

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70239(Page 1970)	&F) Project # 1002428
Project Name: ALVARADO GARDENS	
Agent: SANDIA LAND SURVEYING, L	LC Phone No: 867-1241 259-8/30
Your request for (SDP for SUB), (SDP approved on by the DIOUTSTANDING SIGNATURES COMM	for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was RB with delegation of signature(s) to the following departments.
TRANSPORTATION:	
- ABCWUA:	
CITY ENGINEER / AMAFCA:_	
D PARKS / CIP:	
PLANNING (Last to sign):	Solar Language on applied record as applied AGIS Let Or as applied AMAFCA Signoture. or applied
-The original plat and a -Tax certificate from the -Recording fee (check -Tax printout from the	county Assessor. Eved site plan. Include all pages. ignature must be obtained prior to the recording of the plat c. It's signature must be obtained prior to Planning Department's val required.

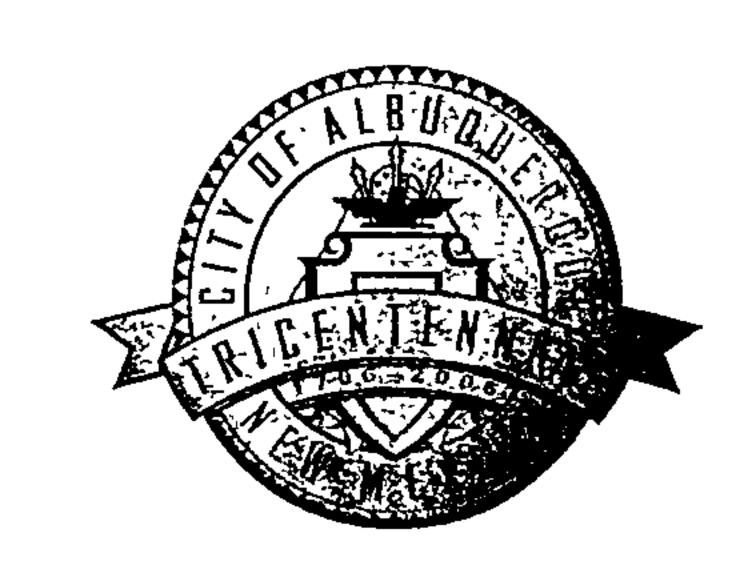
CITY OF ALBUQUERQUE

P.O. Box 1293

New Mexico 87103

www.cabq.gov

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PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICES HYDROLOGY DEVELOPMENT SECTION

City Engineer / AMAFCA Designee

DEVELOPMENT REVIEW BOARD – SPEED MEMO				
DRB CASE NO/PROJECT NO: 1002428 AGENDA ITEM NO: 11				
SUBJECT:				
Final Plat Preliminary Plat Vacation of Private Easements				
ACTION REQUESTED:				
REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()				
ENGINEERING COMMENTS:				
No objection to Vacation request. No adverse comments. .				
RESOLUTION:				
APPROVED X; DENIED; DEFERRED; COMMENTS PROVIDED; WITHDRAWN				
DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)				
SIGNED: Bradley L. Bingham DATE: SEPTEMBER 12, 2007				

505-924-3986

CITY OF ALDUQUERQUE



PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICES HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD - SPEED MEMO

DRB CASE NO/PROJECT NO: 1002428	AGENDA ITEM NO:	<u>11</u>
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SUBJECT:

Final Plat
Preliminary Plat
Vacation of Private Easements

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No objection to Vacation request.

No adverse comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

0

APPROVED X; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham

City Engineer / AMAFCA Designee 505-924-3986

DATE: SEPTEMBER 12, 2007

Albuquerque - Making History 1706-2006



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

		: U/DRB-/U239(P&F)	Project # 1002428
Project	Name: ALVA	ARADO GARDENS,	UNIT 2
Agent:	SANDIA LAN	D SURVEYING, LLC	Phone No: 867-1241
Your reapprove	equest for (SD)	P for SUB), (SDP for BP), (FINAL DESIGNATURES COMMENTS TO BE	AL PLATS), (MASTER DEVELOP. PLAN), was ation of signature(s) to the following departments.
	ABCWUA:		
	CITY ENGIN	IEER / AMAFCA:	
	PARKS / CIF)·	
2000	PLANNING ((Last to sign): Solav Lan (Cord A6[] Ly Amasca	f Signotine.
	-The -Tax -Rec -Tax -Tax -Tax -Tax -Tax -Tax -Tax -Tax	pies of the approved site plan. nty Treasurer's signature must the County Clerk.	or the County Clerk. asurer. ne County Clerk). RECORDED DATE: sor. Include all pages. t be obtained prior to the recording of the plat must be obtained prior to Planning Department's

CITY OF ALBUQUERQUE Planning Department September 12, 2007 DRB COMMENTS

ITEM # 11

PROJECT # 1002428

APPLICATION # 07-70238

RE: Lots 39-A-1, 40-C-1 & 40-E-1/vpe,p&f

Planning has no objection to the vacation request.

The AGIS dxf is not approved.

The DRB shall require that all plats approved following the adoption of this section shall contain language in substantially the following form: "No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision."

Planning will take delegation for the AGIS dxf approval, the Solar Collector language, and to record the plat.

Andrew Garcia, Planning Alternate

924-3858 agarcia@cabq.gov



DEVELOPMENT REVIEW BOARD ACTON SHEET

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 12, 2007 MEMBERS:

Sheran Matson, AICP, DRB Chair Sandra Handley, Administrative Assistant

Wilfred Gallegos, Transportation Development Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order 9:00 A.M.

Adjourned: 10:11 A.M.

- B. Changes and/or Additions to the Agenda
- C. New or Old Business

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

CASES WHICH REQUIRE PUBLIC NOTIFICATION MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. Project# 1002473 07DRB-70202 MAJOR - 2YR SUBD IMP AGMT (2YR SIA)

DR HORTON request(s) the above action(s) for all or a portion of **DESERT VISTA SUBDIVISION**, zoned RD-5DU/A, located on VENTURA ST NE BETWEEN CORONA NE AND SIGNAL AVE NE containing approximately 15.94 acre(s). [06DRB-01329] (C-20) **TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. Project# 1000845 07DRB-70203 MAJOR - AMENDED SDP SUBD

WILSON AND COMPANY INC agent(s) for BRUNACINI DEVELOPMENT LTD CO. request(s) the above action(s) for all or a portion of Lot 3 Tract S-1, Lot 2 Tract S-1, Lot 1A Tract S-1A and Tract(s) S-2A-2, S-2A-1 and all lots within Atrisco Business Park and Meridian Business Park, MERIDIAN BUSINESS PARK and ATRISCO BUSINESS PARK (to be known as **MERIDAN BUSINESS PARK PHASE II**) zoned IP, located on UNSER BLVD NW BETWEEN FORTUNA RD NW AND CENTRAL AVE NW. [07DRB-70181] (J-9, J-10 & K-10) THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE PLAN.

3. Project# 1003597
07DRB-70201 VACATION OF PUBLIC EASEMENT

ABQ ENGINEERING agent(s) for SANDIA AREA FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of, Tract(s) 1-D-1-A & 1-E-1-A, Block(s) 15, ALBAN HILLS, UNIT 1, zoned SU-1 FOR C-2, located on COORS BLVD NW BETWEEN LA ORILLA NW AND BRIAN MEADOWS PL NW containing approximately 4.95 acre(s). [07DRB-00576] (D-12) DEFERRED AT THE AGENT'S REQUEST TO 09/26/07.

4. Project# 1006739
07DRB-70187 VACATION OF PUBLIC RIGHT-OF-WAY

JACK'S HIGH COUNTRY INC. agent(s) for MANUEL AND MARTHA P. BARRAZA request(s) the above action(s) for all or a portion of the AMOLE DEL NORTE DIVERSION FACILITY, located on SAGE RD SW BETWEEN RAEL ST SW AND AMOLE DEL: NORTE DIVERSION CHANNEL containing approximately 0.32 acre(s). [Deferred from 09/05/07] (L-10) THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.

5. Project# 1002715
07DRB-70184 VACATION OF PUBLIC
RIGHT-OF-WAY
07DRB-70185 BULK LAND VARIANCE
07DRB-70186 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ISAACSON AND ARFMAN PA agent(s) for PARADISE AT UNSER LLC request(s) the above action(s) for all or a portion of Lot(s) 1,2,3 & 4, replat of Tract H, LANDS OF HORIZON CORPORATION (to be known as PARADISE AT UNSER), zoned SU-1 FOR C-1 USES/ SU-1 PRD-FAR 0.5, located on UNSER BLVD NW BETWEEN PARADISE BLVD NW AND LYONS BLVD NW containing approximately 29.8336 acre(s). [Deferred from 09/05/07] (B-11) THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE BULKLAND VARIANCE WAS APPROVED. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO THE CITY ENGINEER FOR AMAFCA'S SIGNATURE AND TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT AND TO RECORD.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

6. Project# 1006801 07DRB-70240 MINOR - SDP FOR BUILDING PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for BRUNACINI DEVELOPMENT COMPANY, LTD request(s) the above action(s) for all or a portion of Tract(s) C, BRUNACINI AT ATRISCO BUSINESS PARK, zoned IP, located on LOS VOLCANES RD NW BETWEEN UNSER BLVD NW AND COORS BLVD NW containing approximately 22.5074 acre(s). (J-10) DEFERRED AT THE AGENT'S REQUEST TO 09/26/07.

7. Project# 1005513
07DRB-70241 EPC APPROVED SDP
FOR BUILD PERMIT
07DRB-70242 EPC APPROVED SDP
FOR SUBDIVISION

FRANK AND EVELYN BARELA request(s) the above action(s) for all or a portion of Tract(s) 2, LANDS OF ALBERT L. MATTHEW, zoned SU-1/R-LT USES, located on 12TH ST NW BETWEEN DON FRANCISCO NW AND CANDELARIA NW containing approximately 0.3788 acre(s). [Anna Di Mambro, EPC Planner] (G-14) INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.

8. Project# 1004677
07DRB-70221 EPC APPROVED SDP
FOR SUBDIVISION

INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Parcel 1, Tract(s) 133A1, 133A2, 133B, 134 & 135A and Parcel 2 Tract(s) 129B1A, MRGCD Map 38, Tract(s) A & B, LANDS OF HB AND CALVIN HORN & LAGUNA SUBDIVISION, Tract(s) A1A, LAGUNA SUBDIVISION (to be known as COUNTRY CLUB PLAZA) zoned SU-2/CLD, located on CENTRAL AVE SW BETWEEN LAGUNA BLVD SW AND SAN PASQUALE AVE SW containing approximately 4.45 acre(s). [Deferred from 09/05/07] [Carmen Morrone, EPC Planner] (J-13) INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.

