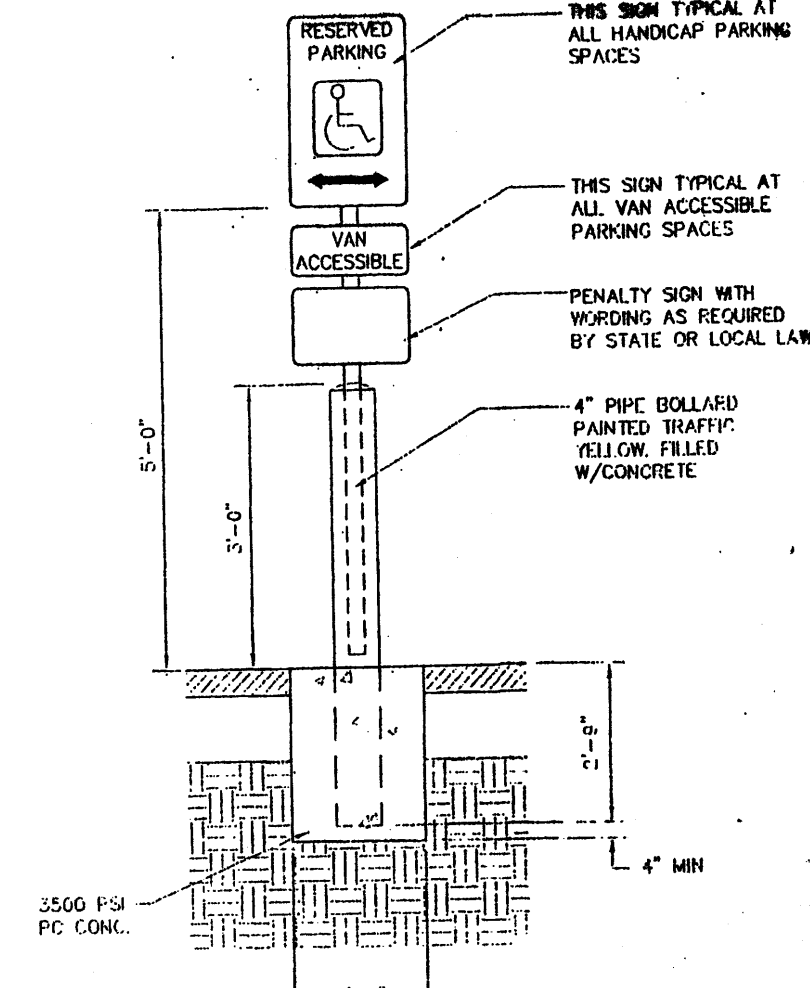
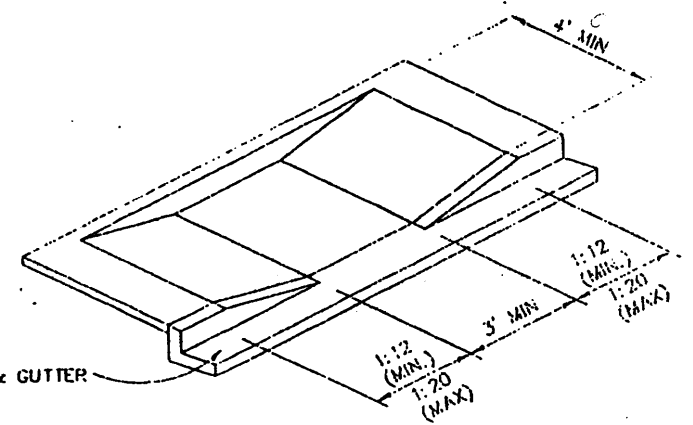


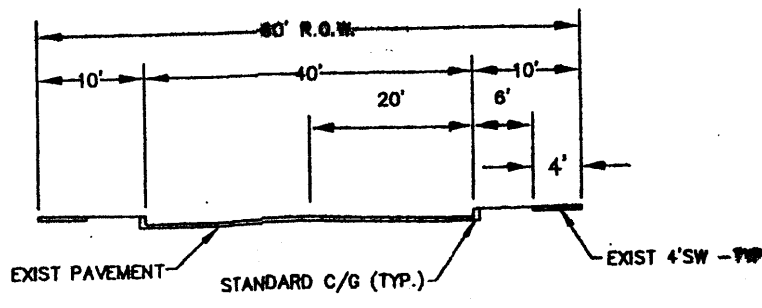
HANDICAP PARKING LAYOUT DETAIL
NTS



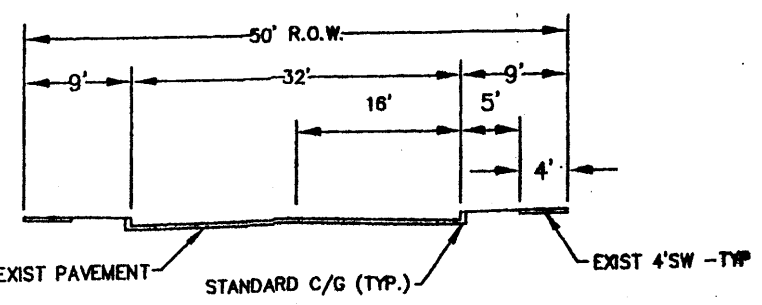
HANDICAP SIGN ASSEMBLY DETAIL
NOT TO SCALE



HANDICAP RAMP DETAIL
NOT TO SCALE



COLLECTOR STREET SECTION
NTS



RESIDENTIAL STREET SECTION
NTS

CASE NUMBER: Z-

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [] and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

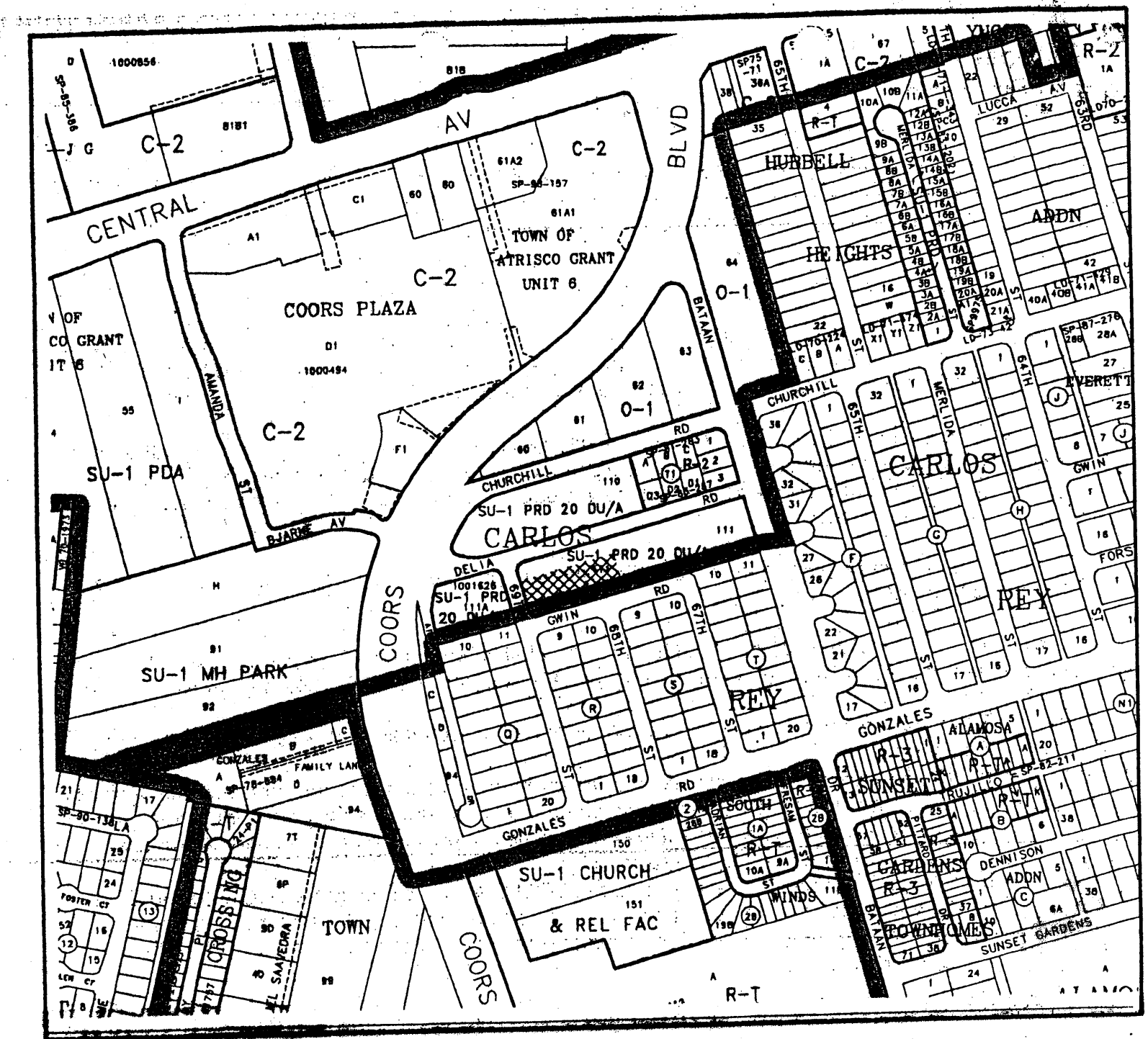
SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks & Recreation Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
Solid Waste Department	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division	Date
---	------

PLNZ (10706) 4/96



VICINITY MAP K-10-Z

OFF-STREET PARKING

STANDARD SPACES PROVIDED: NINETEEN (19)
 SMALL CAR SPACES PROVIDED: FIVE (5)
 ACCESSIBLE SPACES PROVIDED: TWO (2)
 TOTAL OFF-STREET PARKING PROVIDED: TWENTY-ONE (21)

BICYCLE PARKING

ONE (1) BICYCLE PARKING SPACE IS PROVIDED FOR EACH TWO OF THE FIFTEEN SINGLE BEDROOM DWELLING UNITS.
 REQUIRED: EIGHT (8)
 PROVIDED: EIGHT (8)

USABLE OPEN SPACE CALCULATIONS

FIFTEEN (15) ONE-BEDROOM DWELLING UNITS
 x 400 SF OF USEABLE OPEN SPACE PER UNIT
 = 6000SF REQUIRED

LOT AREA: 32800 SF (.753 ACRE)
 BUILDING AREA: -7980 SF
 PARKING AREA: -8230 SF

TOTAL USEABLE OPEN SPACE PROVIDED 16590 SF

FLOOR AREA RATIO: 7980 SF / 32800 SF (.753 A.) = .24

PAVING MATERIALS

SIDEWALKS: CONCRETE
 PARKING LOT: ASPHALT PAVING

SYMBOL LEGEND

- WALL LIGHT
- POLE LIGHT
- BIKE RACK
- ▢ MAIL BOXES
- ⊕ HEIGHT MARKER
- PL PROPERTY LINE

SITE DATA

PROPOSED USAGE: RESIDENTIAL APARTMENTS
 LOT AREA: .75 ACRES
 BUILDING AREA: 7980 SF
 PARKING AREA: 5526 SF

BUILDING AREA CALCULATIONS

UNIT AREA: 532 SF
 15 UNITS: x 15
 RESIDENTIAL: 7980 SF
 TOTAL AREA: 7980 SF

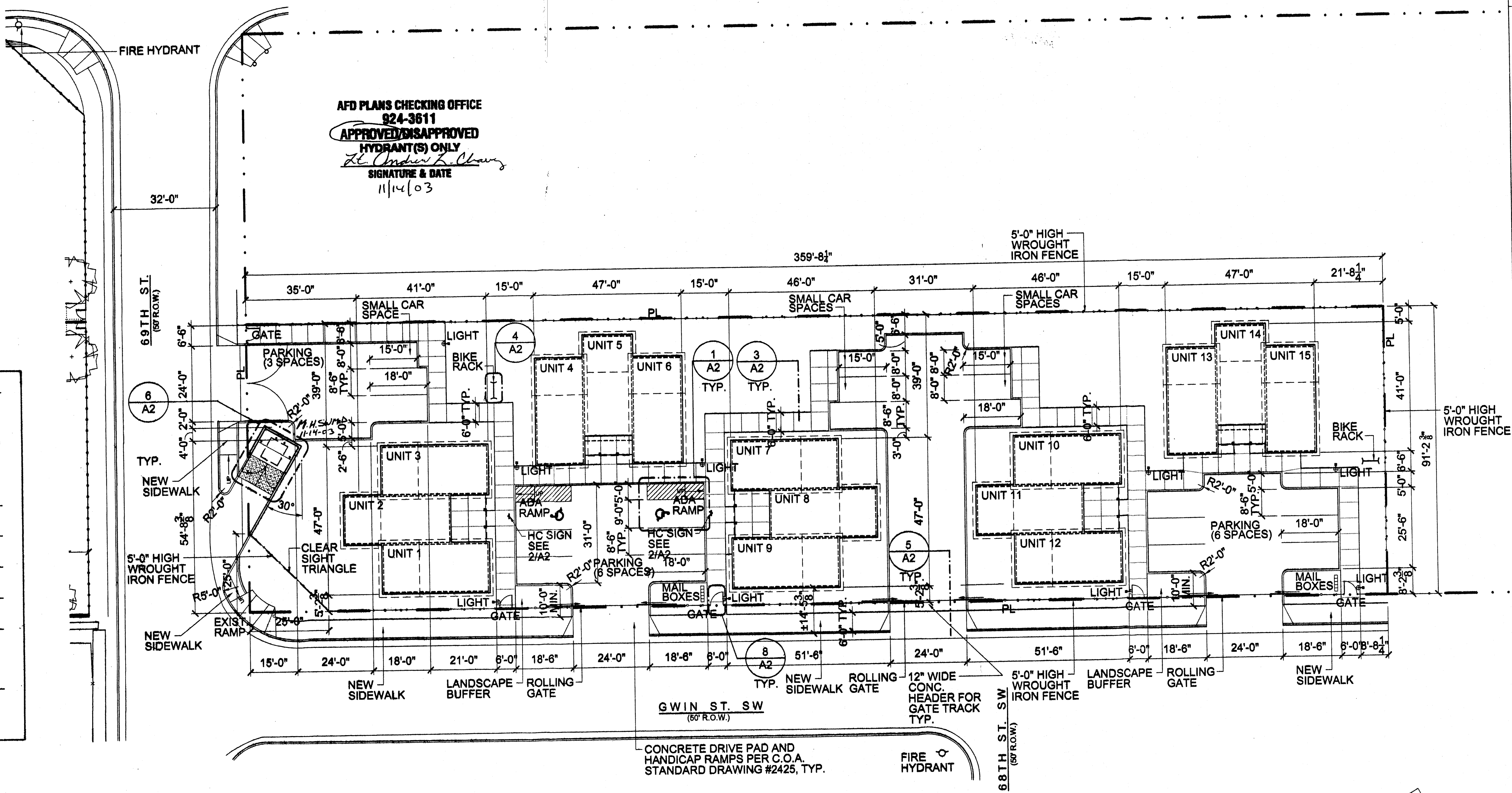
SHEET INDEX

- A 1 - Site Plan & General Info
- A 2 - Site Details
- A 3 - Building Elevations
- L 1 - Landscape Plan
- C 1 - Conceptual Grading & Drainage Plan
- C 2 - Phasing Plan
- C 3 - Conceptual Utilities

REVISIONS
 11.05.03

514 CENTRAL SW
 ALBUQUERQUE
 NEW MEXICO
 8 7 1 0 2
 505 / 766 - 6968
 FAX / 243 - 4508

GARRETT SMITH LTD
 DESIGN, ARCHITECTURE & DEVELOPMENT



AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 Signature & Date
 11/14/03

CASE NUMBER: Z-

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [] and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks & Recreation Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
Solid Waste Department	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

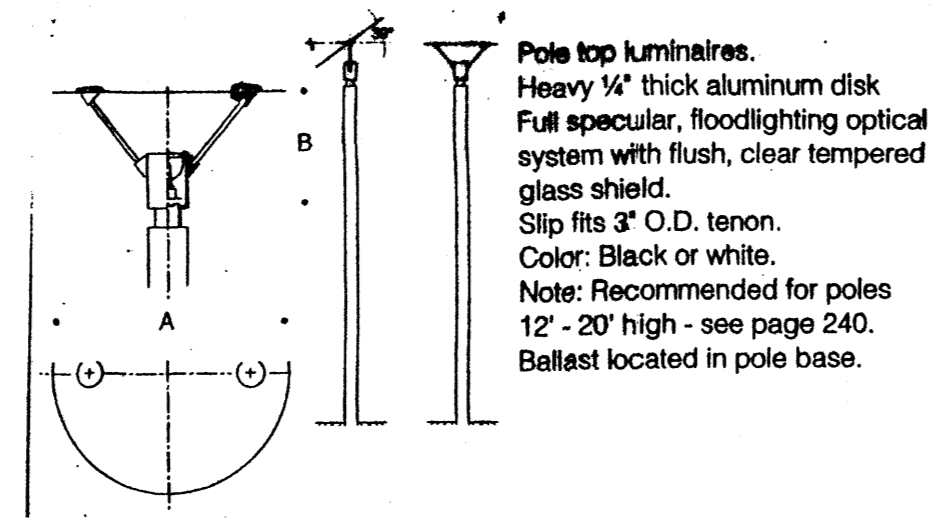
City Planner, Albuquerque / Bernalillo County Planning Division	Date
---	------

PLNZ (10706) 4/96

NEWLIFE HOMES - 3
 DRB SUBMITTAL
 SITE PLAN & GENERAL INFO

Date: 11/18/03
 Scale: 1" = 20'-0"
 Drawn by: B.J.F.

A1

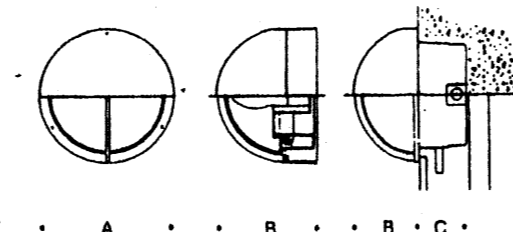


Pole top luminaires.
Heavy 1/2" thick aluminum disk
Full specular, floodlighting optical
system with flush, clear tempered
glass shield.
Slip fits 3" O.D. tenon.
Color: Black or white.
Note: Recommended for poles
12' - 20' high - see page 240.
Ballast located in pole base.

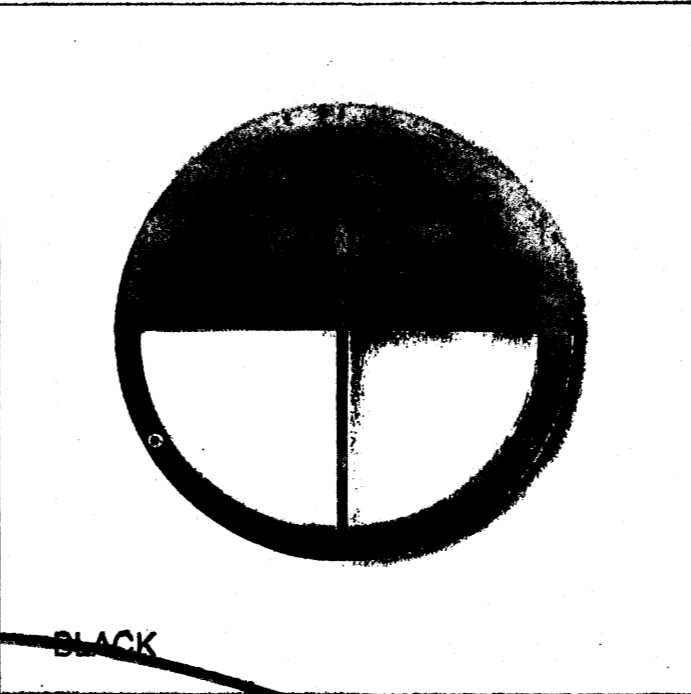
Lamp	Lumen	A	B
8101MH	1 150W G12T6 MH	39%	22%
8102MH	1 70W G12T6 MH	41%	20%

Poles for above luminaires - see page 240

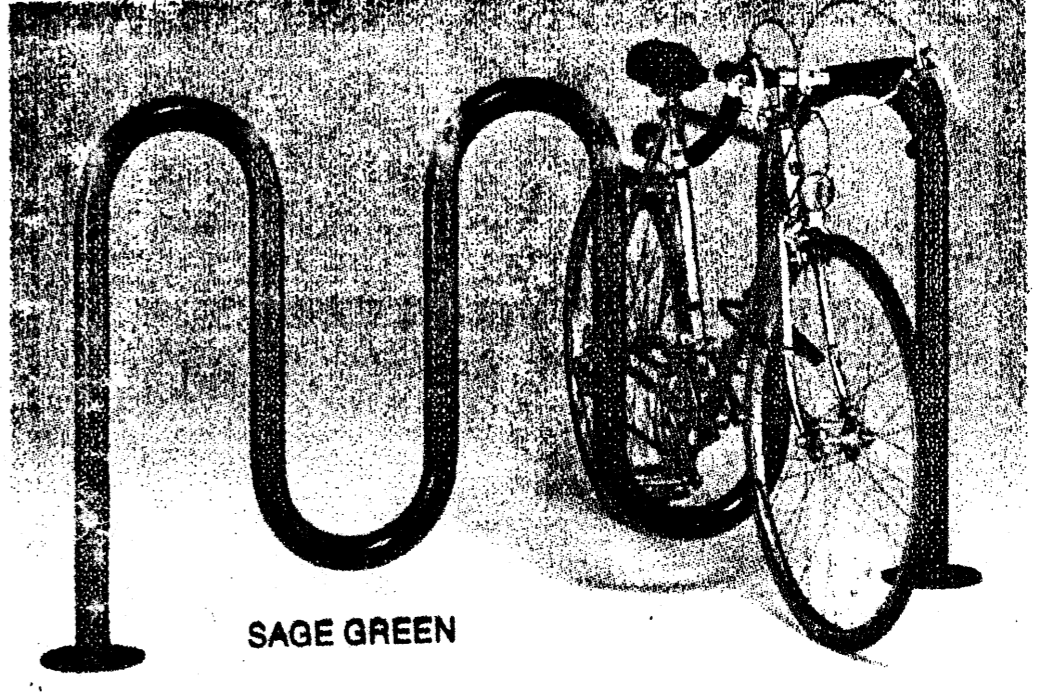
6
A3
POLE MOUNTED LIGHT
FULL CUT-OFF TYPE
NOT TO SCALE



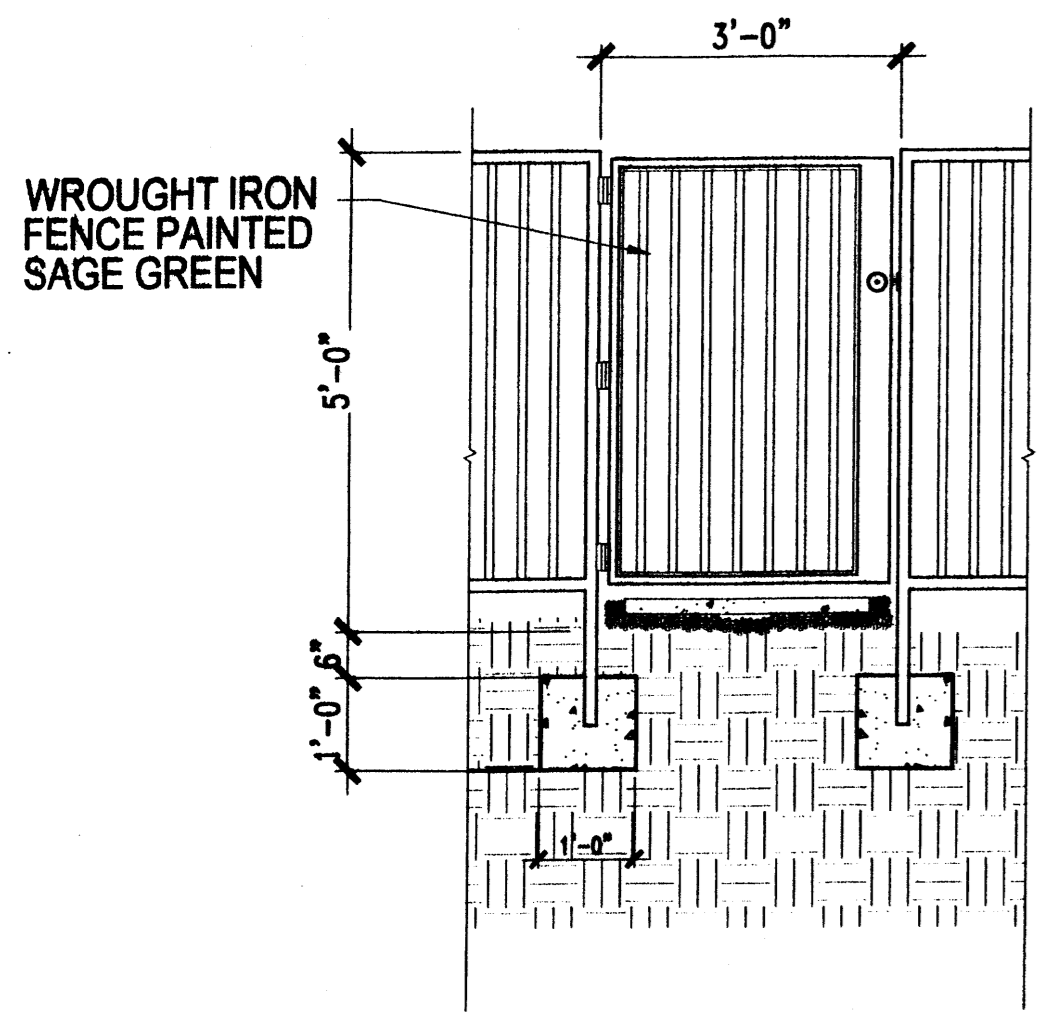
Lamp	Lumen	A	B	C
2950P Wall	2 13W PLC	1720	10 1/4	8 1/4
2955MH Wall	1 50W ED-17 MH	2600	10 1/4	8 1/4
2965S Wall	1 50W E-17 1/2" MH	4000	10 1/4	8 1/4
2966MH Wall	1 70W ED-17 MH	5500	10 1/4	8 1/4
SBX	Surface wiring box with cover for surface conduit			
2012	Semi-recessed 1 100W A19	1750	10 1/4	5 1/4
2012P	Semi-recessed 2 13W PLC	1720	10 1/4	5 1/4
2012MH	Semi-recessed 1 70W ED-17 MH	5500	10 1/4	5 1/4
2012S	Semi-recessed 1 50W E-17 1/2" MH	4000	10 1/4	5 1/4
810	Concrete Protection Cover			



