

GENERAL NOTES

- A. BUILDING MOUNTED SIGNAGE : 6% MAXIMUM OF THE FACADE AREA. LETTERS TO BE CHANNELIZED OR NEON.
- B. ROOF TOP EQUIPMENT SHALL NOT BE VISIBLE FROM ADJACENT PROPERTY OR RIGHT-OF-WAYS. HEIGHT OF SUCH EQUIPMENT MUST BE BELOW PARAPET HEIGHT.

PROJECT DATA

1. LEGAL DESCRIPTION
TRACT A-28-B1 of the NORTHEAST UNIT, TOWN OF ATRISCO GRANT, as the same is shown and designated on the Plat for TRACT A-28-B1 and A-28-B2 NORTHEAST UNIT, TOWN OF ATRISCO GRANT (Being a Replot of Tracts A-28 and A-29) filed in the Office of the County Clerk of Bernalillo County, New Mexico, on May 3, 1996 in Map Book 960, Folio 181.
2. ZONING
CITY OF ALBUQUERQUE, NEW MEXICO ZONE: C-1 SU-1
AUTO BODY REPAIR AND PAINTING
AREAS
TRACT AREA: 1.72 ACRES
BUILDING FOOTPRINT: 11,470 SF
F.A.R.: .15
HEIGHT: 26 FT
4. PROPOSED USE
CAR WASH
5. PARKING
PARKING REQUIRED 11,470 SF BLDG.
EMPLOYEES PER SHIFT 8
120 SF OFFICE SPACE 1/200 SF 1
1 ACCESSIBLE SPACE 2
TOTAL PARKING PROVIDED 19
BICYCLE PARKING PROVIDED 1
6. LANDSCAPE
LANDSCAPE REQUIRED (15% NET LOT AREA) 9,135 SF
LANDSCAPE PROVIDED 13,299 SF
7. PARKING NOTES
TYPICAL STANDARD SPACES: 9'-0" X 20'-0"
TYPICAL HC SPACES: 8'-6" X 20'-0"
ALL SPACES ARE STANDARD UNLESS OTHERWISE NOTED

PROJECT NUMBER: 1002405
 APPLICATION NUMBER: 24DRB-0177

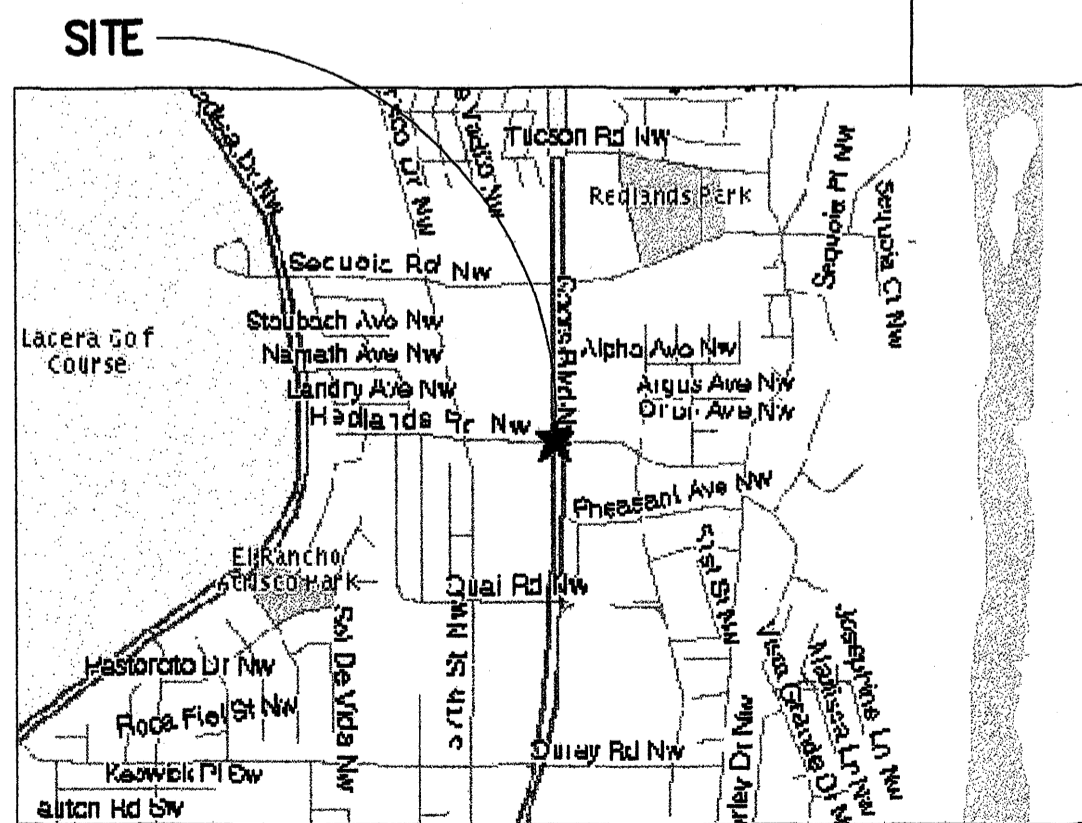
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) on [] and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

Is an Infrastructure List required? () YES (X) NO
 If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	<u>[Signature]</u>	<u>12-1-04</u>
Utilities Development	<u>[Signature]</u>	<u>12-1-04</u>
Parks and Recreation Department	<u>Christina Sandoval</u>	<u>12/1/04</u>
City Engineer, Engineering Division / AMAFCA	<u>Bradley S. Simpson</u>	<u>12/1/04</u>
Environmental Health Department (conditional)	<u>[Signature]</u>	
Solid Waste Management	<u>Michael Holton</u>	<u>11-23-04</u>
DRB Chairperson, Planning Department	<u>[Signature]</u>	<u>1/5/05</u>

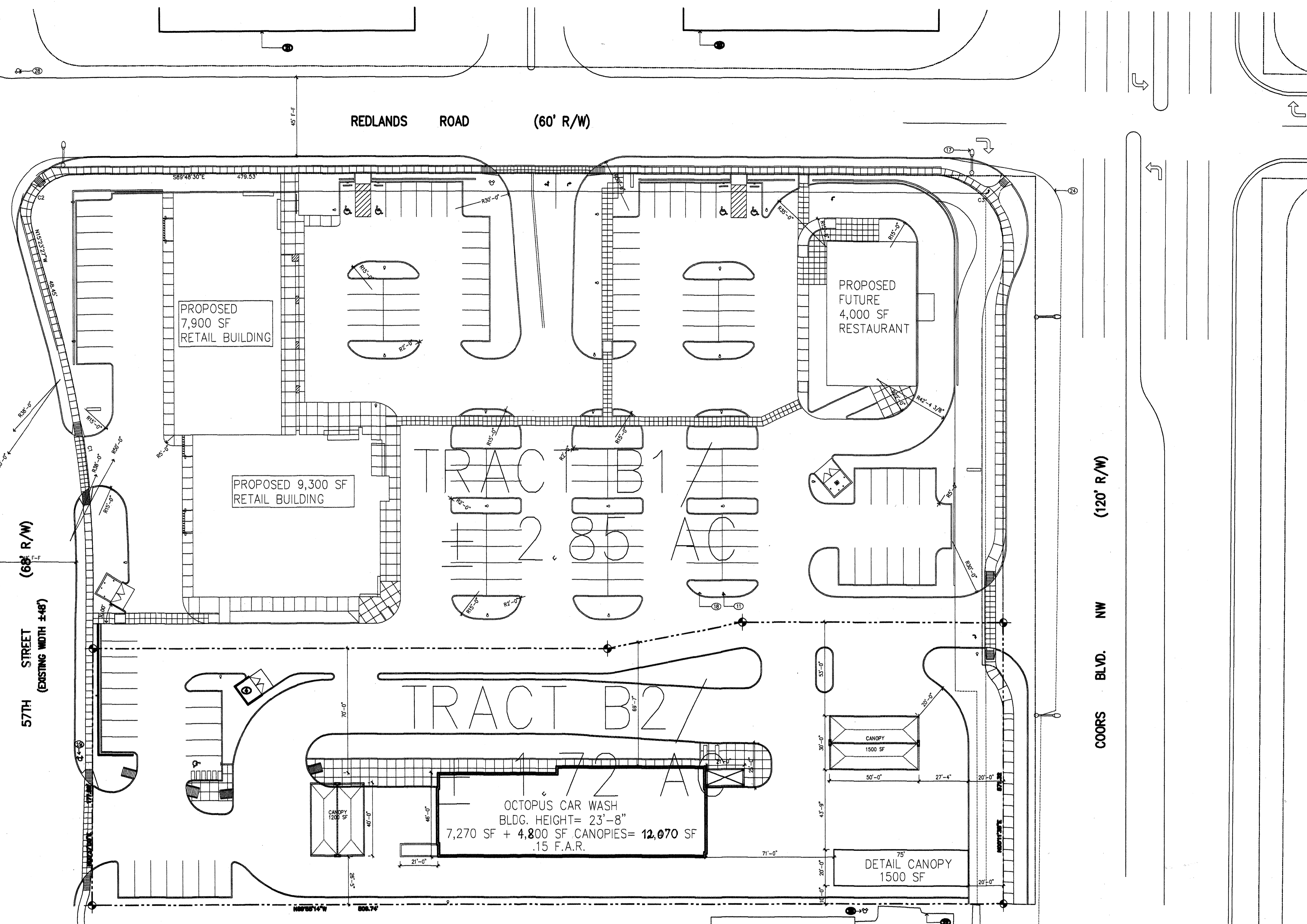
* Environmental Health, if necessary



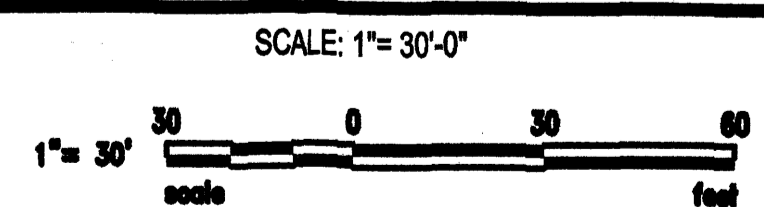
VICINITY MAP

RADIUS INFORMATION:

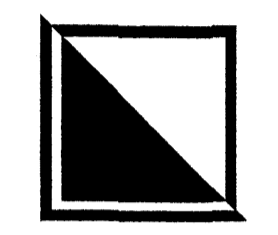
- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
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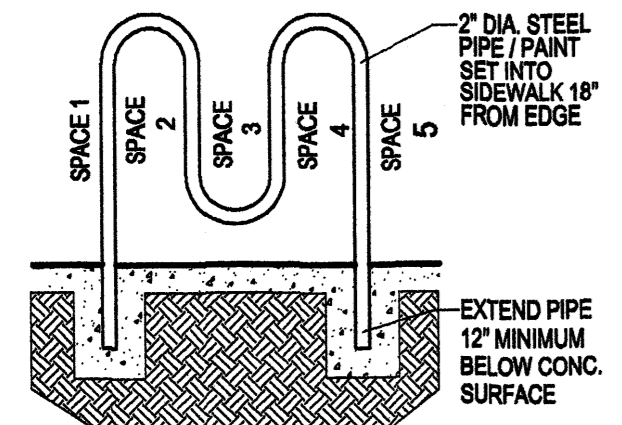
SITEPLAN