9. Project# 1003359
07DRB-70226 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
07DRB-70227 MINOR - SDP FOR
BUILDING PERMIT

RIO GRANDE SURVEYING agent(s) for KASSAM BUSINESS CENTER LLC request(s) the above action(s) for all or a portion of Lot(s) 8-10 & 23-25, Tract(s) A, Block(s) 26, NORTH ALBUQUERQUE ACRES, UNIT B, zoned SU-2/IP, located on EAGLE ROCK AVE NE BETWEEN SAN PEDRO NE AND LOUISIANA NE containing approximately 6.01 acre(s). [Deferred from 09/05/07] (C-18) INDEFINITELY DEFERRED DUE TO A NO SHOW.

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. Project# 1006697

07DRB-70231 VACATION OF PRIVATE EASEMENT 07DRB-70232 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL

SURV-TEK INC agent(s) for G & K SERVICES INC request(s) the above action(s) for all or a portion of Tract(s) D-1A1, LOOP INDUSTRIAL DISTRICT, UNIT 1, zoned SU-2/M-1, located on WILSHIRE AVE NE BETWEEN JEFFERSON ST NE AND SAN MATEO BLVD NE containing approximately 4.911 acre(s). (C-17) THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA'S SIGNATURE AND TO RECORD.

11. cProject#1002428

07DRB-70238 VACATION OF PRIVATE EASEMENT 07DRB-70239 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL

SANDIA LAND SURVEYING, LLC agent(s) for GABRIEL A. PORTILLO request(s) the above action(s) for all or a portion of Lot(s) 39-A-1, 40-C-1 & 40-E-1, ALVARADO GARDENS, UNIT 2, zoned RA-2/W7, located on CAMPBELL RD NW BETWEEN GLENWOOD NW AND RIO GRANDE BLVD NW containing approximately 1.48 acre(s). (G-12) THE VACATION OF PRIVATE EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR FOR THE SOLAR COLLECTOR LANGUAGE AND AMAFCA'S SIGNATURE ON THE PLAT AND TO RECORD.

NO ACTION IS TAKEN ON THESE CASES: APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

12. Project# 1004891

07DRB-70237 SKETCH PLAT REVIEW AND COMMENT

ANTHONY C. GARCIA request(s) the above action(s) for all or a portion of Lot(s) 2, RANCHO GUADALUPE, zoned RA-2, located on RANCHO GUADALUPE TR NW BETWEEN DOUGLAS MACARTHUR NW AND GUADALUPE TR NW containing approximately 0.465 acre(s). (F-14) THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.

13. Project# 1006804 07DRB-70243 SKETCH PLAT REVIEW AND COMMENT

DANIEL PIZARRO request(s) the above action(s) for all or a portion of Parcel(s) B, Tract(s) 118E, LOS PABLITOS ADDITION, zoned R-1, located on GUADALUPE TRAIL NW BETWEEN GREIGOS NW AND MONTANO NW (F-14) THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.

14. Other Matters: None.

ADJOURNED: 10:11 A.M.

2428

DXF Electronic Approval Form

DRB Project Case #:	1002428
Subdivision Name:	ALVARADO GARDENS UNIT 2 LOTS 39A1 40C1 & 40E1
Surveyor:	ANDREW S MEDINA
Contact Person:	ANDREW S MEDINA
Contact Information:	867-1241
DXF Received:	9/5/2007 Hard Copy Received: 9/4/2007
Coordinate System:	Ground rotated to NMSP Grid
1 De am	09-05-2007
	Approved Date
* The DXF file cannot	be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc 2428

to agiscov on 9/5/2007

Contact person notified on 9/5/2007

Mone 1.21	303 (5)	3/13
APPLICATION NO. 0,	3: DRB - 00076 PROJEC	CT NO. 1002428 m
PROJECT NAME AU	MRADO GARDENS -2	
EPC APPLICATION NO).	
APPLICANT / AGENT	Gurveys Swah	PHONE NO. 998-0303
ZONE ATLAS PAGE	5-12	
ONE S	TOP COMMENT	FORM LOG
TRANSPORTATION DEV (505 PLANS DISAPPROVED	() 924-3990 DATE	14-03 DATE
PLANS APPROVED	DATE 3.03	DATE
	COMMENTS:	
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		,, ———————————————————————————————————
UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED PLANS APPROVED DA9	DATE 1/23/03 DATE 2/19/03	DATE
I LANSAITROVED KAL	COMMENTS:	DATE
Parre Note	9 an sheet 1 to	meluse private worter
and Sampany S	sorve use,	
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HYDROLOGY DEV (505) 924-3 PLANS DISAPPROVED 84-3	3986 DATE 1/27/03	DATE
PLANS (APPROVED BUD)	DATE 2/20/03	DATE
	COMMENTS:	
Noed MKGCD	Signature	
		_B
PARKS AND REC (505) 768-53	28	
PLANS DISAPPROVED (Q	DATE 1/2.3/03. DATE 1/2.3/03	DATE DATE
	DATE 228/03 COMMENTS:	DAIL .
Need CIL paym	reciept.	
	<u>-, -, -, -, -, -, -, -, -, -, -, -, -, -</u>	<u> </u>
	•	
PLANNING (505) 924-3858 PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
	COMMENTS:	
		•
		•
		•

(Return form with plat / site plan)

AGIS ELECTRONIC SUBMITTAL CHECKLIST

ORB Project# 1002428 Subdivision Name # Vardo Gardens
Surveyor Gary Gritsto Company Southwest Survey
Meal Weinberg 3/12/03 Approved *Not Approved Date
*Not Approved Date
*Not Approved for one or more of the following reason(s):
File Format and naming
1) Format is not DXF file in ASCII format 2) No hard copy of the final plot submitted
 2) No hard copy of the final plat submitted 3) < DRB Project #>.dxf not used as a standard naming convention
Coordinate System
4)Submittal does not include a disclosure of the datum (NAD27 or NAD83)
5)Submittal does not specify if coordinates are based on ground or grid distances
6)Submittal does not include information necessary to rotate from ground to grid 7)I ines cannot be projected/converted to correct location in NIA DO2 NIACD
7)Lines cannot be projected/converted to correct location in NAD83 NMSP coordinate system
Content
8) Submittal is not single drawing in model space showing only parcel and easement lines
9) Digital submittal does not match final plat
10) Parcel lines are not in one separate layer
11) Access easement lines and all other easements that are 20 feet wide or greater are not in a second separate layer
12) All other easement lines are not in a third separate layer
Comments:
Please include vritten
disolosine Statement about
disclosure Statement about dx F coordinates in the future

Sheran 3-13-03 DXF Sibmittal accepted See attald. RJ.

-- -- --- - -

Subject: 1002428.dxf

Date: Wed, 12 Mar 2003 15:13:53 -0700

From: NWeinberg@cabq.gov
To: pberry@swsurvey.com
CC: SMatson@cabq.gov

Hello Patty,

The dxf file for 1002428 has been approved. Thanks for your patience. In the future, please include the disclosure of the .dxf coordinates in writing.

It would be OK if you just wrote it down on the floppy disk label. Thanks,

-Neal Weinberg AGIS Manager

3/12/03 3:36 PM

Surveys Southwest, LTD

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

January 17, 2003

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: LOTS 40-A, 40-B & 40-C, ALVARADO GARDENS ADDITION, UNIT 2

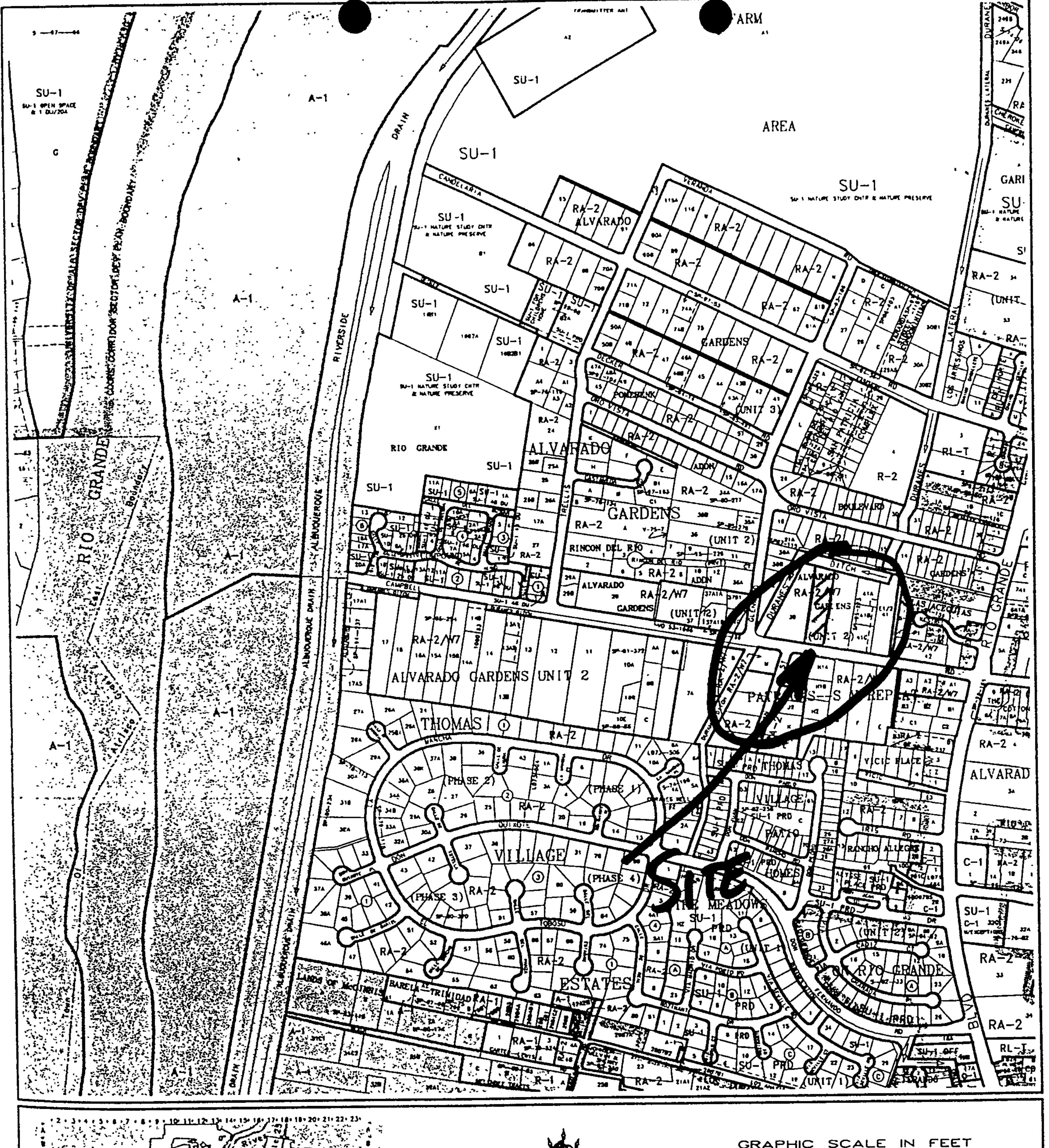
Dear Board Members:

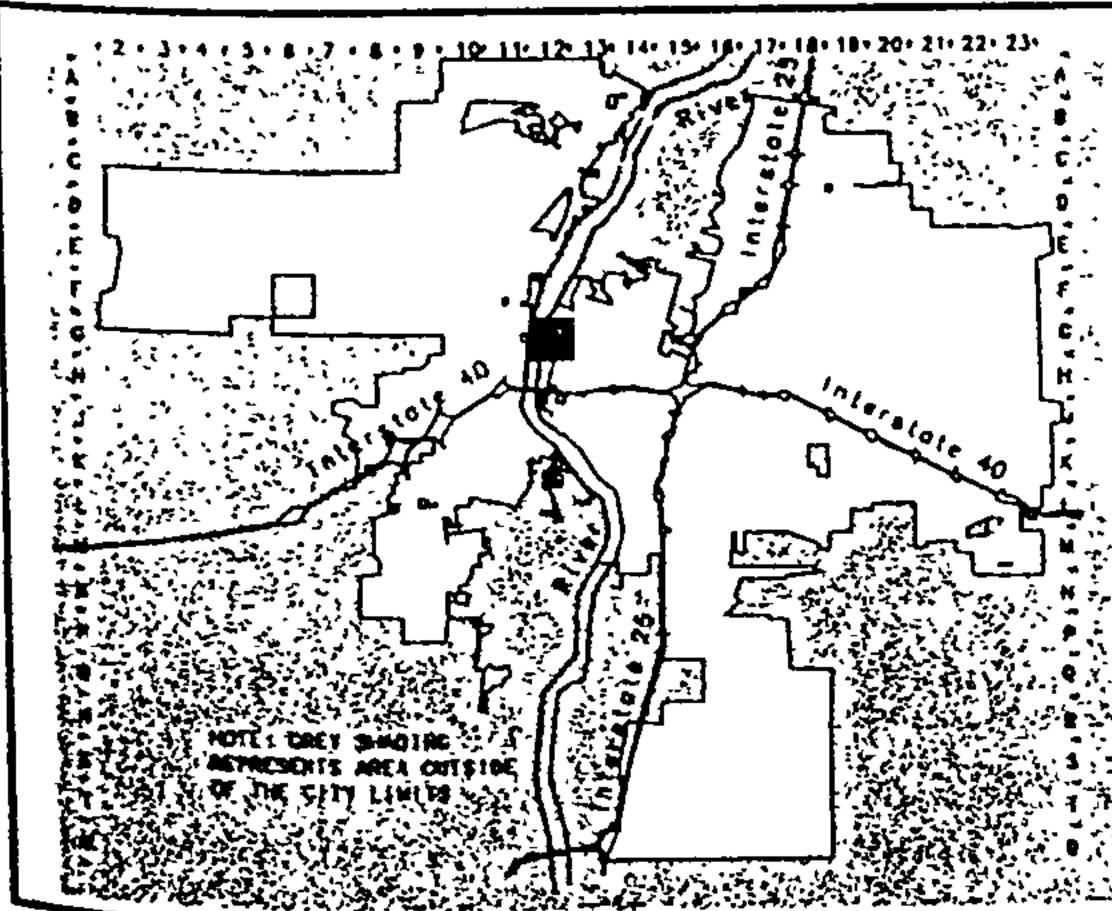
Surveys Southwest, LTD is requesting to divide One (1) existing lot into Three (3) new lots and to grant additional easements as shown for the above referenced property.

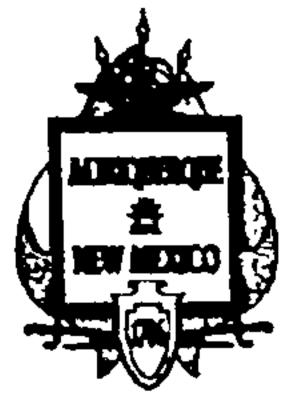
If you have any questions please feel free to contact me.

Dan Graney

President



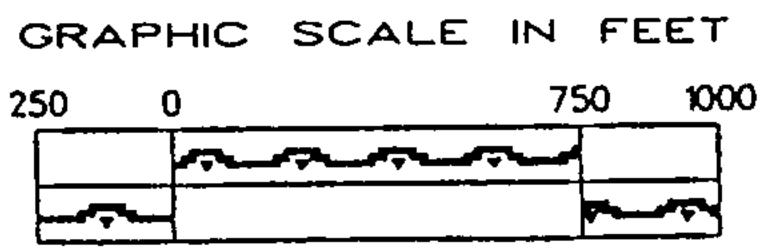




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A buqueque Geographic Information System
PLANNING DEPARTMENT

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Zone Atlas Page

G-12-Z

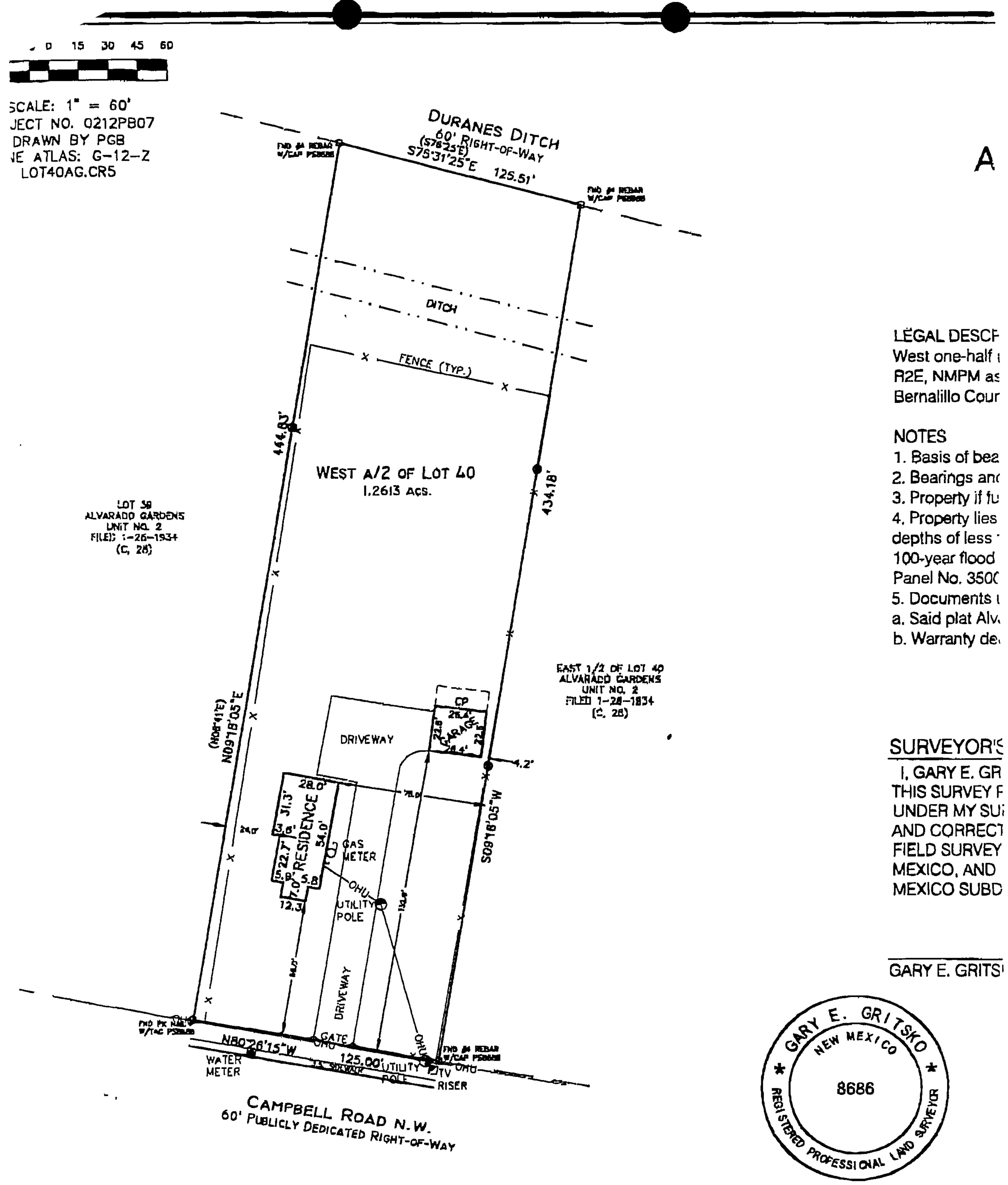
Map Amended through July 19, 2001

SURVEYS SOUTHWEST, LTD

333 LOMAS BLVD:, NE
ALBUQUERQUE, NEW MEXICO 87102
(505) 998-0303
FAX: (505) 998-0306

FAX TRANSMISSION COVER SHEET

Date:	3-03-03
To:	Richard Dourte
Fax:	924-3864 Phone:
Subject:	AUGARADO GARDENS - SI'R SKEKEL
Sender:	Dan Graney
YOU SHO PAGE	ULD RECEIVE PAGE(S), INCLUDING THIS COVER SHEET. IF ALL S ARE NOT RECEIVED, PLEASE CONTACT OUR OFFICE, THANK YOU!
NOTES/CON	MENTS:
<u>, </u>	
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CAMPBELL ROAD N.W.

60' PUBLICLY DEDICATED RIGHT-OF-WAY

BOUNDARY SURVEY PLAT

West 1/2 of Lot 40 ALVARADO GARDENS, UNIT NO. 2 SECTION 1, T. 10 N., R. 2 E., N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO DECEMBER 2002

LEGAL DESCRIPTION

West one-half (W/2) of Lot numbered Forty (40) of ALVARADO GARDENS UNIT 2, an Addition in Sec. 1, T10N, R2E, NMPM as the same is shown and designated on said plat thereof fied in the office of the County Clerk of Bernalillo County, New Mexico on January 26, 1934 in Volume C, folio 28.

NOTES

- 1. Basis of bearings per plat of Alvarado Gardens Unit 2 filed January 26, 1934 in Volume C, Jolio 28.
- 2. Bearings and distances in () parenthesis where record data differs from field data.
- 3. Property if further identified by UPC #: 101206042622640303.
- 4. Property lies within Flood Zone X, designating areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot; or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood, according to the Flood Insurance Rate Map of Bernalillo County and Incorporated Areas per Panel No. 35001C0331 D, effective date September 20, 1996.
- 5. Documents used in preparation of survey are:
- a. Said plat Alvarado Gardens Unit 2 filed on January 26, 1934 in Volume C, tolio 28.
- b. Warranty deed filed July 8, 1998.

SURVEYOR'S CERTIFICATE

I, GARY E. GRITSKO, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR HEREBY CERTIFY THAT THIS SURVEY PLAT WAS PREPARED FROM AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION, THAT I AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS SURVEY PLAT AND THE FIELD SURVEY UPON WHICH IT IS BASED MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVIS!ON ACT. THIS IS A SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

GARY E. GRITSKO, N.M.L.S. NO. 8686

DATE



SURVEYS SOUTHWEST, LTD.

