

LOCATION MAP 1" = 750' ZONE ATLAS G-11-Z

SUBDIVISION DATA

GROSS ACREAGE 4.8182 AC
 ZONE ATLAS NO. G-11-Z
 NO. OF EXISTING TRACTS 1
 NO. OF TRACTS CREATED 2
 DATE OF SURVEY OCTOBER 1999
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER: 2004372353
 ZONEING SU-1, C-1 USES

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional right-of-ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER:

Lee S. Blaugrund
 Lee S. Blaugrund, individually and as Co-Trustee of the L. Alongi Family Trust; and as attorney-in-fact for Linda Blaugrund Alongi, as Trustee of the Linda Blaugrund Alongi Revocable Trust UTA dated August 24, 1994; and as attorney-in-fact for Clifford Earl Blaugrund as Co-Trustee of the L. Alongi Family Trust; and as attorney-in-fact for Clifford Earl Blaugrund and Nancy Dreyer Blaugrund, as trustees of the Clifford Earl Blaugrund and Nancy Dreyer Blaugrund Revocable Trust UTA dated February 12, 1998, as amended by First Amendment dated November 20, 2001, FBO Clifford Earl Blaugrund.

Owner's Acknowledgment

STATE OF NEW MEXICO)
) ss.
 COUNTY OF BERNALILLO)

This instrument was acknowledged before me on October 8, 2004, by Lee S. Blaugrund, individually and as Co-Trustee of the L. Alongi Family Trust; and as attorney-in-fact for Linda Blaugrund Alongi, as Trustee of the Linda Blaugrund Alongi Revocable Trust UTA dated August 24, 1994; and as attorney-in-fact for Clifford Earl Blaugrund as Co-Trustee of the L. Alongi Family Trust; and as attorney-in-fact for Clifford Earl Blaugrund and Nancy Dreyer Blaugrund, as trustees of the Clifford Earl Blaugrund and Nancy Dreyer Blaugrund Revocable Trust UTA dated February 12, 1998, as amended by First Amendment dated November 20, 2001, FBO Clifford Earl Blaugrund.

Karen Lee Arpman
 Notary Public



OFFICIAL SEAL
 KAREN LEE ARPMAN
 NOTARY PUBLIC-STATE OF NEW MEXICO
 My commission expires: 11-18-05

My Commission Expires:

11-18-2005

PURPOSE OF PLAT

1. SUBDIVIDE TRACT A-28-B1, NORTHEAST UNIT, TOWN OF ATRISCO GRANT INTO 2 TRACTS
2. GRANT NEW EASEMENTS AS SHOWN
3. DEDICATE NEW RIGHT-OF-WAY AS SHOWN

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 2, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A-28-B1, NORTHEAST UNIT, TOWN OF ATRISCO GRANT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 3, 1996 in Volume 96C, Folio 181 and containing 4.8182 acres more or less.

NOTES

(SEE SHEET 2 OF 3)

PLAT FOR
 TRACT A-28-B1-A and A-28-B1-B
 NORTHEAST UNIT, TOWN OF ATRISCO GRANT
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 2
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994

Project Number

Application Number

PLAT APPROVAL

Utility Approvals:

Final
 PRELIMINARY PLAT
 APPROVED BY DRB
 ON 12/01/04

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date _____

Qwest _____ Date _____

Comcast _____ Date _____

City Approvals:

P. B. Faul 10-28-04
 City Surveyor _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Utilities Development _____ Date _____

Parks and Recreation Department _____ Date _____

A.M.A.F.C.A. _____ Date _____

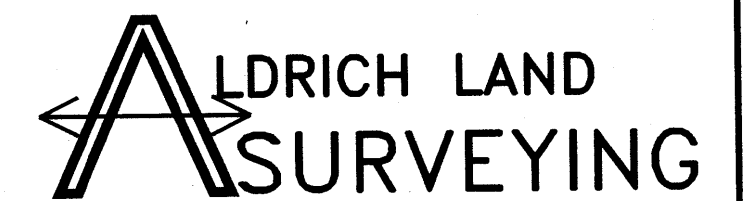
City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 10-27-04
 TIMOTHY ALDRICH P.S. No. 7718 _____ Date _____

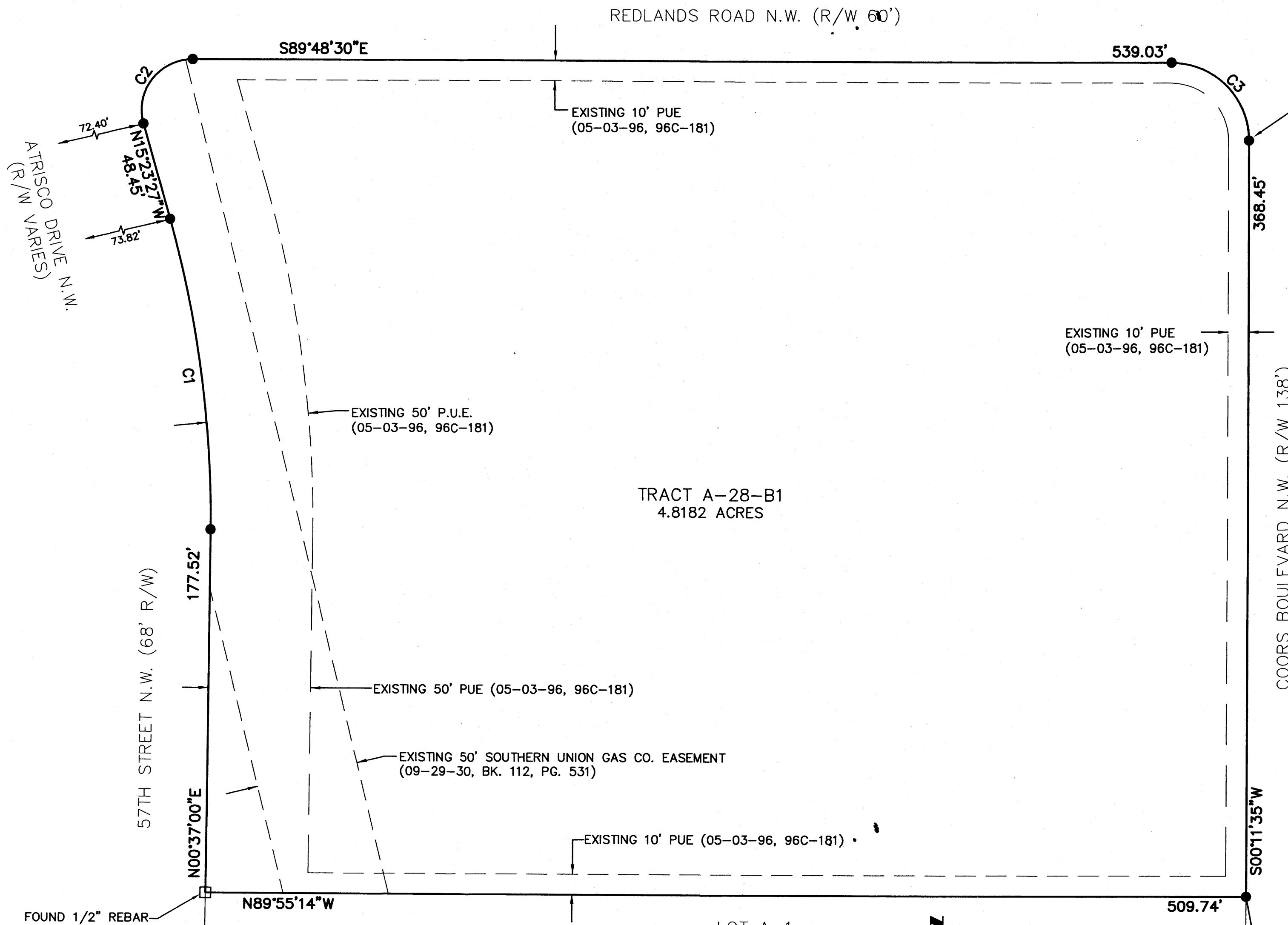


P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

A04067_COVER.DWG	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 3
Scale: AS SHOWN	Date: 09/24/04	Job: A04067	

PLAT FOR
TRACT A-28-B1-A and A-28-B1-B
NORTHEAST UNIT, TOWN OF ATRISCO GRANT
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 2
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004

CURVE TABLE						
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C1	549.00'	16°00'27"	153.38'	77.19'	N07°23'13"W	152.88'
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C3	38.00'	90°00'05"	59.69'	38.00'	S44°48'28"E	53.74'



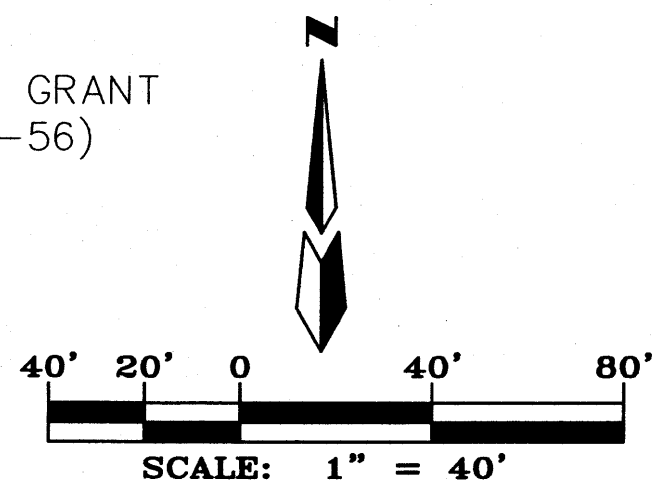
[Handwritten Signature]
 10-27-04

- NOTES**
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
 - Bearings and distances are field and record.
 - Basis of boundary are the following plats of record entitled:
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 all being records of Bernalillo County, New Mexico.
 - Field Survey performed: October 1999.
 - Title Report: None provided.
 - Utility Council Location System No.: 2004372353
 - These tracts are affected by a RIGHT-OF-WAY EASEMENT to American Telephone and Telegraph Company, recorded May 17, 1930 in Book 112, Page 290, said easement amended by a MODIFICATION EASEMENT, recorded February 13, 1973 in Book Misc. 298, Page 635, said easement assigned to the Mountain States Telephone and Telegraph Company by ASSIGNMENT recorded December 19, 1977, in Book Misc. 575, Page 928 all being records of Bernalillo County, New Mexico.
 - Flood Zone Designation: Zone X, as established on Panel 327 of 825, Flood Insurance Rate Map, Bernalillo County, New Mexico dated September 20, 1996. (This property does not lie within the 100 year flood plain).

COORS BOULEVARD N.W. (R/W 138')

ACS MONUMENT
 "12-H11"
 Y=1497456.42
 X=365168.46
 $\Delta\alpha = -00^{\circ}15'34"$
 G-G=0.99967688
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5102.169

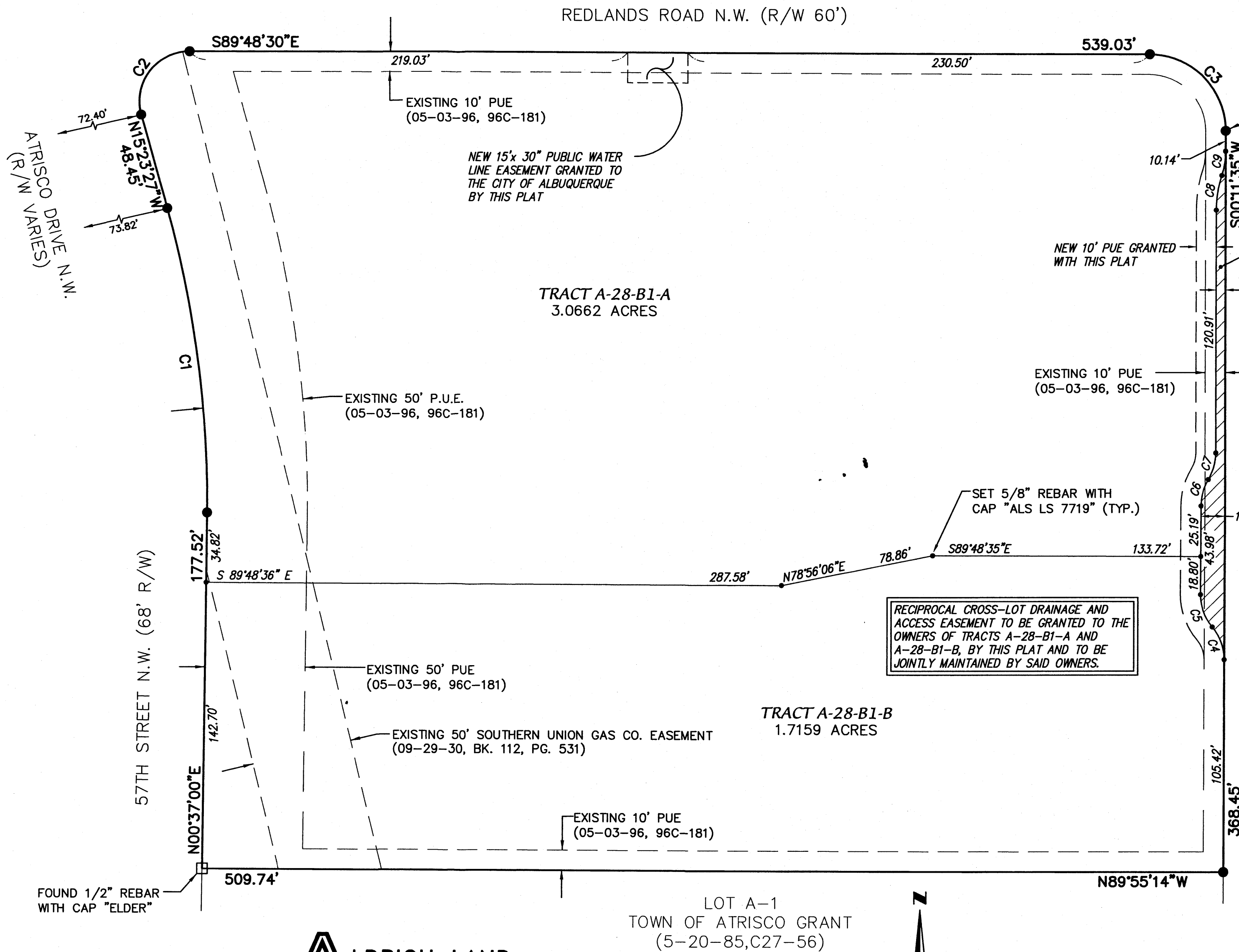
ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



F:\A04\067S\A4067 Redlands Retail\FINAL PLAT\A04067SHT2.DWG

PLAT FOR
TRACT A-28-B1-A and A-28-B1-B
NORTHEAST UNIT, TOWN OF ATRISCO GRANT
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 2
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
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 OCTOBER, 2004

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C5	25.00'	40°32'09"	17.69'	9.23'	N20°04'30"W	17.32'
C6	25.00'	31°31'07"	13.75'	7.06'	N15°57'08"E	13.58'
C7	25.00'	31°31'14"	13.75'	7.06'	N15°57'05"E	13.58'
C8	56.62'	17°47'57"	17.59'	8.87'	N09°05'33"E	17.52'
C9	40.00'	17°32'41"	12.25'	6.17'	N09°13'11"E	12.20'



PUBLIC UTILITY EASEMENTS:

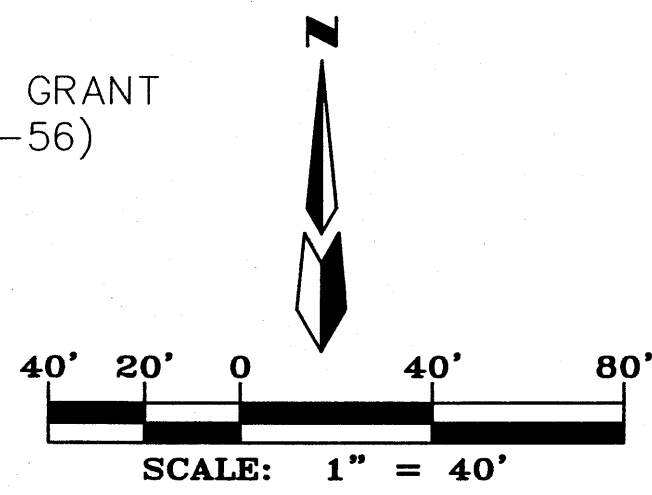
- PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of :
1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures structures and related facilities reasonably necessary to provide electrical services.
 2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
 3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
 4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
 5. The New Mexico Utilities, Inc., for the installation, maintenance and service of water and sanitary sewer lines and any other equipment, fixtures, structures and related facilities reasonably necessary to provide water and sewer services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

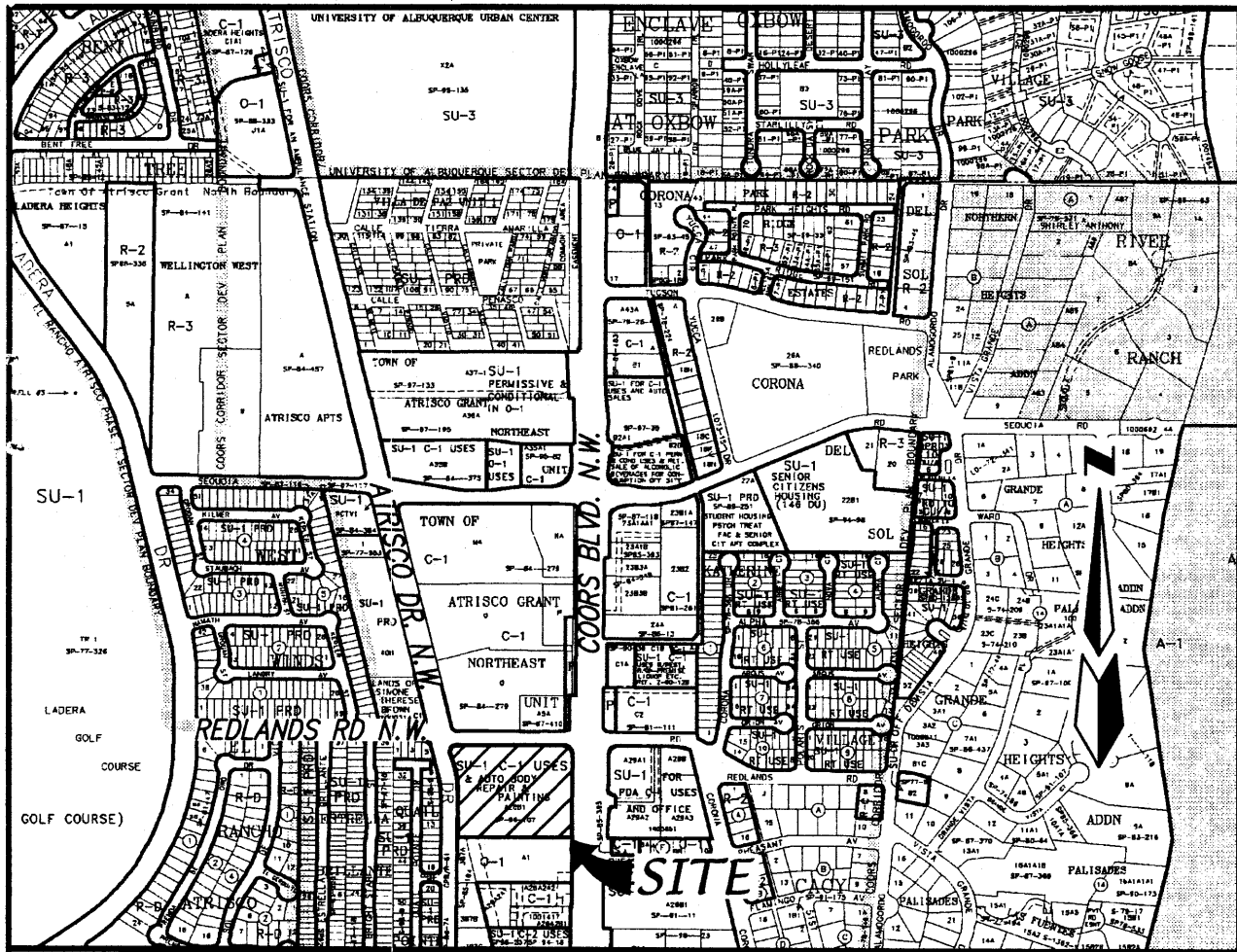
Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



Dwg: A4067BASE.dwg	Drawn: RICHARD	Checked: ALS	Sheet 3 of 3
Scale: 1"=40'	Date: 12/01/04	Job: A04067	

F:\A04067\A4067 REDLANDS RETAIL\FINAL PLAT\A4067BASE.DWG, 12/1/2004 7:33:33 AM, MARK GOODWIN & ASSOCIATES, PLOTTED BY RDO



LOCATION MAP 1" = 750' ZONE ATLAS G-11-Z

SUBDIVISION DATA

GROSS ACREAGE 4.8182 AC
 ZONE ATLAS NO. G-11-Z
 NO. OF EXISTING TRACTS 1
 NO. OF TRACTS CREATED 2
 DATE OF SURVEY OCTOBER 1999
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER: 2004372353
 ZONEING SU-1, C-1 USES

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OWNER:

Lee S. Blaugrund
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Owner's Acknowledgment

STATE OF NEW MEXICO)
) ss.
 COUNTY OF BERNALILLO)

This instrument was acknowledged before me on October 8, 2004, by Lee S. Blaugrund, individually and as Co-Trustee of the L. Alongi Family Trust; and as attorney-in-fact for Linda Blaugrund Alongi, as Trustee of the Linda Blaugrund Alongi Revocable Trust UTA dated August 24, 1994; and as attorney-in-fact for Clifford Earl Blaugrund as Co-Trustee of the L. Alongi Family Trust; and as attorney-in-fact for Clifford Earl Blaugrund and Nancy Dreyer Blaugrund, as trustees of the Clifford Earl Blaugrund and Nancy Dreyer Blaugrund Revocable Trust UTA dated February 12, 1998, as amended by First Amendment dated November 20, 2001, FBO Clifford Earl Blaugrund.

Karen Lee Arfman
 Notary Public

My Commission Expires:

11-18-2005

PURPOSE OF PLAT

1. SUBDIVIDE TRACT A-28-B1, NORTHEAST UNIT, TOWN OF ATRISCO GRANT INTO 2 TRACTS
2. GRANT NEW EASEMENTS AS SHOWN
3. DEDICATE NEW RIGHT-OF-WAY AS SHOWN

LEGAL DESCRIPTION

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NOTES

(SEE SHEET 2 OF 3)



PLAT FOR
TRACT A-28-B1-A and A-28-B1-B
NORTHEAST UNIT, TOWN OF ATRISCO GRANT
 WITHIN THE
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 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994

Project Number 1002405

Application Number 04DRB-01763

PLAT APPROVAL

Utility Approvals:

Leand D. Meeks 12-15-04
 PNM Electric Services Date
Leand D. Meeks 12-15-04
 PNM Gas Services Date
David R. Muller 12-15-04
 Qwest Date
Yvonne Babon 12-10-04
 Comcast Date

City Approvals:

Ph B. Hart 10-28-04
 City Surveyor Date
Roger A. Green 12-1-04
 Traffic Engineering, Transportation Division Date
 Utilities Development Date
Christina Sandoval 12/1/04
 Parks and Recreation Department Date
Bradley L. Bingham 12/1/04
 A.M.A.F.C.A. Date
Bradley L. Bingham 12/1/04
 City Engineer Date
Sheran Matson 1/10/05
 DRB Chairperson, Planning Department Date

SURVEYOR'S CERTIFICATION

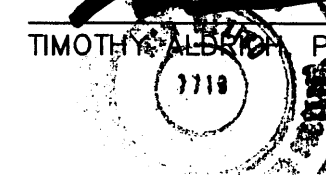
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 10-27-04
 TIMOTHY ALDRICH P.S. No. 7719 Date



OFFICIAL SEAL
 KAREN LEE ARFMAN
 NOTARY PUBLIC-STATE OF NEW MEXICO
 My Commission Expires: 11-18-05

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
 PAID FOR ALL LOTS # 1011 060 216 052 605 14
 CLERK OF COUNTY TREASURER'S OFFICE
Dany Vajda 14 Jan 05