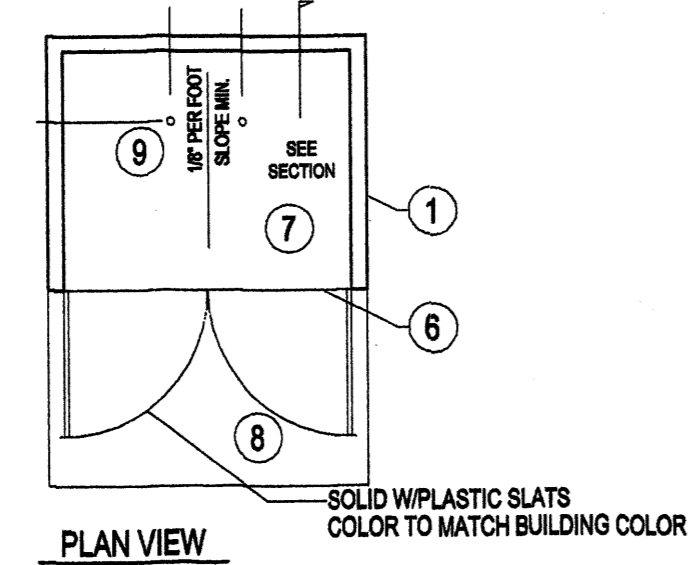
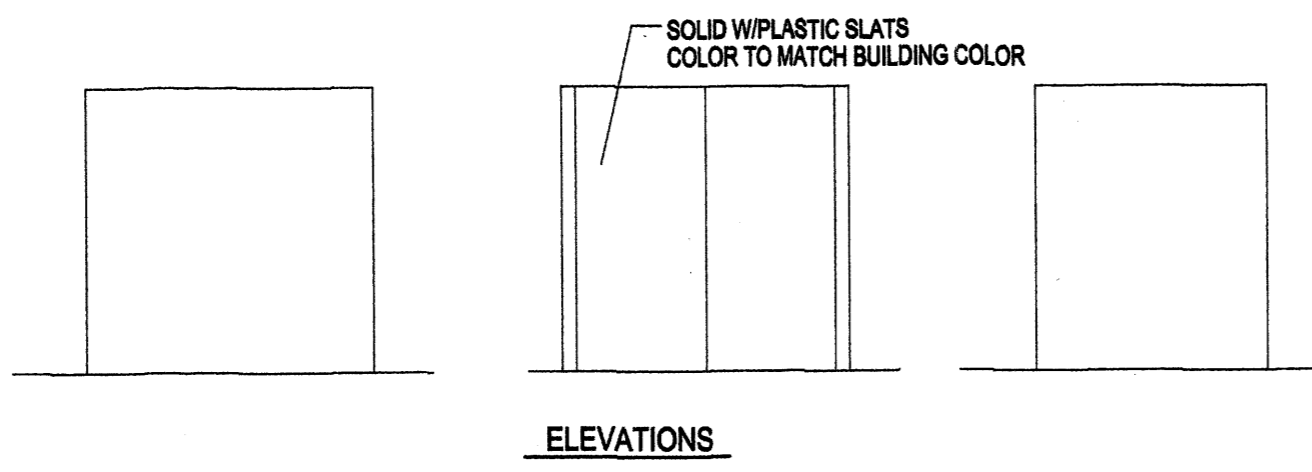
AFD Plans Checking Office
 924-3611
 HYDRANTS ONLY
 Hydrants shall be installed prior to construction
 APPROVED/DISAPPROVED
[Signature] 11-23-04
 Signature & Date

REVISION					
REV	DATE	BY			
1					
2					
3					
4					
5					
 GEORGE RAINHART ARCHITECT AND ASSOCIATES PC 2325 SAN PEDRO N.E. SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 884-9110 FAX (505) 837-9877					
PROJECT TITLE: OCTOPUS CARWASH COORS BLVD. NW & REDLANDS RD. NW ALBUQUERQUE, NEW MEXICO PROJECT MANAGER: MIKE SAFRANY JOB NO.: [] DRAWN BY: MPS SHEET TITLE: SITE PLAN - SUBDIVISION					
DATE: 5-21-04		sheet: A1.1			
SCALE: AS NOTED		of:			

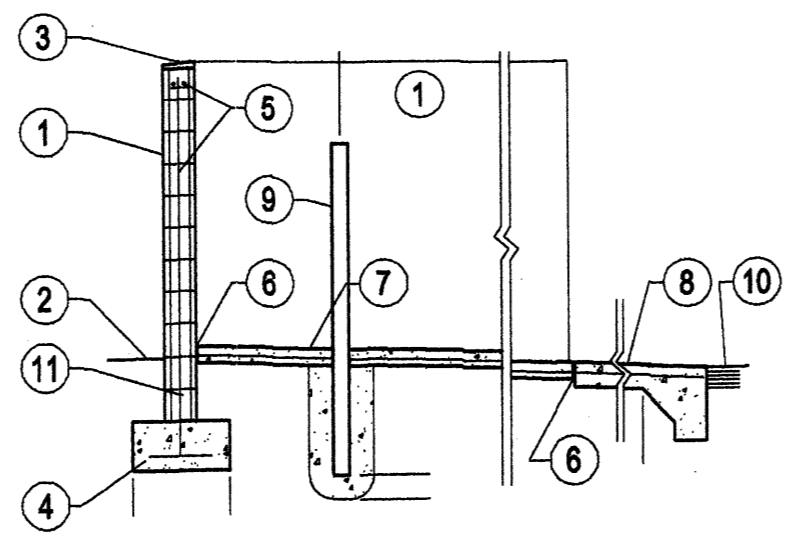
PROJ# 1002405



10 BIKE RACK DETAIL
NTS



PLAN VIEW

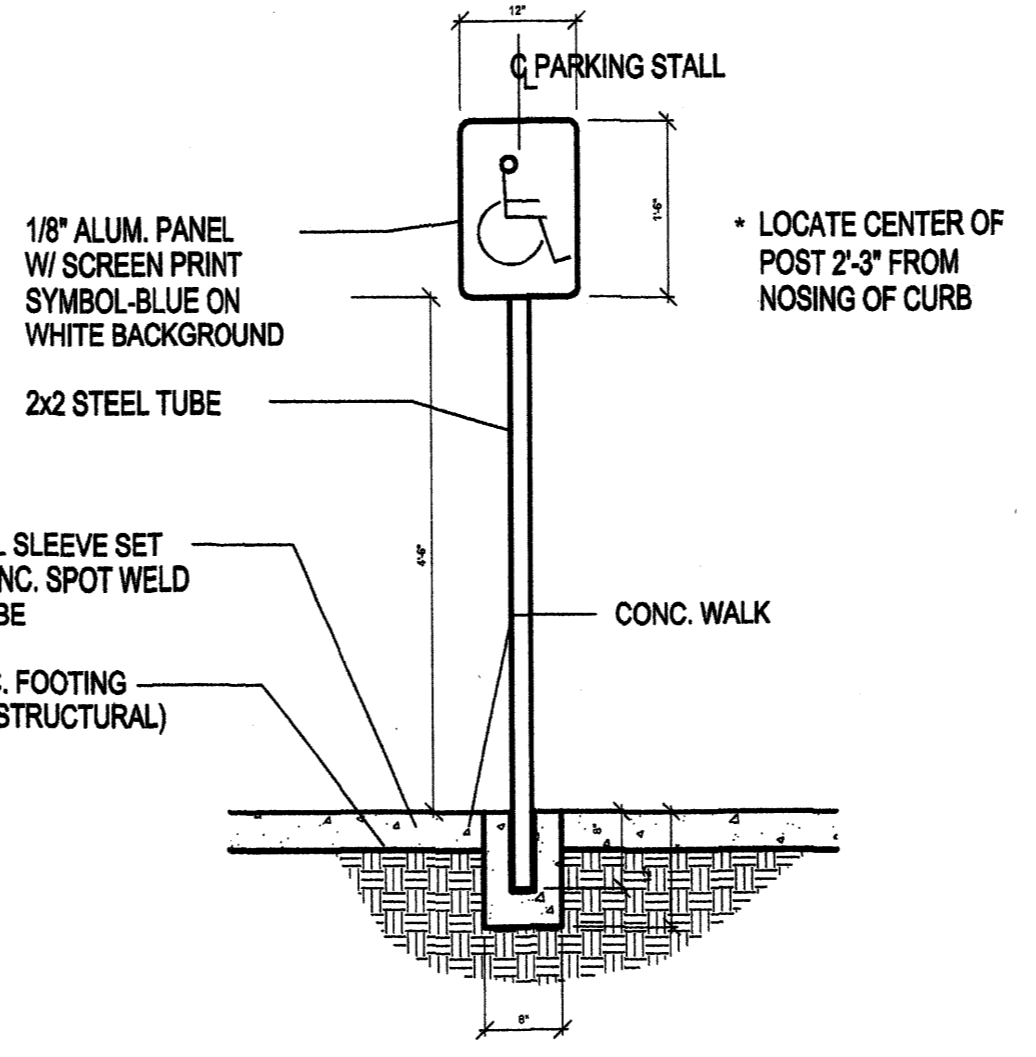


SECTION

REFUSE CONTAINER NOTES

1. PRECAST CONCRETE WALL FINISH TO MATCH BLDG.
2. FINISH GRADE.
3. SLOPE STUCCO CAP.
4. 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
5. 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
6. 1/2" EXPANSION JOINT MATERIAL
7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM.
8. 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM W/ TURNDOWN EDGE.
9. 4" CONCRETE FILLED PIPE IN 18" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH STUCCO FINISH.
10. ASPHALT PAVING
11. GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

4 REFUSE CONTAINER DETAILS
NTS



27 HC PARKING SIGN
Scale: Not to Scale

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PROJECT DATA

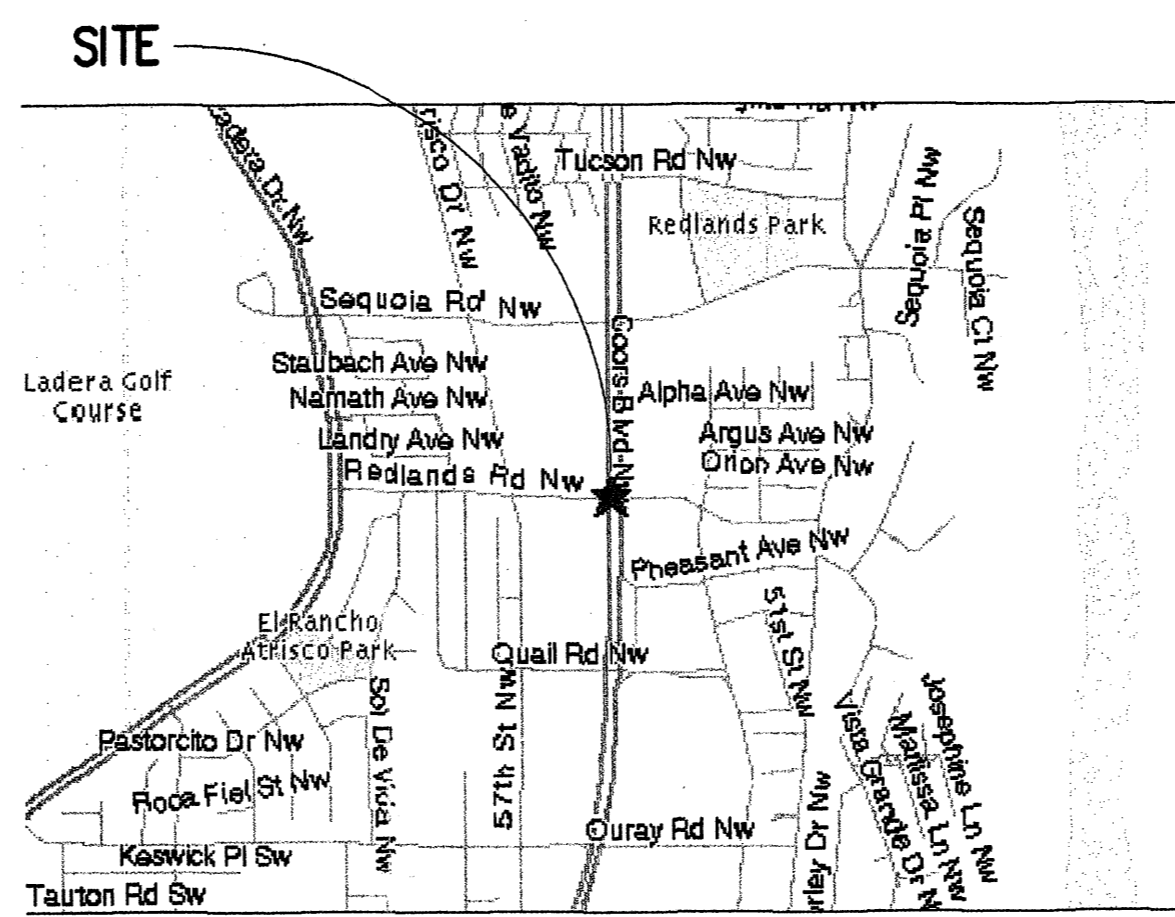
1. LEGAL DESCRIPTION
TRACT A-28-81 OF THE NORTHEAST UNIT, TOWN OF ATRISCO GRANT, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FOR TRACT A-28-81 AND A-28-82 NORTHEAST UNIT, TOWN OF ATRISCO GRANT (Being a Replat of Tracts A-28 and A-29) filed in the Office of the County Clerk of Bernalillo County, New Mexico, on May 3, 1996 in Map Book 96C, Folio 181.
2. ZONING
CITY OF ALBUQUERQUE, NEW MEXICO ZONE: C-1 SU-1
AUTO BODY REPAIR AND PAINTING
AREAS
TRACT AREA: 1.72 ACRES
BUILDING FOOTPRINT: 11,118 SF
F.A.R.: .15
HEIGHT: 26 FT
4. PROPOSED USE
CAR WASH
5. PARKING
PARKING REQUIRED: 11,118 SF BLDG.
EMPLOYEES PER SHIFT: 8
120 SF OFFICE SPACE 1/200 SF
ACCESSIBLE SPACE: 1
TOTAL PARKING PROVIDED: 18
BICYCLE PARKING PROVIDED: 5
6. LANDSCAPE
LANDSCAPE REQUIRED (15% NET LOT AREA): 9,135 SF
LANDSCAPE PROVIDED: 13,299 SF
7. PARKING NOTES
TYPICAL STANDARD SPACES: 9'-0" X 20'-0"
TYPICAL HC SPACES: 8'-6" X 20'-0"