333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102

PHONE: (505) 998-0303 FAX: (505) 998-0306

TION R2E SEC. 1

City of Albuquerque Planning Department

One Stop Shop - Development and Building Services

09/04/2007 Issued By: PLNABG

Permit Number:

2007 070 239

Category Code 910

Application Number:

07DRB-70239, Minor - Preliminary/ Final Plat Approval

Address:

Location Description:

CAMPBELL RD NW BETWEEN GLENWOOD NW AND RIO GRANDE BLVD NW

Project Number:

1002428

Applicant

Gabriel A. Portillo

Agent / Contact Sandia Land Surveying, Llc

2539 Campbell Rd. Nw Albuquerque, NM 87107

292-2456

15 Casa Terrenos Placitas, NM 87043

867-1241

sandialand@comcast.net

Annlination Fees

Mhingmontes		
441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$355.00

TOTAL: \$355.00

> City Of Albuquerque Treasury Division

9/4/2007 wS# 007 .

11:11AH

LOC: ANNY

TRANSH 0008

\$420,00

haccelfia 0008/352-0009/552

FERNITH 2007070239 Trans Ant

TKSMSP

this Actions

\$355.00

Thank You



One Stop Shop - Development and Building Services

09/04/2007 Issued By: PLNABG

Permit Number:

2007 070 238

Category Code 910

Application Number:

07DRB-70238, Vacation Of Private Easement

Address:

Location Description:

CAMPBELL RD NW BETWEEN GLENWOOD NW AND RIO GRANDE BLVD NW

Project Number:

1002428

Applicant

Gabriel A. Portillo

Agent / Contact

Sandia Land Surveying, Llc

2539 Campbell Rd. Nw Albuquerque, NM 87107

292-2456

15 Casa Terrenos Placitas, NM 87043

867-1241

sandialand@comcast.net

Application Fees

		ቀርር ለለ
441006/4983000	DRB Actions	\$ 45.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441018/4971000	Public Notification	

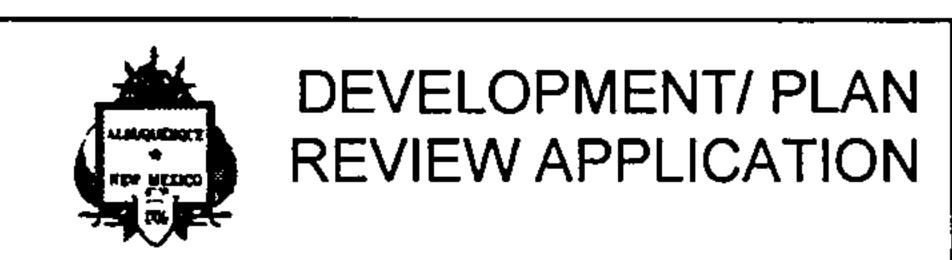
TOTAL: \$65.00

City Of Albuquerque Treasury Division

LOC: ANNX 11:12AH 9/4/2007 1RANS# 0008 US# 007 KECEIFIH 00087552-00087553 TRSMSF FERMI 14 2007070238 \$420,00 Irons Ant \$20.00 Conflict Manag. Fee 445.00 LRP Actions \$420.00 VI 40.00 CIMNGE

thank You

A City of Albuquerque

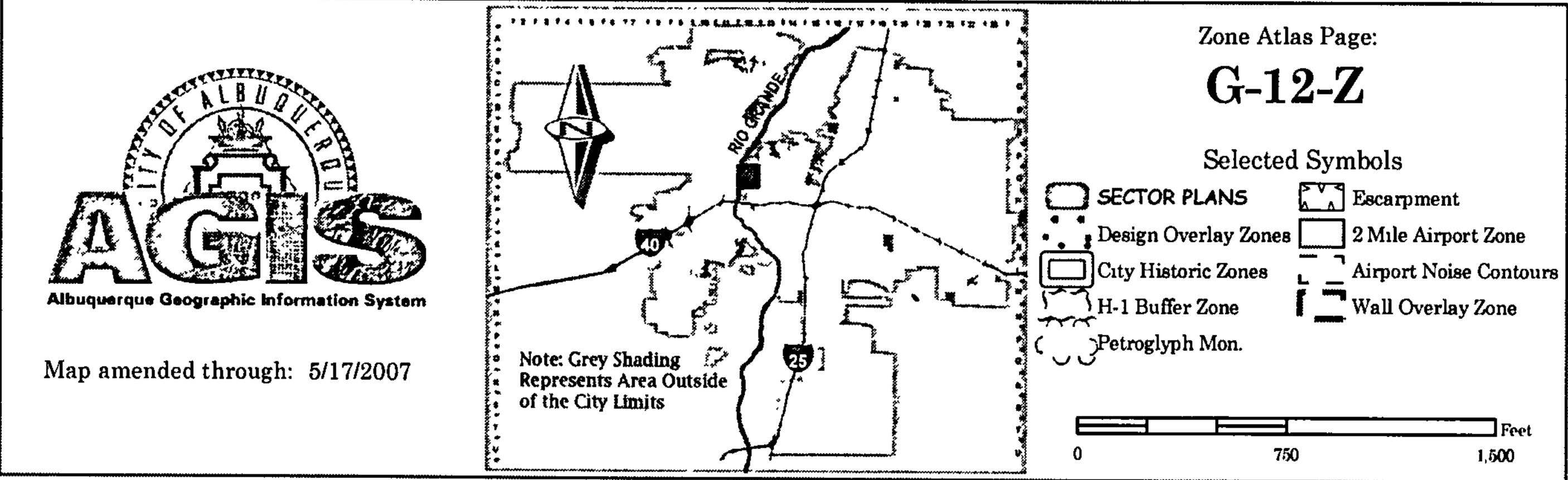


	Supplemental form	
SUBDIVISION	S Z ZONING & PLA	ANNING .
Major Subdivision action	Annexat	
Minor Subdivision action Vacation		County Submittal EPC Submittal
Vacanon Variance (Non-Zoning)	Zone M	ap Amendment (Establish or Change
CITE DEVELOPMENT DLAN	Zoning)	Stan (Blazza I II 10)
SITE DEVELOPMENT PLAN for Subdivision Purposes		Plan (Phase I, II, III) nent to Sector, Area, Facility or
	Comprehe	ensive Plan
for Building Permit IP Master Development Plan		nendment (Zoning Code/Sub Regs)
Cert. of Appropriateness (LUCC)	L A APPEAL/PRO	lame Change (Local & Collector) TEST of
STORM DRAINAGE	D Decision	by DRB, EPC, LUCC, Planning Director or Staff,
Storm Drainage Cost Allocation Plan	ZHE, Zonin	ng Board of Appeals
PRINT OR TYPE IN BLACK INK ONLY. The application Department Development Services Center, 600 2 nd application. Refer to supplemental forms for submit	Street NW, Albuquerque, NM 871	eted application in person to the Planning 102. Fees must be paid at the time of
APPLICANT INFORMATION:		
NAME: GABRIEL A. BOR	7146	PHONE: 292-2156
ADDRESS: 2539 CAMPBE	LL RD. N.W	FAX:
CITY: ALGUELUEZQUE	,	
Proprietary interest in site:	List all owners: Property	A CREAM LEAH MITCHELL LOT39A
AGENT (if any): 3/201/10 1/201/201/201/201/201/201/201/201/201/20	SURVETINGLE	-PHONE: 867-1241 MY WAGMAN
ADDRESS: 15 CASA 76R		
CITY: PLACITAS	STATE ~~ ZIP 87043	E-MAIL: SANDIA LAND COMCAST, NE
DESCRIPTION OF REQUEST: VACATION		
DITCH BASEME	2~ / PR/Limar	27 + PINAL PLAT APPROVA
Is the applicant seeking incentives pursuant to the Family		
SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIP	_	•
Lot or Tract No. 39-4-1, 40-6		: Unit:
Subdiv. / Addn. ALVARÁOO C	FARDENS	
Current Zoning: RA-2/w7	Proposed zoning:	92/w7
Zone Atlas page(s):	No of existing lots:	No. of proposed lots: 3
Total area of site (acres): 1:46 Density if applic		
Within city limits? Kyes. No, but site is within 5 mile		Within 1000FT of a landfill?
UPC No. 191206 0433 247 4035 7, 1		
1012060433277403377	CA 2000 7772784055	6 MRGCD Map No
LOCATION OF PROPERTY BY STREETS: On or Near:	<i></i>	DAS NW
Between GLEWWOOD NW.	and Rio GRA	wee ~.~
CASE HISTORY:		
List any current or prior case number that may be relevant	to your application (Proj., App., DRB-, A)	X_,Z_, V_, S_, etc.):
		
Check-off if project was previously reviewed by Sketch Pla	nt/Plan?, or Pre-application Review Tear	m?. Date of review:
SIGNATURE A CONTRACTOR OF THE SIGNATURE		DATE 8-31-07
(Print) / //////////////////////////////////	SOINA	Applicant X Agent
FOR OFFICIAL USE ONLY		Form revised 4/04
	case numbers A	Action S.F. Fees
All checklists are complete All fees have been collected	<u>-70238</u>	1PRE U \$ 45.
All case #s are assigned DICE All case #s are assigned	- 	$\frac{(5)}{5}$
AGIS copy has been sent —————	·	$\frac{1}{200}$
Case history #s are listed Site is within 1000ft of a landfill	, 	<u> </u>
F.H.D.P. density bonus	-	
HD P. fee rebate Hearing date	September 12,2007	
	- · · · · · · · · · · · · · · · · · · ·	1)2428
Menu June 9/4/0	Project #	<u>U - 1 - U</u>

FO	RM V: SUBDIVISION VARIANCES & VACATIONS	
	BULK LAND VARIANCE (PUBLIC HEARING CASE) Application for subdivision (Plat) on FORM S-3, including those submittal requirements. 24 copies of the plat are required. The Variance and subdivision should be applied for simultaneously. Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived. Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM) Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts Sign Posting Agreement Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S. Any original and/or related file numbers are listed on the cover application DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.	
	VACATION OF PUBLIC RIGHT-OF-WAY VACATION OF PUBLIC EASEMENT The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.) Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") 24 copies Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) Letter briefly describing, explaining, and justifying the request Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts Sign Posting Agreement Fee (see schedule) Any original and/or related file numbers are listed on the cover application Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.	
	SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DPM SIDEWALK DESIGN VARIANCE SIDEWALK WAIVER Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14")	
	TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) Letter briefly describing, explaining, and justifying the deferral or extension Any original and/or related file numbers are listed on the cover application DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.	
X	VACATION OF PRIVATE EASEMENT The complete document which created the private easement (not to exceed 8.5" by 14") 6 copies Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies ✓ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) Letter briefly describing, explaining, and justifying the vacation ✓ Letter of authorization from the grantors and the beneficiaries Fee (see schedule) Any original and/or related file numbers are listed on the cover application Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.	VACAM
	VACATION OF RECORDED PLAT 6 copies of the recorded plat to be vacated 6 copies of documents justifying the vacation Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) Letter describing, explaining, and justifying the vacation Any original and/or related file numbers are listed on the cover application Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.	
info witl	the applicant, acknowledge that any permation required but not submitted that this application will likely result in Applicant name (print) Applicant signature / date Form revised 4/03, 10/03 and APRIL 2006	
प्रम्		7

any information required but not submitted with this application will likely result in deferral of actions. Form revised 8/04, 1/05, 10/05 & NOV 06 Checklists complete Application case numbers 070RB --70239 Fees collected Planner signature / date ra Case #s assigned Project # Related #s listed





MEMO

TO: Whom It May Concern

FROM: Gabriel A. Portillo and Janice C. Portillo

DATE: July 17, 2007

RE: Authorization of Vacation of MRGCD Temporary Easement

We Gabriel A. Portillo and Janice C. Portillo are the owners of Lot 40C of the Alvarado Gardens Addition Unit 2, and authorize the vacation of the Middle Rio Grande Conservancy District's Temporary Easement of the Duranes Ditch off of our property.

