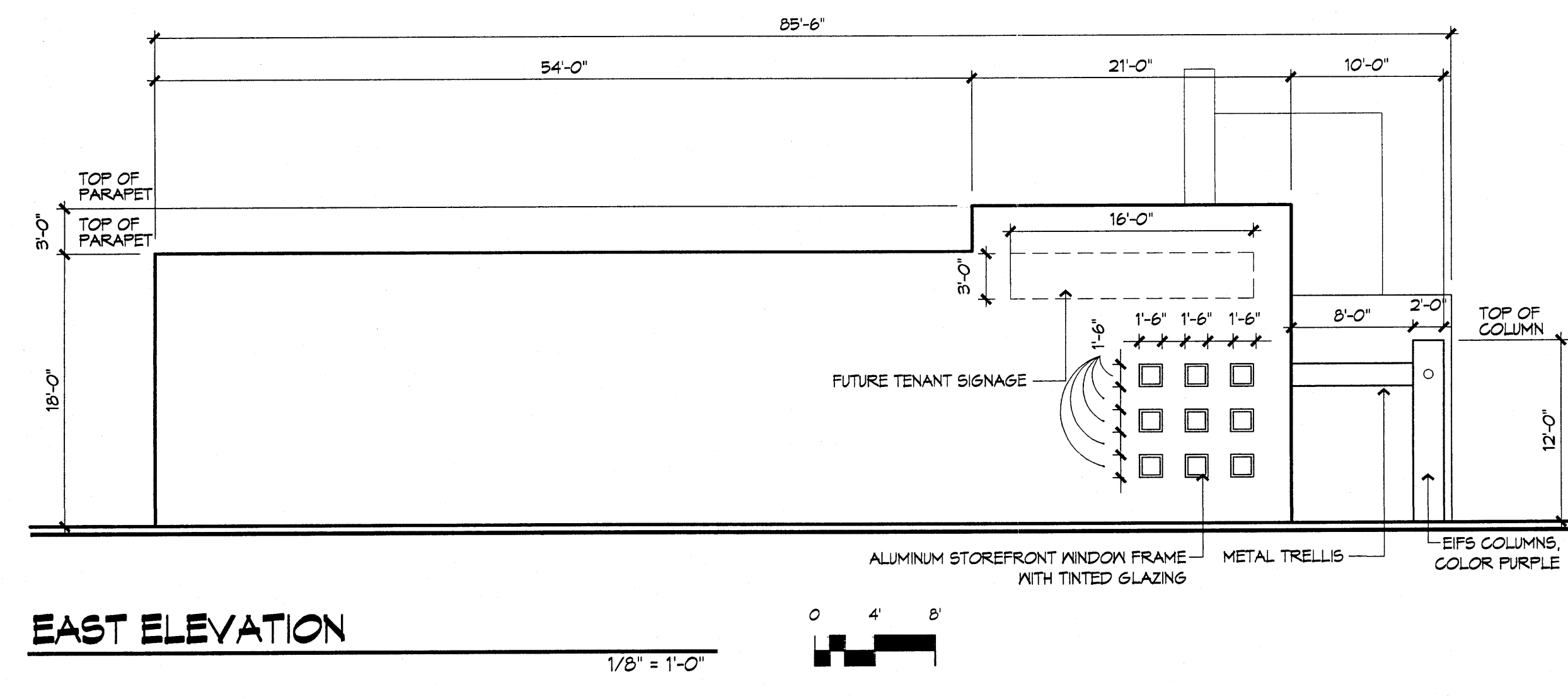
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