11,118 SF BLDG.	8	1	18	5	9'-0" X 20'-0"	8'-6" X 20'-0"
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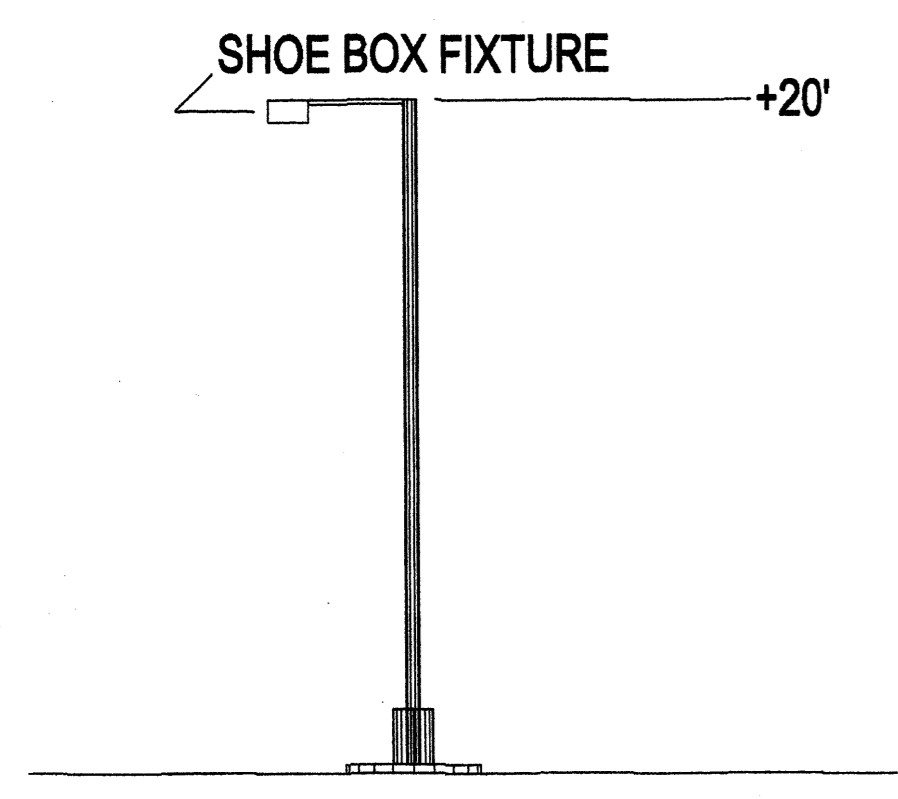
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Note: "All canopies shall be maintained by the property owner in order to preserve the visual integrity of the site."

Note: A minimum of 5 container trees should be planted in the 6' buffer strip along the southern boundary of the site to screen the southern facade from the adjacent office buildings.



VICINITY MAP



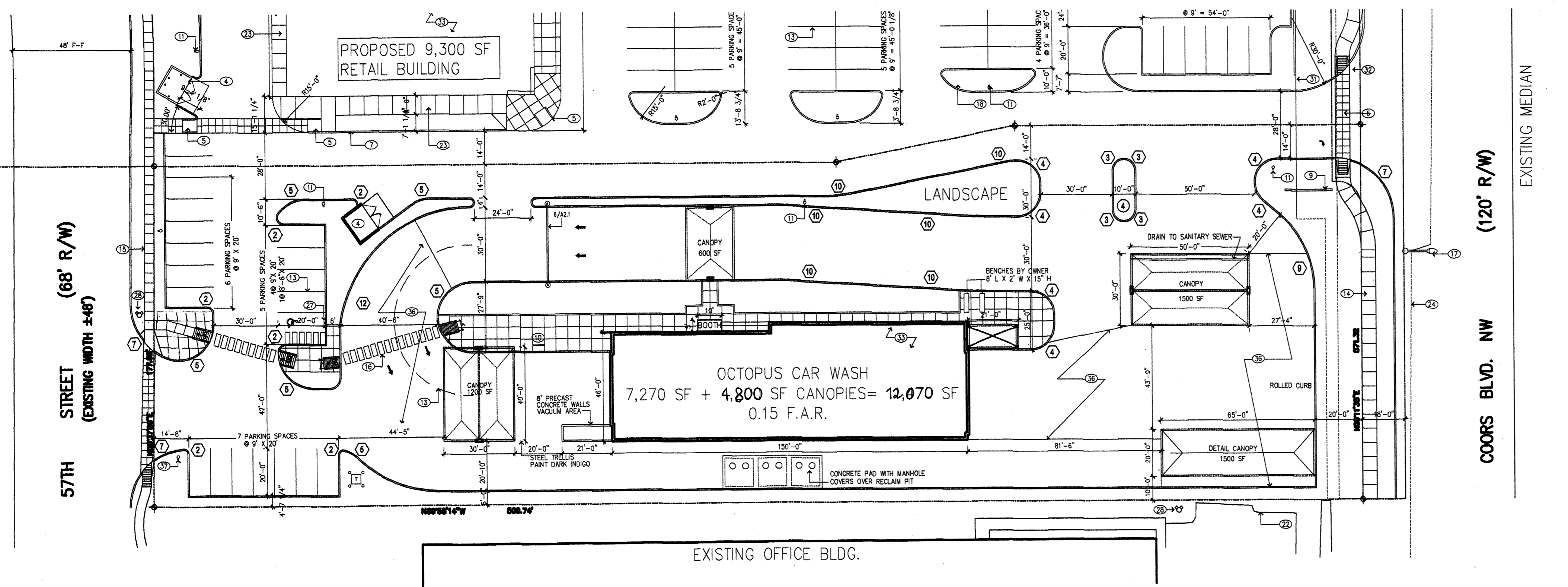
11 SITE LIGHTING DETAIL
NTS

KEYED NOTES

1. 10' PUBLIC UTILITY EASEMENT
2. 50' PUBLIC UTILITY EASEMENT
3. RESTAURANT DRIVE-THRU LANE: DRIVE THROUGH SHALL BE SHADED WITH AN ARCHITECTURALLY INTEGRATED CANOPY
4. 8" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS, STUCCOED TO MATCH PRIMARY BUILDING COLOR. REFER DETAIL 3, PAGE 6
5. ACCESSIBLE SIDEWALK RAMP
6. 6" CONCRETE CURB AND DRIVE ENTRY PER COA STANDARDS
7. 6" CONCRETE CURB
8. 10' SET BACK
9. NEW MONUMENT SIGN, REFER DETAIL 5, SHEET A2.1 SIZE SHALL CONFORM TO THE COORS CORRIDOR PLAN:
10. BICYCLE RACK, 5 SPACES. REFER DETAIL 4, PAGE 6
11. LIGHT POLE, REFER DETAIL 2, PAGE 6
12. ASPHALTIC PAVING
13. 4" WIDE PAINTED PARKING STALL STRIPING, WHITE TYPICAL
14. 6' WIDE SIDEWALK
15. 4' WIDE SIDEWALK
16. TEXTURED CONCRETE PEDESTRIAN CROSSING
17. EXISTING LIGHT POLE
18. LANDSCAPED PARKING ISLAND
19. EXISTING OFFICE BUILDING
20. EXISTING BANK
21. EXISTING RETAIL TIRE STORE
22. EXISTING PARKING AT OFFICE BUILDING
23. CONCRETE WALK, WIDTH AS NOTED ON PLAN
24. EXISTING CURB
25. EXISTING 4' WIDE SIDE WALK
26. EXISTING PROPERTY LINE
27. HANDICAP PARKING STALL SIGN
28. FIRE HYDRANT
29. PLAZA WITH TABLES AND SEATING SHADED WITH SHADE TREES IN TREE GRATES: 250 SF MINIMUM
30. 3' HIGH CMU WALLS TO SCREEN PARKING AREAS FROM THE STREET, STUCCOED TO MATCH PRIMARY BUILDING COLOR
31. 15' LANDSCAPE BUFFER ALONG COORS BLVD.
32. 12' WIDE ROW DEDICATION FOR DECELERATION LANE
33. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THE SITE. ALTERNATIVELY, ROOFTOP EQUIPMENT SHALL BE SCREENED BY ROOFTOP WALLS THAT ARE PAINTED TO MATCH THE ROOF COLOR OR THE PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW THE TOP OF THE SCREEN WALL.
34. ANY ATM'S SHALL BE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN
35. DRAIN TO SANITARY SEWER, THIS REFUSE ENCLOSURE ONLY
36. BROOMED CONCRETE
37. 16' LIGHT FIXTURE (WITHIN 100' OF RESIDENTIAL)

RADIUS INFORMATION:

- | | |
|-------------------|--------------------|
| 1 RADIUS = 2'-0" | 7 RADIUS = 25'-0" |
| 2 RADIUS = 3'-0" | 8 RADIUS = 30'-0" |
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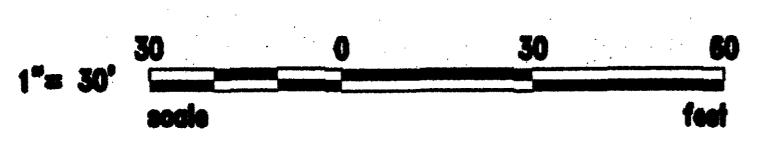


AFD Plans Checking Office
924-3611
HYDRANTS ONLY
Hydrants shall be installed prior to construction
APPROVED/DISAPPROVED
R.C. Jacob 11-23-04
Signature & Date



SITEPLAN

SCALE: 1" = 30'-0"



PROJECT NUMBER: 1002405
APPLICATION NUMBER: OF DRB-01797
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) on [Date] and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:
Is an Infrastructure List required? () YES () NO
If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
SITE DEVELOPMENT PLAN
[Signatures and Dates for various departments: Transportation Division, Police and Recreation Department, City Engineer, Environmental Health Department, Solid Waste Management, DRB Chairperson, Planning Department]
DATE: 5-21-04
SCALE: AS NOTED
SHEET TITLE: SITE PLAN - BUILDING PERMIT
SHEET NO: A1.0