Gabriel A. Portillo

Janice C. Portillo

MEMO

TO: Whom It May Concern

FROM: Patricia Cream and Leah Mitchell

DATE: August 8, 2007

RE: Authorization of Vacation of MRGCD Temporary Easement

We Patricia Cream and Leah Mitchell are the owners of Lot 39 A of the Alvarado Gardens Addition Unit 2, and authorize the vacation of the Middle Rio Grande Conservancy District's Temporary Easement of the Duranes Ditch off of our property.

Patricia Cream

Leah Mitchell

MEMO

TO: Whom It May Concern

FROM: Ann Wagner

DATE: August 8, 2007

RE: Authorization of Vacation of MRGCD Temporary Easement

I Ann Wagner am the trustee on behalf of the George L Wagner Trust. The Trust is the owner of the Lot 40 E of the Alvarado Gardens Addition Unit 2, and I authorize the vacation of the Middle Rio Grande Conservancy District's Temporary Easement of the Duranes Ditch off of the property.

Ann Wagner, Trustee

TO WHOM IT MAY CONCERN:

THE PURPOSE FOR THIS REPLAT IS TO REMOVE THE TEMPORARY 60' M.R.G.C.D. DITCH EASEMENT FORM LOTS 39A, LOT 40C AND LOT 40-E, ALVARADO GARDENS UNIT 2. THE DITCH WAS MOVED TO IS PROPER LOCATION NORTH OF THE ABOVE DESCRIBED PROPERTIES. THE M.R.G.C.D. ALSO REQUIRED MR. PORTILLO, THE OWNER OF LOT 40C TO REPLAT THE ABOVE DESCRIBED LOTS ONCE THE DITCH WAS CONSTRUCTED IN ITS PROPER LOCATION. THE NEW LOCATION OF THE DITCH GAVE THE OWNERS OF LOTS 39A AND 40E USE OF THEIR PROPERTY CONSUMED BY SAID DITCH AND MR. AND MRS. PORTILLO WE ABLE TO BUILT THEIR HOME ON LOT 40C.

ACity of Albuquerque



DEVELOPMENT REVIEW APPLICATION

S	upplemental form		Supplemental form
SUBDIVISION	S	ZONING	Z
——————————————————————————————————————	n action	Annexation	& Zone Establishment
Vacation	i action .	Sector Plan	
Variance (Non-Zo	ning)	Zone Chan	
	O /	Text Amen	ament
SITE DEVELOPMENT PL		APPEAL / PROTES	T of
for Subdivision for Building Per		•	/: DRB, EPC,
IP Master Develo		LUCC, Planning D	The state of the s
Cert. of Appropria	teness (LUCC) I	ZHE, Zoning Board	d of Appeals
PRINT OR TYPE IN BLACK INK ON Planning Department Development Settime of application Refer to supplement	LY. The applicant or agen	t must submit the complet NW, Albuquerque, NM uirements.	eted application in person to the 87102. Fees must be paid at the
APPLICANT INFORMATION:	_,		
NAME ICHAE	EL BOWEN	PHO	15. 275-12M
ADDRESS	INA NE		Vo
CITY 1-113(1)	CTATE A / M	FAX:	<u> </u>
Proprietary interest in site	STATE MILLIED	ZIP E-MA	iL:
AGENT (If any) 1/R VF//	MUMILICA	\lambda	000 000
777	CHAINESI, K	PHOI	VE: 770-0303
ADDRESS35 L DINH	DLYI) IL	FAX:	<u> 448-0300</u>
CITY	STATE VIII	ZIP S/10d E-MA	IL:
DESCRIPTION OF REQUEST:	DE CHE EXIST	THY LOT INTL) HREE NEW LOTS
GIOGKHUI HIN	SITIONAL EASER	NEUTS HSSH	<u>wull</u>
Is the applicant seeking incentives pursua	int to the Family Housing Develop	ment Program? Yes	No.
SITE INFORMATION: ACCURACY OF THE	LEGAL DESCRIPTION IS CRUCI	ALI ATTACH A SEPARATE	SHEET IF NECESSARY.
Lot or Tract No W 2 OF	OT 40.	Block:	Unit: 2
Subdiv / Addn	YARAM) GARN	FUS TINITA	
Current Zoning 11A-27	W7 Prond	osed zoning:	
Zone Atlas page(s) $G-12$	- 7	of existing lots:	<u> </u>
	Doncity if applicable: dwellings	existing rots.	No. of proposed lots:
Within city limits? V Yes No but s	Density if applicable: dwellings		dwellings per net acre:
Within city limits? V Yes No, but so UPC No	te is within 5 miles of the city limit		n 1000FT of a landfill?
	,	Annoh-1	GD Map No.
LOCATION OF PROPERTY BY STREET	S: On or Near:	- HUUCHA I	70H) ////
Between	2 / UU and	1710 (JKHU)	XIDLYID IIU
CASE HISTORY: List any current or prior case number tha	l may be relevant to your applicati	on (Proj., App , DRB-, AX_,Z_	, V_, S_, etc.):
Check-cri if project was previously review SIGNATURE	ed by Sketch Plat/Plan U. or Pre-	application Review Leam	Date of review:
(Print) Ban Grane	·		ApplicantAgent
FOR OFFICIAL USE ONLY			Form revised September 2001
☐ INTERNAL ROUTING	Application case number	ers Action	
All checklists are complete	O3DRB.	-00076 PF	S.F. Fees S3 \$ 3557
All fees have been collected	-		\$
All case #s are assigned		<u> </u>	\$
AGIS copy has been sent Case history #s are listed			<u> </u>
Site is within 1000ft of a landfill			<u> </u>
F.HDP. density bonus	Wassing data	R	Total 355
☐ F.H D P fee rebate	المنطق Hearing date		Ф <u> </u>
$\sim \sim $	1/17/2	Project # /	002428
- / / Pla	nner signature / date		

R.B. MEETING (UNADVERT	ISED) OR INTERNAL ROUT	INIG
COMMENT		1140
f subdivision plat (folded to fit into a		
subdivision plat (folded to fit into and structures parking Bldg		
there is any existing land use (folder property(ies) precisely and clearly o	ed to fit into an 8.5" by 14" nocket) 6	a conies
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SION OF PRELIMINARY PLAT	J deadline. Your attendance is re-	quired.
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numbers are listed on the cover app	lication	
ough internal routing.		
B DAYS after the Tuesday noon filing	g deadline. Your attendance is rea	quired.
	es for unadvertised meetings, 4 co	pies for
property(ies) precisely and clearly o	outlined and crosshatched (to be ph	otoconied)
proposed plat for internal routing only	 Otherwise, bring Mylar to meeting] .
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numbers are listed on the cover app	lication	nuirod
INARY / FINAL PLAT APPROV	Al.	
9		
there is any existing land use (folder	ed to fit into an 8.5" by 14" pocket) 6	copies.
property(ies) precisely and clearly on ning, and justifying the request	outlined and crosshatched (to be pho-	otocopied)
roposed plat for internal routing only revor's signatures on the Mylar draw	ina	} .
gnature line on the Mylar drawing if p	roperty is within a landfill buffer	
		anirad
RY PLAT (with minor changes	5)	,
	ges)	
ar distinctions between significant and are those deemed by the DRB to recry Plat, Infrastructure List, and/or Gra	equire public notice and public hearing ading Plan (folded to fit into an 8.5"	ing
	_	et) 6 copies
 4 copies for internal routing. property(ies) precisely and clearly of 	outlined and crosshatched (to be ph	otocopied)
ining, and justifying the request		
veyor's signatures on the Mylar draw	ring, if the plat is being amended	
I expires after one year.		auired.
at		. ف
vill Man and	Applicant name (print)	ALBUQUERQUE
s. Janana	Applicant signature / date	NEW MEXICO
	ppou.i. oigilataio / dato	177
	Form revised September 2001	
ication case numbers ORB -00076 -	9m/	ignature / da
	interviewed through internal routing. St showing structures, parking, Bldg. There is any existing land use (folder property(ies) precisely and clearly of ining, and justifying the request numbers are listed on the cover app BDAYS after the Tuesday noon filing ISION OF PRELIMINARY PLAT in property(ies) precisely and clearly of ining, and justifying the request of ining ining and justifying the request of ining ining ining in property(ies) precisely and clearly of ining ini	Stevewed through internal routing. Showing structures, parking, Bidg, setbacks, adjacent rights-of-way at there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 property(ies) precisely and clearly outlined and crosshatched (to be phing, and justifying the request numbers are listed on the cover application. S DAYS after the Tuesday noon filling deadline. Your attendance is really into the cover application of the cover a

Surveys Southwest, LTD

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

January 17, 2003

DEVELOPMENT REVIEW BOARD MEMBERS PLAZA DEL SOL 600 SECOND STREET NW ALBUQUERQUE, NM 87102

REF: LOTS 40-A, 40-B & 40-C, ALVARADO GARDENS ADDITION, UNIT 2

Dear Board Members:

Surveys Southwest, LTD is requesting to divide One (1) existing lot into Three (3) new lots and to grant additional easements as shown for the above referenced property.

If you have any questions please feel free to contact me.

