

LOCATION MAP

N-9-Z

PURPOSE OF PLAT

1. To create 107 lots as shown hereon.
2. To grant easements as shown hereon.
3. To dedicate street right-of-way as shown hereon.

SUBDIVISION DATA

1. Project No.: Application No.:
2. Zone Atlas Index No.: N-9-Z
3. Total Number of Existing Lots: 0
4. Total Number of Existing Tracts: 2
5. Total Number of Lots created: 107
6. Total Number of Tracts created: 0
7. Miles of Full Width Streets created: 0.8879 mi.
8. Gross Subdivision Acreage: 18.3908 Ac.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances are field and record.
4. Basis of boundary is from the plats of record entitled:
 - "LANDS OF RIO BRAVO PARTNERS", (07-19-90, 90C-163)
 - "ALBUQUERQUE SOUTH, UNIT THREE", (06-05-02, 02C-197)
 - "ATRISCO VILLAGE UNIT J.-T.", (11-20-73, D5-200)
 - "ROSNER TRACT, TRACT A-1, A-2 AND B-1", (03-27-03, 03C-80)
 - "EL RANCHO GRANDE, UNIT TEN", (04-21-04, 04C-127)
 all being records of Bernalillo County, New Mexico.
5. Field Survey performed on March, 2003.
6. Title Report: None provided.
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: R-2 FOR R-T AND RLT
9. Utility Council Location System Log No.: 2004344540
10. Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
11. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
12. No individual lots shall be allowed direct access to Gibson Boulevard S.W.
13. All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.
14. A 10' Private Joint Use Drainage Easement shall be centered on adjoining side lot lines shown on this plat. The easement shall be maintained by the underlying property owners. (SEE DETAIL ON SHEET 3 OF 3).

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A-1, ROSNER TRACT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 27, 2003 in Book 03C, Page 80 together with all of TRACT A, EL RANCHO GRANDE, UNIT 10 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on April 21, 2004 in Book 04C, Page 127 and containing 18.3908 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
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Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs of bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

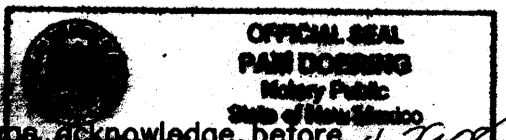
The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 107 lots as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) Warrants that (he/she) holds complete, and indefeasible title in fee simple to the land subdivided.

Owner(s): Virgil Polk 5-24-05 Date
CENTEX HOMES, VIRGIL POLK, DIVISION PRESIDENT

STATE OF NEW MEXICO)
BERNALILLO COUNTY) SS

On this 24 day of May, 2005, this instrument was acknowledged before me by Virgil Polk, Division President, Centex Homes.

Jan Louising 4-27-08
Notary Public My Commission Expires



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1008054565001003 PROPERTY OWNER OF RECORD: Centex Homes BERNALILLO COUNTY TREASURER'S OFFICE: Sanchez 4/9/05



PLAT FOR
EL RANCHO GRANDE
UNIT 11
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2005

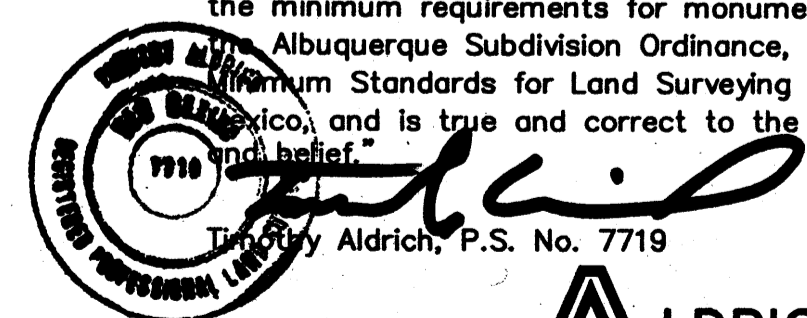
PROJECT NUMBER: 1002423
Application Number: 05-00907

PLAT APPROVAL

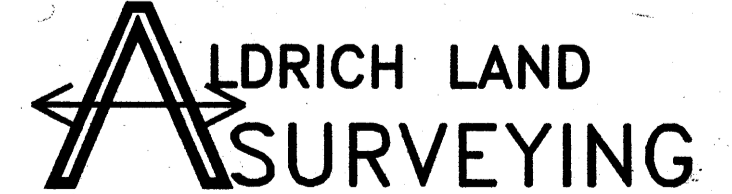
- Utility Approvals:
- Lead D. Murt 6-7-05
PNM Electric Services Division Date
 - Lead D. Murt 6-7-05
PNM Gas Services Division Date
 - Markell Berry 6-7-05
Qwest Date
 - Kyome Borkan 6-7-05
Comcast Date
- City Approvals:
- John B. Paul 5/26/05
City Surveyor Date
 - N/A 4/8/05
Real Property Division Date
 - N/A 4/8/05
Environmental Health Department Date
 - John A. ... 6-8-05
Traffic Engineering, Transportation Division Date
 - Ryan A. ... 6-8-05
Water Utility Department Date
 - Christina Sandoval 6/8/05
Parks and Recreation Department Date
 - Bradley J. Bingham 6/8/05
AMAFCA Date
 - Bradley J. Bingham 6/8/05
City Engineer Date
 - D. ... 6/8/05
DRB Chairperson, Planning Department Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of Albuquerque Subdivision Ordinance, and further meets the minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."



05-23-05
Date



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

REVISED 05-18-05

Drawn By:	ECM	Date:	08-24-04
Checked By:	RJA	Drawing Name:	03072P11.DWG
Job No.:	03-072	Sheet:	1 of 3

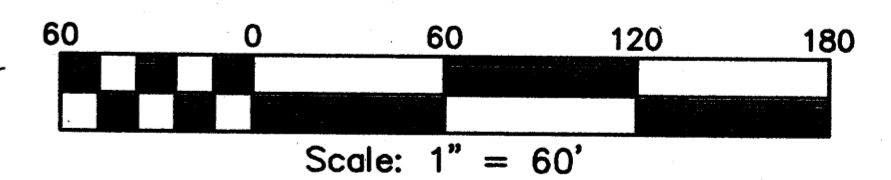
PLAT FOR
EL RANCHO GRANDE
 UNIT 11
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

- ① 10' PUE (GRANTED BY THIS PLAT)
 - ② EXISTING 7' UTILITY EASEMENT (11-20-73, D5-200)
 - ③ EXISTING 124' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
 - ④ EXISTING 10' UTILITY EASEMENT (11-20-73, D5-200)
 - ⑤ EXISTING 7' PUBLIC UTILITY EASEMENT (02-05-64, D3-89)
 - ⑥ EXISTING 20' PUBLIC WATERLINE EASEMENT (02-07-03, BK.A50 - PG.485)
 - ⑦ EXISTING 20' PUBLIC WATERLINE EASEMENT (02-07-03, BK. A50 - PG. 486)
- EXISTING C.O.A. BLANKET DRAINAGE EASEMENT ACROSS TRACT A-1 (03-27-03, 03C-80) HEREBY DEFINED AS THE RIGHT-OF-WAY LIMITS BY THIS PLAT.
- ⑧ 38' PUBLIC SANITARY SEWER EASEMENT (GRANTED BY THIS PLAT)

(*) ACS MONUMENT
 "1-NB"
 Y=1470679.06
 X=348455.82
 G=0.99967260
 Az=001726
 CENTRAL ZONE
 (NAD 1927/SLD 1929)

(**) ACS MONUMENT
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 X=354899.45
 G=0.99967921
 Az=001642
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5118.370

EL RANCHO GRANDE
 UNIT 10
 (04-21-04, 04C-127)



ROSNER TRACT
 TRACT A-2
 (03-27-03, 03C-80)

REVISED 06-08-05
 REVISED 05-18-05

Drawn By:	ECM	Date:	08-23-04
Checked By:	RJA	Drawing Name:	03072P11.DWG
Job No.:	03-072	Sheet:	2 of 3

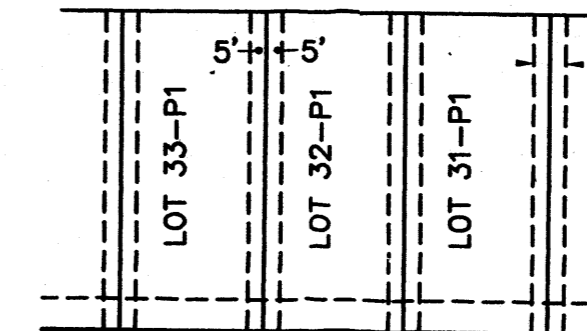
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 Page: 2 of 3
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ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT FOR
EL RANCHO GRANDE
UNIT 11
 WITHIN THE
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 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L1	N 00°11'58" W	923.15'
L2	S 89°28'02" E	971.03'
L3	S 00°01'54" W	551.21'
L4	N 78°40'05" E	27.41'
L5	S 11°19'55" E	105.00'
L6	S 78°40'05" W	48.52'
L7	S 00°01'54" W	63.22'
L8	S 78°46'22" W	986.25'
L9	S 11°13'38" E	15.85'
L10	N 11°13'38" W	20.86'
L11	N 11°13'38" W	20.86'
L12	N 78°40'05" E	25.81'
L13	S 11°13'38" E	20.86'
L14	N 00°01'54" E	22.55'
L15	S 11°13'38" E	84.53'
L16	S 00°01'54" W	49.51'
L17	N 78°46'22" E	45.71'
L18	N 78°40'05" E	30.21'
L19	N 11°13'38" W	38.00'
L20	N 89°38'44" W	38.00'
L21	S 89°28'02" E	38.00'
L22	N 00°01'54" E	27.55'
L23	N 89°58'06" W	38.00'
L24	N 00°01'54" E	27.55'
L25	N 78°40'05" E	21.01'

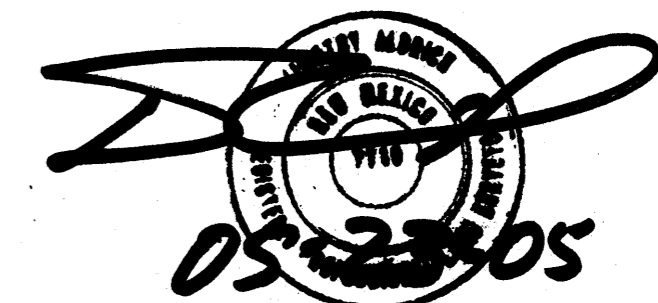
CURVE TABLE							
NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH	
C1	11°15'32"	S 05°35'52" E	27.11'	275.00'	54.44'	53.95'	
C2	11°15'32"	S 05°35'52" E	27.11'	275.00'	54.44'	53.95'	
C3	90°00'00"	N 44°58'06" W	75.00'	75.00'	117.81'	106.07'	
C4	11°15'32"	S 05°35'52" E	27.11'	275.00'	54.04'	53.95'	
C5	11°15'32"	S 05°35'52" E	27.11'	275.00'	54.04'	53.95'	
C6	11°01'41"	S 05°42'48" E	26.55'	275.00'	52.83'	52.85'	
C7	90°00'00"	S 33°46'22" W	25.00'	25.00'	39.27'	35.36'	
C8	90°00'00"	S 56°13'38" E	30.00'	30.00'	47.12'	42.43'	
C9	09°04'55"	S 04°44'25" E	19.86'	250.00'	39.63'	39.59'	
C10	91°56'46"	S 55°15'16" E	31.04'	30.00'	48.14'	43.14'	
C11	90°00'00"	N 33°46'22" E	30.00'	30.00'	47.12'	42.43'	
C12	90°00'00"	N 56°13'38" W	25.00'	25.00'	39.27'	35.36'	
C13	86°36'08"	N 35°28'18" E	23.56'	25.00'	37.79'	34.29'	
C14	07°51'41"	S 03°53'56" E	20.48'	298.00'	40.88'	40.86'	
C15	05°47'03"	S 04°56'15" E	15.05'	298.00'	30.06'	30.07'	
C16	02°04'38"	S 01°00'24" E	5.40'	298.00'	10.81'	10.80'	
C17	90°00'00"	S 44°58'06" E	25.00'	25.00'	39.27'	35.36'	
C18	90°00'00"	N 45°01'54" E	25.00'	25.00'	39.27'	35.36'	
C19	04°23'30"	S 02°09'50" E	9.66'	252.00'	19.31'	19.31'	
C20	96°52'03"	S 52°47'37" E	28.19'	25.00'	42.27'	37.41'	
C21	06°26'19"	S 03°11'15" E	16.76'	298.00'	33.49'	33.47'	
C22	85°10'46"	N 36°10'59" E	22.98'	25.00'	37.17'	33.84'	
C23	96°52'03"	S 52°47'37" E	28.19'	25.00'	42.27'	37.41'	
C24	04°23'30"	S 02°09'50" E	9.66'	252.00'	19.31'	19.31'	
C25	90°00'00"	N 44°58'06" W	98.00'	98.00'	153.94'	138.59'	
C26	13°33'54"	N 06°45'02" W	11.66'	98.00'	23.20'	23.15'	
C27	17°25'18"	N 22°14'38" W	15.02'	98.00'	29.80'	29.68'	
C28	38°42'15"	N 50°18'25" W	34.42'	98.00'	66.20'	64.95'	
C29	20°18'33"	N 79°48'50" W	17.55'	98.00'	34.74'	34.56'	
C30	90°00'00"	S 44°58'06" E	25.00'	25.00'	39.27'	35.36'	
C31	90°00'00"	S 45°01'54" W	25.00'	25.00'	39.27'	35.36'	
C32	90°00'00"	N 44°58'06" W	25.00'	25.00'	39.27'	35.36'	
C33	00°27'42"	S 00°11'56" E	1.20'	298.00'	2.40'	2.40'	
C34	05°58'37"	S 03°25'06" E	15.56'	298.00'	31.09'	31.07'	
C35	85°10'46"	N 36°10'59" E	22.98'	25.00'	37.17'	33.84'	
C36	98°00'01"	S 52°13'38" E	28.76'	25.00'	42.76'	37.74'	
C37	03°15'32"	S 01°35'52" E	7.28'	256.00'	14.56'	14.56'	
C38	05°28'30"	S 02°42'20" E	14.06'	294.00'	28.09'	28.08'	
C39	01°27'14"	S 00°41'44" E	3.73'	294.00'	7.46'	7.46'	
C40	04°01'12"	S 03°25'59" E	10.32'	294.00'	20.63'	20.62'	
C41	84°12'57"	N 36°39'53" E	22.60'	25.00'	36.75'	33.53'	
C42	96°52'03"	S 52°47'37" E	28.19'	25.00'	42.27'	37.41'	
C43	90°00'00"	S 45°01'54" W	25.00'	25.00'	39.27'	35.36'	
C44	90°00'00"	N 44°58'06" W	52.00'	52.00'	81.68'	73.54'	
C45	06°26'19"	S 03°11'15" E	16.76'	298.00'	33.49'	33.47'	
C46	00°40'13"	S 00°18'12" E	1.74'	298.00'	3.49'	3.49'	
C47	05°46'08"	S 03°31'21" E	15.01'	298.00'	30.00'	29.99'	
C48	04°23'30"	S 02°09'50" E	9.66'	252.00'	19.31'	19.31'	



10' Private Joint Use Drainage
 Easement (TYP.)
 (GRANTED BY THIS PLAT)
 (See Note 14 on Sheet 1 of 3)

DRAINAGE EASEMENT DETAIL

NOT TO SCALE

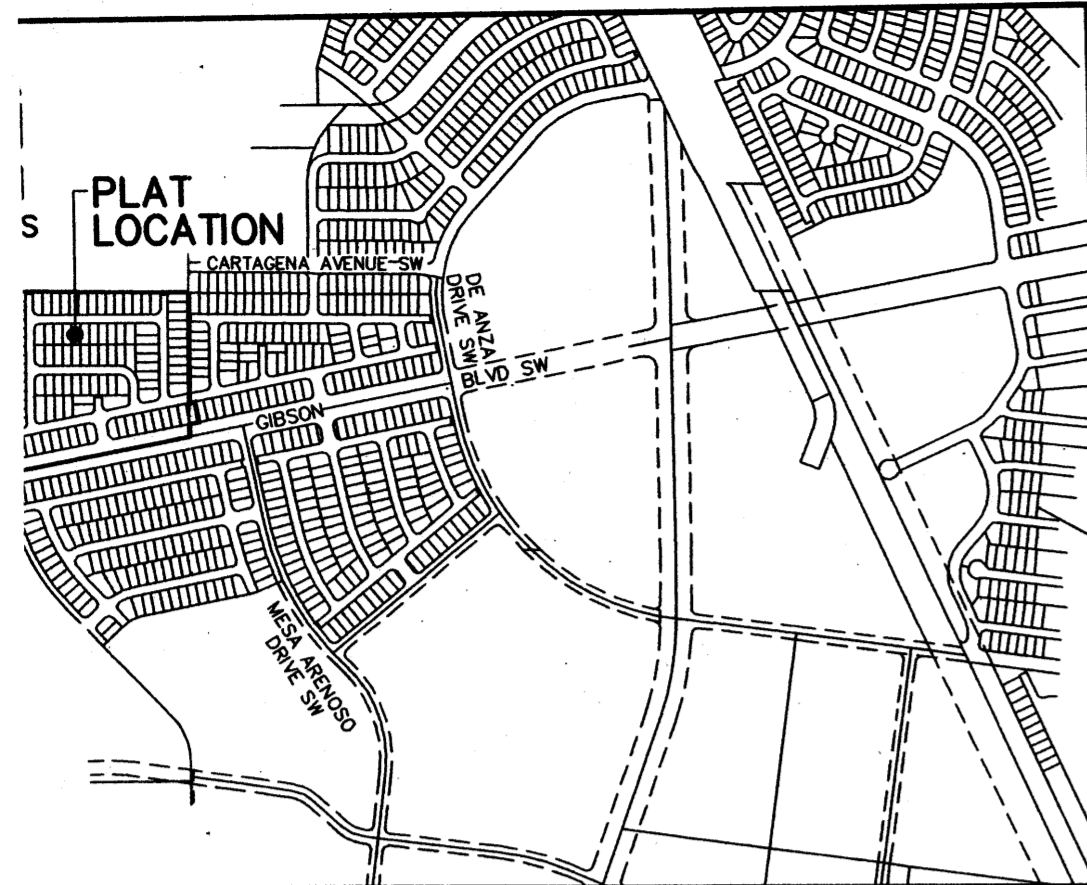


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Checked By:	RJA	Drawing Name:	03072P11.DWG
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0. Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
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FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 107 lots as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) Warrants that (he/she) holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): Virgil Polk 5-24-05 Date

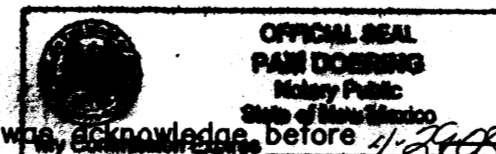
CENTEX HOMES, VIRGIL POLK, DIVISION PRESIDENT

STATE OF NEW MEXICO)
BERNALILLO COUNTY) SS

On this 24 day of May, 2005, this instrument was acknowledged before me by Virgil Polk, Division President, Centex Homes.

[Signature]
Notary Public

4-29-08
My Commission Expires



PLAT FOR
EL RANCHO GRANDE
UNIT 11
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2005

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services Division _____

PNM Gas Services Division _____

Qwest _____

Comcast _____

City Approvals: [Signature]

City Surveyor _____

Real Property Division _____

Environmental Health Department _____

Traffic Engineering, Transportation Division _____

Water Utility Department _____

Parks and Recreation Department _____

AMAFCA _____

City Engineer _____

DRB Chairperson, Planning Department _____

FINAL
PRELIMINARY PLAT
APPROVED BY DRB
Date: 5/26/05

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description was prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of Albuquerque Subdivision Ordinance, and further meets the minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."



Timothy Aldrich, P.S. No. 7719

05-23-05 Date



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

REVISED 05-18-05

Drawn By:	ECM	Date:	08-24-04
Checked By:	RJA	Drawing Name:	03072P11.DWG
Job No.:	03-072	Sheet:	1 of 3

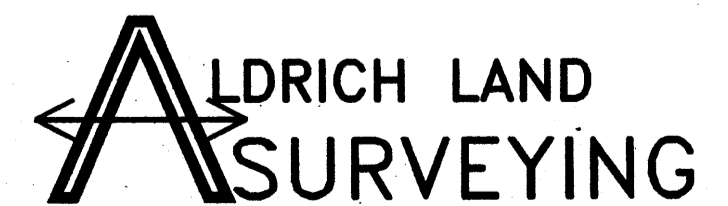
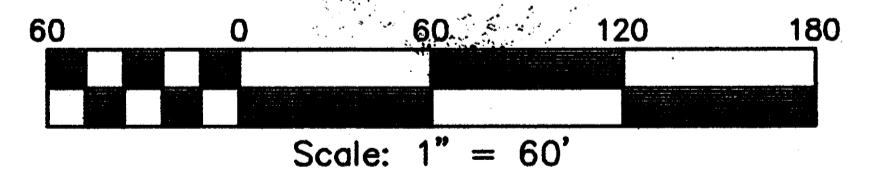
PLAT FOR
**EL RANCHO GRANDE
 UNIT 11**
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

- ① 10' PUE (GRANTED BY THIS PLAT)
- ② EXISTING 7' UTILITY EASEMENT (11-20-73, D5-200)
- ③ EXISTING 124' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
- ④ EXISTING 10' UTILITY EASEMENT (11-20-73, D5-200)
- ⑤ EXISTING 7' PUBLIC UTILITY EASEMENT (02-05-64, D3-89)
- ⑥ EXISTING 20' PUBLIC WATERLINE EASEMENT (02-07-03, BK.A50 - PG.485)
- ⑦ EXISTING 20' PUBLIC WATERLINE EASEMENT (02-07-03, BK.A50-PG.486)
- EXISTING C.O.A. BLANKET DRAINAGE EASEMENT ACROSS TRACT A-1 (03-27-03, 03C-80)

(*) ACS MONUMENT
 "1-N8"
 Y=1470679.06
 X=348455.82
 G-G=0.99967260
 Az=001°17'26"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)

(**) ACS MONUMENT
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 X=354899.45
 G-G=0.99967921
 Az=001°16'42"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5118.370

EL RANCHO GRANDE
 UNIT 10
 (04-21-04, 04C-127)



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

ATRISCO VILLAGE UNIT J.-T.
 BLOCK G
 (11-20-73, D5-200)

SANDY FLATS AVENUE SW

GILA GULCH ROAD SW

RANGE ROAD SW

GIBSON BOULEVARD SW

ROSNER TRACT
 TRACT A-2
 (03-27-03, 03C-80)

REVISED 05-18-05

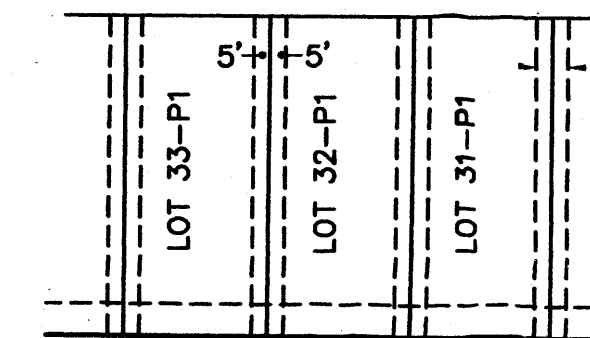
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Checked By:	RJA	Drawing Name:	03072P11.DWG
Job No.:	03-072	Sheet:	2 of 3



PLAT FOR
EL RANCHO GRANDE
UNIT 11
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L1	N 00°11'58" W	923.15'
L2	S 89°26'02" E	971.03'
L3	S 00°01'54" W	551.21'
L4	N 78°40'05" E	27.41'
L5	S 11°19'55" E	105.00'
L6	S 78°40'05" W	48.52'
L7	S 00°01'54" W	63.22'
L8	S 78°46'22" W	986.25'
L9	S 11°13'38" E	15.85'
L10	N 11°13'38" W	20.86'
L11	N 11°13'38" W	20.86'
L12	N 78°40'05" E	25.61'
L13	S 11°13'38" E	20.86'
L14	N 00°01'54" E	22.55'
L15	S 11°13'38" E	84.53'
L16	S 00°01'54" W	49.51'
L17	N 78°46'22" E	45.71'
L18	N 78°40'05" E	30.21'
L19	N 11°13'38" W	38.00'
L20	N 89°38'44" W	38.00'
L21	S 89°26'02" E	38.00'
L22	N 00°01'54" E	27.55'
L23	N 89°58'06" W	38.00'
L24	N 00°01'54" E	27.55'
L25	N 78°40'05" E	21.01'