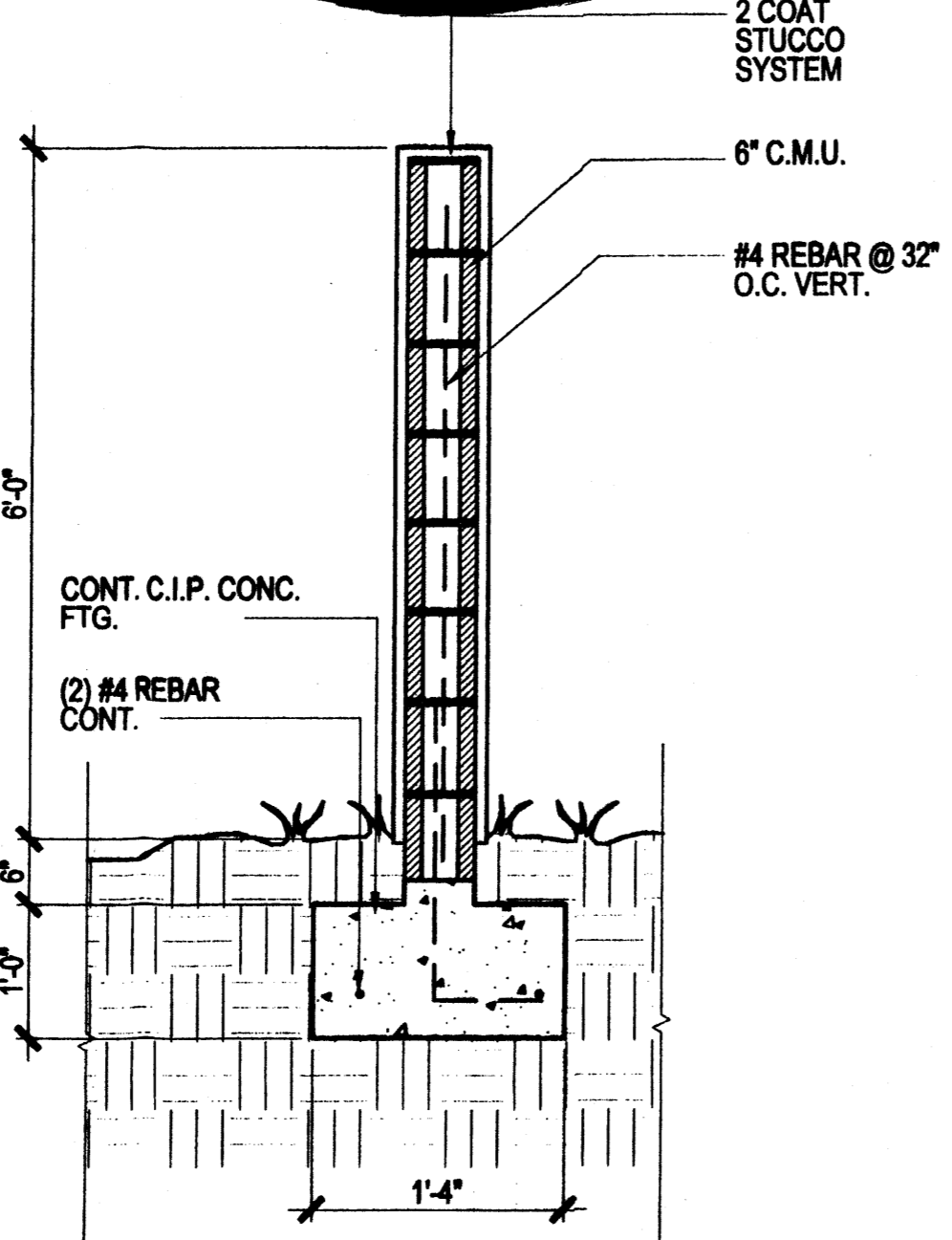
5
A3
WALL MOUNTED LIGHT
FULL CUT-OFF TYPE
NOT TO SCALE



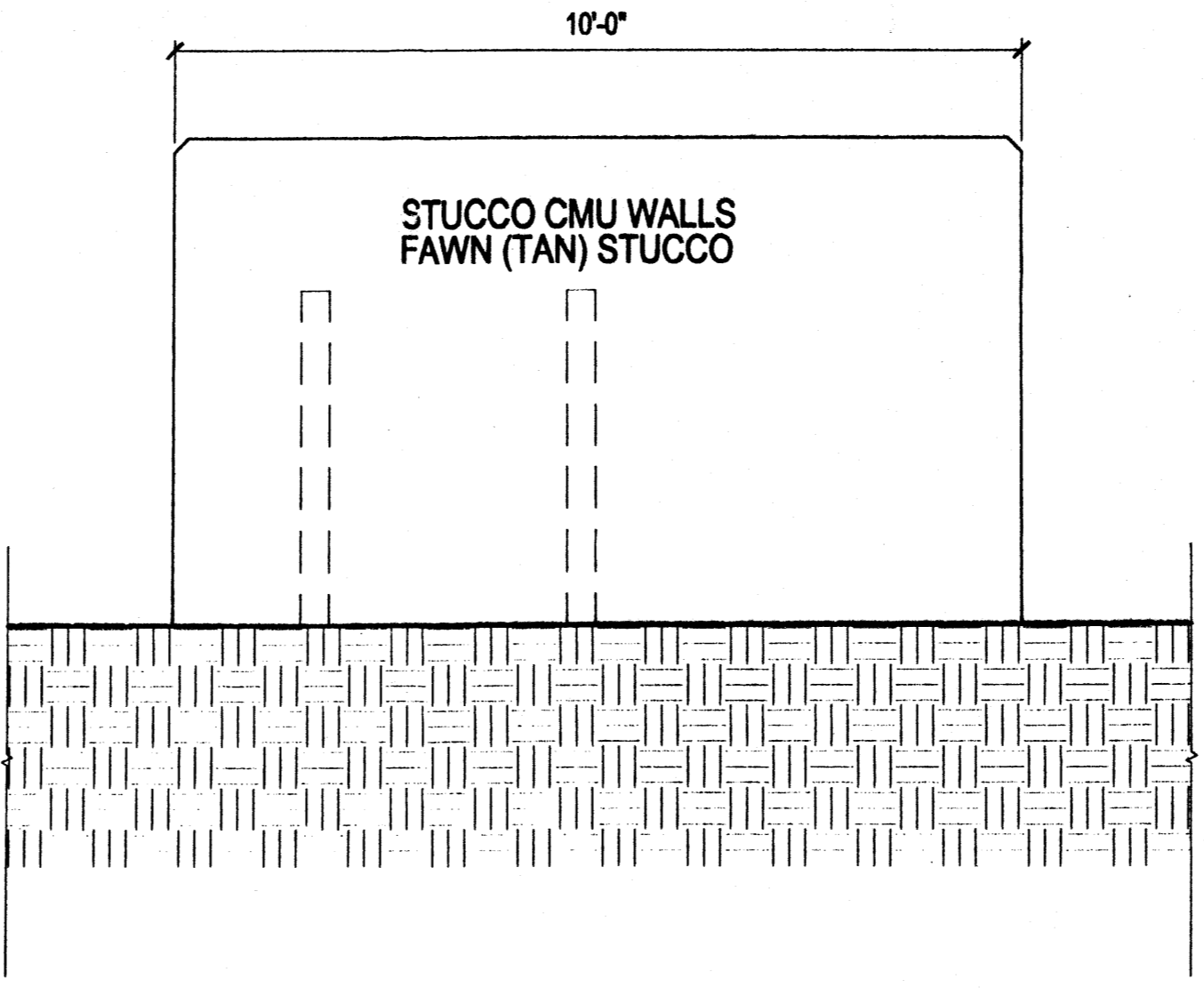
4
A3
BICYCLE RACK
NOT TO SCALE



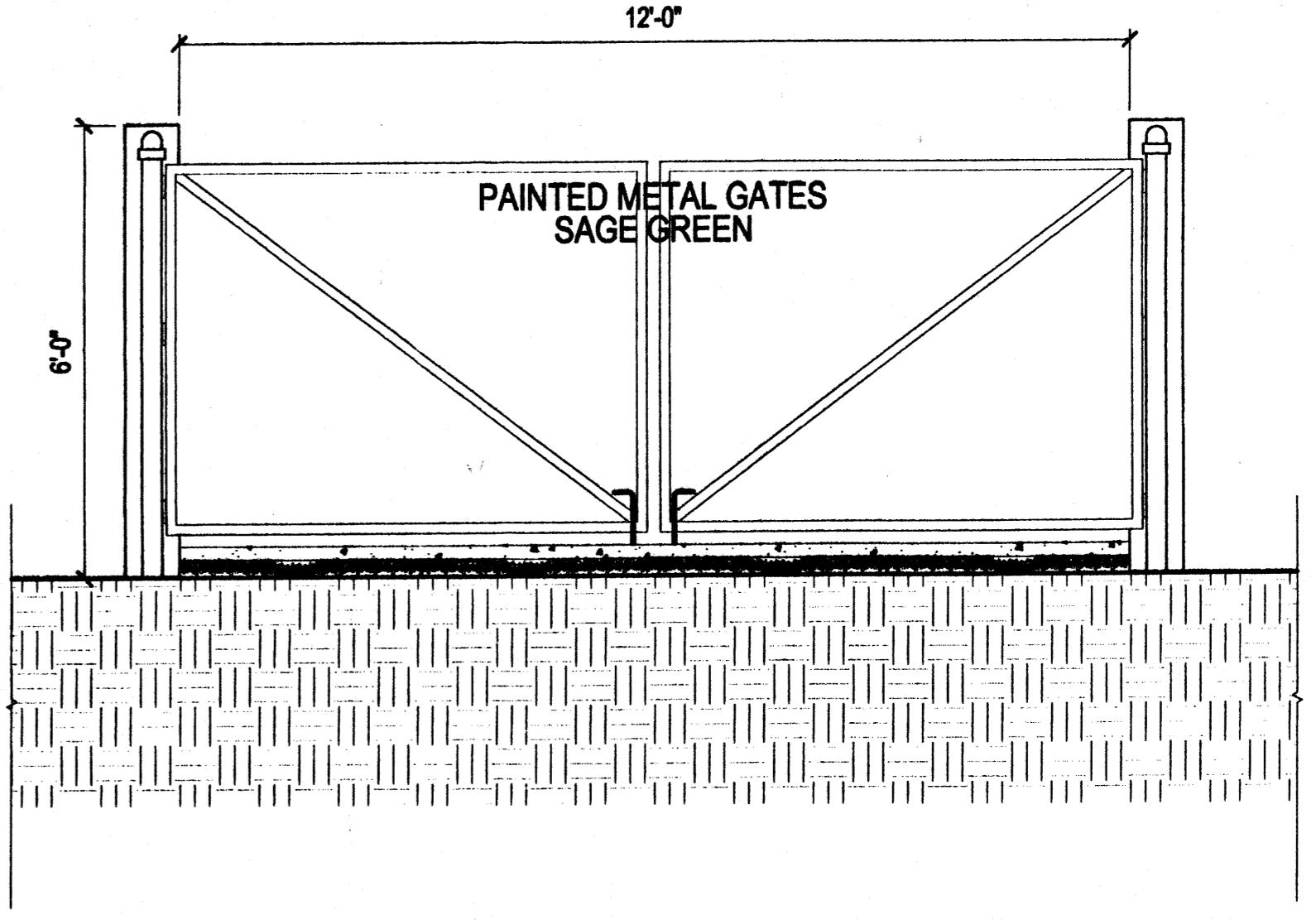
3
A3
PEDESTRIAN FENCES & GATES
SCALE: 1/2"=1'-0"

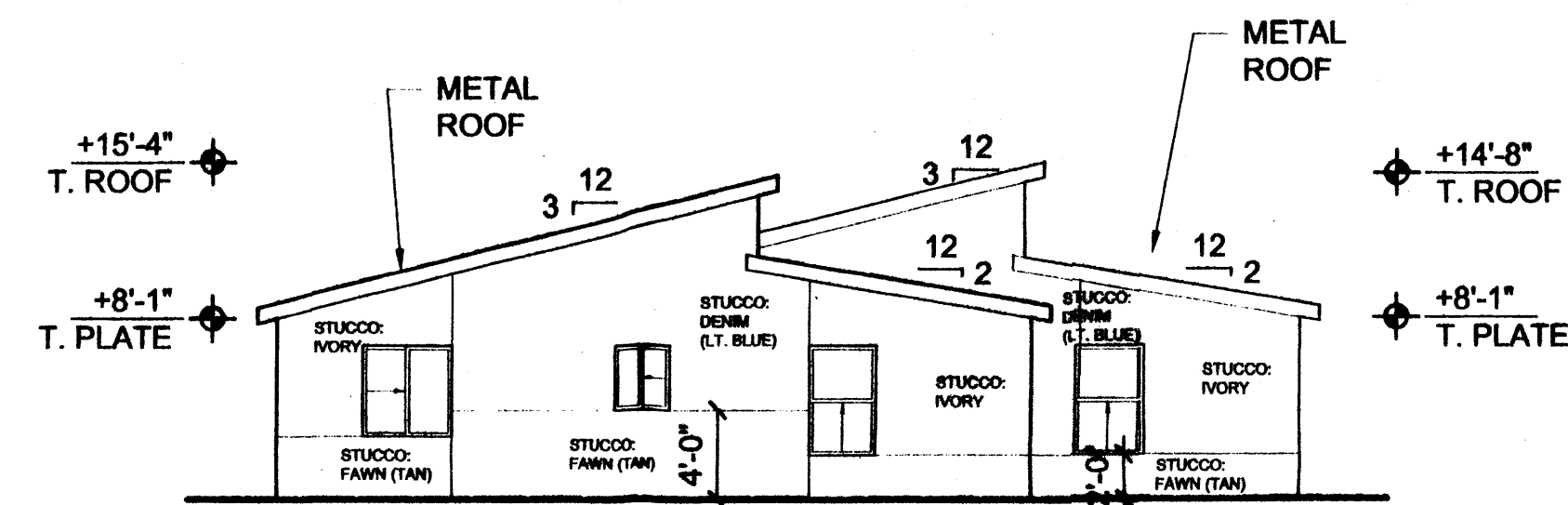


2
A3
DUMPSTER ENCLOSURE
SCALE: 3/4"=1'-0"



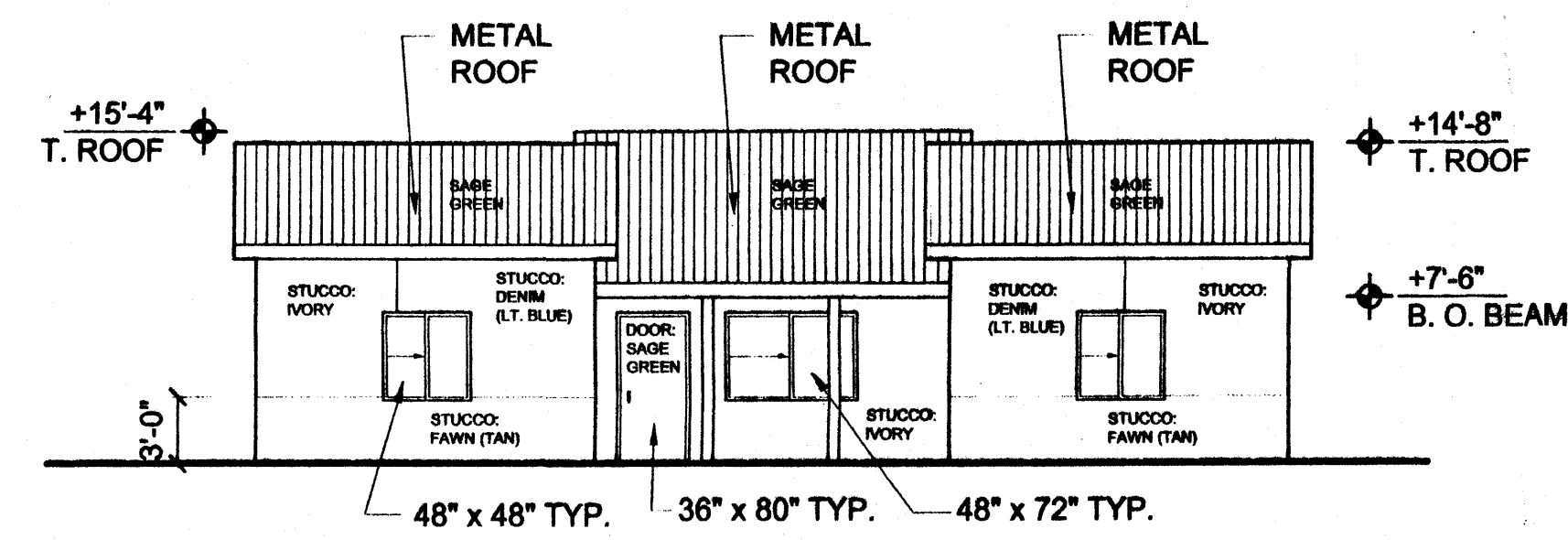
1
A3
DUMPSTER ENCLOSURE
SCALE: 1/2"=1'-0"





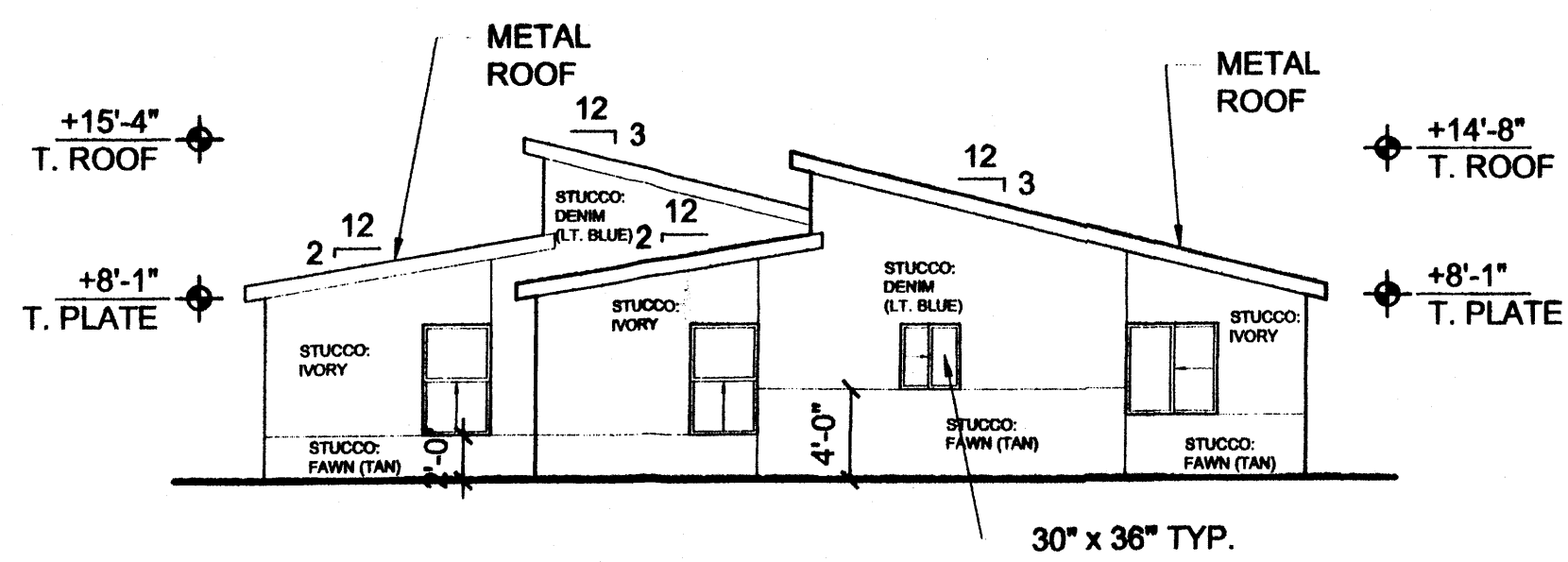
SIDE ELEVATION

SCALE: 1/8"=1'-0"
0 4 8 16



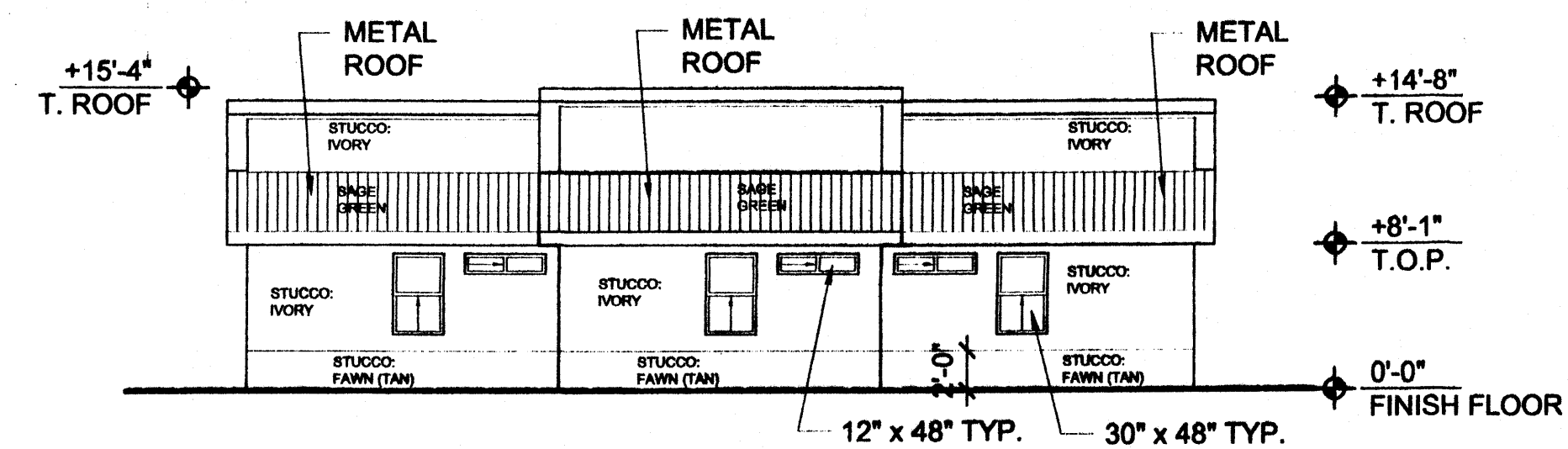
FRONT ELEVATION

SCALE: 1/8"=1'-0"
0 4 8 16



SIDE ELEVATION

SCALE: 1/8"=1'-0"
0 4 8 16



REAR ELEVATION

SCALE: 1/8"=1'-0"
0 4 8 16

NOTE: All stucco colors to be by El Rey. Refer to stucco sample chart of standard El Rey colors. (117 Fawn - 129 Ivory - 107 Demin).

All fascia, rake, soffits, posts and beams to be painted white.

All window frames to white.

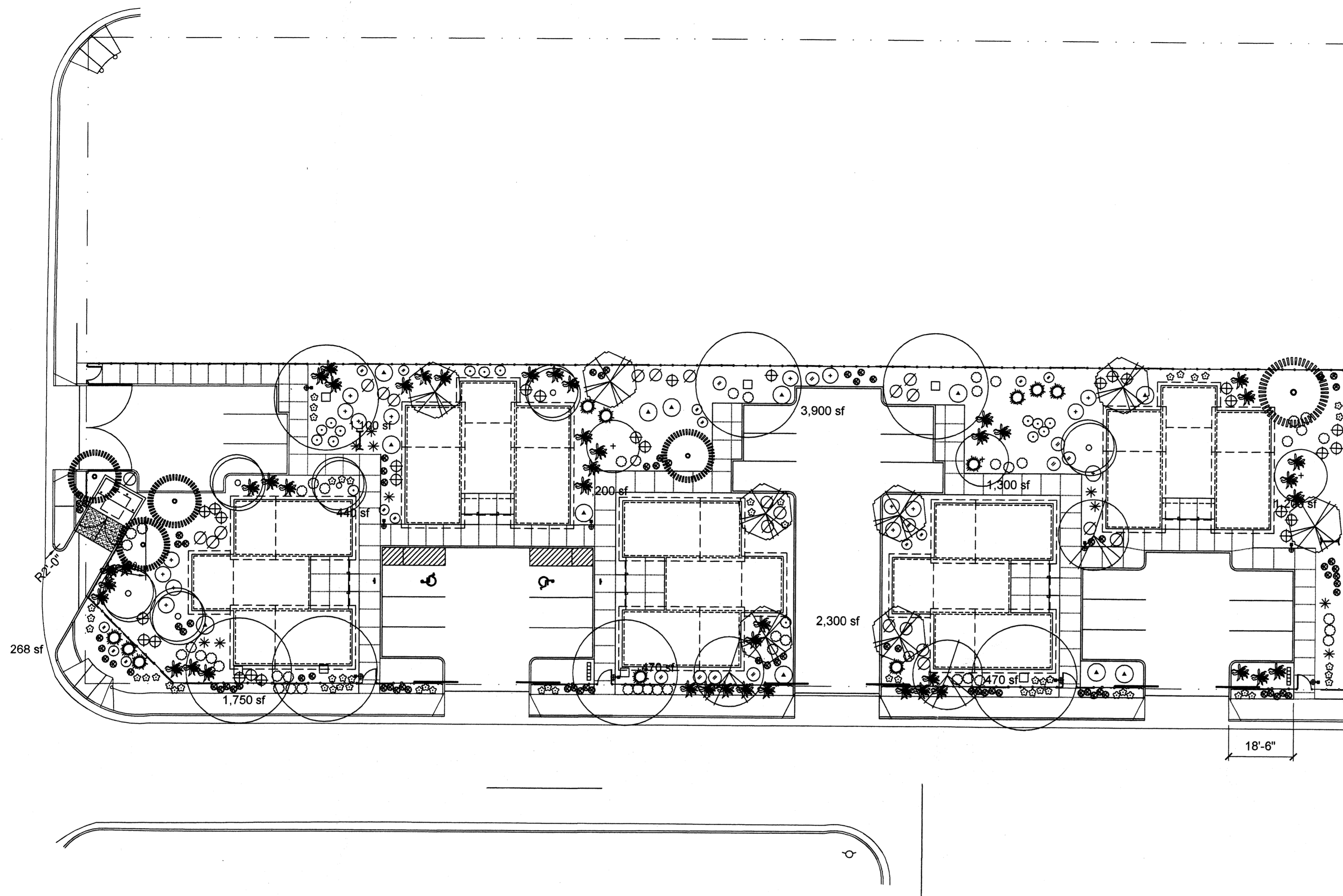
PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
8	⊗	Chilopsis linearis Desert Willow	2" B&B	Medium
7	○	Fraxinus velutina 'Modesto' Modesto Ash (female)	2" B&B	Medium
11	●	Pinus mugo Mugo Pine	5-Gal	Low
5	⊙	Pinus nigra Austrian Pine	2" B&B	Medium
3	⊗	Pyrus calleryana 'Aristocrat' Flowering Pear	2" B&B	Medium
6	⊙	Robinia 'Purple Robe' Purple Robe Locust	2" B&B	Medium
3	⊙	Vitex agnus-castus Chaste tree	15-Gal	Medium
22	⊗	Artemesia 'Powis Castle' 'Powis Castle' Sage	5-Gal	Low
26	⊙	Caryopteris clandonensis Blue Mist	5-Gal	Medium
11	⊙	Caesalpinia gilliesii Bird of Paradise	5-Gal	Low
64	⊙	Ericameria laricifolia Turpentine Bush	5-Gal	Low
10	*	Hesperaloe parviflora Red Yucca	1-Gal	Medium
45	✱	Juniperus sabina 'Buffalo' Buffalo Juniper (female)	5-Gal	Medium
72	●	Liatis punctata Spotted Gayfeather	1-Gal	Low+
15	⊙	Perovskia atriplicifolia Russian Sage	1-Gal	Medium
29	⊕	Potentilla fruticosa Shrubby Cinquefoil	1-Gal	Low+
45	○	Salvia greggii Cherry Sage	1-Gal	Medium
15	⊙	Sedum telephium Autumn joy sedum	1-Gal	Medium
	■	Kentucky Bluegrass/Fescue Mix Sod		

LANDSCAPE REQUIREMENTS

Site Area: .75 acres	32,670 SF
Building Footprint:	8,160 SF
Total Area:	24,510 SF
Required Landscape %:	.15
Landscape Area Required:	3,676 SF
Landscape Area Provided:	14,490 SF

1 LANDSCAPE PLAN
L1 0 5 10 20 40 SCALE: 1"=20'-0"



The design and provision of landscaping features within the Newlife Homes site will utilize water conservation, environmentally sound landscape principles in addition to providing an aesthetically pleasing environment for residents and visitors.

MULCHES

All shrub planting areas shall be top dressed with 3" layer of Santa Ana Tan rock mulch.