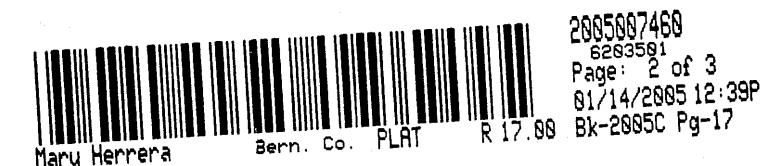


P.O. BOX 30701, ALBQ., N.M. 87190
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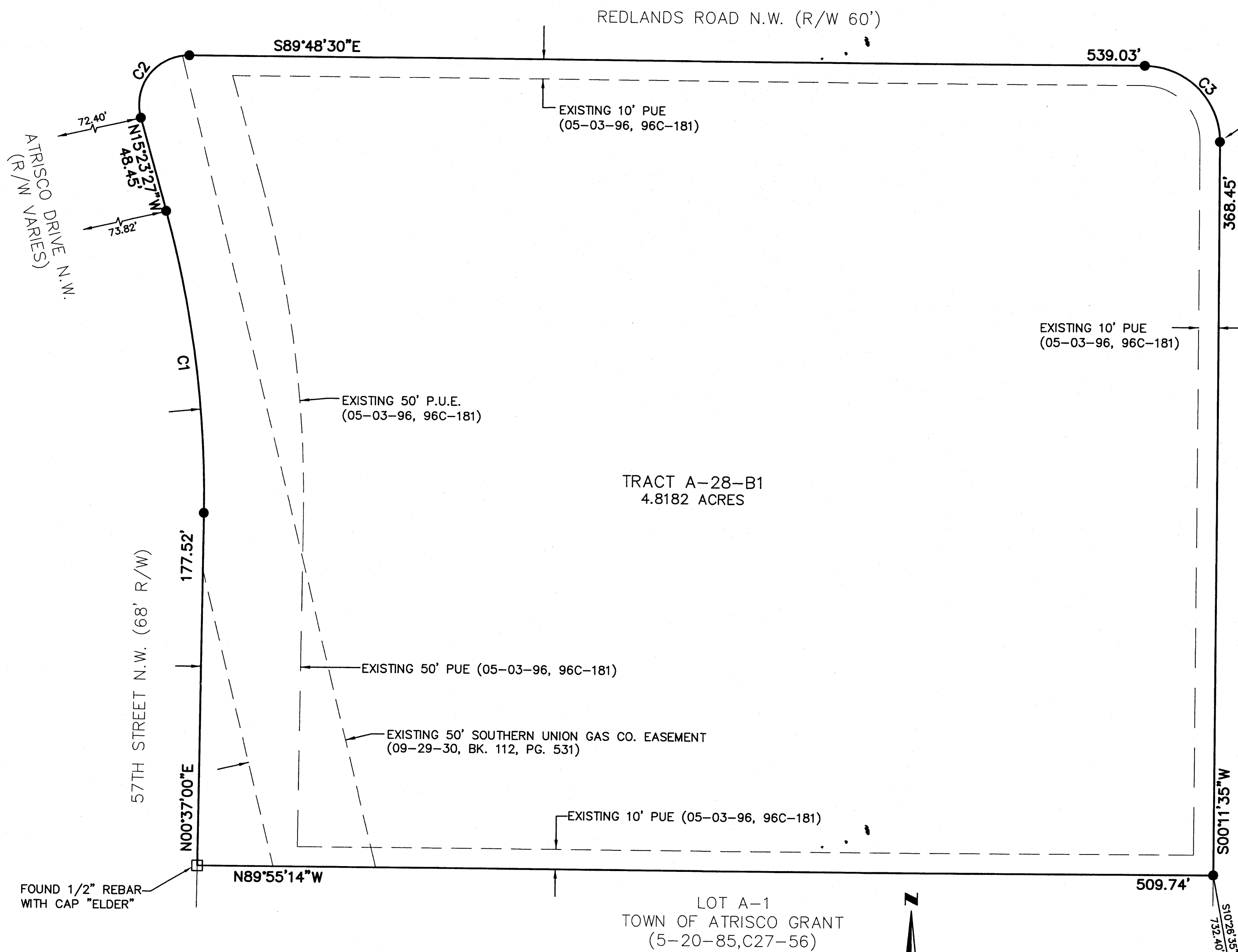
A04067_COVER.DWG	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 3
Scale: AS SHOWN	Date: 09/24/04	Job: A04067	

PLAT FOR
TRACT A-28-B1-A and A-28-B1-B
 NORTHEAST UNIT, TOWN OF ATRISCO GRANT
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 OCTOBER, 2004

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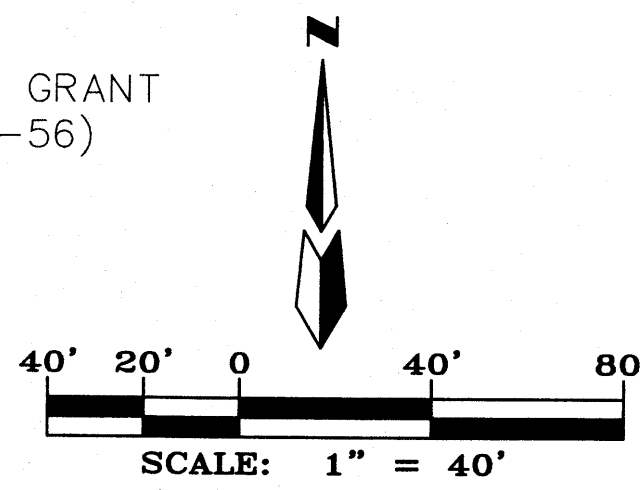


[Signature]
 10-27-04

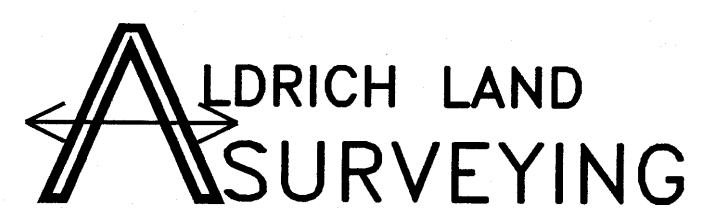


NOTES

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 $\Delta\alpha = -00^\circ 15' 34''$
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 (NAD 1927/SLD 1929)
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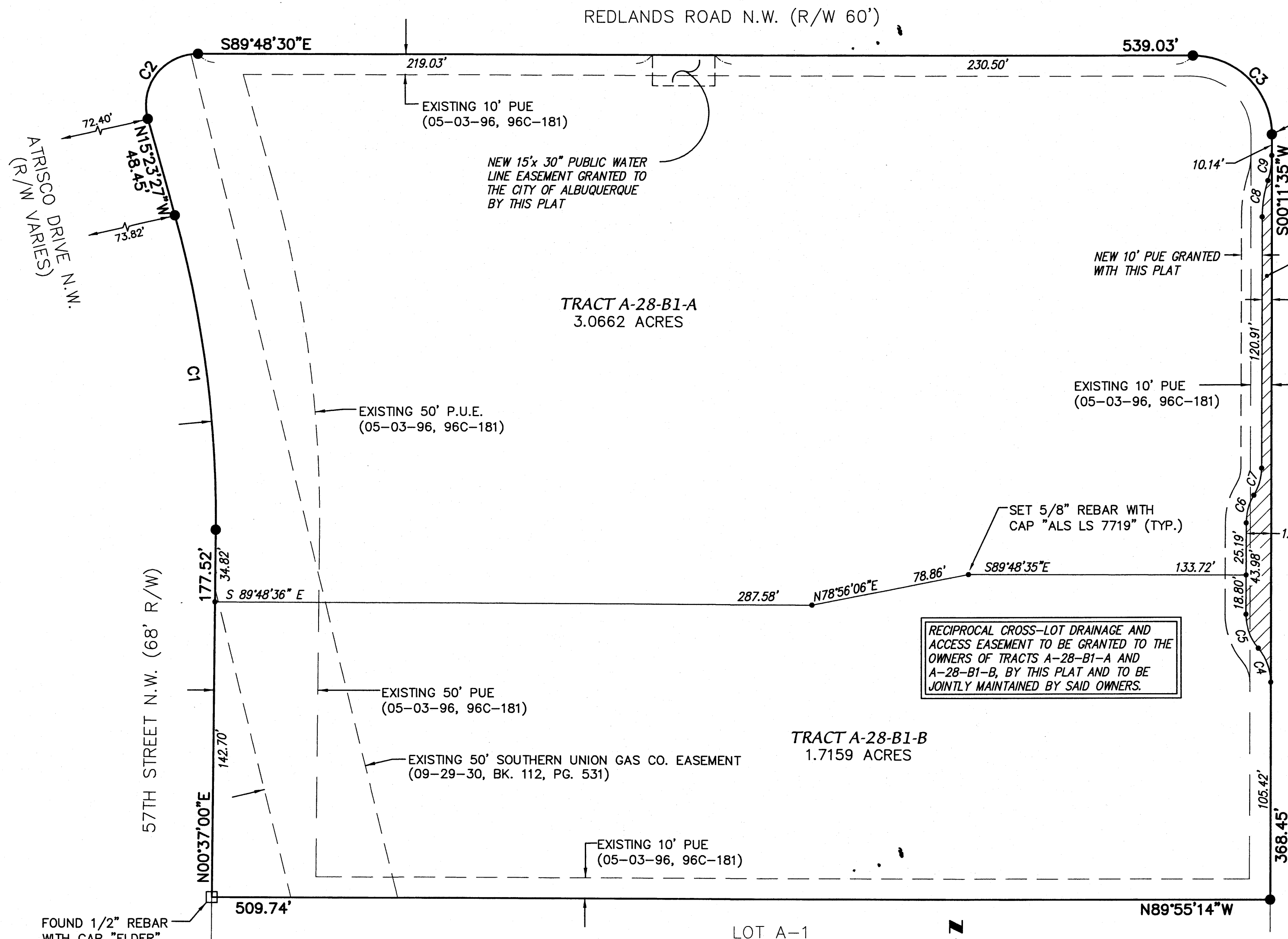


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Dwg: A04067SHT2.DWG	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 3
Scale: AS SHOWN	Date: 10/06/04	Job: A04067	2 3

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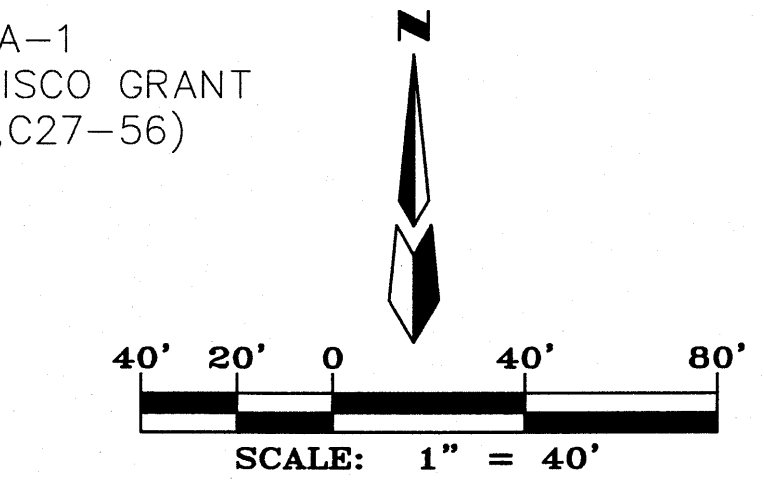
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4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
5. The New Mexico Utilities, Inc., for the installation, maintenance and service of water and sanitary sewer lines and any other equipment, fixtures, structures and related facilities reasonably necessary to provide water and sewer services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

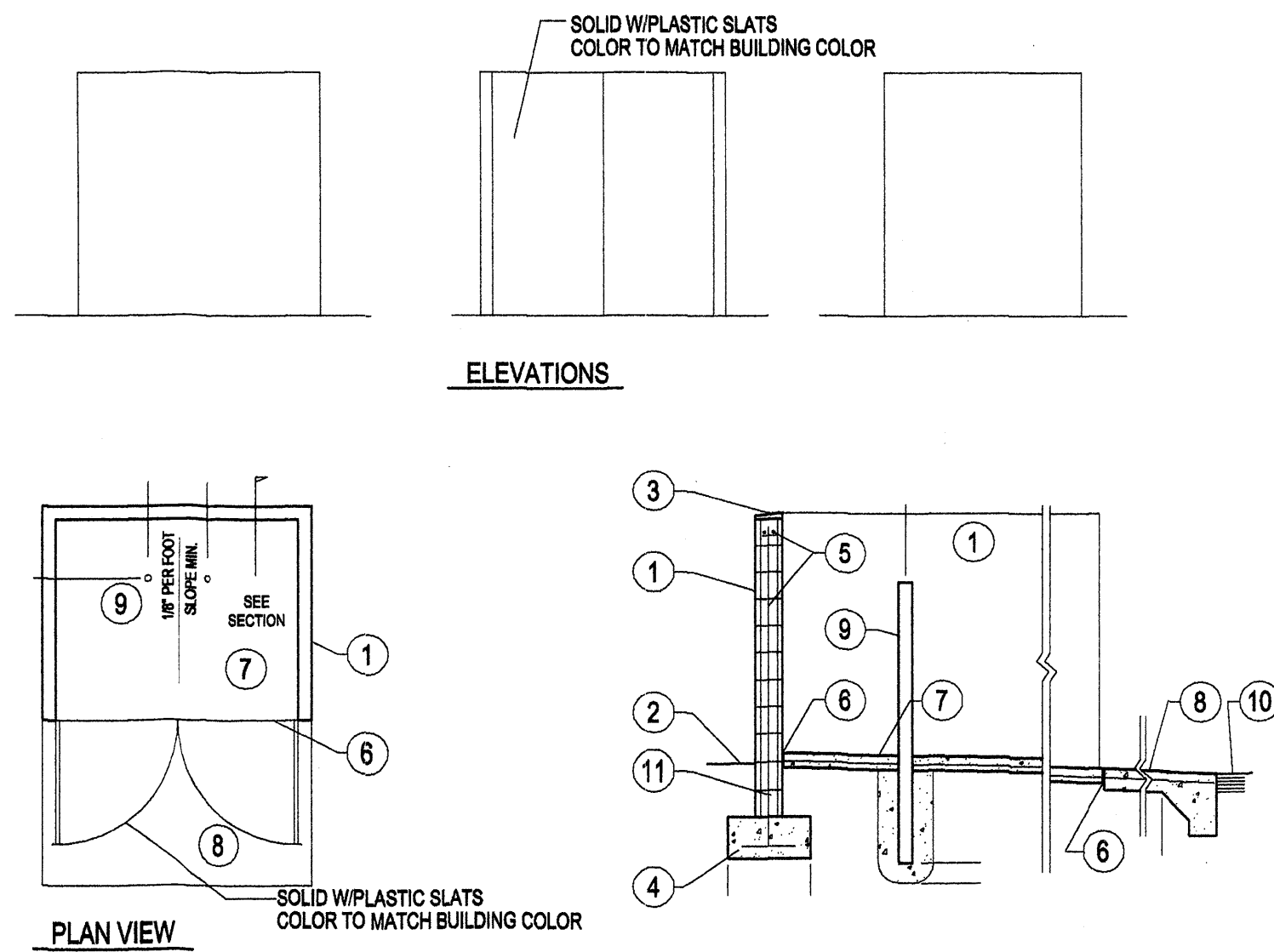
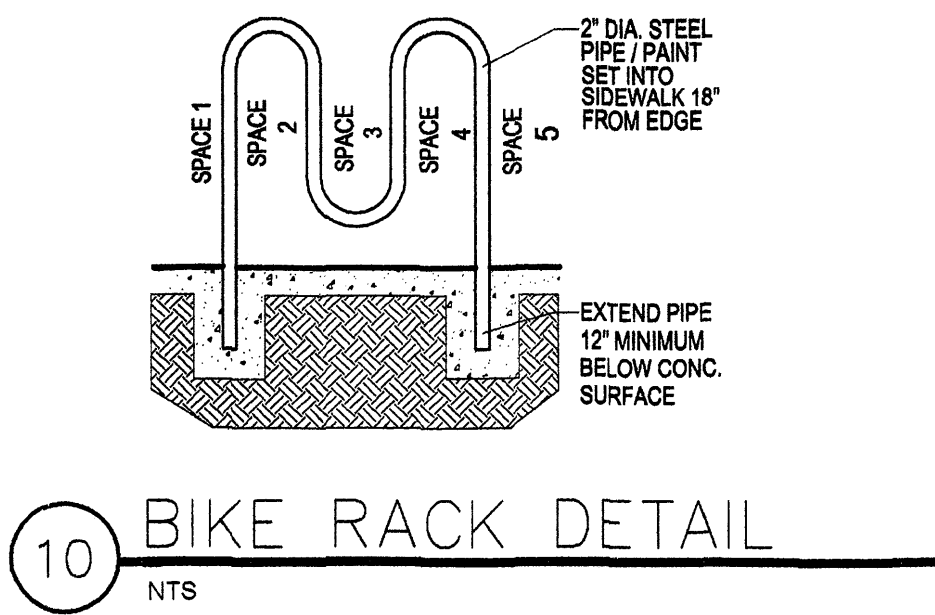
Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



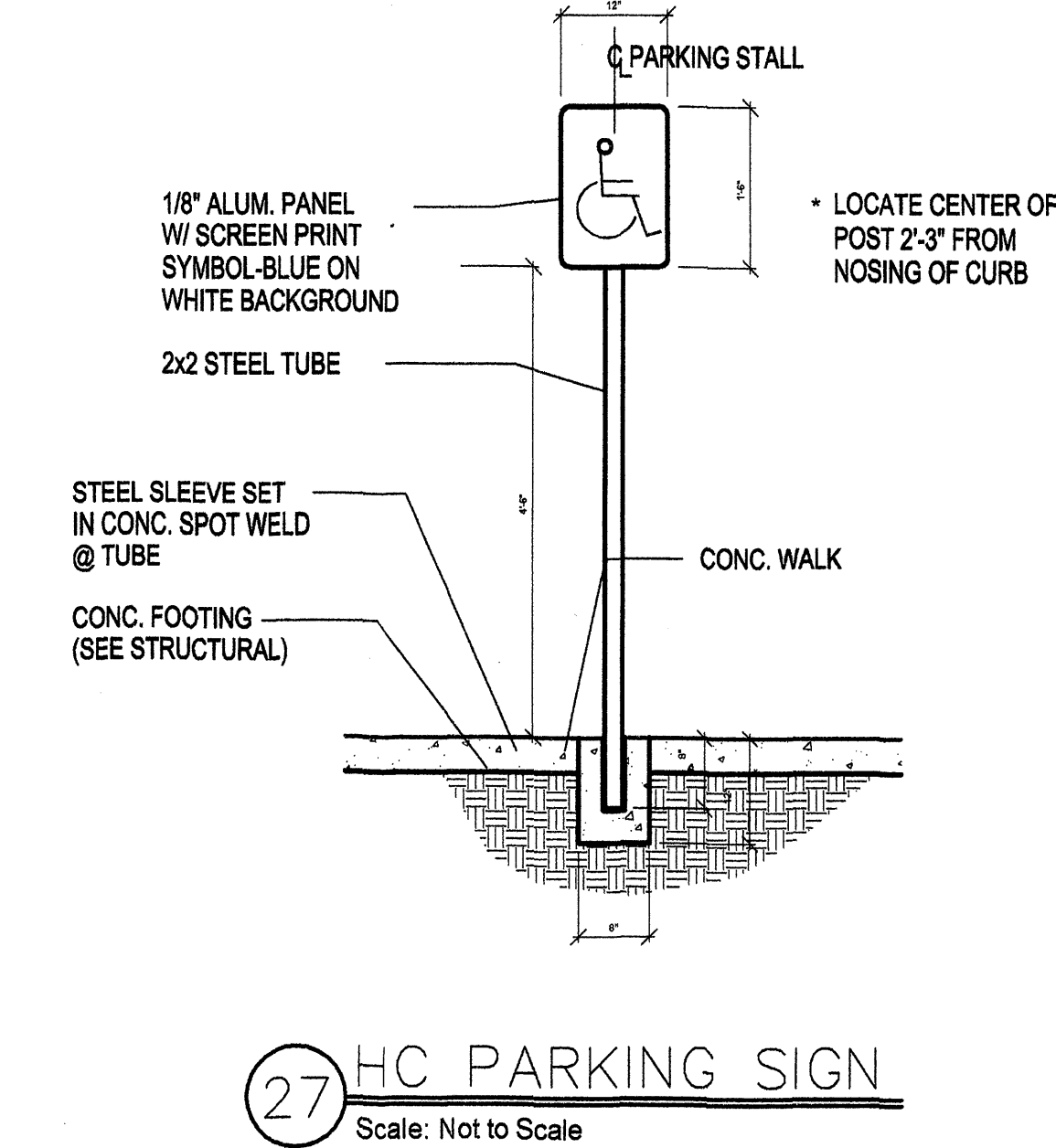
Dwg: A4067BASE.dwg	Drawn: RICHARD	Checked: ALS	Sheet 3 of 3
Scale: 1"=40'	Date: 12/01/04	Job: A04067	

F:\A04067\A4067\FINAL PLAT\A4067BASE.dwg, 12/1/2004 7:33:33 AM, MARK GOODWIN & ASSOCIATES, PLOTTED BY RDO.



REFUSE CONTAINER NOTES

1. PRECAST CONCRETE WALL FINISH TO MATCH BLDG.
2. FINISH GRADE.
3. SLOPE STUCCO CAP.
4. 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
5. 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS. DURAWALL @ 16" O.C. HORIZONTAL.
6. 1/2" EXPANSION JOINT MATERIAL
7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM.
8. 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM W/ TURNDOWN EDGE.
9. 4" CONCRETE FILLED PIPE IN 16" DIA. X 2-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
10. ASPHALT PAVING
11. GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.



GENERAL NOTES

- A. BUILDING MOUNTED SIGNAGE : 6% MAXIMUM OF THE FACADE AREA. LETTERS TO BE CHANNELIZED OR NEON.
- B. ROOF TOP EQUIPMENT SHALL NOT BE VISIBLE FROM ADJACENT PROPERTY OR RIGHT-OF-WAYS. HEIGHT OF SUCH EQUIPMENT MUST BE BELOW PARAPET HEIGHT.

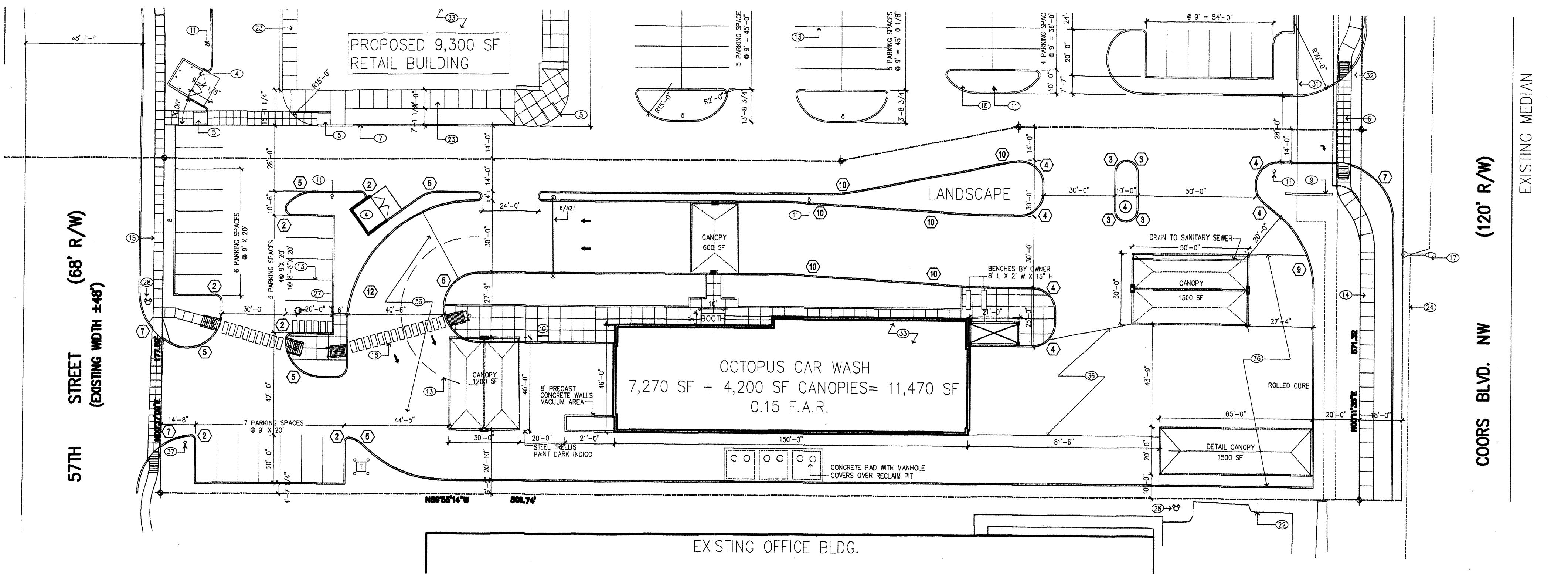
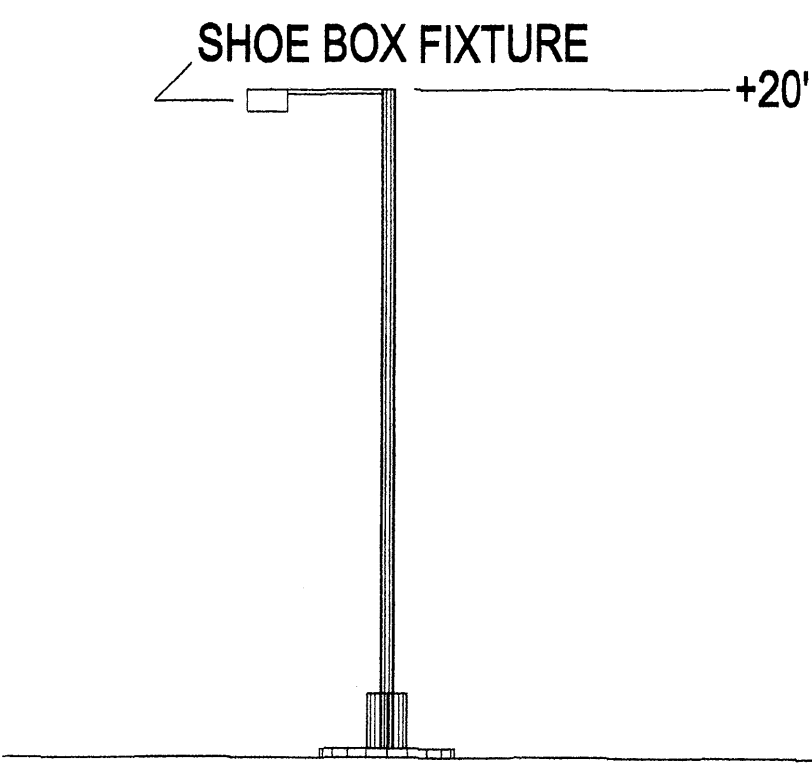
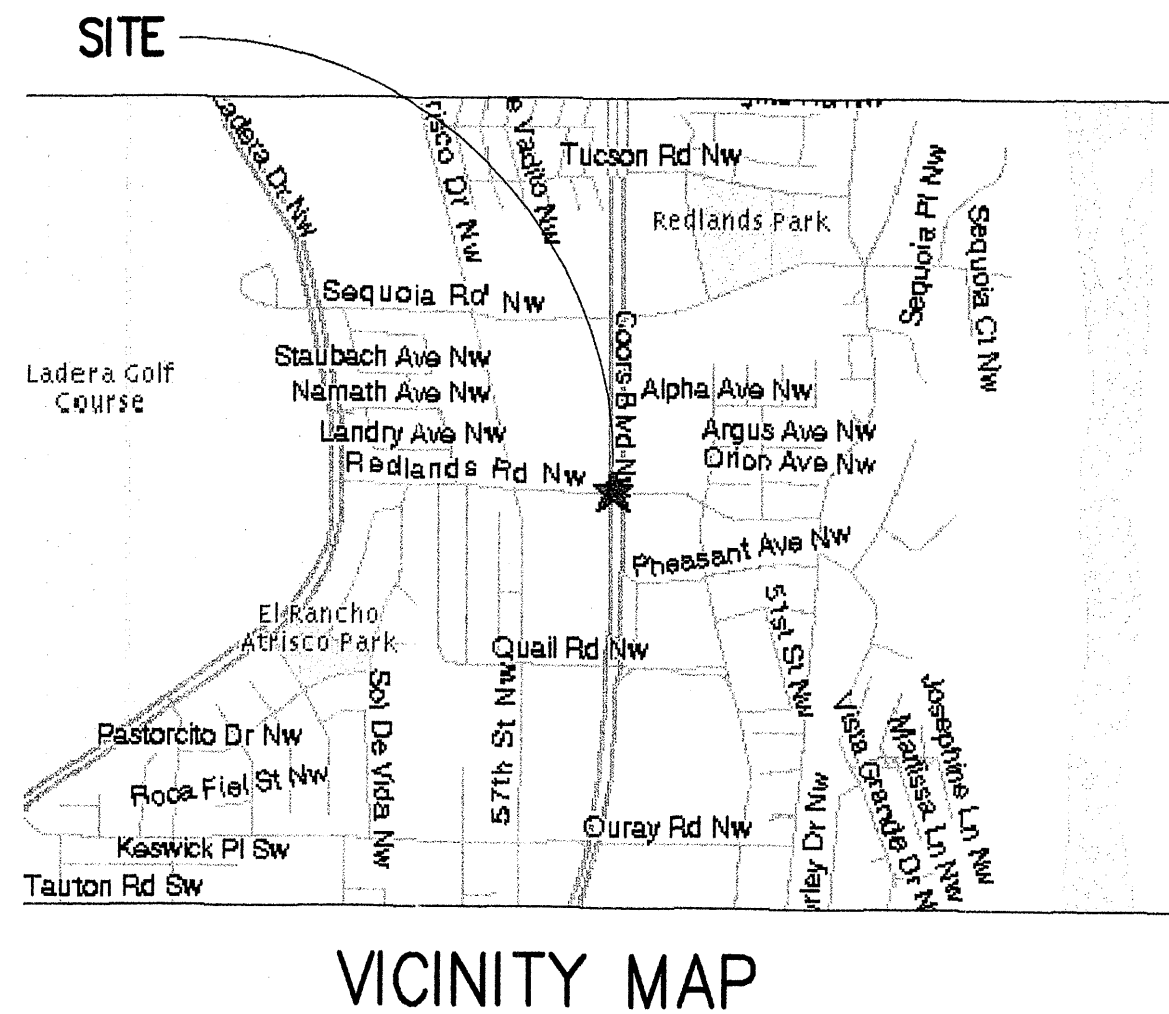
PROJECT DATA