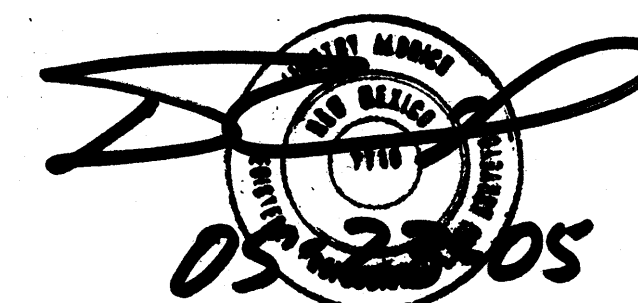
CURVE TABLE						
NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	11°15'32"	S 05°35'52" E	27.11'	275.00'	54.04'	53.95'
C2	11°15'32"	S 05°35'52" E	27.11'	275.00'	54.04'	53.95'
C3	90°00'00"	N 44°58'06" W	75.00'	75.00'	117.81'	106.07'
C4	11°15'32"	S 05°35'52" E	27.11'	275.00'	54.04'	53.95'
C5	11°15'32"	S 05°35'52" E	27.11'	275.00'	54.04'	53.95'
C6	11°01'41"	S 05°42'48" E	26.55'	275.00'	52.93'	52.85'
C7	90°00'00"	S 33°46'22" W	25.00'	25.00'	39.27'	35.36'
C8	90°00'00"	S 56°13'38" E	30.00'	30.00'	47.12'	42.43'
C9	09°04'55"	S 04°44'25" E	19.86'	250.00'	39.63'	39.59'
C10	91°56'46"	S 55°15'16" E	31.04'	30.00'	48.14'	43.14'
C11	90°00'00"	N 33°46'22" E	30.00'	30.00'	47.12'	42.43'
C12	90°00'00"	N 56°13'38" W	25.00'	25.00'	39.27'	35.36'
C13	86°36'08"	N 35°28'18" E	23.56'	25.00'	37.79'	34.29'
C14	07°51'41"	S 03°33'56" E	20.48'	298.00'	40.89'	40.86'
C15	05°47'03"	S 04°56'15" E	15.05'	298.00'	30.08'	30.07'
C16	02°04'38"	S 01°00'24" E	5.40'	298.00'	10.81'	10.80'
C17	90°00'00"	S 44°58'06" E	25.00'	25.00'	39.27'	35.36'
C18	90°00'00"	N 45°01'54" E	25.00'	25.00'	39.27'	35.36'
C19	04°23'30"	S 02°09'50" E	9.66'	252.00'	19.31'	19.31'
C20	96°52'03"	S 52°47'37" E	28.19'	25.00'	42.27'	37.41'
C21	06°26'19"	S 03°11'15" E	16.76'	298.00'	33.49'	33.47'
C22	85°10'46"	N 36°10'59" E	22.98'	25.00'	37.17'	33.84'
C23	96°52'03"	S 52°47'37" E	28.19'	25.00'	42.27'	37.41'
C24	04°23'30"	S 02°09'50" E	9.66'	252.00'	19.31'	19.31'
C25	90°00'00"	N 44°58'06" W	98.00'	98.00'	153.94'	138.59'
C26	13°33'54"	N 06°45'02" W	11.86'	98.00'	23.20'	23.15'
C27	17°25'18"	N 22°14'38" W	15.02'	98.00'	29.80'	29.68'
C28	38°42'15"	N 50°18'25" W	34.42'	98.00'	66.20'	64.95'
C29	20°18'33"	N 79°48'50" W	17.55'	98.00'	34.74'	34.56'
C30	90°00'00"	S 44°58'06" E	25.00'	25.00'	39.27'	35.36'
C31	90°00'00"	S 45°01'54" W	25.00'	25.00'	39.27'	35.36'
C32	90°00'00"	N 44°58'06" W	25.00'	25.00'	39.27'	35.36'
C33	00°27'42"	S 00°11'56" E	1.20'	298.00'	2.40'	2.40'
C34	05°58'37"	S 03°25'06" E	15.56'	298.00'	31.09'	31.07'
C35	85°10'46"	N 36°10'59" E	22.98'	25.00'	37.17'	33.84'
C36	96°00'01"	S 52°13'38" E	28.76'	25.00'	42.78'	37.74'
C37	03°15'32"	S 01°35'52" E	7.28'	256.00'	14.56'	14.56'
C38	05°28'30"	S 02°42'20" E	14.06'	294.00'	28.09'	28.08'
C39	01°27'14"	S 00°41'44" E	3.73'	294.00'	7.46'	7.46'
C40	04°01'12"	S 03°25'59" E	10.32'	294.00'	20.63'	20.62'
C41	84°12'57"	N 36°39'53" E	22.60'	25.00'	36.75'	33.53'
C42	96°52'03"	S 52°47'37" E	28.19'	25.00'	42.27'	37.41'
C43	90°00'00"	S 45°01'54" W	25.00'	25.00'	39.27'	35.36'
C44	90°00'00"	N 44°58'06" W	52.00'	52.00'	81.68'	73.54'
C45	06°26'19"	S 03°11'15" E	16.76'	298.00'	33.49'	33.47'
C46	00°40'13"	S 00°18'12" E	1.74'	298.00'	3.49'	3.49'
C47	05°46'06"	S 03°31'21" E	15.01'	298.00'	30.00'	29.99'
C48	04°23'30"	S 02°09'50" E	9.66'	252.00'	19.31'	19.31'



10' Private Joint Use Drainage
 Easement (TYP.)
 (GRANTED BY THIS PLAT)
 (See Note 14 on Sheet 1 of 3)

DRAINAGE EASEMENT DETAIL

NOT TO SCALE

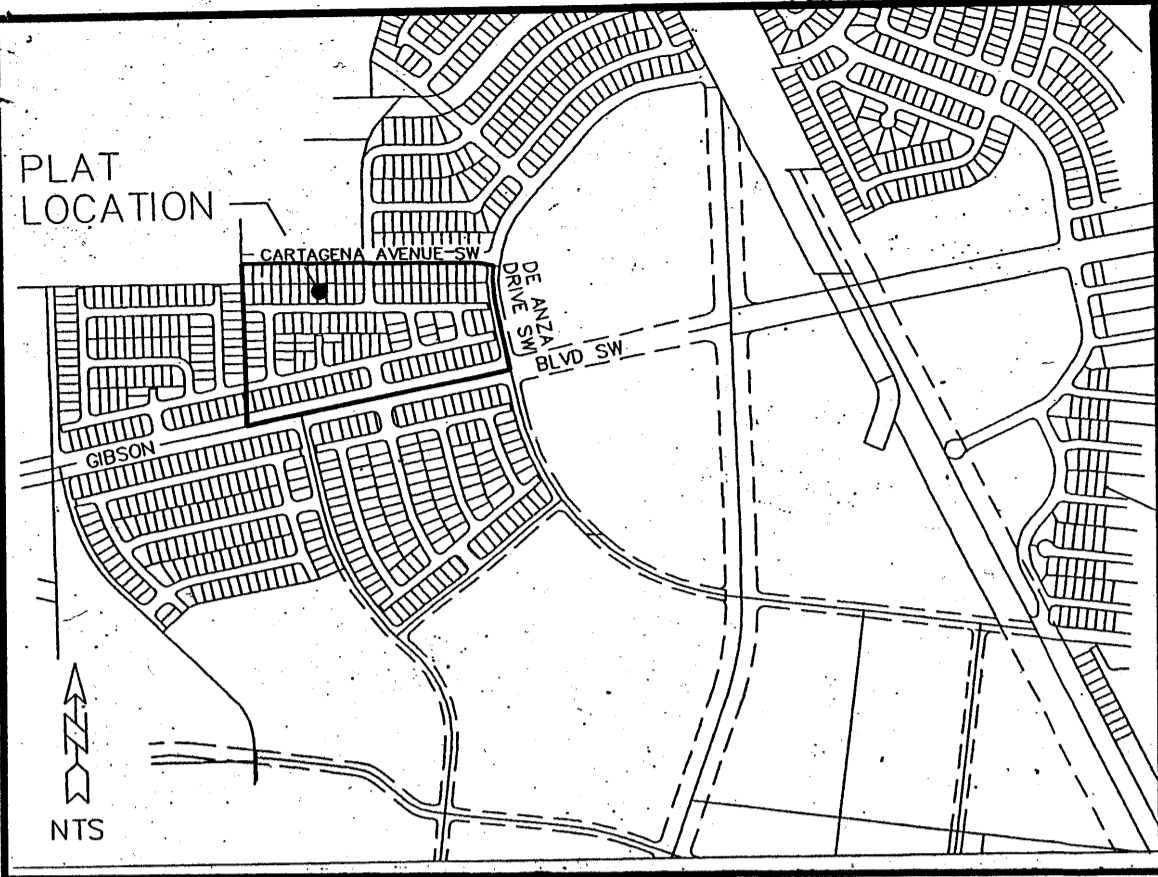


REVISED 05-18-05

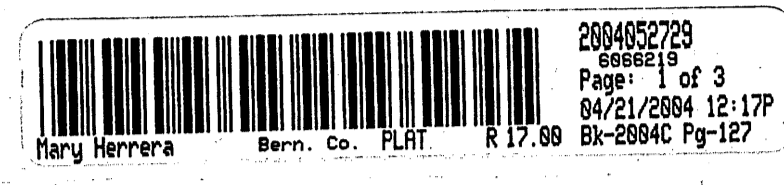
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Checked By:	RJA	Drawing Name:	03072P11.DWG
Job No.:	03-072	Sheet:	3 of 3

ALDRICH LAND
SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

AGIS



PLAT FOR
EL RANCHO GRANDE, UNIT 10
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2004



DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT E-1, ALBUQUERQUE SOUTH, UNIT THREE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 5, 2002 in Book 02C, Folio 197 and containing 19.9532 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Telecommunications for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs of bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

NOTES (CONT.)

15. Tract A will be combined with a portion of Tract A-1 to create a future lot by the future platting of El Rancho Grande Unit 11.

PROJECT NUMBER: 1002423
Application Number: ~~03DRB-09748~~ 04-08515

PLAT APPROVAL

- Utility Approvals:
- | | |
|--|---------|
| <i>Leand D. Munk</i> | 4-14-04 |
| PNM Electric Services Division | Date |
| <i>Leand D. Munk</i> | 4-14-04 |
| PNM Gas Services Division | Date |
| <i>Mary Ann Gajola</i> | 4-21-04 |
| Qwest | Date |
| <i>Rita Eicks</i> | 4-13-04 |
| Comcast | Date |
| <i>J. B. Hart</i> | 4-13-04 |
| City Surveyor | Date |
| N/A | Date |
| Real Property Division | Date |
| N/A | Date |
| Environmental Health Department | Date |
| <i>Bill S.</i> | 4-21-04 |
| Traffic Engineering, Transportation Division | Date |
| <i>Roger A. Green</i> | 4-21-04 |
| Utilities Development | Date |
| <i>Christina Sandoval</i> | 4/21/04 |
| Parks and Recreation Department | Date |
| <i>Brad L. Bilyu</i> | 4/21/04 |
| AMAFCA | Date |
| <i>Brad L. Bilyu</i> | 4/21/04 |
| City Engineer | Date |
| <i>Sheran Nakson</i> | 4-21-04 |
| DRB Chairperson, Planning Department | Date |

LOCATION MAP 1" = 750' N-9-Z

PURPOSE OF PLAT

1. To create 123 lots & 1 tract as shown hereon.
2. To grant easements as shown hereon.
3. To dedicate street right-of-way as shown hereon.
4. TO vacate easement as shown hereon.

SUBDIVISION DATA

1. Project No.: 1002423
Application No.: 03DRB-00749
2. Zone Atlas Index No.: N-9-Z
3. Total Number of Existing Lots: 0
4. Total Number of Existing Tracts: 1
5. Total Number of Lots created: 123
6. Total Number of Tracts created: 1
7. Miles of Full Width Streets created: 0.7249 mi.
8. Gross Subdivision Acreage: 19.9532 Ac.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances are field and record.
4. Basis of boundary is from the plats of record entitled:
 - "LANDS OF RIO BRAVO PARTNERS", (07-19-90, 90C-163)
 - "ALBUQUERQUE SOUTH, UNIT THREE", (06-05-02, 02C-197)
 - "ATRISCO VILLAGE UNIT J.-T.", (11-20-73, D5-200)
 - "ROSNER TRACT, TRACT A-1, A-2 AND B-1", (03-27-03, 03C-80)
 all being records of Bernalillo County, New Mexico.
5. Field Survey performed on March, 2003.
6. Title Report: None provided.
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: R-2 FOR R-T AND RLT
9. Utility Council Location System Log No.: 2003492071
10. Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
11. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
12. No individual lots shall be allowed direct access to De Anza Drive S.W. and Gibson Boulevard S.W.
13. All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.
14. A 10' Private Joint Use Drainage Easement shall be centered on adjoining side lot lines shown on this plat. The easement shall be maintained by the underlying property owners,(SEE DETAIL ON SHEET 3 OF 3).

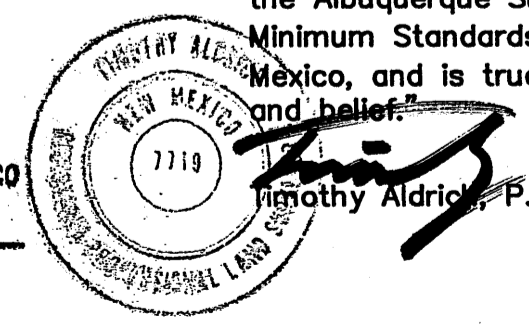
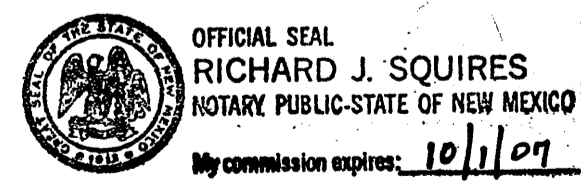
FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 123 lots and 1 tract as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed.

Owner(s): *Norman A. Gregory* April 1, 2004
CENTEX HOMES, NORMAN A. GREGORY LAND DEVELOPMENT, MANAGER Date

STATE OF NEW MEXICO)
BERNALILLO COUNTY) ss
On this 31 day of APRIL, 2004, this instrument was acknowledge before me by Norman A. Gregory, Land Development, Manager, Centex Homes.
[Signature] 10/1/09
Notary Public My Commission Expires

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1-009-054-078-481-2010
PROPERTY OWNER OF RECORD
[Signature]
COUNTY TREASURER'S OFFICE
10/1/09

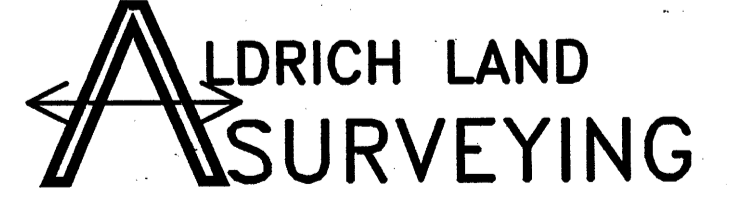


Drawn By:	RJA	Date:	03-29-04
Checked By:	TA	Drawing Name:	03072PLT.DWG
Job No.:	03-072	Sheet:	1 of 3

SURVEYOR'S CERTIFICATION

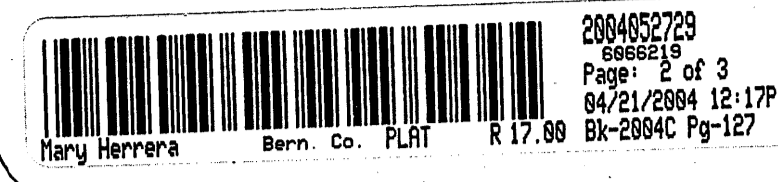
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature] Timothy Aldrich, P.S. No. 7719 Date 03-29-04



P.O. BOX 30701, ALBQ., N.M. 87190
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PLAT FOR
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CITY OF ALBUQUERQUE
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MARCH, 2004

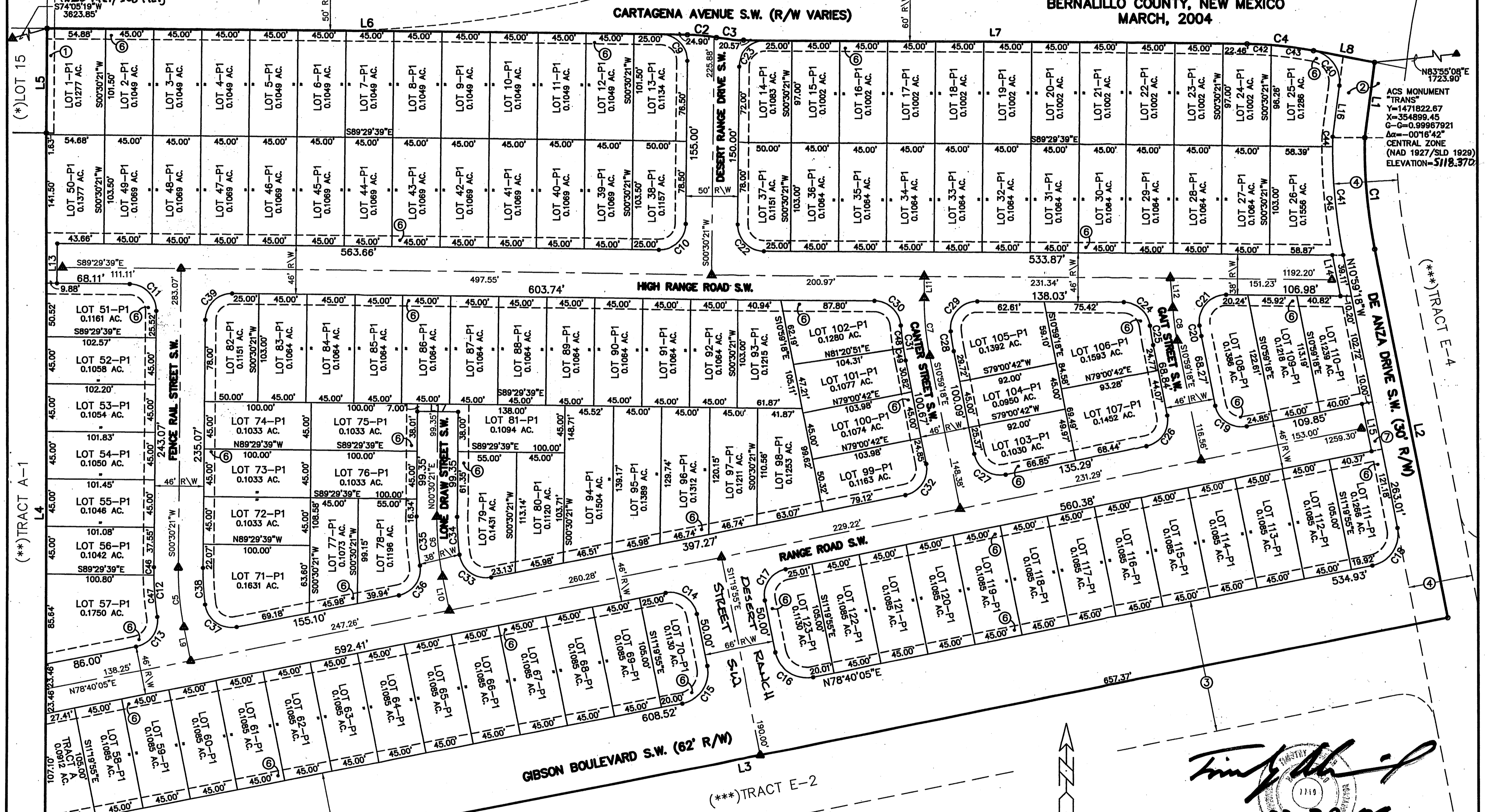


ADJOINER INFORMATION

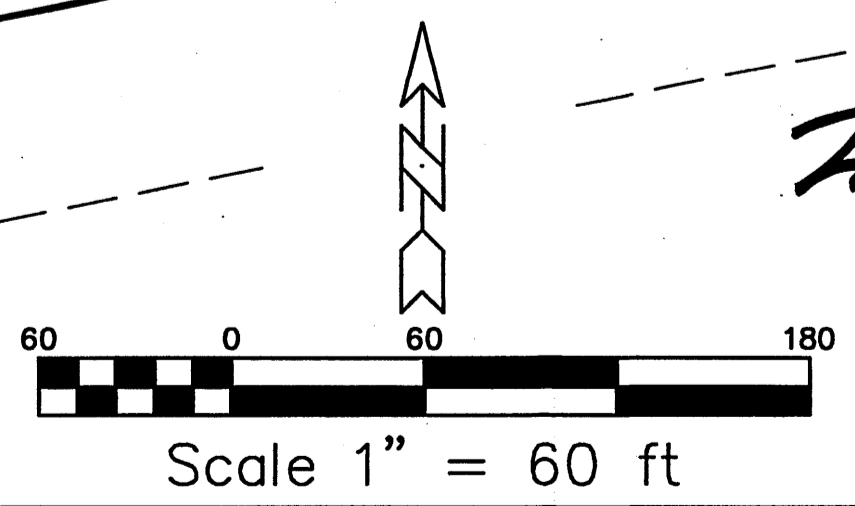
- (*) ATRISCO VILLAGE UNIT J.-T. BLOCK G (11-20-73, D5-200)
- (**) ROSNER TRACT (03-27-03, 03C-80)
- (***) ALBUQUERQUE SOUTH, UNIT THREE (06-05-02, 02C-197)

ACS MONUMENT
 "TRANS"
 Y=1470679.06
 X=348455.82
 C-G=0.99967921
 Az=001°16'42"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 S74°05'19"W
 3623.85'

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 C-G=0.99967921
 Az=001°16'42"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5118.370'



- EASEMENTS**
- ① EXISTING 7' PUBLIC UTILITY EASEMENT (02-05-64, D3-89)
 - ② EXISTING 60' PUBLIC ROADWAY, DRAINAGE, AND UTILITY EASEMENT (11-28-94, 94C-393)
 - ③ EXISTING 124' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
 - ④ EXISTING 80' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
 - ⑤ EXISTING 50' TEMPORARY ACCESS AND DRAINAGE EASEMENT (06-23-80, BKMISC. 780 PGS. 794-803)
 - ⑥ 10' PUE (GRANTED BY THIS PLAT)
 - ⑦ 48' PUBLIC STORM DRAIN AND SANITARY SEWER EASEMENT (GRANTED BY THIS PLAT)
- EXISTING C.O.A. BLANKET DRAINAGE EASEMENT ACROSS TRACT E-1 (11-28-94, 94C-393) (VACATED BY 04DRB-00302)



Drawn By: RJA	Date: 03-29-04
Checked By: TA	Drawing Name: 03072PLT.DWG
Job No.: 03-072	Sheet: 2 of 3

Timothy Aldrich

03-29-04

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

(**) TRACT A-1

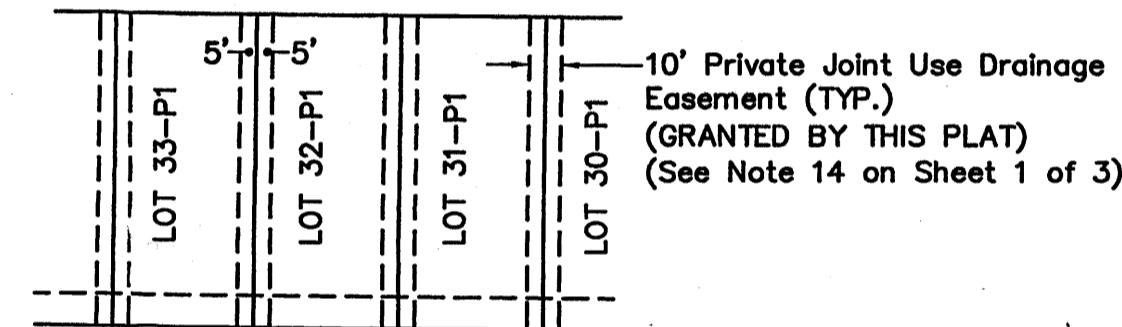
(***) TRACT E-2

(***) TRACT E-4

PLAT FOR
EL RANCHO GRANDE, UNIT 10
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2004



CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	106.57'	12°12'42"	500.00'	53.49'	S04°52'56"E	106.37'
C2	27.42'	10°28'31"	150.00'	13.75'	S84°15'23"E	27.39'
C3	27.42'	10°28'31"	150.00'	13.75'	S84°15'23"E	27.39'
C4	62.46'	10°22'24"	345.00'	31.32'	S84°18'27"E	62.38'
C5	56.82'	11°50'16"	275.00'	28.51'	N05°24'47"W	56.72'
C6	56.82'	11°50'16"	275.00'	28.51'	N05°24'47"W	56.72'
C7	55.17'	11°29'39"	275.00'	27.68'	N05°14'29"W	55.08'
C8	31.17'	06°29'39"	275.00'	15.60'	N07°44'28"W	31.15'
C9	39.27'	90°00'00"	25.00'	25.00'	N44°29'39"W	35.36'
C10	39.27'	90°00'00"	25.00'	25.00'	N45°30'21"E	35.36'
C11	39.27'	90°00'00"	25.00'	25.00'	N44°29'39"W	35.36'
C12	47.22'	09°04'46"	298.00'	23.66'	N04°02'02"W	47.17'
C13	38.07'	87°14'30"	25.00'	23.82'	N35°02'50"E	34.49'
C14	39.27'	90°00'00"	25.00'	25.00'	N56°19'55"W	35.36'
C15	47.12'	90°00'00"	30.00'	30.00'	N33°40'05"E	42.43'
C16	47.12'	90°00'00"	30.00'	30.00'	N56°19'55"W	42.43'
C17	39.27'	90°00'00"	25.00'	25.00'	N33°40'05"E	35.36'
C18	46.94'	89°39'23"	30.00'	29.82'	N33°50'23"E	42.30'
C19	39.42'	90°20'37"	25.00'	25.15'	N56°09'37"W	35.46'
C20	10.02'	02°16'43"	252.00'	5.01'	N09°50'56"W	10.02'
C21	43.29'	99°12'56"	25.00'	29.38'	N40°53'53"E	38.08'
C22	39.27'	90°00'00"	25.00'	25.00'	N44°29'39"W	35.36'
C23	39.27'	90°00'00"	25.00'	25.00'	N45°30'21"E	35.36'
C24	35.83'	82°06'26"	25.00'	21.77'	N48°26'26"W	32.84'
C25	18.73'	03°36'05"	298.00'	9.37'	N09°11'15"W	18.73'
C26	39.12'	89°39'23"	25.00'	24.85'	N33°50'23"E	35.25'
C27	39.42'	90°20'37"	25.00'	25.15'	N56°09'37"W	35.46'
C28	19.29'	04°23'11"	252.00'	9.65'	N08°47'43"W	19.29'
C29	42.37'	97°06'28"	25.00'	28.31'	N41°57'07"E	37.48'
C30	37.09'	85°00'40"	25.00'	22.91'	N46°59'19"W	33.78'
C31	33.84'	06°30'19"	298.00'	16.94'	N07°44'08"W	33.82'
C32	39.12'	89°39'23"	25.00'	24.85'	N33°50'23"E	35.25'
C33	40.95'	93°51'30"	25.00'	26.74'	N54°24'10"W	36.53'
C34	35.65'	07°58'46"	256.00'	17.86'	N03°29'02"W	35.62'
C35	46.41'	09°02'42"	294.00'	23.25'	N04°01'00"W	46.36'
C36	38.05'	87°12'25"	25.00'	23.81'	N35°03'52"E	34.48'
C37	40.98'	93°55'35"	25.00'	26.77'	N54°22'08"W	36.55'
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C39	39.27'	90°00'00"	25.00'	25.00'	N45°30'21"E	35.36'
C40	45.18'	86°17'20"	30.00'	28.12'	N35°56'49"W	41.03'
C41	112.96'	12°12'42"	530.00'	56.70'	N04°52'56"W	112.75'
C42	22.56'	03°44'47"	345.00'	11.28'	S87°37'15"E	22.55'
C43	39.90'	06°37'37"	345.00'	19.97'	S82°26'03"E	39.88'
C44	9.57'	01°02'05"	530.00'	4.79'	N00°42'23"E	9.57'
C45	103.39'	11°10'37"	530.00'	51.86'	N05°23'59"W	103.24'
C46	7.45'	01°25'55"	298.00'	3.72'	N00°12'36"W	7.45'
C47	39.77'	07°38'51"	298.00'	19.92'	N04°45'00"W	39.75'
C48	21.69'	04°10'10"	298.00'	10.85'	N06°34'04"W	21.68'
C49	12.15'	02°20'09"	298.00'	6.08'	N09°49'13"W	12.15'



DRAINAGE EASEMENT DETAIL
 NOT TO SCALE

LINE	DIRECTION	DISTANCE
L1	S07°11'51"W	72.18'
L2	S10°59'18"E	354.65'
L3	S78°40'05"W	1341.35'
L4	N00°01'54"E	721.55'
L5	N00°24'31"E	99.89'
L6	S89°29'39"E	599.78'
L7	S89°29'39"E	473.03'
L8	S79°07'15"E	58.19'
L9	N11°19'55"W	32.46'
L10	N11°19'55"W	32.46'
L11	N00°30'21"E	19.91'
L12	S04°29'39"E	27.72'
L13	S00°30'21"W	38.00'
L14	S10°59'18"E	38.78'
L15	S10°59'18"E	46.00'
L16	S07°11'51"W	49.09'
L17	S89°29'39"E	38.00'

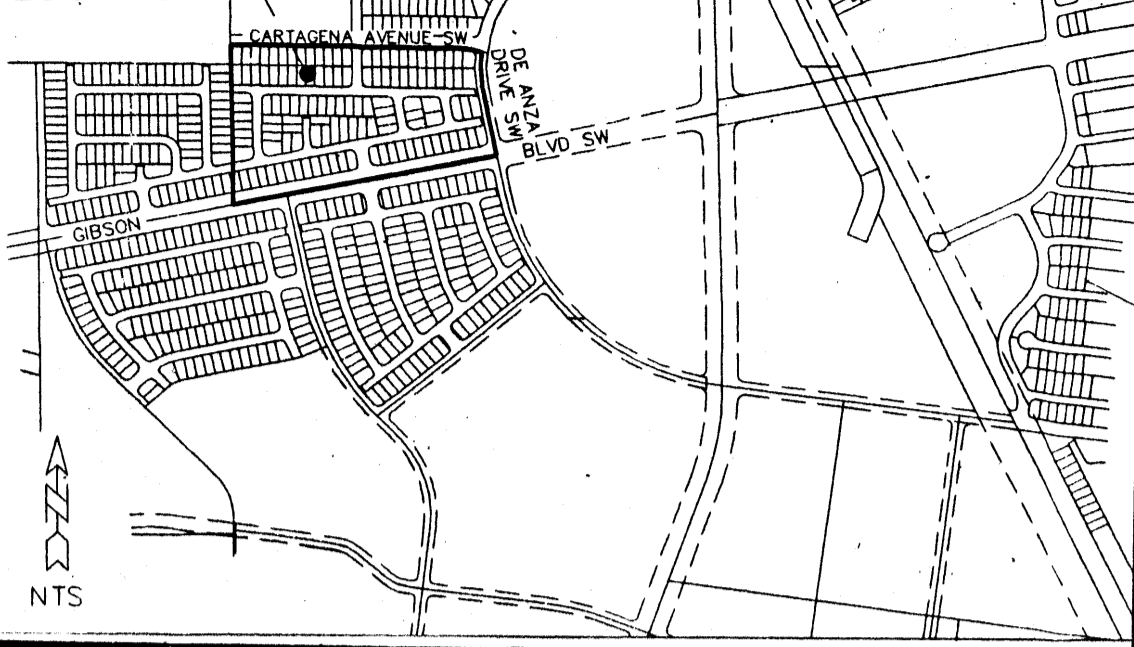
Timothy A. Aldrich
 03-29-04

ALDRICH LAND SURVEYING

Drawn By:	RJA	Date:	03-29-04
Checked By:	TA	Drawing Name:	03072PLT.DWG
Job No.:	03-072	Sheet:	3 of 3

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT LOCATION



LOCATION MAP 1" = 750' N-9-Z

PURPOSE OF PLAT

- 1. To create 123 lots & 1 tract as shown hereon.
- 2. To grant easements as shown hereon.
- 3. To dedicate street right-of-way as shown hereon.
- 4. TO vacate easement as shown hereon.

SUBDIVISION DATA

- 1. Project No.: 1002423
Application No.: 03DRB-00749
- 2. Zone Atlas Index No.: N-9-Z
- 3. Total Number of Existing Lots: 0
- 4. Total Number of Existing Tracts: 1
- 5. Total Number of Lots created: 123
- 6. Total Number of Tracts created: 1
- 7. Miles of Full Width Streets created: 0.7249 mi.
- 8. Gross Subdivision Acreage: 19.9532 Ac.

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- 2. Distances are ground distances.
- 3. Bearings and distances are field and record.
- 4. Basis of boundary is from the plats of record entitled:
 - "LANDS OF RIO BRAVO PARTNERS", (07-19-90, 90C-163)
 - "ALBUQUERQUE SOUTH, UNIT THREE", (06-05-02, 02C-197)
 - "ATRISCO VILLAGE UNIT J.-T.", (11-20-73, D5-200)
 - "ROSNER TRACT, TRACT A-1, A-2 AND B-1", (03-27-03, 03C-80)
 all being records of Bernalillo County, New Mexico.
- 5. Field Survey performed on March, 2003.
- 6. Title Report: None provided.
- 7. Address of Property: None provided.
- 8. City of Albuquerque, New Mexico Zone: R-2 FOR R-T AND RLT
- 9. Utility Council Location System Log No.: 2003492071
- 10. Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
- 11. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
- 12. No individual lots shall be allowed direct access to De Anza Drive S.W. and Gibson Boulevard S.W.
- 13. All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.
- 14. A 10' Private Joint Use Drainage Easement shall be centered on adjoining side lot lines shown on this plat. The easement shall be maintained by the underlying property owner. (SEE DETAIL ON SHEET 3 OF 3).

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT E-1, ALBUQUERQUE SOUTH, UNIT THREE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 5, 2002 in Book 02C, Folio 197 and containing 19.9532 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- 1. PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
- 2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- 3. Qwest Telecommunications for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
- 4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

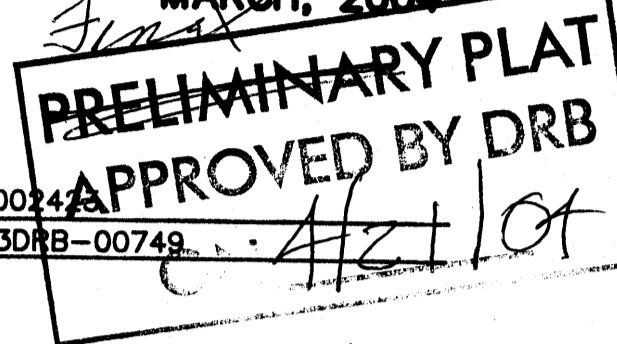
The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 123 lots and 1 tract as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed.

Owner(s): Norman A. Gregory April 1, 2004
CENTEX HOMES, NORMAN A. GREGORY, LAND DEVELOPMENT, MANAGER Date

STATE OF NEW MEXICO)
BERNALILLO COUNTY) SS
On this 1st day of APRIL, 2004, this instrument was acknowledge before me by Norman A. Gregory, Land Development, Manager, Centex Homes.

[Signature] 10/1/09
Notary Public My Commission Expires

PLAT FOR
EL RANCHO GRANDE, UNIT 10
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2004



PROJECT NUMBER: 1002423
Application Number: 03DRB-00749

PLAT APPROVAL

Utility Approvals:

PNM Electric Services Division _____ Date

PNM Gas Services Division _____ Date

Qwest _____ Date

Comcast _____ Date

City Approvals:

City Surveyor _____ Date

Real Property Division _____ Date

Environmental Health Department _____ Date

Traffic Engineering, Transportation Division _____ Date

Utilities Development _____ Date

Parks and Recreation Department _____ Date

AMAFA _____ Date

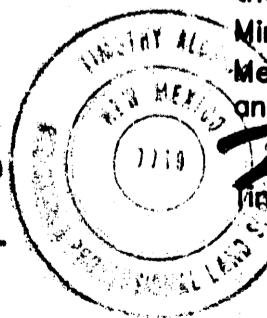
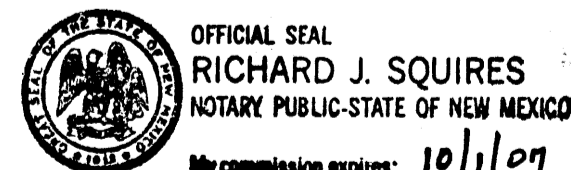
City Engineer _____ Date

DRB Chairperson, Planning Department _____ Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 03-29-04
Timothy Aldrich, P.S. No. 7719 Date



Drawn By:	RJA	Date:	03-29-04
Checked By:	TA	Drawing Name:	03072PLT.DWG
Job No.:	03-072	Sheet:	1 of 3



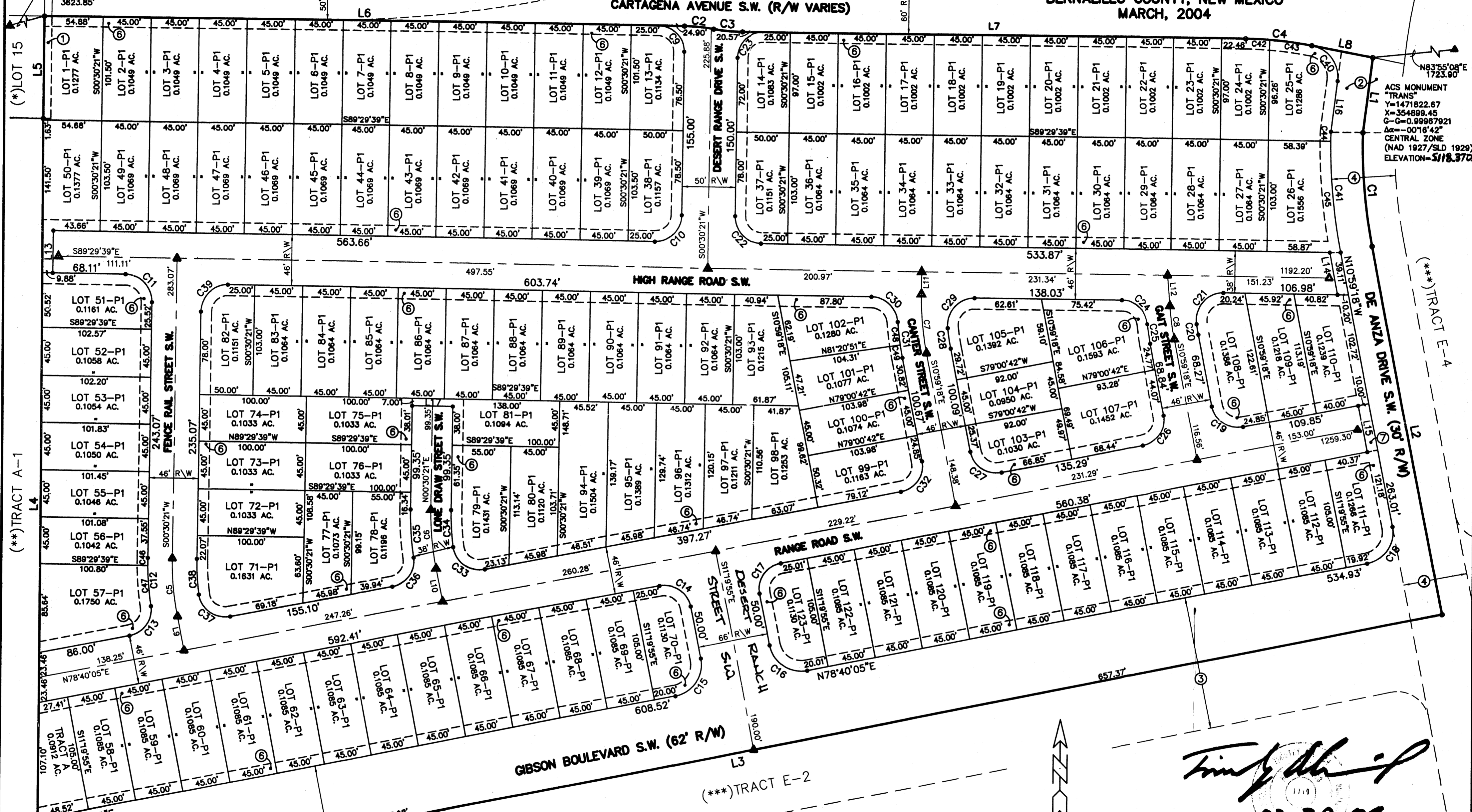
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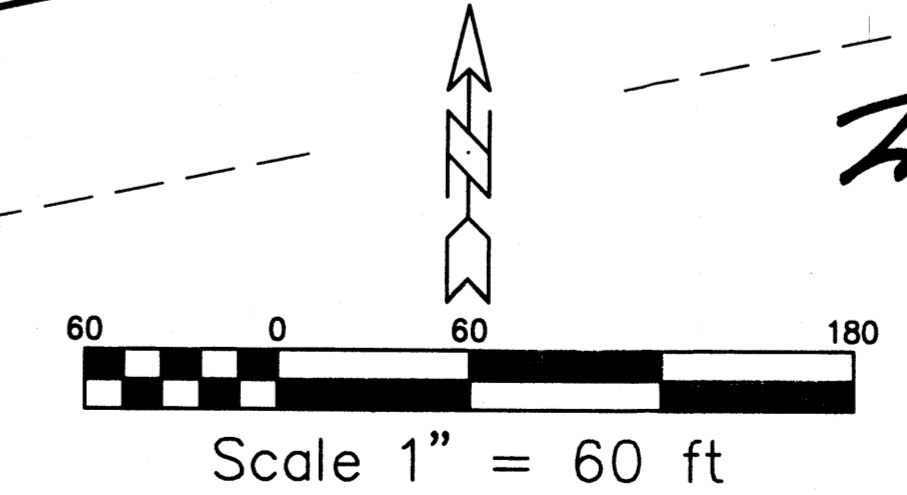
ADJOINER INFORMATION
 (*) ATRISCO VILLAGE UNIT J.-T.
 BLOCK G
 (11-20-73, D5-200)
 (**) ROSNER TRACT
 (03-27-03, 03C-80)
 (***) ALBUQUERQUE SOUTH, UNIT THREE
 (06-05-02, 02C-197)

ACS MONUMENT
 "1-NB"
 X=1470679.06
 Y=348455.82
 G=0.99987280
 Az=0017.28
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 S74°05'19"W
 3823.85'

ACS MONUMENT
 "TRANS"
 X=1471822.67
 Y=354899.45
 G=0.99987921
 Az=0016'42"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5118.372



- EASEMENTS**
- ① EXISTING 7' PUBLIC UTILITY EASEMENT (02-05-64, D3-89)
 - ② EXISTING 60' PUBLIC ROADWAY, DRAINAGE, AND UTILITY EASEMENT (11-28-94, 94C-393)
 - ③ EXISTING 124' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
 - ④ EXISTING 60' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
 - ⑤ EXISTING 50' TEMPORARY ACCESS AND DRAINAGE EASEMENT (06-23-80, BK.MISC. 780 PGS. 794-803)
 - ⑥ 10' PUE (GRANTED BY THIS PLAT)
 - ⑦ 46' PUBLIC STORM DRAIN AND SANITARY SEWER EASEMENT (GRANTED BY THIS PLAT)
- EXISTING C.O.A. BLANKET DRAINAGE EASEMENT ACROSS TRACT E-1 (11-28-94, 94C-393) (VACATED BY 04DRB-00302)



Drawn By:	RJA	Date:	03-29-04
Checked By:	TA	Drawing Name:	03072PLT.DWG
Job No.:	03-072	Sheet:	2 of 3

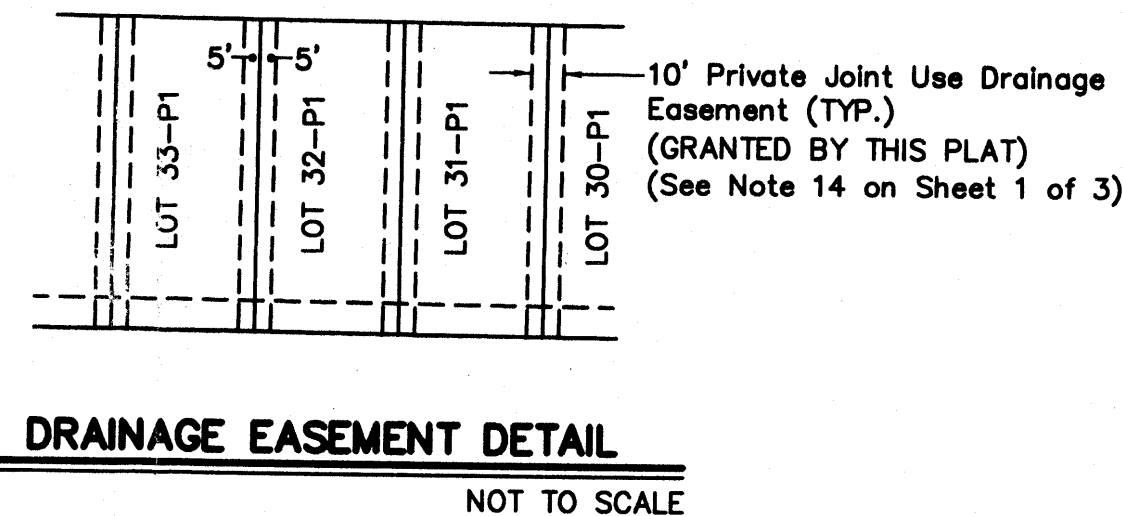
Tracy A. Rich
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ALDRICH LAND SURVEYING
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C49	12.15'	02°20'09"	298.00'	6.08'	N09°49'13"W	12.15'

LINE	DIRECTION	DISTANCE
L1	S07°11'51"W	72.18'
L2	S10°59'18"E	354.65'
L3	S78°40'05"W	1341.35'
L4	N00°01'54"E	721.55'
L5	N00°24'31"E	99.89'
L6	S89°29'39"E	599.78'
L7	S89°29'39"E	473.03'
L8	S79°07'15"E	58.19'
L9	N11°19'55"W	32.46'
L10	N11°19'55"W	32.46'
L11	N00°30'21"E	19.91'
L12	S04°29'39"E	27.72'
L13	S00°30'21"W	38.00'
L14	S10°59'18"E	38.78'
L15	S10°59'18"E	46.00'
L16	S07°11'51"W	49.09'
L17	S89°29'39"E	38.00'



Timothy A. Aldrich
 03-29-04

Drawn By:	RJA	Date:	03-29-04
Checked By:	TA	Drawing Name:	03072PLT.DWG
Job No.:	03-072	Sheet:	3 of 3

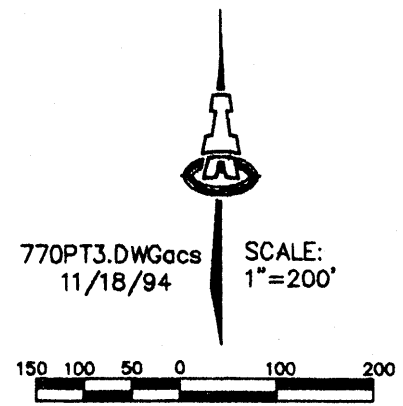
ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA
C1	422.00	182.39	24°45'48"
C2	450.00	194.49	24°45'48"
C3	478.00	206.59	24°45'48"
C4	572.00	686.16	68°43'53"
C5	600.00	719.75	68°43'53"
C6	628.00	753.34	68°43'53"
C7	25.00	34.58	79°15'00"
C8	25.00	43.96	100°45'00"
C9	560.00	466.96	47°46'35"
C10	640.00	533.67	47°46'35"
C11	400.00	172.60	24°43'25"
C12	372.00	285.68	44°00'00"
C13	400.00	134.58	19°16'35"
C14	25.00	39.27	90°00'00"
C15	150.00	27.42	10°28'31"
C16	340.00	417.45	70°20'53"
C17	405.00	74.48	10°32'11"
C18	375.00	67.89	10°22'24"
C19	345.00	62.46	10°22'24"
C20	25.00	38.09	87°17'33"
C21	580.00	293.36	28°58'47"
C22	550.00	330.45	34°25'27"
C23	520.00	343.87	37°53'19"
C24	630.00	417.83	38°00'00"
C25	600.00	397.94	38°00'00"
C26	570.00	378.04	38°00'00"
C27	30.00	52.36	100°00'00"
C28	30.00	55.50	106°00'00"
C29	260.00	319.23	70°20'53"