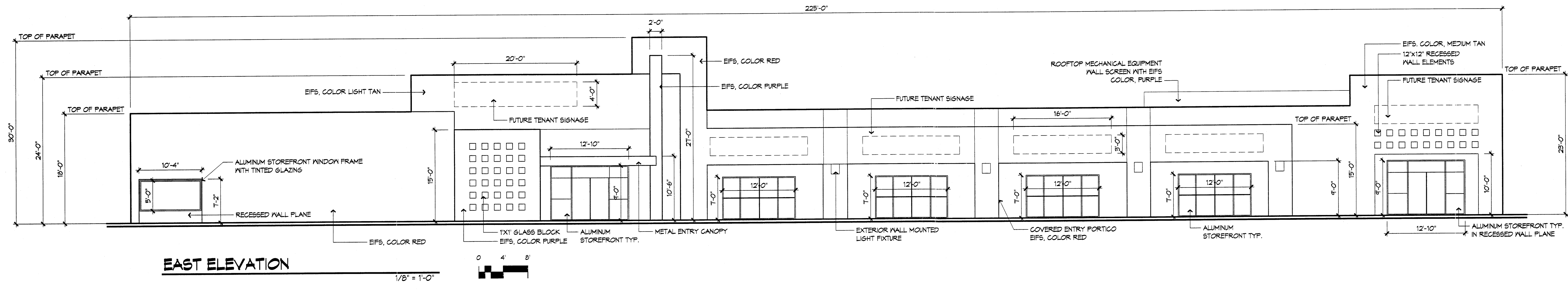


EAST ELEVATION

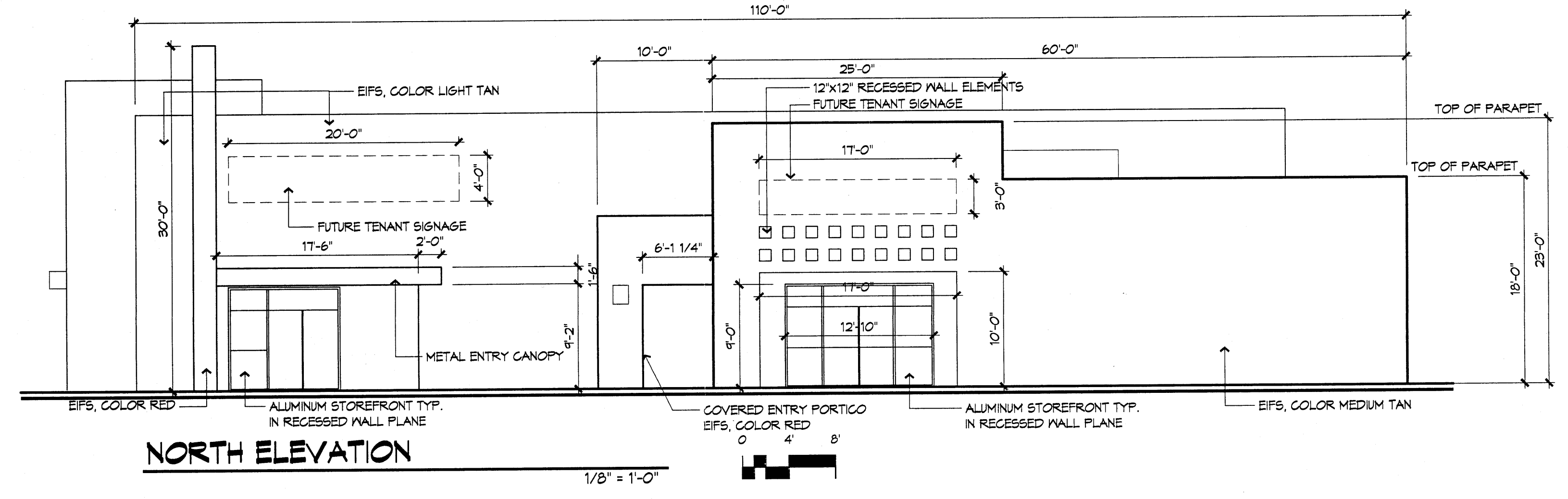
Coors & Redlands Shopping Center
Westerly Portion Tract A-28 & A-29
Coors Blvd. and Redlands Road