REVISION
DATE
BY
REV
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877
PROJECT TITLE: OCTOPUS CARWASH
JOB NO.:
DRAWN BY: MFS
MIRE SAFRANY
DATE: 5-21-04
SCALE: AS NOTED
SHEET TITLE: SITE PLAN - BUILDING PERMIT
SHEET NO: A1.0

PROJ# 1002405

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PROJECT NUMBER: 1002405
 APPLICATION NUMBER: 04DRB-01797

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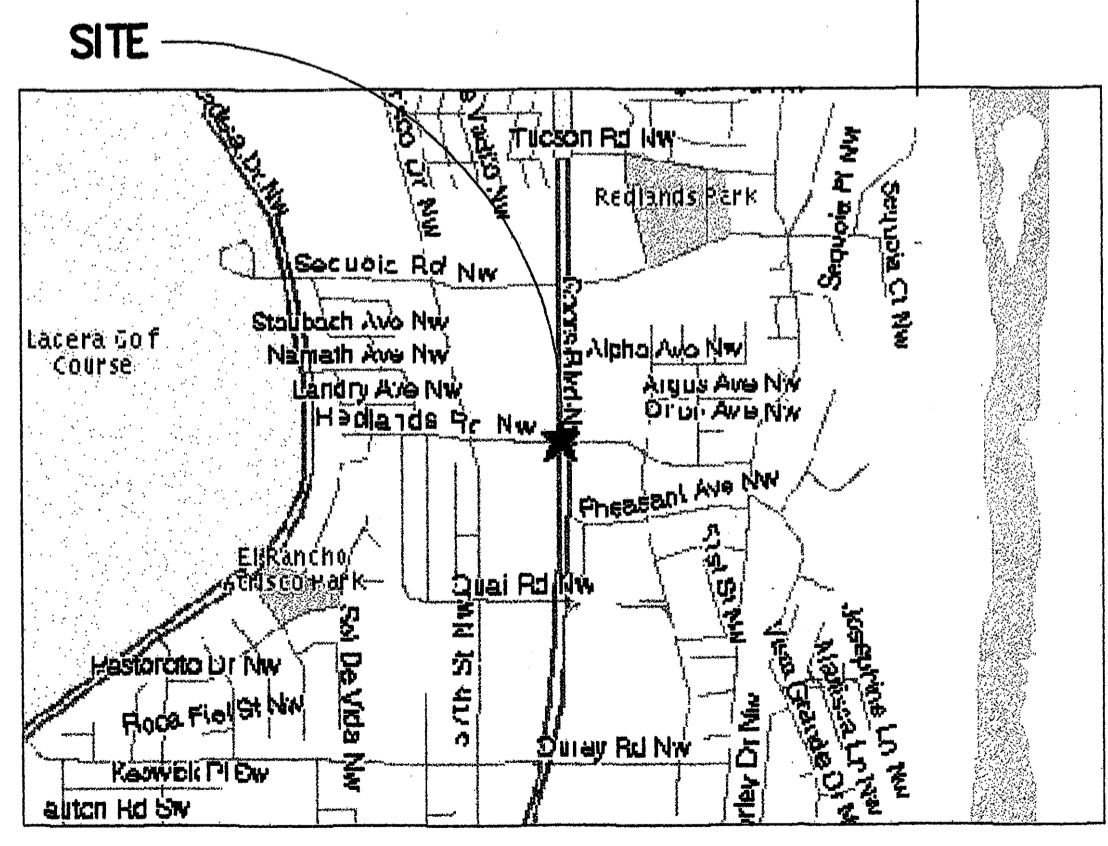
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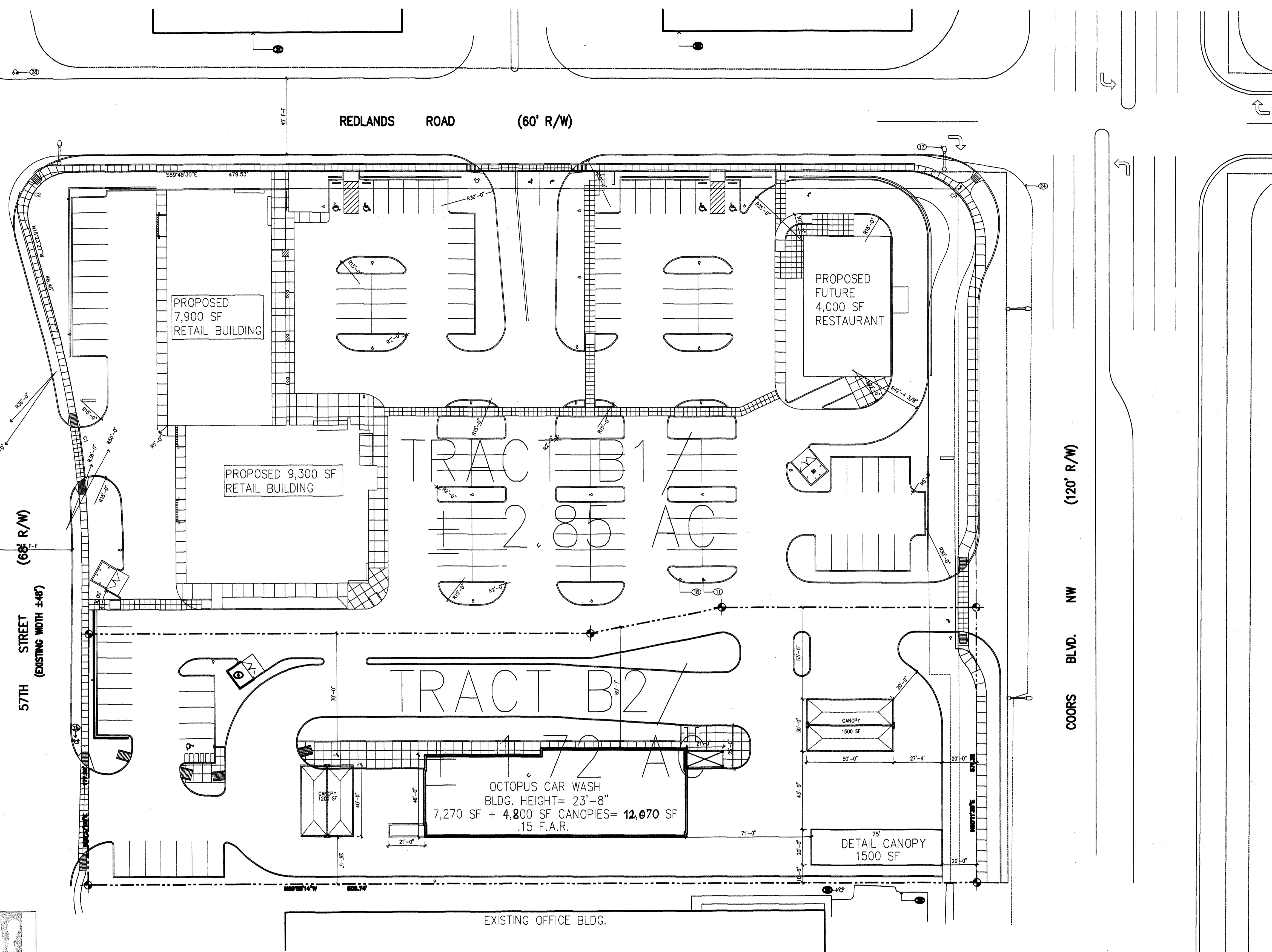
SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	<u>R. J. [Signature]</u>	<u>12-1-04</u>
Utilities Development	<u>[Signature]</u>	<u>12-1-04</u>
Parks and Recreation Department	<u>Christina Sandoval</u>	<u>12/1/04</u>
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Environmental Health Department (conditional)	<u>[Signature]</u>	<u>[Date]</u>
Solid Waste Management	<u>Michael Holton</u>	<u>11-23-04</u>
DRB Chairperson, Planning Department	<u>[Signature]</u>	<u>1/5/05</u>

* Environmental Health, if necessary



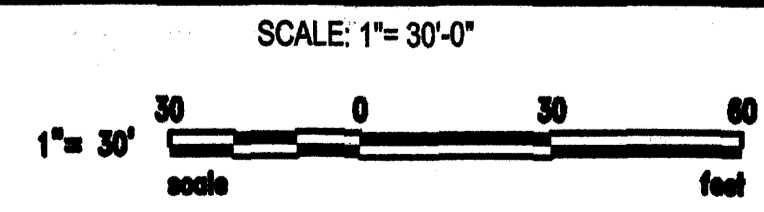
VICINITY MAP



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SITEPLAN

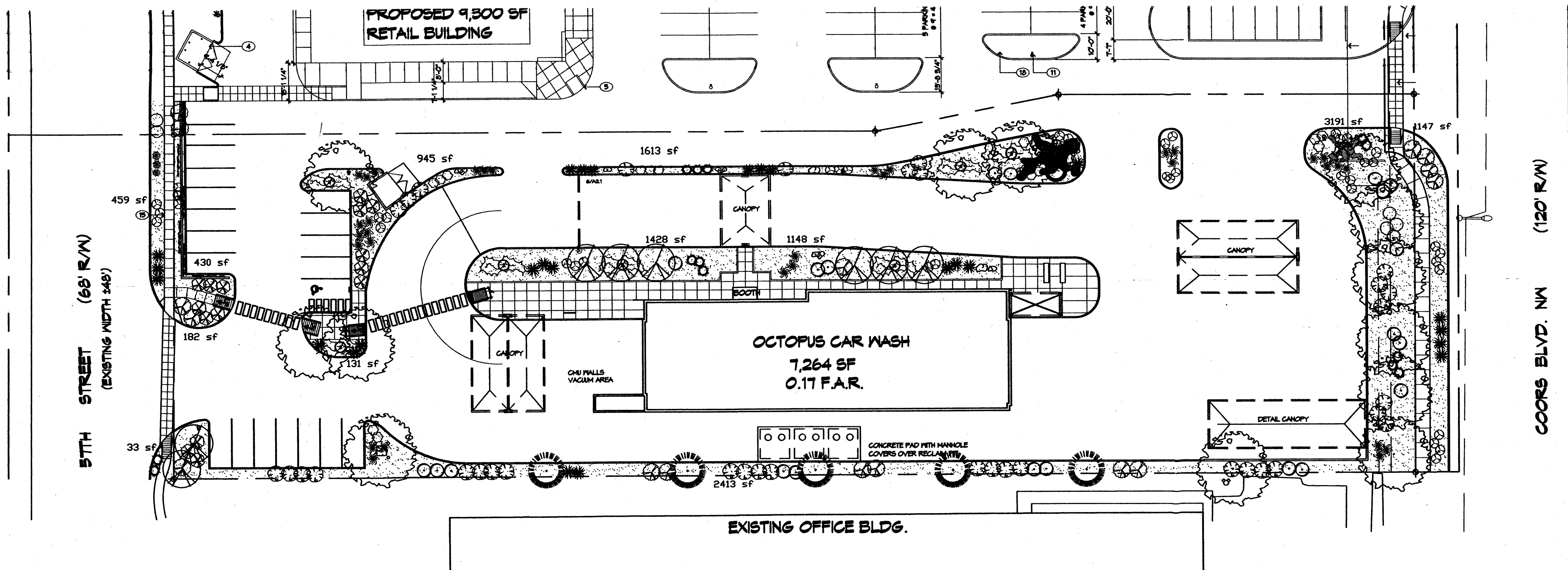


AFD Plans Checking
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 APPROVED/DISAPPROVED
 [Signature]
 Signature & Date