LINE TABLE

LINE	DIRECTION	DISTANCE
L1	N 44°30'21" E	75.75
L2	S 66°55'22" E	11.66
L3	S 66°55'22" E	104.67
L4	S 25°16'00" E	71.02
L5	S 89°16'14" E	62.66
L6	S 79°07'15" E	56.02
L7	S 79°07'15" E	88.35
L8	S 04°02'12" E	50.16
L9	S 64°50'27" W	409.61
L10	S 65°14'05" W	268.34
L11	S 55°39'30" W	135.50
L12	S 36°48'26" W	136.71
L13	S 19°16'54" W	135.72
L14	S 04°02'12" W	165.16
L15	S 00°24'25" W	419.91
L16	S 25°16'00" E	21.64
L17	N 89°30'43" W	1104.83
L18	N 52°56'50" E	63.53
L19	N 44°30'21" E	44.78



State of New Mexico: G.S.
County of Bernalillo
This instrument was filed for recording on
11-22-94
94139440
PLAT OF
**ALBUQUERQUE SOUTH,
UNIT THREE**
TRACTS A THROUGH E
WITHIN PROJECTED SECTION 33, T. 10 N., R. 2 E., N.M.P.M.
TOWN OF ATRISCO GRANT
ALBUQUERQUE NEW MEXICO
SEPTEMBER 1994

- EASEMENT NOTES**
- 14' PUBLIC UTILITY EASEMENT AS FOUND ON THE PLAT OF "UNIT FIVE, ATRISCO VILLAGE, BLOCKS 50-63, OF SNOW VISTA SUBD." FILED ON 2/5/64 IN VOL. D3, FOLIO 89 (EASEMENTS TO BE VACATED BY THIS PLAT INDICATED BY V, SEE NOTE NO. 5, SHT. 2 OF 3).
 - 60' SEWER LINE EASEMENT. CAUSE NO. 83464 FILED 8/25/60 TO ATRISCO UTILITIES INC (TO BE VACATED BY THIS PLAT).
 - 50' TEMPORARY ACCESS & DRAINAGE EASEMENT FILED 6/23/80 IN BK. MSC. 780 PP. 794-803.
 - 100' DRAINAGE EASEMENT AS FOUND ON THE PLAT OF "UNIT FIVE, ATRISCO VILLAGE, BLOCKS 50-63, OF SNOW VISTA SUBD." FILED ON 2/5/64 IN VOL. D3, FOLIO 89 (TO BE VACATED BY THIS PLAT).
 - 30' DRAINAGE EASEMENT AS FOUND ON THE PLAT OF "UNIT FIVE, ATRISCO VILLAGE, BLOCKS 50-63, OF SNOW VISTA SUBD." FILED ON 2/5/64 IN VOL. D3, FOLIO 89.
 - 20' PUBLIC UTILITY EASEMENT FILED 1/30/80 IN BK. M.C. 749, PG. 620.
 - 10' PNM & MST&T EASEMENT FILED 1/30/80 IN BK. MSC. 749, PG. 596.
 - 14'x35' PUBLIC UTILITY EASEMENT FILED 2/5/64 IN BK. D3, PG. 89.
 - 60' PUBLIC ROADWAY, DRAINAGE & UTILITY EASEMENT GRANTED BY THIS PLAT.
 - A BLANKET DRAINAGE EASEMENT IS GRANTED ACROSS TRACTS A, B, D, & E TO THE CITY OF ALBUQUERQUE. REMOVAL OF THIS EASEMENT SHALL BE PER THE CONDITIONS LISTED IN THE BULK LAND VARIANCE.

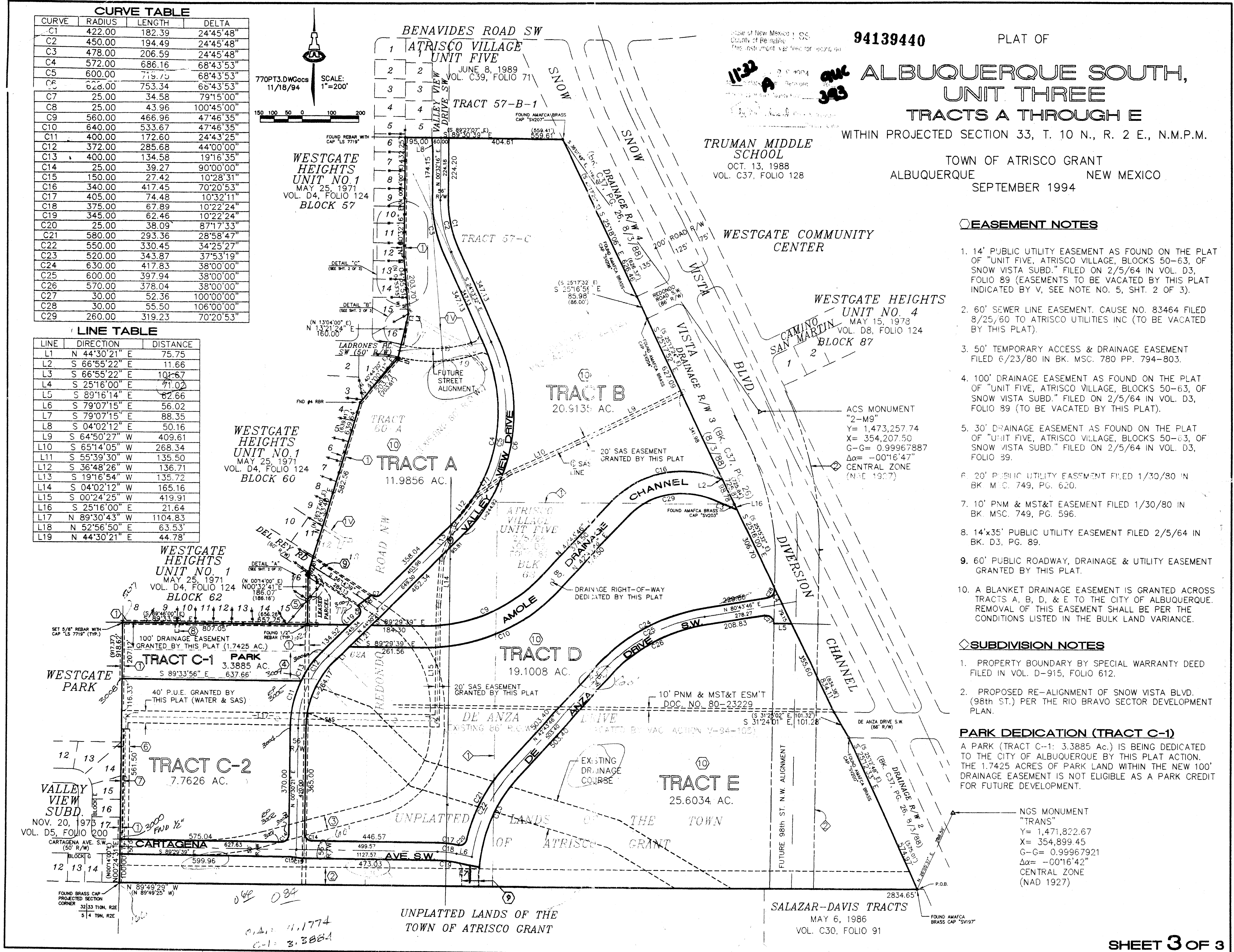
- SUBDIVISION NOTES**
- PROPERTY BOUNDARY BY SPECIAL WARRANTY DEED FILED IN VOL. D-915, FOLIO 612.
 - PROPOSED RE-ALIGNMENT OF SNOW VISTA BLVD. (98th ST.) PER THE RIO BRAVO SECTOR DEVELOPMENT PLAN.

PARK DEDICATION (TRACT C-1)
A PARK (TRACT C-1: 3.3885 Ac.) IS BEING DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT ACTION. THE 1.7425 ACRES OF PARK LAND WITHIN THE NEW 100' DRAINAGE EASEMENT IS NOT ELIGIBLE AS A PARK CREDIT FOR FUTURE DEVELOPMENT.

NGS MONUMENT "TRANS"
Y= 1,471,822.67
X= 354,899.45
G-G= 0.99967921
Δα= -00°16'42"
CENTRAL ZONE (NAD 1927)

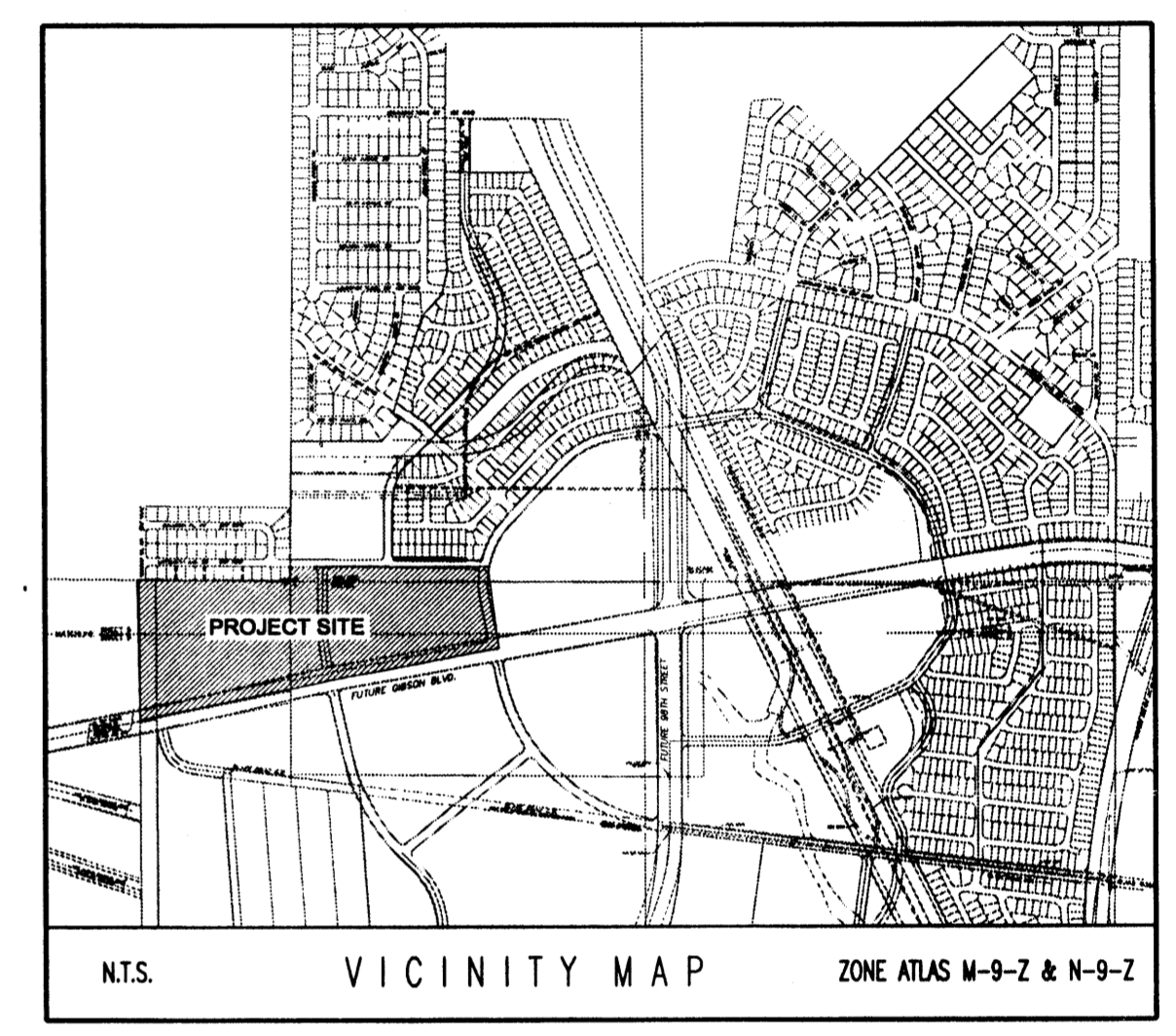
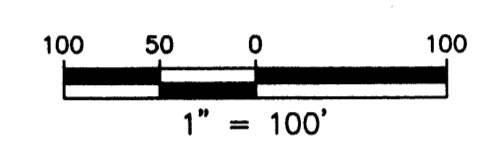
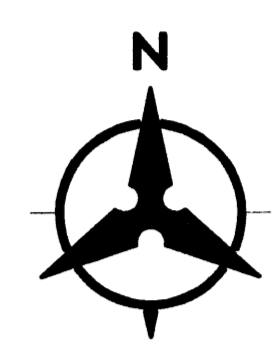
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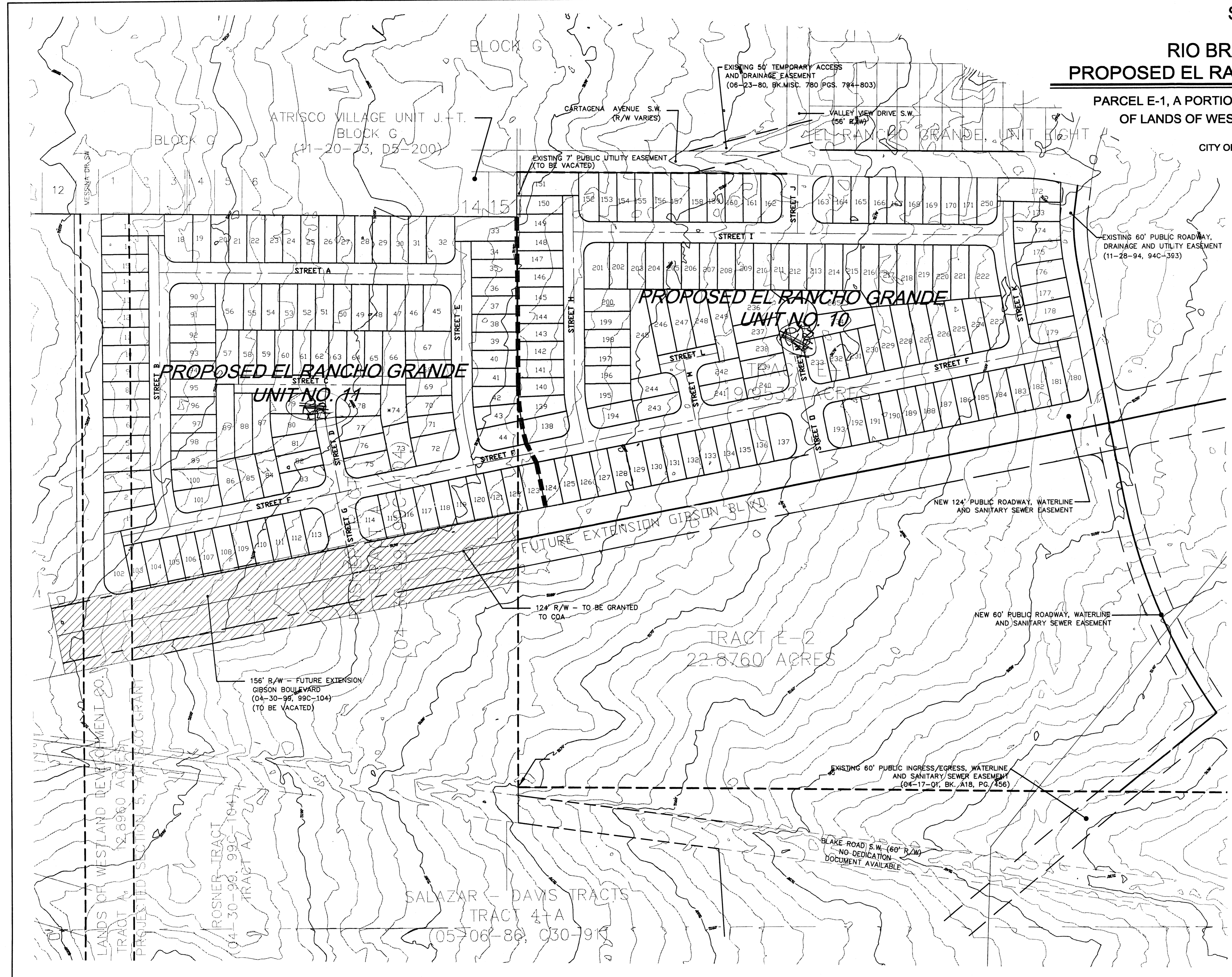
SKETCH PLAT FOR RIO BRAVO SECTOR PLAN PROPOSED EL RANCHO GRANDE UNITS 10 & 11

PARCEL E-1, A PORTION OF ROSNER TRACT A, AND A PORTION
OF LANDS OF WESTLAND DEVELOPMENT CO. TRACT A
JANUARY, 2003
CITY OF ALBUQUERQUE, NEW MEXICO



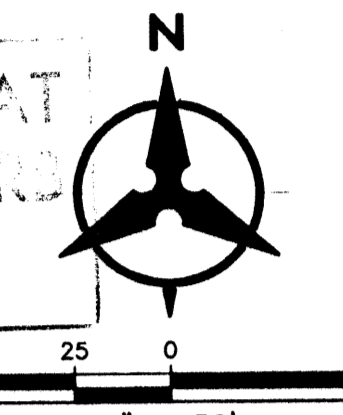
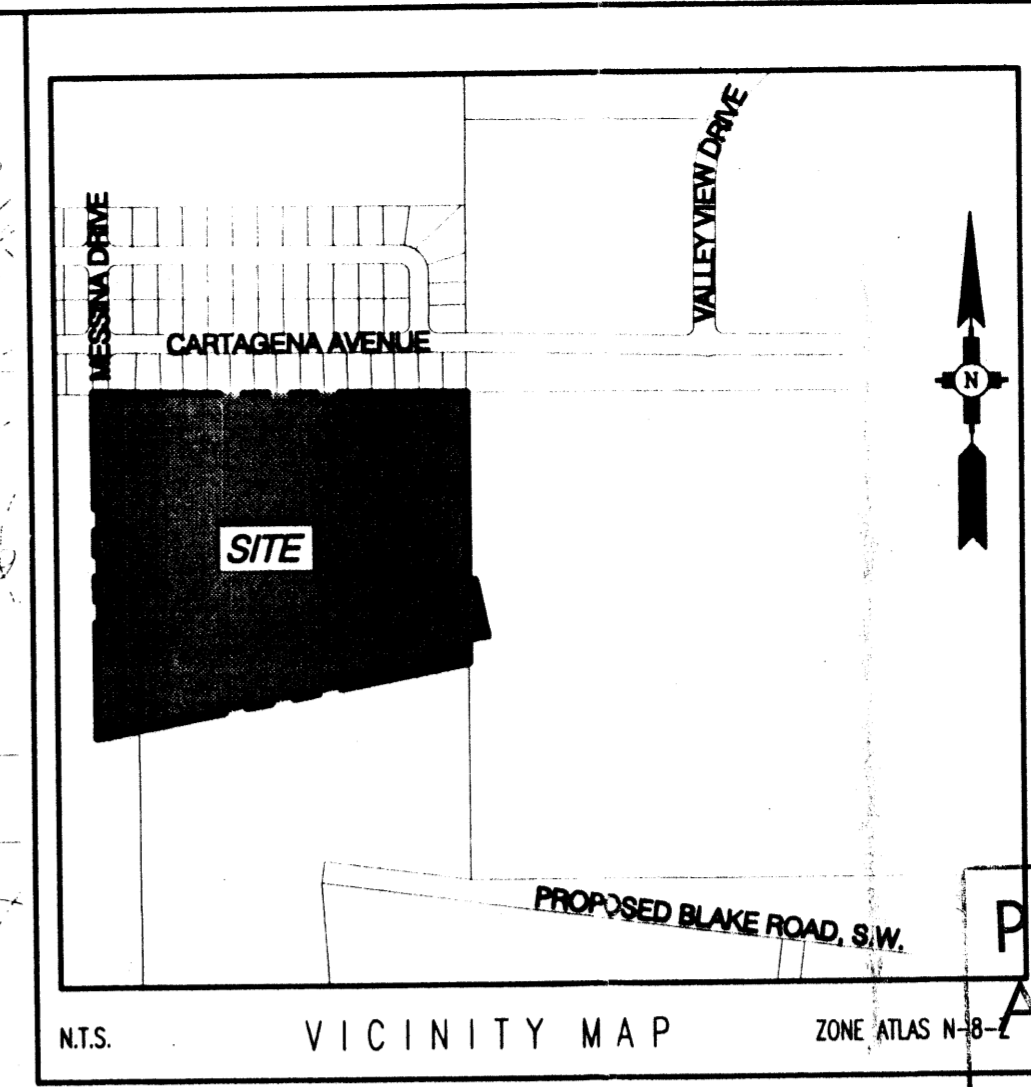
SITE DATA

ZONE ATLAS NO.	M-9-Z AND N-9-Z
NO. OF LOTS CREATED	249

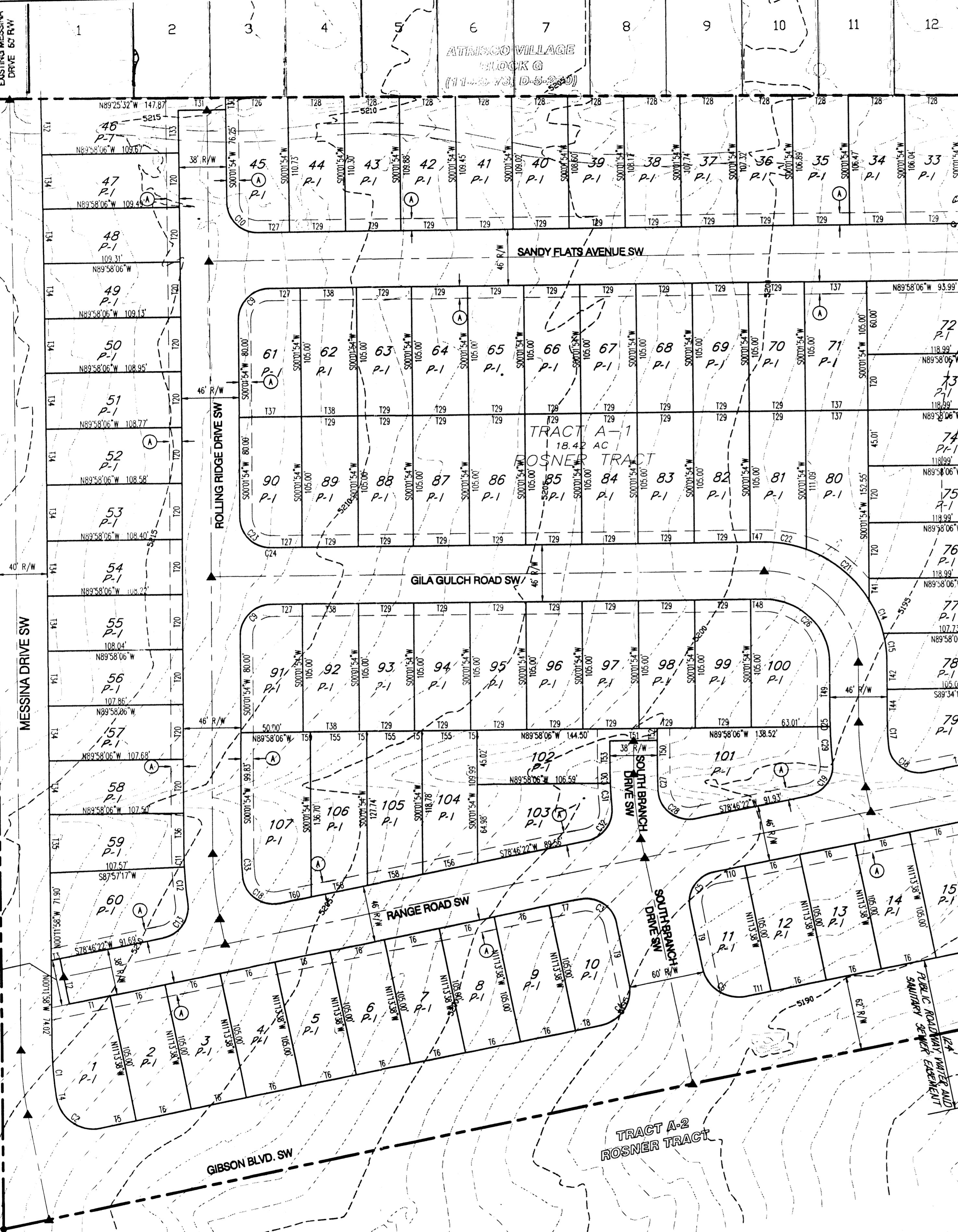


PRELIMINARY PLAT FOR
EL RANCHO GRANDE
UNIT 11 SUBDIVISION

TRACT A-1
ROSNER TRACT
WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 5, TOWNSHIP 9 NORTH,
RANGE 2 EAST, NMPM
AND TRACT A
EL RANCHO GRANDE UNIT 10
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO
MAY 2003