President

ONE STOP SHOP ••• FRONT COUNTER

City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs) LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol -2nd & 4TH Floor West - 600 2nd St NW 87102 Front Counter Main Number (505) 924-3858 or 924-3895 Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME	Michael Bowen
AGENT	SurveysSVU
ADDRESS	
PROJECT NO.	10
APPLICATION NO.	
	\$ 355, 441006 / 4983000 (DRB Cases)
	\$ 441006 / 4971000 (EPC & AA / LUCC / Appeals)
	\$ 441018 / 4971000 (Notification)
	\$ 355. Total amount due
MICHAEL W. BOWEN KRISTI L. BOWEN PH. 505-343-0422 2850 RIO GRANDE BLVD. NW ALBUQUERQUE, NM 87107	$\frac{95-219}{1070}130$ 1161 1352044474 Date $\sqrt{-17-0.3}$
Order of The Lundhal and	Styfue Dollars A months
Wells Fargo Bank New Mexico, N.A. 6000 Menaul NE FARGO Albuquerque, NM 87110 www.wellsfargo.com	Details in Sect
Memo	Mode Was
1107002192113520444	74" O11'51

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\$355.00

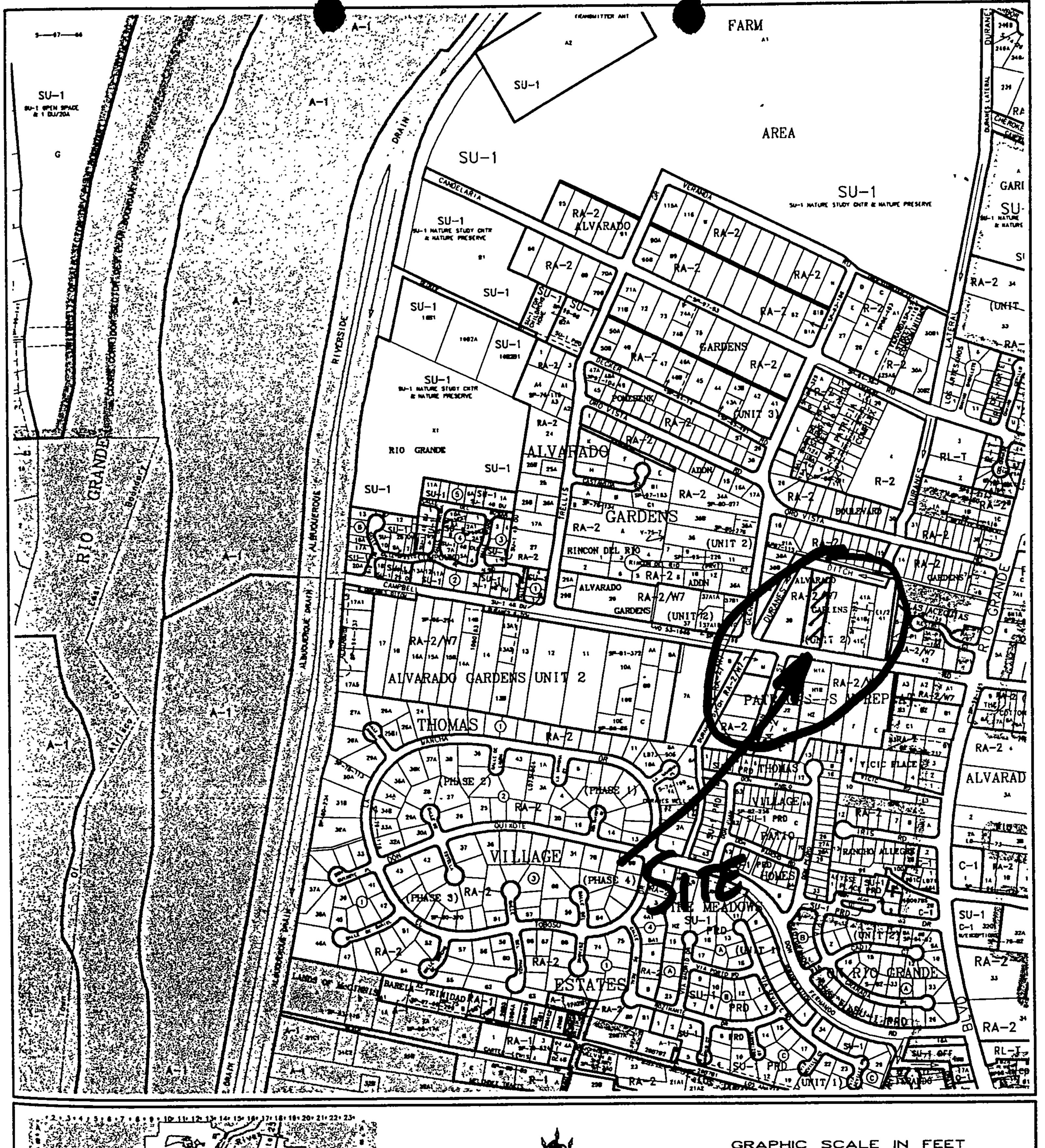
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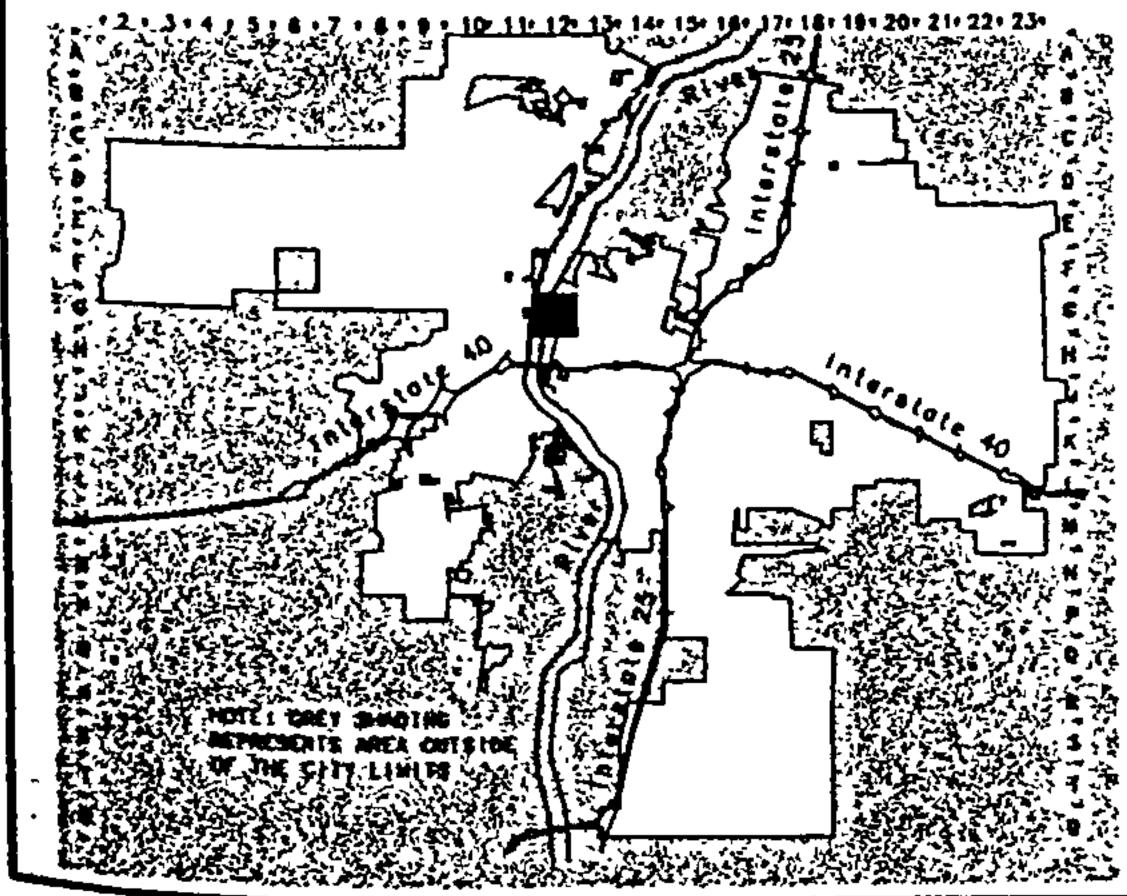
Treasury Division

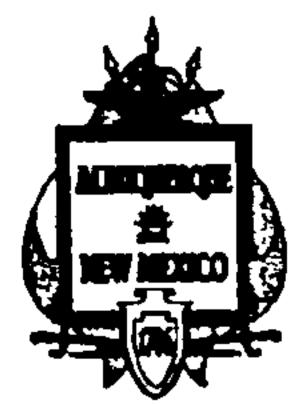
01/17/2003 1:37PM LOC: ANNX RECEIPT# 00002284 WS# 007 TRANS# 0012 Account 441006 Fund 0110 Activity 4983000 TRSEZM Trans Amt \$319/28/92 J24 Misc \$355.00 CK

CHANGE

counterreceipt.doc



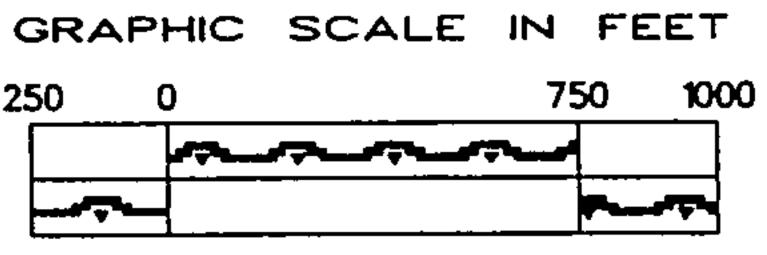




Albuquerque

A buqueque Geographic Information System
PLANNING DEPARTMENT

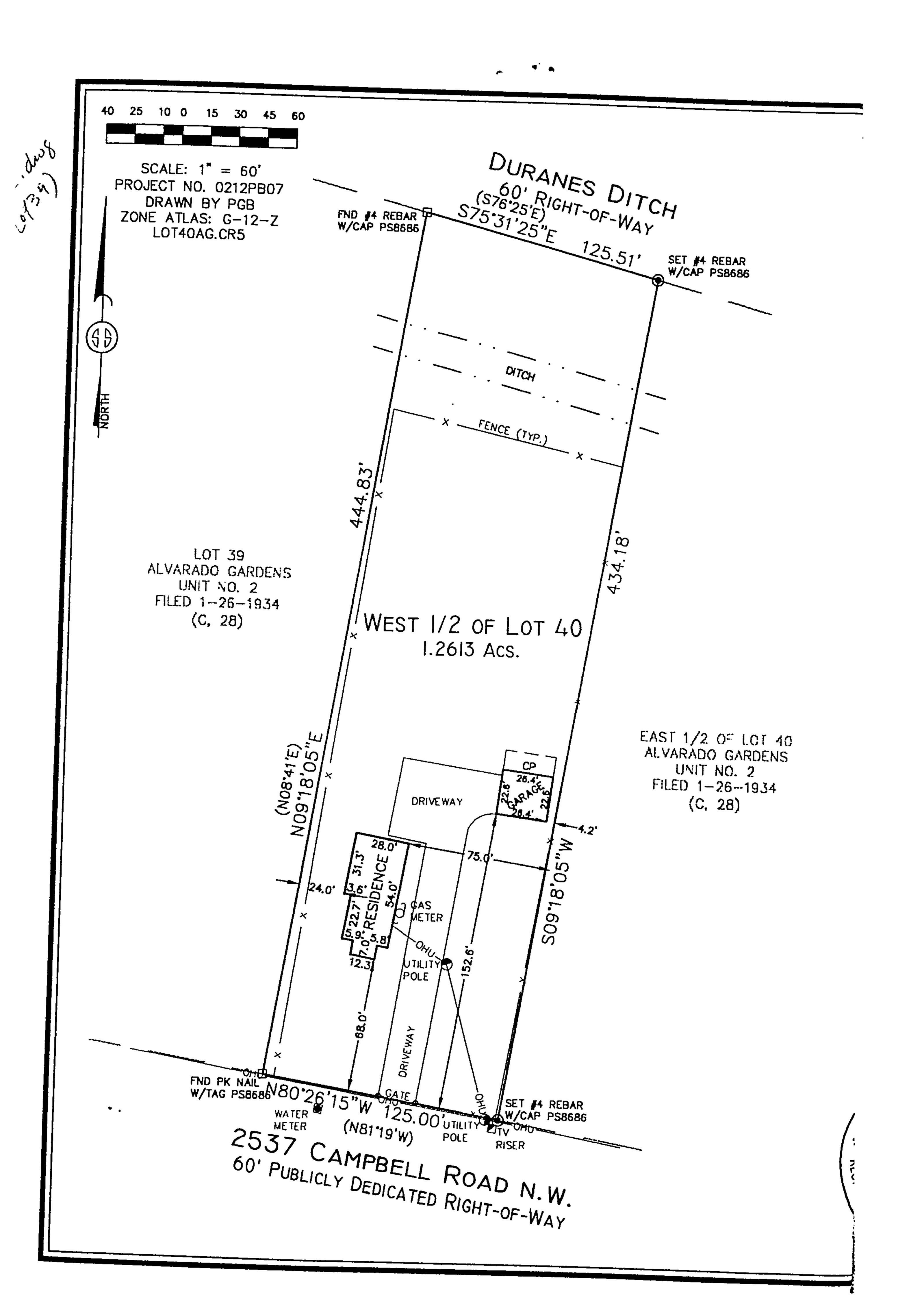
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Zone Atlas Page