REVISIONS

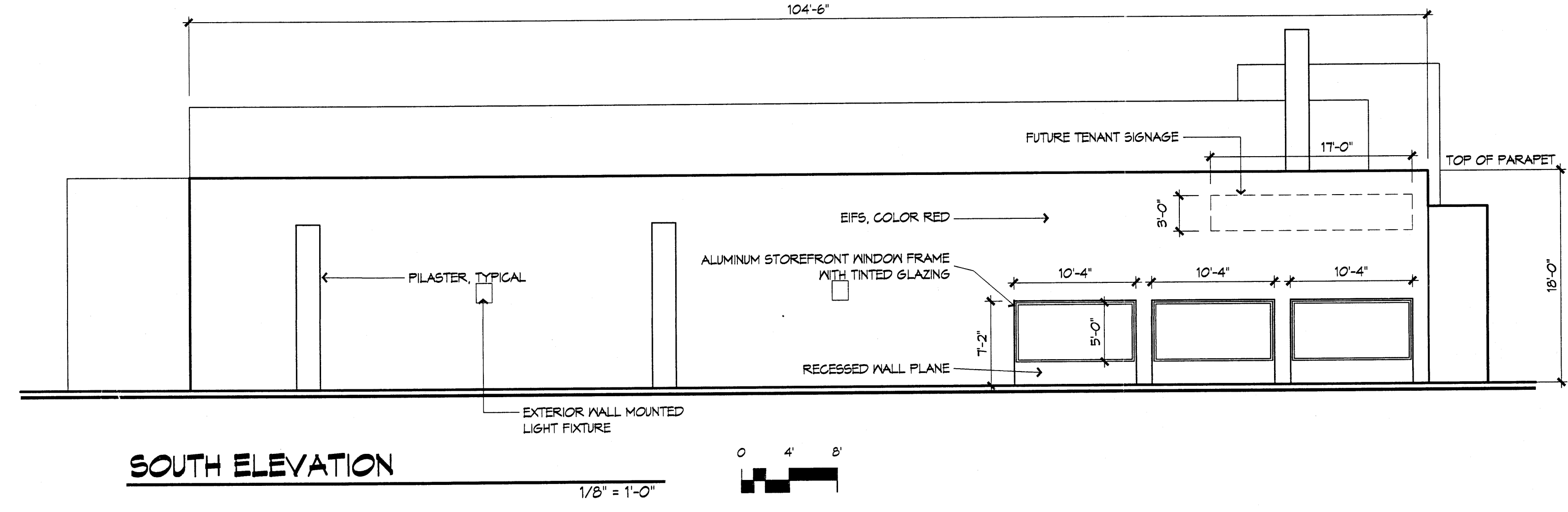
DRAWN BY	FB
REVIEWED BY	
DATE	4/21/08
PROJECT NO.	02041
DRAWING NAME	BUILDING ELEVATIONS



