

# Saab Albuquerque 5301 Alameda Boulevard

Albuquerque, New Mexico

JANUARY 21, 2003 DRB SUBMITTAL

DRAWING INDEX

LANDSCAPE PLAN 4. BUILDING ELEVATIONS

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

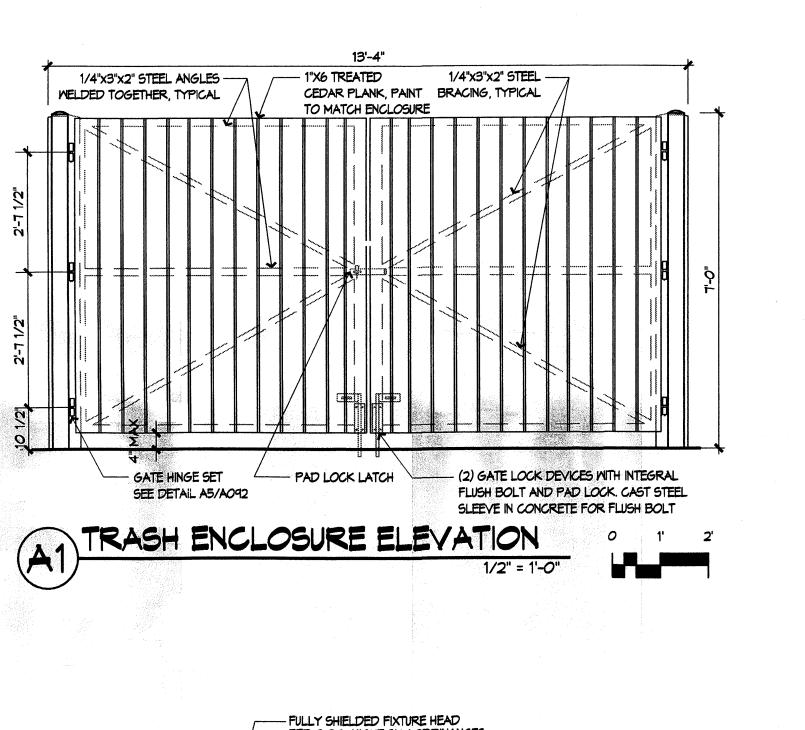
GRADING, DRAINAGE, AND UTILITY PLAN

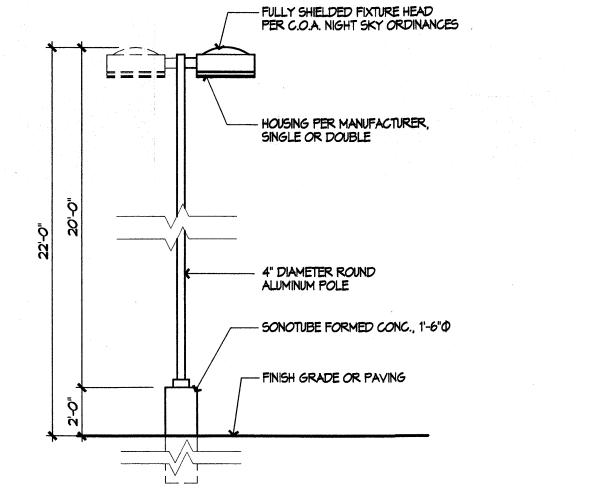
# ARCHITECTURAL/LANDSCAPING

DEKKER/PERICH/SABATINI, LTD. 6801 JEFFERSON ST. NE, SUITE 100 ALBUQUERQUE, NM 87109 (505) 761-9700 FAX: (505)-761-4222

# CIVIL ENGINEERING

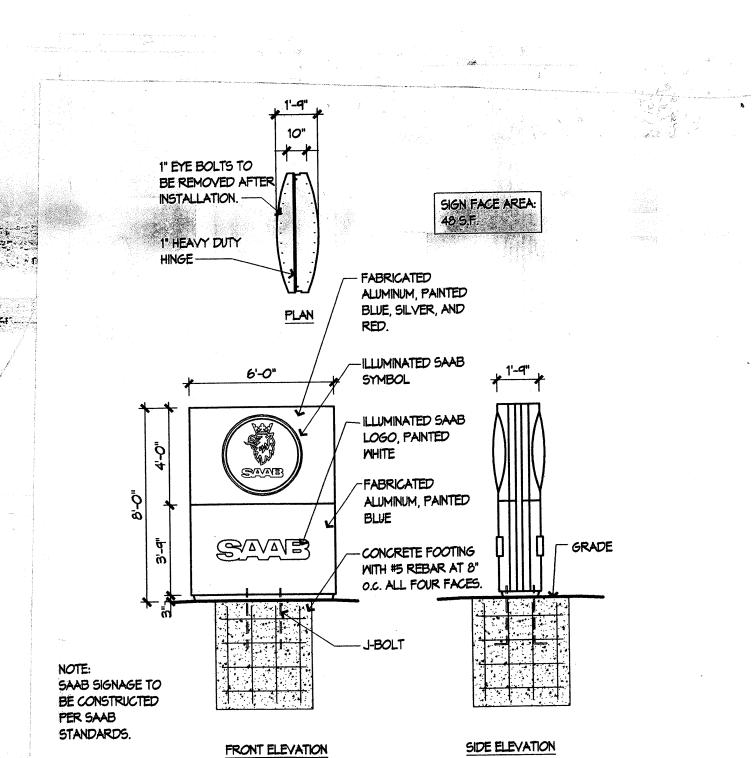
BOHANNAN - HUSTON, INC. 7500 JEFFERSON ST. NE ALBUQUERQUE, NM 87109 (505) 823-1000 FAX: (505) 821-0892