G-12-Z

Map Amended through July 19, 2001



SANDIA LAND SURVEYING LLC 15 CASA TERRENOS PLACITAS, N.M. 87043 (505) 867-1241

JOB NO.: 778-06

DATE: 9-13-2006 SCALE: 1"=30'

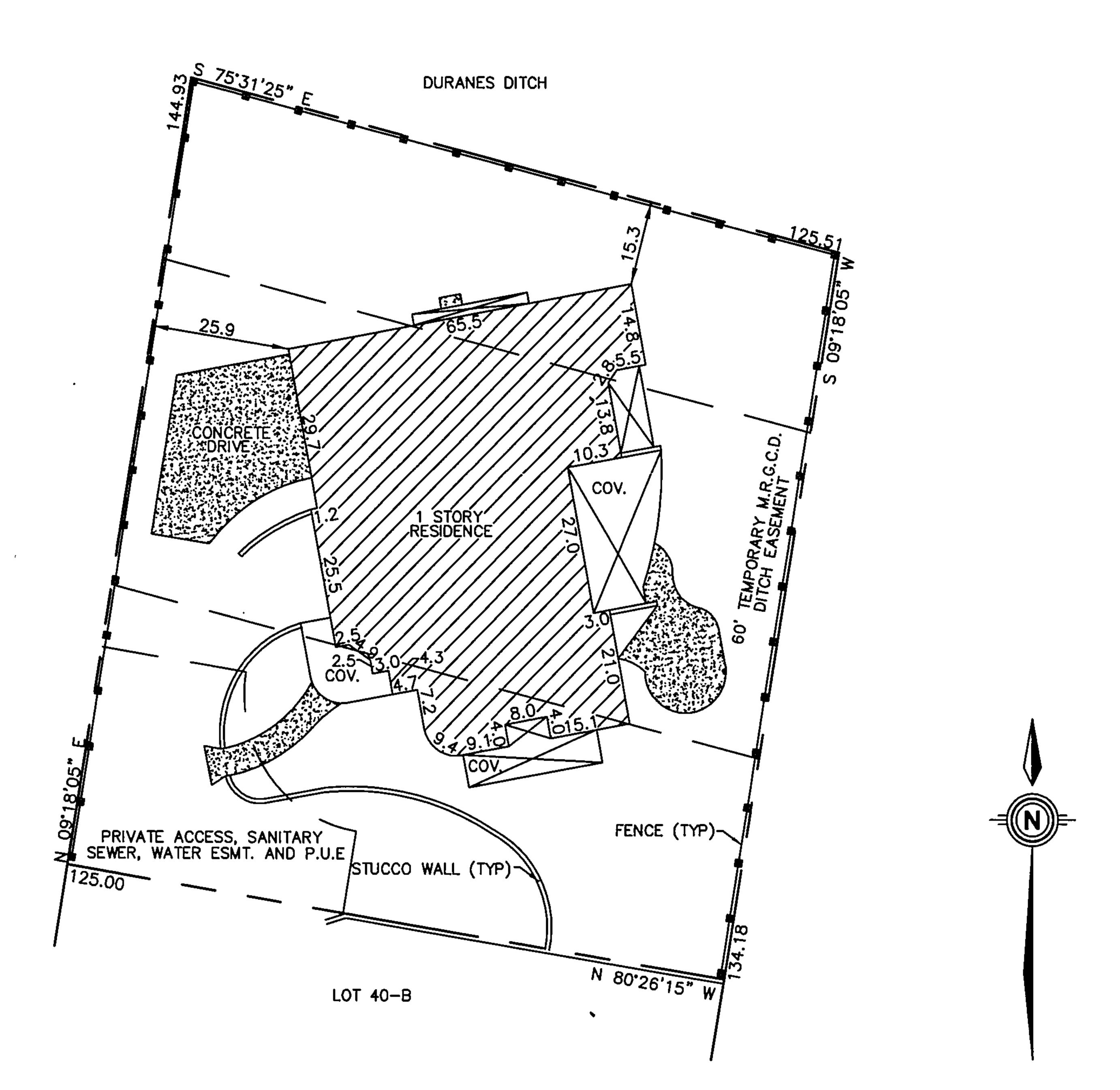
IMPROVEMENT LOCATION REPORT LOT 40-C ALVARADO GARDENS CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

NOTE: THIS IS NOT A SURVEY FOR USE BY A PROPERTY OWNER FOR ANY PURPOSE

PROPERTY OWNER FOR ANY PUR	P(
THIS IS TO CERTIFY: TO TITLE COMPANY: ALBUQUERQUE TITLE ; TO UNDERWRITER:;	
TO LENDER: that onSEPTEMBER_13TH, 20_06, I,A.S. MEDINA, N.M.P.S. No12649, made an inspection of the premises situated at LOT_40-C, ALVARADO GARDENS UNIT_2, CITY_OF_ALBUQUERQUE, BERNALILLO_COUNTOOunty, New Mexico briefly described as (Address if applicable) _2539_CAMPBELL_ROAD, N.W.	
PLAT REFERENCE: Bearings, distances and/or curve data are taken from the following plat (include filing information if plat is filed)	
NOTE: The error of closure is less than one foot of error for every 20,000 feet along the perimeter of the legal description provided. Easements shown hereon are as listed in the Title Commitment No. 6224000907 provided by the Title Company. Improvement locations based on previous property surveys. No monuments were set. This tract is subject to all easements, restrictions and reservations of recomplications. This report is not to be relied on for the establishment of fences, buildings or other future improvements.	

LEGAL DESCRIPTION

LOT NUMBERED FORTY-C (40-C), ALVARADO GARDENS UNIT 2, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 13, 2003, IN VOLUME 2003C, FOLIO 61.



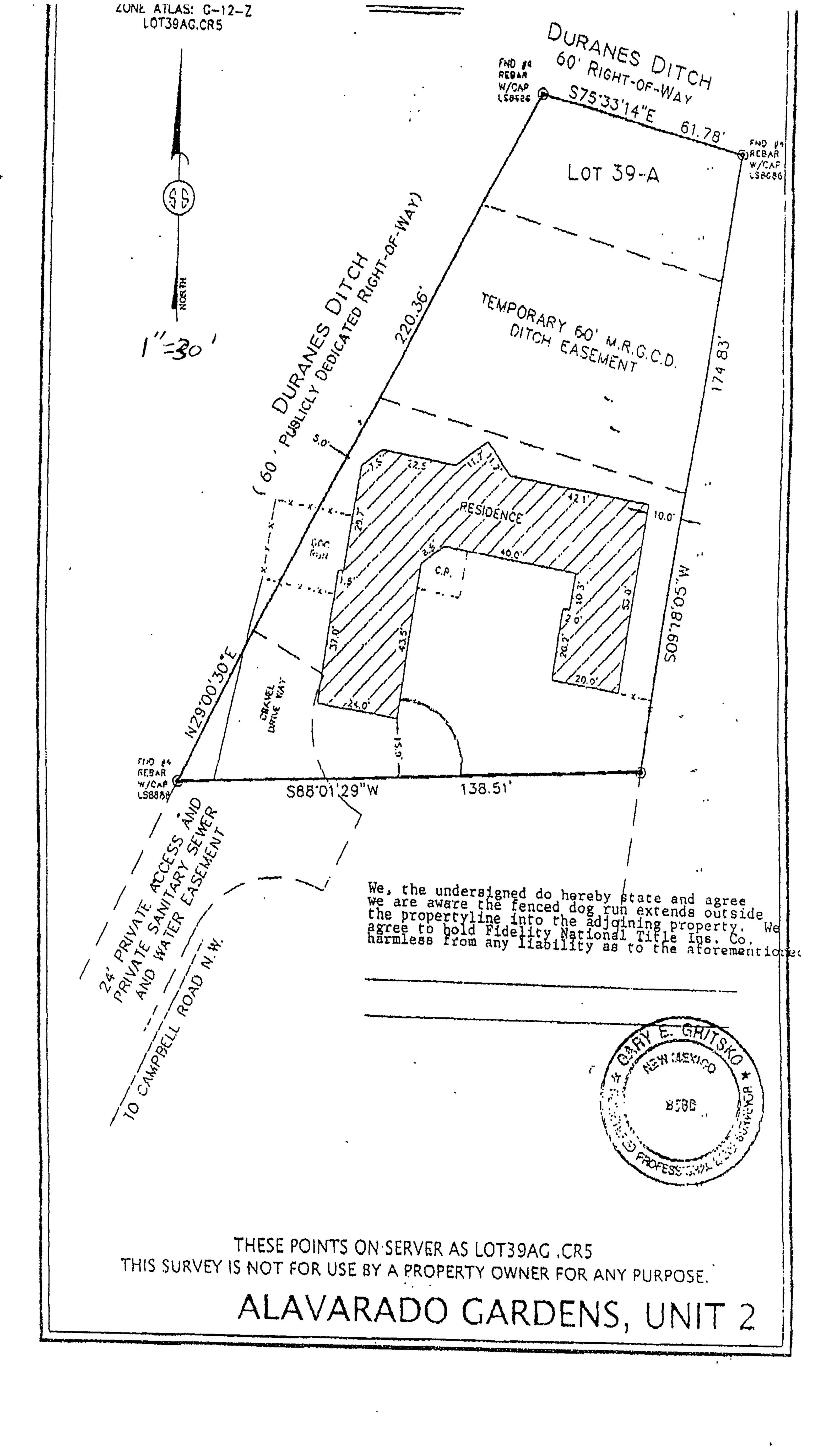
FLOOD CERTIFICATE:

IT IS HEREBY CERTIFIED THAT THE ABOVE DESCRIBED PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOOD HAZARD BOUNDARY IN ACCORDANCE WITH HUD FEDERAL ADMINISTRATION FLOOD HAZARD BOUNDARY MAP DATED SEPTEMBER 20, 1996. ZONE "X", COMMUNITY PANEL NO. 350002 0331 D.