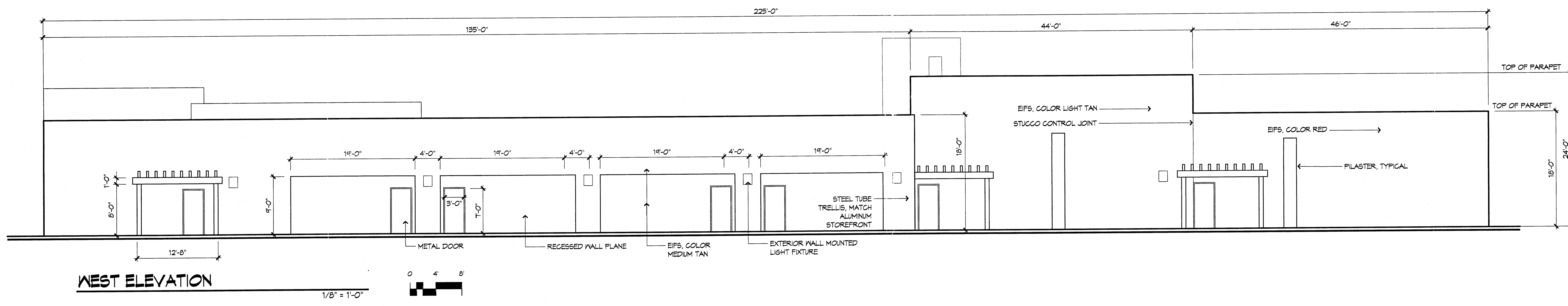
EAST ELEVATION



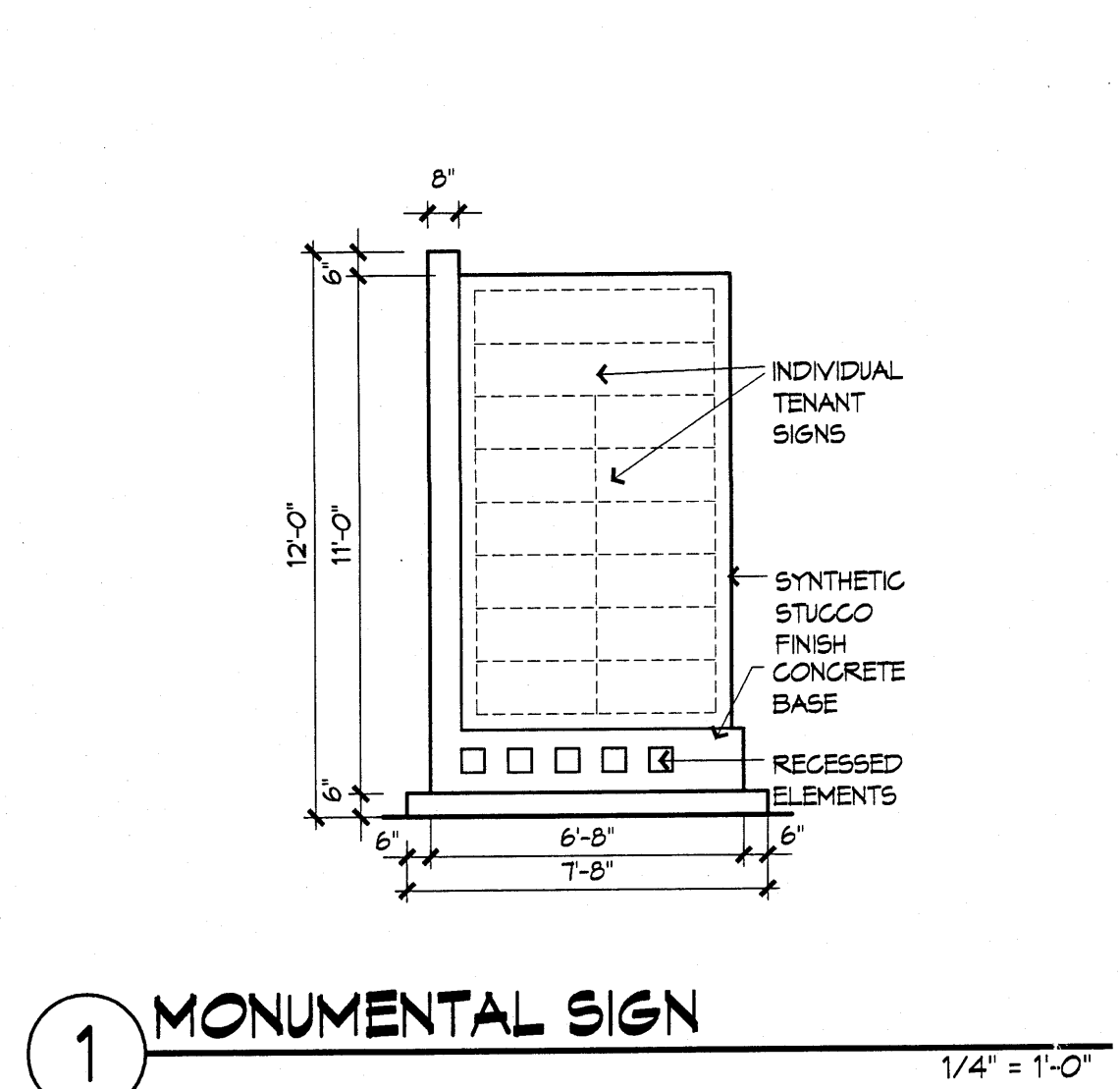
NORTH ELEVATION