PROJECT TITLE	OCTOPUS CARWASH COORS BLVD. NW & REDLANDS RD. NW ALBUQUERQUE, NEW MEXICO		
PROJECT MANAGER	JOB NO.	DRAWN BY:	MPS
MIKE SARRANY			
SITE PLAN - SUBDIVISION			
DATE:	5-21-04	sheet:	A1.1
SCALE:	AS NOTED	of:	

REV	DATE	BY	REVISION
1			
2			
3			
4			
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



COORS BLVD. NW (120' R/W)
EXISTING MEDIAN

PLANT LEGEND

- ASH (H) AND HONEY LOCUST (H) 13
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- AUSTRIAN PINE (M) 5
Pinus nigra
6-8'
- FLOWERING PEAR (H) 8
Pyrus calleryana
2" Cal.
- MUGO PINE (M) 1
Pinus mugo
15 Gal.
- WASHINGTON HAWTHORN (H) 2
Crataegus phaenopyrum
15 Gal.
- APACHE PLUME (L) 6
Fallugia paradoxa
5 Gal. 25sf
- BLUE MIST SPIREA (M) 3
Caryopteris clandonensis
5 Gal.
- LANAS/ SCOTCH BROOM (M) 13
Cytisus scoparius/
Genista hispanica
5 Gal.
- RED YUCCA (L) 25
Hesperaloe parviflora
5 Gal.
- MAIDENGRASS (M) 32
Miscanthus sinensis
5 Gal. 16sf
- INDIAN HAWTHORN (M) 15
Raphiolepis indica
5 Gal.
- RUSSIAN SAGE (M) 21
Perovskia atriplicifolia
5 Gal.
- AUTUMN SAGE (M) 18
Salvia greggii
2 Gal. 9sf
- HONEYSUCKLE (M) 16
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
- CHAMISA (L) 35
Chrysothamnus nauseosus
1 Gal. 25sf
- WILDFLOWER 42
1 Gal. 4sf
- CREEPING ROSEMARY (M) 21
Rosmarinus officinalis
2 Gal. 36sf
Symbol indicated 3 plants
- VINE 6
1 Gal. 200sf
- OVERSIZED GRAVEL & 18 BOULDERS
- SANTA FE BROWN WITH FILTER FABRIC

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Coors Blvd.	Required 5	Provided 6
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FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

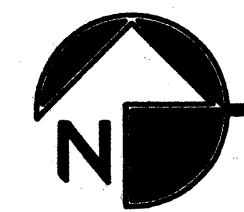
LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA		
TOTAL LOT AREA	75156	square feet
TOTAL BUILDINGS AREA	12618	square feet
OFFSITE AREA	1639	square feet
NET LOT AREA	60899	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	9135	square feet
TOTAL LANDSCAPE PROVIDED	13120	square feet
TOTAL GROUNDCOVER REQUIREMENT		
TOTAL GROUNDCOVER PROVIDED	10165	square feet
TOTAL BED PROVIDED	13120	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet

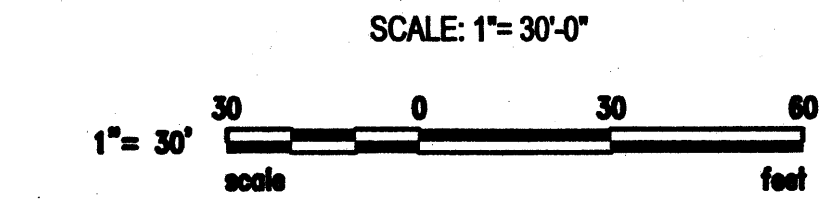


LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
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cmd@hilltoplandscaping.com

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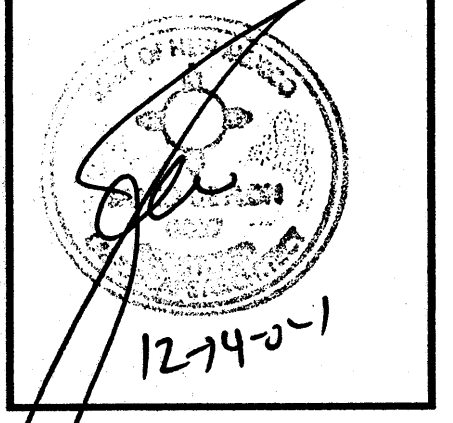


LANDSCAPE PLAN



REV	DATE	BY	REVISION
1	11-10-04	DR	REVISED SITE PLAN

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
OCTOPUS CARWASH
COORS BLVD. NW & REDLANDS RD. NW
ALBUQUERQUE, NEW MEXICO

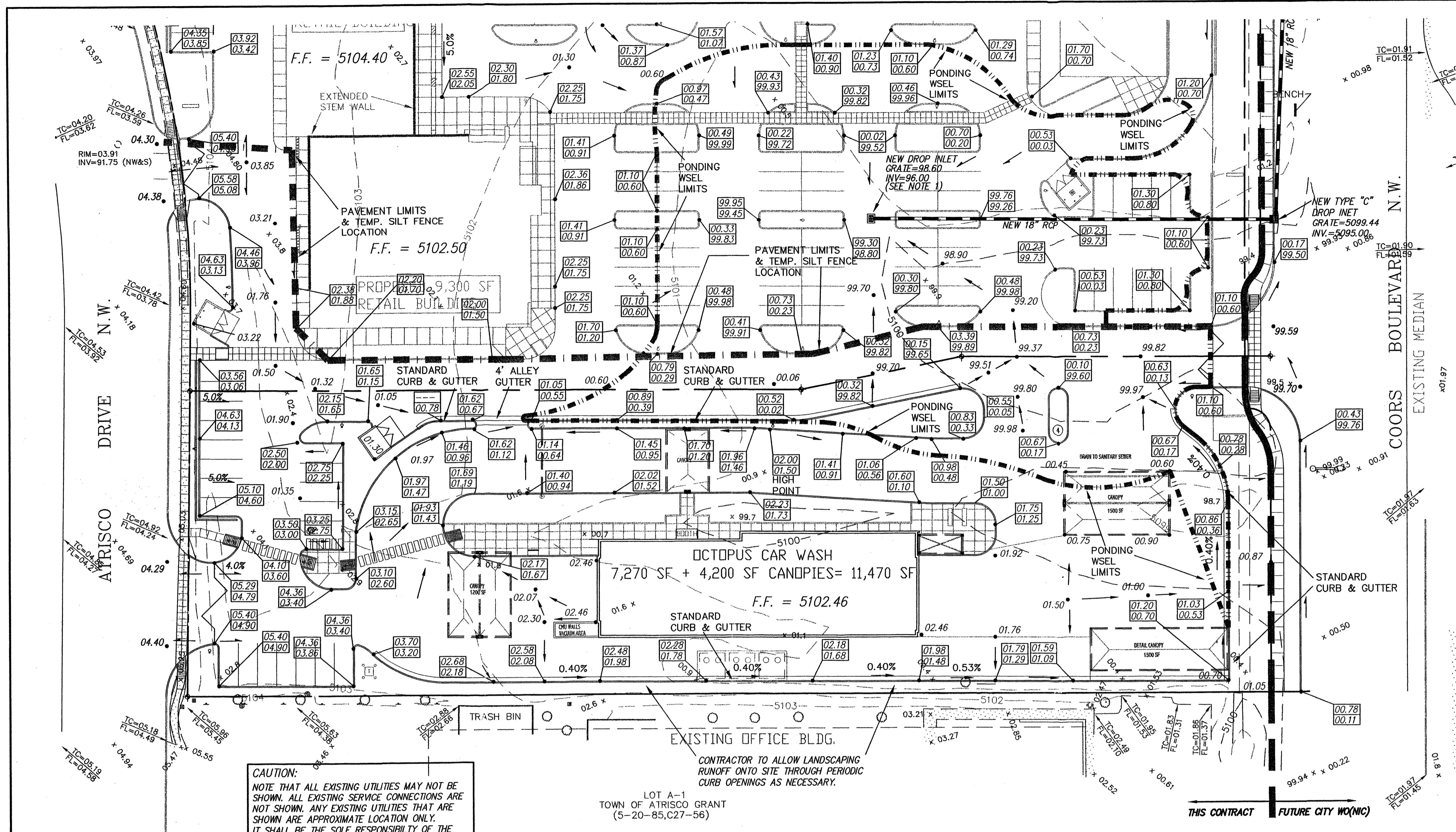
PROJECT MANAGER
MIKE SAFRANY

JOB NO.
SJ

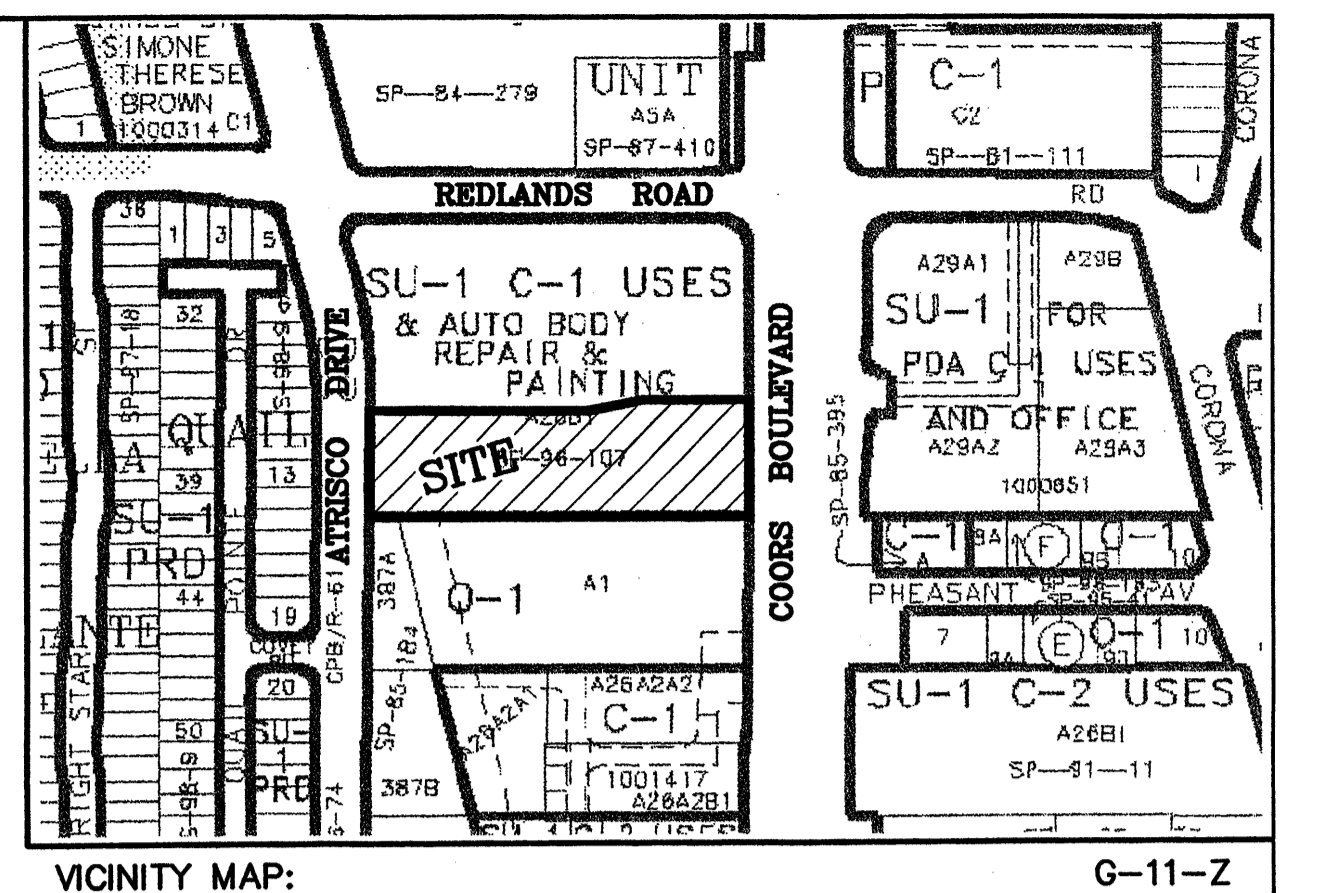
DRAWN BY
SJ

SHEET TITLE
LANDSCAPE PLAN

DATE:	5-28-04	sheet:	L1.0
SCALE:	AS NOTED	of:	