IRRIGATION SYSTEM

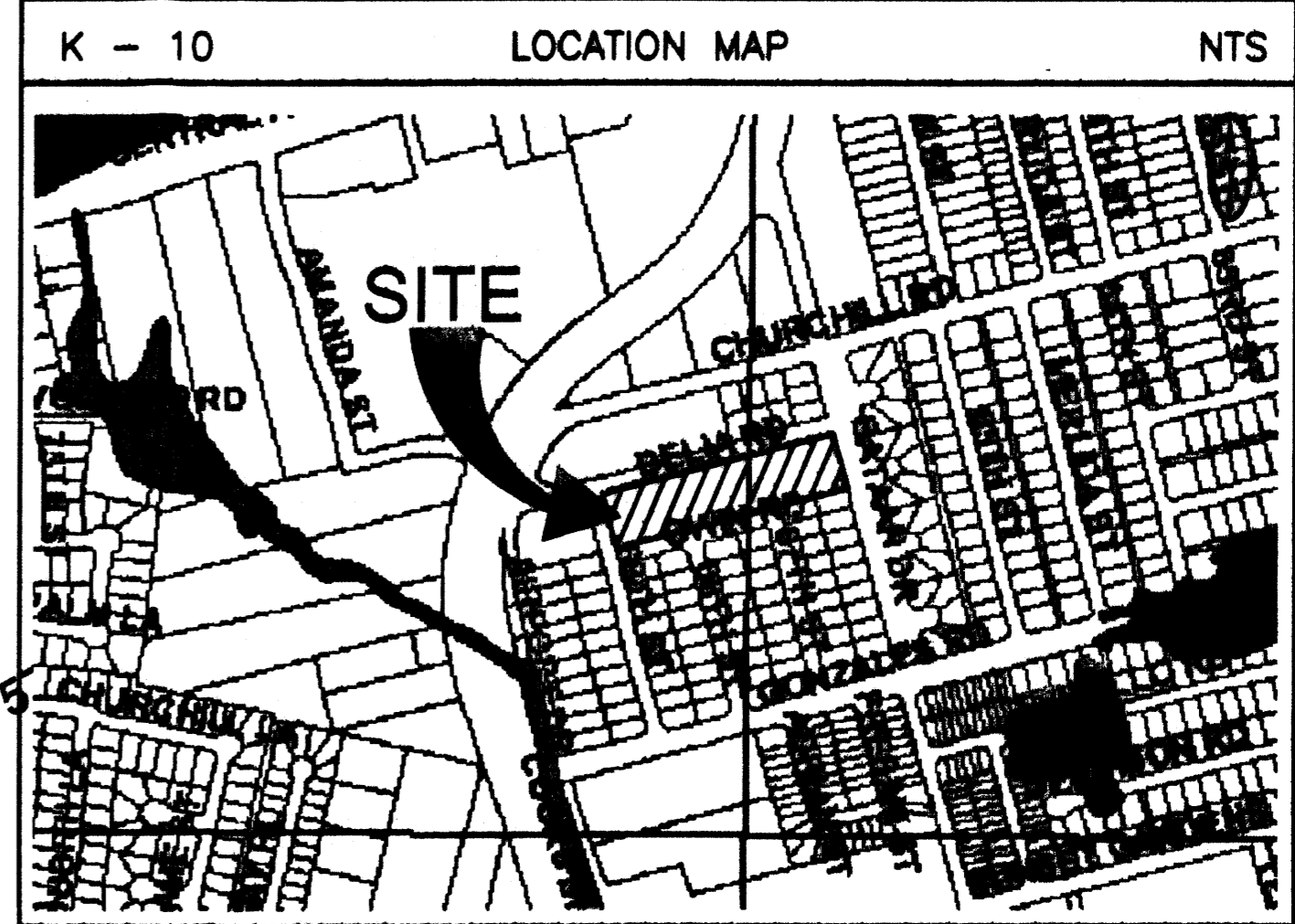
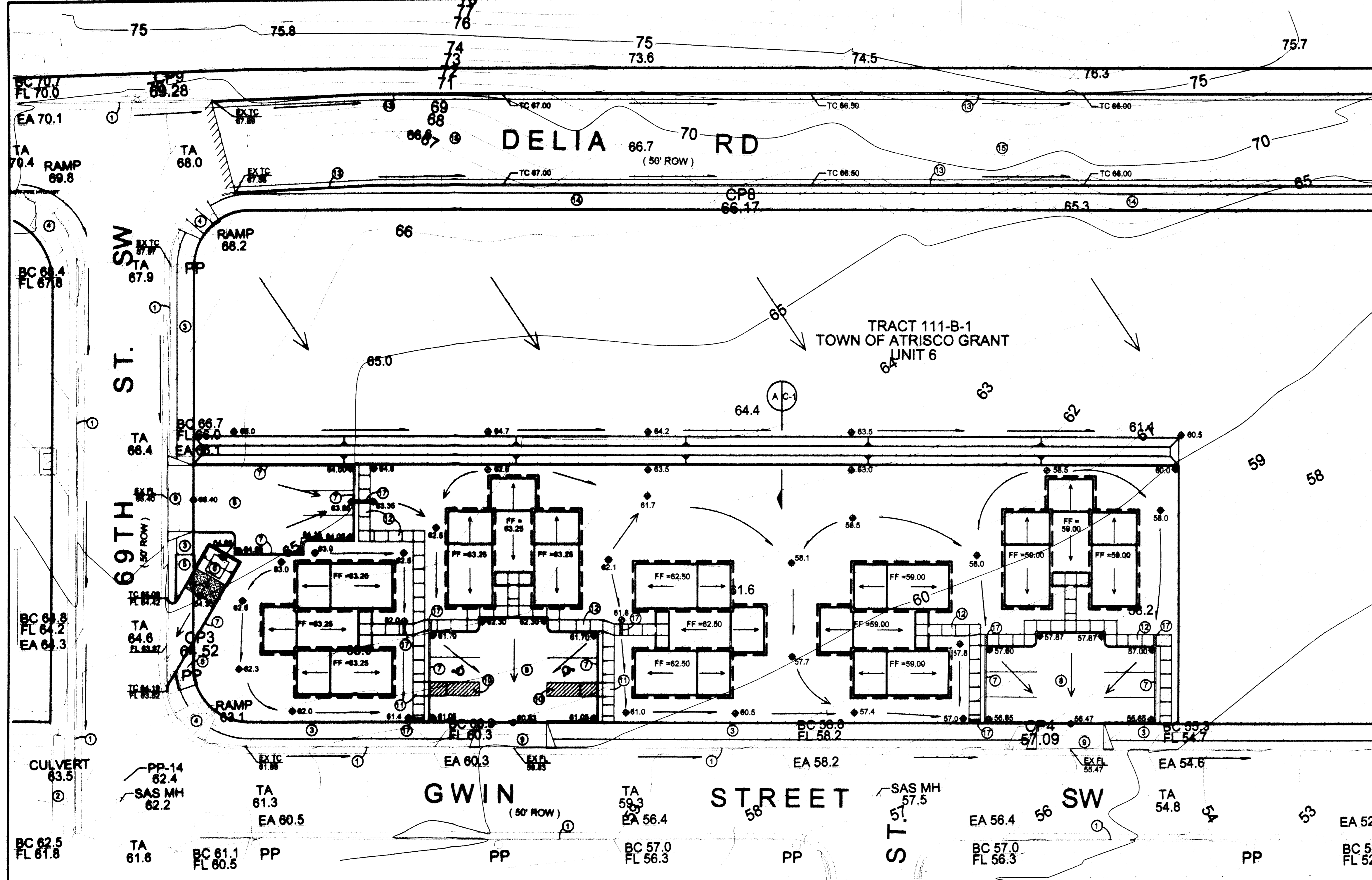
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate lawn areas and tree, shrub and groundcover planting areas. A temporary system will be provided to help establish the native seed area.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE

The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.



FLOODWAY MAP NTS

LEGEND

- 02.5 EXISTING SPOT ELEVATION
- 01.5 PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- EXISTING STRUCTURE
- EXISTING OVERHANG
- PROPOSED STRUCTURE
- PROPOSED CONCRETE
- EXISTING ASPHALT TO BE REMOVED AND REPLACED
- EXISTING CHAIN LINK FENCE
- PROPOSED POST AND CABLE FENCE
- EXISTING BOLLARD
- EXISTING STREET LIGHT
- EXISTING COLUMN

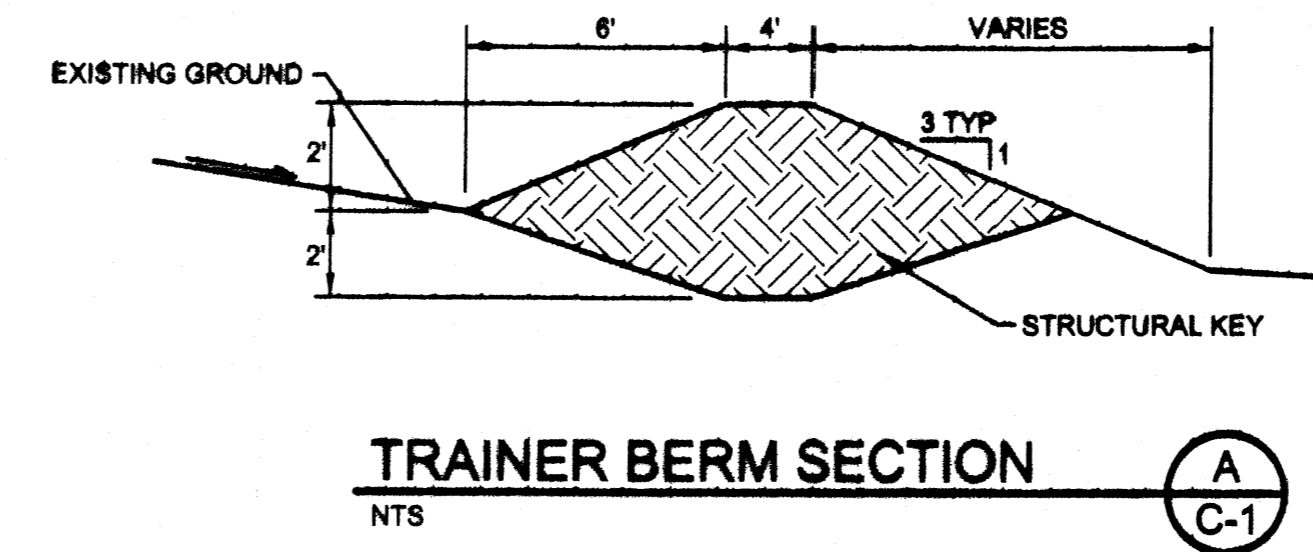
PROPERTY ADDRESS
GWIN ST NW

LEGAL DESCRIPTION
TRACT 111-B
TOWN OF ATRISCO GRANT
UNIT 6

PROJECT BENCHMARK
BENCH MARK: ACS 3 1/4" ALUM. CAP
DISK 6-K10
ELEVATION = 5082.14

SURVEY
SITE MAPPING BY
BRASHER & LORENZ INC.

- DRAINAGE PLAN NOTES**
- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
 - This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
 - Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
 - This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
 - Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
 - BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
 - The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.



TRAINER BERM SECTION
NTS

PROJECT HYDROLOGY
NEW LIFE HOMES 3

ZONE: 1
P_{24HR}: 2.20"
P_{30DAY}: 3.87"

UNDEVELOPED:

BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (cu ft)
A	0.74	0.00	0.00	0.74	0.00	0.99	2.12	0.0911
B	2.43	0.00	0.00	2.43	0.00	0.99	6.97	0.2895
C	2.83	0.00	0.00	2.83	0.00	0.99	8.41	0.3417
D	0.99	0.00	0.00	0.99	0.00	0.99	2.99	0.1199

DEVELOPED (PROPOSED):

BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (cu ft)
A	0.74	0.00	0.15	0.15	0.34	1.51	2.67	0.0931
B	2.43	0.00	0.49	0.49	1.43	1.51	6.75	0.2695
C	2.50	0.00	0.50	0.50	1.50	1.51	8.82	0.3146
D	0.90	0.00	0.00	0.00	0.90	1.51	3.93	0.1546

- KEYED NOTES**
- EXISTING STANDARD CURB & GUTTER
 - EXISTING SIDEWALK
 - NEW 8" SIDEWALK
 - EXISTING ACCESSIBLE RAMP
 - NEW ACCESSIBLE RAMP PER COA STD DWG 2426
 - NEW REFUSE ENCLOSURE. SEE SITE PLAN
 - NEW 6" CONCRETE CURB.
 - ASPHALT PAVING.
 - REMOVE & DISPOSE EXISTING STD C & G AND SIDEWALK. CONSTRUCT NEW DRIVE PAD PER COA STD DWG 2425
 - NEW ACCESSIBLE PARKING AND LOADING AREA.
 - NEW ACCESSIBLE RAMP. SEE SITE PLAN
 - NEW SIDEWALK, TYPICAL
 - FUTURE STANDARD CURB AND GUTTER
 - FUTURE 8" SIDEWALK
 - FUTURE RESIDENTIAL PAVING
 - CONSTRUCT RETAINING WALL.
 - CONSTRUCT SIDEWALK CULVERT.

CONCEPTUAL GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS CONCEPTUAL GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 15-UNIT MULTI-FAMILY DEVELOPMENT ON THE 3.2-ACRE SITE. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PRESENTED TO SUPPORT SITE DEVELOPMENT PLAN REVIEW AND APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION.

EXISTING CONDITIONS

THE PROJECT SITE IS PRESENTLY UNDEVELOPED. THE SITE CONTAINS APPROXIMATELY 3.2-ACRES AND IS DESCRIBED AS TRACT 111-B, TOWN OF ATRISCO GRANT, UNIT 6. THE SITE IS BOUNDED BY 68TH STREET ON THE WEST, BATAAN DRIVE ON THE EAST DELIA ROAD ON THE NORTH AND GWIN ROAD ON THE SOUTH. THE SITE IS PRESENTLY UNDEVELOPED. THE PROPERTY HAS BEEN DISTURBED BY OFF-ROAD VEHICLES AND RANDOM TRASH DUMPING. VERY LITTLE NATIVE VEGETATION IS PRESENT. GWIN, 68TH AND BATAAN ROADS ARE IMPROVED PUBLIC ROADWAYS. DELIA ROAD IS UNIMPROVED. PRESENTLY ALL EXCESS RUNOFF DRAINS SOUTH AND EAST TO GWIN ROAD AND BATAAN DRIVE. FLOWS DRAIN TO EXISTING PUBLIC STORM DRAINAGE IMPROVEMENTS LOCATED IN GONZALES ROAD.

AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED AS A 15-UNIT MULTI-FAMILY COMPLEX, WITH ASSOCIATED ACCESS, DRAINAGE, GRADING, UTILITY AND LANDSCAPING IMPROVEMENTS.

ALL DRAINAGE FLOWS WILL BE MANAGED BY ON-SITE SWALES, CONVEYING RUNOFF TO GWIN ROAD AND BATAAN DRIVE. THE PLAN SHOWS THE CONTOURS AND ELEVATIONS REQUIRED TO PROPERLY GRADE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR BOTH EXISTING AND DEVELOPED CONDITIONS.

THE PROJECT IS TO BE DEVELOPED IN TWO PHASES (SEE PHASING PLAN). PHASE ONE REPRESENTS NEW LIFE HOMES 3, A 0.74-ACRE MULTI-FAMILY COMPLEX. PHASE ONE WILL DRAIN TO GWIN ROAD. THE UNDEVELOPED ACRES (BASINS B, C AND D) WILL DRAIN IN HISTORICAL PATTERNS TO GWIN AND BATAAN. TEMPORARY EROSION CONTROL BERMS WILL BE CONSTRUCTED TO DIRECT OFF-SITE FLOWS TO A TEMPORARY SEDIMENTATION POND TO BE CONSTRUCTED AT THE SOUTHWEST CORNER OF BASIN B. DELIA ROAD WILL NOT BE CONSTRUCTED WITH PHASE ONE.

PHASE TWO CONSISTS OF THE DEVELOPMENT OF BASIN B, AND CONSTRUCTION OF DELIA ROAD. BASINS C AND D WILL THEN BE DIVERTED TO BATAAN BY DELIA ROAD. BASIN B IS TO BE DEVELOPED AS A MULTI-FAMILY PROJECT SIMILAR TO NEW LIFE HOMES, DISCHARGING DEVELOPED RUNOFF TO BATAAN DRIVE.

ALL RUNOFF FROM THE SITE WILL DRAIN TO GWIN ROAD AND BATAAN DRIVE, CONTINUING SOUTH TO EXISTING STORM DRAINAGE IMPROVEMENTS LOCATED IN GONZALES ROAD. DUE TO THE INFILL NATURE OF THIS PROJECT, FREE DISCHARGE OF EXCESS RUNOFF IS APPROPRIATE.

TEMPORARY EROSION CONTROL

TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. A COMPREHENSIVE STORM WATER POLLUTION PREVENTION PLAN WILL BE PREPARED PRIOR TO CONSTRUCTION.

CALCULATIONS

THE CALCULATIONS SHOWN HEREON DEFINE THE 100-YEAR 6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE ARHYM METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.

REVISIONS

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Juan NE, Ste. 2000
Albuquerque, New Mexico 87110
Phone: (505) 988-0088 Fax: (505) 988-6188

GARRETT SMITH LTD
DESIGN ARCHITECTURE & DEVELOPMENT

514 CENTRAL SW
ALBUQUERQUE
NEW MEXICO
8 7 1 0 2
505 / 766-6968
FAX / 243-4508

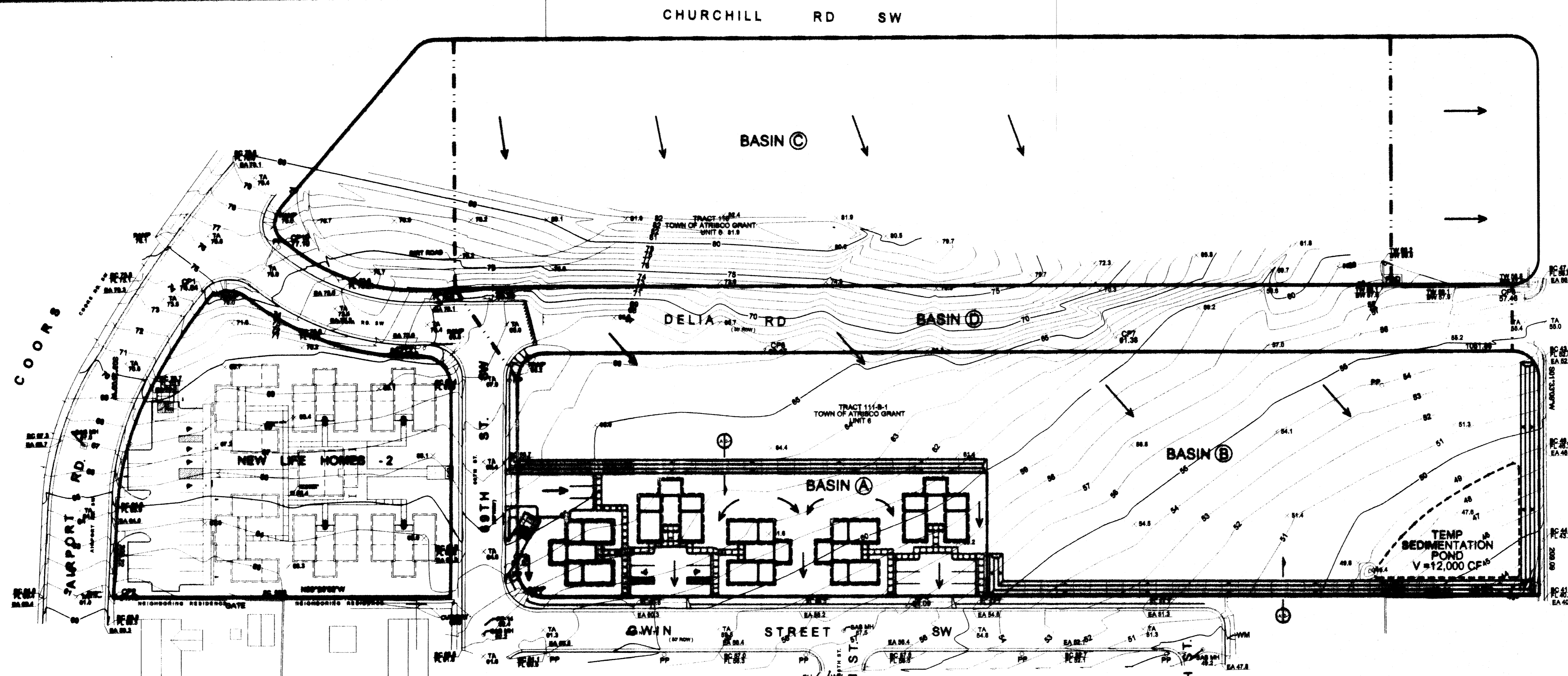
NEW LIFE HOMES - 3
ALBUQUERQUE NEW MEXICO

CONCEPTUAL GRADING AND DRAINAGE PLAN

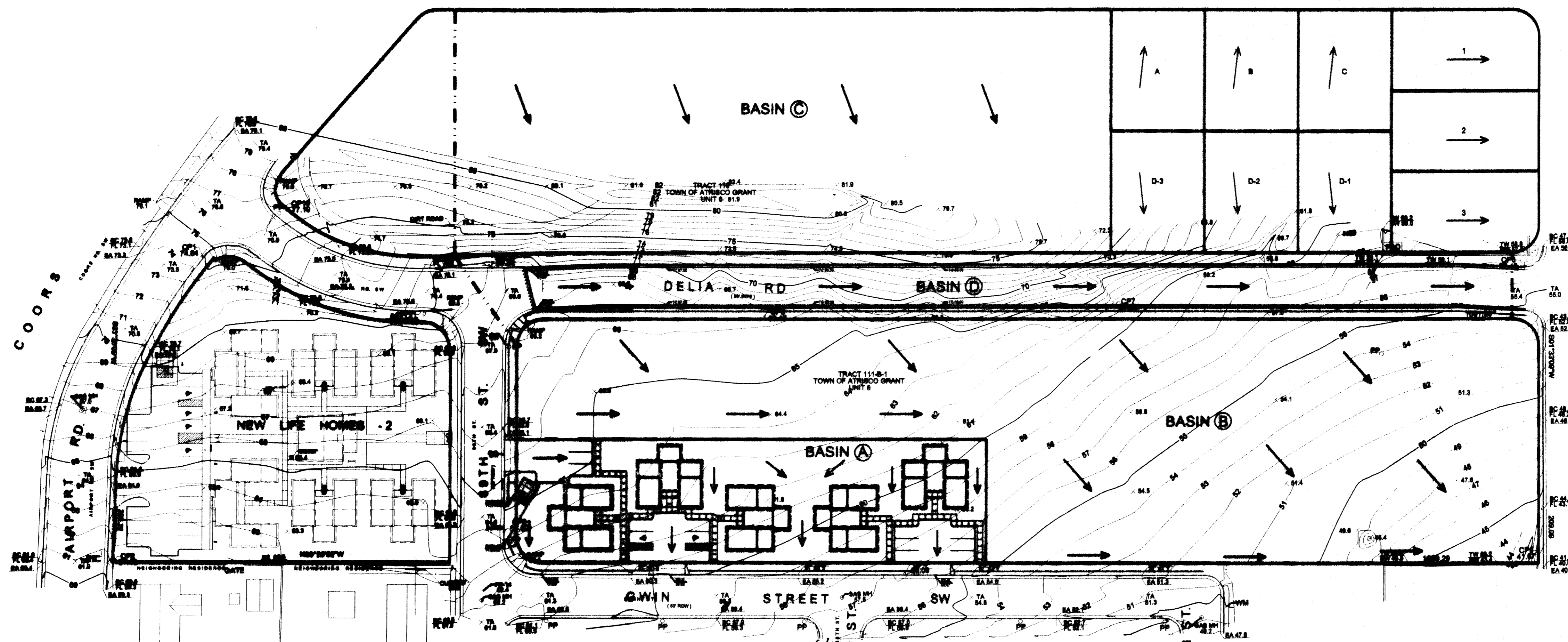
SCALE: 1" = 20'

DATE: 04-29-2003

SHT: C-1



PHASE ONE PLAN (A) C-2
1" = 50'



PHASE TWO PLAN (B) C-2
1" = 50'

LEGEND

- 02.0 ······ EXISTING SPOT ELEVATION
- 01.5 ······ PROPOSED SPOT ELEVATION
- ←····· DIRECTION OF FLOW
- DRAINAGE SWALE
- EXISTING STRUCTURE
- EXISTING OVERHANG
- PROPOSED STRUCTURE
- PROPOSED CONCRETE
- EXISTING ASPHALT TO BE REMOVED AND REPLACED
- EXISTING CHAIN LINK FENCE
- PROPOSED POST AND CABLE FENCE
- EXISTING BOLLARD
- EXISTING STREET LIGHT
- EXISTING COLUMN

1 IN. = 50 FT.

REVISIONS

BRASHER & LORENZ
CONSULTING ENGINEERS
2001 San Pedro Drive, NE, Suite 1000
Phoenix, AZ 85016
Phone: (602) 944-2888 Fax: (602) 944-5188

514 CENTRAL SW
ALBUQUERQUE
NEW MEXICO
8 7 1 0 2
505 / 766-6968
FAX / 243-4508

GARRETT SMITH LTD.
DESIGN, ARCHITECTURE & DEVELOPMENT

NEW LIFE HOMES - 3
ALBUQUERQUE NEW MEXICO
PHASING PLAN

PROPERTY ADDRESS
GWIN ST NW

LEGAL DESCRIPTION
TRACT 111-B
TOWN OF ATRISCO GRANT
UNIT 6

PROJECT BENCHMARK
BENCH MARK: ACS 3 1/4" ALUM. CAP
DISK BAK'G
ELEVATION = 5082.14

SURVEY
SITE MAPPING BY
BRASHER & LORENZ INC.

SCALE:
1" = 20'

DATE:
04-29-2003

SHT:
C-2

TRACT 110
TOWN OF ATRISCO GRANT
UNIT 6

TRACT 111-B-1
TOWN OF ATRISCO GRANT
UNIT 6

LEGEND			REVISIONS
ITEM	EXISTING	PROPOSED	
WATERLINE	6" W	8" W	
SANITARY SEWER	8" SAS	8" SAS	
STORM SEWER	36" STS	36" STS	
FIRE HYDRANT VALVE			
METERED WATER SERVICE			
MANHOLE			
CURB AND GUTTER			
HEADER CURB			
DROP INLET			
OVERHEAD ELEC WITH POWER POLE	OHE	OHE	
UNDERGROUND ELEC, GAS, TEL, TV	UGT	UGT	
CURB ELEVATIONS			
SPOT ELEV.	x 16.7	16.7	
SEWER SERVICE			
RIGHT OF WAY EASEMENT			
POWER POLE (GUYED)	PP	PP	
CENTERLINE			
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2	

1 IN. = 20 FT.

BRASHER & LORENZ
CONSULTING ENGINEERS
2501 San Pedro Blvd. NE, Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 988-0200 Fax: (505) 988-0100

514 CENTRAL SW
ALBUQUERQUE
NEW MEXICO
87102
505/766-8968
FAX/243-4508

GARRETT SMITH LTD
DESIGN, ARCHITECTURE & DEVELOPMENT

NEW LIFE HOMES - 3
ALBUQUERQUE, NEW MEXICO

CONCEPTUAL UTILITY PLAN

SCALE:
1" = 20'