1. LEGAL DESCRIPTION
TRACT A-28-B1 of the NORTHEAST UNIT, TOWN OF ATRISCO GRANT, as the same is shown and designated on the Plat for TRACT A-28-B1 AND A-28-B2 NORTHEAST UNIT, TOWN OF ATRISCO GRANT (Being a Replot of Tracts A-28 and A-29) filed in the Office of the County Clerk of Bernalillo County, New Mexico, on May 3, 1996 in Map Book 96C, Folio 181.
2. ZONING
CITY OF ALBUQUERQUE, NEW MEXICO ZONE: C-1 SU-1
AUTO BODY REPAIR AND PAINTING
AREAS
TRACT AREA: 1.72 ACRES
BUILDING FOOTPRINT: 11,118 SF
F.A.R.: .15
HEIGHT: 26 FT
4. PROPOSED USE
CAR WASH
5. PARKING

PARKING REQUIRED	11,118 SF BLDG.
EMPLOYEES PER SHIFT	8
120 SF OFFICE SPACE 1/200 SF	1
ACCESSIBLE SPACE	1
TOTAL PARKING PROVIDED	18
BICYCLE PARKING PROVIDED	5
6. LANDSCAPE
LANDSCAPE PROVIDED (15% NET LOT AREA) 9,135 SF
LANDSCAPE REQUIRED 13,299 SF
7. PARKING NOTES
TYPICAL STANDARD SPACES: 9'-0" X 20'-0"
TYPICAL HC SPACES: 8'-6" X 20'-0"
ALL SPACES ARE STANDARD UNLESS OTHERWISE NOTED

KEYED NOTES

1. 10' PUBLIC UTILITY EASEMENT
2. 50' PUBLIC UTILITY EASEMENT
3. RESTAURANT DRIVE-THRU LANE: DRIVE THROUGH SHALL BE SHADED WITH AN ARCHITECTURALLY INTEGRATED CANOPY
4. 8" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS, STUCCOED TO MATCH PRIMARY BUILDING COLOR. REFER DETAIL 3, PAGE 6
5. ACCESSIBLE SIDEWALK RAMP
6. 6" CONCRETE CURB AND DRIVE ENTRY PER COA STANDARDS
7. 6" CONCRETE CURB
8. 10' SET BACK
9. NEW MONUMENT SIGN, REFER DETAIL 5, SHEET A2.1 SIZE SHALL CONFORM TO THE COORS COORDINOR PLAN:
10. BICYCLE RACK, 5 SPACES; REFER DETAIL 4, PAGE 6
11. LIGHT POLE, REFER DETAIL 2, PAGE 6
12. ASPHALTIC PAVING
13. 4" WIDE PAINTED PARKING STALL STRIPING, WHITE-TYPICAL
14. 6' WIDE SIDEWALK
15. 4' WIDE SIDEWALK
16. TEXTURED CONCRETE PEDESTRIAN CROSSING
17. EXISTING LIGHT POLE
18. LANDSCAPED PARKING ISLAND
19. EXISTING BANK
20. EXISTING BANK
21. EXISTING RETAIL TIRE STORE
22. EXISTING PARKING AT OFFICE BUILDING
23. CONCRETE WALK, WIDTH AS NOTED ON PLAN
24. EXISTING CURB
25. EXISTING 4' WIDE SIDE WALK
26. EXISTING PROPERTY LINE
27. HANDICAP PARKING STALL SIGN
28. FIRE HYDRANT
29. PLAZA WITH TABLES AND SEATING SHADDED WITH SHADE TREES IN TREE GRATES: 250 SF MINIMUM
30. 3' HIGH CMU WALLS TO SCREEN PARKING AREAS FROM THE STREET, STUCCOED TO MATCH PRIMARY BUILDING COLOR
31. 15' LANDSCAPE BUFFER ALONG COORS BLVD.
32. 12' WIDE ROW DEDICATION FOR DECELERATION LANE
33. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THE SITE. ALTERNATIVELY, ROOFTOP EQUIPMENT SHALL BE SCREENED BY ROOFTOP WALLS THAT ARE PAINTED TO MATCH THE ROOF COLOR OR THE PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW THE TOP OF THE SCREEN WALL.
34. ANY ATM'S SHALL BE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN
35. DRAIN TO SANITARY SEWER, THIS REFUSE ENCLOSURE ONLY
36. BROOMED CONCRETE
37. 16' LIGHT FIXTURE (WITHIN 100' OF RESIDENTIAL)



AFD Plans Checking Office
924-3611
HYDRANTS ONLY
Hydrants shall be installed prior to construction.
APPROVED/DISAPPROVED
R.C. Smith 11-23-04
Signature & Date

RADIUS INFORMATION:

- | | |
|-------------------|-------------------|
| ① RADIUS = 2'-0" | ⑦ RADIUS = 25'-0" |
| ② RADIUS = 3'-0" | ⑧ RADIUS = 30'-0" |
| ③ RADIUS = 5'-0" | ⑨ RADIUS = 40'-0" |
| ④ RADIUS = 10'-0" | ⑩ RADIUS = 50'-0" |
| ⑤ RADIUS = 15'-0" | ⑪ RADIUS = 60'-0" |
| ⑥ RADIUS = 20'-0" | ⑫ RADIUS = 48'-0" |

SITEPLAN

SCALE: 1" = 30'-0"

add note re. maintenance of canopy to preserve visual integrity

REVISION	DATE	BY

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

OCTOPUS CARWASH
COORS BLVD. NW & REDLANDS RD. NW
ALBUQUERQUE, NEW MEXICO

SITE PLAN - BUILDING PERMIT

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) on _____ and that the findings and conditions in the Official Notice of Notification of Decision have been complied with:

Is an Infrastructure List required? () YES () NO

If yes, then a set of approved DRC Plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	_____	Date	_____
Utilities Development	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
City Engineer, Engineering Division / AMAFCA	_____	Date	_____
Environmental Health Department *(conditional)	_____	Date	11-23-04
DRB Chairperson, Planning Department	_____	Date	_____

* Environmental Health, if necessary

DATE: 5-21-04
SCALE: AS NOTED
sheet-
A1.0
of

GENERAL NOTES

- A. BUILDING MOUNTED SIGNAGE : 6% MAXIMUM OF THE FACADE AREA. LETTERS TO BE CHANNELIZED OR NEON.
- B. ROOF TOP EQUIPMENT SHALL NOT BE VISIBLE FROM ADJACENT PROPERTY OR RIGHT-OF-WAYS. HEIGHT OF SUCH EQUIPMENT MUST BE BELOW PARAPET HEIGHT.

PROJECT DATA

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TRACT A-28-B1 OF THE NORTHEAST UNIT, TOWN OF ATRISCO GRANT, as the same is shown and designated on the Plat for Tract A-28-B1 AND A-28-B2 NORTHEAST UNIT, TOWN OF ATRISCO GRANT (Being a Replat of Tracts A-28 and A-29) filed in the Office of the County Clerk of Bernalillo County, New Mexico, on May 3, 1996 in Map Book 960, Folio 181.
2. ZONING
CITY OF ALBUQUERQUE, NEW MEXICO ZONE: C-1 SU-1
AUTO BODY REPAIR AND PAINTING
AREAS
TRACT AREA: 1.72 ACRES
BUILDING FOOTPRINT: 11,470 SF
F.A.R.: .15
HEIGHT: 26 FT
3. PROPOSED USE
CAR WASH
4. PARKING
PARKING REQUIRED 11,470 SF BLDG.
EMPLOYEES PER SHIFT 8
120 SF OFFICE SPACE 1/200 SF 1
ACCESSIBLE SPACE 2
TOTAL PARKING PROVIDED 19
BICYCLE PARKING PROVIDED 1
5. LANDSCAPE
LANDSCAPE REQUIRED (15% NET LOT AREA) 9,135 SF
LANDSCAPE PROVIDED 13,299 SF
6. PARKING NOTES
TYPICAL STANDARD SPACES: 9'-0" X 20'-0"
TYPICAL HC SPACES: 8'-6" X 20'-0"
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APPLICATION NUMBER: _____

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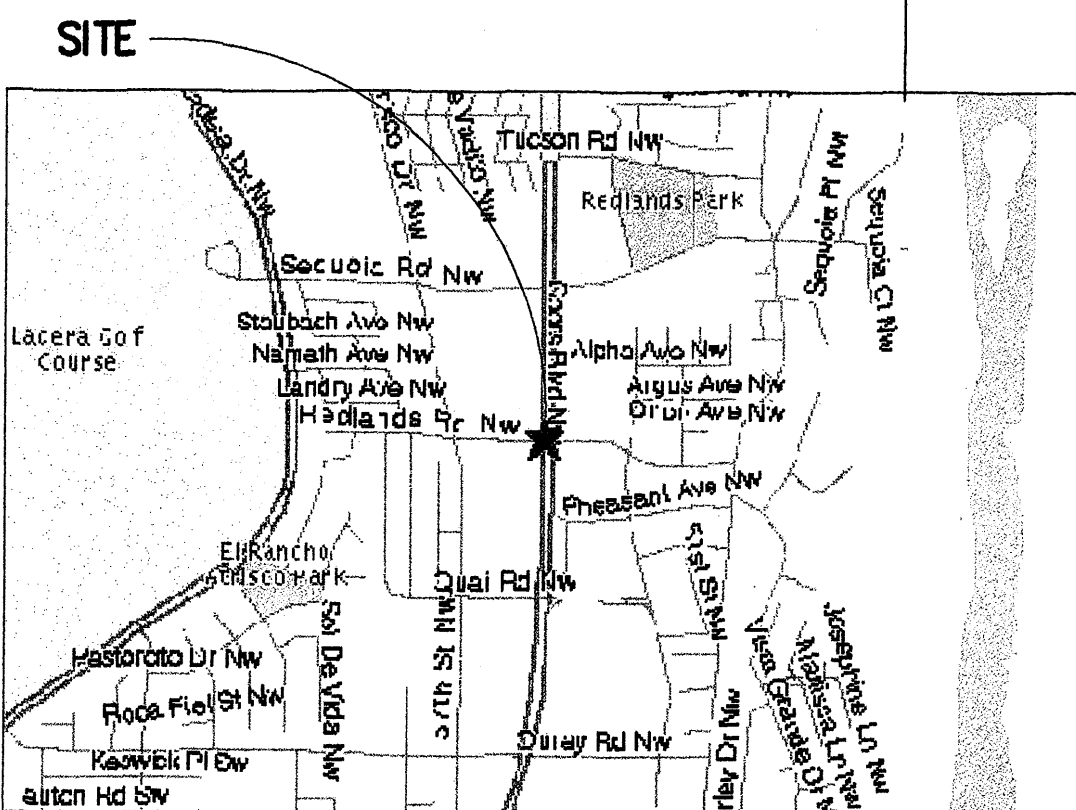
Is an Infrastructure List required? () YES () NO

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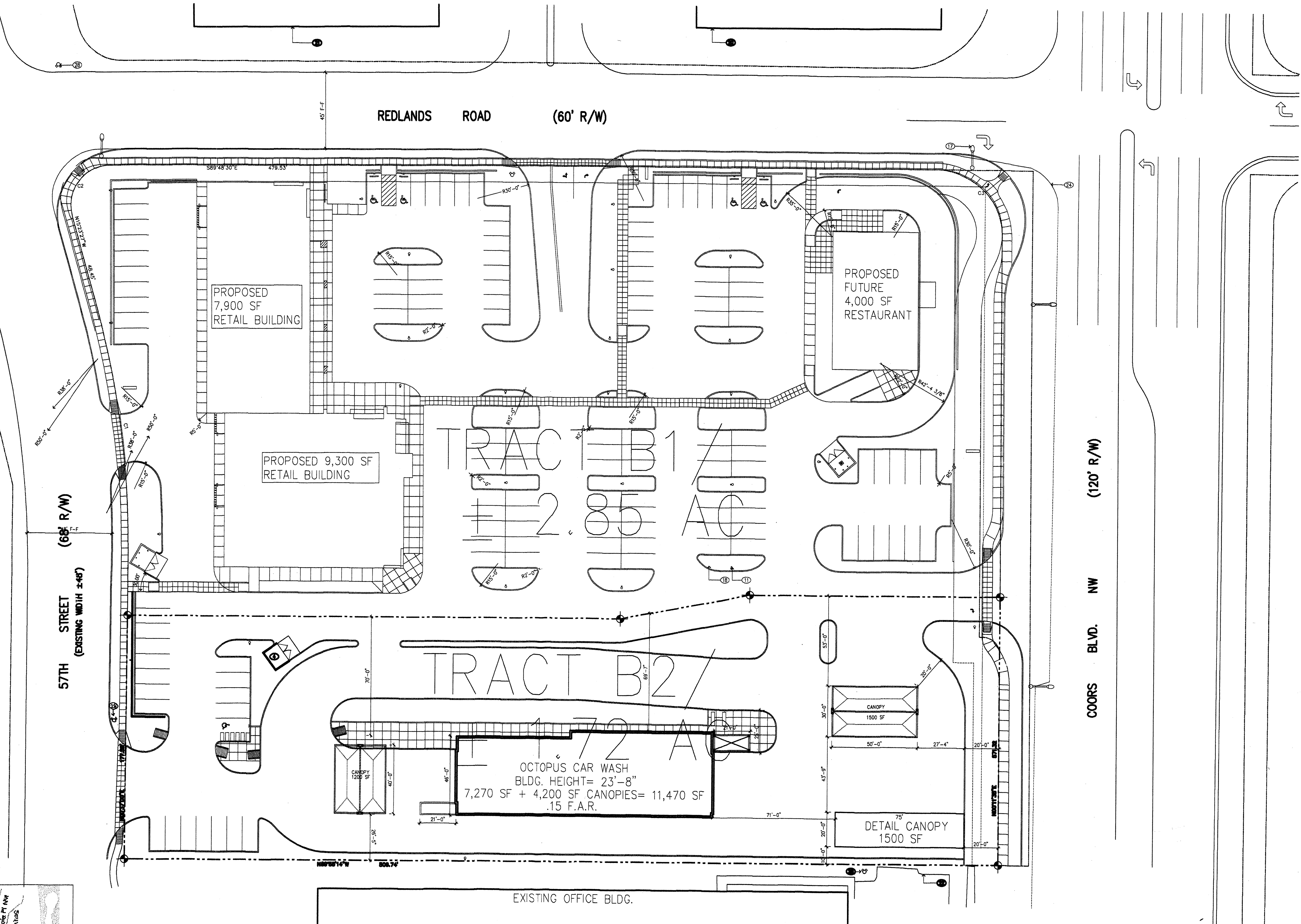
SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer, Engineering Division / AMAFCA	Date
Environmental Health Department *(conditional)	Date
<i>Michael Holton</i> Solid Waste Management	11-23-04 Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary



VICINITY MAP



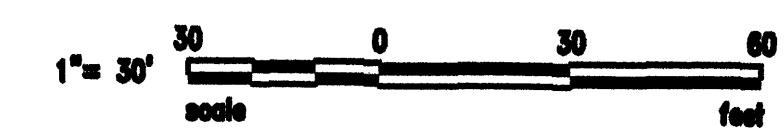
RADIUS INFORMATION:

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- ⑪ RADIUS = 60'-0"
- ⑫ RADIUS = 100'-0"



SITEPLAN

SCALE: 1" = 30'-0"



AFD Plans Checking Office
924-3611
HYDRANTS ONLY
Hydrants shall be installed prior to construction
APPROVED/DISAPPROVED
R. C. Sanchez 11-23-04
Signature & Date

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

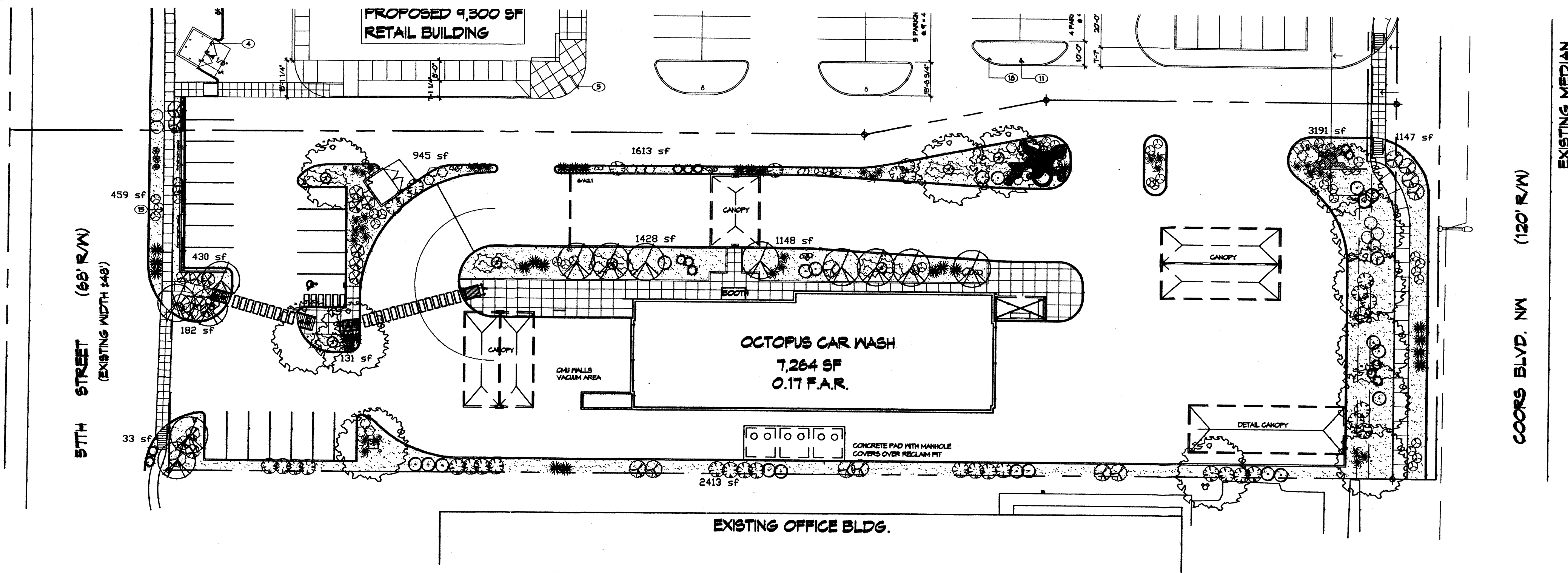
PROJECT TITLE
OCTOPUS CARWASH
COORS BLVD. NW & REDLANDS RD. NW
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
MIKE SAFRANY

JOB NO.
DRAWN BY
MPS

SHEET TITLE
SITE PLAN - SUBDIVISION

DATE:	sheet:
5-21-04	
SCALE:	A1.1
AS NOTED	of



PLANT LEGEND

- ASH (H) AND HONEY LOCUST (H) 13
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- FLOWERING PEAR (H) 11
Pyrus calleryana
2" Cal.
- MUGO PINE (M) 1
Pinus mugo
15 Gal.
- WASHINGTON HAWTHORN (H) 2
Crataegus phaenopyrum
15 Gal.
- APACHE PLUME (L) 6
Fallugia paradoxa
5 Gal. 25sf
- BLUE MIST SPIREA (M) 3
Caryopteris clandonensis
5 Gal.
- LANAS/ SCOTCH BROOM (M) 13
Cytisus scoparius/
Gonista hispanica
5 Gal.
- RED YUCCA (L) 25
Hesperaloe parviflora
5 Gal.
- MAIDENGRASS (M) 32
Miscanthus sinensis
5 Gal. 16sf
- INDIAN HAWTHORN (M) 15
Raphiolepis indica
5 Gal.
- RUSSIAN SAGE (M) 21
Perovskia atriplicifolia
5 Gal.
- AUTUMN SAGE (M) 18
Salvia greggii
2 Gal. 9sf
- HONEYSUCKLE (M) 16
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
- CHAMISA (L) 35
Chrysothamnus nauseosus
1 Gal. 25sf
- WILDFLOWER 42
1 Gal. 4sf
- CREEPING ROSEMARY (M) 21
Rosmarinus officinalis
2 Gal. 36sf
Symbol indicated 3 plants
- VINE 6
1 Gal. 200sf
- OVERSIZED GRAVEL
& 18 BOULDERS
- SANTA FE BROWN
WITH FILTER FABRIC

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Coors Blvd. Required 5 Provided 6

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

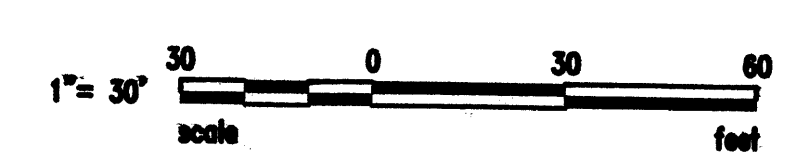
LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA		
TOTAL LOT AREA	75156	square feet
TOTAL BUILDINGS AREA	12618	square feet
OFFSITE AREA	1639	square feet
NET LOT AREA	60899	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	9135	square feet
TOTAL LANDSCAPE PROVIDED	13120	square feet
TOTAL GROUND COVER REQUIREMENT		
TOTAL GROUND COVER PROVIDED	10165	square feet
TOTAL BED PROVIDED	13120	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com

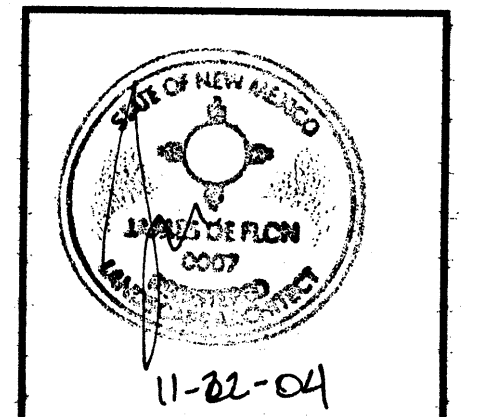
THE HILLTOP expressly reserves the common law copyright and other property rights in these plans. These plans are not to be reproduced, changed or copied in any manner whatsoever, nor are they to be assigned to any third party without obtaining the express written permission and consent of THE HILLTOP.