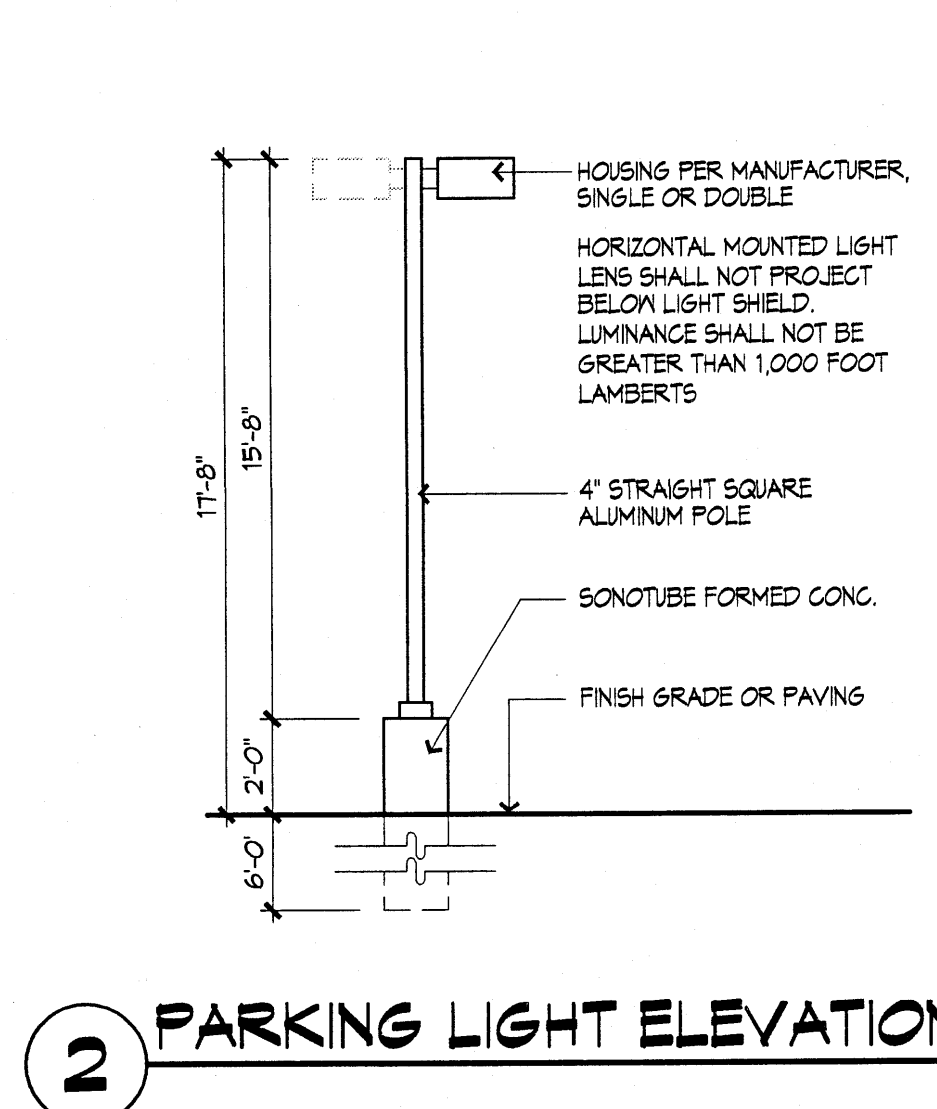
SOUTH ELEVATION



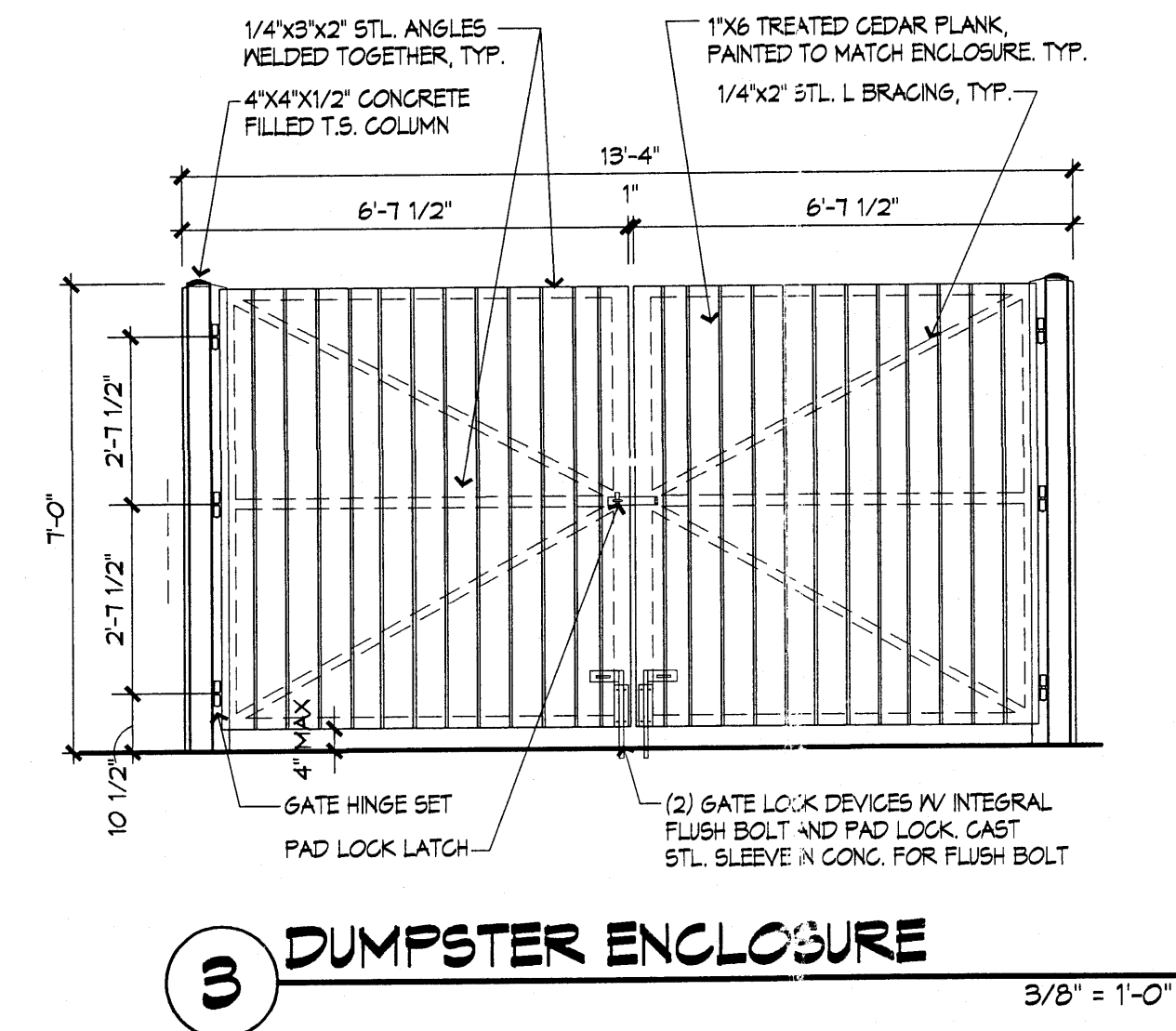
WEST ELEVATION