DATE:
04-29-2003

SHT:
C-3

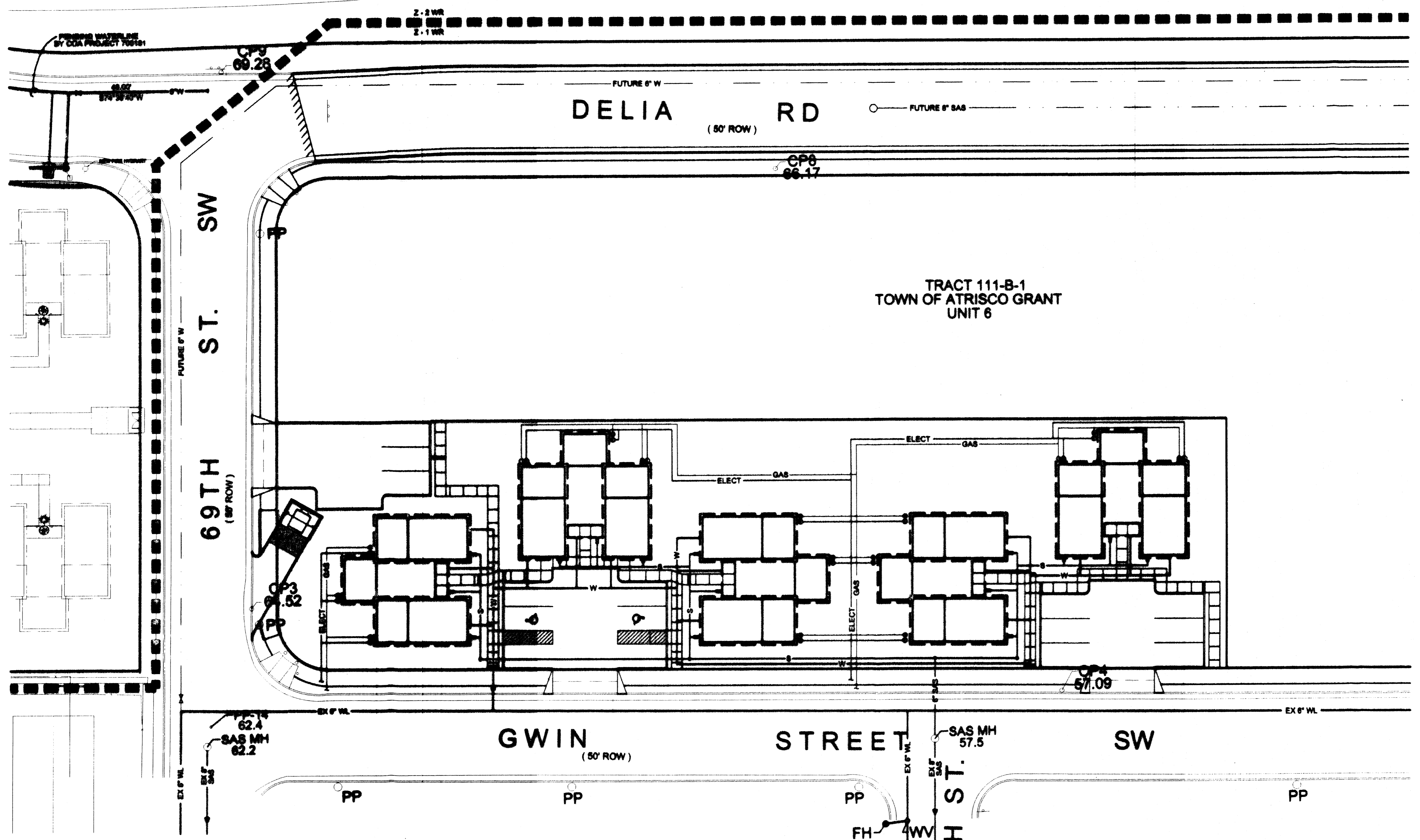
DIRT ROAD

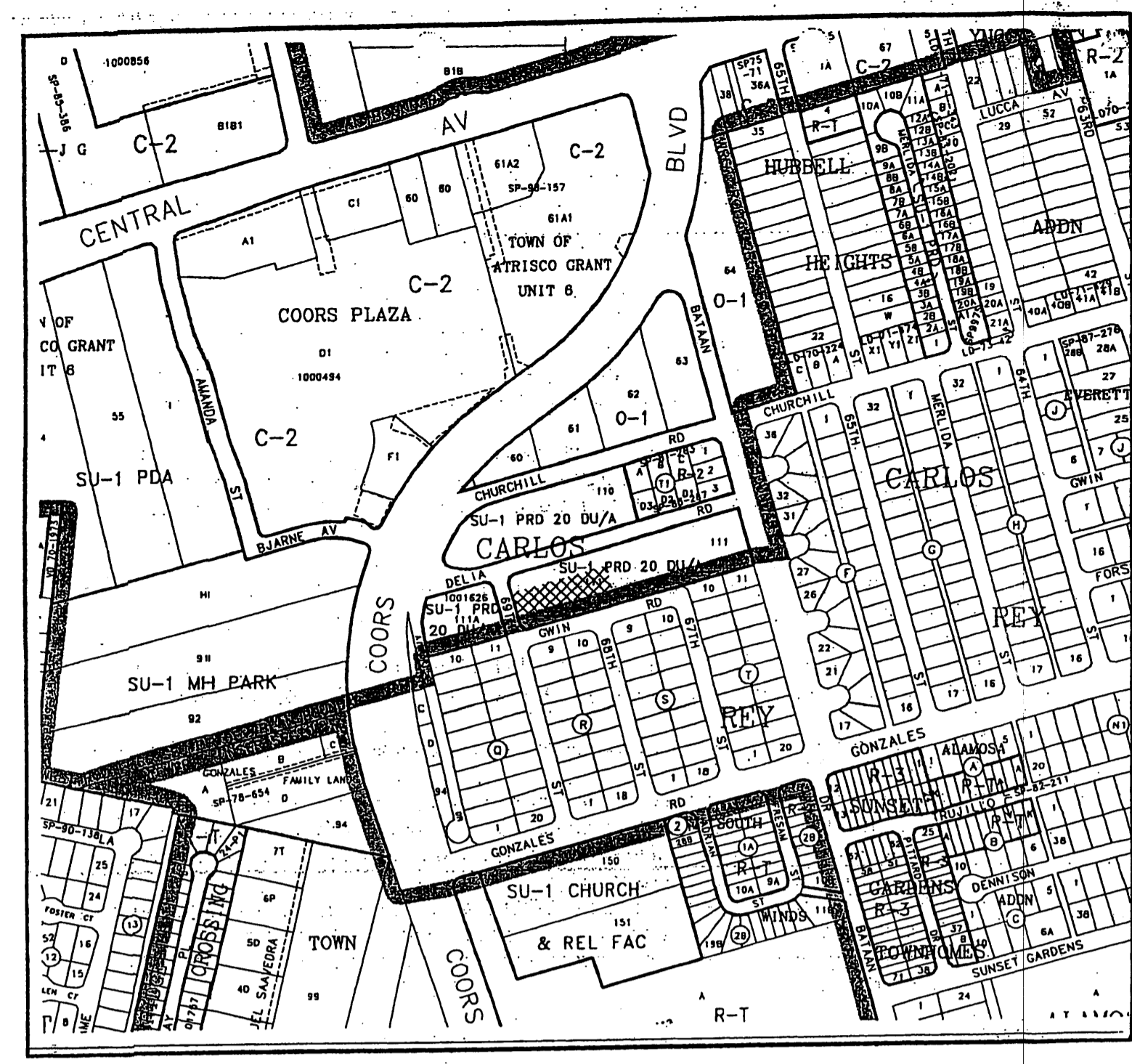
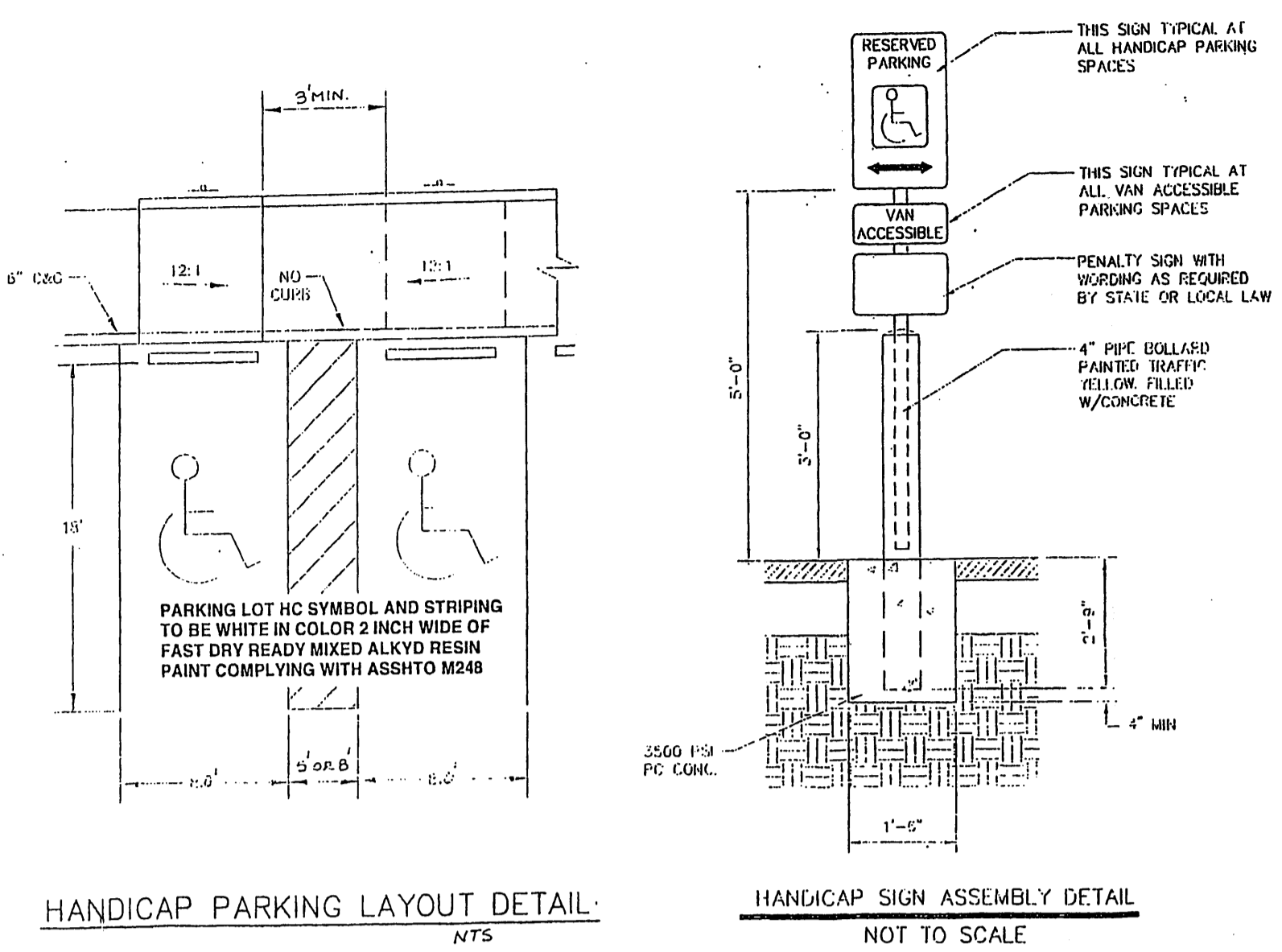
69TH ST. SW
(50' ROW)

DELIA RD
(50' ROW)

GWIN STREET SW
(50' ROW)

68TH ST.





OFF-STREET PARKING

STANDARD SPACES PROVIDED: NINETEEN (19)
 SMALL CAR SPACES PROVIDED: FIVE (5)
 ACCESSIBLE SPACES PROVIDED: TWO (2)
 TOTAL OFF-STREET PARKING PROVIDED: TWENTY-ONE (21)

BICYCLE PARKING

ONE (1) BICYCLE PARKING SPACE IS PROVIDED FOR EACH TWO OF THE FIFTEEN SINGLE BEDROOM DWELLING UNITS.
 REQUIRED: EIGHT (8)
 PROVIDED: EIGHT (8)

USABLE OPEN SPACE CALCULATIONS

FIFTEEN (15) ONE-BEDROOM DWELLING UNITS
 x 400 SF OF USEABLE OPEN SPACE PER UNIT
 = 6000SF REQUIRED

LOT AREA: 32800 SF (.753 ACRE)
 BUILDING AREA: -7980 SF
 PARKING AREA: -8230 SF

TOTAL USEABLE OPEN SPACE PROVIDED 16590 SF

FLOOR AREA RATIO: 7980 SF / 32800 SF (.753 A.) = .24

PAVING MATERIALS

SIDEWALKS: CONCRETE
 PARKING LOT: ASPHALT PAVING

SYMBOL LEGEND

- WALL LIGHT
- POLE LIGHT
- ⊥ BIKE RACK
- ▬ MAIL BOXES
- ⊕ HEIGHT MARKER
- PL PROPERTY LINE

SITE DATA

PROPOSED USAGE: RESIDENTIAL APARTMENTS
 LOT AREA: .75 ACRES
 BUILDING AREA: 7980 SF
 PARKING AREA: 5526 SF

BUILDING AREA CALCULATIONS

UNIT AREA: 532 SF
 15 UNITS: x 15
 RESIDENTIAL: 7980 SF

TOTAL AREA: 7980 SF

SHEET INDEX

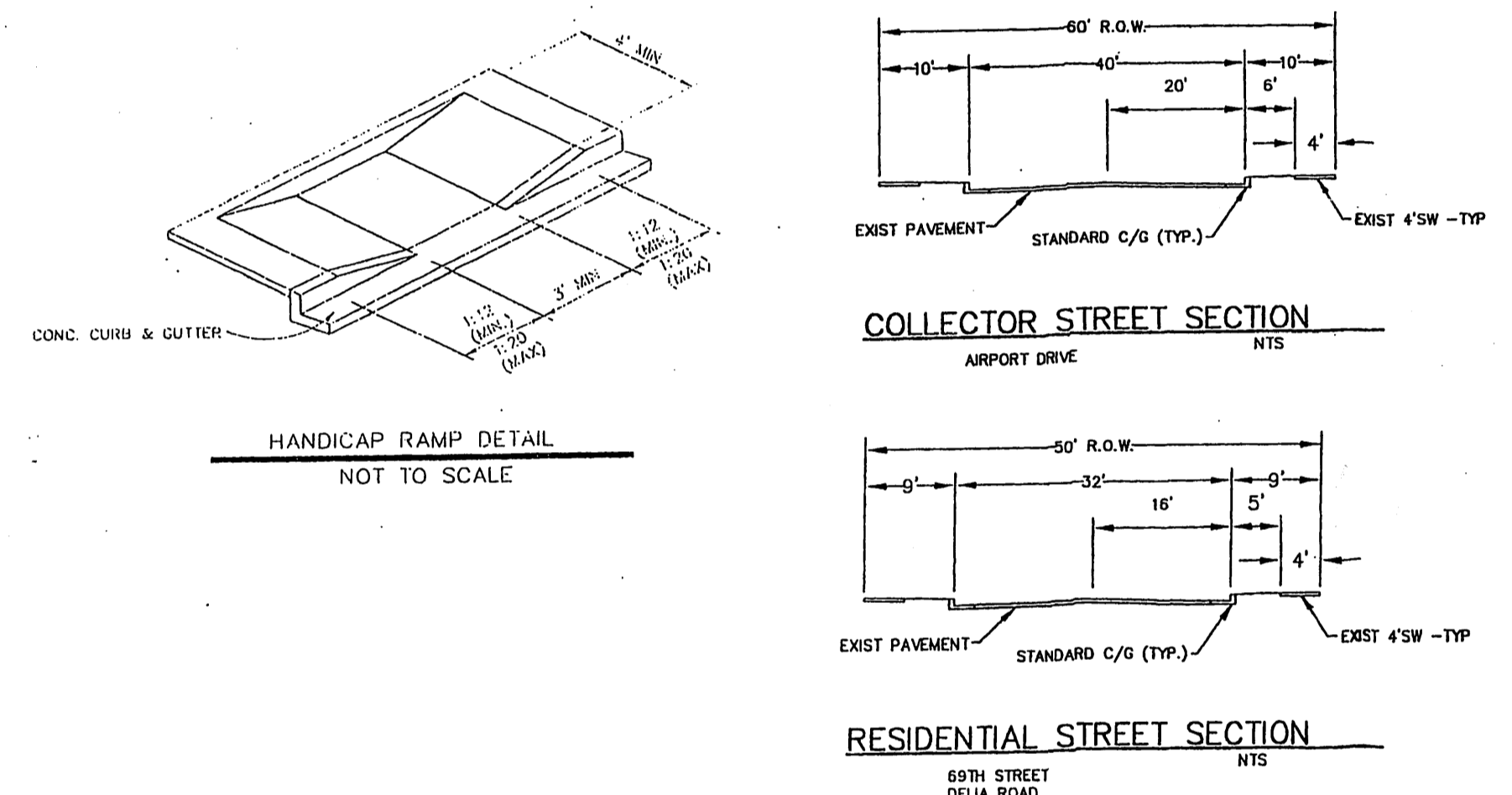
- A 1 - Site Plan & General Info
- A 2 - Site Details
- A 3 - Building Elevations
- L 1 - Landscape Plan
- C 1 - Conceptual Grading & Drainage Plan
- C 2 - Phasing Plan
- C 3 - Conceptual Utilities

REVISIONS

11.05.03	
11.25.03	

514 CENTRAL S
 ALBUQUERQUE
 NEW MEXICO
 8 7 1 0
 505/766-696
 FAX /243-45C

GARRETT SMITH, LTD.
 DESIGN, ARCHITECTURE & DEVELOPMENT



CASE NUMBER: Z-

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [] and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

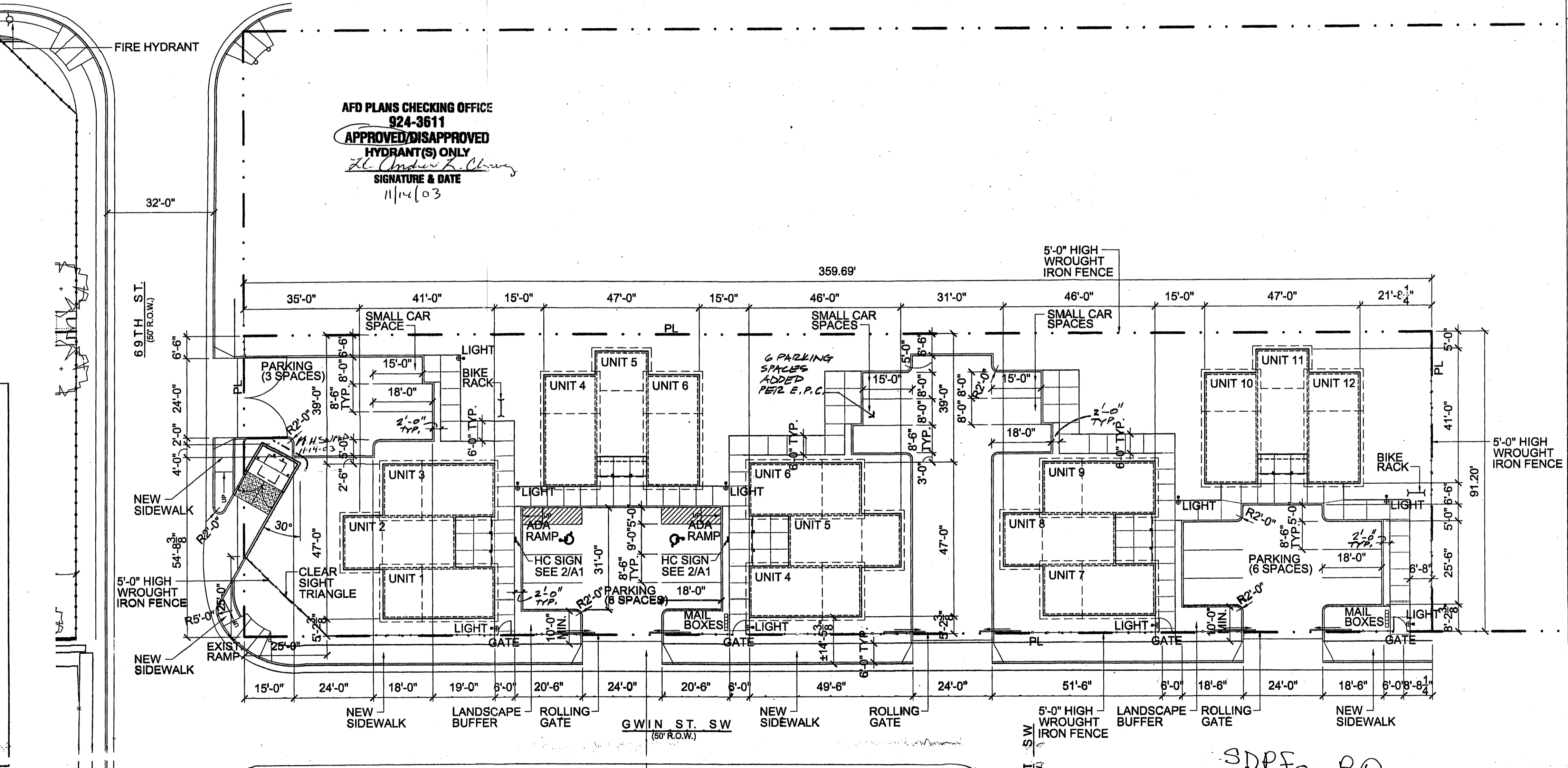
SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks & Recreation Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
Solid Waste Department	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division	Date
---	------

pl: []



CONCRETE DRIVE PAD AND HANDICAP RAMPS PER C.O.A.
 STANDARD DRAWING #2425, TYP.

FIRE HYDRANT

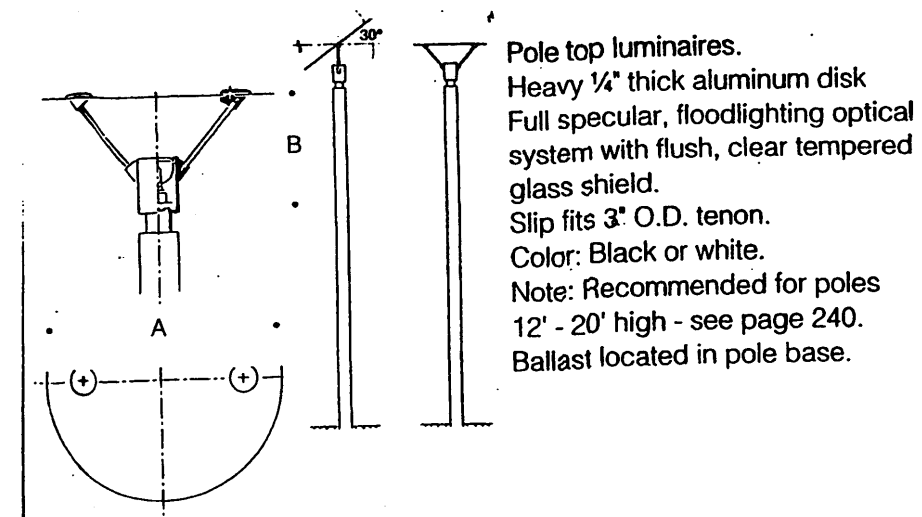
SDPF for BP

SITE PLAN ON 12/17/03

NEWLIFE HOMES - 3
 DRB SUBMITTAL
 SITE PLAN & GENERAL INFO

Date: 11/18/03
 Scale: 1" = 20'-0"
 Drawn by: B.J.F.

A1

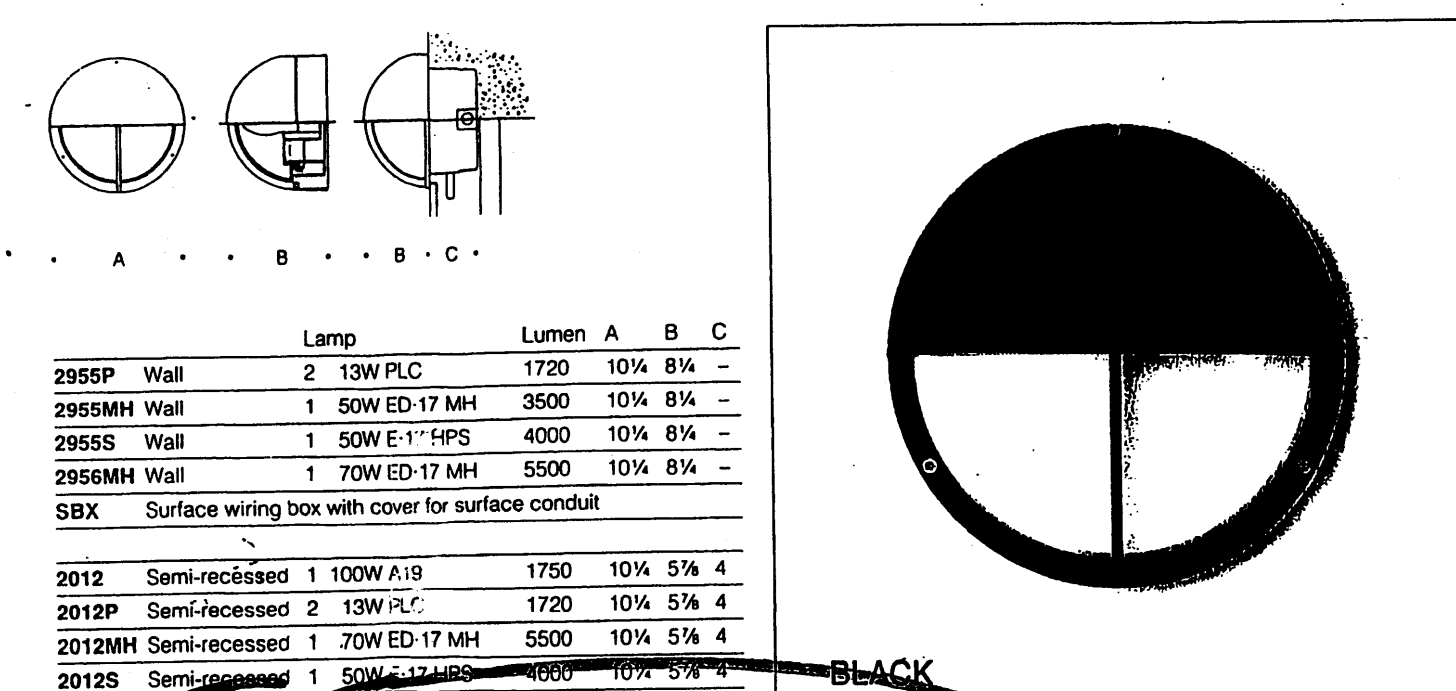


Pole top luminaires.
Heavy 1/2" thick aluminum disk
Full specular, floodlighting optical
system with flush, clear tempered
glass shield.
Slip fits 3" O.D. tenon.
Color: Black or white.
Note: Recommended for poles
12' - 20' high - see page 240.
Ballast located in pole base.

Lamp	Lumen	A	B
8101MH	1 150W G12T6 MH 14000	39 1/4"	22 1/4"
8102MH	1 70W G12T6 MH 6600	24 1/4"	20 1/4"

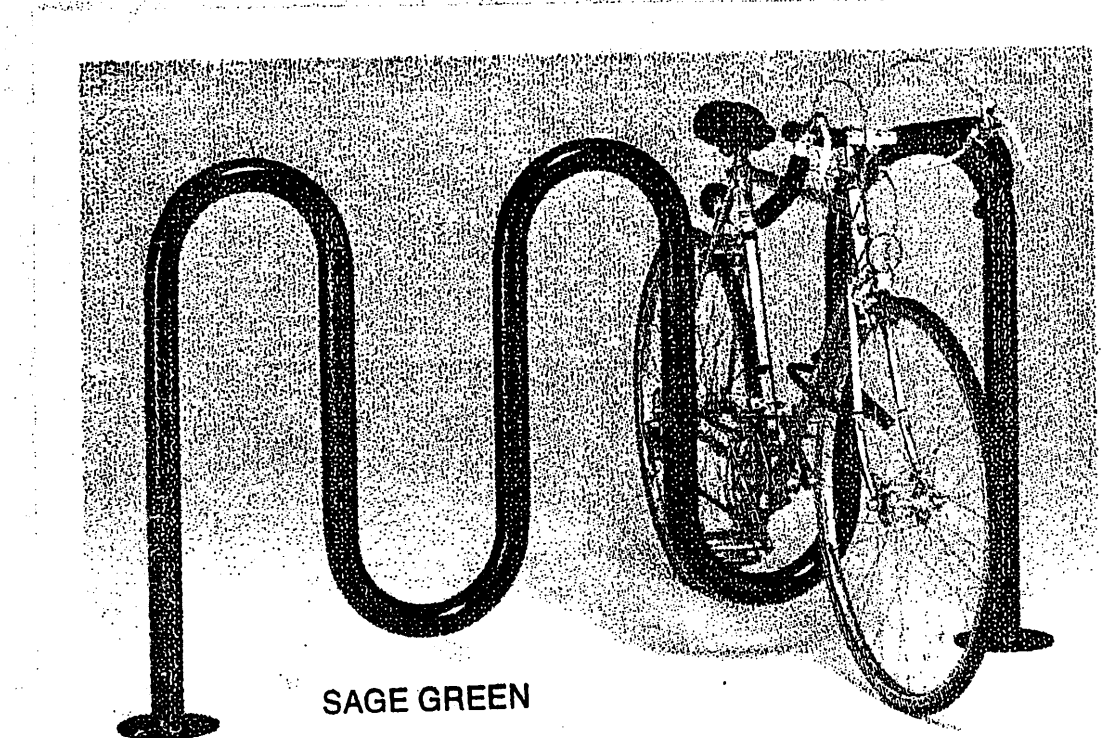
Poles for above luminaires - see page 240

6
A3
POLE MOUNTED LIGHT
FULL CUT-OFF TYPE
NOT TO SCALE

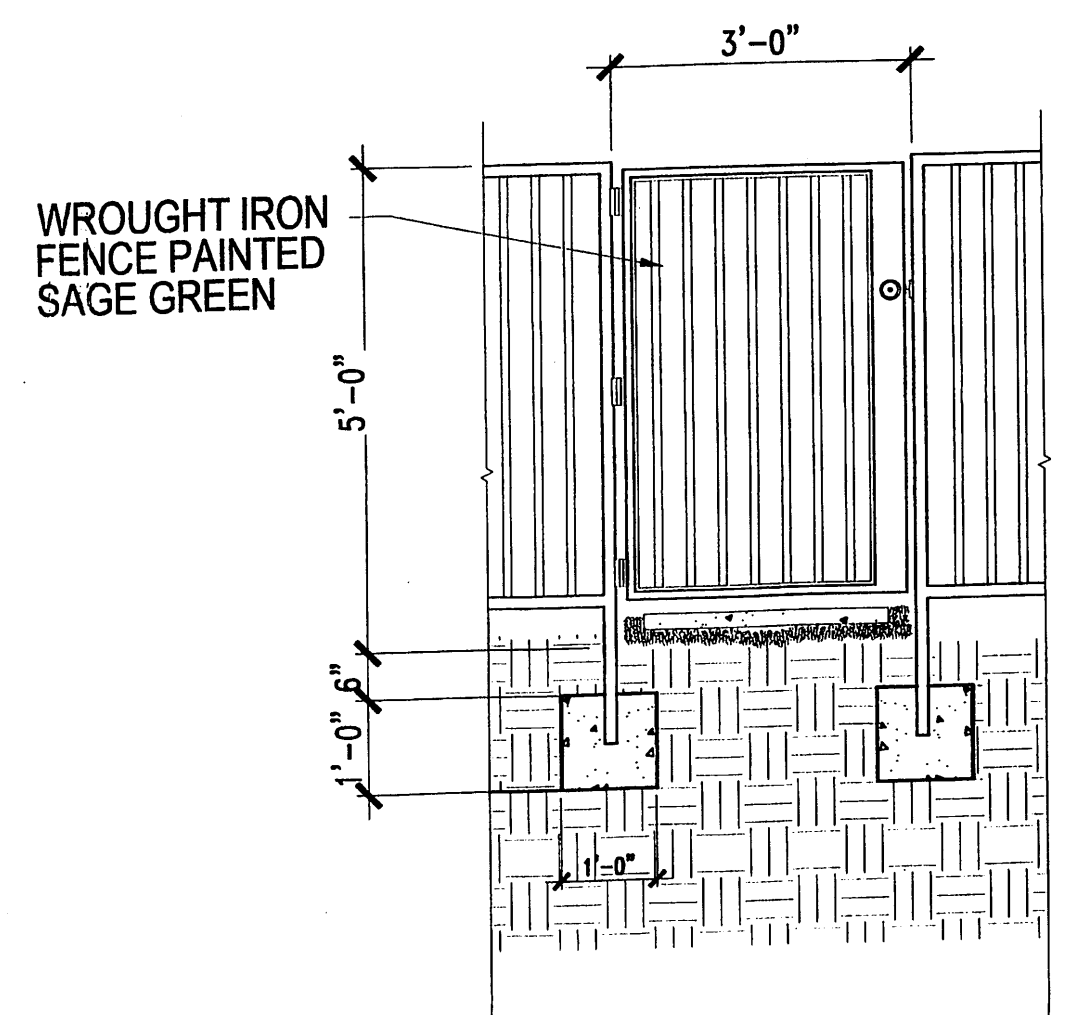


Lamp	Lumen	A	B	C
2555P Wall	2 13W PLC 1720	10 1/4"	8 1/4"	-
2555MH Wall	1 50W ED-17 MH 3500	10 1/4"	8 1/4"	-
2555S Wall	1 50W E-11 4PS 4000	10 1/4"	8 1/4"	-
2556MH Wall	1 70W ED-17 MH 5500	10 1/4"	8 1/4"	-
SBX	Surface wiring box with cover for surface conduit			
2012	Semi-recessed 1 100W A-19 1750	10 1/4"	5 1/4"	4"
2012P	Semi-recessed 2 13W PLC 1720	10 1/4"	5 1/4"	4"
2012MH	Semi-recessed 1 70W ED-17 MH 5500	10 1/4"	5 1/4"	4"
2012S	Semi-recessed 1 50W E-11 4PS 4000	10 1/4"	5 1/4"	4"
610	Concrete Protection Cover			