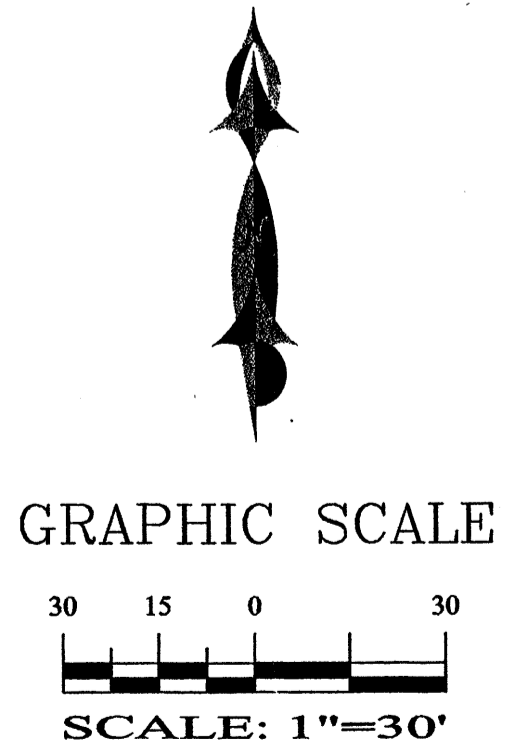
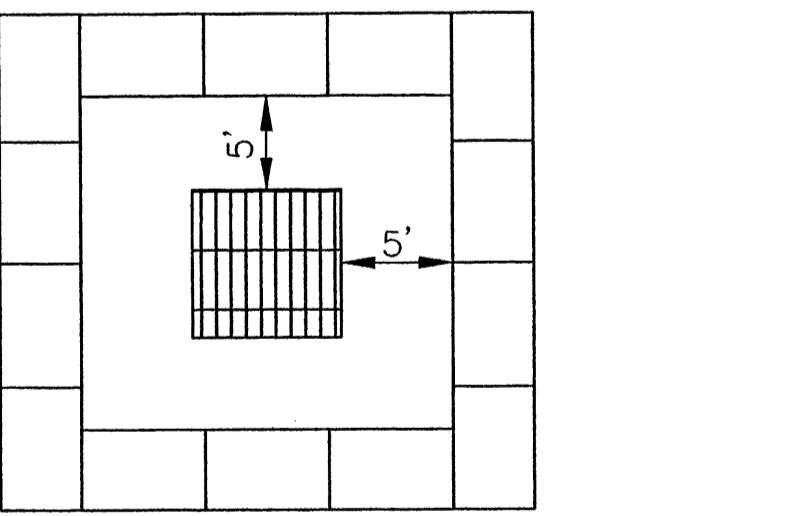
PONDING LIMITS AND ALL THE STORM SEWER STRUCTURES WILL BE BUILT WITH THE CONSTRUCTION OF THE CARWASH. TEMPORARY SILT FENCE WILL PLACED ALONG ALL THE GRADED AREAS.



LEGAL DESCRIPTION:
TRACT 4-28-B1 AND A-28-B2, NORTHEAST UNIT, TOWN OF ATRISCO GRANT, SECTION 2 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EX. 8" SAS
	EX. 16" WL
	EXISTING CURB & GUTTER
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE
	EXISTING POWER LINES
	EXISTING FENCE
	100-YEAR WSEL (FROM HEC-RAS OUTPUT)
	EXISTING FENCE
	FLOODPLAIN LIMITS FROM FEMA MAP
	EXISTING GARDEN WALL
	PROPOSED RETAINING WALL
	PROPOSED EXTENDED STEM WALL
	TOP OF RETAINING WALL
	TOP OF FOOTING
	TOP OF EXTENDED STEM WALL
	TOP OF FOOTING
	PAVEMENT LIMITS & TEMP. SILT FENCE LOCATION
	PONDING WSEL LIMITS



ADVANCED ENGINEERING and CONSULTING, LLC

SHAHAB BIAZAR
P.E. #13479

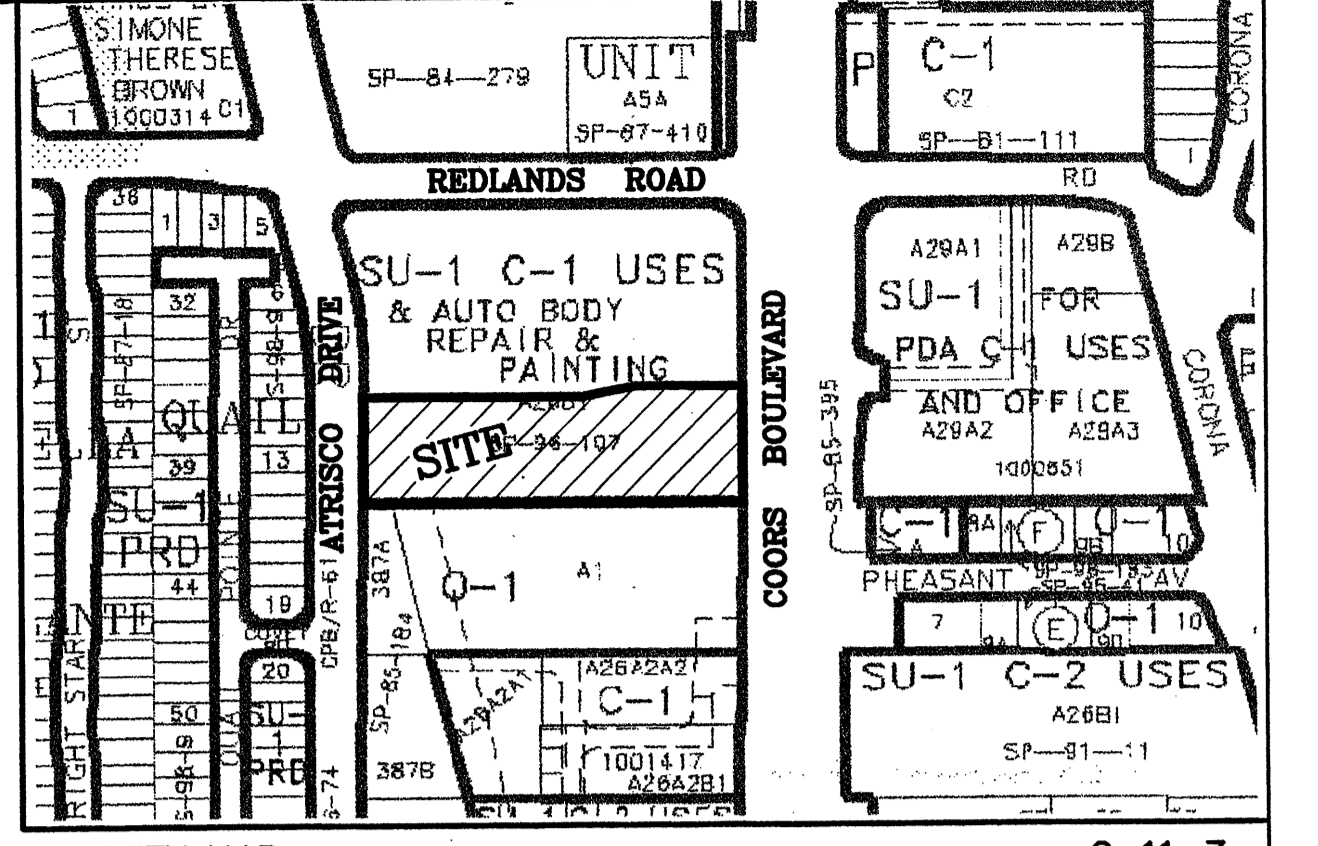
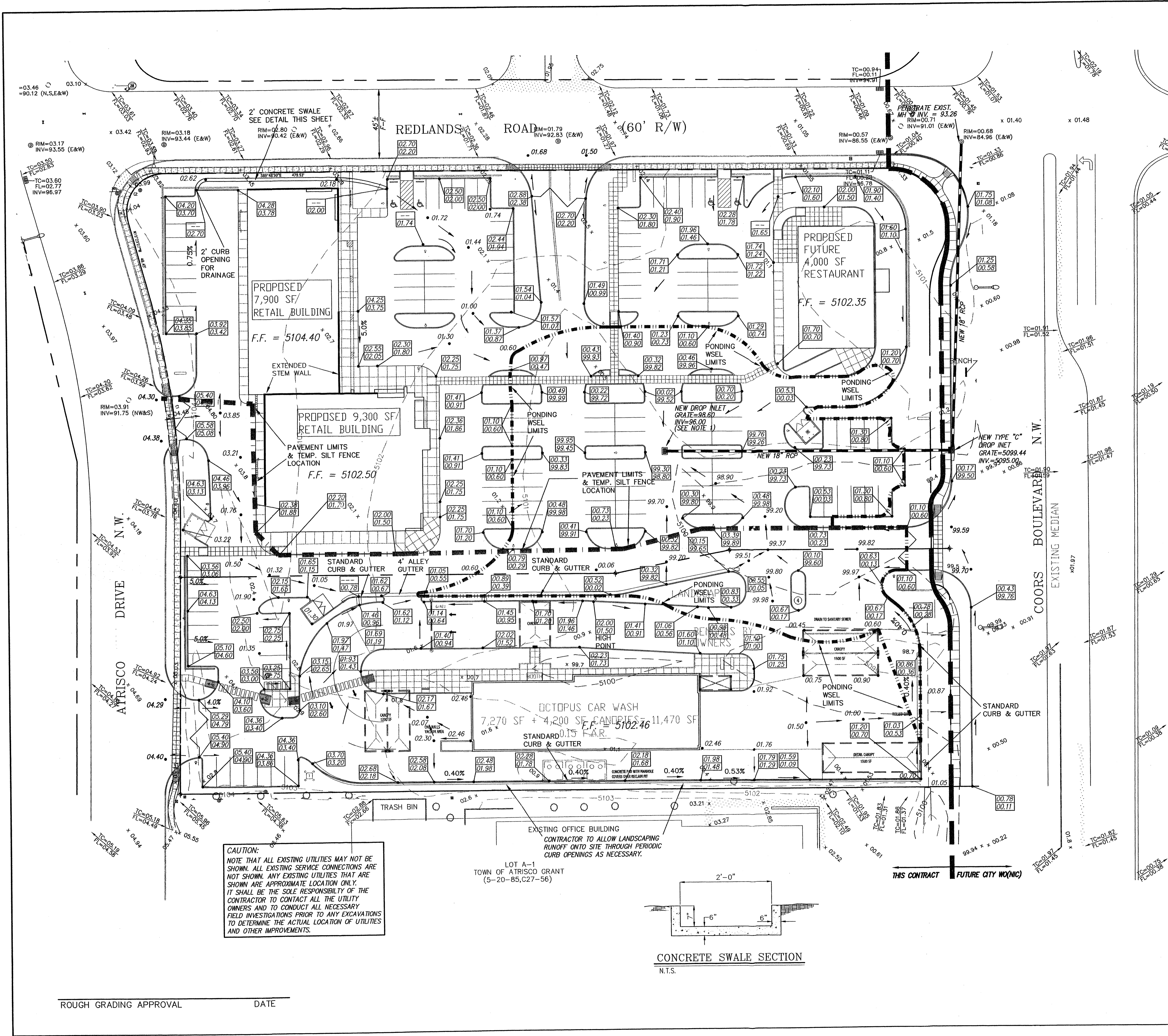
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

OCTOPUS CAR WASH GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200426-GR.DWG	SBB	04-28-2004	OF