LANDSCAPE PLAN
SCALE: 1"= 30'-0"



REV	DATE	BY	REVISION
1	5-26-04		
2			
3			
4			
5			
6			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE: **OCTOPUS CARWASH**
COORS BLVD. NW & REDLANDS RD. NW
ALBUQUERQUE, NEW MEXICO

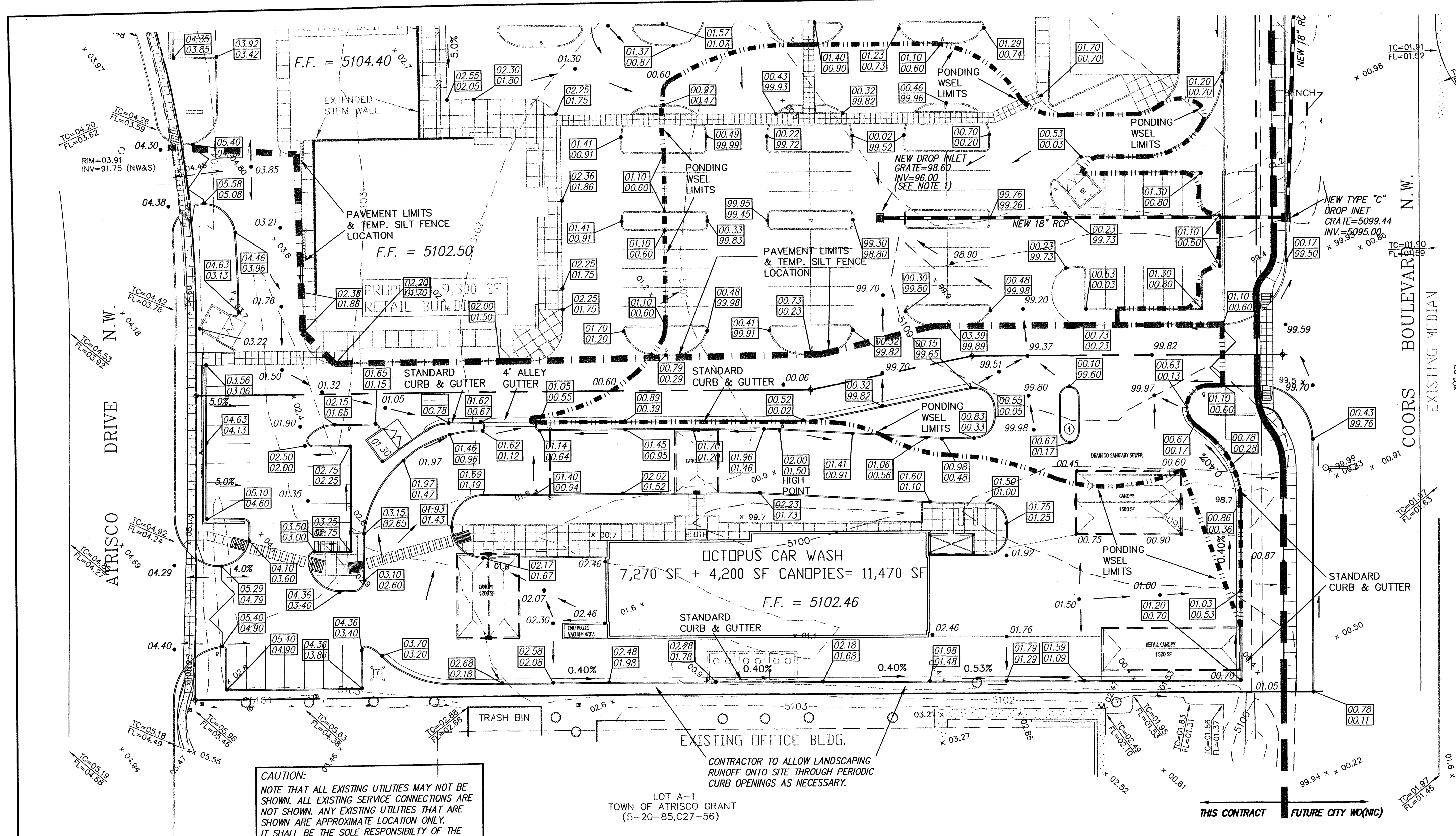
PROJECT MANAGER: **MIKE SAFRANY**

DRAWN BY: **SJ**

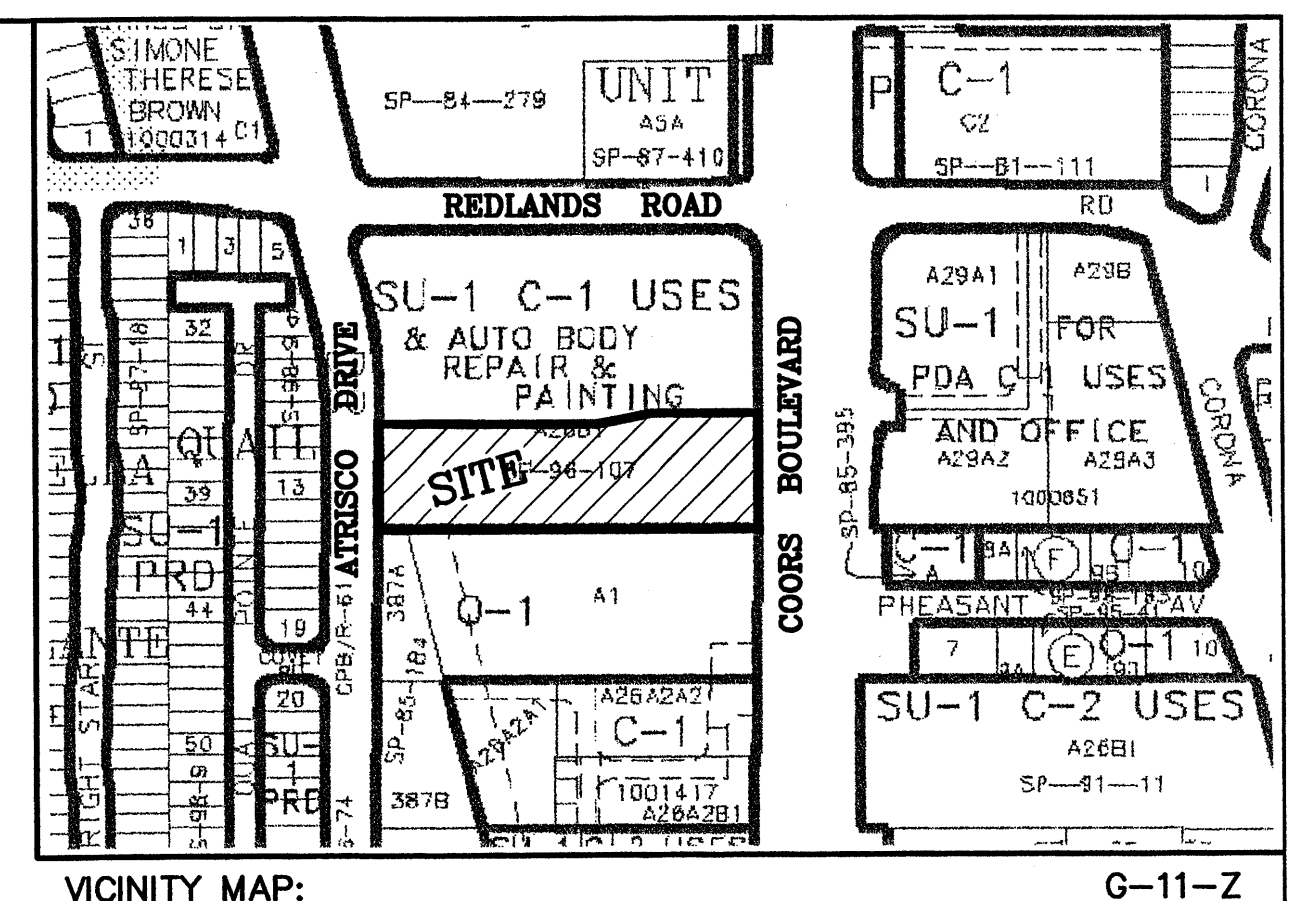
JOB NO.

SHEET TITLE: **LANDSCAPE PLAN**

DATE:	5-26-04	sheet-
SCALE:	AS NOTED	L1.0
		of.



PONDING LIMITS AND ALL THE STORM SEWER STRUCTURES WILL BE BUILT WITH THE CONSTRUCTION OF THE CARWASH. TEMPORARY SILT FENCE WILL PLACED ALONG ALL THE GRADED AREAS.



LEGAL DESCRIPTION:
 TRACT 4-28-B1 AND A-28-B2, NORTHEAST UNIT, TOWN OF ATRISCO GRANT, SECTION 2 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING 8" SANITARY SEWER LINE
	EXISTING 16" WATER LINE
	EXISTING CURB & GUTTER
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE
	EXISTING POWER LINES
	EXISTING FENCE
	100-YR WSEL (FROM HEC-RAS OUTPUT)
	EXISTING FENCE
	FLOODPLAIN LIMITS FROM FEMA MAP
	EXISTING GARDEN WALL
	PROPOSED RETAINING WALL
	PROPOSED EXTENDED STEM WALL
	TOP OF RETAINING WALL
	TOP OF FOOTING
	TOP OF EXTENDED STEM WALL
	TOP OF FOOTING
	PAVEMENT LIMITS & TEMP. SILT FENCE LOCATION
	PONDING WSEL LIMITS

CAUTION:
 NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

CONTRACTOR TO ALLOW LANDSCAPING RUNOFF ONTO SITE THROUGH PERIODIC CURB OPENINGS AS NECESSARY.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

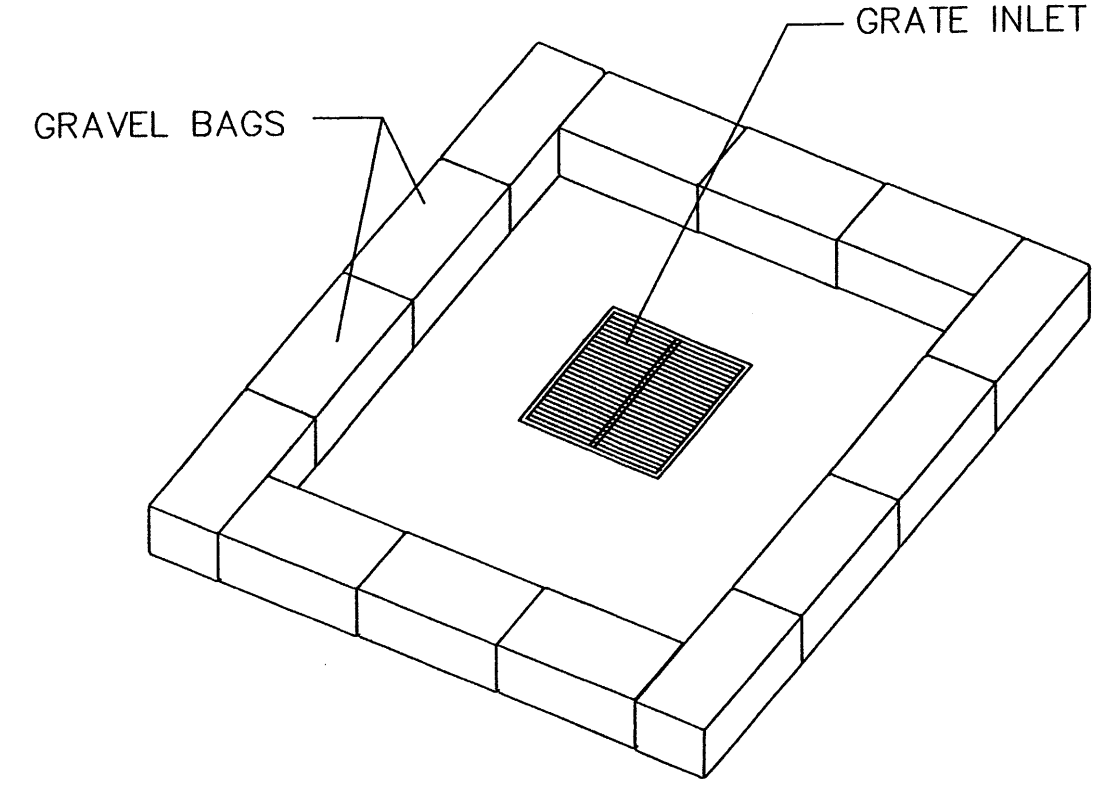
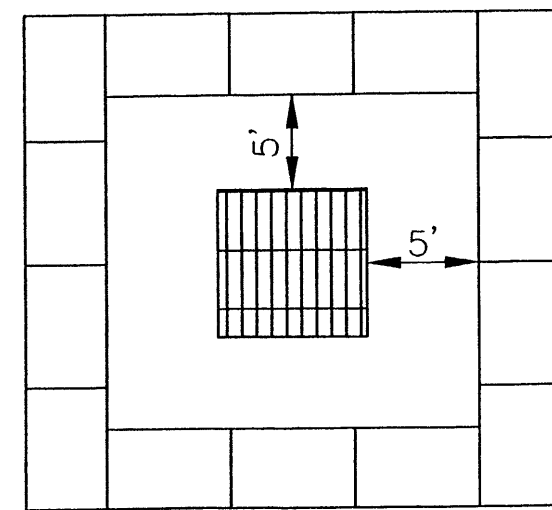
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

ADDITIONAL NOTES:

1. ADD 4900 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION (THE TOPOGRAPHY WAS PROVIDED BY THE ARCHITECT)
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 3:1 MAXIMUM.

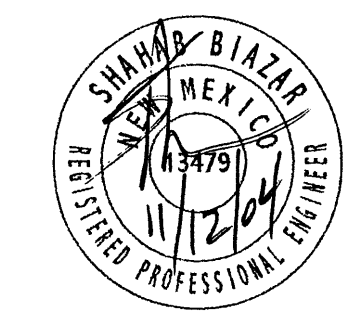
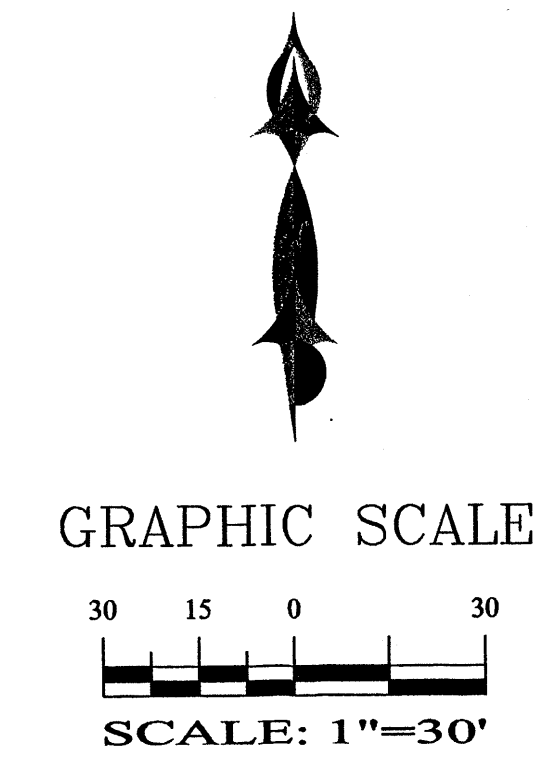
GENERAL NOTES

1. THE OPENING FROM THE ON-SITE DROP INLET TO THE 18" RCP OUTFALL SHALL BE COVERED WITH A 1/4" THICK STAINLESS STEEL PLATE WITH A 3 1/2" DIAMETER BORING LOCATED SO THAT ITS BOTTOM MATCHES THE FLOWLINE OF THE RCP.
2. THIS PROPERTY IS NOT LOCATED IN A FEMA FLOODPLAIN PER FIRM NO. 35001C0327.
3. THERE ARE NO SIGNIFICANT OFFSITE FLOWS ENTERING THIS SITE. EXISTING MINOR OFF-SITE FLOWS FROM THE SOUTH WILL BE ROUTED THROUGH THE SITE.
4. PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING DRAINAGE IMPROVEMENTS ON THE PROPERTY SO THAT THEY CONTINUE TO FUNCTION PROPERLY YEAR AFTER YEAR.
5. ELEVATIONS SHOWN HEREON ARE INTENDED TO BE FINAL GRADES. OWNER, ROUGH GRADING CONTRACTOR AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR ASSURING THAT AFTER ALL WORK IS COMPLETE, SITE'S FINAL SURFACE GRADES ARE AS SHOWN HEREON.
6. EARTHWORK CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FOLLOWING REQUIREMENTS OF THE SURFACE DISTURBANCE PERMIT FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT.
7. OWNER AND ALL ASSOCIATED CONTRACTORS WHO ENGAGE IN ALTERATION OF SITE SURFACES, SHALL FILE A NOTICE OF INTENT WITH EPA AND FOLLOW STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS.
8. EXCEPT ALONG COORS BOULEVARD (CITY WO LATER), ALL NEW DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DETAILS.



GRAVEL BAG DETAIL

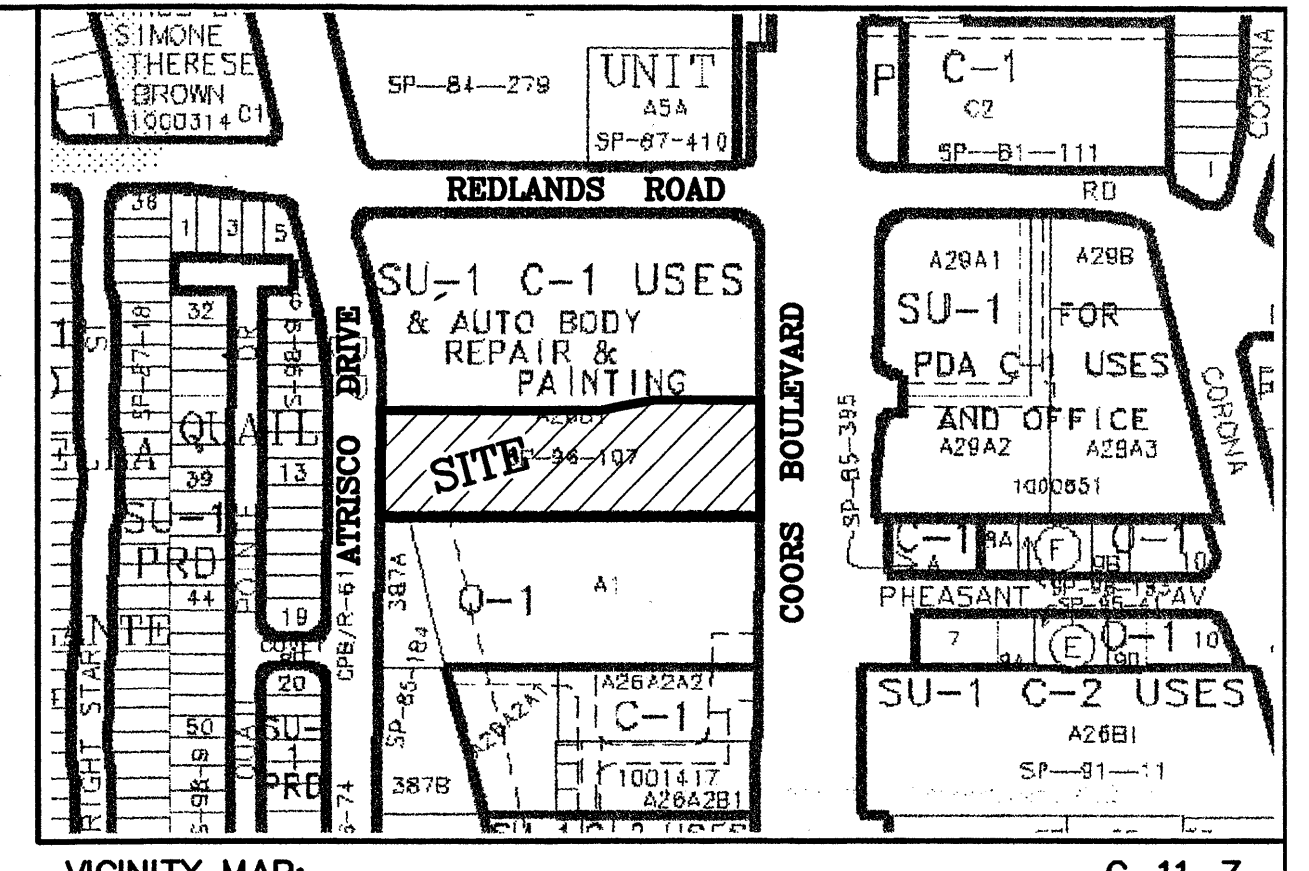
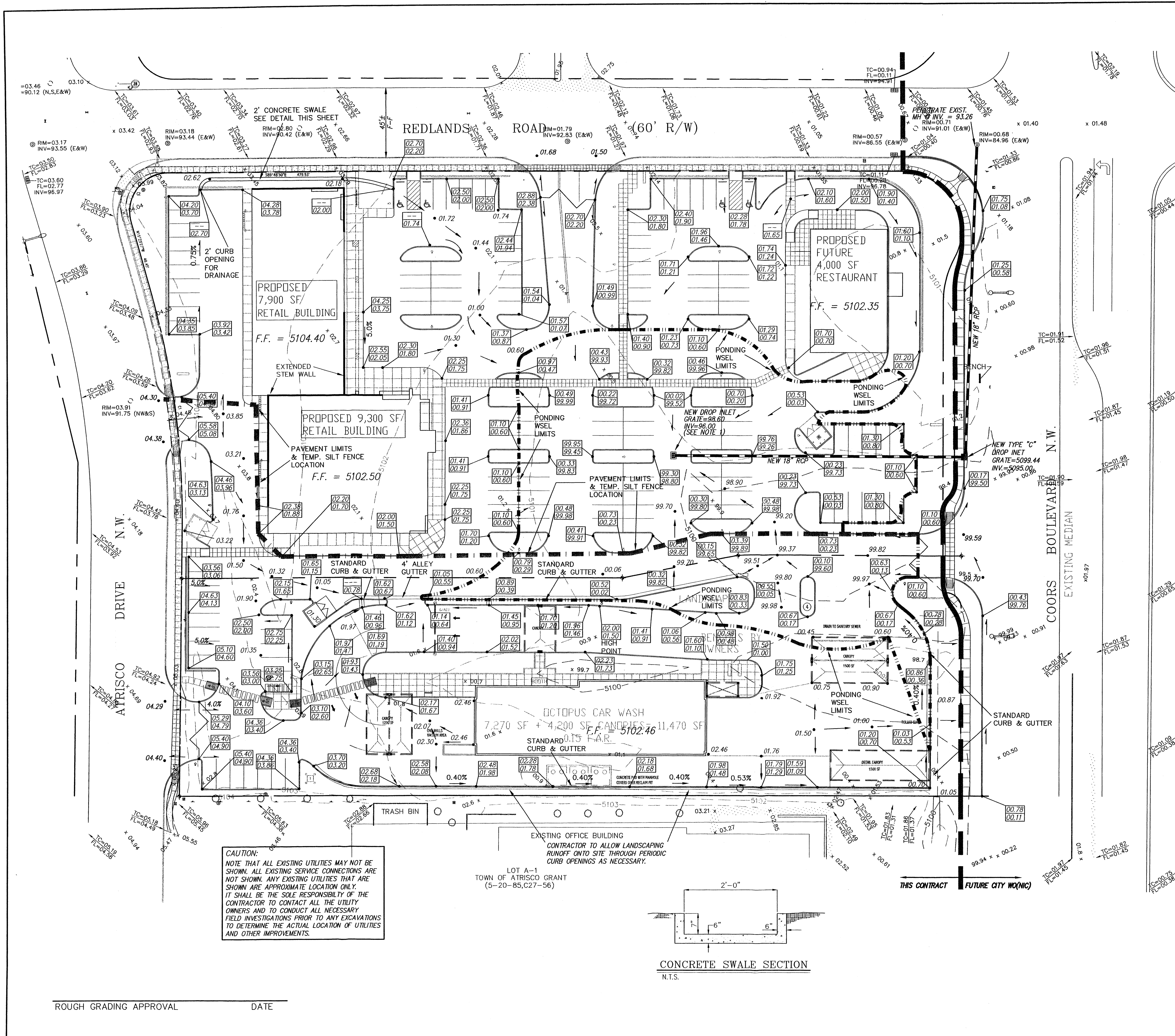
ROUGH GRADING APPROVAL _____ DATE _____



SHAHAB BIAZAR
 P.E. #13479
 4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

OCTOPUS CAR WASH GRADING AND DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200426-GR.DWG	SB	04-28-2004	OF

LAST REVISION: 11-12-2004



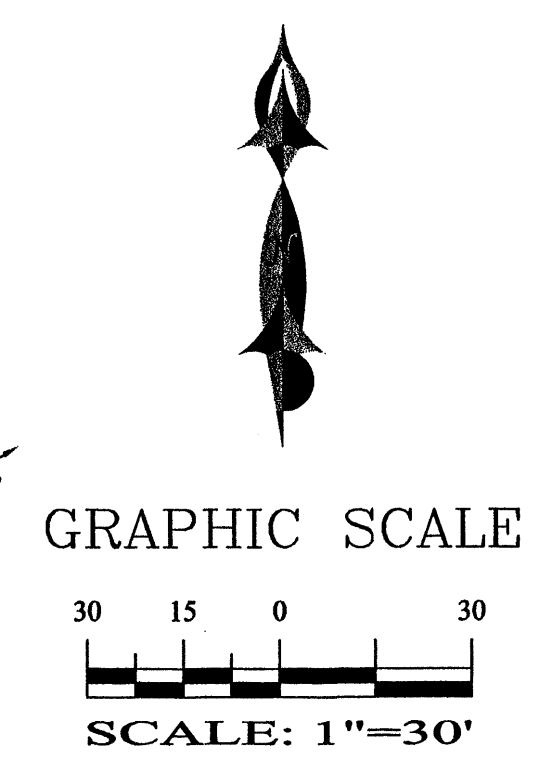
VICINITY MAP: G-11-Z

LEGAL DESCRIPTION:
 TRACT 4-28-B1 AND A-28-B2, NORTHEAST UNIT, TOWN OF ATRISCO GRANT, SECTION 2 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

- GENERAL NOTES**
1. THE OPENING FROM THE ON-SITE DROP INLET TO THE 18" RCP OUTFALL SHALL BE COVERED WITH A 1/4" THICK STAINLESS STEEL PLATE WITH A 3 1/2" DIAMETER BORING LOCATED SO THAT ITS BOTTOM MATCHES THE FLOWLINE OF THE RCP.
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 4. PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING DRAINAGE IMPROVEMENTS ON THE PROPERTY SO THAT THEY CONTINUE TO FUNCTION PROPERLY YEAR AFTER YEAR.
 5. ELEVATIONS SHOWN HEREON ARE INTENDED TO BE FINAL GRADES. OWNER, ROUGH GRADING CONTRACTOR AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR ASSURING THAT AFTER ALL WORK IS COMPLETE, SITE'S FINAL SURFACE GRADES ARE AS SHOWN HEREON.
 6. EARTHWORK CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FOLLOWING REQUIREMENTS OF THE SURFACE DISTURBANCE PERMIT FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT.
 7. OWNER AND ALL ASSOCIATED CONTRACTORS WHO ENGAGE IN ALTERATION OF SITE SURFACES, SHALL FILE A NOTICE OF INTENT WITH EPA AND FOLLOW STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS.
 8. EXCEPT ALONG COORS BOULEVARD (CITY WORK LATER), ALL NEW DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DETAILS.