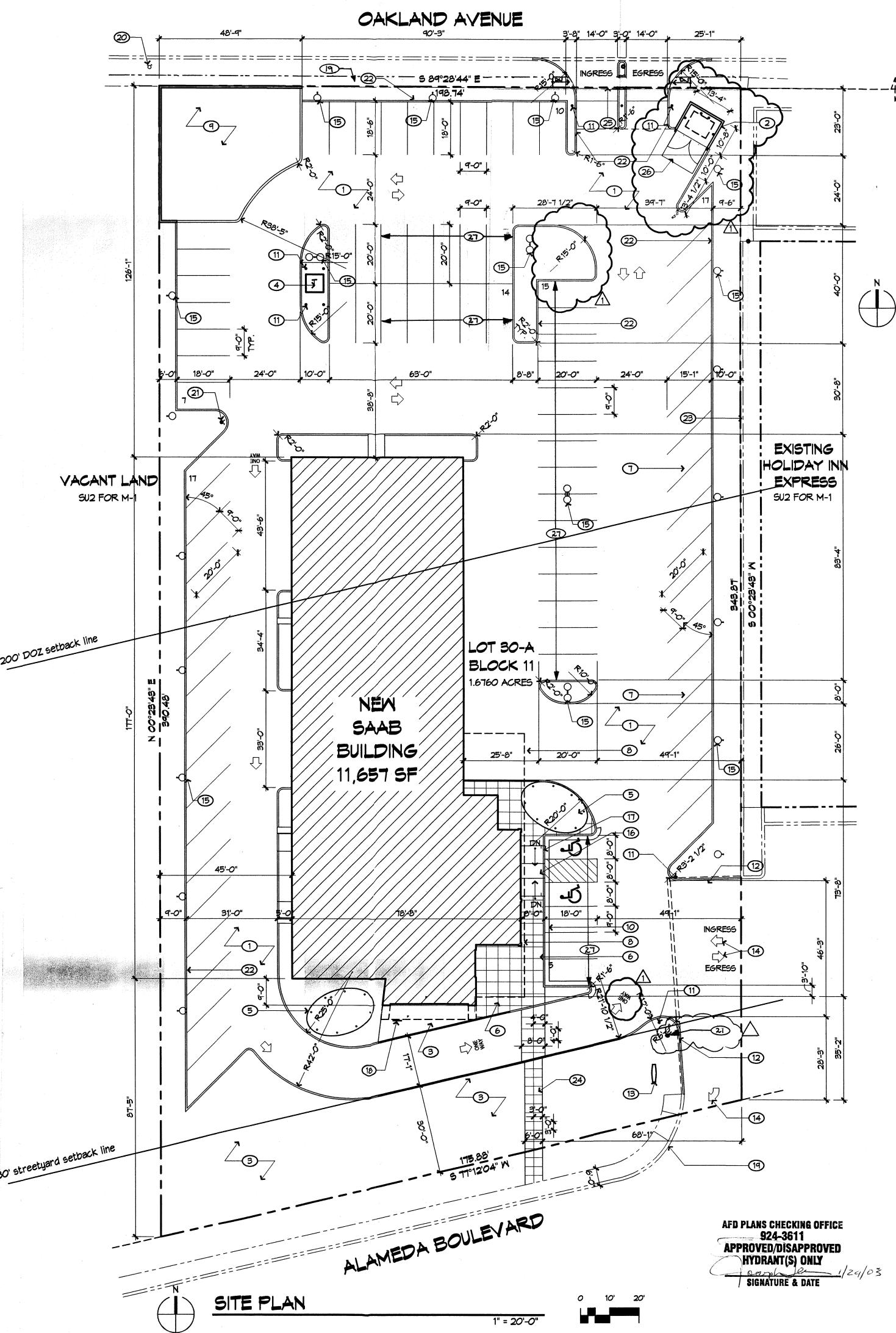


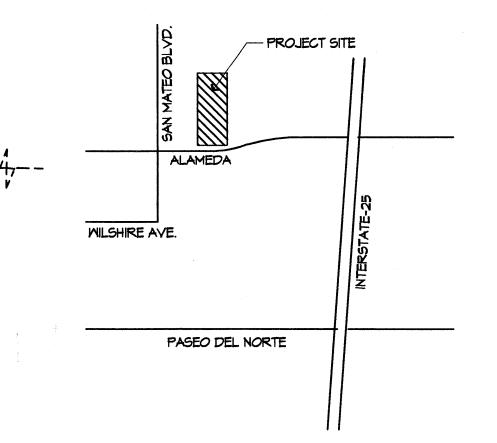
LIGHT POLE ELEVATION

0 2' 4'



IONUMENT SIGNAGE







6801 Jefferson NE Suite 100 Albuquerque, NM 87109 505 761-9700 fax 761-4222 dps@dpsabq.com

ARCHITECT

PROJECT

REVISIONS

DATE

1"-400'

C-18-Z KEYED NOTES O

VICINITY MAP

ASPHALTIC PAVING 8" CMU REFUSE ENCLOSURE COA SOLID WASTE DEPT. STANDARDS. RE: ELEVATION ON THIS SHEET. LANDSCAPING PER LANDSCAPE DRAWINGS ELECTRICAL TRANSFORMER VEHICLE DISPLAY - N.I.C. INTEGRAL, COLORED CONCRETE PAVING

NEW VEHICLE PARKING CANOPY OVERHANG LANDSCAPED STORM WATER DETENTION AREA. 10. CONCRETE CURB AND GUTTER. 11. STEEL BOLLARD

12. EXISTING CURB TO BE REMOVED 13. MONUMENT SIGN, RE: ELEVATIONS THIS SHEET. 14. DIRECTIONAL ARROWS 15. LIGHT POLE TYP. RE: ELEVATION THIS SHEET.