ACS BRASS TABLET STAMPED "TRANS"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X= 354,899.45 Y= 1,471,822.67
Ground-to-Grid Factor = 0.99967921
Δα = -00°16'42"
SLD 1929 ELEVATION = 5118.43



LEGEND

- SUBDIVISION BOUNDARY LINE
- EXISTING SUBDIVISION BOUNDARY
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- CENTERLINE MONUMENT TO BE INSTALLED
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- TRACT A EL RANCHO GRANDE UNIT 10

KEYED NOTES

(A) 10' PUBLIC UTILITY EASEMENT

Curve Data

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	09°04'55"	19.86	39.63	250.00	39.59	S04°14'25"E
C2	91°56'46"	31.04	48.14	30.00	4.14	S55°15'15"E
C3	90°00'00"	25.00	39.27	25.00	35.36	N56°13'38"W
C4	90°00'00"	30.00	47.12	30.00	42.43	N33°46'22"E
C5	90°00'00"	25.00	39.27	25.00	35.36	S33°46'22"W
C6	90°00'00"	30.00	47.12	30.00	42.43	S56°13'38"E
C7	05°46'57"	12.73	25.43	252.00	24.42	S02°31'34"E
C8	95°28'19"	22.01	33.33	20.00	29.60	S53°29'28"E
C9	90°00'00"	25.00	39.27	25.00	35.36	N45°01'54"E
C10	90°00'00"	25.00	39.27	25.00	35.36	S44°58'06"E
C11	02°04'38"	5.40	10.80	298.00	10.80	N01°00'24"W
C12	05°47'03"	15.05	30.08	298.00	30.07	S04°56'15"E
C13	86°36'08"	23.56	37.79	25.00	34.29	S35°28'18"W
C14	17°25'18"	15.02	29.80	98.00	28.68	S22°14'38"E
C15	13°33'54"	11.66	23.20	98.00	23.15	S06°45'02"E
C16	00°27'41"	1.20	2.40	298.00	2.40	N00°11'56"W
C17	04°23'30"	9.66	19.31	252.00	15.31	S02°09'50"E
C18	95°52'03"	28.19	42.27	25.00	37.41	S52°47'37"E
C19	95°10'46"	22.98	37.17	25.00	33.84	N36°10'59"E
C20	05°58'37"	15.56	31.09	298.00	31.07	N03°25'06"W
C21	38°42'47"	34.43	66.22	98.00	64.96	S01°18'41"E
C22	20°18'02"	17.55	34.72	98.00	34.54	S79°49'05"E
C23	90°01'54"	25.01	38.28	25.00	35.37	S44°59'03"E
C24	00°01'54"	0.01	0.01	25.00	0.01	N89°59'03"W
C25	00°40'13"	1.74	3.49	298.00	3.49	N00°18'12"W
C26	90°00'00"	52.00	81.88	52.00	73.54	N44°58'06"W
C27	03°15'32"	7.28	14.56	256.00	14.56	S01°39'52"E
C28	98°00'01"	28.76	42.76	25.00	37.74	S57°13'38"E
C29	05°46'06"	15.01	30.00	298.00	29.99	N03°31'21"W
C30	01°27'17"	3.73	7.46	294.00	7.46	N00°41'44"W
C31	04°01'12"	10.32	20.63	294.00	20.62	S03°25'59"E
C32	84°12'57"	22.60	36.75	25.00	33.53	S36°29'53"W
C33	04°23'30"	9.66	19.32	252.00	16.31	S02°09'50"E

LEGAL DESCRIPTION

TRACT A-1 OF THE ROSNER TRACT

GENERAL NOTES

- EXISTING ZONING: R-LT
PROPOSED DEVELOPMENT: R-LT
- PROPOSED NET ACREAGE: 18.42 ACRES
NUMBER OF LOTS: 107 D.U.
PROPOSED DENSITY: 5.81 D.U./ACRE
- MIN. LOT DIMENSIONS: 45' x 105' MIN.
MINIMUM LOT AREA: 4725 SQ. FT.
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO R-LT ZONING REQUIREMENTS
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO PROPOSED MESSINA DRIVE AND/OR THE FUTURE EXTENSION OF GIBSON BLVD.
- ALL LOTS SHOWN WITH THE P.I. DESIGNATION SHALL CONFORM TO INTERMEDIATE PARKING DESIGN CRITERIA #1.

SITE DATA

ID	BEARING	DISTANCE
T1	S78°46'22"W	33.19'
T2	N113°38'W	38.00'
T3	S78°46'22"W	7.08'
T4	N09°16'53"W	0.00'
T5	S78°46'22"W	28.92'
T6	S78°46'22"W	45.00'
T7	S78°46'22"W	25.00'
T8	S78°46'22"W	23.00'
T9	N113°38'W	50.00'
T10	S78°46'22"W	25.01'
T11	S78°46'22"W	20.01'
T12	S78°46'22"W	42.47'
T13	S78°40'05"W	2.53'
T14	S78°35'16"W	27.42'
T15	S78°46'22"W	18.38'
T16	S78°40'05"W	45.99'
T17	S00°01'54"W	27.40'
T18	S78°05'00"W	4.59'
T19	S00°01'54"W	54.42'
T20	S00°01'54"W	45.00'
T21	S00°01'55"W	10.00'
T22	N89°25'32"W	38.00'
T23	S00°01'54"W	35.84'
T24	S00°01'54"W	44.84'
T25	N89°25'32"W	50.00'
T26	N89°58'06"W	25.00'
T27	N89°25'32"W	45.00'
T28	N89°58'06"W	45.00'
T29	N89°58'06"W	45.00'
T30	S00°01'54"W	9.95'
T31	N89°38'44"W	38.00'
T32	N00°11'58"W	45.96'
T33	S00°01'54"W	34.82'
T34	N00°11'58"W	45.00'
T35	N00°11'58"W	48.17'
T36	S00°01'54"W	33.47'
T37	N89°58'06"W	50.00'
T38	N89°58'06"W	45.01'
T39	S00°01'54"W	35.00'
T40	S00°01'54"W	45.01'
T41	S00°01'54"W	17.53'
T42	S00°01'54"W	22.70'
T43	S00°01'54"W	42.44'
T44	S00°01'54"W	26.81'
T45	S78°46'22"W	57.48'
T46	N89°58'06"W	11.00'
T47	N89°58'06"W	10.99'
T48	S00°01'54"W	49.51'
T49	S00°01'54"W	37.55'
T50	N89°58'06"W	38.00'
T51	S00°01'54"W	10.00'
T52	S00°01'54"W	27.55'
T53	N89°58'06"W	4.99'
T54	N89°58'06"W	39.16'
T55	S78°46'22"W	45.01'
T56	N89°58'06"W	5.84'
T57	S78°46'22"W	45.88'
T58	N89°58'06"W	5.85'
T59	S78°46'22"W	25.80'

SURVEY NOTES

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN (▲) AND SHALL BE MARKED BY (*) ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 11993".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASES OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 5/7/03
CITY SURVEYOR / DATE

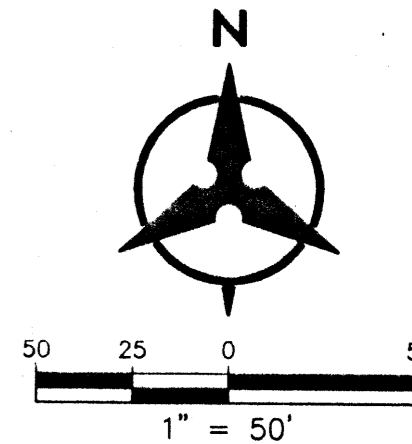
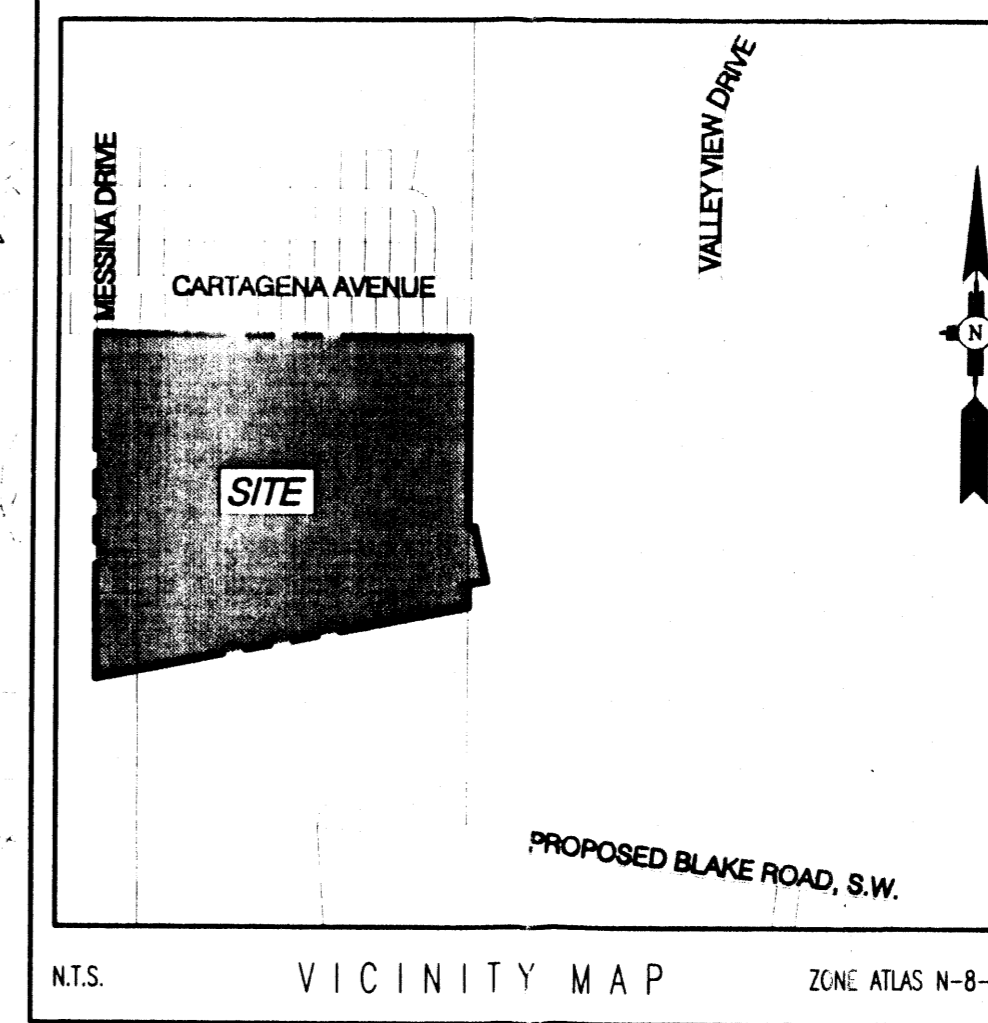
[Signature] 5/7/03
BO JOHNSON / DATE
VICE PRESIDENT, CURB INC.

Bohannon & Huston
 Courtyard 1 7500 Jefferson St NE Albuquerque, NM 87109-4336
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

ACS BRASS TABLET STAMPED "11-N8"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X= 348,455.82 Y= 1,470,679.06
Ground-to-Grid Factor = 0.99967260
Δα = -00°17'16"

PRELIMINARY PLAT FOR
EL RANCHO GRANDE
UNIT 11 SUBDIVISION

TRACT A-1
ROSNER TRACT
WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 5, TOWNSHIP 9 NORTH,
RANGE 2 EAST, NMPM
AND TRACT A
EL RANCHO GRANDE UNIT 10
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO
MAY 2003



LEGEND

- SUBDIVISION BOUNDARY LINE
- EXISTING SUBDIVISION BOUNDARY
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- CENTERLINE MONUMENT TO BE INSTALLED
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- TRACT A EL RANCHO GRANDE UNIT 10

KEYED NOTES

(A) 10' PUBLIC UTILITY EASEMENT

Curve Data

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	09°04'55"	19.86	39.63	250.00	39.58	S04°44'25"E
C2	91°56'46"	31.04	48.14	30.00	43.14	S55°15'15"E
C3	90°00'00"	25.00	39.27	25.00	35.36	N56°13'38"W
C4	90°00'00"	30.00	47.12	30.00	42.43	N33°46'22"E
C5	90°00'00"	25.00	39.27	25.00	35.36	S33°46'22"E
C6	90°00'00"	30.00	47.12	30.00	42.43	S56°13'38"W
C7	05°46'57"	12.73	25.43	252.00	25.42	S02°51'34"E
C8	95°28'19"	22.01	33.33	20.00	29.60	S53°29'29"E
C9	90°00'00"	25.00	39.27	25.00	35.36	N45°01'54"E
C10	90°00'00"	25.00	39.27	25.00	35.36	S44°58'06"E
C11	02°04'38"	5.40	10.80	298.00	10.80	N01°00'24"W
C12	05°47'03"	15.05	30.08	298.00	30.07	S04°56'15"E
C13	86°36'08"	23.56	37.79	25.00	34.29	S35°28'18"W
C14	17°25'18"	15.02	29.80	98.00	29.68	S27°14'38"E
C15	13°33'54"	11.85	23.20	98.00	23.15	S06°45'02"E
C16	00°27'41"	1.20	2.40	298.00	2.40	N00°11'56"W
C17	04°23'30"	9.66	19.31	252.00	19.31	S02°09'50"E
C18	96°52'03"	28.19	42.27	25.00	37.41	S52°47'37"E
C19	85°10'46"	22.98	37.17	25.00	33.84	N36°10'59"E
C20	05°58'37"	15.56	31.09	298.00	31.07	N03°25'06"W
C21	38°42'47"	34.43	68.22	98.00	64.96	S50°18'41"E
C22	20°18'02"	17.55	34.72	98.00	34.54	S79°49'05"E
C23	90°01'54"	25.01	39.28	25.00	35.37	S44°59'03"E
C24	00°01'54"	0.01	0.01	25.00	0.01	N89°59'03"W
C25	00°40'13"	1.74	3.49	298.00	3.49	N00°18'12"W
C26	90°00'00"	52.00	81.68	52.00	73.54	N44°58'06"W
C27	03°15'32"	7.28	14.56	256.00	14.56	S01°35'52"E
C28	98°00'01"	28.76	42.76	25.00	37.74	S52°13'38"E
C29	05°46'06"	15.01	30.00	298.00	29.99	N03°31'21"W
C30	01°27'17"	3.73	7.46	294.00	7.46	N00°41'44"W
C31	04°01'12"	10.32	20.63	294.00	20.62	S03°25'59"E
C32	84°12'57"	22.60	36.75	25.00	33.53	S36°39'53"W
C33	04°23'30"	9.66	19.32	252.00	19.31	S02°09'50"E

Tangent Data

ID	BEARING	DISTANCE
T1	S78°46'22"W	33.19
T2	N11°13'38"W	38.00
T3	S78°46'22"W	7.08
T4	N09°16'53"W	0.00
T5	S78°46'22"W	28.92
T6	S78°46'22"W	45.00
T7	S78°46'22"W	25.00
T8	S78°46'22"W	20.00
T9	N11°13'38"W	50.00
T10	S78°46'22"W	25.00
T11	S78°46'22"W	20.00
T12	S78°46'22"W	42.47
T13	S78°46'22"W	2.53
T14	S78°35'16"W	27.42
T15	S78°46'22"W	18.38
T16	S78°46'05"W	45.99
T17	S00°01'54"W	27.40
T18	S78°05'00"W	4.59
T19	S00°01'54"W	54.42
T20	S00°01'54"W	45.00
T21	S00°01'55"W	10.00
T22	N89°26'02"W	38.00
T23	S00°01'54"W	35.84
T24	S00°01'54"W	44.84
T25	N89°25'32"W	50.00
T26	N89°58'06"W	25.00
T27	N89°25'32"W	45.00
T28	N89°58'06"W	45.00
T29	N89°58'06"W	45.00
T30	S00°01'54"W	9.95
T31	N89°38'44"W	38.00
T32	N00°11'58"W	45.96
T33	S00°01'54"W	34.82
T34	N00°11'58"W	45.00
T35	N00°11'58"W	48.17
T36	S00°01'54"W	33.47
T37	N89°58'06"W	50.00
T38	N89°58'06"W	45.00
T39	S00°01'54"W	35.00
T40	S00°01'54"W	45.00
T41	S00°01'54"W	17.53
T42	S00°01'54"W	22.70
T43	S00°01'54"W	42.44
T44	S00°01'54"W	26.81
T45	S78°46'22"W	57.48
T46	N89°58'06"W	11.00
T47	N89°58'06"W	10.99
T48	S00°01'54"W	37.55
T49	S00°01'54"W	38.00
T50	S00°01'54"W	10.00
T51	N89°58'06"W	27.55
T52	S00°01'54"W	4.99
T53	N89°58'06"W	39.16
T54	S78°46'22"W	45.01
T55	N89°58'06"W	5.84
T56	S78°46'22"W	45.88
T57	N89°58'06"W	5.85
T58	S78°46'22"W	25.80

LEGAL DESCRIPTION

TRACT A-1 OF THE ROSNER TRACT

GENERAL NOTES

- EXISTING ZONING: R-LT
PROPOSED DEVELOPMENT: R-LT
- PROPOSED NET ACRES: 18.42
NUMBER OF LOTS: 107 D.U.
PROPOSED DENSITY: 5.81 D.U./ACRE
- MIN. LOT DIMENSIONS:
MINIMUM LOT AREA: 45' X 105' MIN.
4725 SQ. FT.
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO R-LT ZONING REQUIREMENTS
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO PROPOSED MESSINA DRIVE, AND/OR THE FUTURE EXTENSION OF GIBSON BLVD.

SITE DATA

ZONE ATLAS NO.	N-8-2
ZONING	R-LT
MILES OF FULL WIDTH STREETS CREATED	1.09 MILES
NO. OF EXISTING PARCELS	2
NO. OF LOTS CREATED	107
DENSITY	5.81

SURVEY NOTES

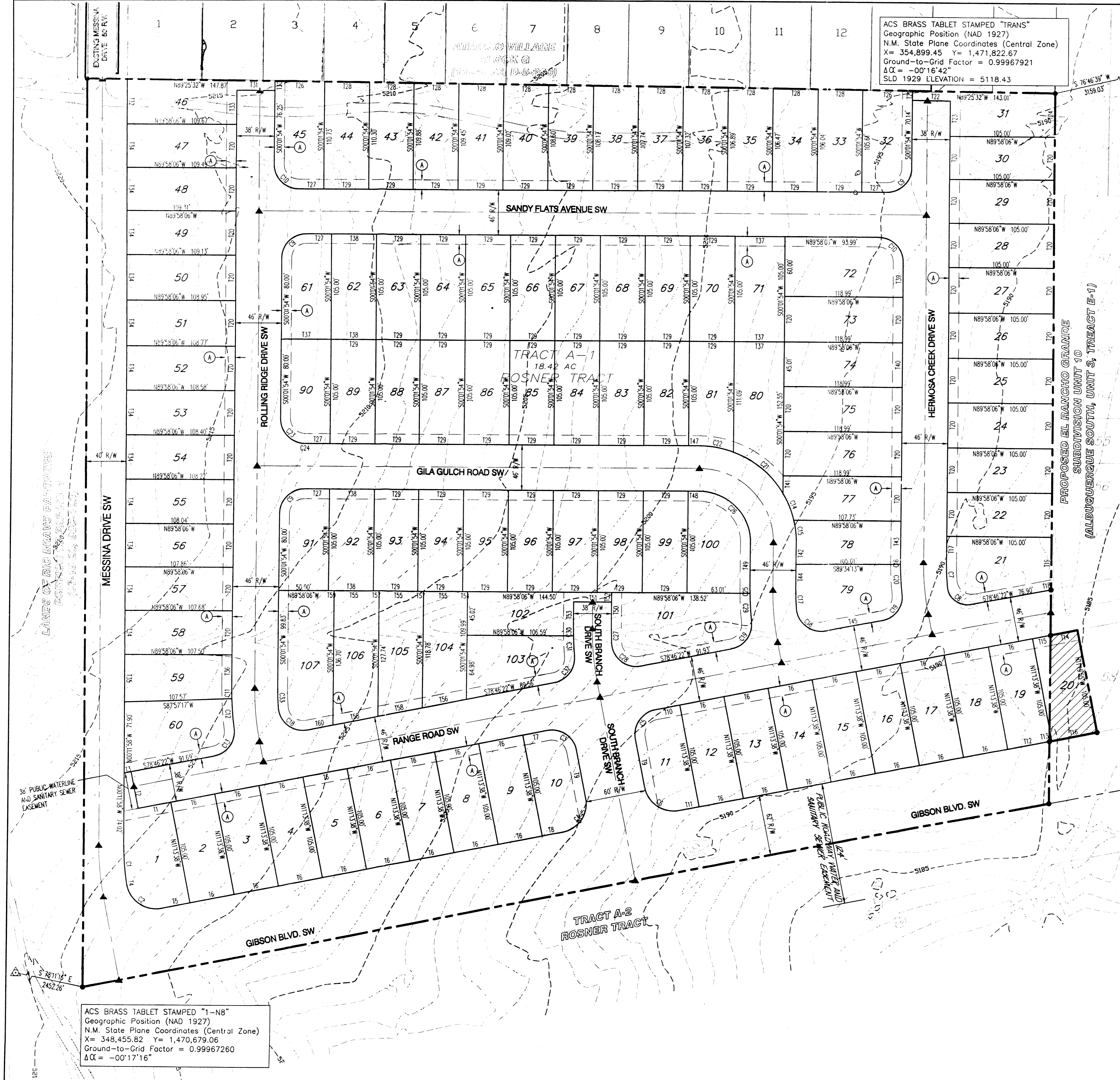
- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 11993".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASES OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 5/7/03
CITY SURVEYOR DATE

[Signature] 5/7/03
BO JOHNSON DATE
VICE PRESIDENT, CURB INC.