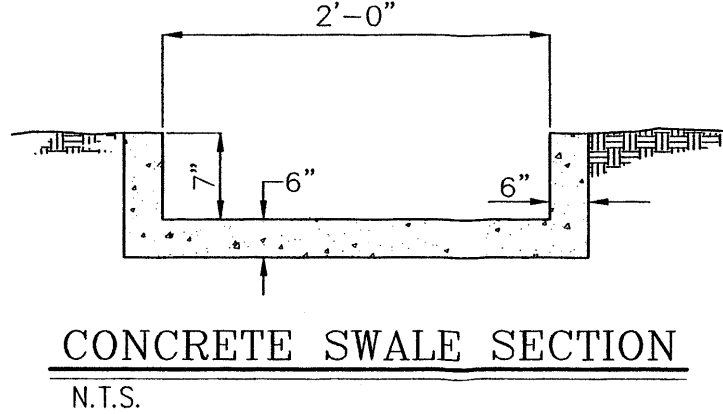
LEGEND

---	5100	EXISTING CONTOUR (MAJOR)
---	5102	EXISTING CONTOUR (MINOR)
---		BOUNDARY LINE
---		EASEMENT
TC	70.90	PROPOSED GRADE
FL	70.40	PROPOSED SPOT ELEVATION
X	70.28	EXISTING GRADE
*	5265.16	EXISTING GRADE
---		EXISTING POWER LINES
---		PROPOSED EXTENDED STEM WALL
TRW=38.00	TF=32.00	TOP OF RETAINING WALL
		TOP OF FOOTING
TSW=34.00	TF=32.00	TOP OF EXTENDED STEM WALL
		TOP OF FOOTING



CAUTION:
 NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

LOT A-1
 TOWN OF ATRISCO GRANT
 (5-20-85,C27-56)



ROUGH GRADING APPROVAL _____ DATE _____

ADVANCED ENGINEERING and CONSULTING, LLC

SHAHAB BIAZAR
 P.E. #13479

4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

REDLANDS SHOPPING CENTER OVERALL GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200426-GR-OV.DWG	SBB	04-28-2004	

LAST REVISION: 11-13-2004

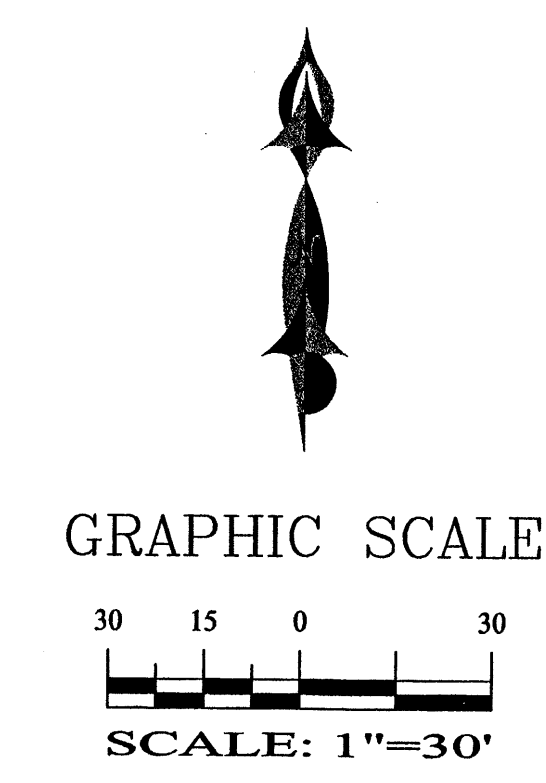
GAS LINE DEPTH HAS TO BE FIELD VERIFIED TO ASSURE THAT THERE WILL NOT BE ANY CONFLICT WITH THE SEWER SERVICE CROSSING. THE GAS DEPTH SHOULD BE OBTAINED PRIOR TO ANY CONSTRUCTION

GAS LINE DEPTH HAS TO BE FIELD VERIFIED TO ASSURE THAT THERE WILL NOT BE ANY CONFLICT WITH THE SEWER SERVICE CROSSING. THE GAS DEPTH SHOULD BE OBTAINED PRIOR TO ANY CONSTRUCTION

CAUTION:
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LEGEND

	EXISTING SAS MANHOLE
	EXISTING SD MANHOLE
	EXISTING GATE VALVE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	NEW SANITARY SEWER LINE
	NEW WATER LINE
	NEW STORM SEWER
	CLEAN OUT
	NEW WATER SERVICE
	NEW SAS SERVICE
	NEW SAS MANHOLE
	STORM SEWER MANHOLE
	SINGLE SERVICE METER
	DOUBLE SERVICE METER
	NEW GATE VALVE
	NEW FIRE HYDRANT
	TEE
	BEND
	CAP (WL)
	NEW CATCH BASIN

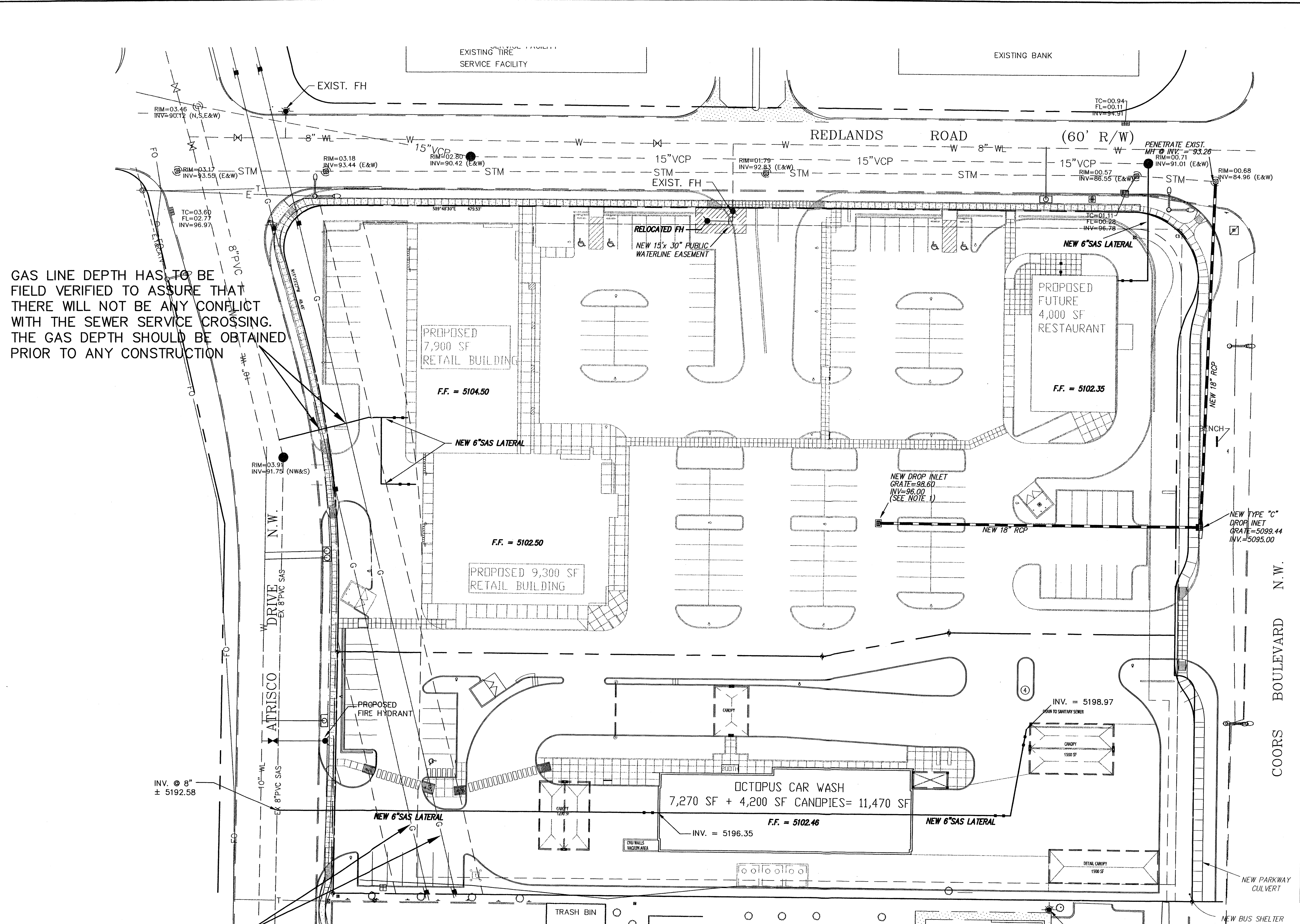


ADVANCED ENGINEERING and CONSULTING, LLC

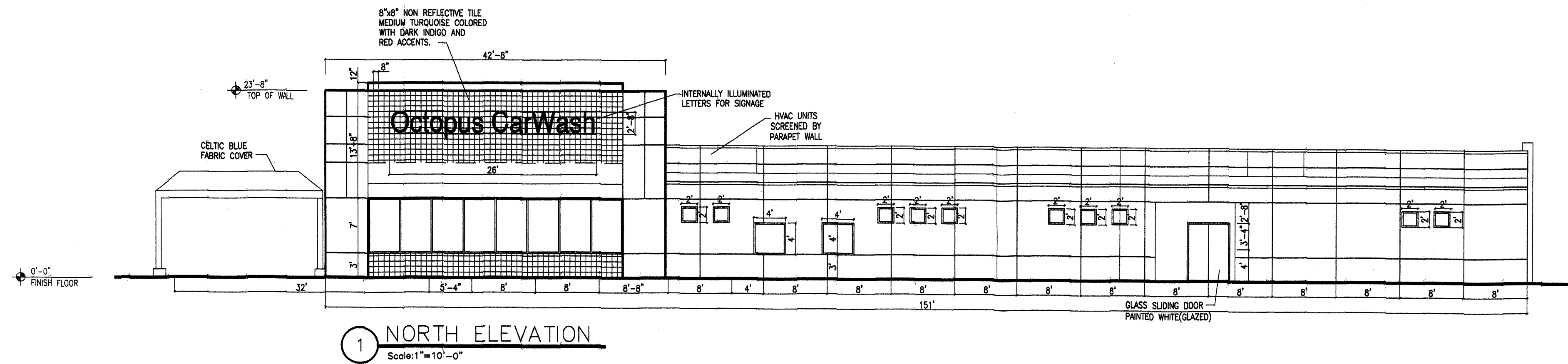
SHAHAB BIAZAR
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4416 ANAHEIM AVE. NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

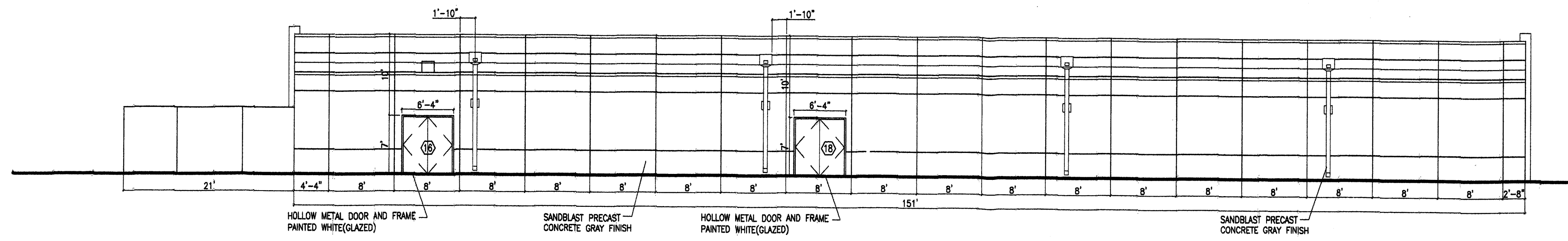
OCTOPUS CAR WASH UTILITY PLAN			
DRAWING: 200426-UT.DWG	DRAWN BY: SBB	DATE: 04-28-2004	SHEET # OF



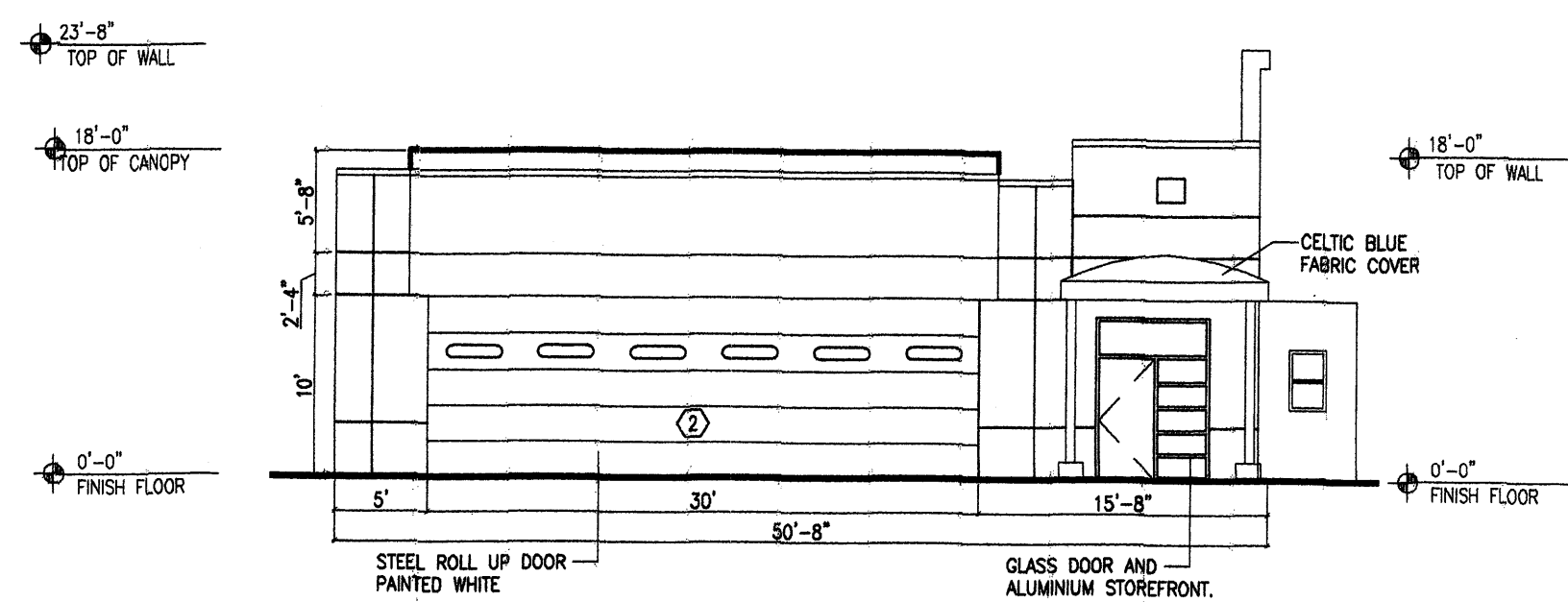
LOT A-1
TOWN OF ATRISCO GRANT
(5-20-85,C27-56)



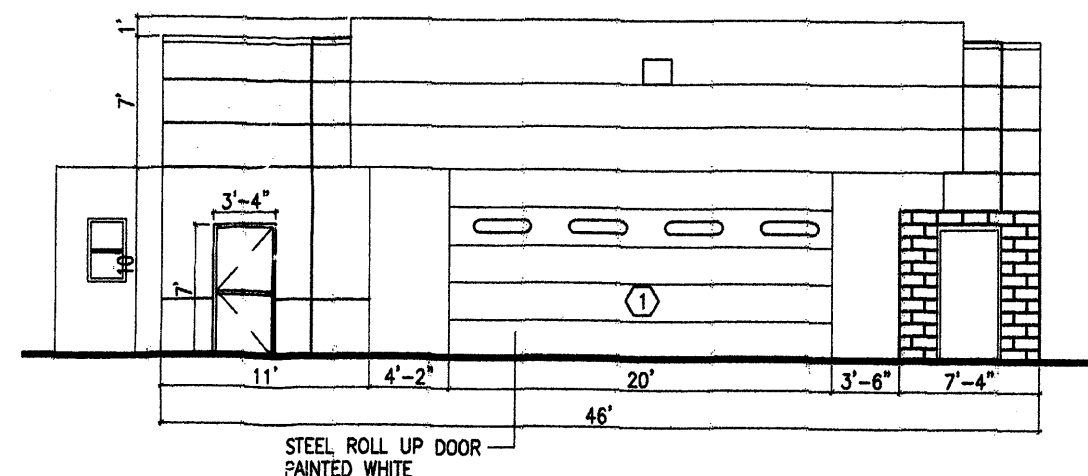
1 NORTH ELEVATION
Scale: 1"=10'-0"



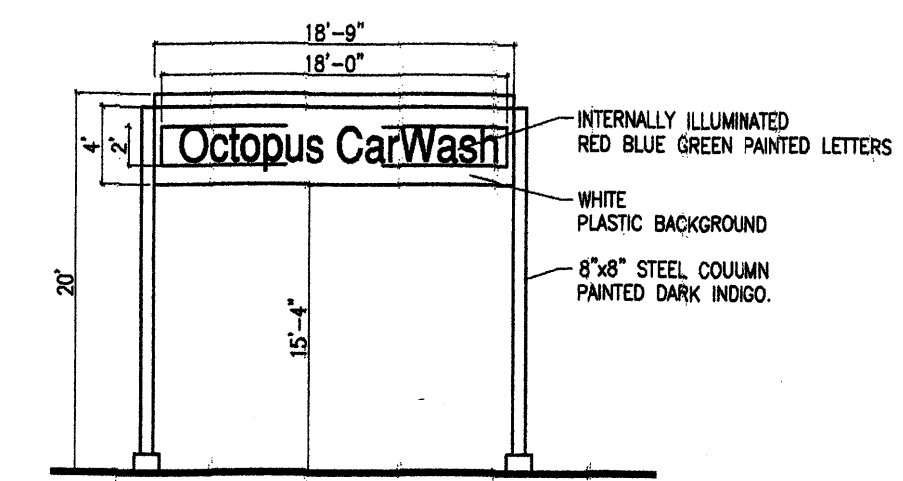
2 SOUTH ELEVATION
Scale: 1"=10'-0"



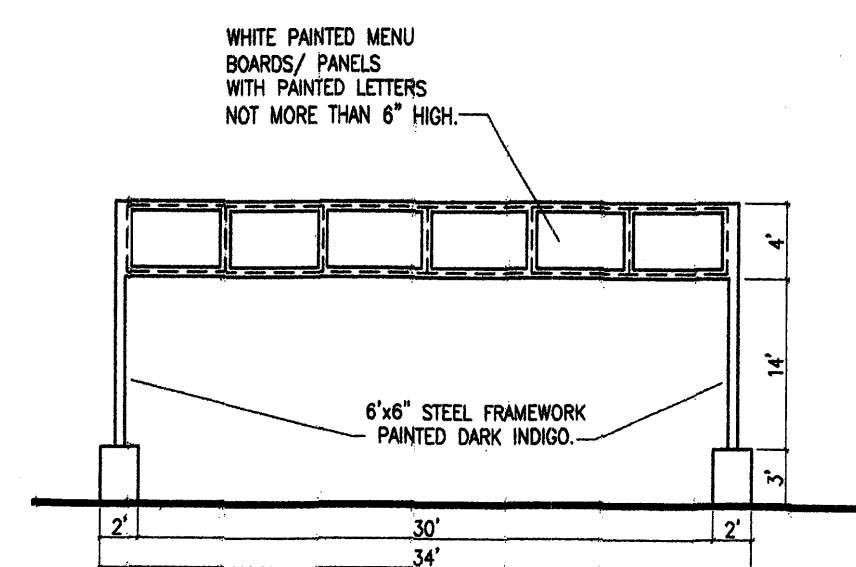
3 EAST ELEVATION
Scale: 1"=10'-0"



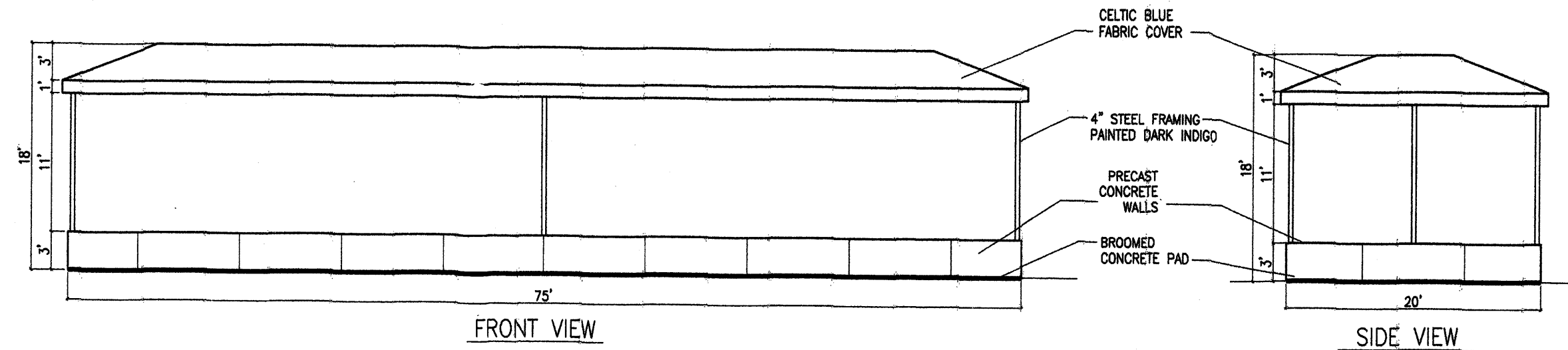
4 WEST ELEVATION
Scale: 1"=10'-0"



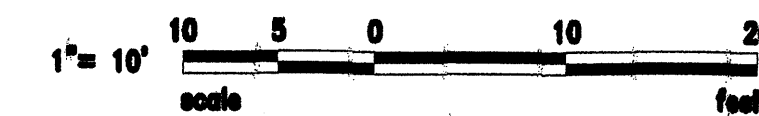
5 MONUMENT SIGN ELEVATION
Scale: 1"=10'-0"



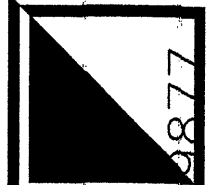
6 MENU BOARD ELEVATION
Scale: 1"=10'-0"

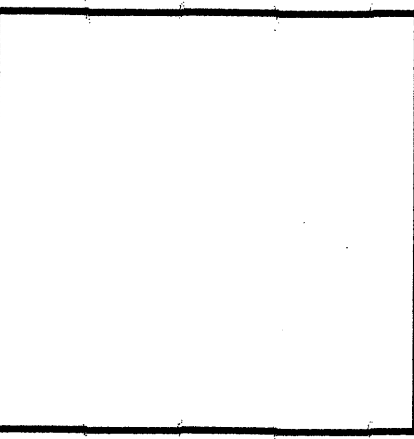


7 DETAIL CANOPY
Scale: 1"=10'-0"



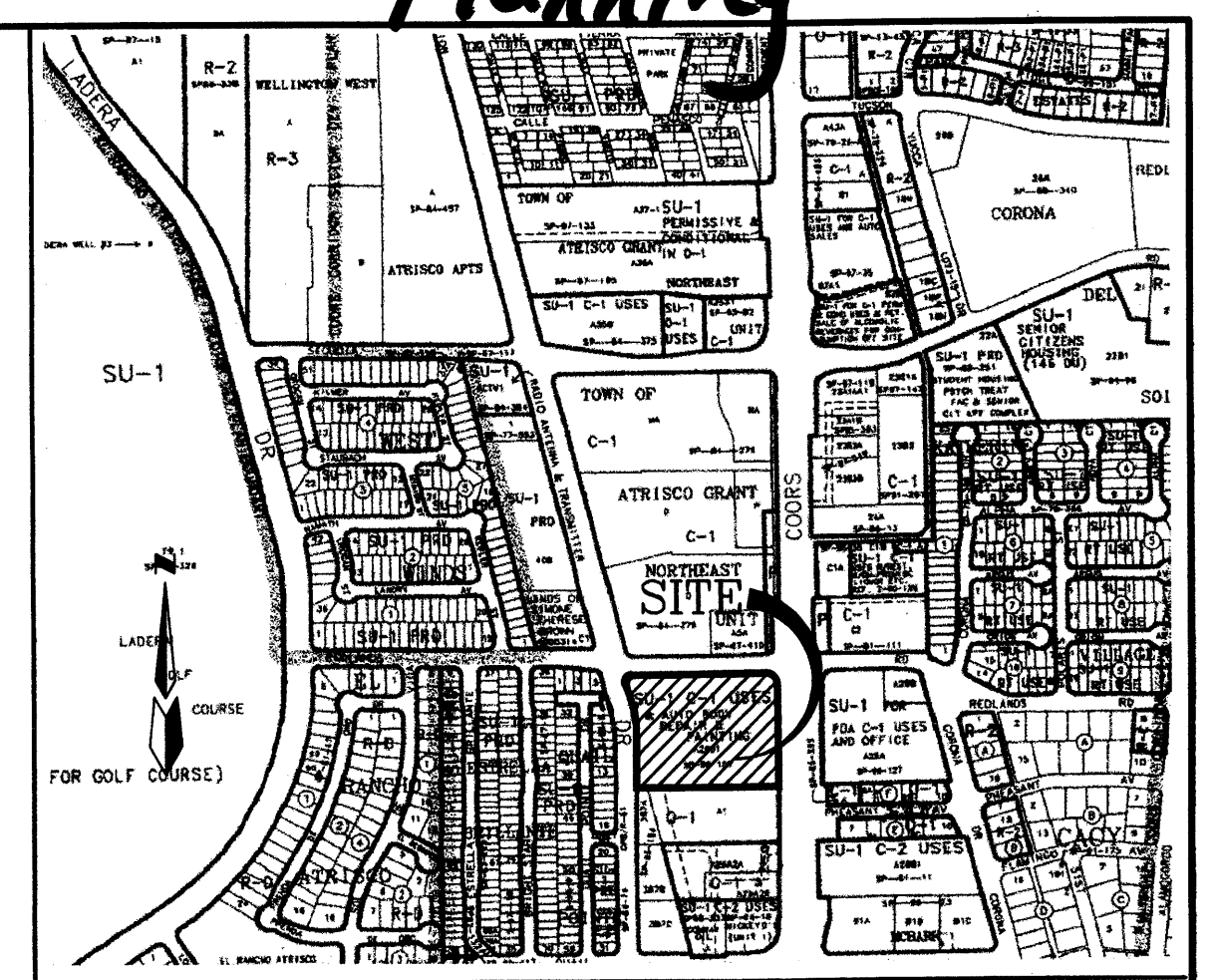
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			


 GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-2877

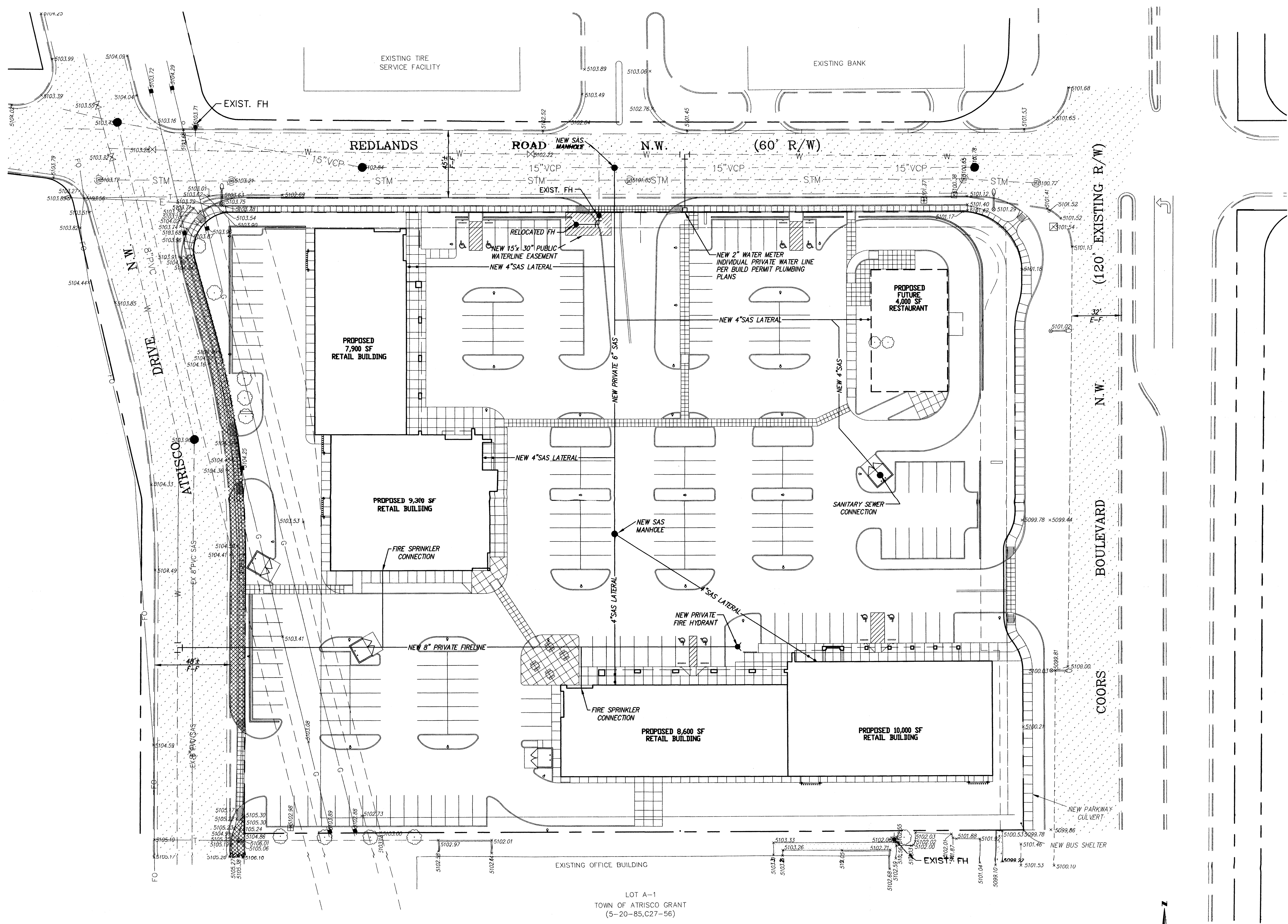


PROJECT TITLE
OCTOPUS CARWASH
 COORS BLD. NW & REDLANDS RD. NW
 ALBUQUERQUE, NEW MEXICO
 PROJECT MANAGER
 MIKE SAFRANY
 JOB NO.
 0418
 DRAWN BY
 MPS

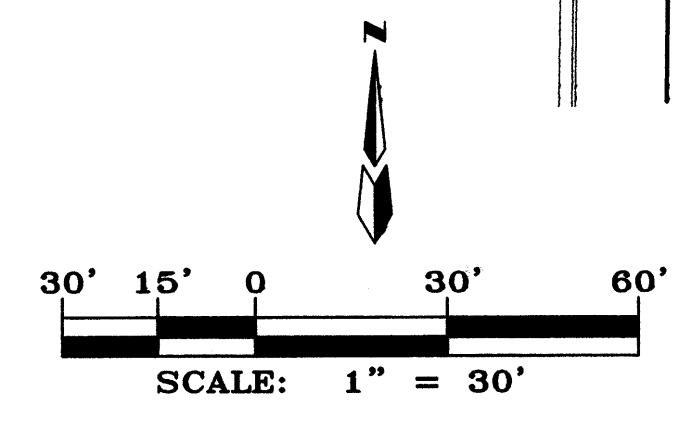
SHEET TITLE
ELEVATIONS
 DATE:
 5-21-04
 SCALE:
 AS NOTED
 sheet-
A2.1
 of-



VICINITY MAP ZONE MAP: G-11-Z



LOT A-1
TOWN OF ATRISCO GRANT
(5-20-85,C27-56)




LEGEND

---	W	---	EXISTING WATERLINE
—●—			EXISTING FIRE HYDRANT
—X—			EXISTING GATE VALVE
—M—			EXISTING WATER METER
---	EX 15\"/>	---	EXISTING SANITARY SEWER LINE
—●—			EXISTING SANITARY SEWER MAN HOLE
---	STM	---	EXISTING STORM DRAIN LINE
—●—			EXISTING STORM MAN HOLE
---	FO	---	EXISTING GAS LINE
---	FO	---	EXISTING TELEPHONE/FIBER OPTIC LINE
---	E	---	EXISTING ELECTRIC LINE
---	NEW 6\"/>	---	NEW SANITARY SEWER LINE
---	NEW 6\"/>	---	NEW SANITARY SEWER LATERAL
—●—			NEW SANITARY SEWER CLEANOUT
—●—			NEW SANITARY SEWER MANHOLE
---	NEW 8\"/>	---	NEW WATERLINE
---			NEW 90° BEND
---			NEW WATERLINE TEE
—●—			NEW FIRE HYDRANT


 John W. Mackenzie
 4/28/03

**REDLANDS SHOPPING CENTER
CONCEPTUAL UTILITY PLAN**


MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

GENERAL NOTES

- A. BUILDING MOUNTED SIGNAGE - 6% MAXIMUM OF THE FACADE AREA. LETTERS TO BE CHANNELIZED OR NEON.
- B. ROOF TOP EQUIPMENT SHALL NOT BE VISIBLE FROM ADJACENT PROPERTY OR RIGHT-OF-WAYS. HEIGHT OF SUCH EQUIPMENT MUST BE BELOW PARAPET HEIGHT.

PROJECT DATA

1. LEGAL DESCRIPTION
TRACT 4-28-B1 AND A-28-B2, NORTHEAST UNIT, TOWN OF ATRISCO GRANT, SECTION 2 TOWNSHIP 10 NORTH, RANGE 2 EAST, NPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
2. ZONING
CITY OF ALBUQUERQUE, NEW MEXICO ZONE: C-1 S-U-1
AUTO BODY REPAIR AND PAINTING

AREAS

TRACT AREA: 4.5723 ACRES - EXISTING
286 VACATED SQM
BUILDING FOOTPRINTS: 39,800 SF
F.A.R.: .18

4. PROPOSED USE
RETAIL CENTER
RESTAURANT

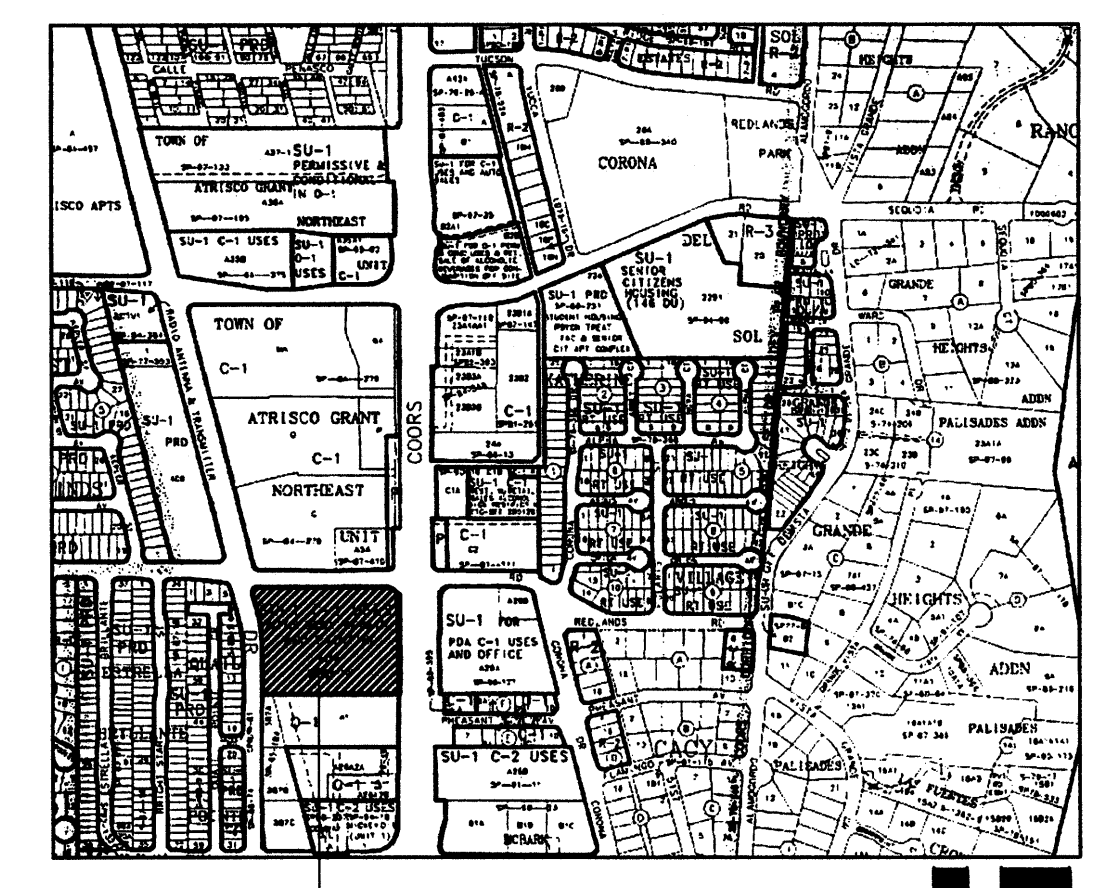
5. PARKING
PARKING REQUIRED (1 PER 200 NSF) 174
PARKING REQUIRED (1 PER 4 SEATS) 10
LESS 10% FOR TRANSIT 18
TOTAL REQUIRED PARKING PROVIDED 200

ADA PARKING REQUIRED AND PROVIDED 8
BICYCLE PARKING REQUIRED (1:20 AUTOS) 10
BICYCLE PARKING PROVIDED 10

6. LANDSCAPE
LANDSCAPE REQUIRED (15% NET LOT AREA) 25,344 SF
LANDSCAPE PROVIDED 34,033 SF

KEYED NOTES

1. 10' PUBLIC UTILITY EASEMENT
2. 50' PUBLIC UTILITY EASEMENT
3. RESTAURANT DRIVE-THRU LANE, DRIVE THROUGH SHALL BE SHADED WITH AN ARCHITECTURALLY INTEGRATED CANOPY
4. 6" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS, STUCCO TO MATCH PRIMARY BUILDING COLOR. REFER DETAIL 3, PAGE 6
5. ACCESSIBLE SIDEWALK RAMP
6. 6" CONCRETE CURB AND DRIVE ENTRY PER COA STANDARDS
7. 6" CONCRETE CURB
8. 10' SET BACK
9. NEW MONUMENT SIGN, REFER DETAIL 1, PAGE 6 SIZE SHALL CONFORM TO THE COORS COORDINATOR PLAN; SIGN AREA SHALL BE NO GREATER THAN 75 SF
10. BICYCLE RACK, 5 SPACES, REFER DETAIL 4, PAGE 6
11. LIGHT POLE, REFER DETAIL 2, PAGE 6
12. ASPHALTIC PAVING
13. 4" WIDE PAINTED PARKING STALL STRIPING, WHITE TYPICAL
14. 6" WIDE SIDEWALK
15. 4" WIDE SIDEWALK
16. TEXTURED CONCRETE PEDESTRIAN CROSSING
17. EXISTING LIGHT POLE
18. LANDSCAPED PARKING ISLAND
19. EXISTING OFFICE BUILDING
20. EXISTING BANK
21. EXISTING RETAIL TIRE STORE
22. EXISTING PARKING AT OFFICE BUILDING
23. CONCRETE WALK, WIDTH AS NOTED ON PLAN
24. EXISTING CURB
25. EXISTING 4" WIDE SIDE WALK
26. EXISTING PROPER LINE
27. HANDICAP PARKING STALL SIGN
28. FIRE HYDRANT
29. PLAZA WITH TABLES AND SEATING SHADED WITH SHADE TREES IN TREE GRATES, 250 SF MINIMUM
30. 3" HIGH CMU WALLS TO SCREEN PARKING AREAS FROM THE STREET, STUCCO TO MATCH PRIMARY BUILDING COLOR
31. 15' LANDSCAPE BUFFER ALONG COORS BLVD.
32. 12" WIDE ROW DEDICATION FOR DECELERATION LANE
33. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THE SITE. ALTERNATIVELY, ROOFTOP EQUIPMENT SHALL BE SCREENED BY ROOFTOP WALLS THAT ARE PAINTED TO MATCH THE ROOF COLOR OR THE PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW THE TOP OF THE SCREEN WALL
34. ANY ATMS SHALL BE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN
35. DRAIN TO SANITARY SEWER, THIS REFUSE ENCLOSURE ONLY



VICINITY MAP
6-11-C

CASE NUMBER:

Site Development Plan for Building Permit

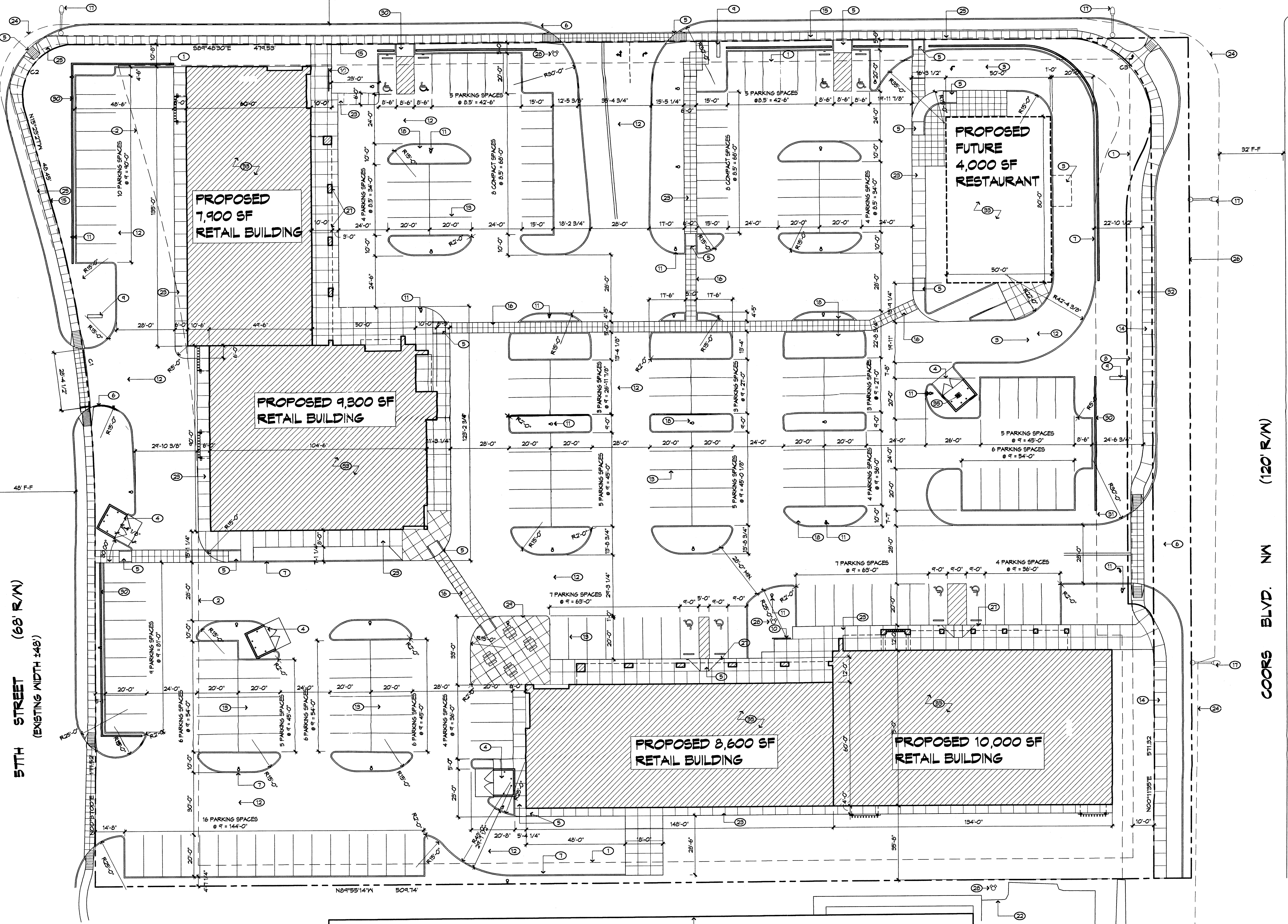
THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE SPECIFIC MASTER DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 18, 2001, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE	
PARKS & RECREATION DEPARTMENT	DATE	
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE	
CITY ENGINEER, ENGINEERING DIVISION / AMARCA	DATE	
<i>Michael Helton</i>	4-28-03	
SOLID WASTE: will comply with coors specs	DATE	
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual		
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE	

REVISIONS	
▲	
▲	
▲	
▲	
▲	
DRAWN BY	FB
REVIEWED BY	
DATE	4/21/03
PROJECT NO.	02041
DRAWING NAME	DEVELOPMENT PLAN FOR BUILDING PERMIT

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	153.38'	16°00'27"	549.00'	11.14'	N07°23'15"W	152.88'
C2	42.62'	47°40'12"	25.00'	28.59'	N89°26'39"E	37.64'
C3	54.67'	40°00'05"	38.00'	38.00'	S44°48'28"E	55.74'

REDLANDS ROAD (60' R/W)



SITE PLAN



ATD PLANS CHECKED BY: 524-3311
APPROVED/DISAPPROVED HYDRANT(S) ONLY
R.C. [Signature] 4-28-03
SIGNATURE & DATE

**Coors & Redlands Shopping Center
Building Elevations**
Westerly Portion Tract A-28 & A-29
Coors Blvd. and Redlands Road

- REVISIONS
- ▲
 - ▲
 - ▲
 - ▲
 - ▲
 - ▲ 04/09/03
CHANGE TO SITE PLAN

DRAWN BY CMD
REVIEWED BY JD
DATE
PROJECT NO.
DRAWING NAME
Landscape Plan

SHEET NO.
L-01
2 OF 6

PLANT LEGEND

- ASH (H) AND HONEY LOCUST (H) 53
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- FLOWERING PEAR (H) 30
Pyrus calleryana
2" Cal.
- PINON PINE (M) 2
Pinus edulis
6"-8"
- WASHINGTON HAWTHORN (H) 11
Crataegus phaenopyrum
15 Gal.
- PALM YUCCA (L) 5
- APACHE PLUME (L) 4
Fallugia paradoxa
5 Gal. 25sf
- BLUE MIST SPIREA (M) 15
Caryopteris clandonensis
5 Gal.
- LANAS/ SCOTCH BROOM (M) 35
Cytisus scoparius
Genista hispanica
5 Gal.
- RED YUCCA (L) 35
Hesperaloe parviflora
5 Gal.
- NANDINA (M) 15
Nandina domestica
5 Gal. 25sf
- MAIDENGRASS (M) 47
Miscanthus sinensis
5 Gal. 16sf
- INDIAN HAWTHORN (M) 53
Raphiolepis indica
5 Gal.
- RUSSIAN SAGE (M) 13
Perovskia atriplicifolia
5 Gal.
- AUTUMN SAGE (M) 46
Salvia greggii
2 Gal. 9sf
- HONEYSUCKLE (M) 46
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
- CHAMISA (L) 45
Chrysothamnus nauseosus
1 Gal. 25sf
- WILDFLOWER 147
1 Gal. 4sf
- CREEPING ROSEMARY (M) 69
Rosmarinus officinalis
2 Gal. 36sf
Symbol indicated 3 plants
- VINE 7
1 Gal. 200sf
- OVERSIZED GRAVEL & 25 BOULDERS
- SANTA FE BROWN WITH FILTER FABRIC

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	208,762 square feet
TOTAL BUILDINGS AREA	39,800 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	168,962 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	25,344 square feet
TOTAL LANDSCAPE PROVIDED	34,663 square feet
TOTAL BED PROVIDED	34,663 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

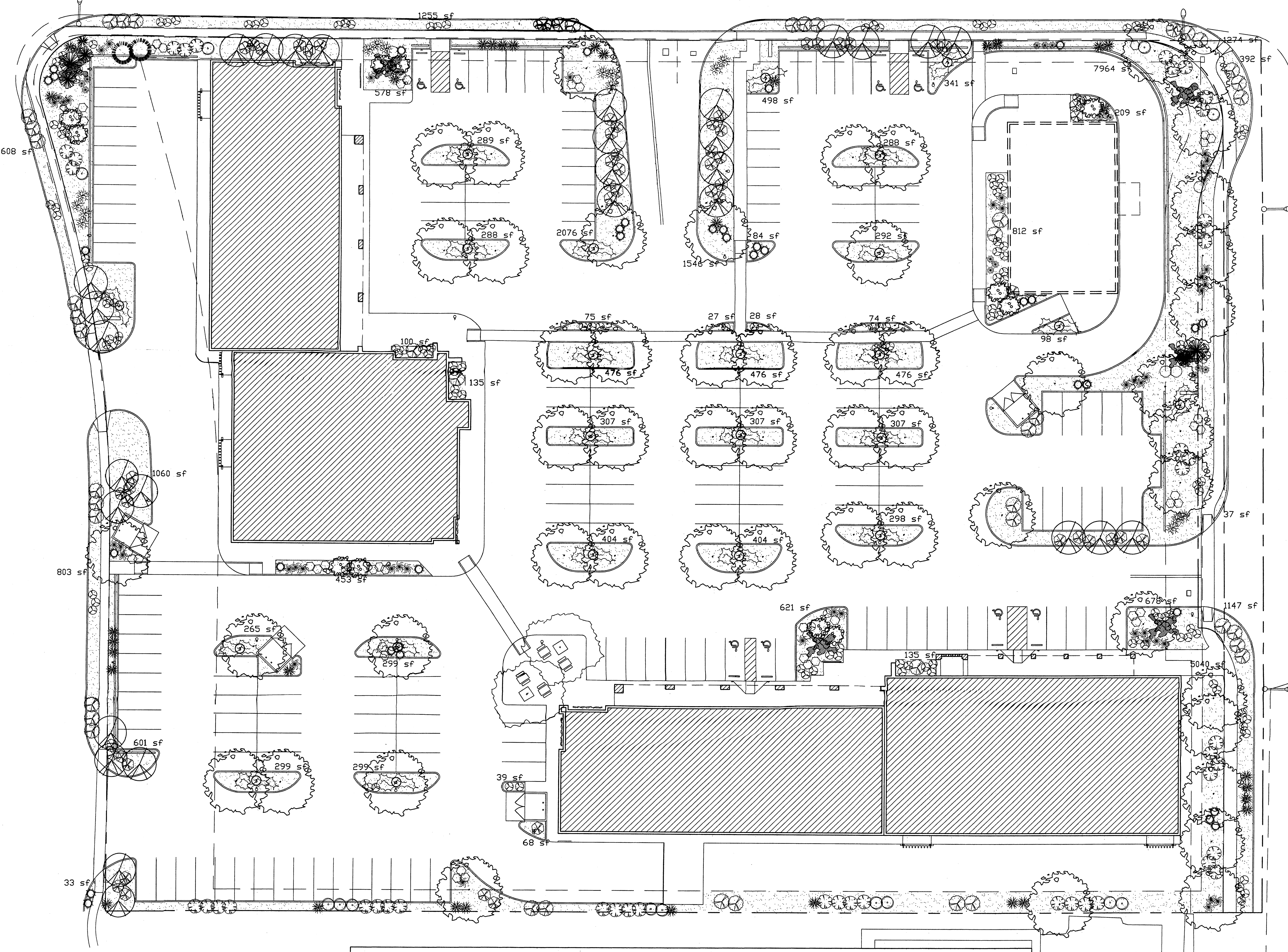
IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.
Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.
All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
Plant beds shall achieve 75% live ground cover at maturity.
SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