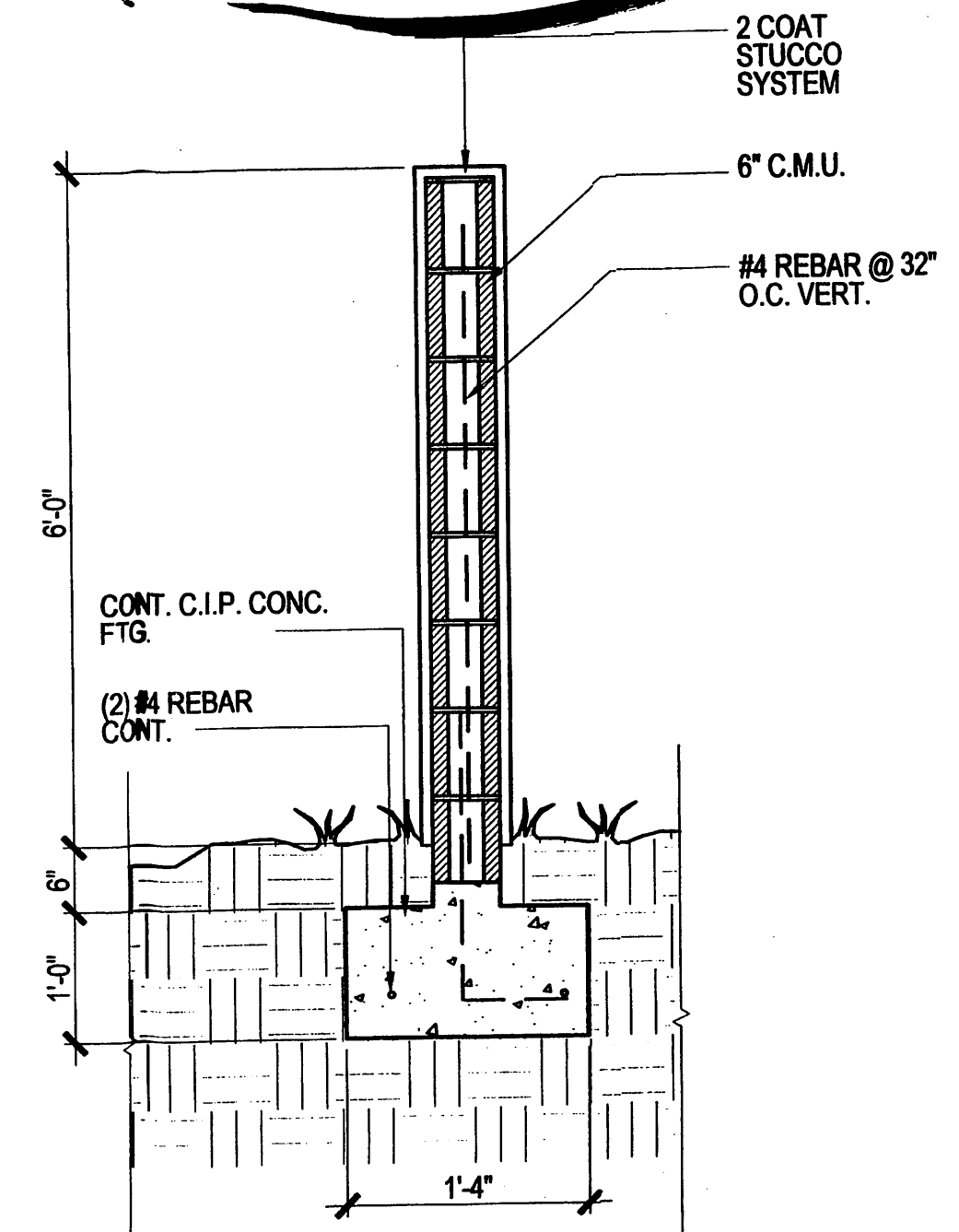
5
A3
WALL MOUNTED LIGHT
FULL CUT-OFF TYPE
NOT TO SCALE



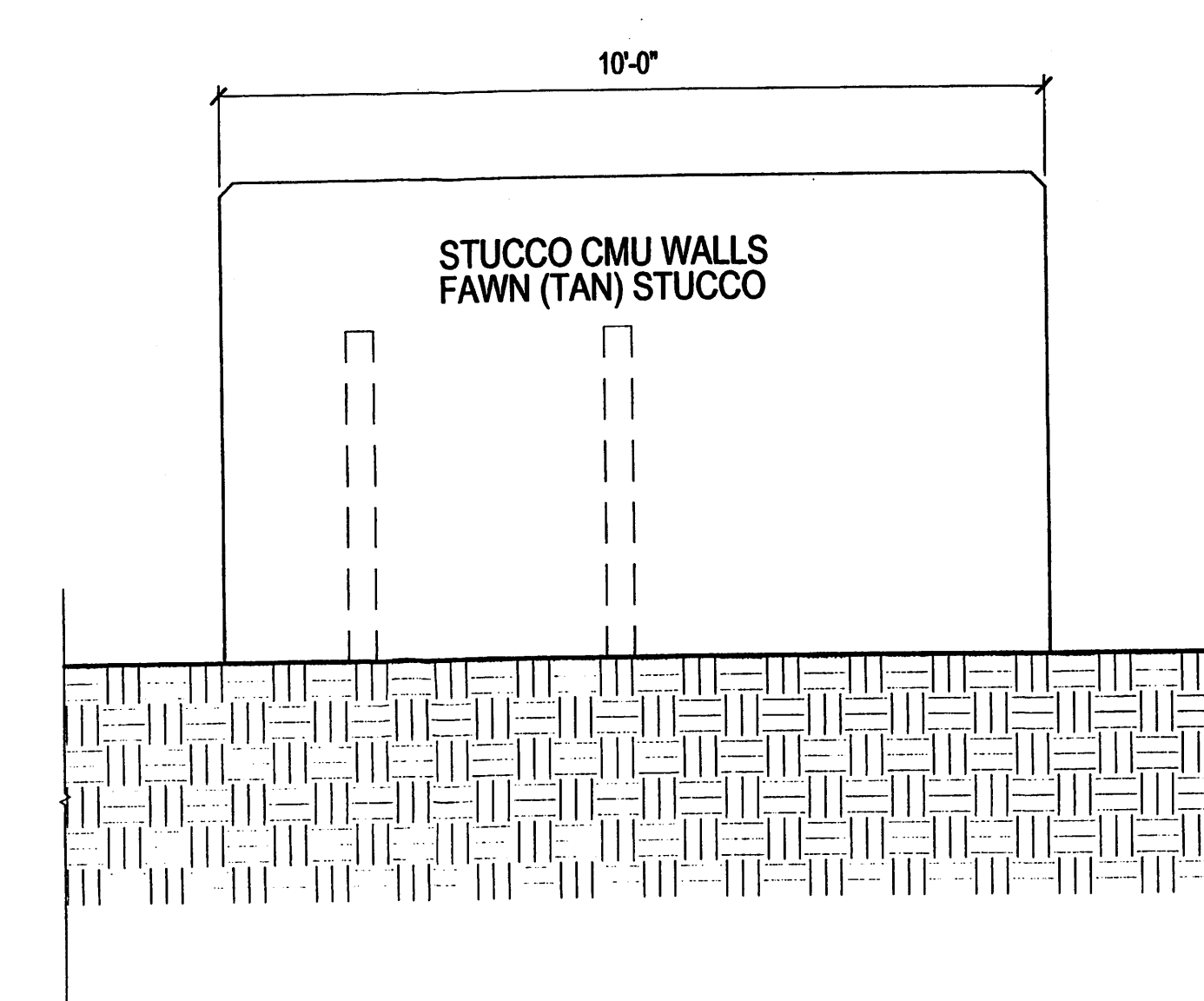
4
A3
BICYCLE RACK
NOT TO SCALE



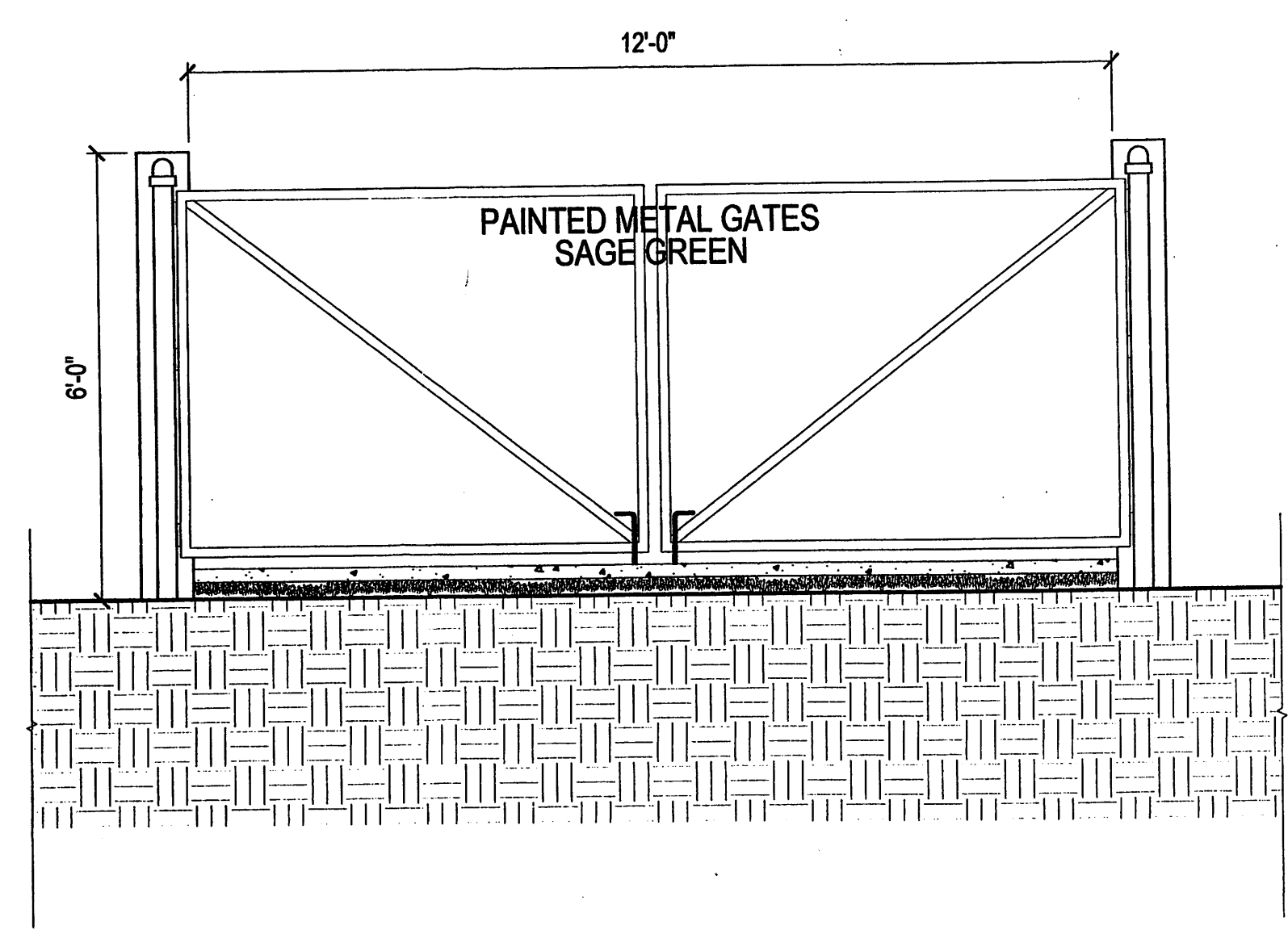
3
A3
PEDESTRIAN FENCES & GATES
SCALE: 1/2"=1'-0"

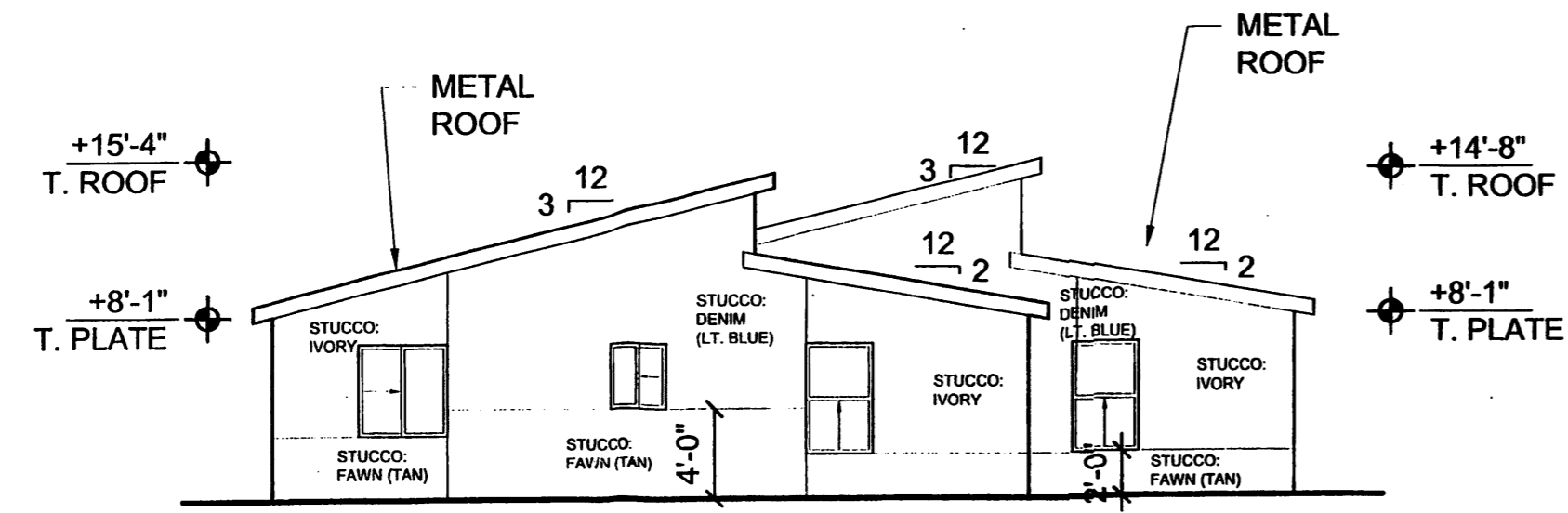


2
A3
DUMPSTER ENCLOSURE
SCALE: 3/4"=1'-0"



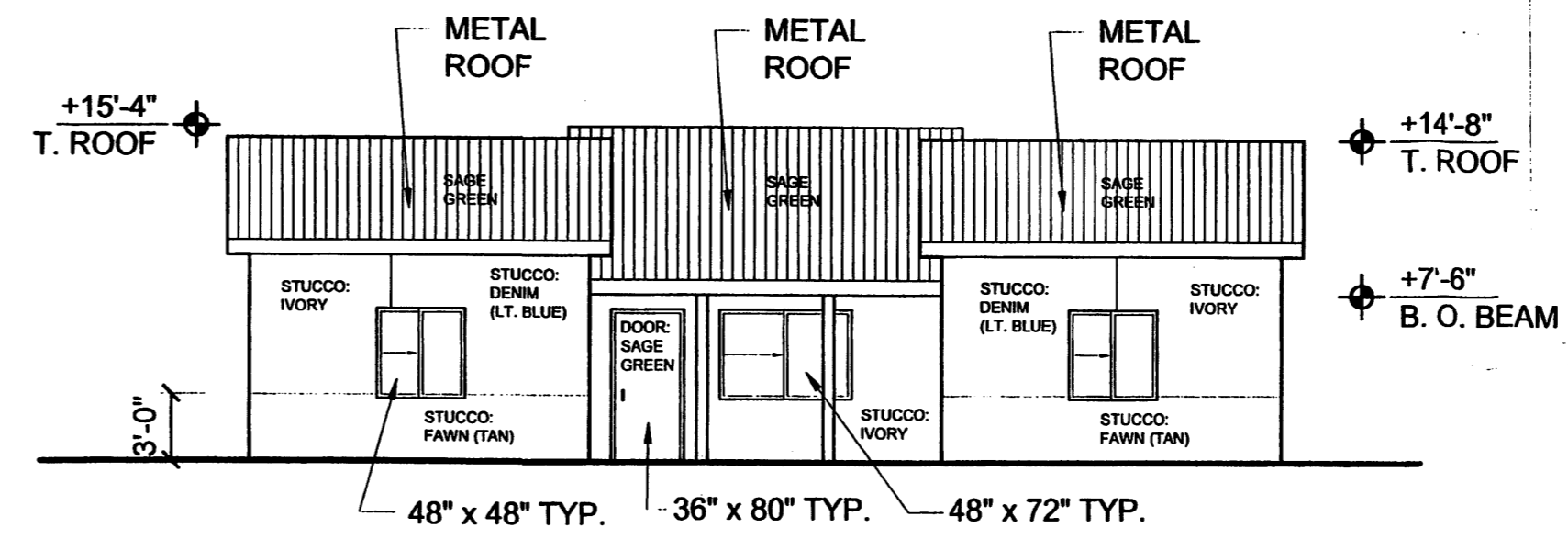
1
A3
DUMPSTER ENCLOSURE
SCALE: 1/2"=1'-0"





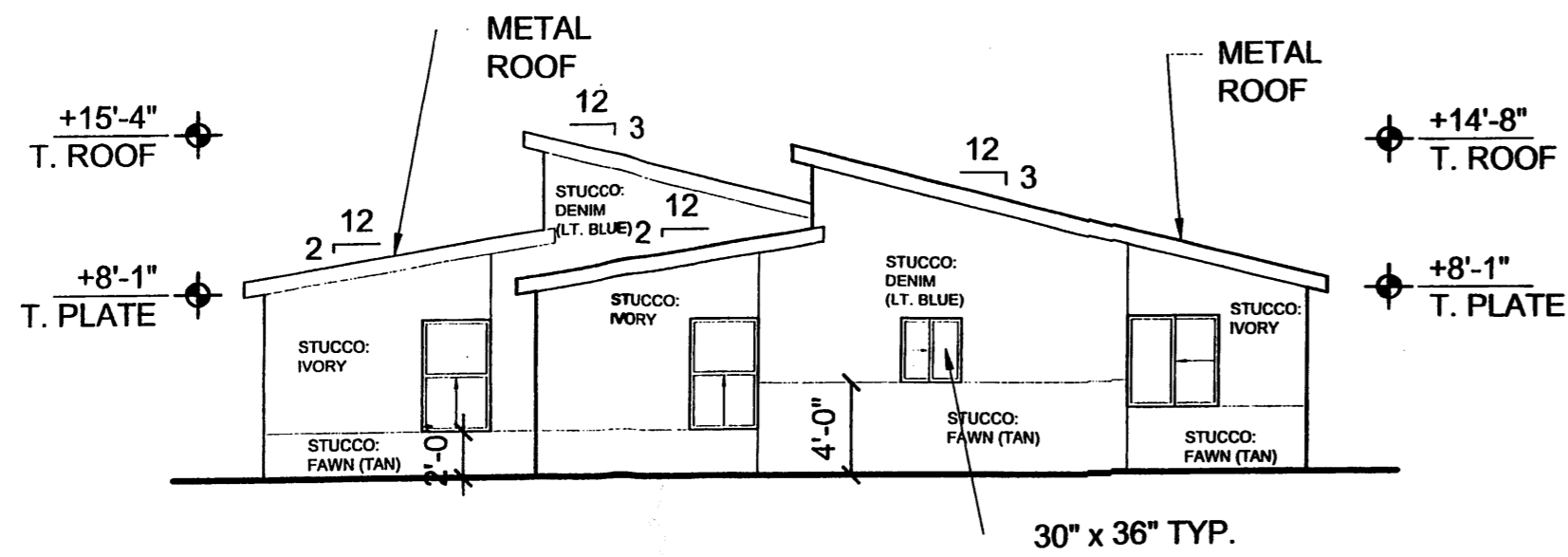
SIDE ELEVATION

SCALE: 1/8"=1'-0"
0 4 8 16



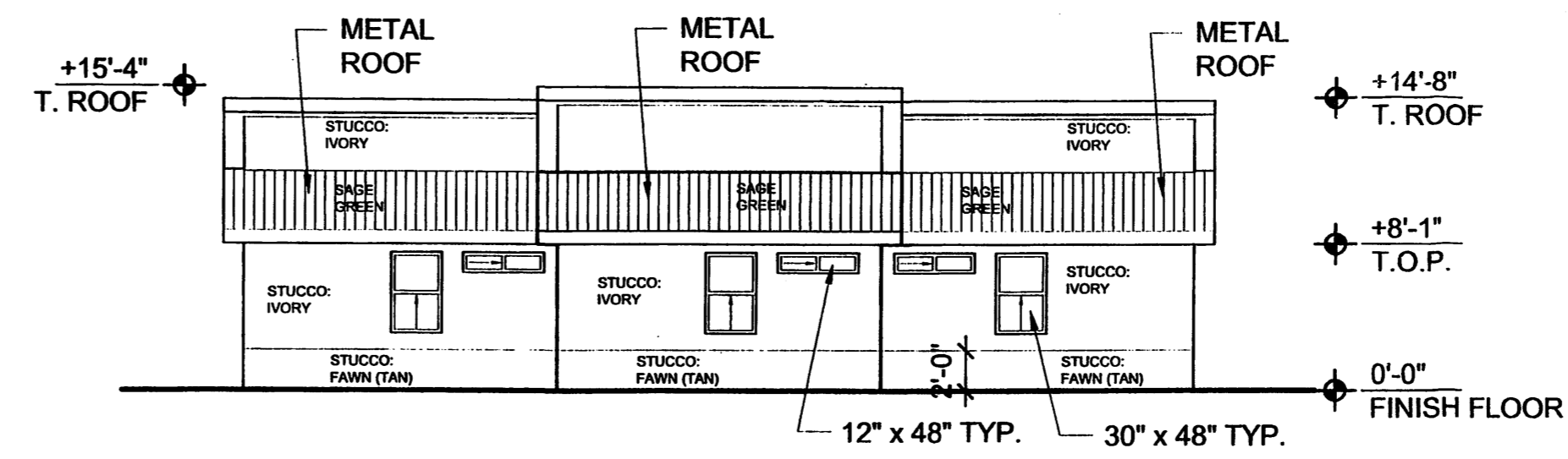
FRONT ELEVATION

SCALE: 1/8"=1'-0"
0 4 8 16



SIDE ELEVATION

SCALE: 1/8"=1'-0"
0 4 8 16



REAR ELEVATION

SCALE: 1/8"=1'-0"
0 4 8 16

NOTE: All stucco colors to be by El Rey. Refer to stucco sample chart of standard El Rey colors. (117 Fawn - 129 Ivory - 107 Demin).

All fascia, rake, soffits, posts and beams to be painted white.

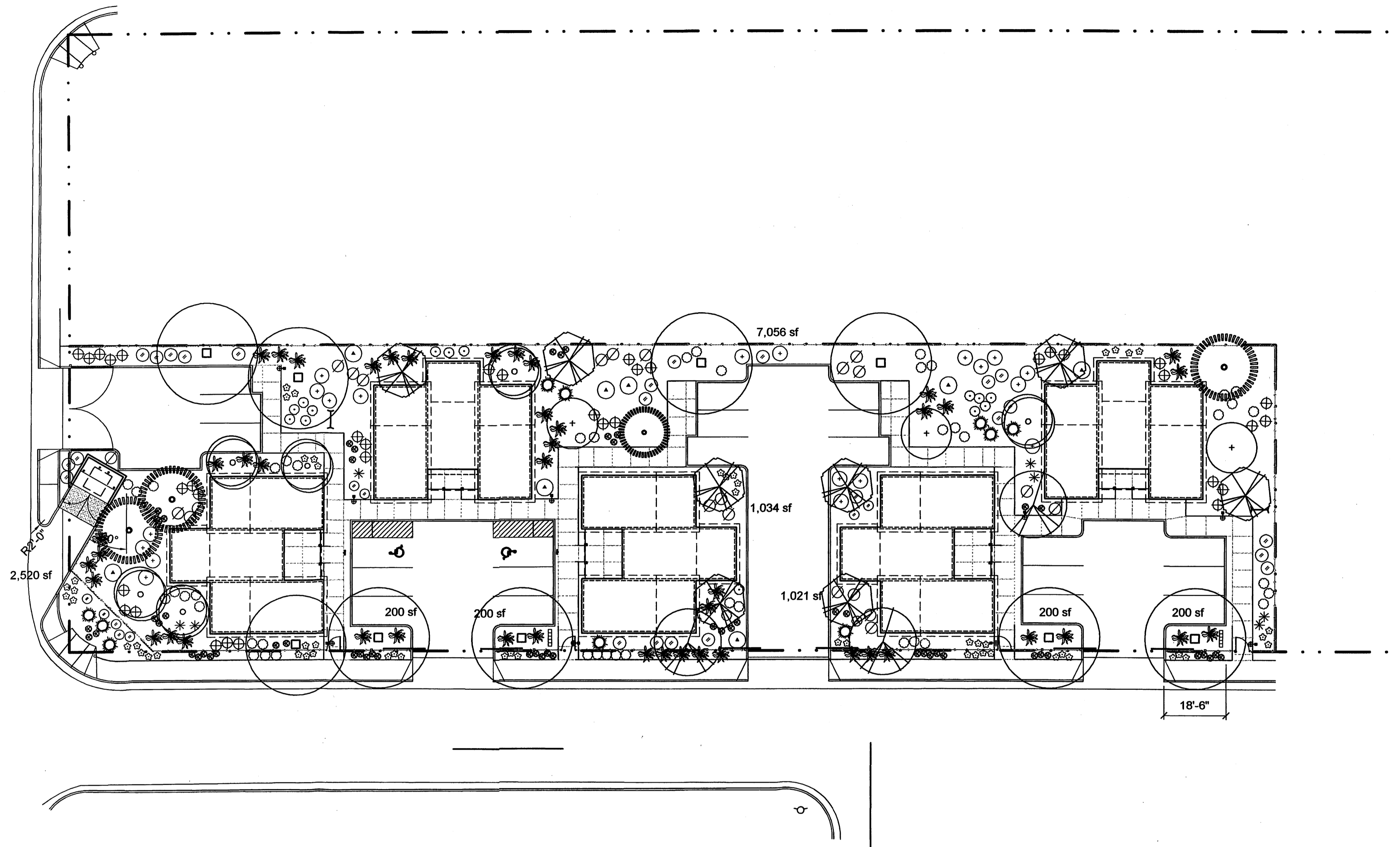
All window frames to white.