Bohannon & Huston
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



ACS BRASS TABLET STAMPED "TRANS"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X= 354,899.45 Y= 1,471,822.67
Ground-to-Grid Factor = 0.99967921
 $\Delta\alpha = -00^{\circ}16'42''$
SLD 1929 ELEVATION = 5118.43

ACS BRASS TABLET STAMPED "1-18"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X= 348,455.82 Y= 1,470,679.06
Ground-to-Grid Factor = 0.99967260
 $\Delta\alpha = -00^{\circ}17'16''$

PRELIMINARY PLAT FOR
 EL RANCHO GRANDE
 UNIT 10 SUBDIVISION
 TRACT E-1
 ALBUQUERQUE SOUTH, UNIT THREE
 WITHIN THE TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH,
 RANGE 2 EAST, NMPM
 AND
 PROJECTED SECTION 33, TOWNSHIP 10 NORTH,
 RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW MEXICO
 MAY 2003

PRELIMINARY PLAT
 APPROVED FOR
 ON 6/25/03

LEGAL DESCRIPTION
 TRACT E-1 OF ALBUQUERQUE SOUTH, UNIT THREE

- GENERAL NOTES**
- EXISTING ZONING: R-2 ALLOWING R-1 AND R-1T (RD BRAVO SECTOR PLAN)
 PROPOSED DEVELOPMENT: R-2 ALLOWING R-1 AND R-1T
 - PROPOSED NET ACREAGE: 19.84 ACRES
 NUMBER OF LOTS: 123 D.U.
 PROPOSED DENSITY: 6.20 D.U./ACRE
 - MIN. LOT DIMENSIONS:
 MINIMUM LOT AREA: 45' X 92' MIN.
 4140 SQ. FT.
 - ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
 - LOT SETBACKS SHALL CONFORM TO R-2 ZONING REQUIREMENTS
 - NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO DE ANZA DRIVE, AND GIBSON BLVD.
 - ALL LOTS SHOWN WITH THE P1 DESIGNATION SHALL CONFORM TO INTERMITTENT PARKING DESIGN CRITERIA, ITEM #1.
- SITE DATA**
- | | |
|-------------------------------------|---------------------------|
| ZONE ATLAS NO. | N-9-2 |
| ZONING | R-2 ALLOWING R-1 AND R-1T |
| MILES OF FULL WIDTH STREETS CREATED | 1.35 MILES |
| NO. OF EXISTING PARCELS | 1 |
| NO. OF LOTS CREATED | 123 |
| DENSITY | 6.20 |

- SURVEY NOTES:**
- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (1) ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 11993".
 - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
 - DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES

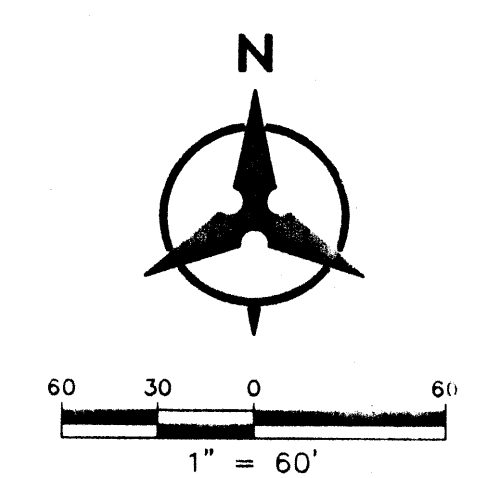
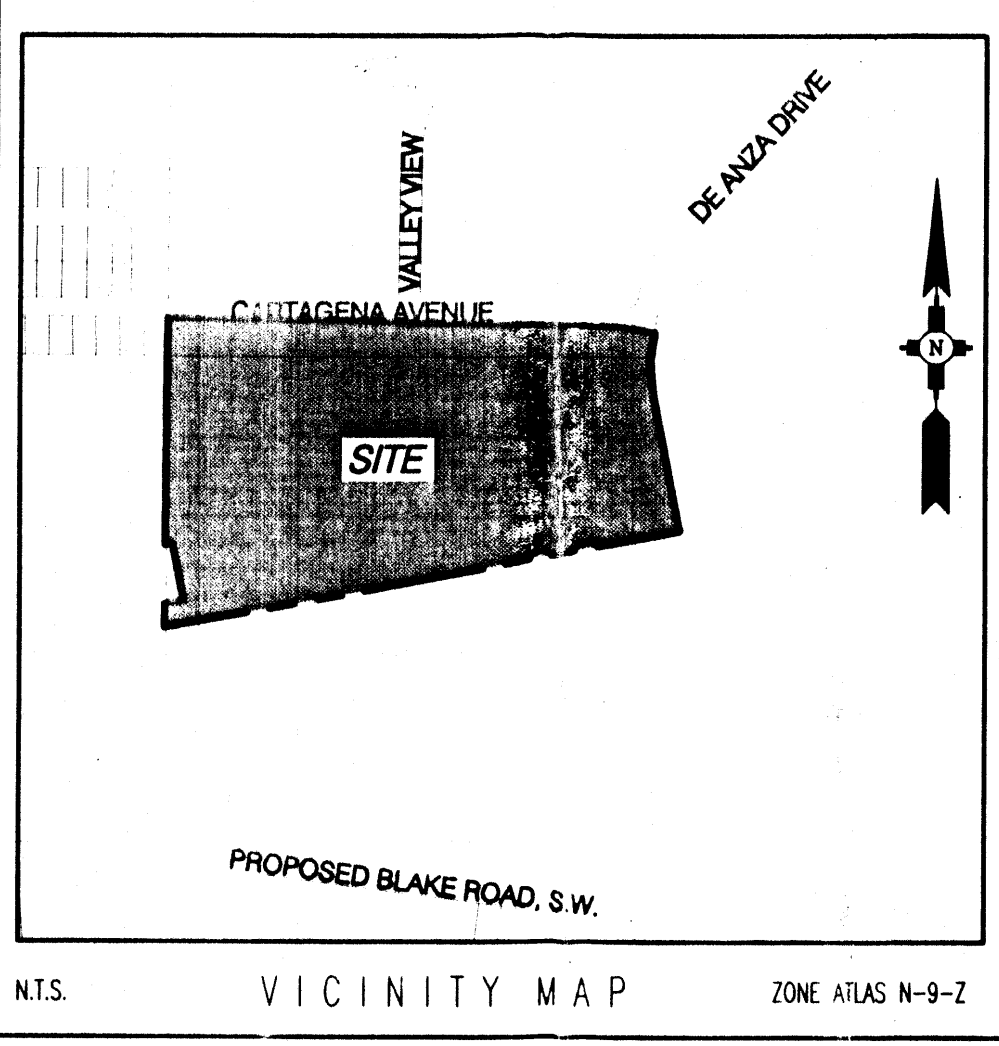
[Signature] 6-23-03
 CITY SURVEYOR DATE

[Signature] 6/20/03
 BO JOHNSON DATE
 VICE PRESIDENT, CURB INC.

Bohannon & Huston
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

LEGEND

- SUBDIVISION BOUNDARY LINE
- EXISTING SUBDIVISION BOUNDARY
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- CENTERLINE MONUMENT TO BE INSTALLED
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT



ACS BRASS TABLET STAMPED "TRANS"
 Geographic Position (NAD 1927)
 N.M. State Plane Coordinates (Central Zone)
 X= 354,899.45 Y= 1,471,822.67
 Ground-to-Grid Factor = 0.99967921
 Δα = -00'16".42"
 SLD 1929 ELEVATION = 5118.43

KEYED NOTES

(A) 10' PUBLIC UTILITY EASEMENT

Tangent Data

ID	BEARING	DISTANCE
T1	N89°29'39"W	54.87
T2	S00°01'54"W	2.61
T3	N89°29'39"W	45.00
T4	N10°59'18"W	45.00
T5	N10°59'18"W	30.82
T6	N10°59'18"W	47.21
T7	N10°59'18"W	25.37
T8	N10°59'18"W	49.97
T9	S78°40'05"W	66.85
T10	N10°59'18"W	29.72
T11	N89°29'39"W	62.61
T12	N10°59'18"W	24.77
T13	N89°29'39"W	75.42
T14	N10°59'18"W	44.08
T15	S78°40'05"W	68.44
T16	N10°59'18"W	69.49
T17	N89°29'39"W	20.24
T18	N10°59'18"W	68.27
T19	S78°40'05"W	24.85
T20	N89°29'39"W	45.00
T21	N89°29'39"W	10.20
T22	S78°40'05"W	40.82
T23	N89°29'39"W	40.00
T24	S78°40'05"W	10.00
T25	N89°29'39"W	46.00
T26	S78°40'05"W	40.36
T27	N89°29'39"W	19.91
T28	S78°40'05"W	25.01
T29	N11°19'55"W	55.00
T30	N89°29'39"W	25.00
T31	S00°30'21"W	75.00
T32	N89°29'39"W	45.01
T33	N89°29'39"W	22.46
T34	N10°59'18"W	47.52
T35	N10°59'18"W	38.78

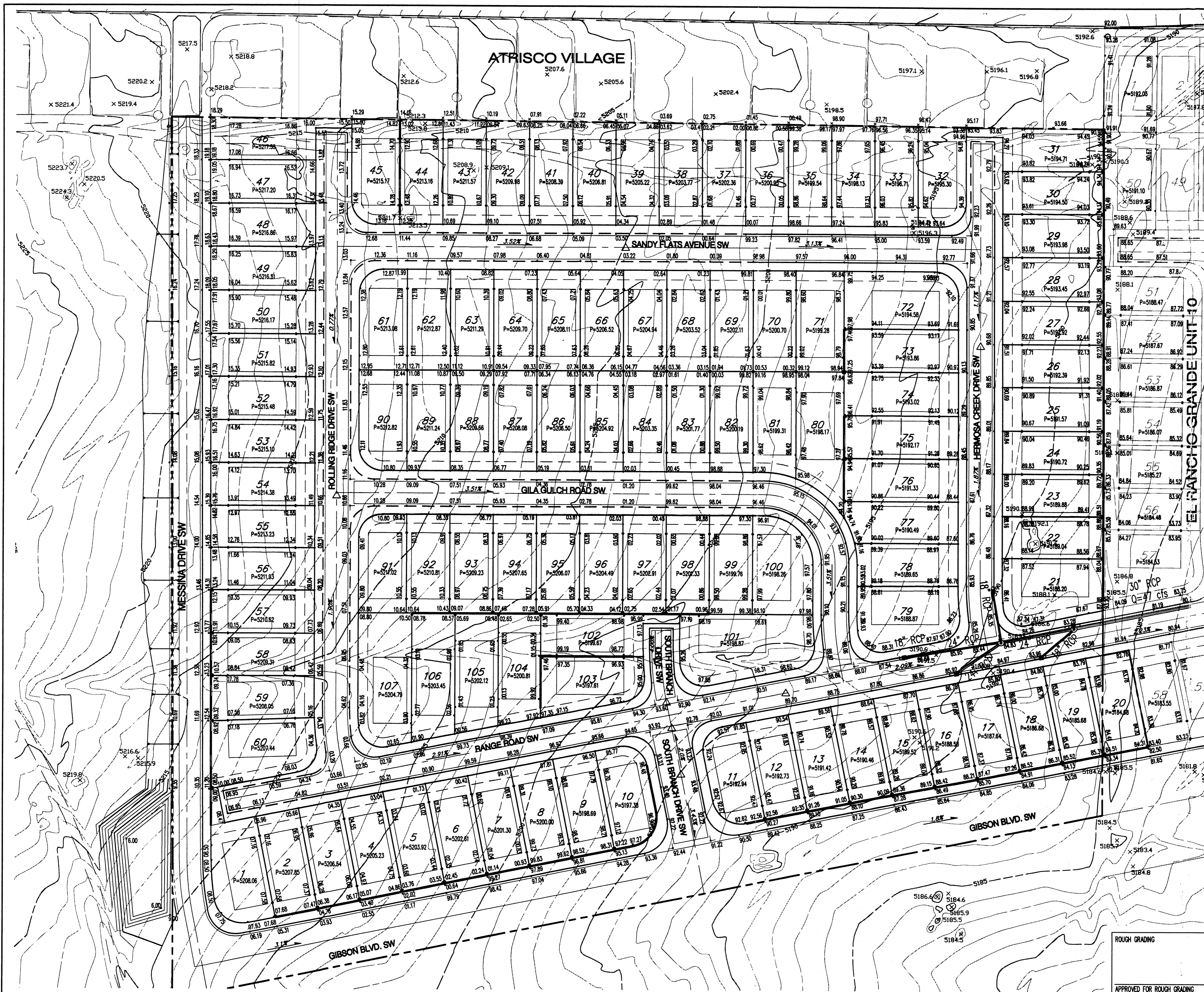
Curve Data

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	02°20'09"	6.08	12.15	298.00	12.15	S09°49'13"E
C2	85°00'40"	22.91	37.09	25.00	33.78	S46°59'19"E
C3	04°10'10"	10.85	21.69	298.00	21.68	S06°34'04"E
C4	90°20'37"	25.15	39.42	25.00	35.46	N56°09'37"W
C5	04°23'11"	9.65	19.29	252.00	19.29	N08°47'43"W
C6	97°06'28"	28.31	42.37	25.00	37.48	N41°57'07"E
C7	82°06'26"	21.77	35.83	25.00	32.84	S48°26'26"E
C8	03°36'05"	9.37	18.73	298.00	18.73	S09°11'15"E
C9	89°39'23"	24.85	39.12	25.00	35.25	S33°50'23"W
C10	99°12'54"	29.38	43.29	25.00	38.08	S40°53'54"W
C11	02°16'43"	5.01	10.02	252.00	10.02	S09°50'56"E
C12	89°39'23"	29.82	46.94	30.00	42.30	N33°50'23"E
C13	90°00'00"	25.00	39.27	25.00	35.36	N33°40'05"E
C14	90°00'00"	25.00	39.27	25.00	35.36	N56°19'55"W
C15	90°00'00"	25.00	39.27	25.00	35.36	S44°29'39"E
C16	90°00'00"	25.00	39.27	25.00	35.36	N45°30'21"E
C17	03°44'47"	11.28	22.56	345.00	22.55	S87°37'15"E

C18	06°37'36"	19.97	39.90	345.00	39.88	S82°26'04"E
C19	86°19'07"	28.13	45.20	30.00	41.04	S35°57'43"E
C20	01°31'50"	7.08	14.16	530.00	14.16	S00°37'48"W
C21	10°51'10"	50.35	100.39	530.00	100.24	S05°33'42"E
C22	01°25'55"	3.72	7.45	298.00	7.45	S00°12'36"E
C23	87°14'30"	23.82	38.07	25.00	34.48	N35°02'50"E
C24	07°38'51"	19.92	39.78	298.00	39.75	N04°45'00"W
C25	93°55'35"	26.77	40.98	25.00	36.55	N54°22'08"W
C26	07°54'41"	17.43	34.80	252.00	34.77	N03°26'59"W
C27	09°02'42"	23.25	46.41	294.00	46.36	S04°01'00"E
C28	87°12'25"	23.81	38.05	25.00	34.48	S35°03'52"W
C29	07°58'46"	17.86	35.65	256.00	35.62	S03°29'02"E
C30	93°51'30"	26.74	40.95	25.00	36.53	S54°24'11"E

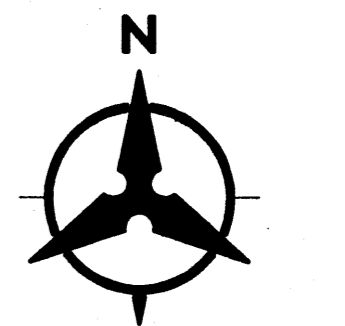


ACS BRASS TABLET STAMPED "1-NB"
 Geographic Position (NAD 1927)
 N.M. State Plane Coordinates (Central Zone)
 X= 348,455.82 Y= 1,470,679.06
 Ground-to-Grid Factor = 0.99967260
 Δα = -00'17".16"



GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT. /
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



LEGEND

- (91.82) FUTURE SPOT ELEVATION
- 91.82 PROPOSED SPOT ELEVATION
- 92.46 EXISTING SPOT ELEVATION (GRID & TC)
- EXISTING CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- WALL DRAIN

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	BY	NO.	DATE	CONTRACTOR	DATE	CONTRACTOR	DATE
				ACS BRASS TABLET STAMPED "TRANS"			
				Geographic Position (NAD 1927)			
				N.M. State Plane Coordinates (Central Zone)			
				X = 354,899.45 Y = 1,471,822.67			
				Ground-to-Grid Factor = 0.99967921			
				ΔC = -007'16"42"			
				SLD 1929 Elevation = 5118.43			



REVISIONS	By	DATE
DESIGN		DATE: 05/03
		DATE: 05/03
		DATE: 05/03

Bohannon & Huston

County I 7500 Jefferson St. NE Albuquerque, NM 87108-4335

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

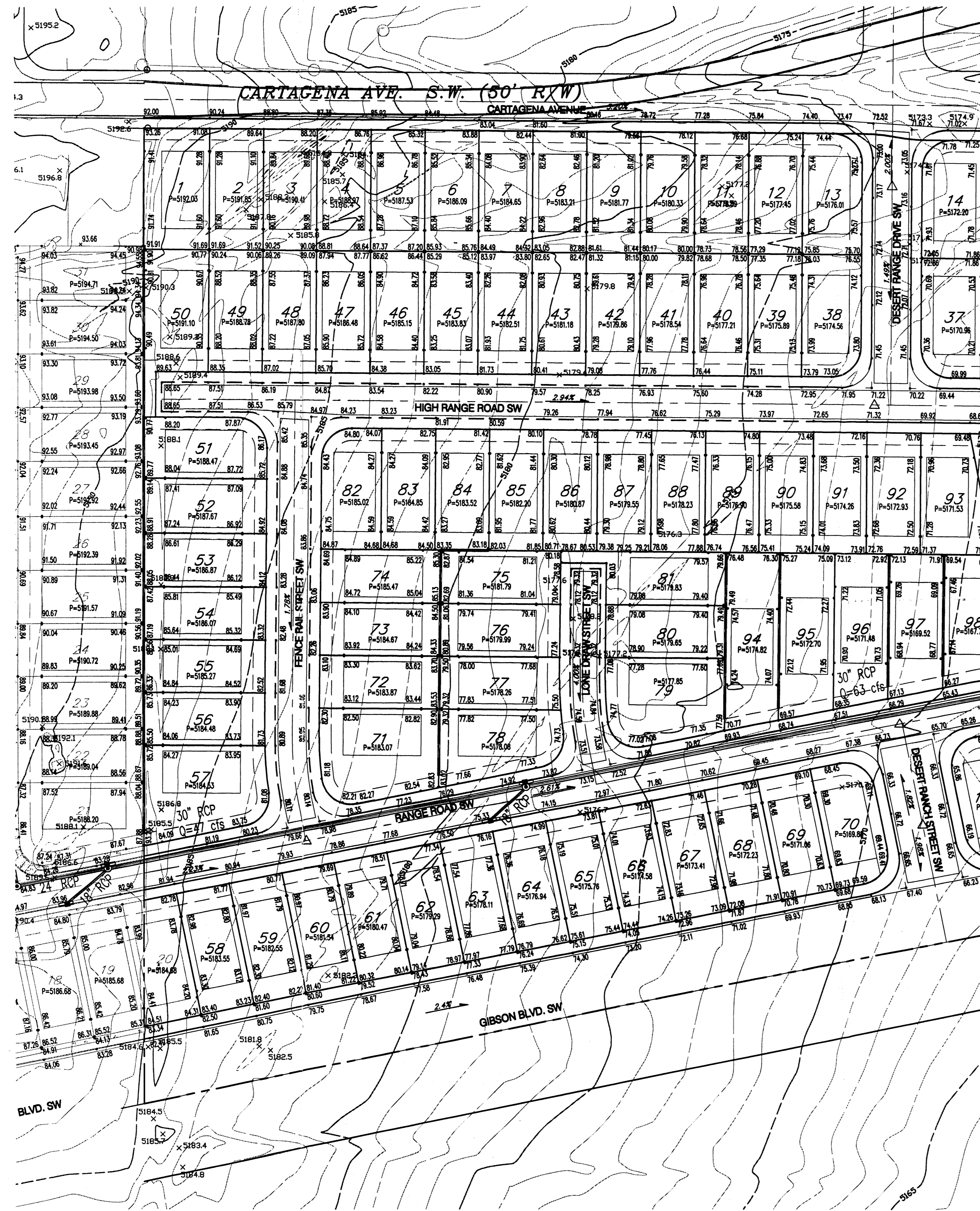
EL RANCHO GRANDE UNIT 11 SUBDIVISION

GRADING AND EROSION CONTROL PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. COA #	Zone Map No. N-8-Z	Sheet 3 Of 4	

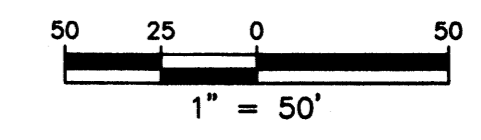
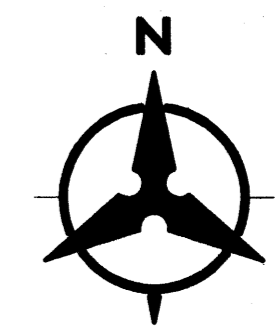
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 Layout

ROUGH GRADING (+0.5')
 APPROVED FOR ROUGH GRADING DATE



MATCH SHEET 1 FOR EAST UNIT 10

- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL SHEET 38, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



- LEGEND**
- (91.62) FUTURE SPOT ELEVATION
 - 91.62 PROPOSED SPOT ELEVATION
 - × 92.46 EXISTING SPOT ELEVATION (GRID & TC)
 - ==== EXISTING CURB & GUTTER
 - ==== PROPOSED MOUNTABLE CURB & GUTTER
 - ==== PROPOSED STANDARD CURB & GUTTER
 - 5470— EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - — — — PROPOSED RETAINING WALL
 - — — — PROPOSED GARDEN WALL
 - — — — PROPOSED SLOPE
 - — — — PROPOSED STORM DRAIN
 - ⊙ PROPOSED STORM DRAIN MANHOLE
 - ↑ PROPOSED STORM DRAIN INLET
 - ↑ WALL DRAIN

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACS BRASS TABLE STAMPED "TRANS"	DATE	NO.	BY		No. Date _____ _____ _____ _____ _____ _____
FIELD ACCEPTANCE BY	DATE	Geographic Position (NAD 1927)	DATE	REVISIONS	By		
FIELD DRAWN BY	DATE	N.M. State Plane Coordinates (Central Zone)	DATE	DESIGN	DATE: 05/03	DATE: 05/03	DATE: 05/03
CHECKED BY	DATE	X = 354,899.45 Y = 1,471,822.67	DATE		DESIGNED BY: SJS	DRAWN BY: DH/LAM	CHECKED BY: SJS
MICROFILM INFORMATION	DATE	Ground-to-Grid Factor = 0.99967921	DATE				
	DATE	AO = -00'16".42"	DATE				
	DATE	SLD 1929 Elevation = 5118.43	DATE				

Bohannon & Huston
 Courtyard | 7600 Jefferson St NE | Albuquerque, NM 87109-4336
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
EL RANCHO GRANDE UNIT 10 SUBDIVISION
GRADING AND EROSION CONTROL PLAN

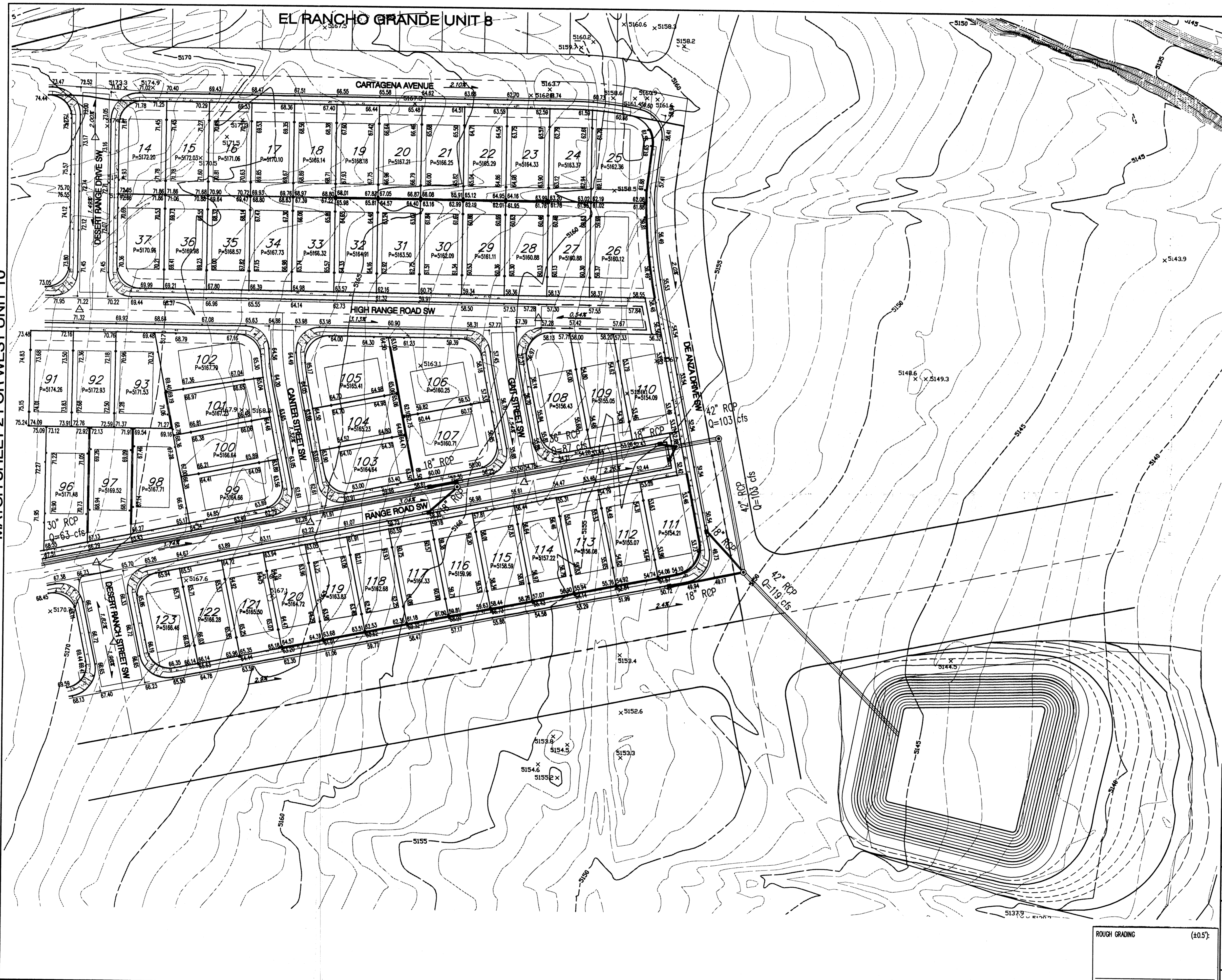
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
COA #	N-9-Z	2	4