16. ACCESSIBILITY RAMP 17. ACCESSIBILITY SIGN 18. BIKE RACK, 2 SPACES.

19. EXISTING SIDEMALK 20. EXISTING FIRE HYDRANT 21. NEW FIRE HYDRANT. 22. CONCRETE CURB

23. EXISTING 4' HALF HEIGHT STUCCO WALL 24. NEW SIDEMALK FROM EXISTING SIDEMALK TO BUILDING ENTRANCE. 25. CONCRETE PAVING AND APPROACH APRON.

27. CUSTOMER PARKING PROJECT DATA

ADDRESS: 5301 ALAMEDA BLVD. NE LEGAL DESCRIPTION;

26. CONCRETE APRON

LOT 30-A, BLOCK 11 TRACT A, UNIT B - NORTH ALBUQUERQUE ACRES PROJECTED SECTION 13, T 11 N, R 3 E, N.M.P.M.

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM ZONING: SU2 FOR M-1

TOTAL ACREAGE: 72,944 S.F. = 1.675 ACRES TOTAL BUILDING AREA: 12,746 G.S.F.

ACTUAL BUILDING AREA: 12,746 S.F. - 1087 S.F. (area of covered canopies) = 11,659 S.F.

BUILDING USE: CAR DEALERSHIP INCLUDING ADMINISTRATIVE OFFICE SPACE AND AUTO SERVICE (NO WELDING)

REQUIRED

1 SPACE FOR EA. 200 S.F. OF RETAIL OR SERVICE AREA 5,018/200 S.F. = 26 SPACES REQ'D. 1 SPACE FOR EA. 1000 S.F. OF MANF. OR WHOLESALE (SERVICE WING) 6,667/1000 S.F. = 1 SPACES REQ'D. 1 BICYCLE PARK. SPACE/20 VEHICLES; (2 MIN.) MIN. OF (2) H.C. ACCESSIBLE PARKING SPACE W/ ACCESS AISLE

33 TOTAL PARKING SPACES REQUIRED -3 SPACES FOR BUS PROXIMITY CREDIT (10%) 30 SPACES TOTAL REQUIRED

2 H/C PARKING SPACES PROVIDED (W ACCESS AISLE) 2 BICYCLE PARKING SPACES PROVIDED

Site Development Plan for Building Permit

85 PARKING SPACES PROVIDED

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE APPROVAL BY THE DESIGN OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH: 1002435 11 03 DRB - 00092

1-24-03 SOLID WASTE, ALBUQUERQUE well comply wif COA specs 2-04-03 Christina Sandora 1/29/03

1/29/03 CITY ENGINEER, ENGINEERING DIVISION / AMAFCA

APPROYAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual

CITY PLANNER, ALBUQUERQUE-/BERNALULE

SHEET NO.

al Internation lameda Bou Saab uropa 5301 田

1 01/23/03 Solid Waste Revision

01/24/03

DRAWN BY REVIEWED BY 02105

PROJECT NO. DRAWING NAME SITE PLAN

# GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.

2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.

3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).

4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.

OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN. 6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT

5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK

PROPERTY OR PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL PREPARE A SWPPP FOR THE PROJECT AND SHALL TAKE ALL MEASURES NECESSARY TO COMPLY WITH EPA REQUIREMENTS. 7. "A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL

AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR

8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.

UTILITY NOTES 1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO IS 1.75 efs/AC = 2.9 efs MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS

2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT

3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM

4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS

5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES. 6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY

7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.

8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE

9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS INCLUDING UTILITY EXPANSION CHANGES. OWNER SHALL BE RESPONSIBLE FOR PRORATA AND OTHER SPECIAL ASSESSMENTS.

10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING UTILITY LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO

BW (WEST)=60.60±

BW (SOUTH)=62.00

BW (NORTH)=59.50

G = 61.87

G = 62.01

FL64.70 🖊

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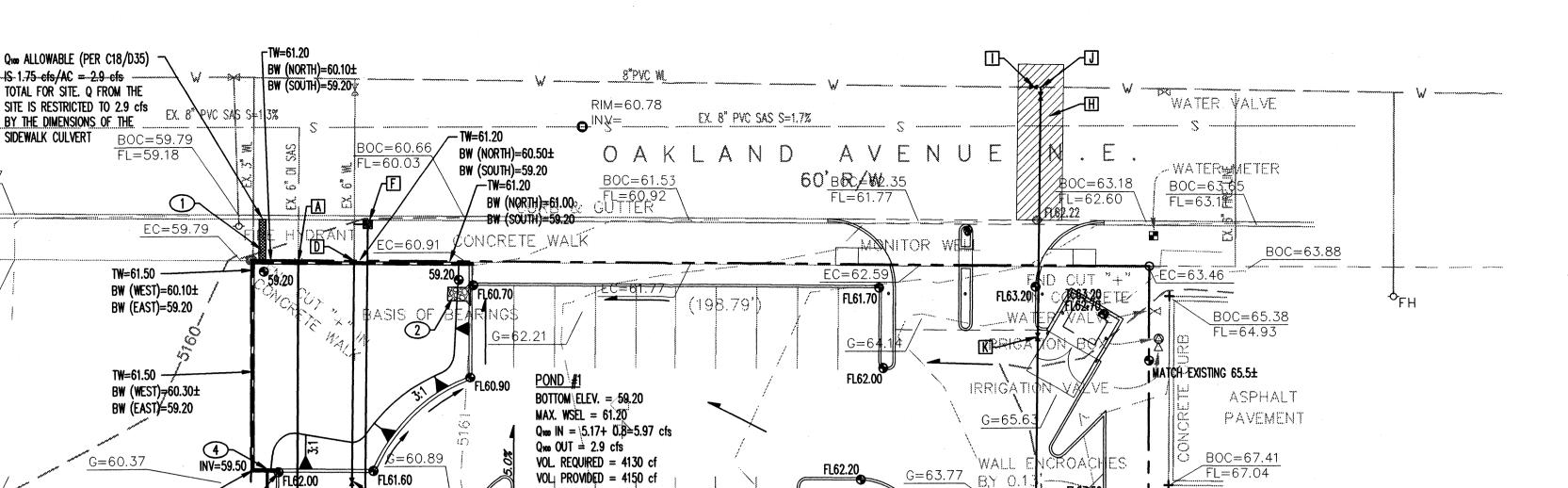
T A. UNIT 6

JQUERQUE ACRES

.PRIL 24, 1936

D, FOLIO 130

BW (EAST)=59.20 TW=62.50 ---



FL62.68

<u>G=63.90</u>/

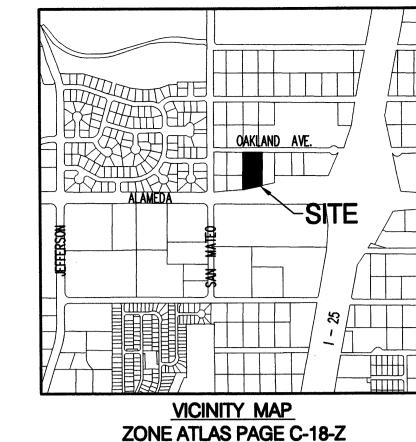
/G=64.37

**NORTH BASIN** 

 $Q_{100} = 5.17 \text{ cfs}$ 

1.09 AC 85% IMPERVIOUS

G = 62.44



CONCRETE WALK

SCALE: 1"=20'

LOT 30-A. BLOCK 11 TRACT A. UNIT B. NORTH ALBUQUERQUE ACRES.

LOT 30-B

BLOCK 11

TRACT A, UNIT B

NORTH ALBUQUERQUE ACRES

FILED: SEPTEMBER 10, 1997

VOLUME 97C, FOLIO 267

LEGAL DESCRIPTION

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM





architecture

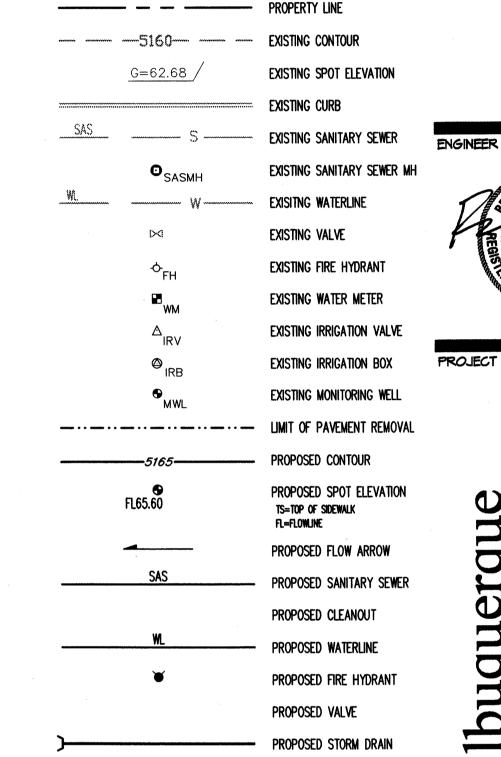
interiors

planning

engineering

ARCHITECT





PROPOSED RETAINING WALL

# **(1) GRADING KEYED NOTES**

- 1. 10" WIDE SIDEWALK CULVERT AS PER COA STD. DWG 2236
- 2. COBBLE LINED RUNDOWN
- 3. DAYLIGHT STORM DRAIN W/ HEADWALL PER DETAIL
- 4. DAYLIGHT STORM DRAIN THROUGH RETAINING WALL
- 5. INSTALL TYPE 'D' INLET PER COA STD. DWG. 2206.