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
8	⊗	Chilopsis linearis Desert Willow	2' B&B	Medium
9	⊙	Fraxinus velutina 'Modesto' Modesto Ash (female)	2' B&B	Medium
10	⊙	Pinus mugo Mugo Pine	5-Gal	Low
4	⊙	Pinus nigra Austrian Pine	2' B&B	Medium
3	⊗	Pyrus calleryana 'Aristocrat' Flowering Pear	2' B&B	Medium
6	⊙	Robinia 'Purple Robe' Purple Robe Locust	2' B&B	Medium
3	⊙	Vitex agnus-castus Chaste tree	15-Gal	Medium
22	⊗	Artemisia 'Powis Castle' 'Powis Castle' Sage	5-Gal	Low
33	⊙	Caryopteris clandonensis Blue Mist	5-Gal	Medium
8	⊙	Caesalpinia gilliesii Bird of Paradise	5-Gal	Low
54	⊙	Ericameria laricifolia Turpentine Bush	5-Gal	Low
7	*	Hesperaloe parviflora Red Yucca	1-Gal	Medium
46	⊗	Juniperus sabinia 'Buffalo' Buffalo Juniper (female)	5-Gal	Medium
56	⊙	Liatris punctata Spotted Gayfeather	1-Gal	Low+
19	⊙	Perovskia atriplicifolia Russian Sage	1-Gal	Medium
36	⊕	Potentilla fruticosa Shrubby Cinquefoil	1-Gal	Low+
46	⊙	Salvia greggii Cherry Sage	1-Gal	Medium
15	⊙	Sedum telephium Autumn joy sedum	1-Gal	Medium

LANDSCAPE REQUIREMENTS

Site Area: .75 acres	32,670 SF
Building Footprint:	8,160 SF
Total Area:	24,510 SF
Required Landscape %:	.15
Landscape Area Required:	3,676 SF
Landscape Area Provided:	(50%) 12,431 SF



1 LANDSCAPE PLAN
L1
0 5 10 20 40 SCALE: 1"=20'-0"

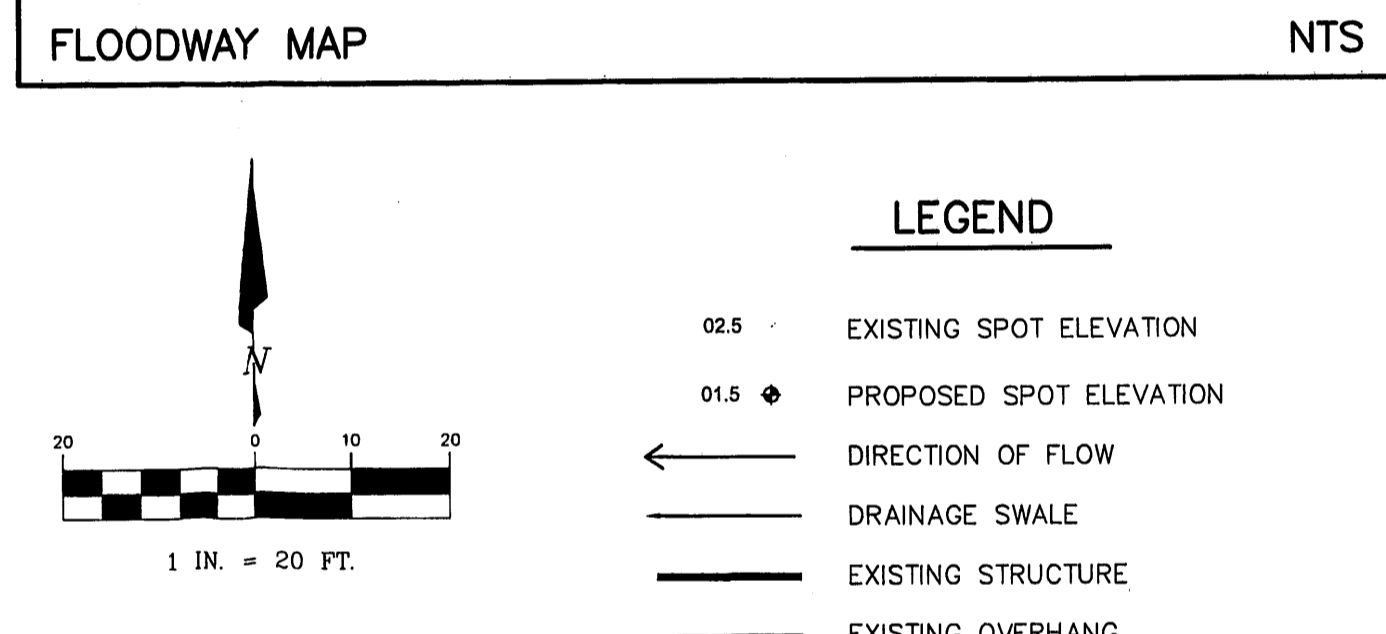
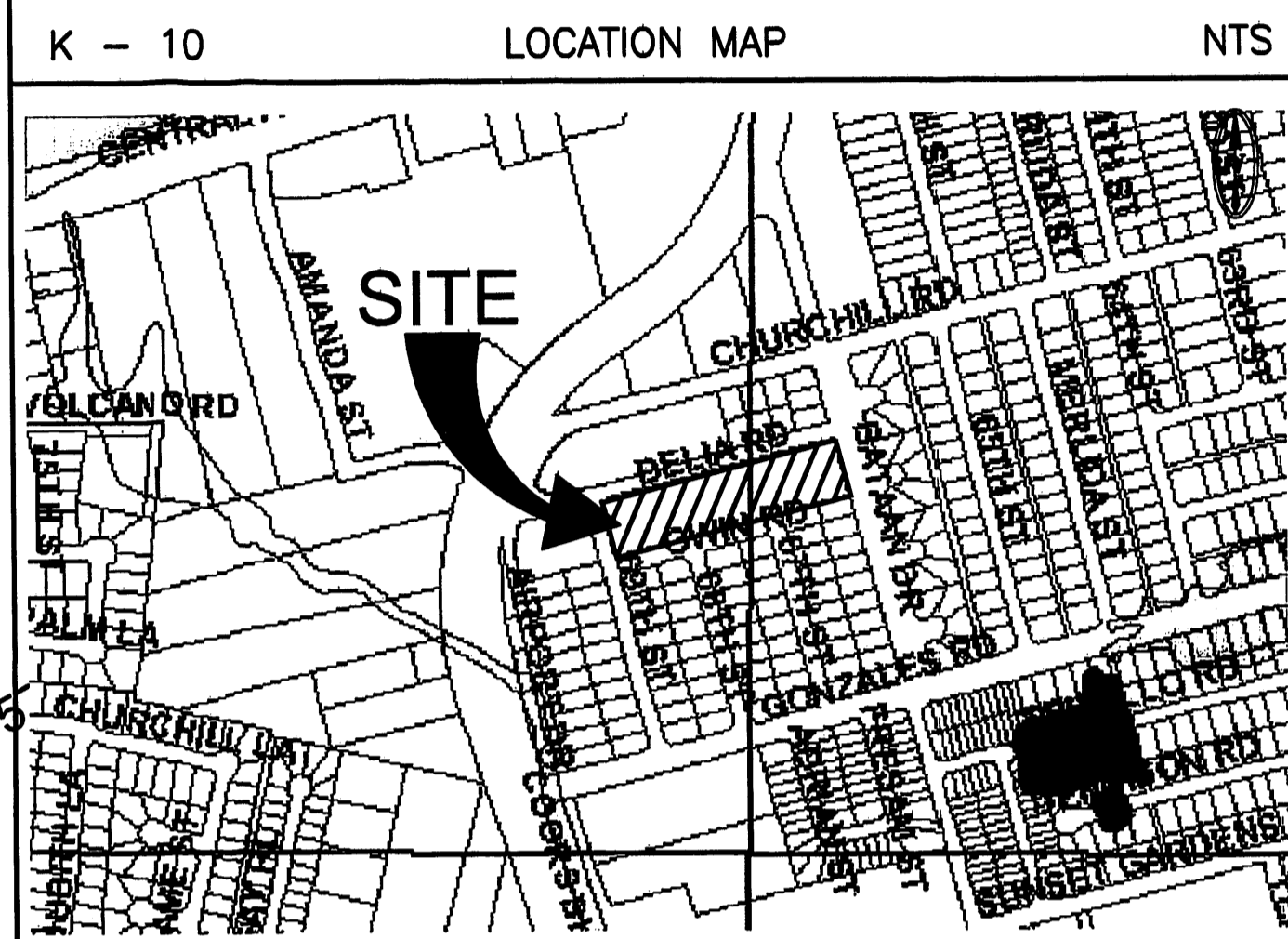
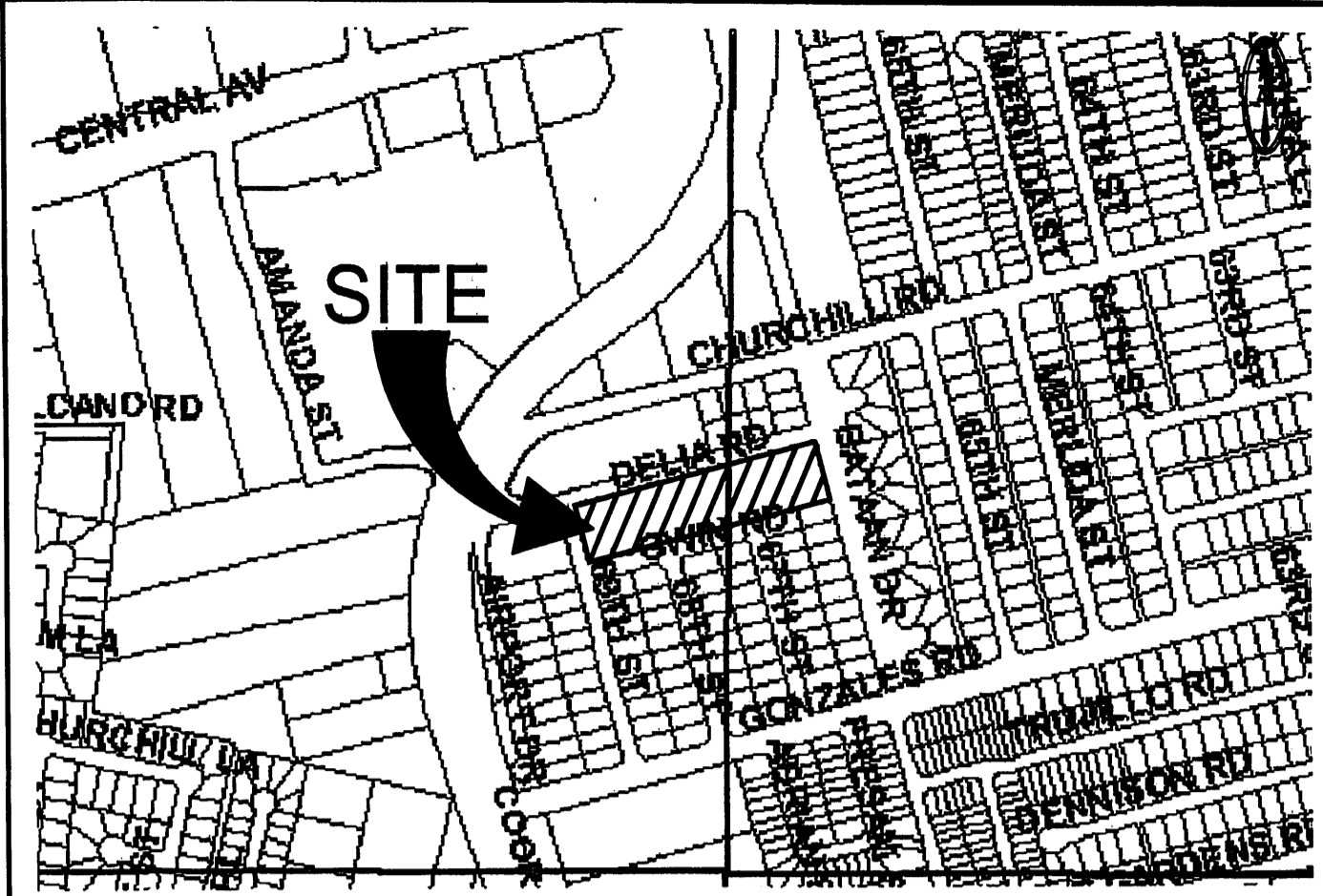
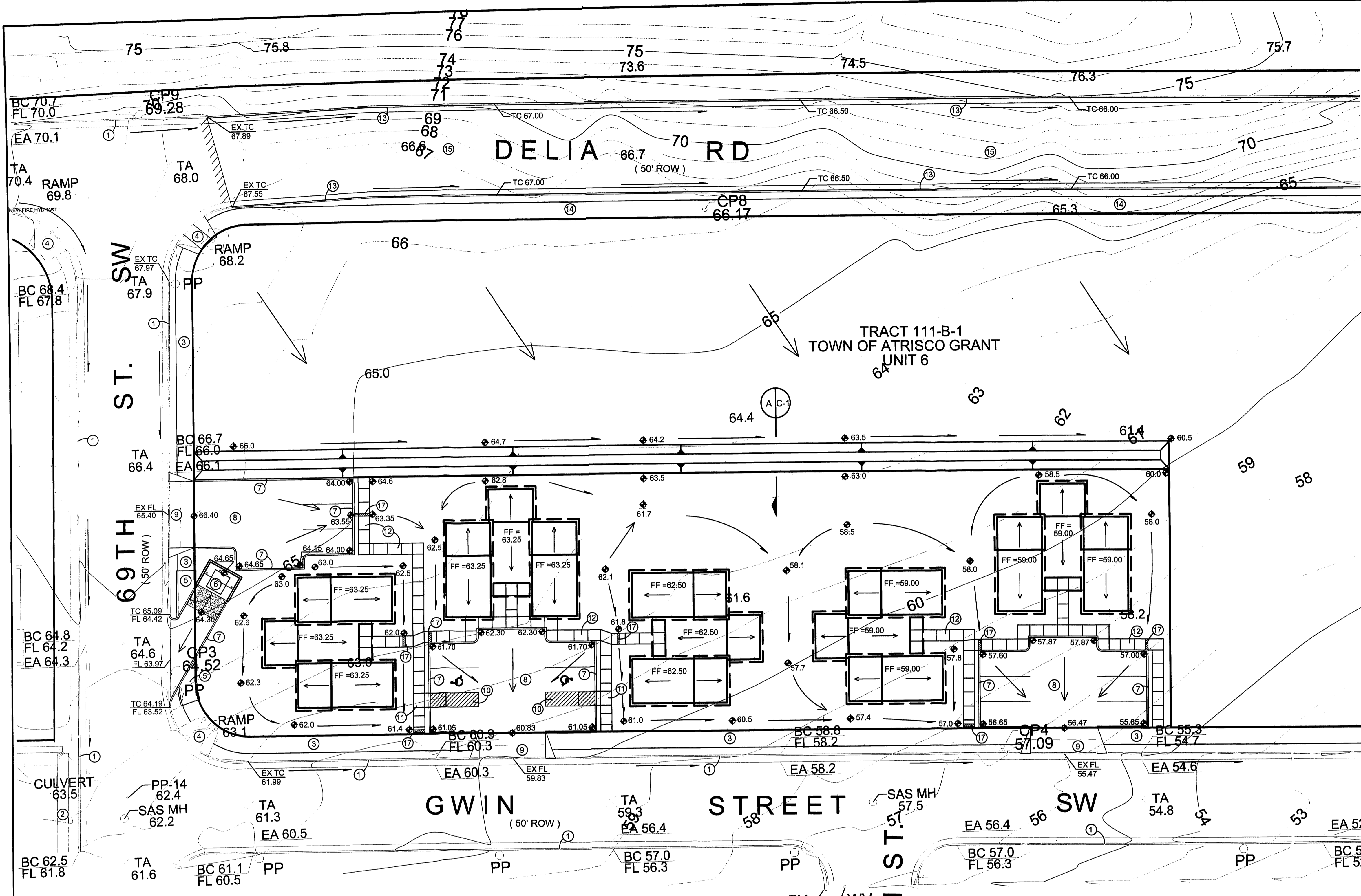
The design and provision of landscaping features within the Newlife Homes site will utilize water conservation, environmentally sound landscape principles in addition to providing an aesthetically pleasing environment for residents and visitors.

MULCHES
All shrub planting areas shall be top dressed with 3" layer of Santa Ana Tan rock mulch.

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate lawn areas and tree, shrub and groundcover planting areas. A temporary system will be provided to help establish the native seed area.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.

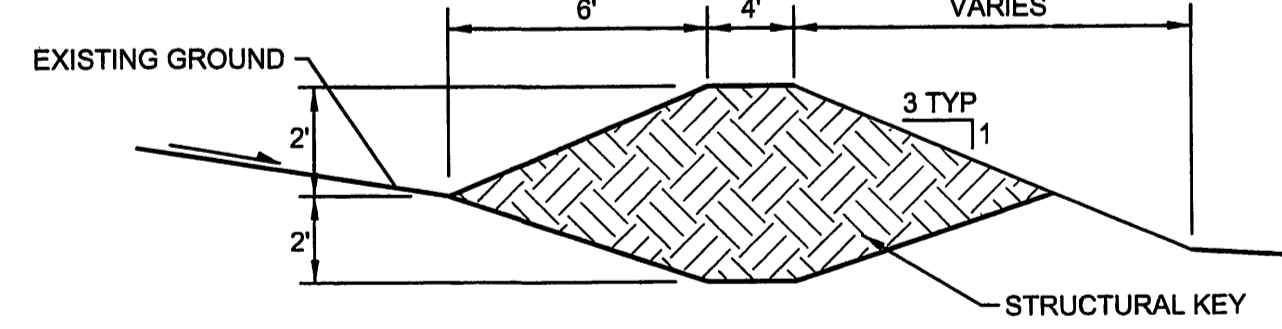


PROPERTY ADDRESS
GWIN ST NW

LEGAL DESCRIPTION
TRACT 111-B
TOWN OF ATRISCO GRANT
UNIT 6

PROJECT BENCHMARK
BENCHMARK: ACS 3 1/4" ALUM. CAP
DISK 8-K10
ELEVATION = 5082.14

SURVEY
SITE MAPPING BY
BRASHER & LORENZ INC.



CONCEPTUAL GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS CONCEPTUAL GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 15-UNIT MULTI-FAMILY DEVELOPMENT ON THE 3.2-ACRE SITE. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PRESENTED TO SUPPORT SITE DEVELOPMENT PLAN REVIEW AND APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION.

EXISTING CONDITIONS

THE PROJECT SITE IS PRESENTLY UNDEVELOPED. THE SITE CONTAINS APPROXIMATELY 3.2-ACRES AND IS DESCRIBED AS TRACT 111-B, TOWN OF ATRISCO GRANT, UNIT 6. THE SITE IS BOUNDED BY 69TH STREET ON THE WEST, BATAAN DRIVE ON THE EAST DELIA ROAD ON THE NORTH AND GWIN ROAD ON THE SOUTH. THE SITE IS PRESENTLY UNDEVELOPED. THE PROPERTY HAS BEEN DISTURBED BY OFF-ROAD VEHICLES AND RANDOM TRASH DUMPING. VERY LITTLE NATIVE VEGETATION IS PRESENT. PRESENTLY ALL EXCESS RUNOFF DRAINS SOUTH AND EAST TO GWIN ROAD AND BATAAN DRIVE. FLOWS DRAIN TO EXISTING PUBLIC STORM DRAINAGE IMPROVEMENTS LOCATED IN GONZALES ROAD.

AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED AS A 15-UNIT MULTI-FAMILY COMPLEX, WITH ASSOCIATED ACCESS, DRAINAGE, GRADING, UTILITY AND LANDSCAPING IMPROVEMENTS.

ALL DRAINAGE FLOWS WILL BE MANAGED BY ON-SITE SWALES, CONVEYING RUNOFF TO GWIN ROAD AND BATAAN DRIVE. THE PLAN SHOWS THE CONTOURS AND ELEVATIONS REQUIRED TO PROPERLY GRADE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR BOTH EXISTING AND DEVELOPED CONDITIONS.

THE PROJECT IS TO BE DEVELOPED IN TWO PHASES (SEE PHASING PLAN). PHASE ONE REPRESENTS UNDEVELOPED ACREAGE (BASINS B, C AND D) WILL DRAIN IN HISTORICAL PATTERNS TO GWIN AND BATAAN. TEMPORARY EROSION CONTROL BERMS WILL BE CONSTRUCTED TO DIRECT OFF-SITE FLOWS TO A TEMPORARY SEDIMENTATION POND TO BE CONSTRUCTED AT THE SOUTHWEST CORNER OF BASIN B. DELIA ROAD WILL NOT BE CONSTRUCTED WITH PHASE ONE.

PHASE TWO CONSISTS OF THE DEVELOPMENT OF BASIN B, AND CONSTRUCTION OF DELIA ROAD. BASINS C AND D WILL THEN BE DIVERTED TO BATAAN BY DELIA ROAD. BASIN B IS TO BE DEVELOPED AS A MULTI-FAMILY PROJECT SIMILAR TO NEW LIFE HOMES, DISCHARGING DEVELOPED RUNOFF TO BATAAN DRIVE.

ALL RUNOFF FROM THE SITE WILL DRAIN TO GWIN ROAD AND BATAAN DRIVE, CONTINUING SOUTH TO EXISTING STORM DRAINAGE IMPROVEMENTS LOCATED IN GONZALES ROAD. DUE TO THE INFILL NATURE OF THIS PROJECT, FREE DISCHARGE OF EXCESS RUNOFF IS APPROPRIATE.

TEMPORARY EROSION CONTROL

TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. A COMPREHENSIVE STORM WATER POLLUTION PREVENTION PLAN WILL BE PREPARED PRIOR TO CONSTRUCTION.

CALCULATIONS

THE CALCULATIONS SHOWN HEREON DEFINE THE 100-YEAR 6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.

PROJECT HYDROLOGY									
NEW LIFE HOMES 3									
ZONE:	1								
P ₂₄ HOUR:	2.20"								
P ₁₀ DAY:	3.67"								
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
A	0.74	0.00	0.00	0.74	0.00	0.99	2.12	0.0611	
B	2.43	0.00	0.00	2.43	0.00	0.99	6.97	0.2005	
C	2.93	0.00	0.00	2.93	0.00	0.99	8.41	0.2417	
D	0.90	0.00	0.00	0.90	0.00	0.99	2.58	0.1935	
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
A	0.74	0.00	0.15	0.34	1.51	2.67	0.9931		
B	2.43	0.00	0.49	1.43	1.51	6.75	0.3058		
C	2.50	0.00	0.50	1.50	1.51	9.02	0.3146		
D	0.90	0.00	0.00	0.00	0.90	1.51	3.93	0.2948	

- KEYED NOTES**
- EXISTING STANDARD CURB & GUTTER
 - EXISTING SIDEWALK
 - NEW 6" SIDEWALK
 - EXISTING ACCESSIBLE RAMP
 - NEW ACCESSIBLE RAMP PER COA STD DWG 2426
 - NEW REFUSE ENCLOSURE. SEE SITE PLAN
 - NEW 6" CONCRETE CURB.
 - ASPHALT PAVING
 - REMOVE & DISPOSE EXISTING STD C & G AND SIDEWALK. CONSTRUCT NEW DRIVE PAD PER COA STG DWG 2425
 - NEW ACCESSIBLE PARKING AND LOADING AREA.
 - NEW ACCESSIBLE RAMP. SEE SITE PLAN
 - NEW SIDEWALK, TYPICAL
 - FUTURE STANDARD CURB AND GUTTER
 - FUTURE 6" SIDEWALK
 - FUTURE RESIDENTIAL PAVING
 - CONSTRUCT RETAINING WALL
 - CONSTRUCT SIDEWALK CULVERT.

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

REVISIONS

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE, Suite 1200
Albuquerque, NM 87106
Phone: (505) 988-6188 Fax: (505) 988-6188

GARRETT SMITH, LTD.
DESIGN, ARCHITECTURE & DEVELOPMENT

514 CENTRAL SW
ALBUQUERQUE
NEW MEXICO
8 7 1 0 2
505 / 766-6968
FAX / 243-4508

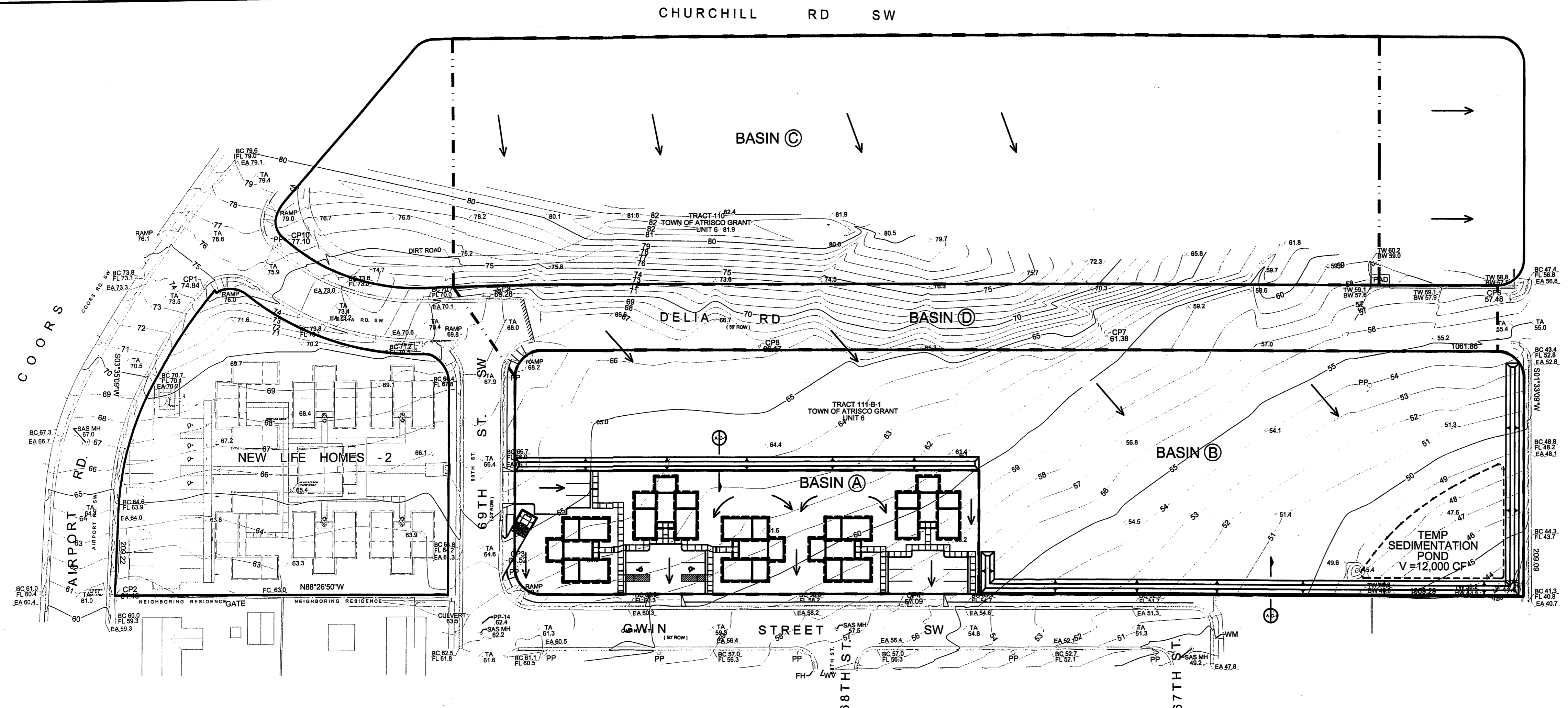
NEW LIFE HOMES - 3
ALBUQUERQUE NEW MEXICO

CONCEPTUAL GRADING AND DRAINAGE PLAN

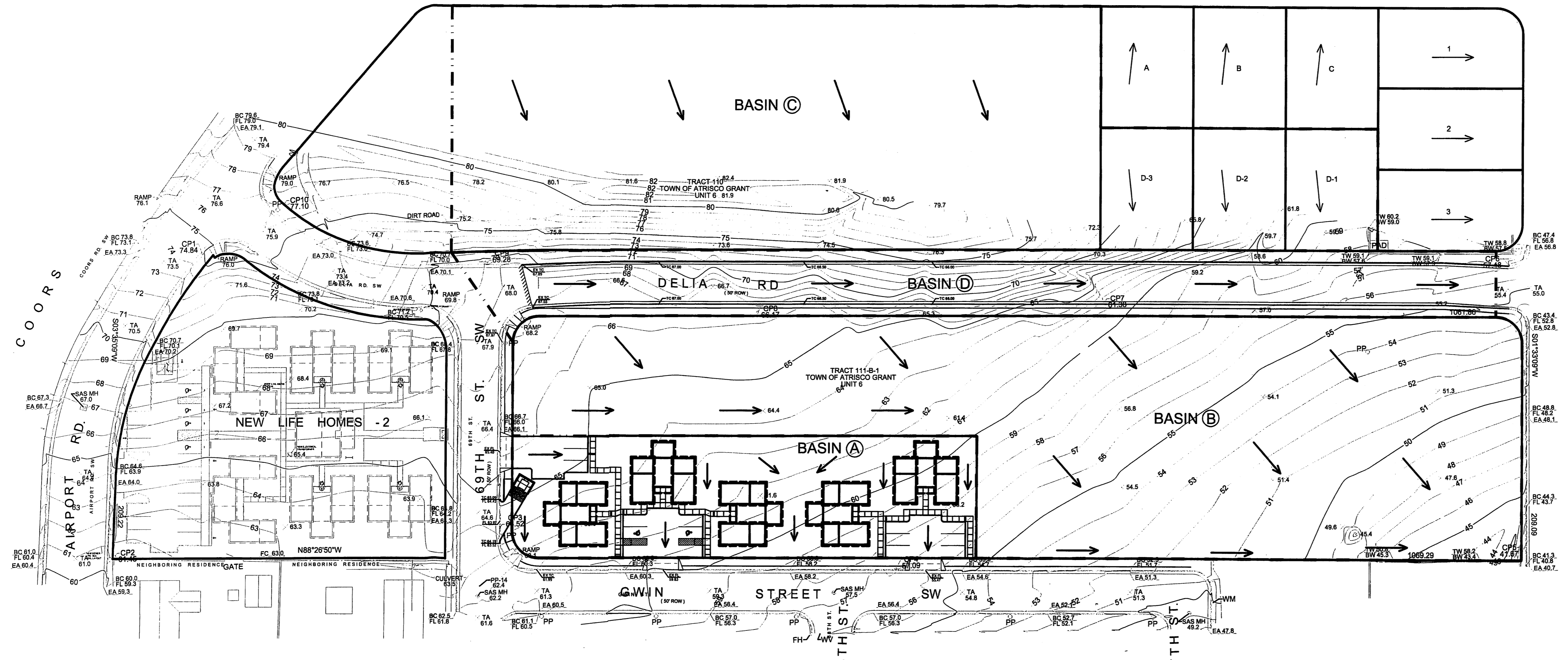
SCALE: 1" = 20'

DATE: 04-29-2003

SHT: C-1

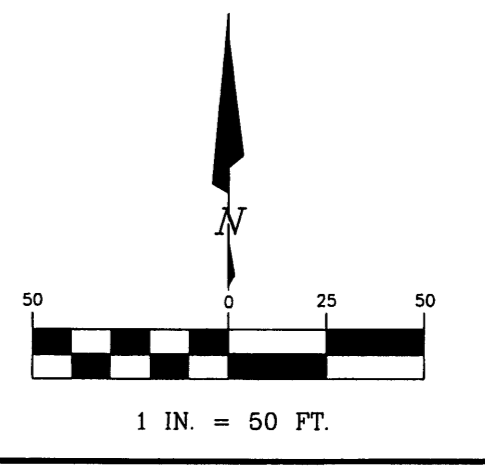


PHASE ONE PLAN (A)
1" = 50'



PHASE TWO PLAN (B)
1" = 50'

- LEGEND**
- 02.5 ○ EXISTING SPOT ELEVATION
 - 01.5 ◆ PROPOSED SPOT ELEVATION
 - ← DIRECTION OF FLOW
 - DRAINAGE SWALE
 - EXISTING STRUCTURE
 - EXISTING OVERHANG
 - PROPOSED STRUCTURE
 - PROPOSED CONCRETE
 - EXISTING ASPHALT TO BE REMOVED AND REPLACED
 - - - EXISTING CHAIN LINK FENCE
 - PROPOSED POST AND CABLE FENCE
 - EXISTING BOLLARD
 - EXISTING STREET LIGHT
 - EXISTING COLUMN



REVISIONS

BRASHER & LORENZ
CONSULTING ENGINEERS
1000 San Antonio Blvd., Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 888-0888 Fax: (505) 888-6188

514 CENTRAL SW
ALBUQUERQUE
NEW MEXICO
8 7 1 0 2
505 / 766-6968
FAX / 243-4508

GARRETT SMITH LTD
DESIGN, ARCHITECTURE & DEVELOPMENT

NEW LIFE HOMES - 3
ALBUQUERQUE NEW MEXICO
PHASING PLAN

PROPERTY ADDRESS
GWIN ST NW

LEGAL DESCRIPTION
TRACT 111-B
TOWN OF ATRISCO GRANT
UNIT 6

PROJECT BENCHMARK
BENCH MARK: ACS 3 1/4" ALUM. CAP
DISK 8-K10
ELEVATION = 5082.14

SURVEY
SITE MAPPING BY
BRASHER & LORENZ INC.