ROUGH GRADING (±0.5')
 APPROVED FOR ROUGH GRADING DATE

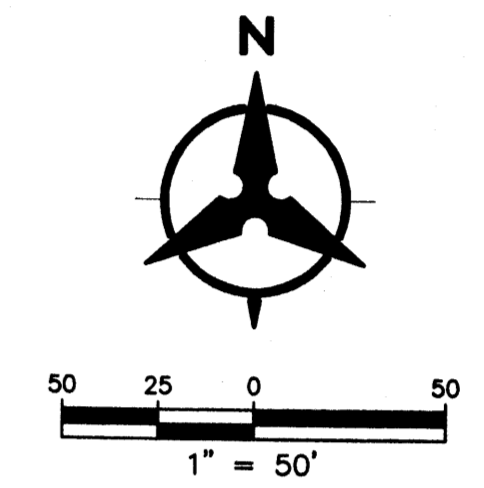
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EL RANCHO GRANDE UNIT 8

MATCH SHEET 2 FOR WEST UNIT 10



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



- LEGEND**
- (91.62) FUTURE SPOT ELEVATION
 - 91.62 PROPOSED SPOT ELEVATION
 - × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
 - EXISTING CURB & GUTTER
 - ==== PROPOSED MOUNTABLE CURB & GUTTER
 - ==== PROPOSED STANDARD CURB & GUTTER
 - 5470- EXISTING CONTOUR N/ INDEX ELEVATION
 - FLOW ARROW
 - PROPOSED RETAINING WALL
 - PROPOSED GARDEN WALL
 - PROPOSED SLOPE
 - PROPOSED STORM DRAIN
 - ⊙ PROPOSED STORM DRAIN MANHOLE
 - ↑ PROPOSED STORM DRAIN INLET
 - ↑ WALL DRAIN

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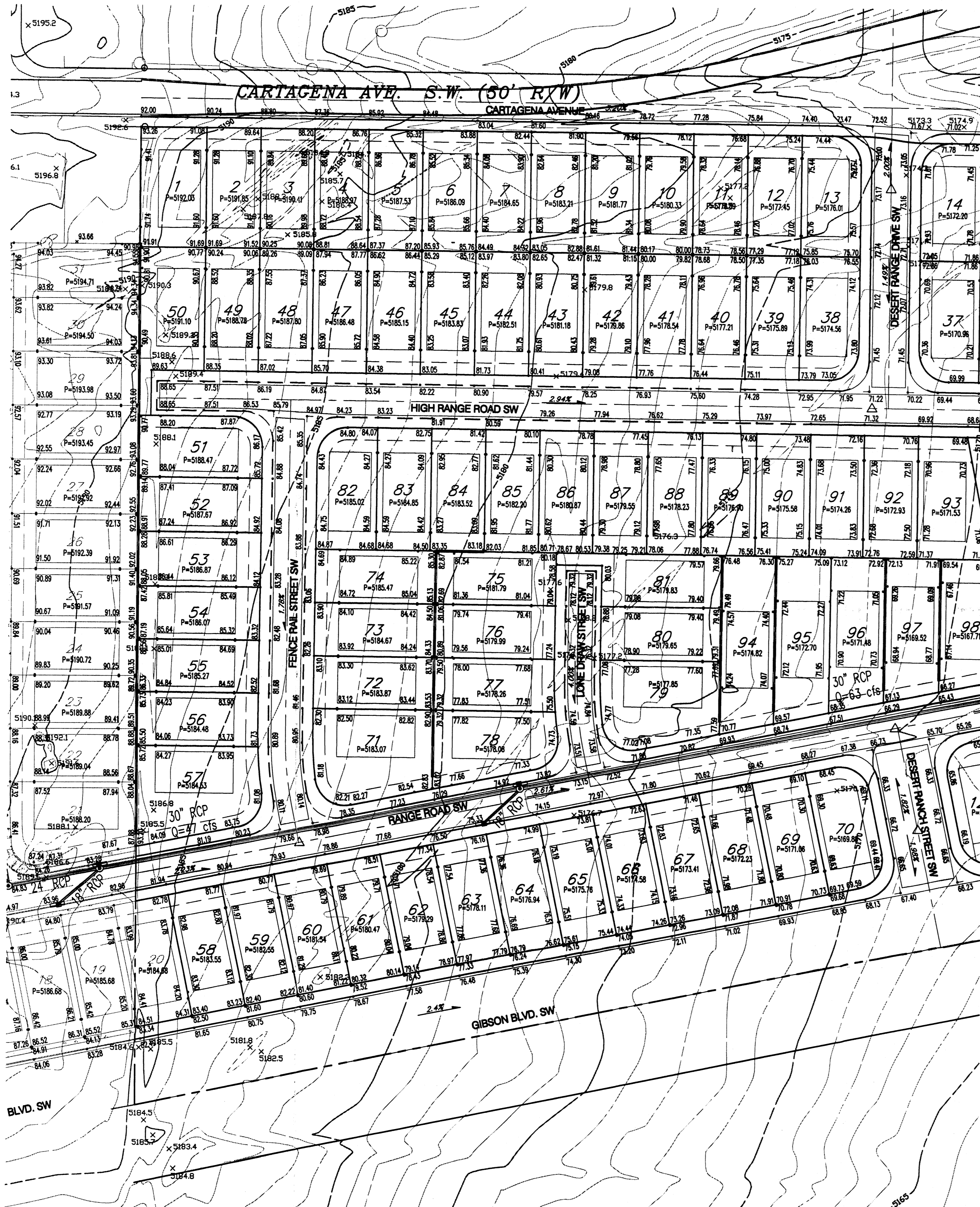
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
EL RANCHO GRANDE UNIT 10 SUBDIVISION
GRADING AND EROSION CONTROL PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	COA #	Zone Map No.	Sheet 1 Of 4
		N-9-Z	

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
		ACS BRASS TABLET STAMPED "TRANS"					
		Geographic Position (NAD 1927)					
		N.M. State Plane Coordinates (Central Zone)					
		X = 354,899.45 Y = 1,471,822.67					
		Ground-to-Grid Factor = 0.99967921					
		Δα = -00°16'42"					
		S.L.D. 1929 Elevation = 5118.43					

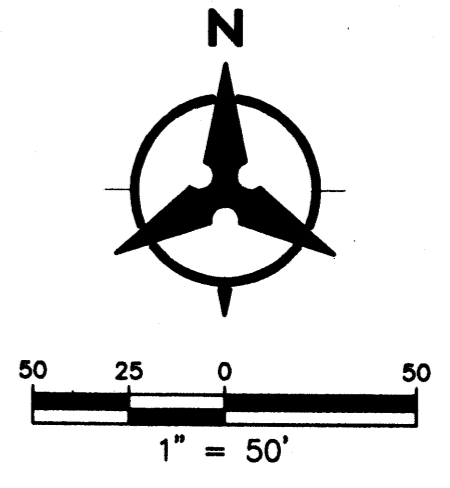
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ROUGH GRADING (±0.5')
 APPROVED FOR ROUGH GRADING: DATE



MATCH SHEET 1 FOR EAST UNIT 10

- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT. /
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. SHOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



- LEGEND**
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 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET
 - ↑ WALL DRAIN

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACS BRASS TABLET STAMPED "TRANS"	DATE	NO.	BY		No. Date By REVISIONS DESIGN DATE: 05/03 DATE: 05/03 DATE: 05/03
DATE	DATE	Geographic Position (NAD 1927)	DATE				
DATE	DATE	N.M. State Plane Coordinates (Central Zone)	DATE				
DATE	DATE	X = 354,899.45 Y = 1,471,822.67	DATE				
DATE	DATE	Ground-to-Grid Factor = 0.99967921	DATE				
DATE	DATE	ΔC = -0071642"	DATE				
DATE	DATE	S.L.D. 1929 Elevation = 5118.43	DATE				

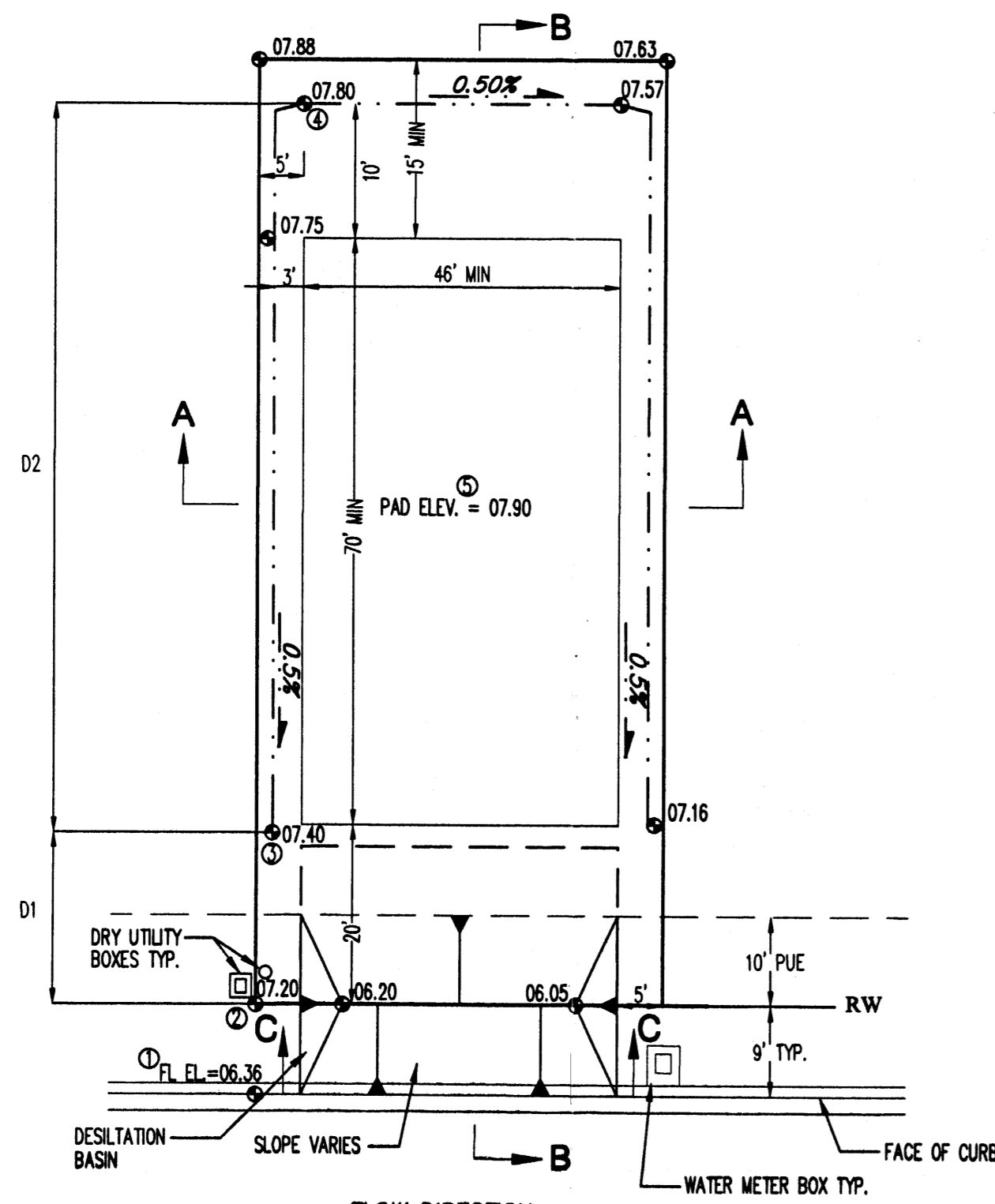
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**CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT**
**EL RANCHO GRANDE UNIT 10 SUBDIVISION
 GRADING AND EROSION CONTROL PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	COA #	Zone Map No.	Sheet
		N-9-Z	2 Of 4

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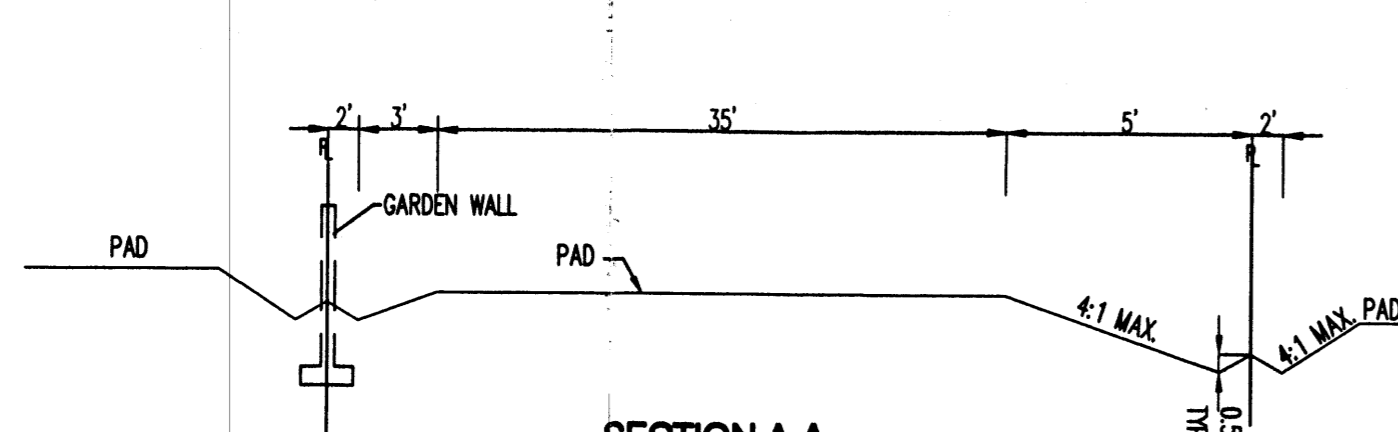
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 APPROVED FOR ROUGH GRADING DATE



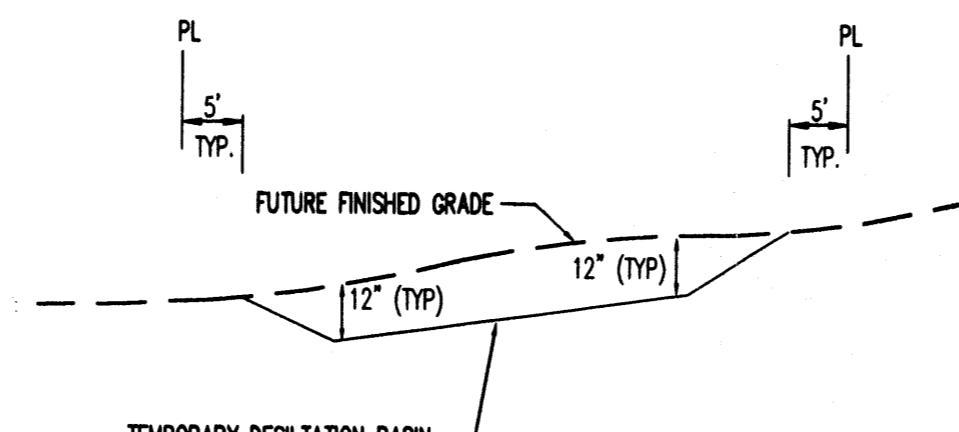
EL RANCHO GRANDE UNITS 10 & 11
TYPICAL LOT GRADE DETAIL
 WITH DESILTATION BASIN FOR SEDIMENTATION CONTROL
 NOT TO SCALE

TO SET SPOT ① - ADD 0.84' TO SPOT ②
 TO SET SPOT ③ - MULTIPLY D1 BY 1.0% AND ADD TO SPOT ②
 TO SET SPOT ④ - MULTIPLY D2 BY 0.5% AND ADD TO SPOT ②
 TO SET SPOT ⑤ - ADD 0.1' TO SPOT ⑥

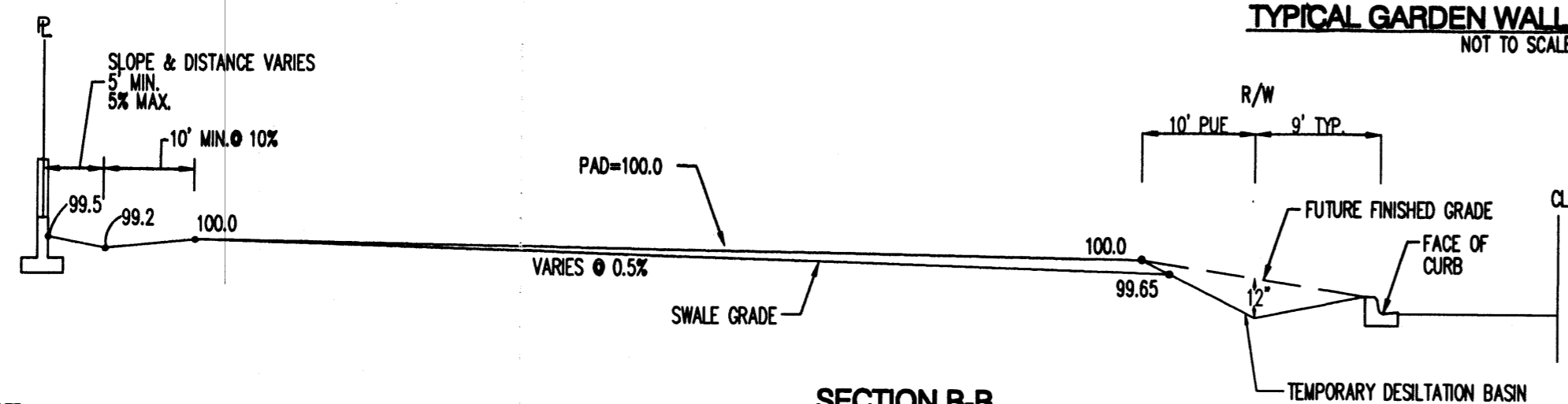
BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.
 SEE GRADING PLANS FOR EXACT ELEVATIONS.
 CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH LOT.



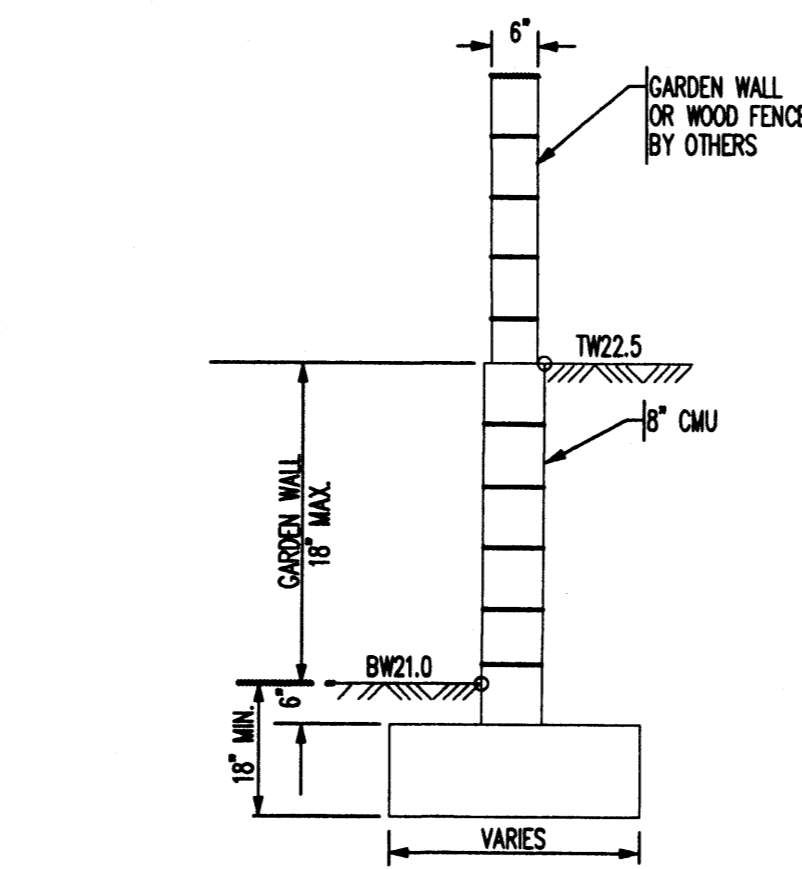
SECTION A-A
TYPICAL SIDE YARD SWALE
 NOT TO SCALE



SECTION C-C
TEMPORARY DESILTATION BASIN
 NOT TO SCALE

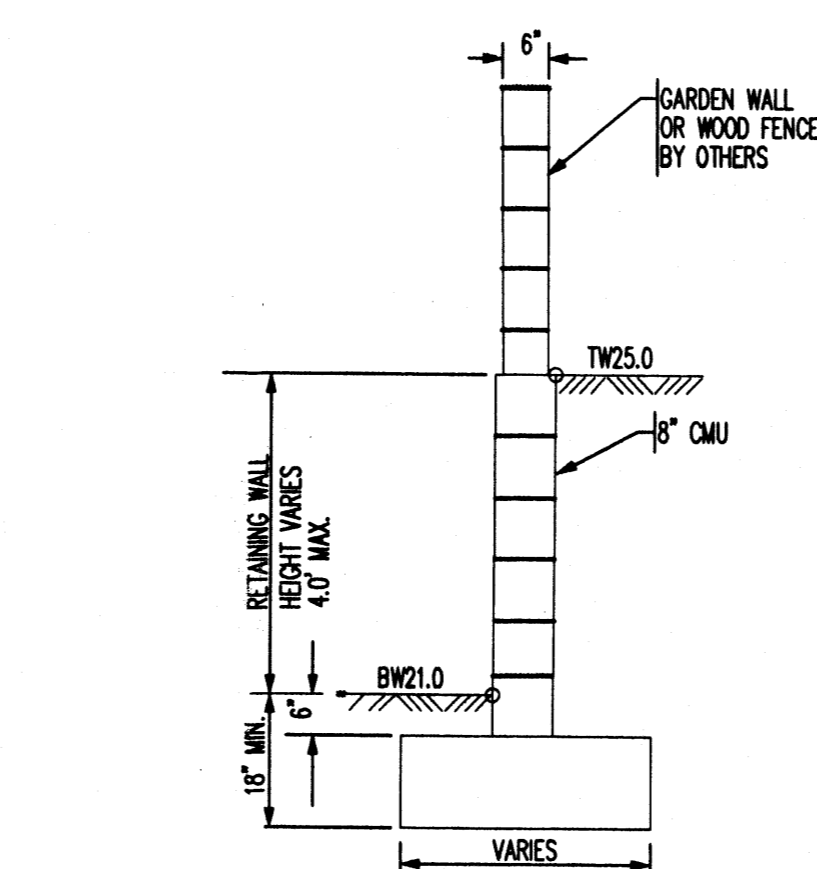


SECTION B-B
TYPICAL GARDEN WALL NOMENCLATURE
 NOT TO SCALE



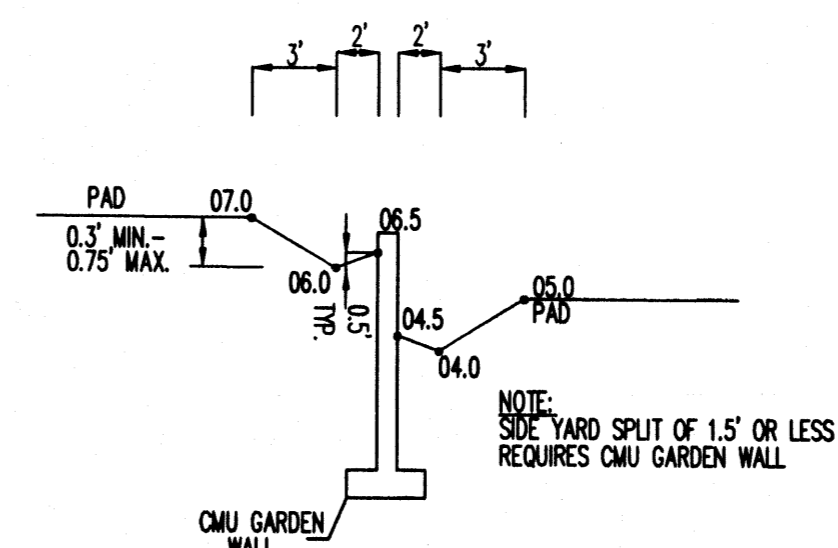
TYPICAL GARDEN WALL NOMENCLATURE
 NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)