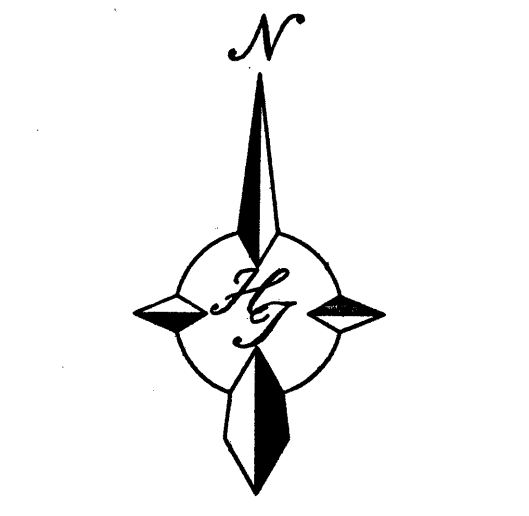
STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

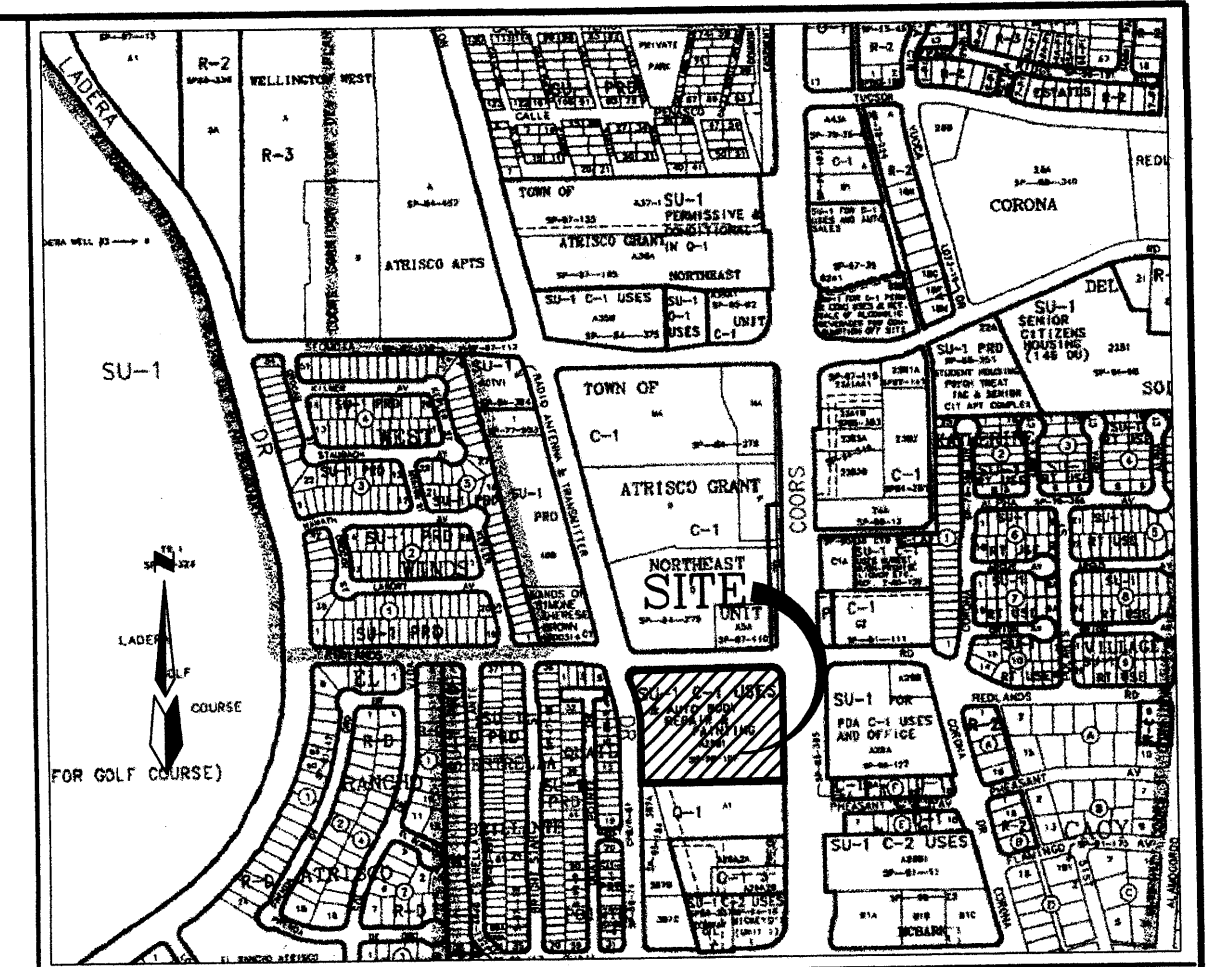
Coors Blvd.
Required 14 Provided 14



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com



THE HILLTOP Landscape Architects & Contractors
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VICINITY MAP ZONE MAP: G-11-Z

GENERAL NOTES

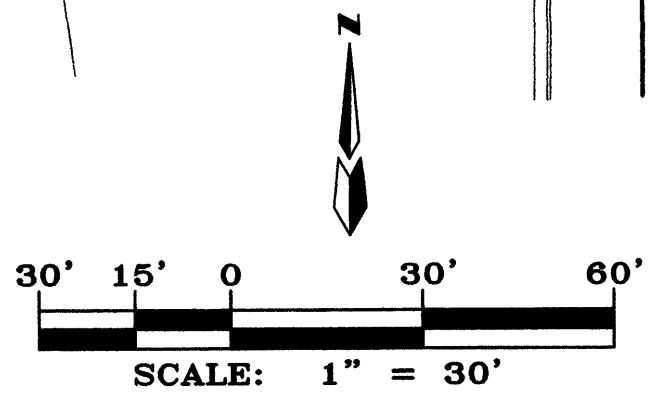
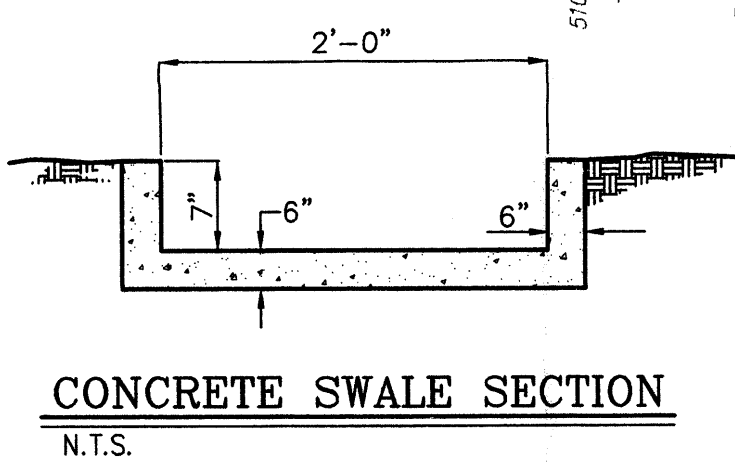
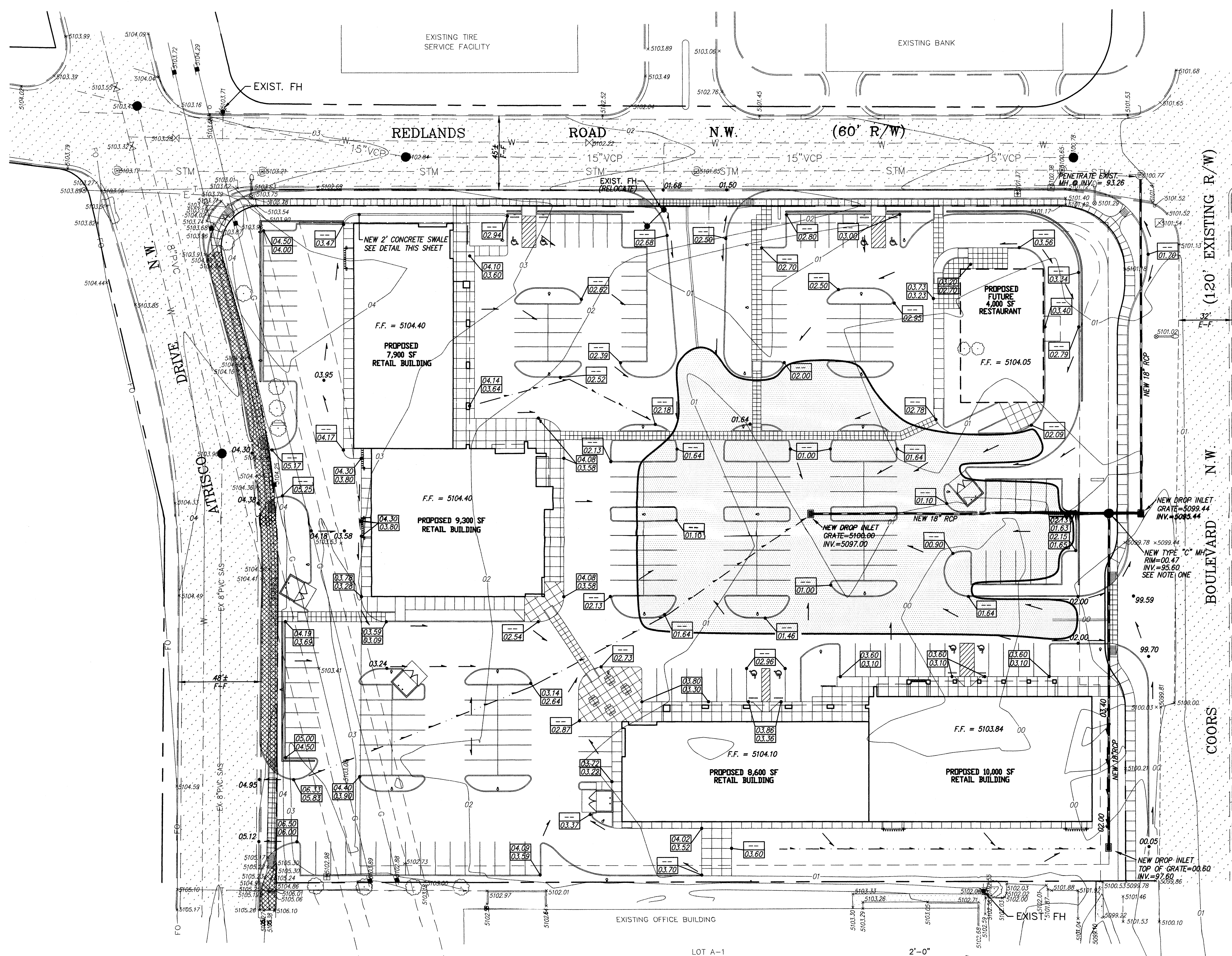
1. THE OPENING FROM THE ON-SITE DROP INLET TO THE 18" RCP OUTFALL SHALL BE COVERED WITH A 1/4" THICK STAINLESS STEEL PLATE WITH A 3 1/2" DIAMETER BOPING LOCATED SO THAT ITS BOTTOM MATCHES THE FLOWLINE OF THE RCP.
2. SEE CITY HYDROLOGY FILE FOR DETAILED DRAINAGE INFORMATION.
3. THIS PLAN SHALL BE FOLLOWED-UP BY A MORE DETAILED GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT.
4. THIS PROPERTY IS NOT LOCATED IN A FEMA FLOODPLAIN PER FIRM NO. 350010327.
5. THERE ARE NO SIGNIFICANT OFFSITE FLOWS ENTERING THIS SITE. EXISTING MINOR OFF-SITE FLOWS FROM THE SOUTH WILL BE ROUTED THROUGH THE SITE.
6. PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING DRAINAGE IMPROVEMENTS ON THE PROPERTY SO THAT THEY CONTINUE TO FUNCTION PROPERLY YEAR AFTER YEAR.
7. ELEVATIONS SHOWN HEREON ARE INTENDED TO BE FINAL GRADES. OWNER, ROUGH GRADING CONTRACTOR AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR ASSURING THAT AFTER ALL WORK IS COMPLETE, SITE'S FINAL SURFACE GRADES ARE AS SHOWN HEREON.
8. EARTHWORK CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FOLLOWING REQUIREMENTS OF THE SURFACE DISTURBANCE PERMIT FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT.
9. OWNER AND ALL ASSOCIATED CONTRACTORS WHO ENGAGE IN ALTERATION OF SITE SURFACES OUTSIDE OF BUILDINGS, SHALL FILE A NOTICE OF INTENT WITH EPA AND FOLLOW STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS.

LEGAL DESCRIPTION

TRACT 4-28-B1 AND A-28-B2, NORTHEAST UNIT, TOWN OF ATRISCO GRANT, SECTION 2 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

LEGEND

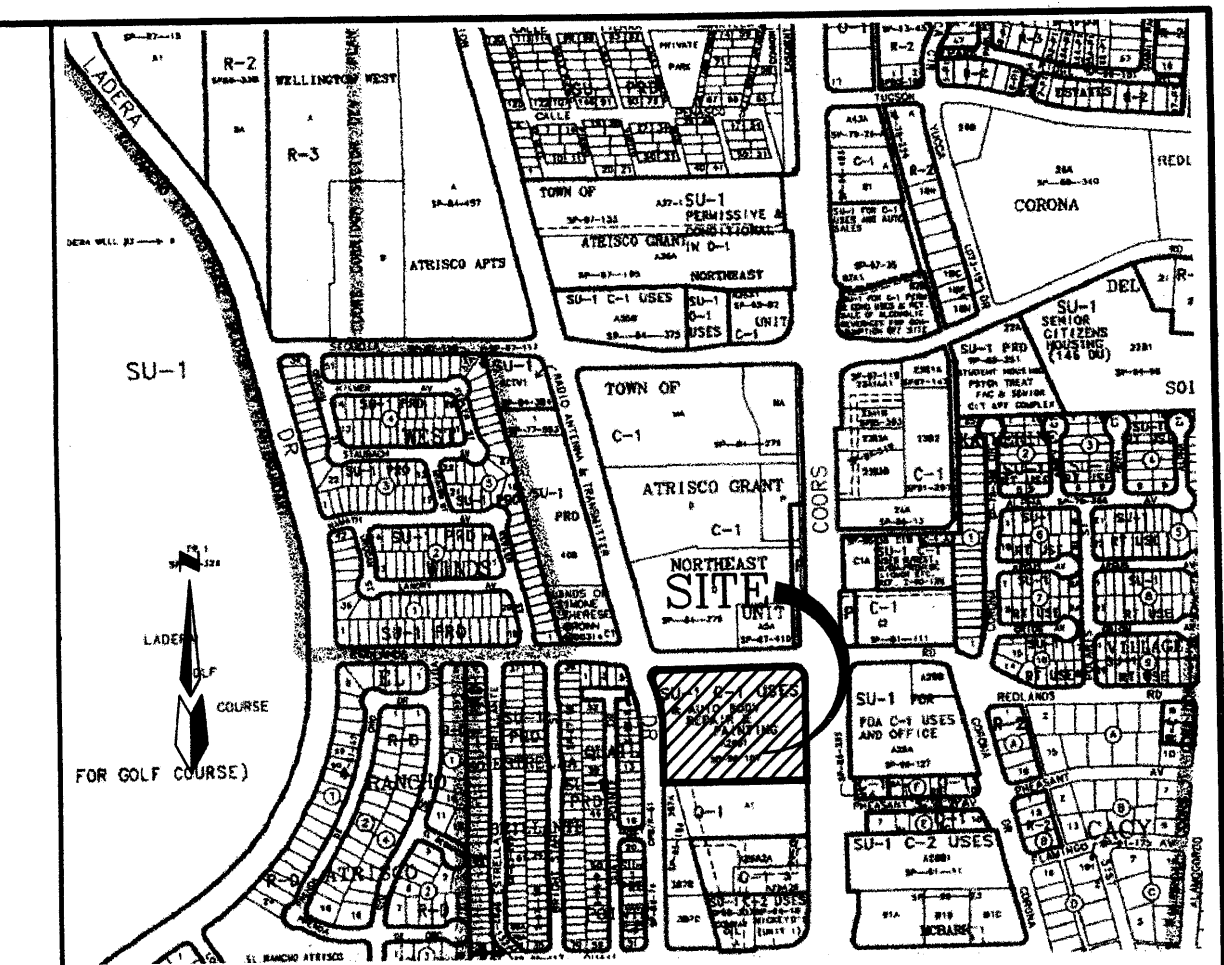
x 00.10	EXISTING SPOT ELEV.
00.64 00.74	PROPOSED TOP OF CURB AND FLOWLINE SPOT ELEVATIONS
---	PROPERTY LINE
---	EASEMENT LINE
5102	EXISTING CONTOUR LINE
STM	EXISTING STORM DRAIN LINE
---	EXISTING CURB & GUTTER
---	EXISTING EDGE OF PAVEMENT
---	EXISTING CONCRETE/SIDEWALK
---	EXISTING PAVEMENT
---	NEW POND AREA



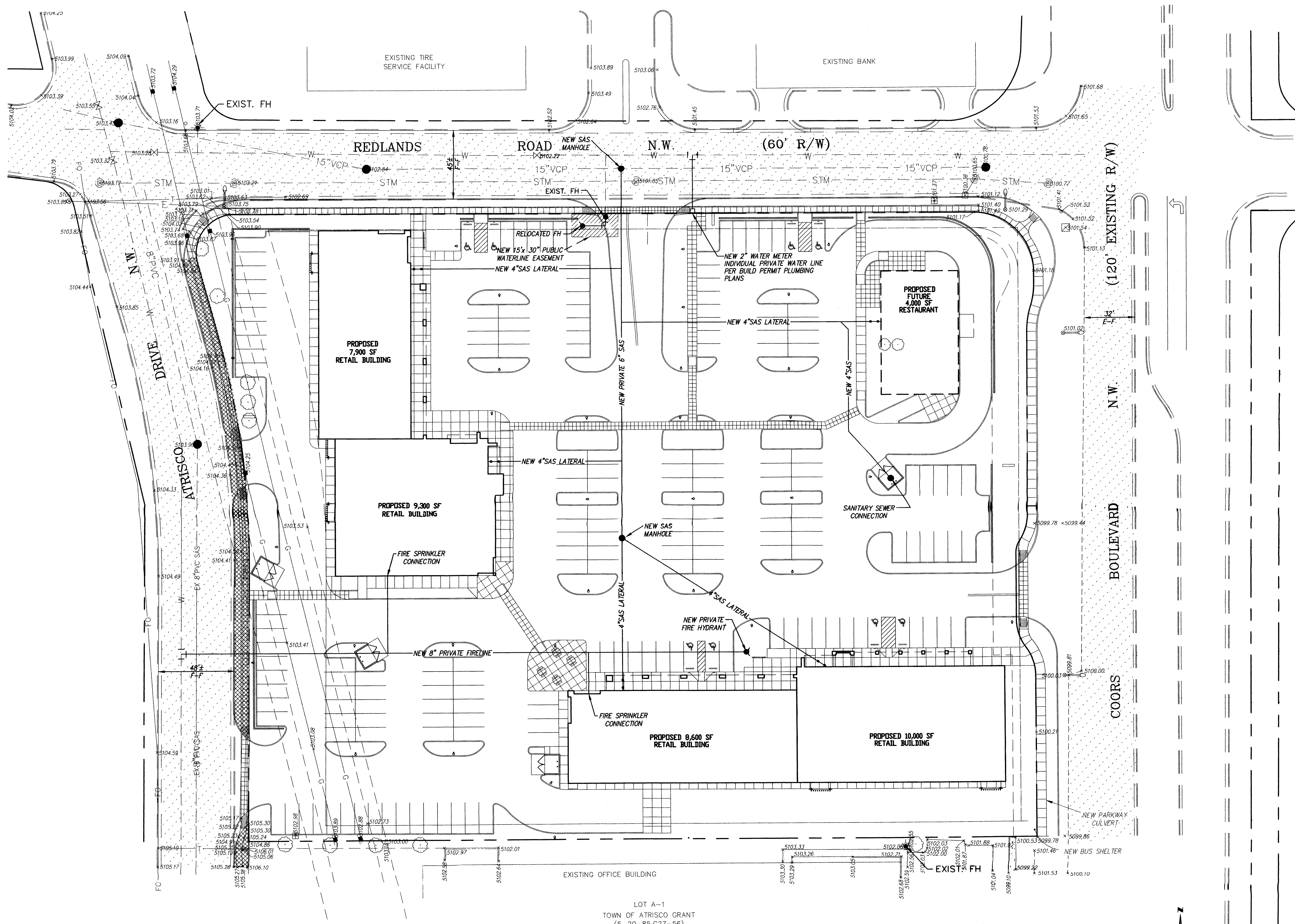
JOHN W. BOHLENZ
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
11810
John W. Bohlenz
5-15-03

REDLANDS SHOPPING CENTER
CONCEPTUAL GRADING & DRAINAGE

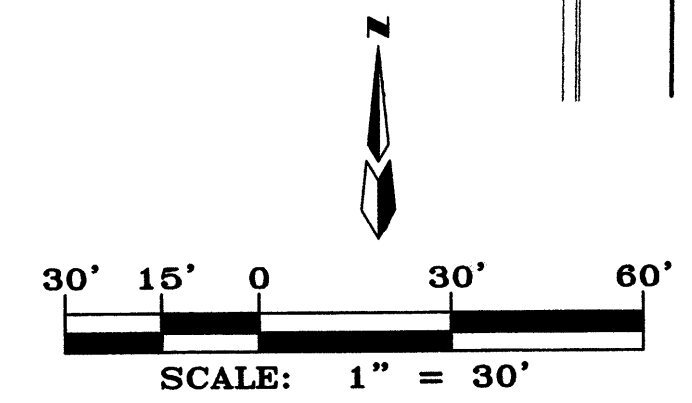
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539



VICINITY MAP ZONE MAP: G-11-Z



LOT A-1
TOWN OF ATRISCO GRANT
(S 20-85, C27-56)



LEGEND

---	W	---	EXISTING WATERLINE
—	●	—	EXISTING FIRE HYDRANT
—	⊠	—	EXISTING GATE VALVE
—	⊕	—	EXISTING WATER METER
---	EX 15"VCP SAS	---	EXISTING SANITARY SEWER LINE
●			EXISTING SANITARY SEWER MAN HOLE
---	STM	---	EXISTING STORM DRAIN LINE
⊕			EXISTING STORM MAN HOLE
---		---	EXISTING GAS LINE
---	FO	---	EXISTING TELEPHONE/FIBER OPTIC LINE
---	E	---	EXISTING ELECTRIC LINE
---	NEW 6"SAS LATERAL	---	NEW SANITARY SEWER LINE
●			NEW SANITARY SEWER CLEANOUT
●			NEW SANITARY SEWER MANHOLE
---	NEW 8" WL	---	NEW WATERLINE
---		---	NEW 90° BEND
---		---	NEW WATERLINE TEE
---	FH	---	NEW FIRE HYDRANT

Mark Goodwin

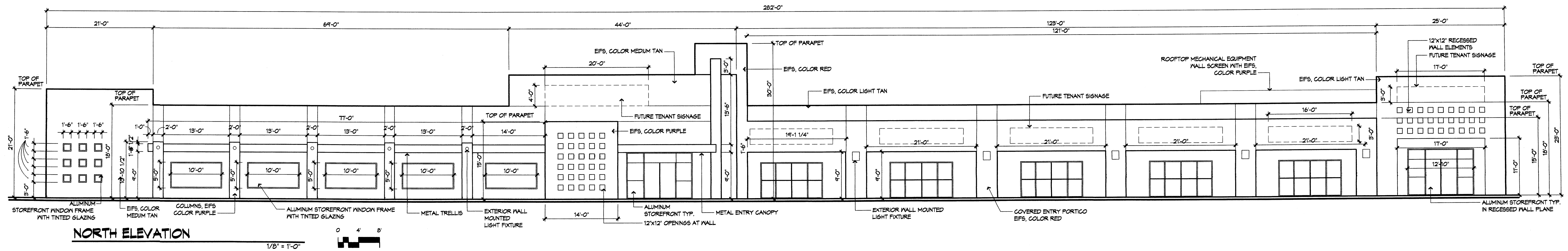
 4/28/03

**REDLANDS SHOPPING CENTER
CONCEPTUAL UTILITY PLAN**

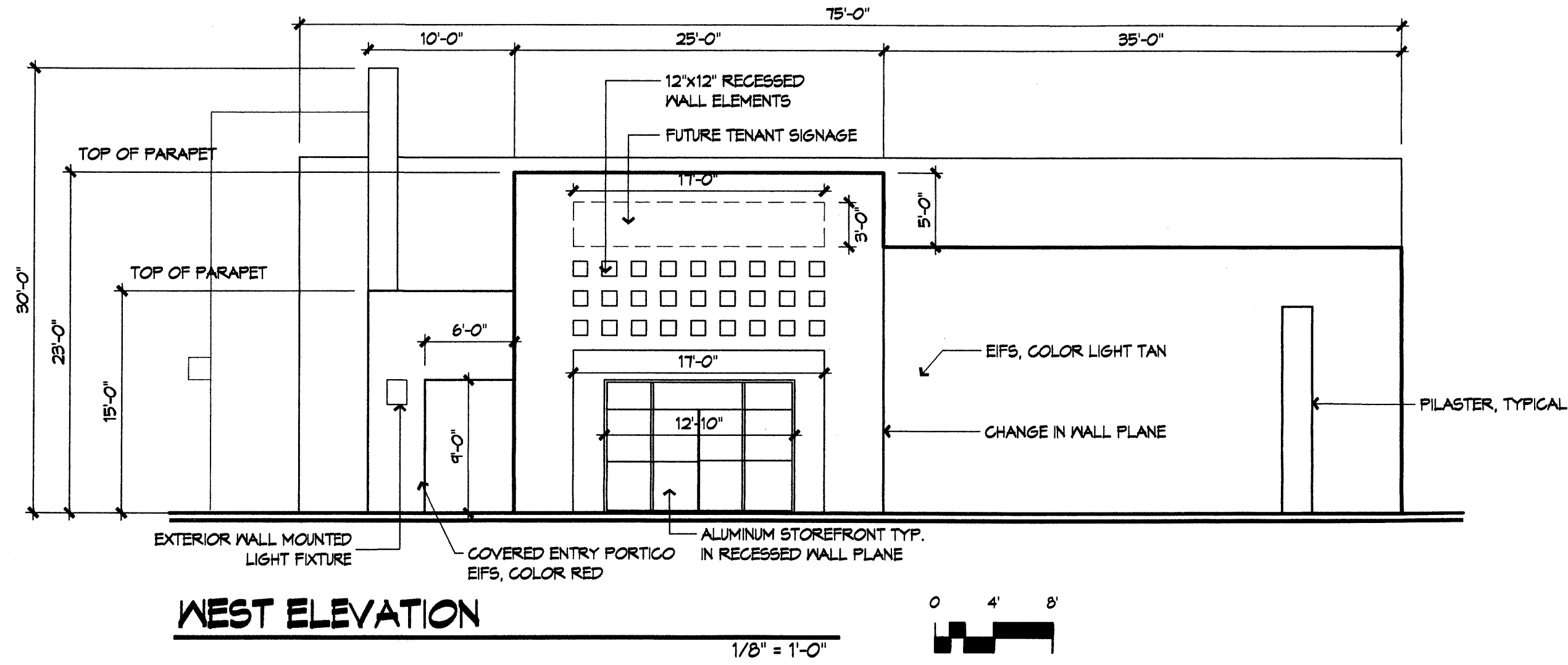
MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: MJR Checked: DMG Sheet 4 of 6
 Scale: 1" = 30' Date: 4/02/03 Job: A02104