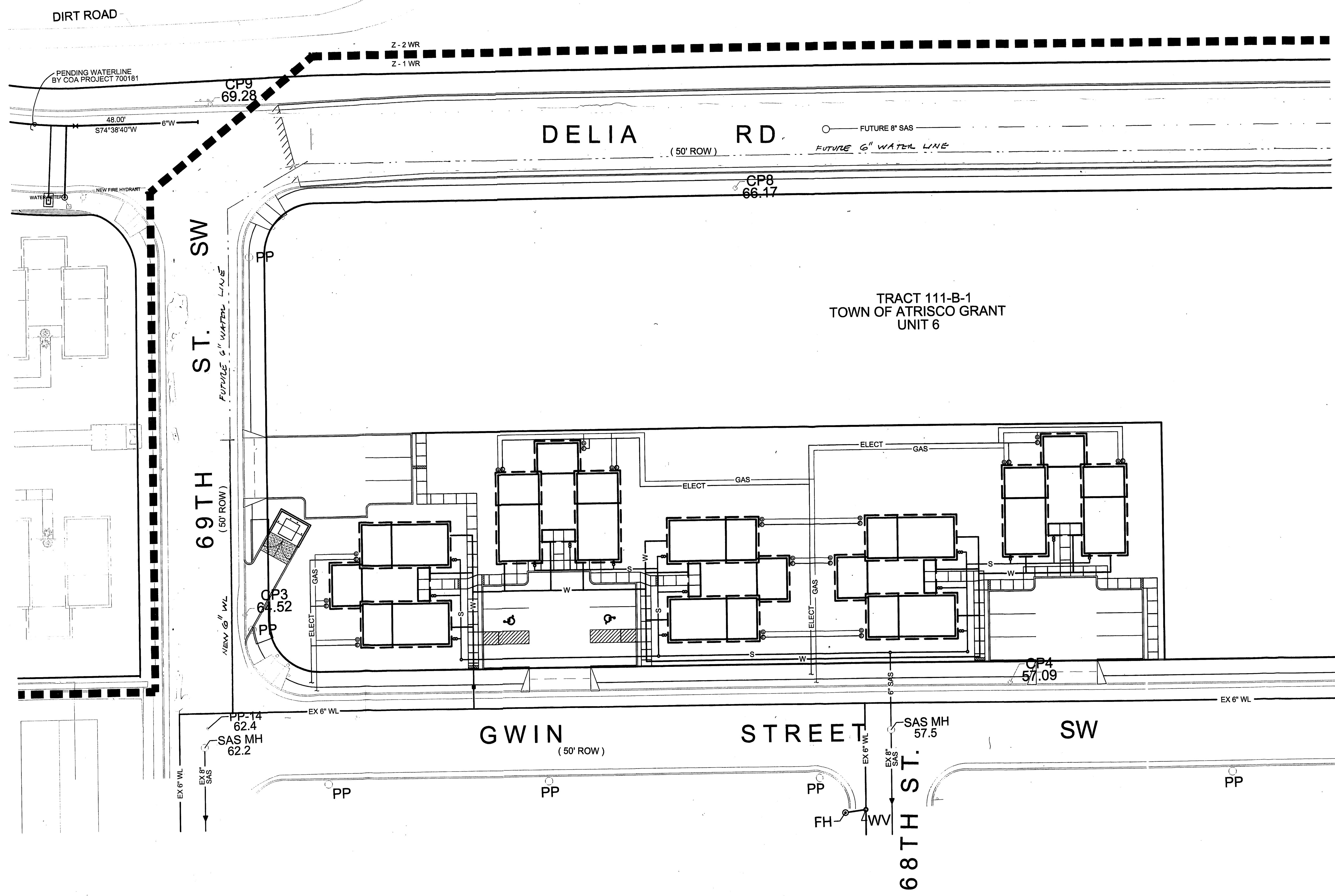
SCALE:
1" = 20'

DATE:
04-29-2003

SHT:
C-2

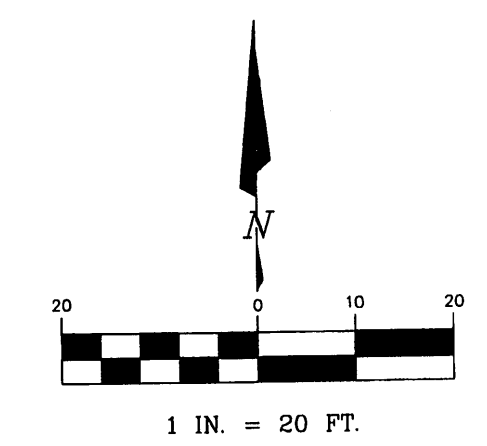
TRACT 110
TOWN OF ATRISCO GRANT
UNIT 6

TRACT 111-B-1
TOWN OF ATRISCO GRANT
UNIT 6



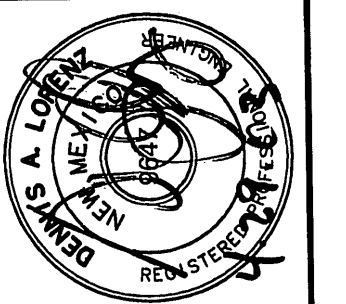
LEGEND

ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
STORM SEWER	36" STS	36" STS
FIRE HYDRANT VALVE	⊙	⊙
METERED WATER SERVICE		⊞
MANHOLE	⊙	⊙
CURB AND GUTTER	—	—
HEADER CURB	—	—
DROP INLET	—	—
OVERHEAD ELEC WITH POWER POLE	OHE	OHE
UNDERGROUND ELEC, GAS, TEL, TV	UGT	UGT
CURB ELEVATIONS	x 16.7	⊙ 16.7
SPOT ELEV.	—	—
SEWER SERVICE	—	—
RIGHT OF WAY EASEMENT	PP	PP
POWER POLE (GUYED)	—	—
CENTERLINE	—	—
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2



REVISIONS

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE, Bldg. 1, Suite 1200
Albuquerque, NM 87106
Phone: (505) 888-6088 Fax: (505) 888-6188



514 CENTRAL SW
ALBUQUERQUE
NEW MEXICO
8 7 1 0 2
505/766-6968
FAX/243-4508

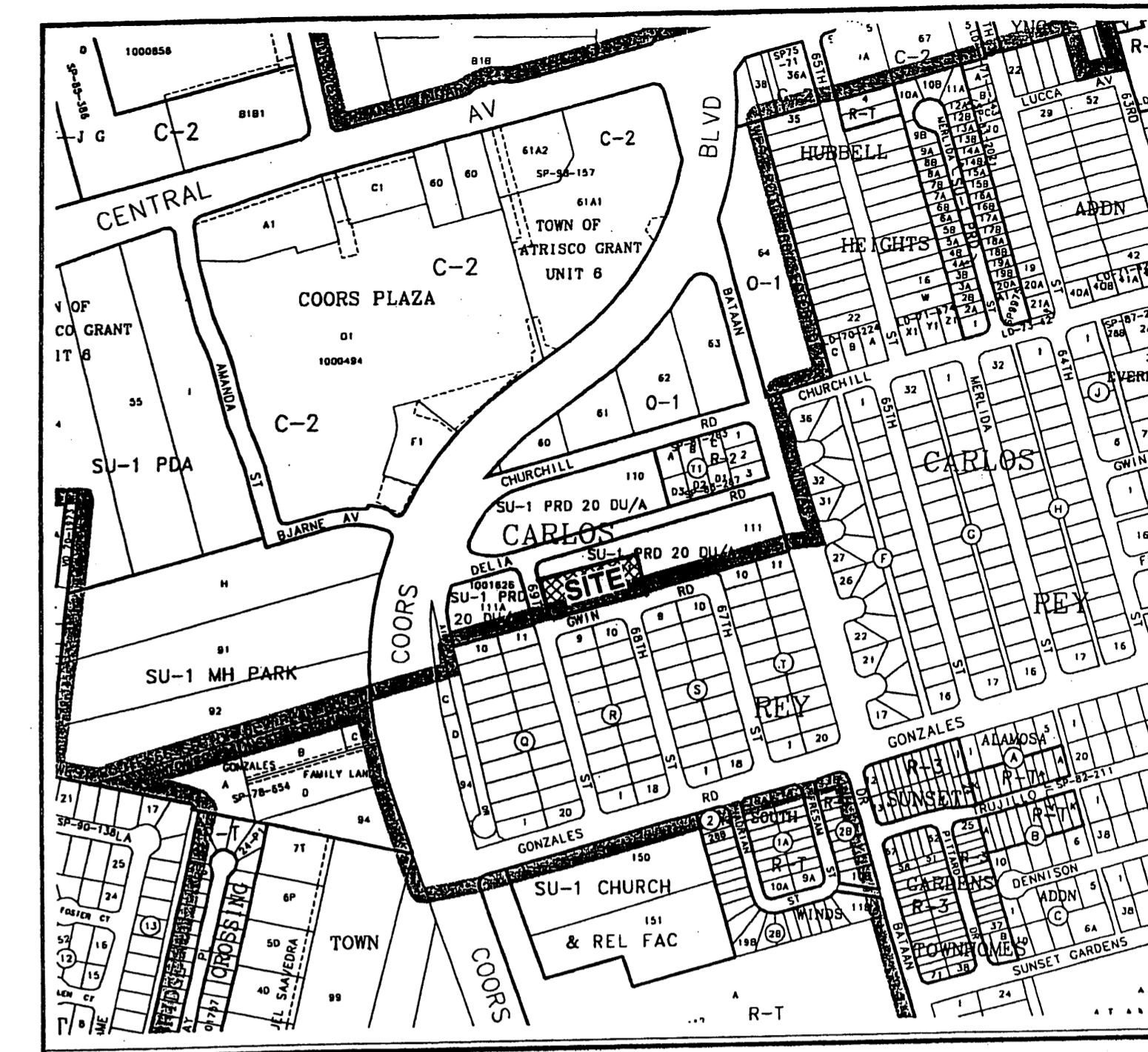
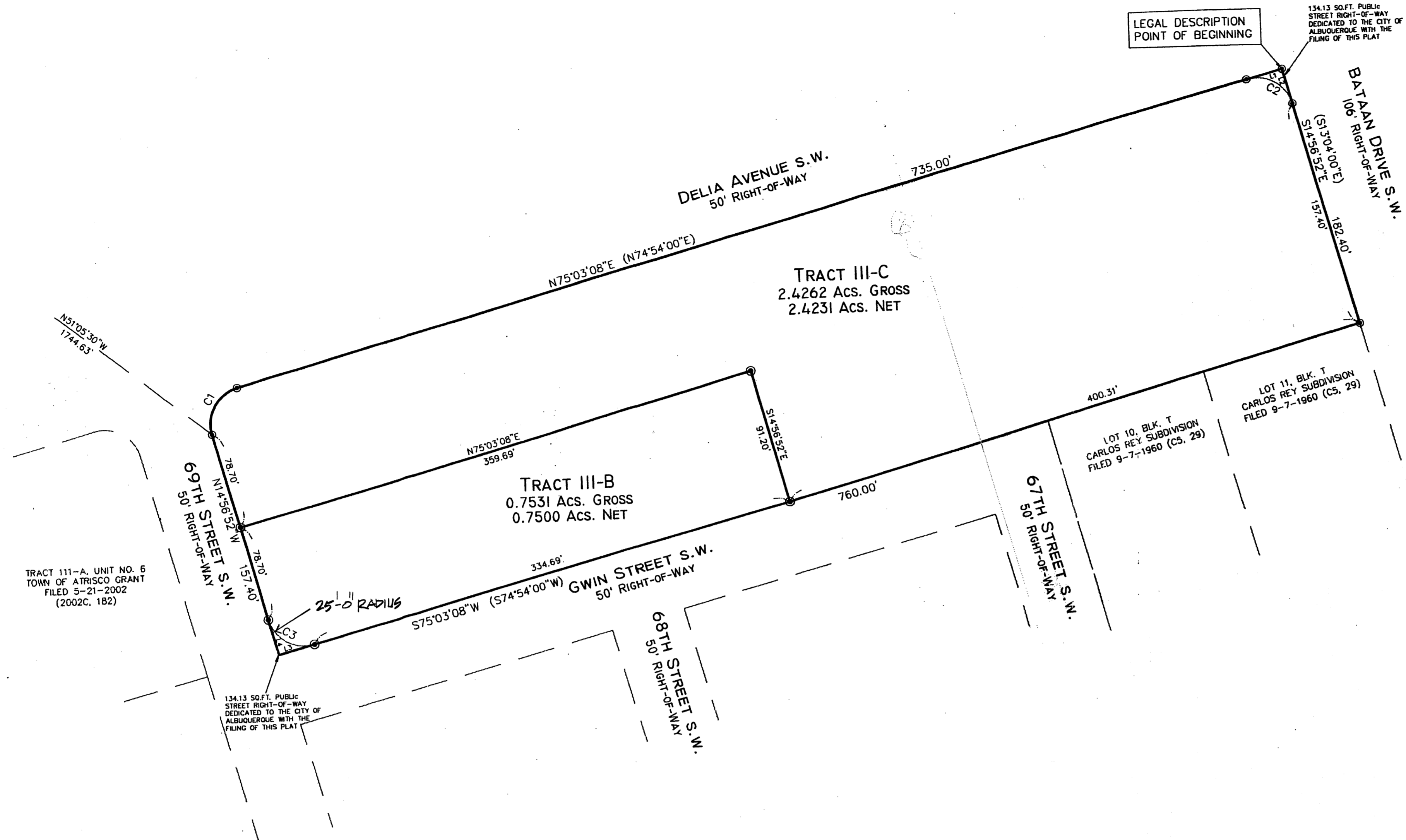
GARRETT SMITH LTD
DESIGN, ARCHITECTURE & DEVELOPMENT

NEW LIFE HOMES - 3
ALBUQUERQUE, NEW MEXICO
CONCEPTUAL UTILITY PLAN

SCALE:
1" = 20'

DATE:
04-29-2003

SHT:
C-3



Vicinity Map - No. K-10

**SITE DEVELOPMENT PLAN FOR SUBDIVISION:
REQUIRED INFORMATION**

THE SITE: The site now consists of 1 undeveloped lot containing approximately 3.1793 acres zoned SU-1 PRD 20 Dwelling Units per Acre.

SUMMARY OF REQUEST: Approval of request for subdivision to create 2 tracts/lots. Tract III-C containing approximately 2.4262 acres and Tract III-B containing approximately 0.7531 acres.

PROPOSED USE: The zoning for Tract III-B is SU-1 PRD 20 du/a. A Site Plan for Building Permit has been approved with conditions by the EPC Project Number: 1002421 Case Number: 03EPC 00692. A copy of the Site Plan and Building Elevations are attached. The proposed development for Tract III-B is to build 15 single bedroom apartments. A condition of approval, by EPC, requires a Site Development Plan for Subdivision.

MAXIMUM BUILDING HEIGHT: 16'-0"

MINIMUM BUILDING SETBACKS:
 Front Yard 5'-0"
 Side Yard 5'-0"
 Street Side Yard 25'-0"
 Rear Yard 5'-0"
 Distance Between Buildings 15'-0"

MAXIMUM TOTAL DWELLING UNITS: 20 Dwelling Units per Acre

MAXIMUM FLOOR AREA RATIO: .25

EPC PROJECT #: _____

CASE #: _____

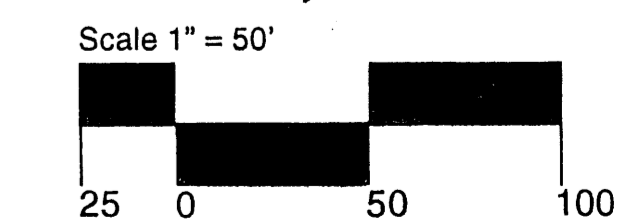
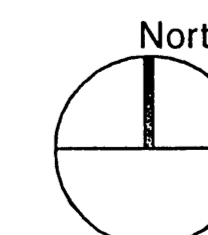
DRB #: _____

APPROVALS

Planning Director	Date
Transportation Development	Date
City Engineer / AMAFCA	Date
Utility Development	Date
Parks and Recreation Development	Date

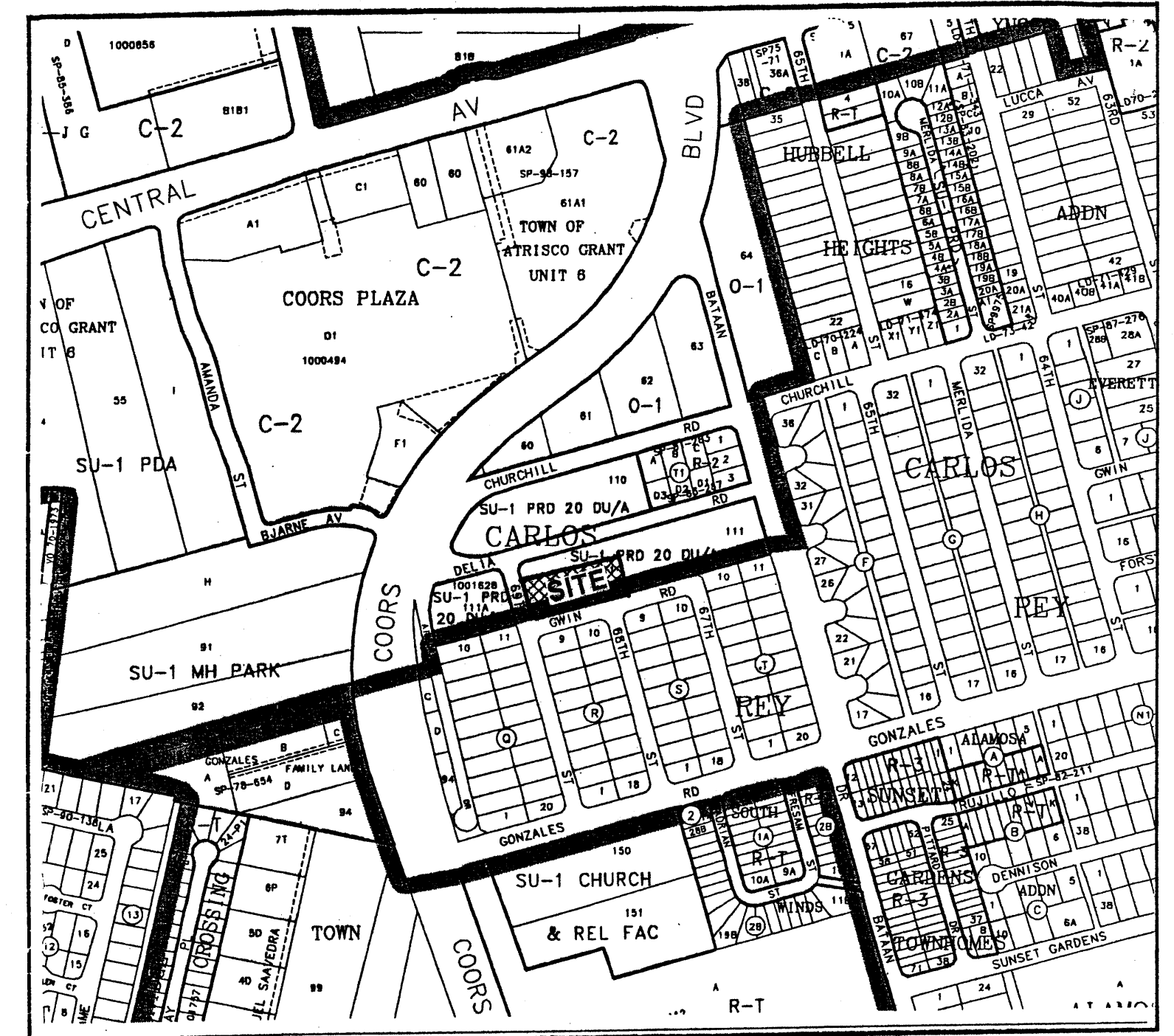
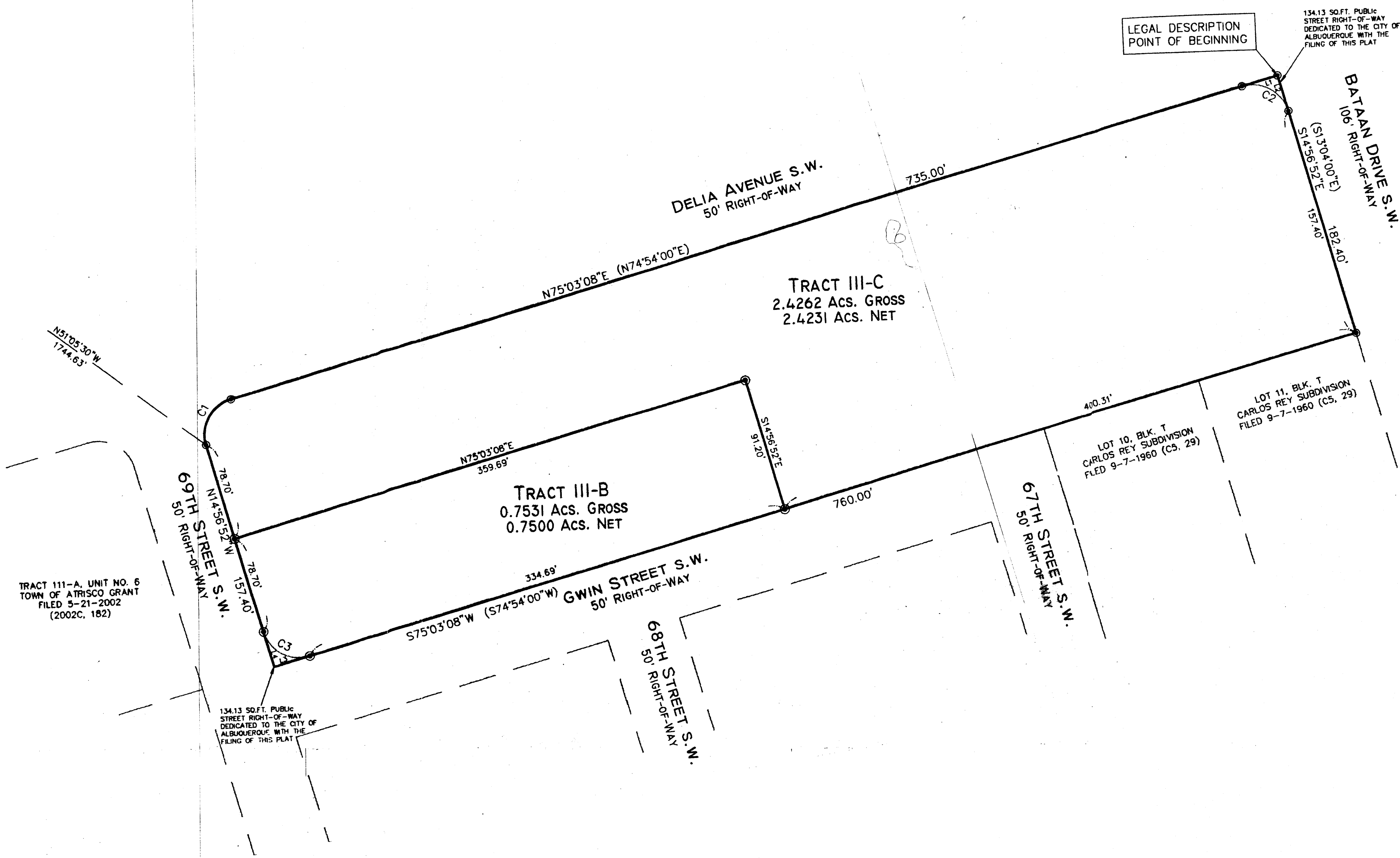
**Site Plan for Subdivision
Tracts III-B & III-C
NEWLIFE HOMES, INC.**

Prepared for:
NewLife Homes, Inc.
P.O. Box 90486
Albuquerque, NM 87199



Prepared by:
Garrett Smith Ltd.
514 Central SW
Albuquerque, NM 87102

18 November 2003



Vicinity Map - No. K-10

**SITE DEVELOPMENT PLAN FOR SUBDIVISION:
REQUIRED INFORMATION**

THE SITE: The site now consists of 1 undeveloped lot containing approximately 3.1793 acres zoned SU-1 PRD 20 Dwelling Units per Acre.

SUMMARY OF REQUEST: Approval of request for subdivision to create 2 tracts/lots. Tract III-C containing approximately 2.4262 acres and Tract III-B containing approximately 0.7531 acres.

PROPOSED USE: The zoning for Tract III-B is SU-1 PRD 20 du/a. A Site Plan for Building Permit has been approved with conditions by the EPC Project Number: 1002421 Case Number: 03EPC 00692. A copy of the Site Plan and Building Elevations are attached. The proposed development for Tract III-B is to build 15 single bedroom apartments. A condition of approval, by EPC, requires a Site Development Plan for Subdivision.