# A UTILITY KEYED NOTES

- A. TIE TO EXISTING 6" SAS STUB. INV=56.28±, VERIFY PRIOR TO CONSTRUCTING
- B. INSTALL CLEANOUT PER DETAIL THIS SHEET
- C. STUB 6" SAS TO WITHIN 5' OF BUILDING, SEE PLUMBING FOR CONTINUATION
- D. TIE TO EXISTING 6" WATERLINE. COORDINATE WITH CITY WATER UTILITY DIVISION FOR OPERATION OF CITY VALVE.
- E. INSTALL FIRE HYDRANT, 4' BURY PER COA STD. DWG. 2340
- F. CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF 1.5" WATER SERVICE PER COA STD. DWG. 2363
- G. STUB 1.5" WATERLINE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLAN FOR CONTINUATION
- H. REMOVE & REPLACE PAVING PER COA STD. DWG. 2465
- I. INSTALL 8" GATE VALVE PER COA STD. DWG 2326 & 2328
- J. INSTALL 8"x6" TEE AND 6" VALVE PER COA STD. DWG 2326 & 2328
- K. INSTALL 6" GATE VALVE PER COA STD. DWG 2326 & 2328

Courtyard i 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

# Internation Alameda Bou Ibuquerque, Ibndi

uropa

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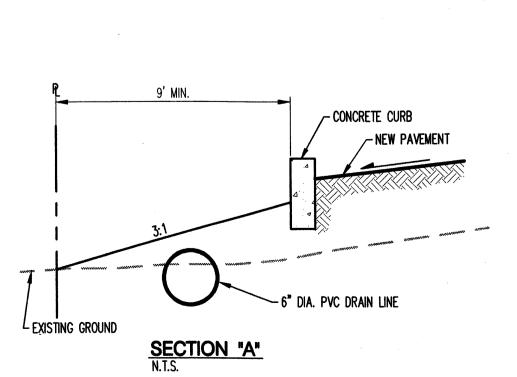
Saab

# 12-10-03, ADDED FIRE HYDEAUT

DRAWN BY	RNB
REVIEWED BY	BJS
DATE	01/08/03
PROJECT NO.	02105
DRAWING NAME	

CONCEPTUAL GRADING, DRAINAGE, \$ UTILITY PLAN

SHEET NO.



COMPACTED -----GRANULAR FILL

P:\030227\cdp\general\030227GP01.dwg February 10, 2003 - 1:15pm

-PLUG OR ADAPTER TO SERVICE CONN. PIPE AS REQUIRED IMPORTED PIPE BASE — MATERIAL AS SPECIFIED — 3" THRU 8" SERVICE

CAST IRON FRAME ----AND COVER

4-5/8" Ø HOLES — REQ' D © EQUAL SPACING

2'-0" SQ CONCRETE BLOCKS -

W/ 4-1/2"x 6" GALV. ANCHOR BOLTS. PROJECT BOLTS 3"

ABOVE SLAB FOR FUTURE

GRADE ADJUSTMENTS

**CLEANOUT** 

17 1/8"

**CLEANOUT** 

FRAME & COVER N.T.S.