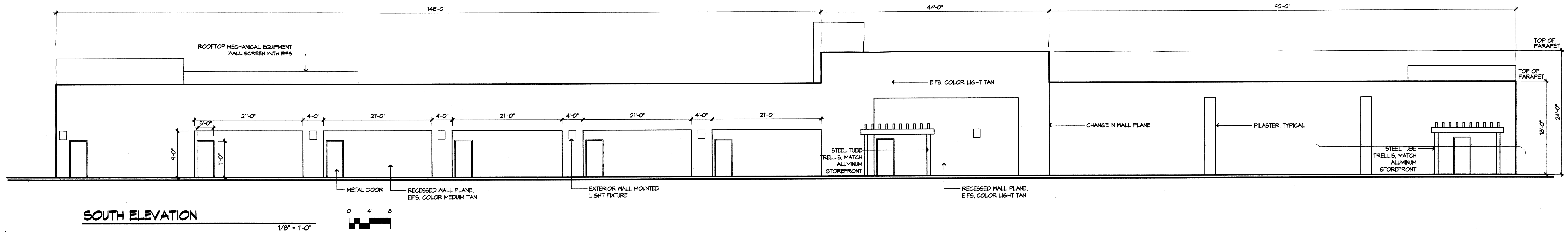
A02104\A2104rsc\A2104UT3.dwg\04-28-03\MJR ACH



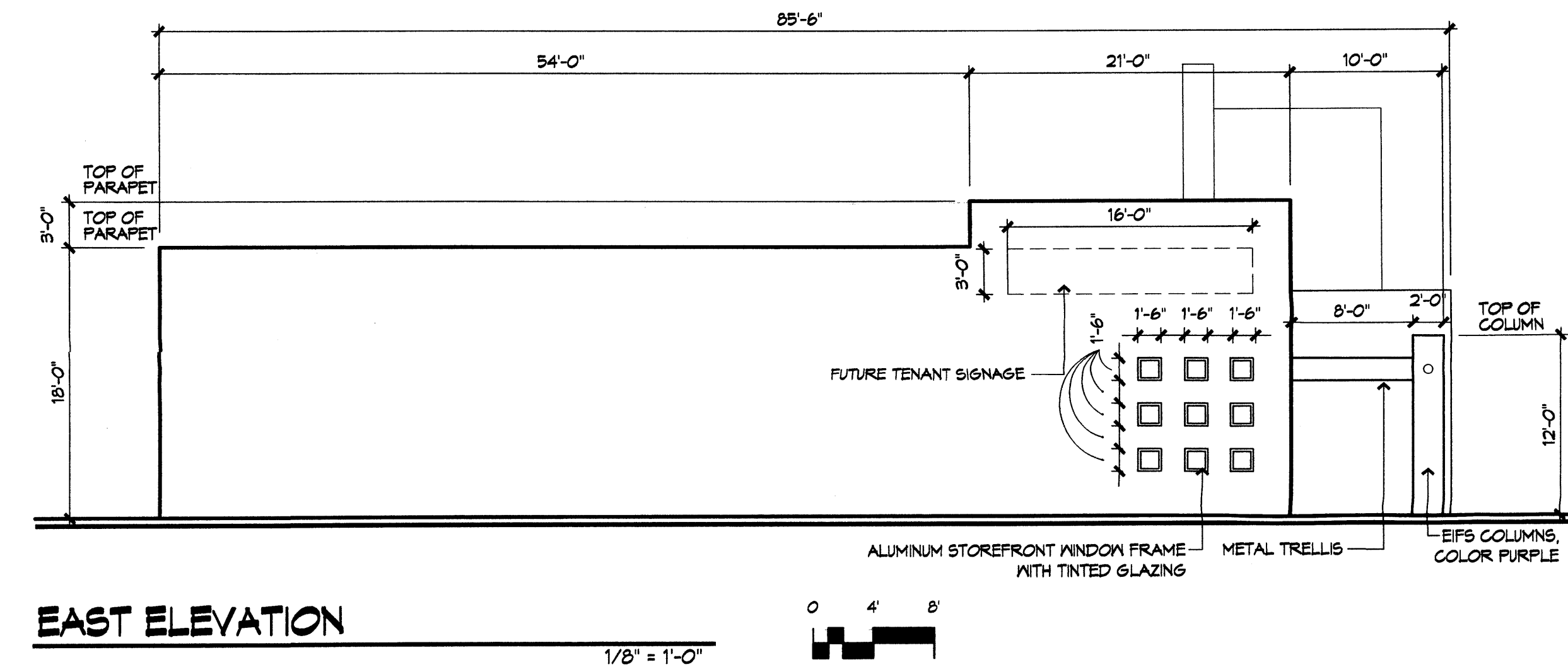
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

Coors & Redlands Shopping Center

Westerly Portion Tract A-28 & A-29
Coors Blvd. and Redlands Road

REVISIONS

△	
△	
△	
△	
△	

DRAWN BY	FB
REVIEWED BY	
DATE	4/21/08
PROJECT NO.	02041
DRAWING NAME	BUILDING ELEVATIONS

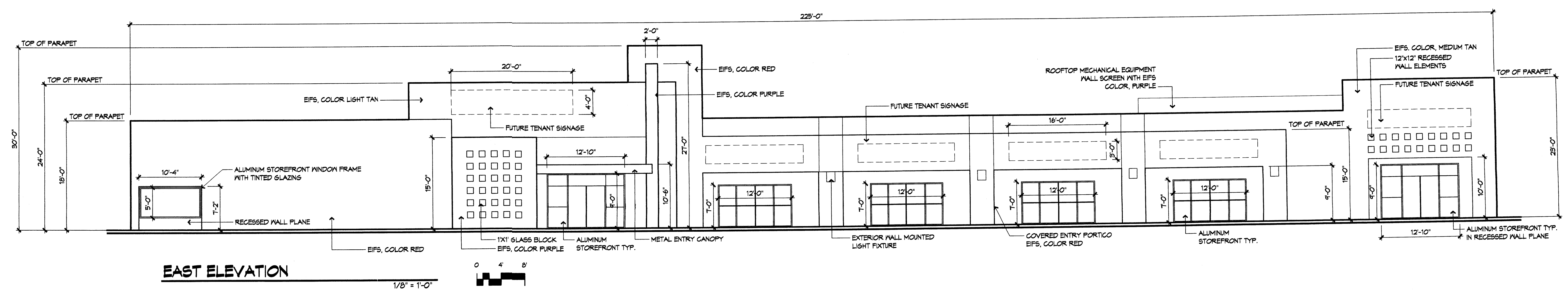
ARCHITECT

ENGINEER

PROJECT

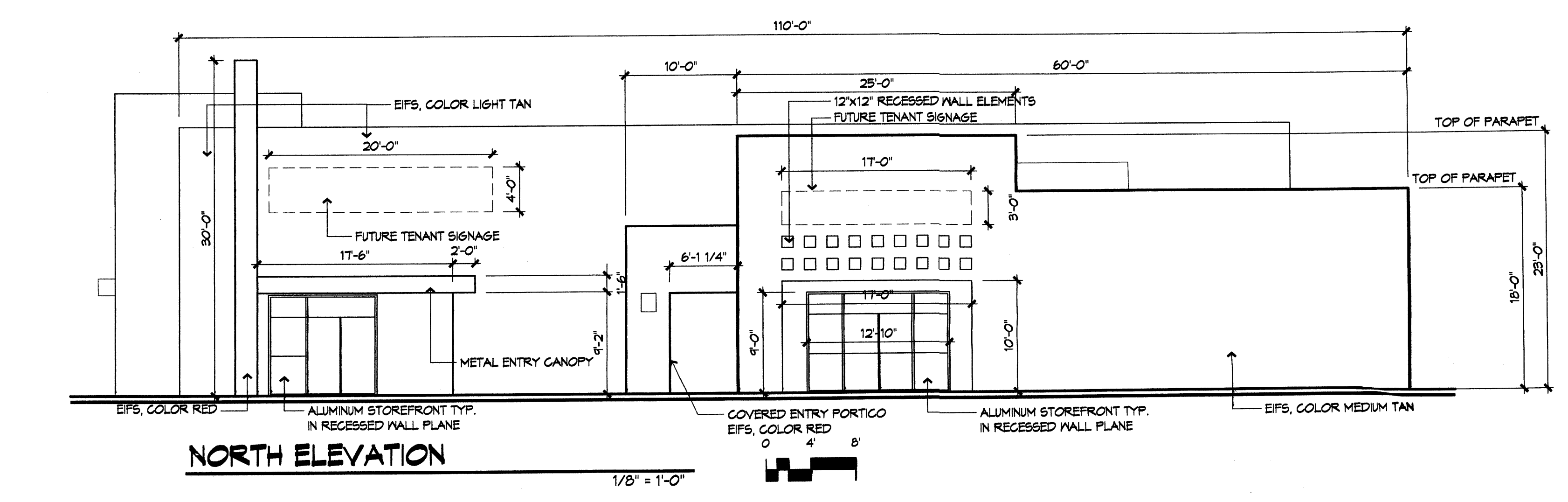
Coors & Redlands Shopping Center

Westerly Portion Tract A-28 & A-29
Coors Blvd. and Redlands Road



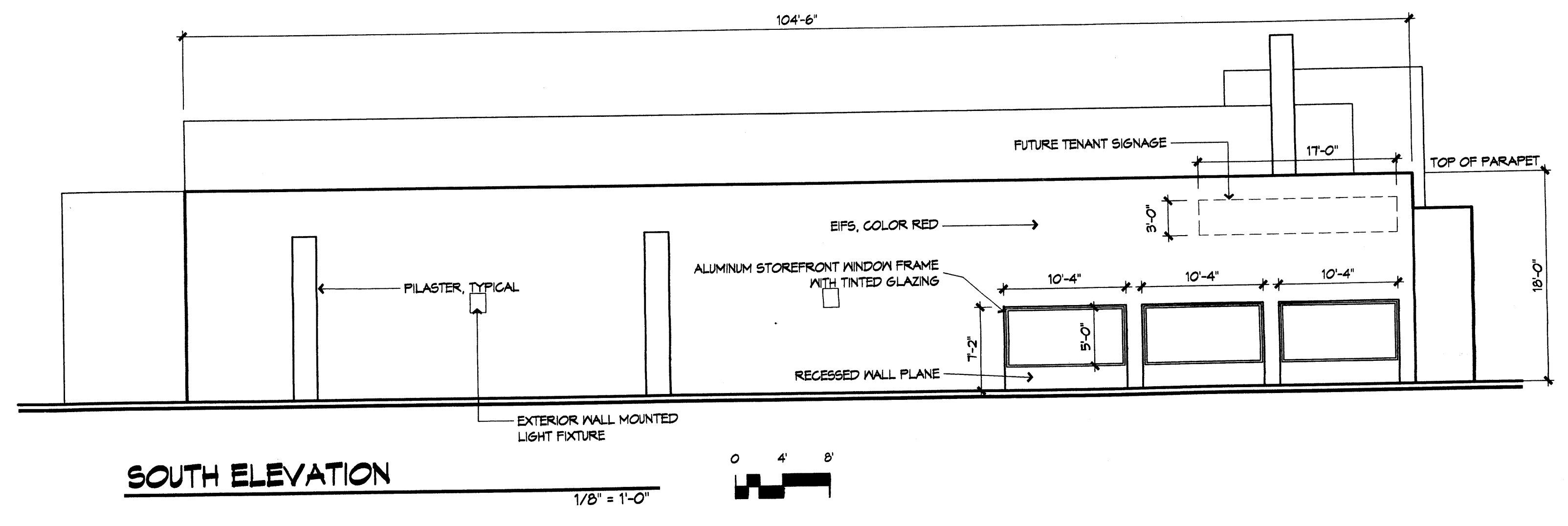
EAST ELEVATION

1/8" = 1'-0"



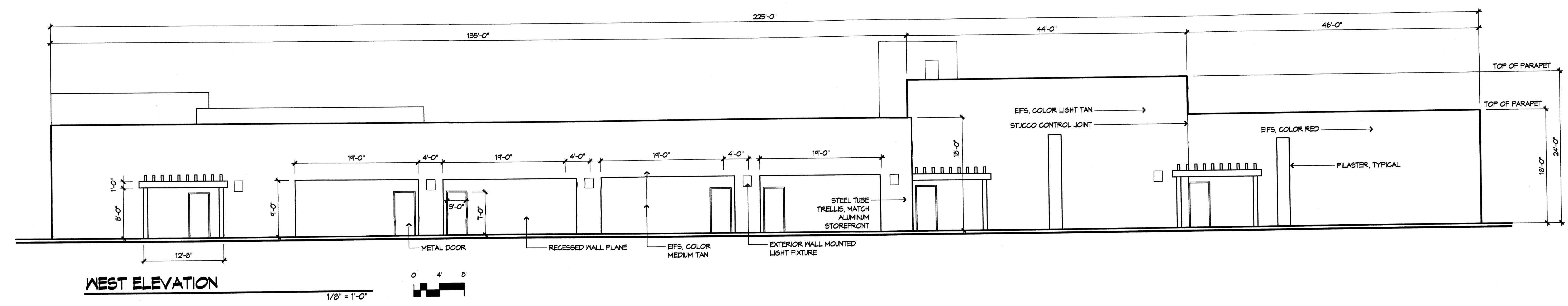
NORTH ELEVATION

1/8" = 1'-0"



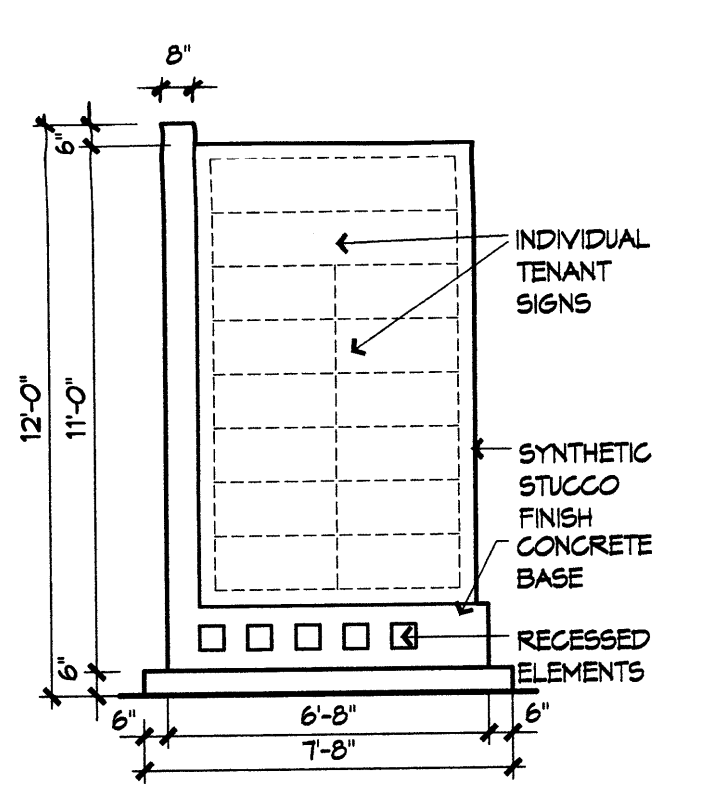
SOUTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

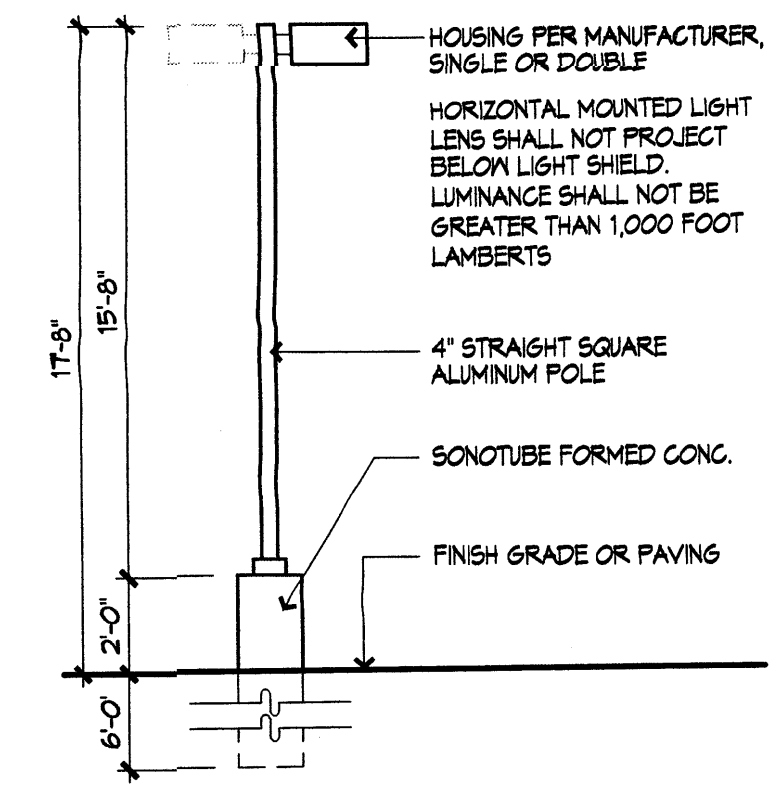
1/8" = 1'-0"



1

MONUMENTAL SIGN

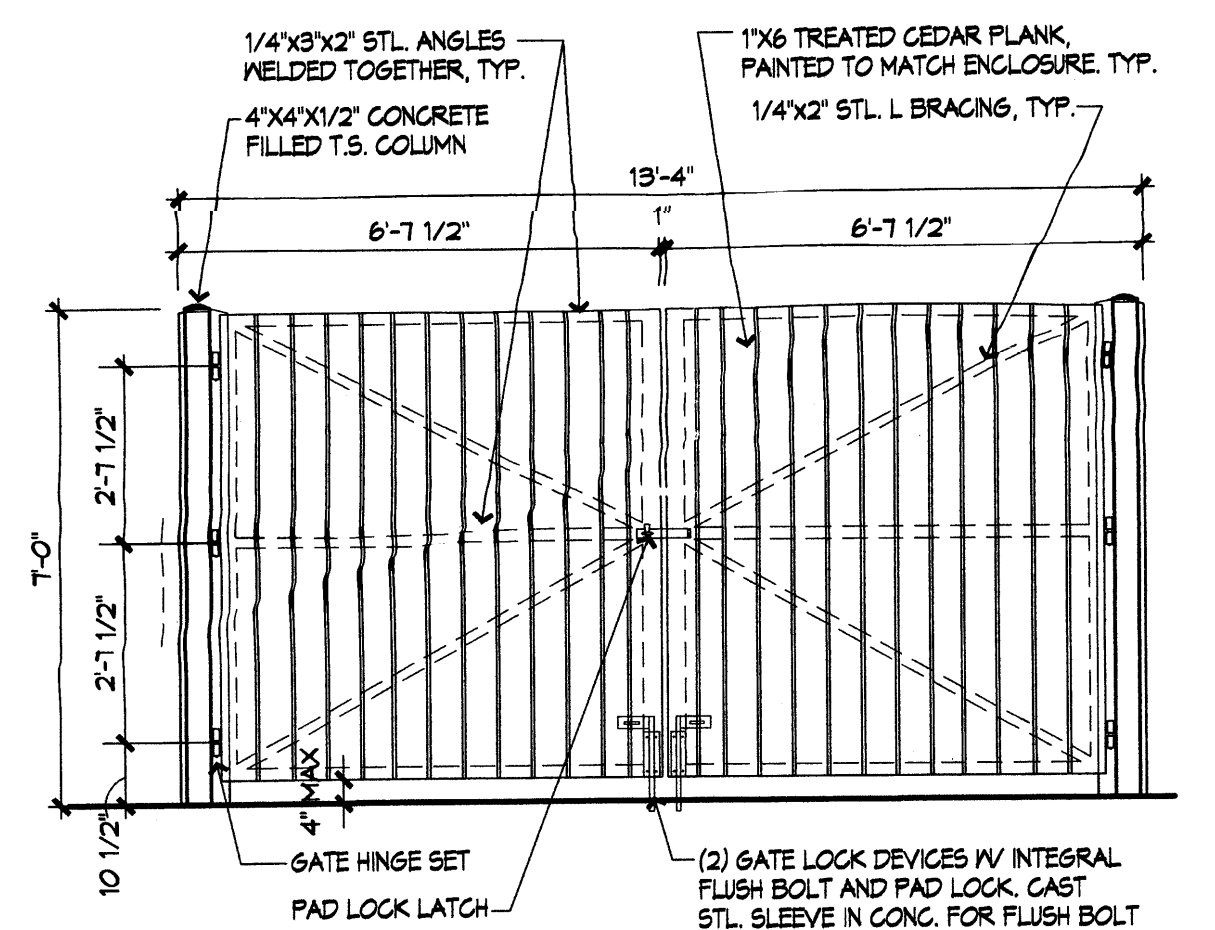
1/4" = 1'-0"



2

PARKING LIGHT ELEVATION

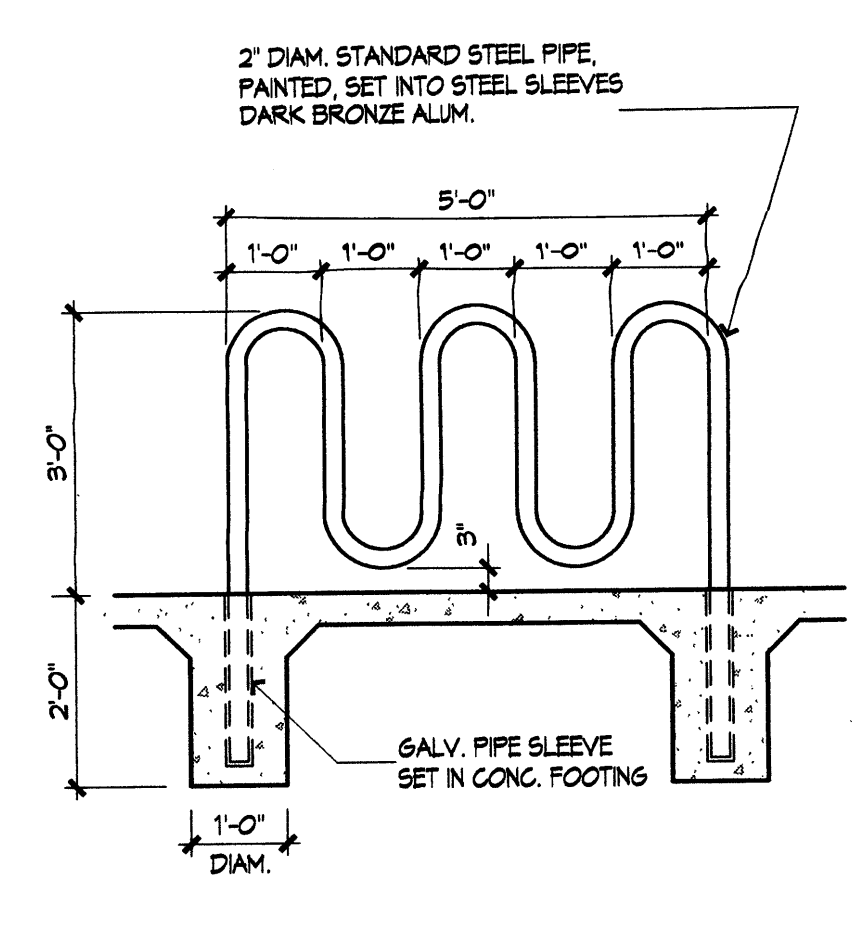
1/4" = 1'-0"



3

DUMPSTER ENCLOSURE

3/8" = 1'-0"



4

BICYCLE RACK

1/2" = 1'-0"

REVISIONS

▲	
▲	
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▲	
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DRAWN BY	FB
REVIEWED BY	
DATE	4/21/08
PROJECT NO.	02041
DRAWING NAME	BUILDING ELEVATIONS