- MAXIMUM BUILDING HEIGHT:** 16'-0"
- MINIMUM BUILDING SETBACKS:**
 - Front Yard 5'-0"
 - Side Yard 5'-0"
 - Street Side Yard 25'-0"
 - Rear Yard 5'-0"
 - Distance Between Buildings 15'-0"

MAXIMUM TOTAL DWELLING UNITS: 20 Dwelling Units per Acre

MAXIMUM FLOOR AREA RATIO: .25

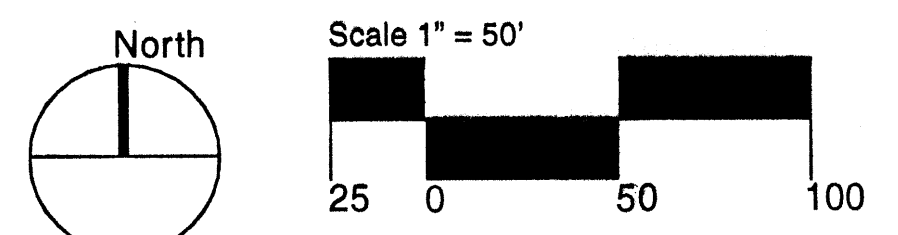
EPC PROJECT #: _____
CASE #: _____
DRB #: _____

APPROVALS

Planning Director	Date
Transportation Development	Date
City Engineer / AMAFCA	Date
Utility Development	Date
Parks and Recreation Development	Date

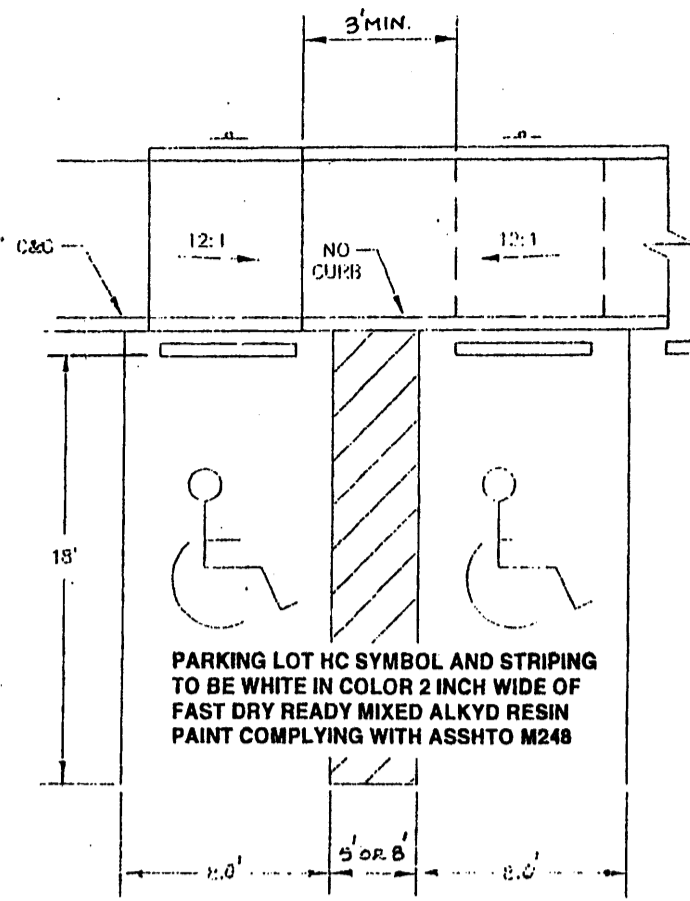
**Site Plan for Subdivision
Tracts III-B & III-C
NEWLIFE HOMES, INC.**

Prepared for:
NewLife Homes, Inc.
P.O. Box 90486
Albuquerque, NM 87199

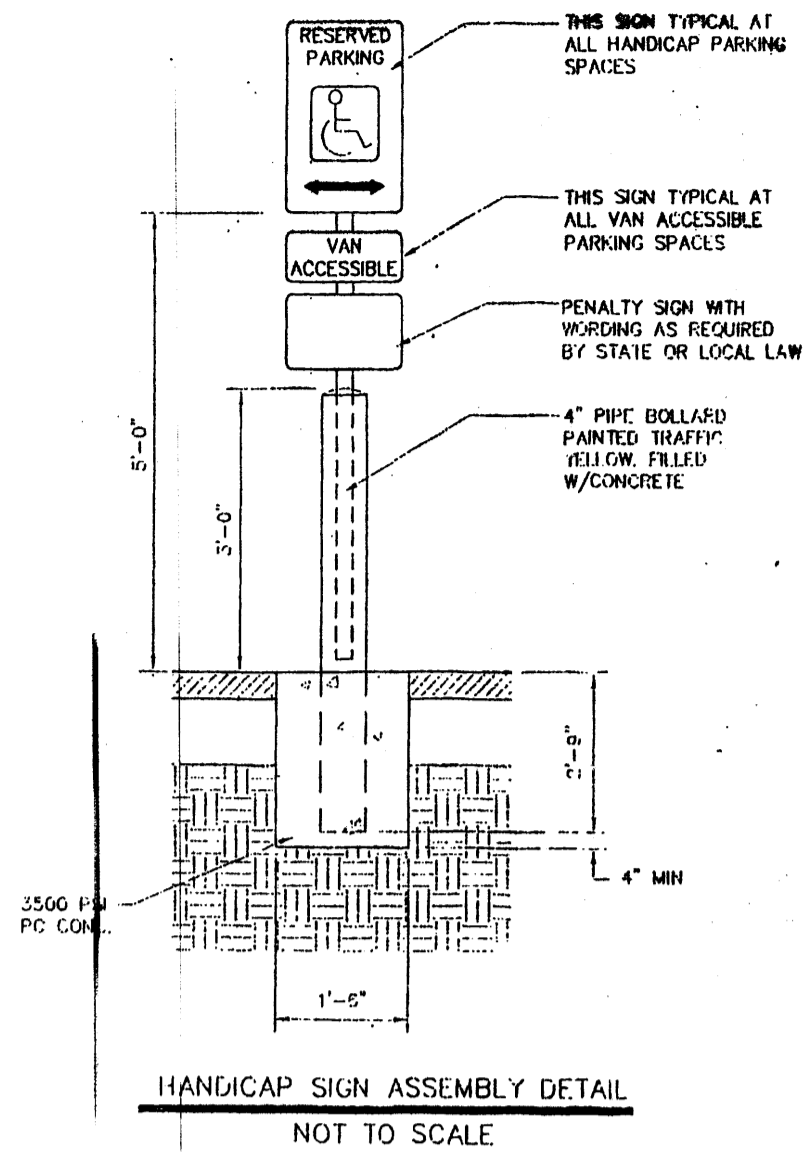


Prepared by:
Garrett Smith Ltd.
514 Central SW
Albuquerque, NM 87102

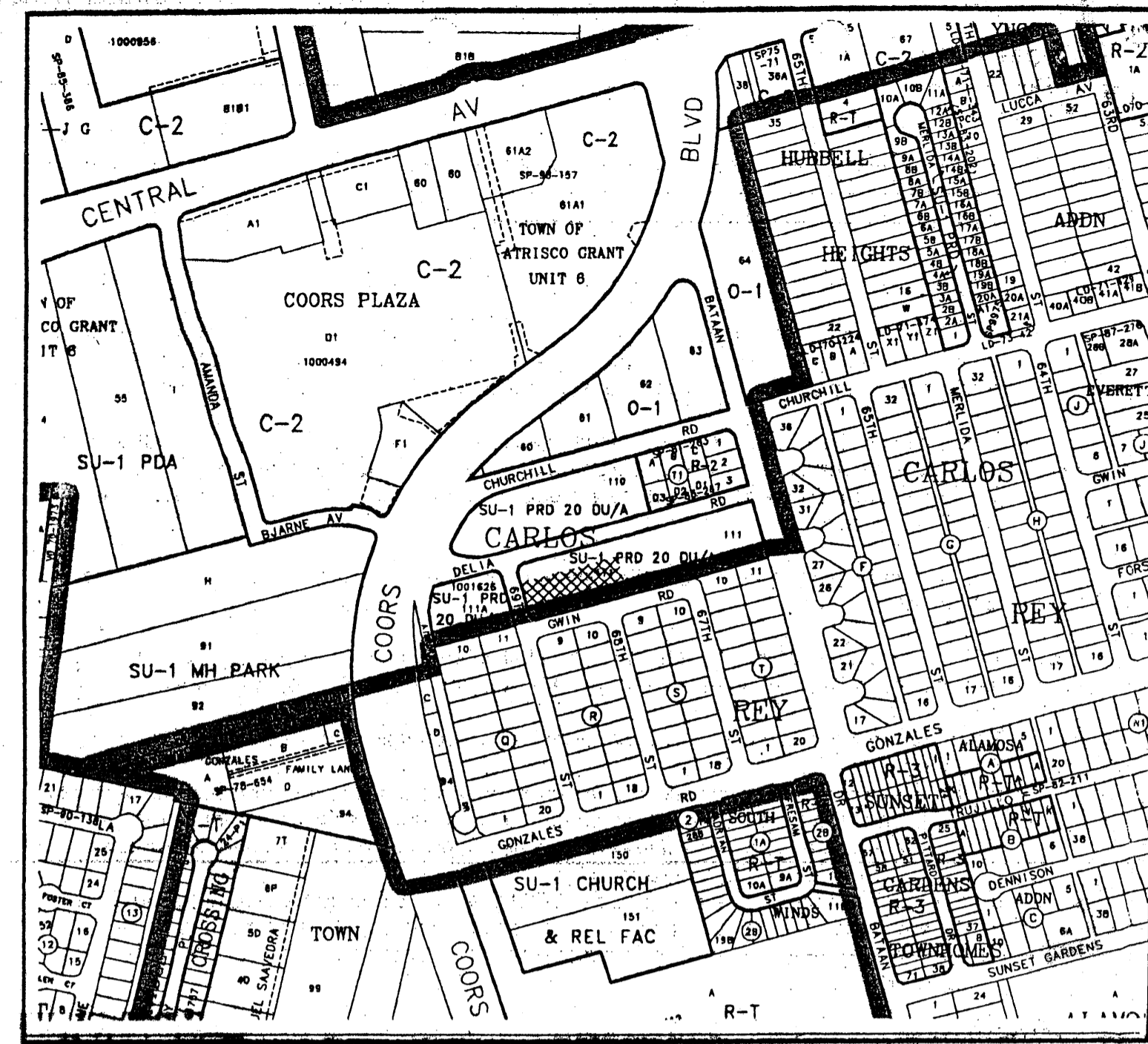
18 November 2003



HANDICAP PARKING LAYOUT DETAIL NTS



HANDICAP SIGN ASSEMBLY DETAIL NOT TO SCALE



VICINITY MAP K-10-Z

OFF-STREET PARKING

STANDARD SPACES PROVIDED: NINETEEN (19)
 SMALL CAR SPACES PROVIDED: FIVE (5)
 ACCESSIBLE SPACES PROVIDED: TWO (2)
 TOTAL OFF-STREET PARKING PROVIDED: TWENTY-ONE (21)

BICYCLE PARKING

ONE (1) BICYCLE PARKING SPACE IS PROVIDED FOR EACH TWO OF THE FIFTEEN SINGLE BEDROOM DWELLING UNITS.
 REQUIRED: EIGHT (8)
 PROVIDED: EIGHT (8)

USABLE OPEN SPACE CALCULATIONS

FIFTEEN (15) ONE-BEDROOM DWELLING UNITS
 x 400 SF OF USEABLE OPEN SPACE PER UNIT
 = 6000SF REQUIRED

LOT AREA: 32800 SF (.753 ACRE)
 BUILDING AREA: -7980 SF
 PARKING AREA: -8230 SF

TOTAL USEABLE OPEN SPACE PROVIDED 16590 SF

FLOOR AREA RATIO: 7980 SF / 32800 SF (.753 A.) = .24

PAVING MATERIALS

SIDEWALKS: CONCRETE
 PARKING LOT: ASPHALT PAVING

SYMBOL LEGEND

- WALL LIGHT
- POLE LIGHT
- BIKE RACK
- ≡ MAIL BOXES
- ⊕ HEIGHT MARKER
- PL PROPERTY LINE

SITE DATA

PROPOSED USAGE: RESIDENTIAL APARTMENTS
 LOT AREA: .75 ACRES
 BUILDING AREA: 7980 SF
 PARKING AREA: 5526 SF

BUILDING AREA CALCULATIONS

UNIT AREA: 532 SF
 15 UNITS: x 15
 RESIDENTIAL: 7980 SF

SHEET INDEX

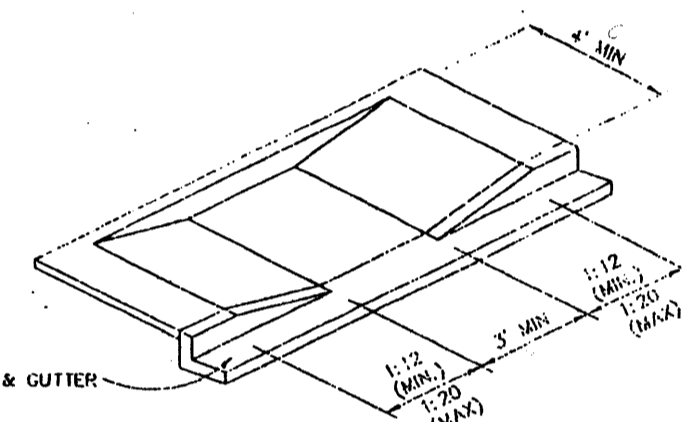
- A 1 - Site Plan & General Info
- A 2 - Site Details
- A 3 - Building Elevations
- L 1 - Landscape Plan
- C 1 - Conceptual Grading & Drainage Plan
- C 2 - Phasing Plan
- C 3 - Conceptual Utilities

REVISIONS

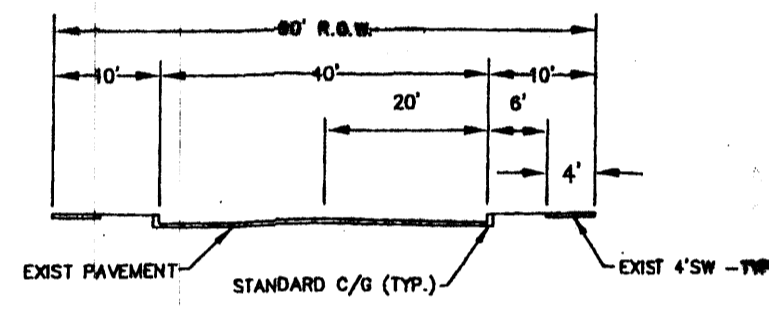
11.05.03

514 CENTRAL SW
 ALBUQUERQUE
 NEW MEXICO
 8 7 1 0 2
 505 / 766 - 6968
 FAX / 243 - 4508

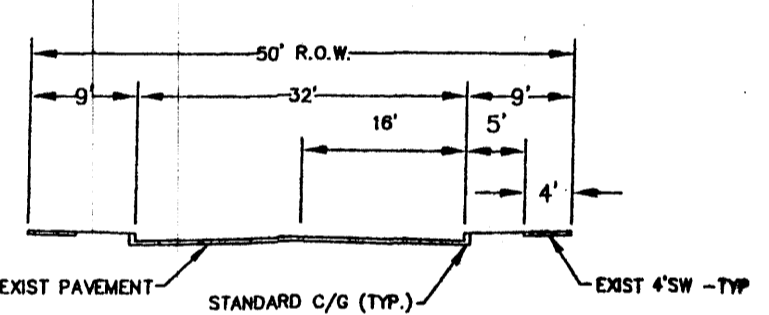
GARRETT SMITH LTD
 DESIGN, ARCHITECTURE & DEVELOPMENT



HANDICAP RAMP DETAIL NOT TO SCALE



COLLECTOR STREET SECTION NTS



RESIDENTIAL STREET SECTION NTS

CASE NUMBER: Z-

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [] and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

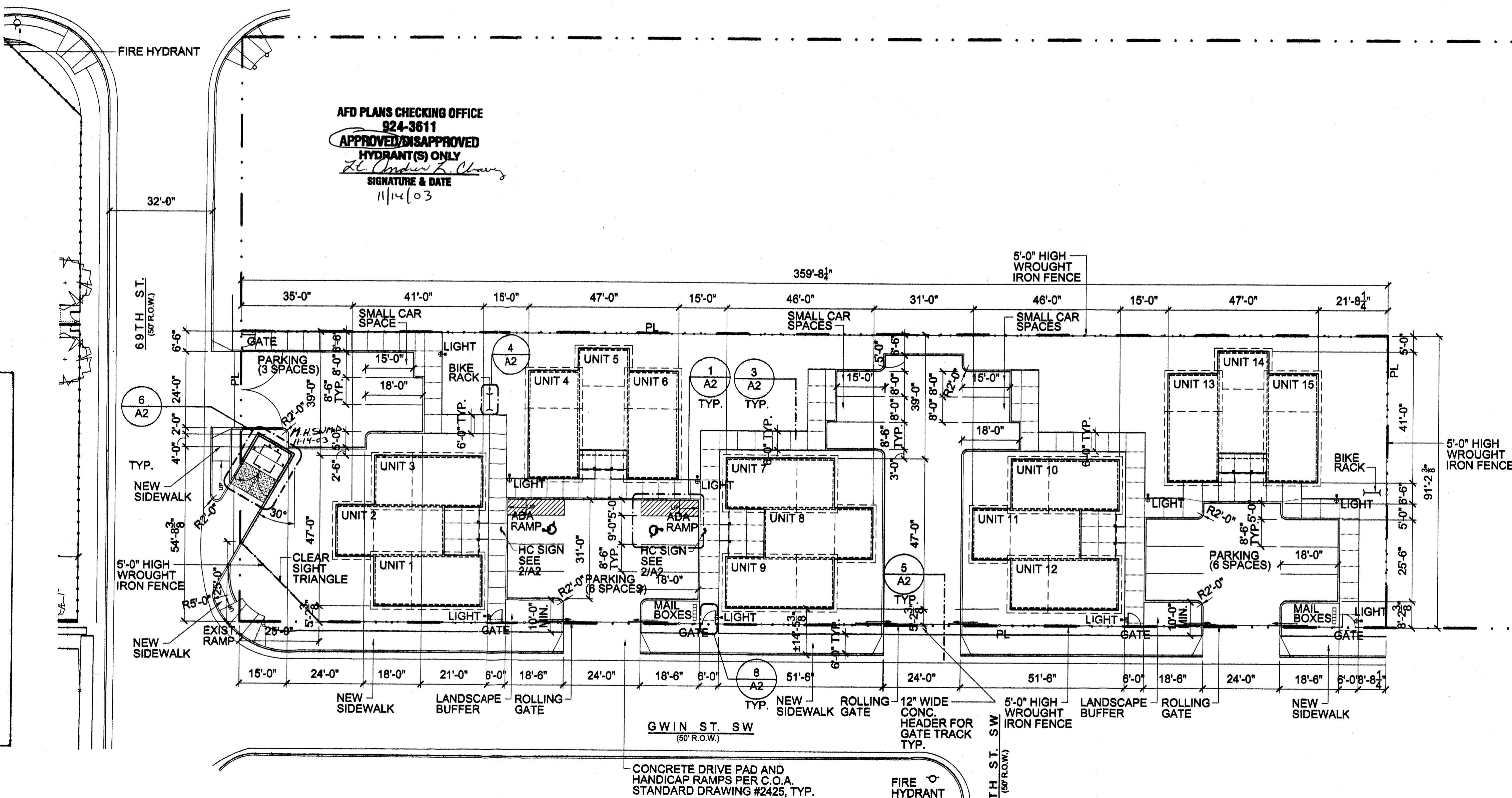
SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks & Recreation Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
Solid Waste Department	Date

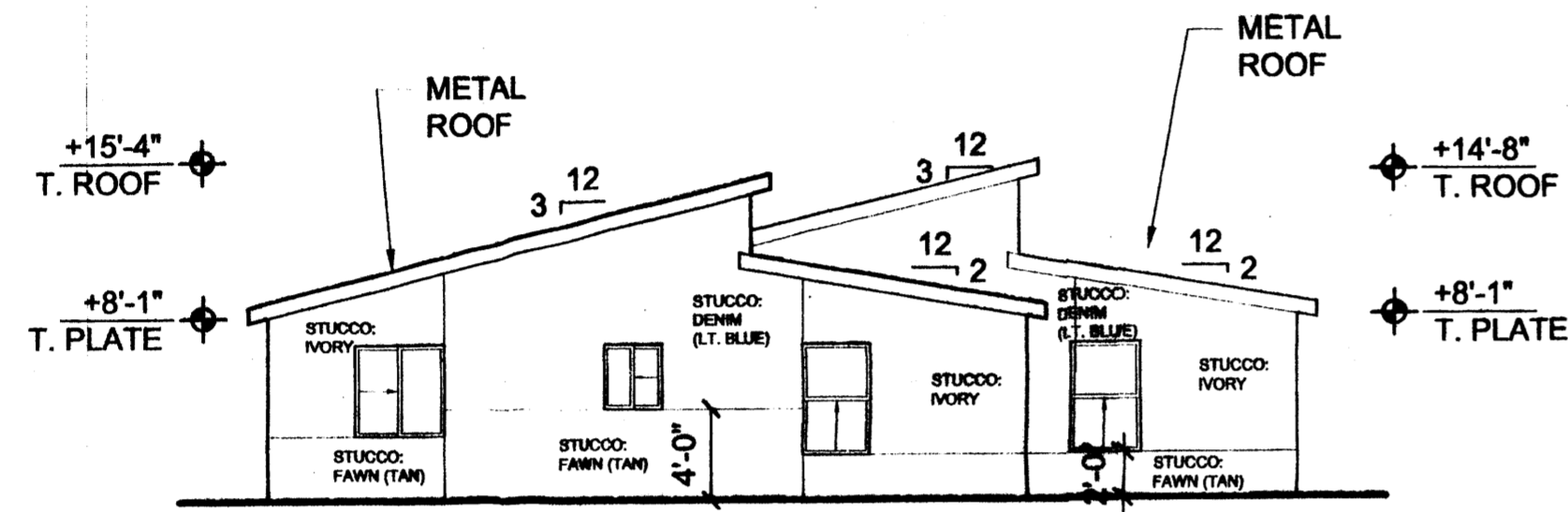
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division	Date
---	------

PLNZ (10706) 4/96

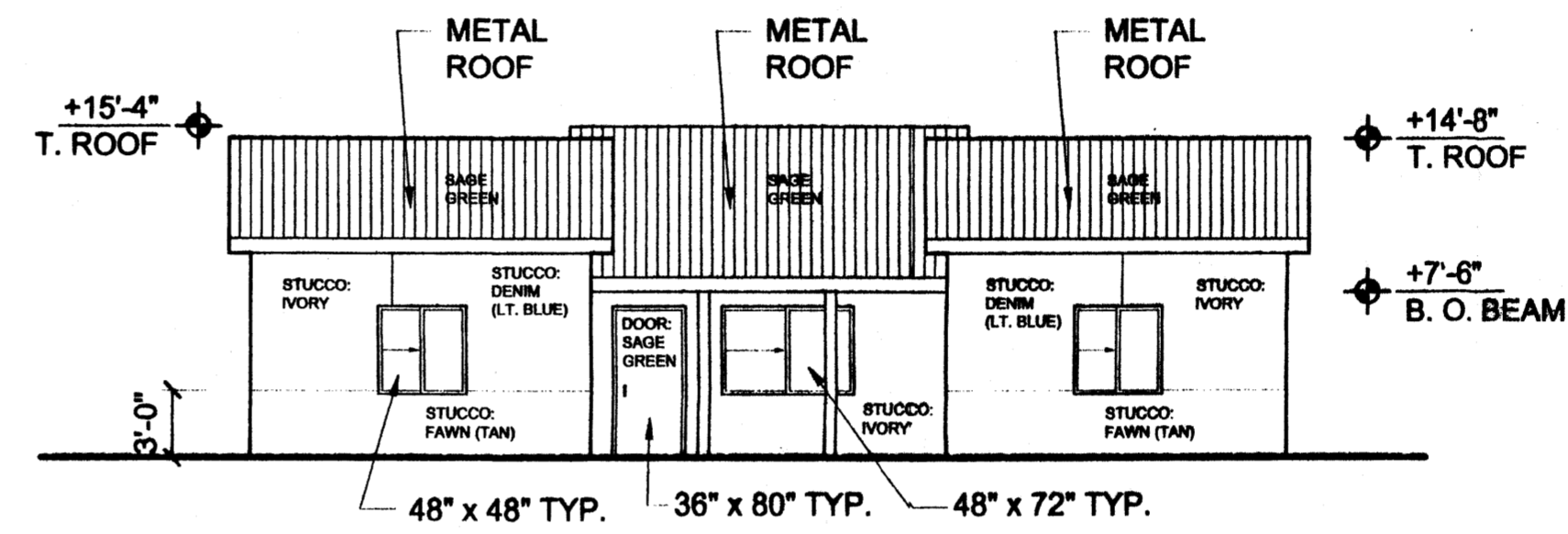


NEWLIFE HOMES - 3
 DRB SUBMITTAL
 SITE PLAN & GENERAL INFO



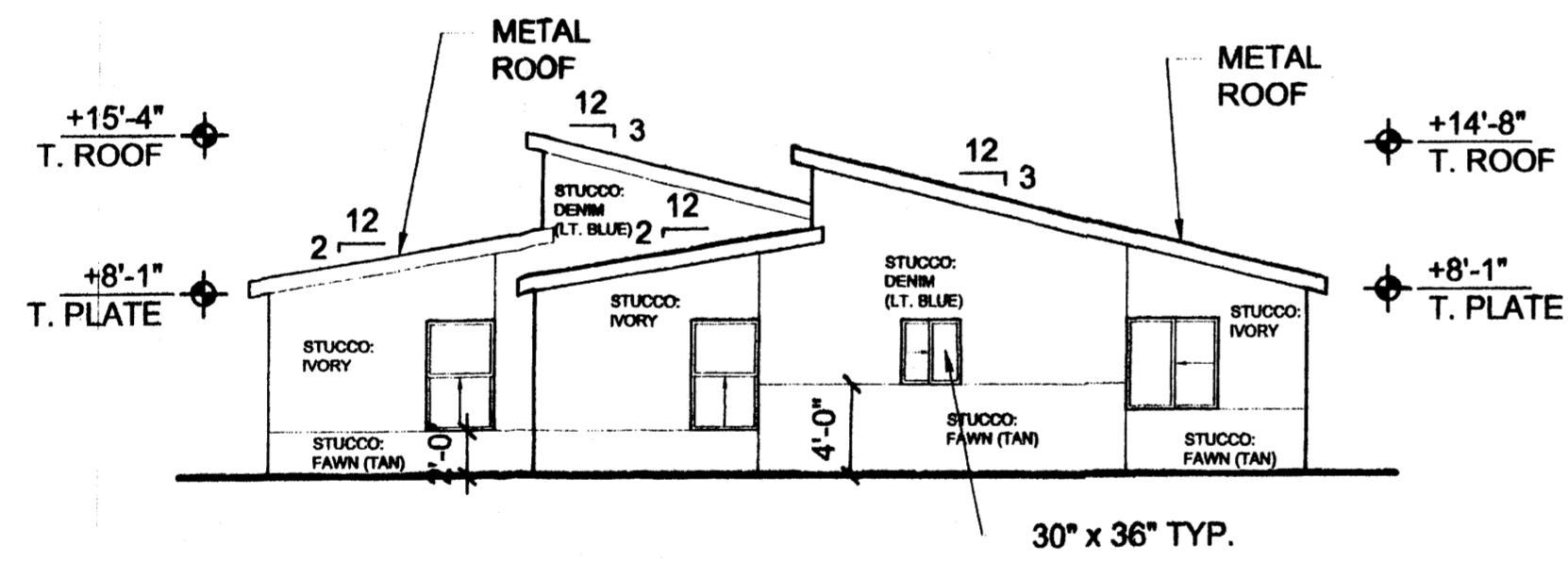
SIDE ELEVATION

SCALE: 1/8"=1'-0"
0 4 8 16



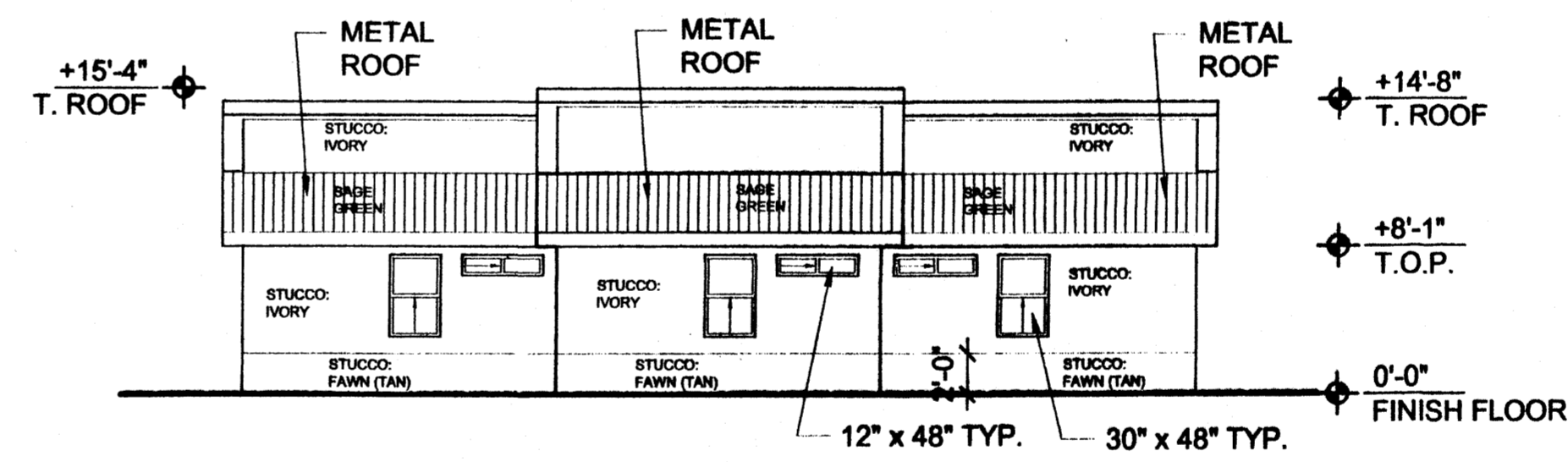
FRONT ELEVATION

SCALE: 1/8"=1'-0"
0 4 8 16



SIDE ELEVATION

SCALE: 1/8"=1'-0"
0 4 8 16



REAR ELEVATION

SCALE: 1/8"=1'-0"
0 4 8 16

NOTE: All stucco colors to be by El Rey. Refer to stucco sample chart of standard El Rey colors. (117 Fawn - 129 Ivory - 107 Demin).

All fascia, rake, soffits, posts and beams to be painted white.

All window frames to white.