> CONNECTION PIPE IF REQUIRED

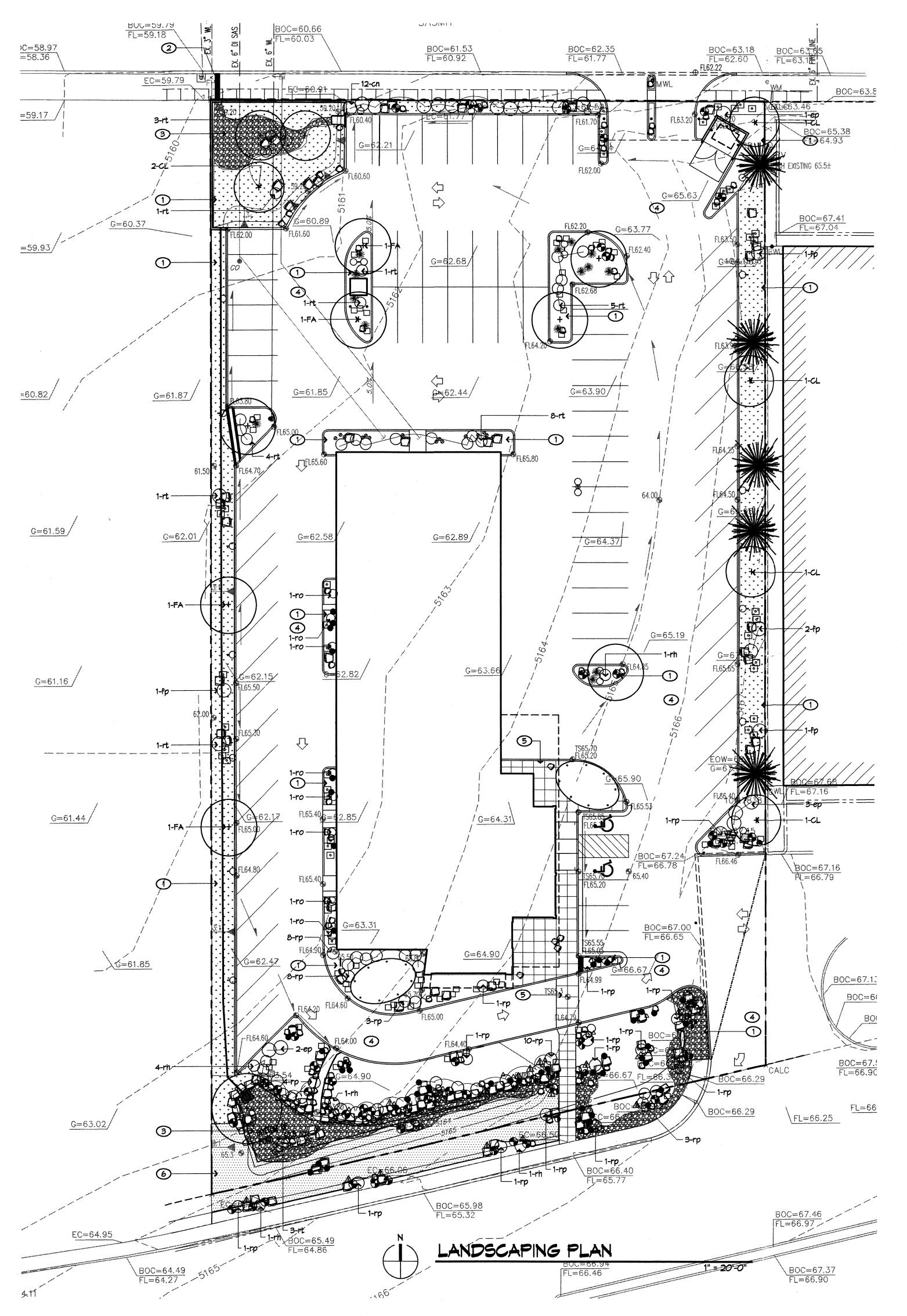
- CLEANOUT FRAME

AND COVER AS SPECIFIED. SEE DETAIL

- WATERTIGHT PIPE

- FINISH GRADE

BENCH MARK ACS 1-3/4" ALUMINUM DISK, STAMPED "ACS BM, 10-C;7", EPOXIED TO TOP OF CONCRETE DROP INLET, ENE QUADRANT OF ALAMEDA DRAINAGE BASIN BOUNDARY G=6BLVD. & JEFFERSON ST. NE, CENTERED ON SAID INLET. ELEVATION = 5127.05NEM SAAB BUILDING FF=66.00 FL=67.16 =61.44/ CONCRETE CURB FL65.00 BOC=67.16 FL=66.79 — LIMIT QF ASPHALT REMOVAL — MATCH EXISTING BOC=67. FL=66.65 65.50 ACRES 936 √G=61.85 BOC = 67.13130 BOTTOM ELEV. = 62.5 BOC = 66.59MAX. WSEL = 64.8 $Q_{100}$  IN = 2.63 cfs BOC=66.64  $Q_{100} OUT = 0.8 cfs$ SOUTH BASIN FLANGE=67.58 VOL. REQUIRED = 2610 cf \_FL64.60/ VOL. PROVIDED = 2650 cf80% IMPERVIOUS  $Q_{100} = 2.63 \text{ cfs}$ SHADED AREA DESIGNATES 1:1 MAX. BOC=67.56/ FL=66.90 SLOPE, STABILIZED BY HAND PLACED BOC=66 BOULDERS MIN. OF 12" IN EACH DIMENSION. SEE LANDSCAPE PLAN FOR BOULDER w/WASHER PS11463 PLACEMENT BOC=66.92 EC=66.69 3 INV=62.90 BOULEVARDN. G = 63.02BOC=66.40 FL=65.77 R/W VARIES



# PLANT SCHEDULE/LEGEND

Symbol 	Approx. Qty.	Abbrev.	Botanical Name/ Common Name		Size	Cond		ure Size ght Widtl		Remarks/ Spacing
$\overline{\odot}$	Trees									
$\aleph$	7	CL -:	Chilopsis linearis / Desert Willo		24"	box	20'	25'	L	multi-trunk
	8	FA	Fraxinus angustifolia "Raywood"	7 Raywood Ash	2.5" cal		35'		M	
蒙	5	PE	Pinus edulis/ Pinon Pine		8' hgt.	りむ	20'	15'	L	
$\odot$	1	PF	Populus fremontii "Wislizenii"/		3" cal.	<b>b\$b</b>	50'	60'	Н	
	Shrubs		Rio Grande Cottonwood							
$\bigcirc$	12	cn	Chrysothamnus nauseosus/ Cha	mica	1 001	cont	<del>-</del> 1	='		
$\widetilde{\bigcirc}$	6		Eleagnus pungens/ Silverberry		•	cont.	5' 5'	5'	L	na vaniaation
$\simeq$	5	ep fp	Fallugia paradoxa/ Apache Plum	<b>.</b>	•	cont.	5'		M	no varigation
Ö		•	<u> </u>		•	cont.		5'	h	
$\cup$	8	rh	Rhus trilobata "Prostrata"/		1 gal.	cont.	2'	4'	M	
			Prostrate Three Leaf Sumac							
Q	16	rt	Rhus trilobata/ Three Leaf sun		1 gal.	cont.	4'	4'	M	
$\circ$	39	rp	Rosmarinus officinalis "Huntingt	•	5 gal.	cont.	18"	4'	M	
			Huntington Carpet Prostrat	e Rosemary						
0	8	ro	Rosmarinus o. / Upright Rosema	ary	5 gal.	cont.	3'	3'	M	
	Grasses									
•	6	arp	Aristida purpurea/ Purple Three		1 gal.	cont.	12"	12"	L	
0	15	fes	Festuca idahoensis "Siskiyou"/ I	Blue Fescue	1 gal.	cont.	18"	15"	М	
•	48	nom	Nolina microcarpa/ Beargrass		1 gal.	cont.	24"	36"	L	
⊗	26	son	Sorghastrum nutans/Indiangras	5	1 gal.	cont.	48"	18"	L	
•	44	stt	Stipa tennuisima/Threadgrass		1 gal.	cont.	18"	12"	L	
	Succule	nts								
*	14	hep	Hesperaloe parviflora/ Red Yu	сса	1 gal.	cont.	36"	36"	М	
	Perennia	ls								
	70	arf	Artemisia frigida/ Fringed Sage		1 gal.	cont.	12"	18"	М	
•	42	arl	Artemisia ludoviciana "Silver Kir		•	cont.	30"		М	
			Silver King Prairie Sage		J					
Δ	23	lla	Linum lewisii "Appar"/ Appar Blu	ie Flax	1 gal.	cont.	15"	24"	М	
$\forall$	3	рер	Penstemon Pseudospectabilis/		_	cont.	36"	18"	L	
<b>A</b>	18	pes	Penstemon strictus/Rocky Mo	•	•	cont.	24"		L	
	Sod									
	2170 St	=	Buffalo Grass-Legacy variety							
	Native S	eed								
	5570		Native Grass Seed Blend w/	Grass Seed Mix: City	of Albuqu	erque	(COA)	East Sid	le	
* * *			Mildflower Mix	Blend - w/out Atriple:	-	•				
				Wildflower Mix: Plants	•	_				
	Stone			at 2.5 oz. per 1000 9		-:· <b></b> •	, · · · · · · · · · ·		- 1 177	
	1515 S	F	Cobblestone	· r						
7000	15150	•	<del></del>							