I FURTHER CERTIFY as to the existence of the following at the time of my last inspection:
 Evidence of rights of way, old highways or abandoned roads, lanes, trails or driveways, sewer, drains, water, gas, or oil pipe lines on or crossing said premises (show location, if none visible, so indicate):* Springs, streams, rivers, ponds, or lakes located, bordering on or through said premises:* Evidence of cemeteries or family burial grounds located on said premises (show location):* Overhead utility poles, anchors, pedestals, wires or lines overhanging or crossing said premises and serving other properties(show location):*
5. Joint driveways or walkways, joint garages, party walls or rights of support, steps or roofs in common or joint garages: 6. Apparent encroachments. If the building, projections or cornices thereof, or signs affixed thereto, fences or other indications of occupancy appear to encroach upon or overhang adjoining property, or the like appear to encroach upon or overhang inspected premises, specify all such (show location): *
7. Specific physical evidence of boundary lines on all sides: <u>SEE ABOVE SKETCH</u>
8. Is the property improved? (If structure appears to encroach or appears to violate set back lines, show approximate distances): YES 9. Indications of recent building construction, alterations or repairs: SEE ABOVE SKETCH
10. Approximate distance of structure from at least two lot lines must be shown SEE ABOVE SKETCH

* NOT APPLICABLE, UNLESS INDICATED OTHERWISE ON THE ABOVE SKETCH

N.M.P.S. No. 12649



SANDIA LAND SURVEYING LLC 15 CASA TERRENOS PLACITAS, N.M. 87043

(505) 867-1241

JOB NO.: 065-07

DATE: 8-31-2007 SCALE:

EXHIBIT A

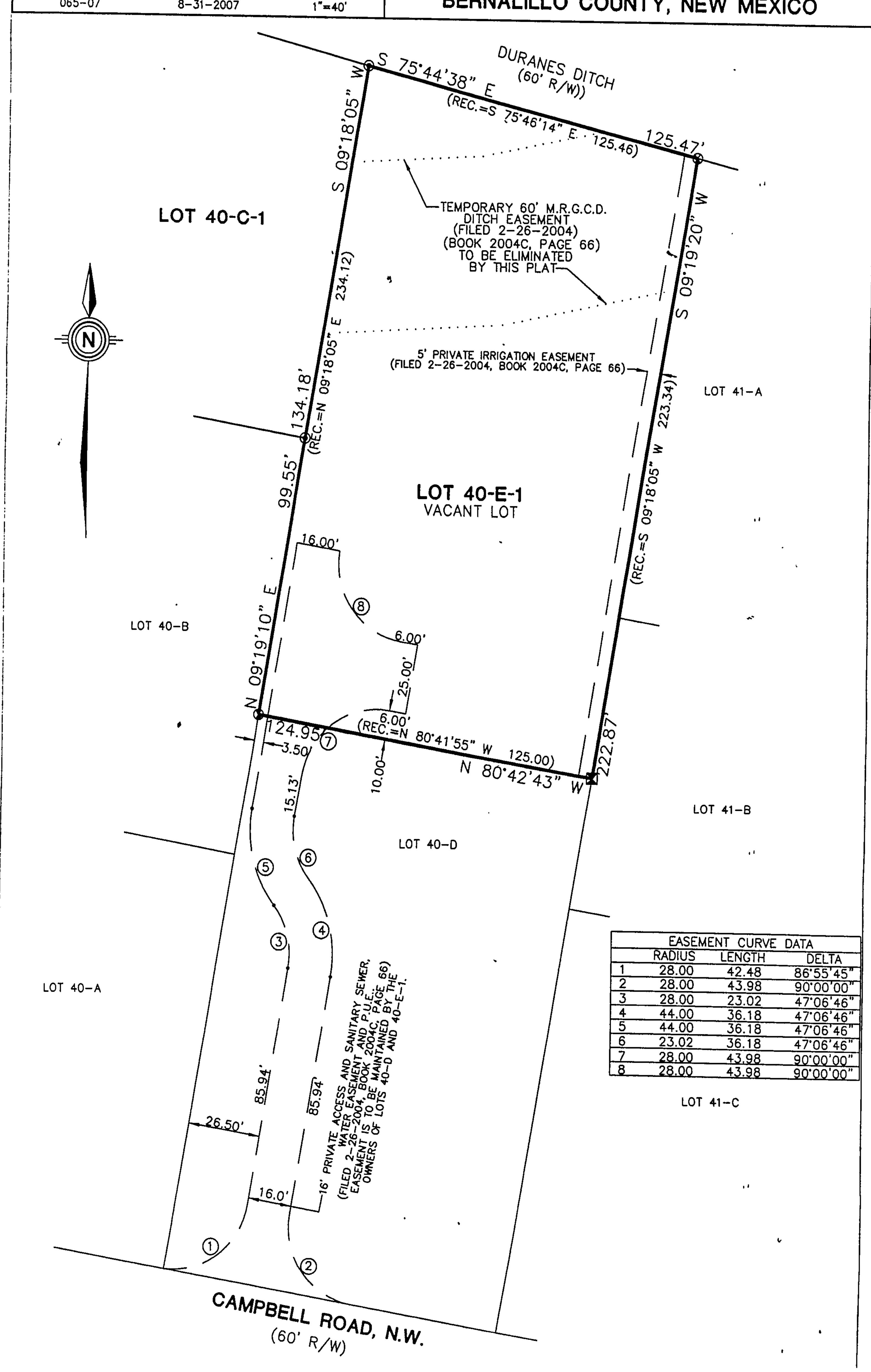
LOT 40-E-1

ALAVRADO GARDENS UNIT 2

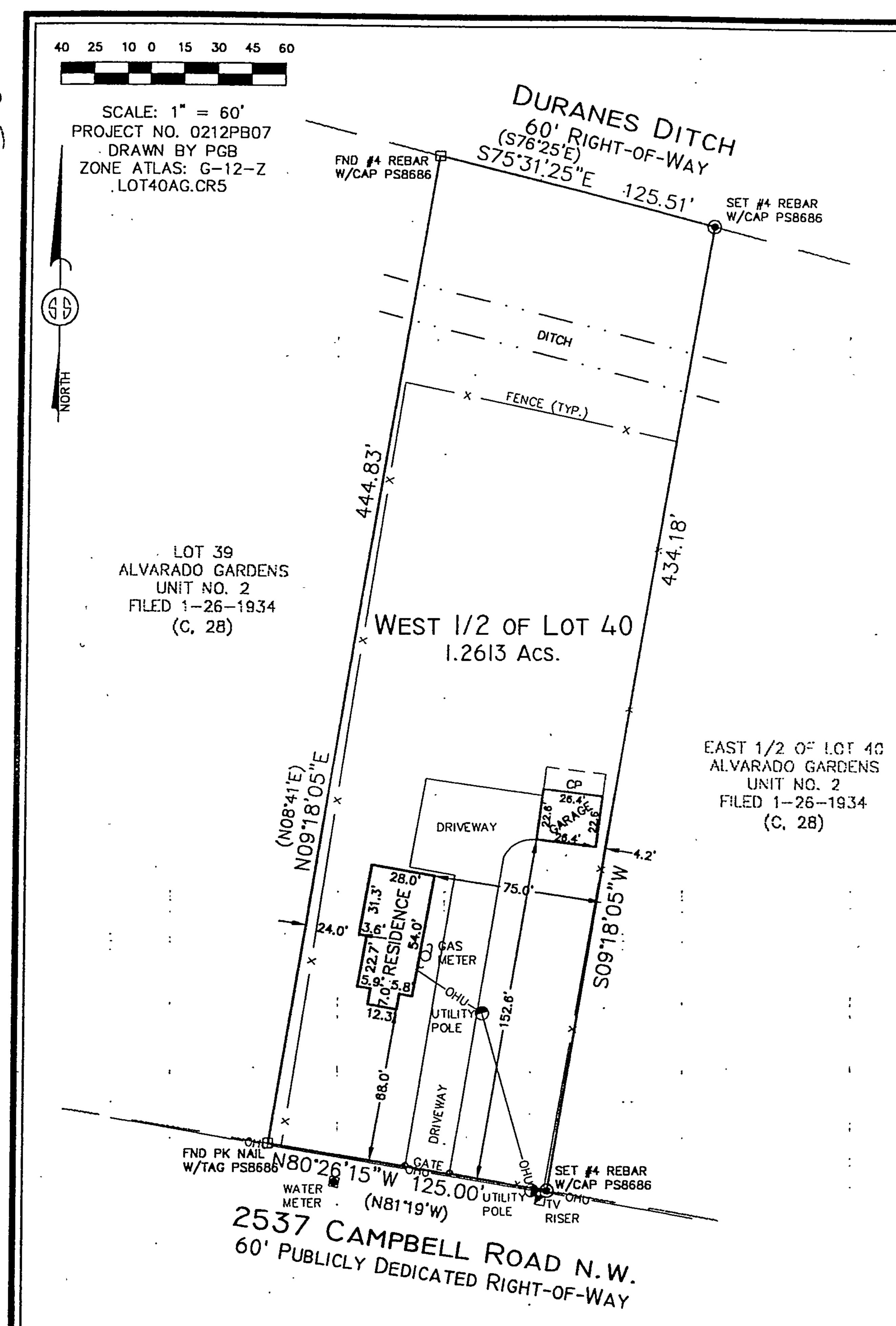
CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

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BOUNDARY SURVEY PLAT

West 1/2 of Lot 40
ALVARADO GARDENS, UNIT NO. 2
SECTION 1, T. 10 N., R. 2 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2002

LEGAL DESCRIPTION

West one-half (W/2) of Lot numbered Forty (40) of ALVARADO GARDENS UNIT 2, an Addition in Sec. 1, T10N, R2E, NMPM as the same is shown and designated on said plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on January 26, 1934 in Volume C, folio 28.

NOTES

- 1. Basis of bearings per plat of Alvarado Gardens Unit 2 filed January 26, 1934 in Volume C, folio 28.
- 2. Bearings and distances in () parenthesis where record data differs from field data.
- 3. Property if further identified by UPC #: 101206042622640303.
- 4. Property lies within Flood Zone X, designating areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot; or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood, according to the Flood Insurance Rate Map of Bernalillo County and Incorporated Areas per Panel No. 35001C0331 D, effective date September 20, 1996.
- 5. Documents used in preparation of survey are:
- a. Said plat Alvarado Gardens Unit 2 filed on January 26, 1934 in Volume C, folio 28.
- b. Warranty deed filed July 8, 1996.

SURVEYOR'S CERTIFICATE

I, GARY E. GRITSKO, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR HEREBY CERTIFY THAT THIS SURVEY PLAT WAS PREPARED FROM AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION, THAT I AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS SURVEY PLAT AND THE FIELD SURVEY UPON WHICH IT IS BASED MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT. THIS IS A SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

GARY E. GRITSKO, N.M.L.S. NO. 8686

1)ec. 9, 2002 DATE

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SURVEYS SOUTHWEST, LTD.

333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102 PHONE: (505) 998-0303 FAX: (505) 998-0306

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