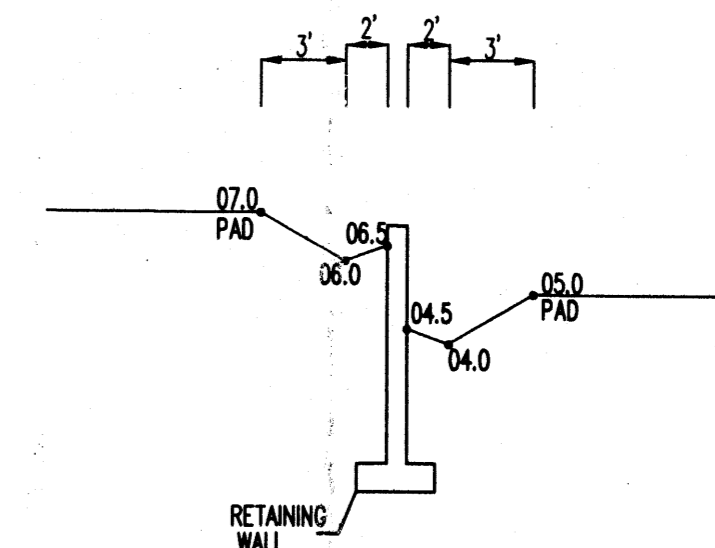


TYPICAL RETAINING WALL NOMENCLATURE
 NOT TO SCALE

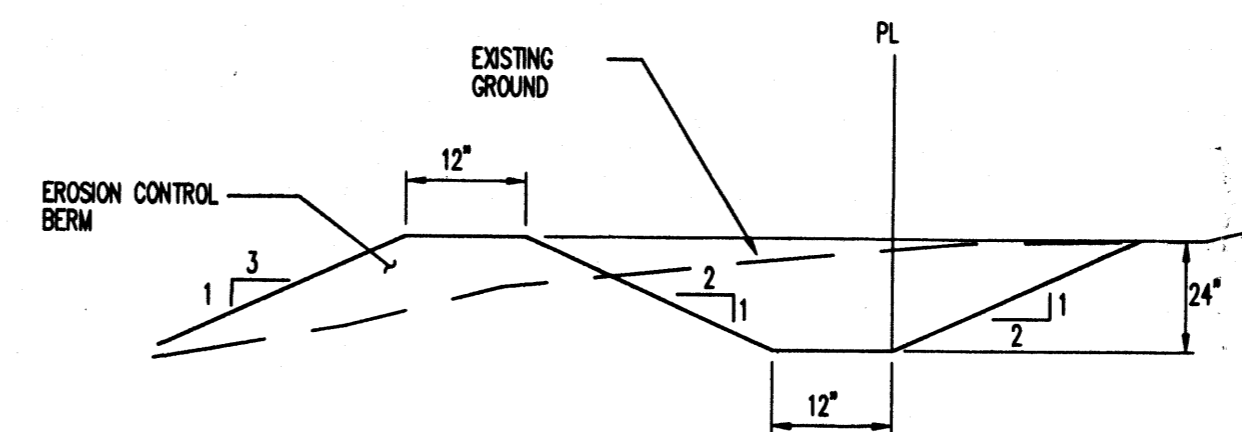
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



SIDE YARD GARDEN WALL DETAIL
 NOT TO SCALE



SIDE YARD RETAINING WALL DETAIL
 NOT TO SCALE



EROSION CONTROL BERM

1. TO PREVENT EROSION FROM THE SITE, DURING GRADING & CONSTRUCTION OPERATIONS, A BERM OF THE ABOVE DIMENSIONS SHALL BE MAINTAINED ON THE WEST WEST BOUNDARY OF THE SITE.
2. WIND EROSION SHALL BE PREVENTED BY MAINTAINING AN ADEQUATELY MOISTENED SITE.
3. AFTER CONSTRUCTION ALL SURFACES WILL BE PAVED OR LANDSCAPED TO PREVENT EROSION.
4. CONTRACTOR MUST OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

EROSION CONTROL PLAN
 NOT TO SCALE

- NOTE:
1. CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
 2. FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
 3. HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.

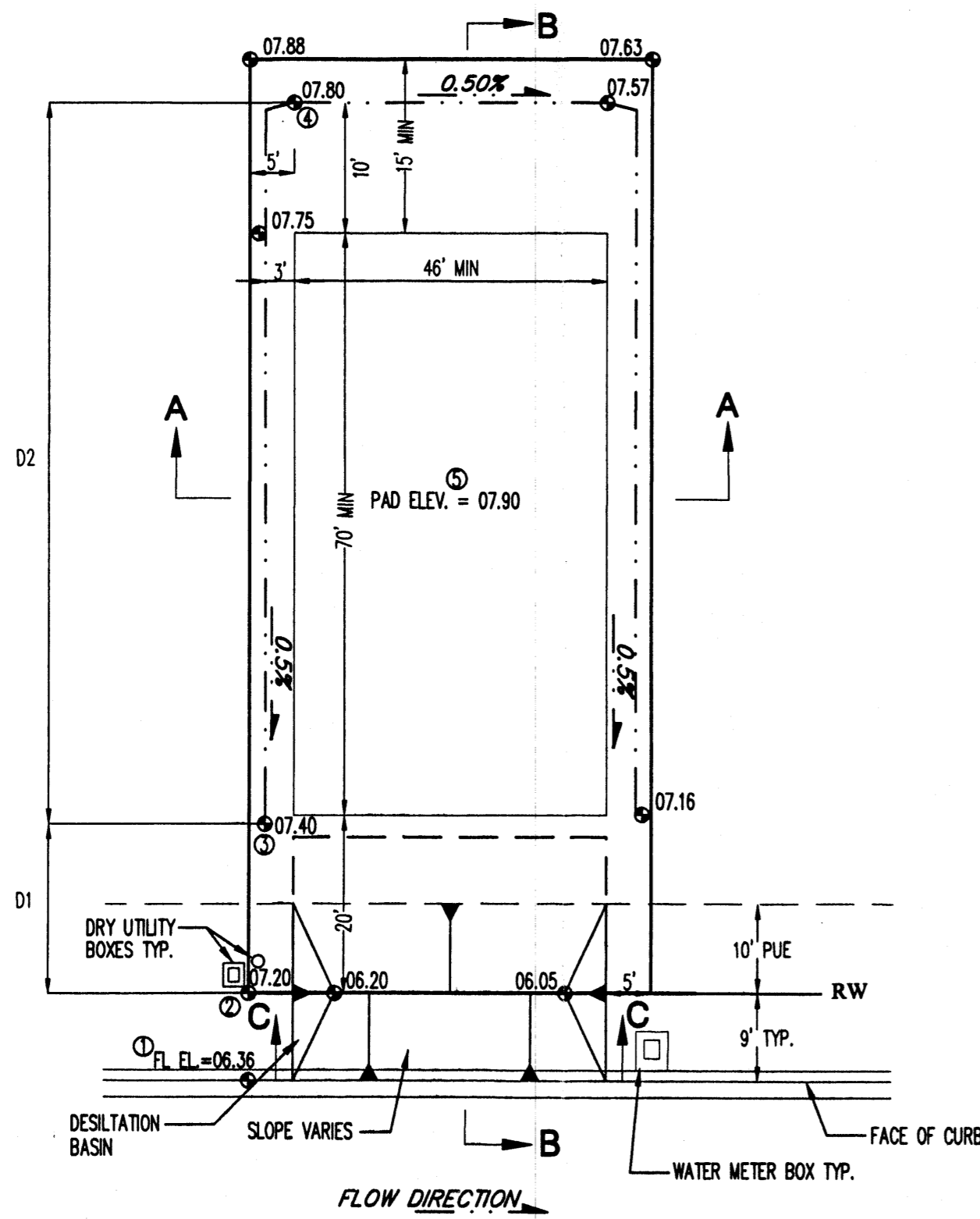
AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	NO.	BY		No. Date By REVISIONS DESIGN
INSPECTED BY	DATE	DATE	DATE	DATE	DATE		
ACCEPTANCE BY	DATE	ACS BRASS TABLET STAMPED "TRANS"		FIELD NOTES		REMARKS	
DRAWING BY	DATE	Geographic Position (NAD 1927)		NO.		DESIGN	
CHECKED BY	DATE	N.M. State Plane Coordinates (Central Zone)		BY		DESIGN	
RECORDED BY	DATE	X = 354,899.45 Y = 1,471,822.67		NO.		DESIGN	
	DATE	Ground-to-Grid Factor = 0.99967921		NO.		DESIGN	
	DATE	AOC = -00'16"42"		NO.		DESIGN	
	DATE	SLD 1929 Elevation = 5118.43		NO.		DESIGN	

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
EL RANCHO GRANDE UNITS 10 & 11
GRADING AND EROSION CONTROL PLAN
GRADING DETAILS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
COA #	N-8-Z	4	4

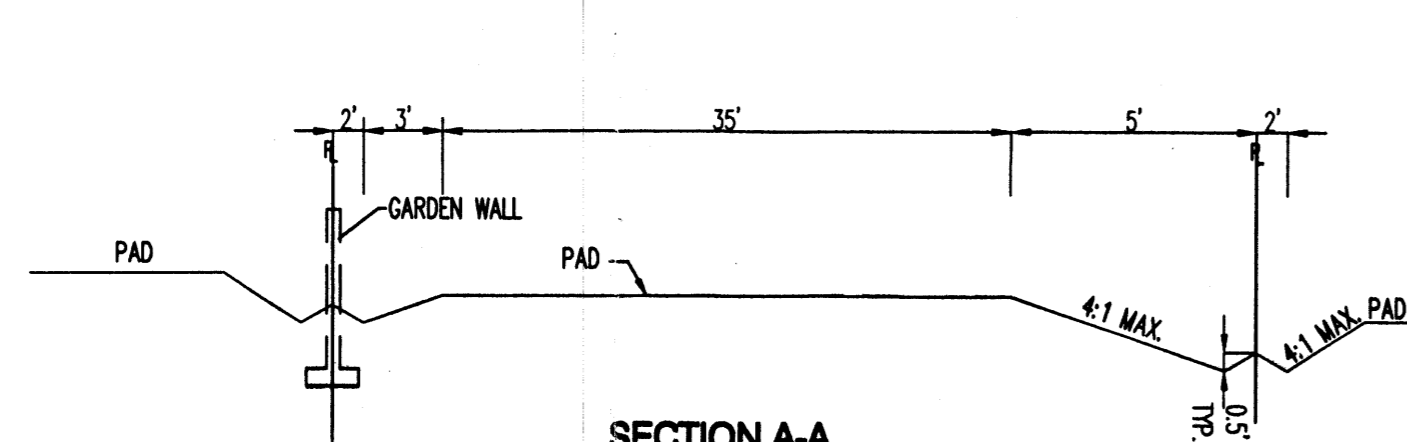
ROUGH GRADING (±0.5%)
 APPROVED FOR ROUGH GRADING DATE



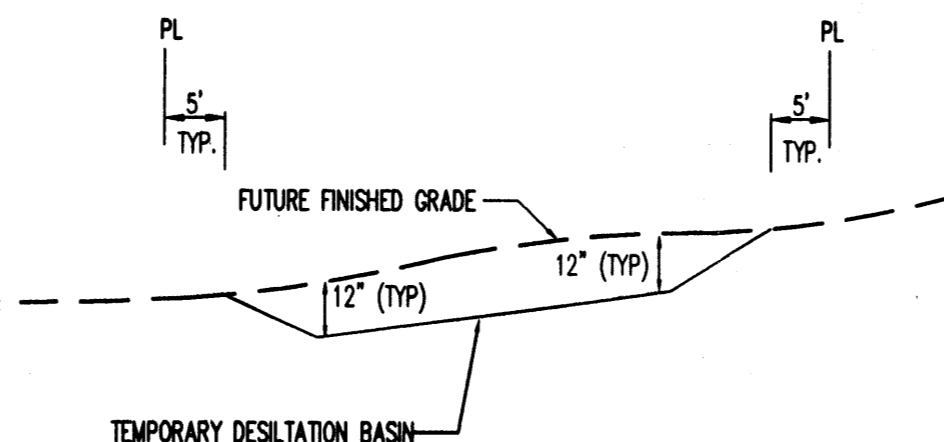
EL RANCHO GRANDE UNITS 10 & 11
TYPICAL LOT GRADE DETAIL
 WITH DESILTATION BASIN FOR SEDIMENTATION CONTROL
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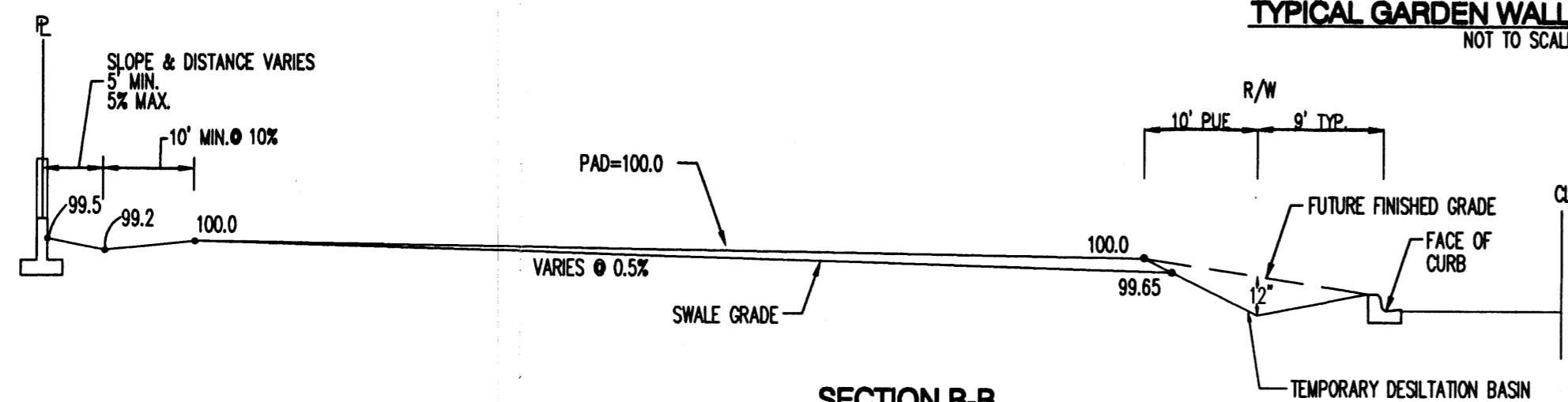
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SECTION A-A
TYPICAL SIDE YARD SWALE
 NOT TO SCALE



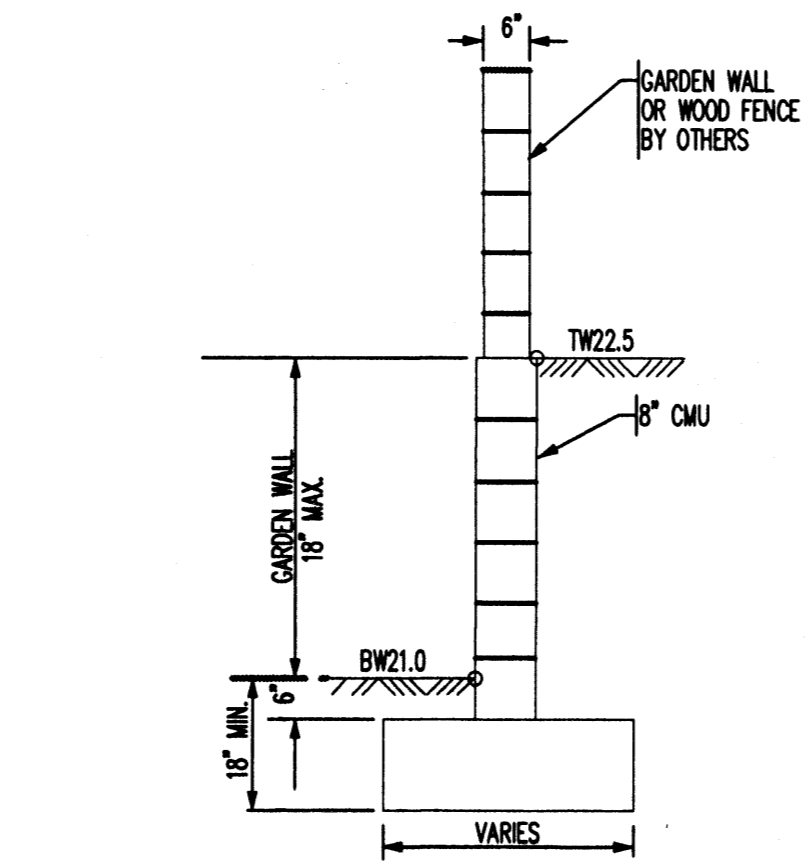
SECTION C-C
TYPICAL GARDEN WALL NOMENCLATURE
 NOT TO SCALE



SECTION B-B
TYPICAL GARDEN WALL NOMENCLATURE
 NOT TO SCALE

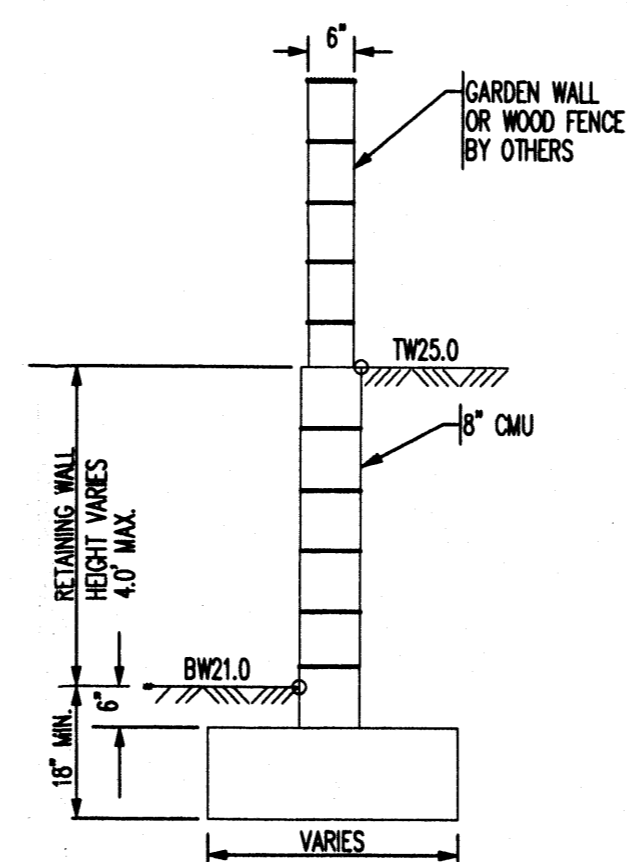
NOTE:

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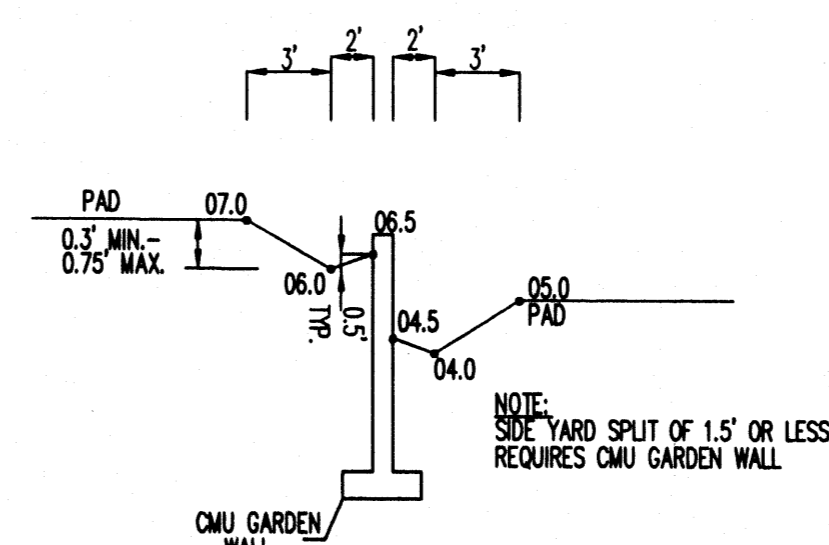
TYPICAL GARDEN WALL NOMENCLATURE
 NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



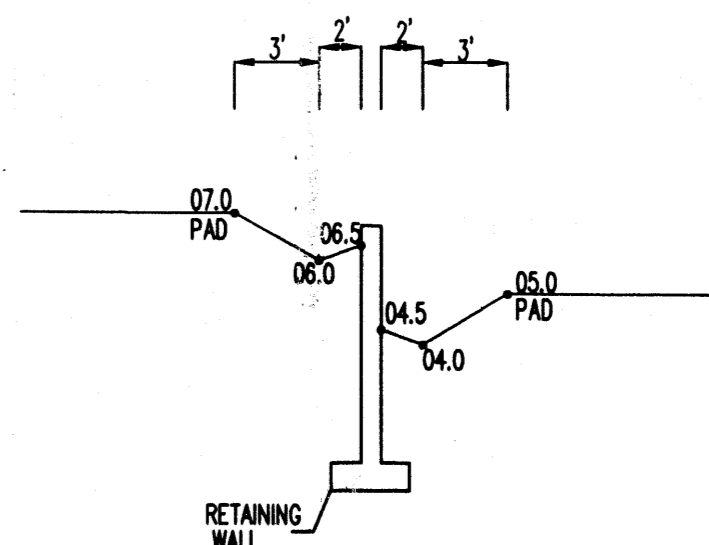
TYPICAL RETAINING WALL NOMENCLATURE
 NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)

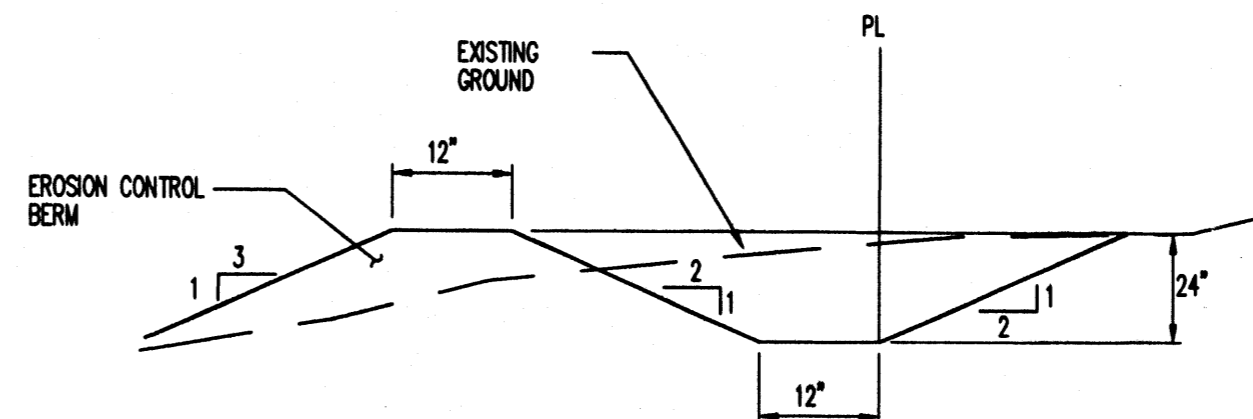


SIDE YARD GARDEN WALL DETAIL
 NOT TO SCALE

NOTE: SIDE YARD SPLIT OF 1.5' OR LESS REQUIRES CMU GARDEN WALL



SIDE YARD RETAINING WALL DETAIL
 NOT TO SCALE



EROSION CONTROL BERM

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EROSION CONTROL PLAN
 NOT TO SCALE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	[Professional Seal]	
ACS BRASS TABLET STAMPED "TRANS"						[Professional Seal]	
Geographic Position (NAD 1927)						[Professional Seal]	
N.M. State Plane Coordinates (Central Zone)						[Professional Seal]	
X= 354,899.45 Y= 1,471,822.67						[Professional Seal]	
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GRADING AND EROSION CONTROL PLAN
GRADING DETAILS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **COA #** Zone Map No. **N-8-Z** Sheet **4** Of **4**