# GENERAL NOTES

- A. PLANTING AND IRRIGATION SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- B. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE ALAMEDA BOULEVARD DESIGN OVERLAY ZONE.
- C. THERE ARE NO EXISTING TREES OR SHRUBS OF SIGNIFICANT SPECIES OR SIZE ON THE SITE. ALL PLANT MATERIAL ILLUSTRATED ON THE LANDSCAPE PLAN IS PROPOSED.
- D. TURF: THERE IS NO HIGH WATER USE TURF INCLUDED IN THE LANDSCAPE PLAN.
- E. MAINTENANCE OF PLANTING AND IRRIGATION SHALL
- BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

  F. ALL PLANTING AREAS, EXCEPT FOR TURF AND NATIVE SEED AREAS, SHALL BE COVERED WITH SANTA ANA TAN

GRAVEL MULCH, UNLESS OTHERWISE NOTED ON THE PLANS.

- G. IT IS THE INTENT OF THE OWNER TO MINIMIZE THE USE OF IRRIGATION BY USING NATIVE PLANTS IN NATIVE DENSITIES. THE IRRIGATION SYSTEM IS TO BE COMPRISED OF A COMBINATION OF DRIP, SPRAY AND WATER HARVESTING ZONES. DRIP EMITTERS WILL BE USED FOR ALL TREES, SHRUBS AND PERENNIALS LOCATED IN THE STREET YARD. LOW WATER USE TURF AREAS WILL BE IRRIGATED WITH SPRAY EMITTERS, APPROPRIATELY DESIGNED TO AVOID OVERSPRAY ONTO IMPERMEABLE SURFACES. MEDIANS AND OTHER PLANTING AREAS WILL BE DESIGNED TO RECIEVE SURFACE RUNOFF WHEREVER POSSIBLE.
- H. THE RUN TIMES FOR THE VARIOUS
  ZONES SHALL BE APPROXIMATELY 30 MINUTES FOR
  DRIP ZONES AND 15 MINUTES FOR SPRAY ZONES.
  RUN TIMES SHALL BE ADJUSTED ACCORDING TO
  SEASON. THE POINT OF CONNECTION FOR THE
  IRRIGATION SYSTEM SHALL BE COORDINATED
  WITH THE OVERALL WATER SERVICE TO THE
  PROPERTY
- SEEDING: SEEDING RATES ARE BASED ON DRILL SEED INSTALLATION. CONTRACTOR SHALL DOUBLE SEEDING RATES FOR BROADCAST INSTALLATION.
- J. LANDSCAPE CALCULATIONS:

  TOTAL SITE AREA: 1.676 ACRES = 73,007 SF

  BUILDING AREA: 11,657 SF

  SITE AREA = TOTAL AREA-BUILDING AREA= 61,350 SF

  REQUIRED LANDSCAPE AREA= 15% OF SITE AREA

  (.15 X 61350 SF) = 9202.5 SF

  PROVIDED LANDSCAPE AREA: 16,068 SF (26%)

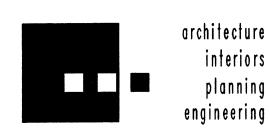
  ALLOWABLE HIGH WATER USE LANDSCAPING= 20%

  OF REQUIRED LANDSCAPE AREA = .2 X 9202.5= 1840.5 SF

  PROVIDED HIGH WATER USE LANDSCAPING AREA: 0 SF

# KEYED NOTES

- PLANTING BED
- WATER OUTLET VIA SIDEMALK CULVERT
- 3. DETENTION/PONDING AREA
- ASPHALT PAVING
   CONCRETE PAVING
- 6. LOW WATER USE TURF AREA