LAST REVISION: 11-12-2004

ROUGH GRADING APPROVAL _____ DATE _____



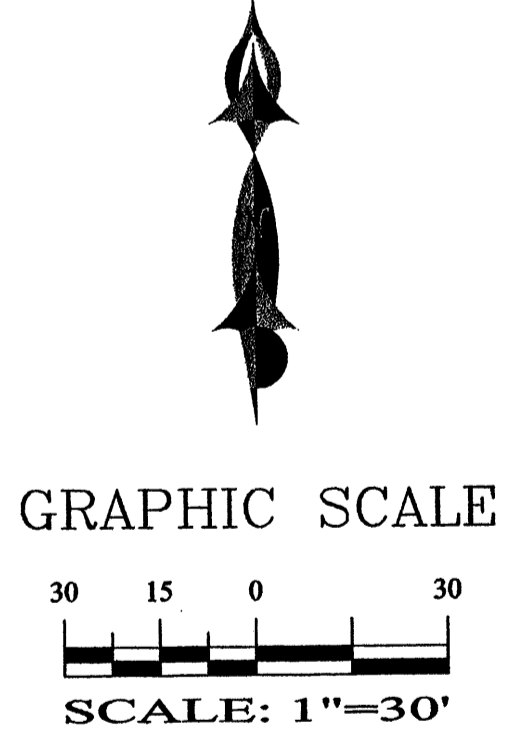
VICINITY MAP: G-11-Z

LEGAL DESCRIPTION:
 TRACT 4-28-B1 AND A-28-B2, NORTHEAST UNIT, TOWN OF ATRISCO GRANT, SECTION 2 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

- GENERAL NOTES**
1. THE OPENING FROM THE ON-SITE DROP INLET TO THE 18" RCP OUTFALL SHALL BE COVERED WITH A 1/4" THICK STAINLESS STEEL PLATE WITH A 3/2" DIAMETER BORING LOCATED SO THAT ITS BOTTOM MATCHES THE FLOWLINE OF THE RCP.
 2. THIS PROPERTY IS NOT LOCATED IN A FEMA FLOODPLAIN PER FIRM NO. 35001C0327.
 3. THERE ARE NO SIGNIFICANT OFFSITE FLOWS ENTERING THIS SITE. EXISTING MINOR OFF-SITE FLOWS FROM THE SOUTH WILL BE ROUTED THROUGH THE SITE.
 4. PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING DRAINAGE IMPROVEMENTS ON THE PROPERTY SO THAT THEY CONTINUE TO FUNCTION PROPERLY YEAR AFTER YEAR.
 5. ELEVATIONS SHOWN HEREON ARE INTENDED TO BE FINAL GRADES. OWNER, ROUGH GRADING CONTRACTOR AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR ASSURING THAT AFTER ALL WORK IS COMPLETE, SITE'S FINAL SURFACE GRADES ARE AS SHOWN HEREON.
 6. EARTHWORK CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FOLLOWING REQUIREMENTS OF THE SURFACE DISTURBANCE PERMIT FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT.
 7. OWNER AND ALL ASSOCIATED CONTRACTORS WHO ENGAGE IN ALTERATION OF SITE SURFACES, SHALL FILE A NOTICE OF INTENT WITH EPA AND FOLLOW STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS.
 8. EXCEPT ALONG COORS BOULEVARD (CITY WO LATER), ALL NEW DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DETAILS.

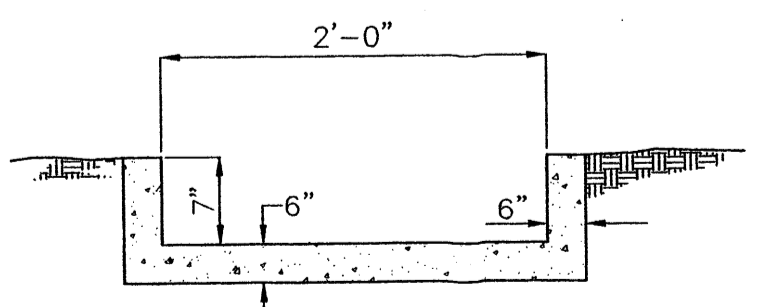
LEGEND

---	5100	EXISTING CONTOUR (MAJOR)
---	5102	EXISTING CONTOUR (MINOR)
---		BOUNDARY LINE
---		EASEMENT
TC	20.90	PROPOSED GRADE
FL	20.40	PROPOSED SPOT ELEVATION
X	70.28	EXISTING GRADE
*	5265.16	EXISTING GRADE
---		EXISTING POWER LINES
---		PROPOSED EXTENDED STEM WALL
---	TRW=38.00	TOP OF RETAINING WALL
---	TF=32.00	TOP OF FOOTING
---	TSW=34.00	TOP OF EXTENDED STEM WALL
---	TF=32.00	TOP OF FOOTING



CAUTION:
 NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

LOT A-1
 TOWN OF ATRISCO GRANT
 (5-20-85,C27-56)



CONCRETE SWALE SECTION
 N.T.S.

ADVANCED ENGINEERING and CONSULTING, LLC

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 P.E. #13479

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 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

**REDLANDS SHOPPING CENTER
 OVERALL GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200426-GR-OV.DWG	SBB	04-28-2004	

ROUGH GRADING APPROVAL _____ DATE _____

LAST REVISION: 11-12-2004

GAS LINE DEPTH HAS TO BE FIELD VERIFIED TO ASSURE THAT THERE WILL NOT BE ANY CONFLICT WITH THE SEWER SERVICE CROSSING. THE GAS DEPTH SHOULD BE OBTAINED PRIOR TO ANY CONSTRUCTION

GAS LINE DEPTH HAS TO BE FIELD VERIFIED TO ASSURE THAT THERE WILL NOT BE ANY CONFLICT WITH THE SEWER SERVICE CROSSING. THE GAS DEPTH SHOULD BE OBTAINED PRIOR TO ANY CONSTRUCTION

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

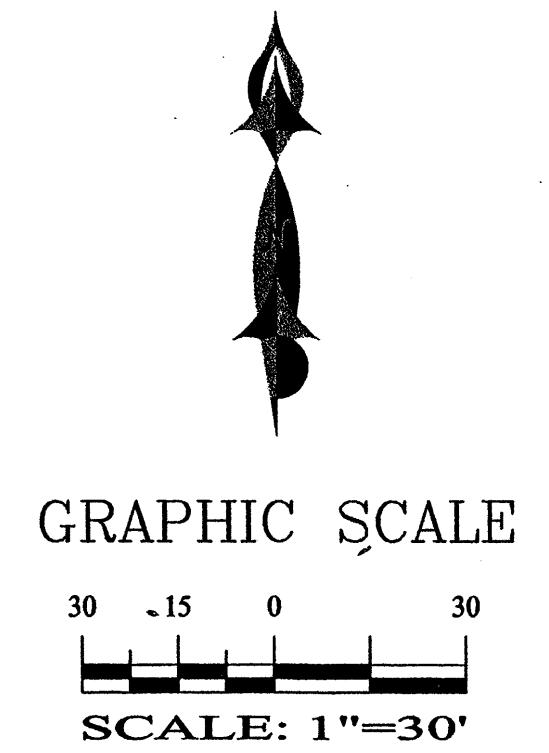
LOT A-1
TOWN OF ATRISCO GRANT
(5-20-85, C27-56)

ADD CONNECTIONS OF UTILITIES TO BUILDING & RECLAIM PIT
SAS 6" RELOCATED VERIFY

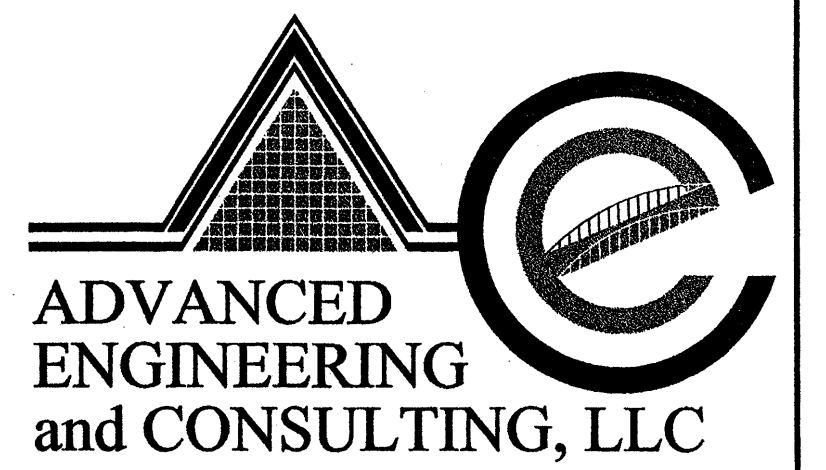
Electric Ishtepan each
Bob - Electrical Lighting
SITE UTILITY PLAN

STORM DRAIN GRADING & DRAINAGE FROM SHADERS

- LEGEND**
- EXISTING SAS MANHOLE
 - EXISTING SD MANHOLE
 - ⊗ EXISTING GATE VALVE
 - EX. 54" SD --- EXISTING STORM SEWER
 - EX. 8" SAS --- EXISTING SANITARY SEWER LINE
 - EX. 16" WL --- EXISTING WATER LINE
 - 8" SAS — NEW SANITARY SEWER LINE
 - 10" WL — NEW WATER LINE
 - 18" SD — NEW STORM SEWER
 - CLEAN OUT
 - NEW WATER SERVICE
 - NEW SAS SERVICE
 - NEW SAS MANHOLE
 - STORM SEWER MANHOLE
 - ⊗ SINGLE SERVICE METER
 - ⊗ DOUBLE SERVICE METER
 - ⊗ NEW GATE VALVE
 - NEW FIRE HYDRANT
 - ⊗ TEE
 - ⊗ BEND
 - ⊗ CAP (WL)
 - ⊗ NEW CATCH BASIN



SHAHAB BIAZAR
P.E. #13479



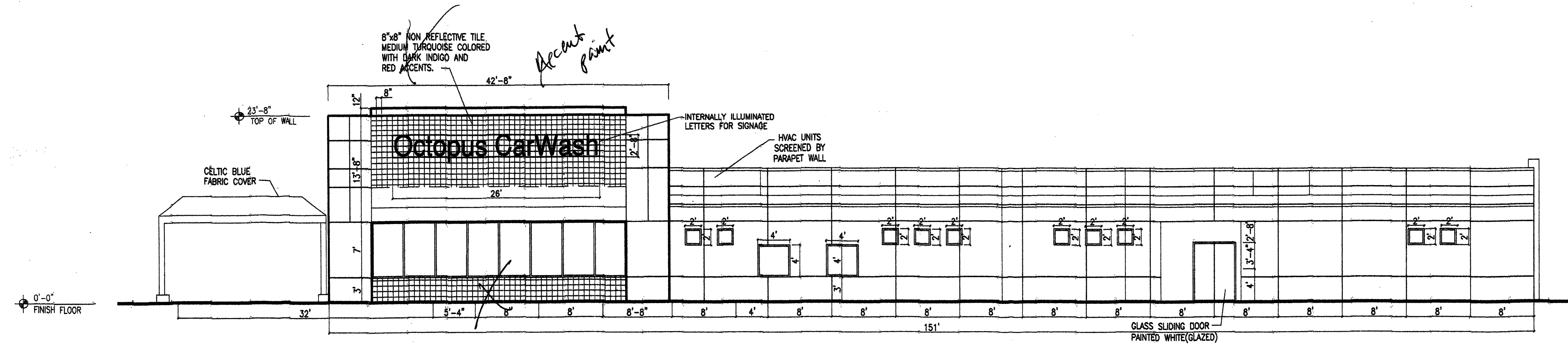
ADVANCED ENGINEERING and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-3370