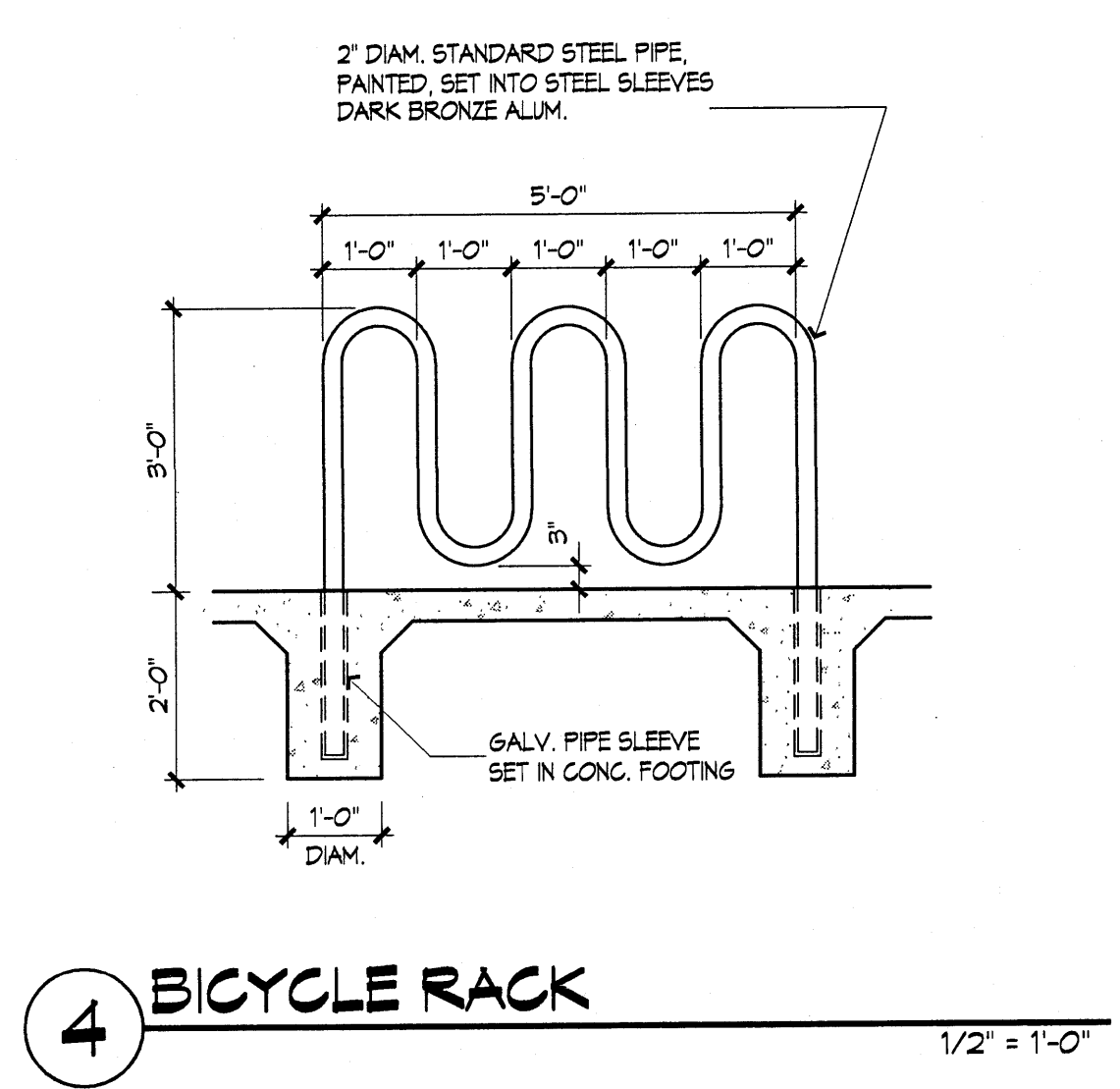
1 MONUMENTAL SIGN



2 PARKING LIGHT ELEVATION



3 DUMPSTER ENCLOSURE



4 BICYCLE RACK

REVISIONS

DRAWN BY	FB
REVIEWED BY	
DATE	4/21/05
PROJECT NO.	02041
DRAWING NAME	BUILDING ELEVATIONS