# Dekker Perich Sabatin

6801 Jefferson NE Suite 100 Albuquerque, NM 87109 505 761-9700 fax 761-4222 dps@dpsabq.com

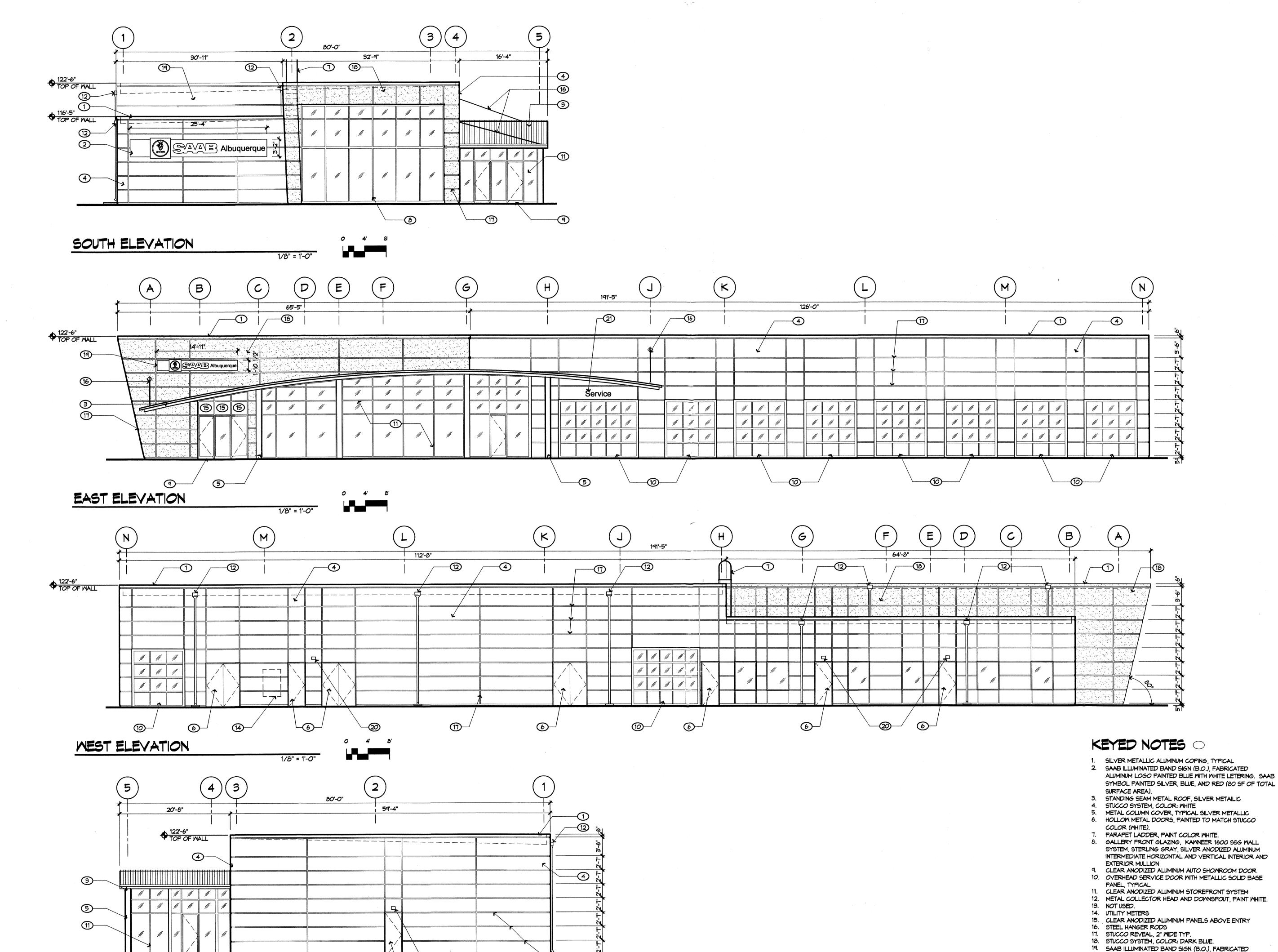
ARCHITECT

# Saab Albuquerque Europa International, Inc. 5301 Alameda Boulevard

JEF
2/13/03
02105

Landscaping Plan





\_\_6 \\_

0 4' 8'

1/8" = 1'-0"

NORTH ELEVATION

PROJECT Albuquerque International, Inc.

DRB SUBMITTAL

architecture

interiors

planning

engineering

6801 Jefferson NE Suite 100 Albuquerque, NM 87109

5 0 5 7 6 1 - 9 7 0 0 fax 7 6 1 - 4 2 2 2

ARCHITECT

ENGINEER

dps@dpsabq.com

Alameda Boule Saab Europa 5301 A

REVISIONS	
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$\triangle$	
$\triangle$	
	ACTUAL MATERIAL CONTRACTOR OF THE STATE OF T
DRAMN BY	<del></del>

DRAWN BY	KK
REVIEWED BY	JEF
DATE	01/21/03
PROJECT NO.	02105
DRAWING NAME	

EXTERIOR ELEVATIONS

SHEET NO.

ALUMINUM LOGO PAINTED BLUE WITH WHITE LETERING. SAAB

SYMBOL PAINTED SILVER, BLUE, AND RED (28 SF OF TOTAL

BRUSHED ALUMINUM WITH WHITE NEON CENTERED BELOW 'SAAB'

21. SEVICE SIGN BACK LIT REVERSE CHANNEL LETTERS (B.O.).

SURFACE AREA).

20. BUILDING MOUNTED WALL PACK LIGHTING.

LETTERS (5 SF TOTAL SURFACE AREA).