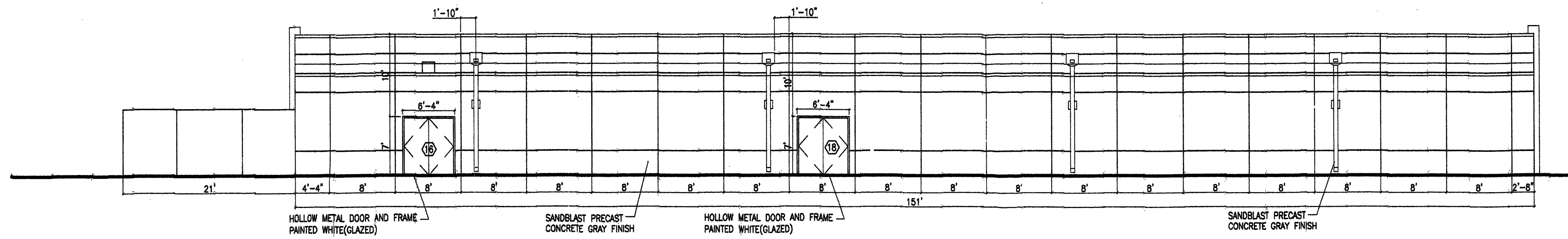
OCTOPUS CAR WASH UTILITY PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200426-UT.DWG	SBB	04-28-2004	OF

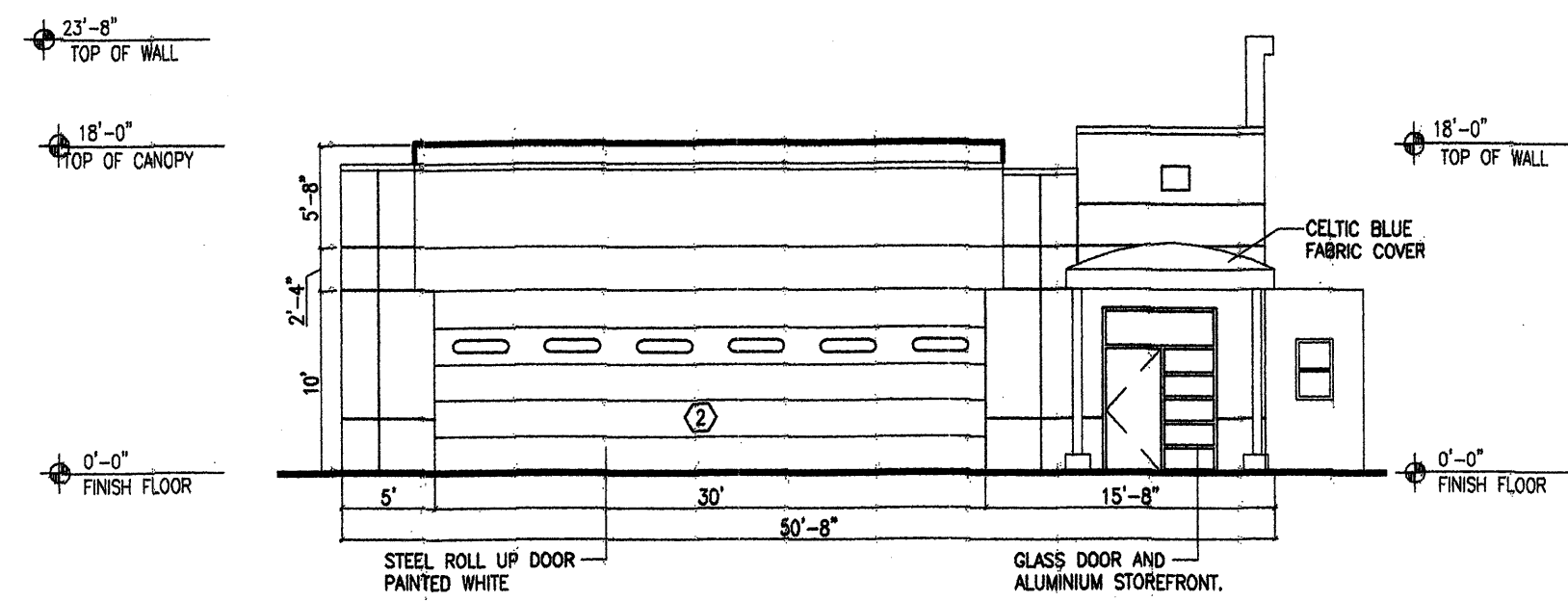
LAST REVISION: 11-13-2004



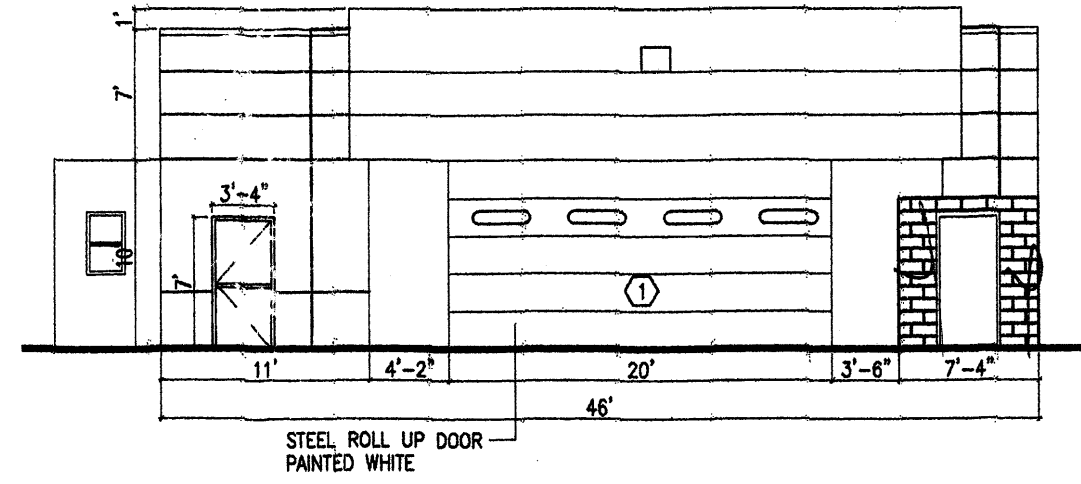
1 NORTH ELEVATION
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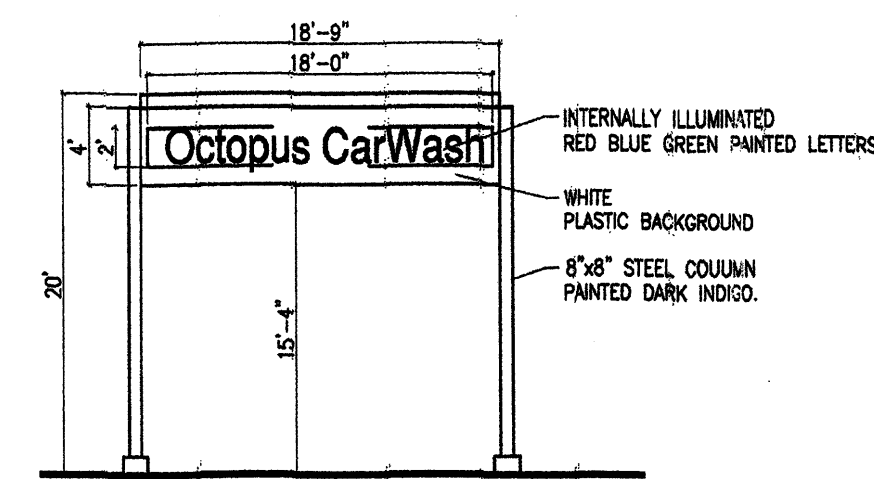
2 SOUTH ELEVATION
Scale: 1"=10'-0"



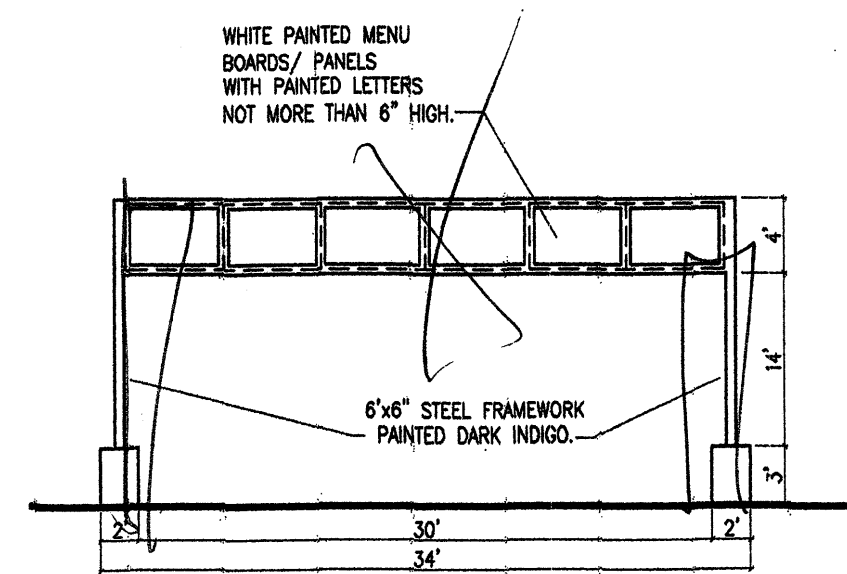
3 EAST ELEVATION
Scale: 1"=10'-0"



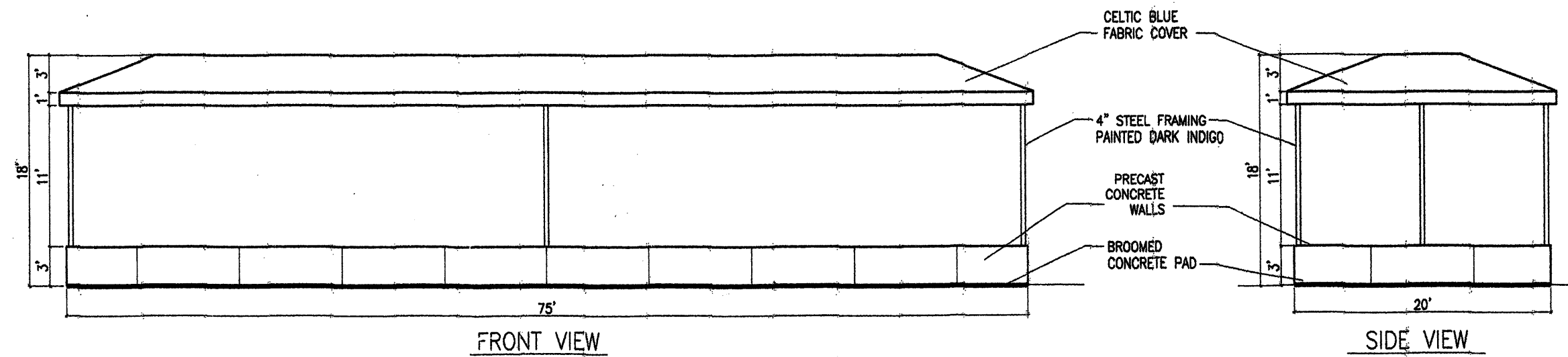
4 WEST ELEVATION
Scale: 1"=10'-0"



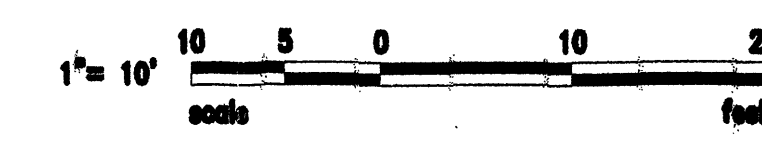
5 MONUMENT SIGN ELEVATION
Scale: 1"=10'-0"




6 MENU BOARD ELEVATION
Scale: 1"=10'-0"



7 DETAIL CANOPY
Scale: 1"=10'-0"



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			



 GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-1877

PROJECT TITLE
OCTOPUS CARWASH
 0005 BLD. NW & REDLANDS RD. NW
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
 MIKE SAFRANY
 JOB NO.
 0418
 DRAWN BY:
 MPS

DATE:
 5-21-04
 SCALE:
 AS NOTED

SHEET TITLE
ELEVATIONS
 sheet -
A2.1
 of -