

DRAWING INDEX

1. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
2. GRADING, DRAINAGE, AND UTILITY PLAN
3. LANDSCAPE PLAN
4. BUILDING ELEVATIONS

Saab Albuquerque

5301 Alameda Boulevard
Albuquerque, New Mexico

JANUARY 21, 2003
DRB
SUBMITTAL

ARCHITECTURAL/LANDSCAPING

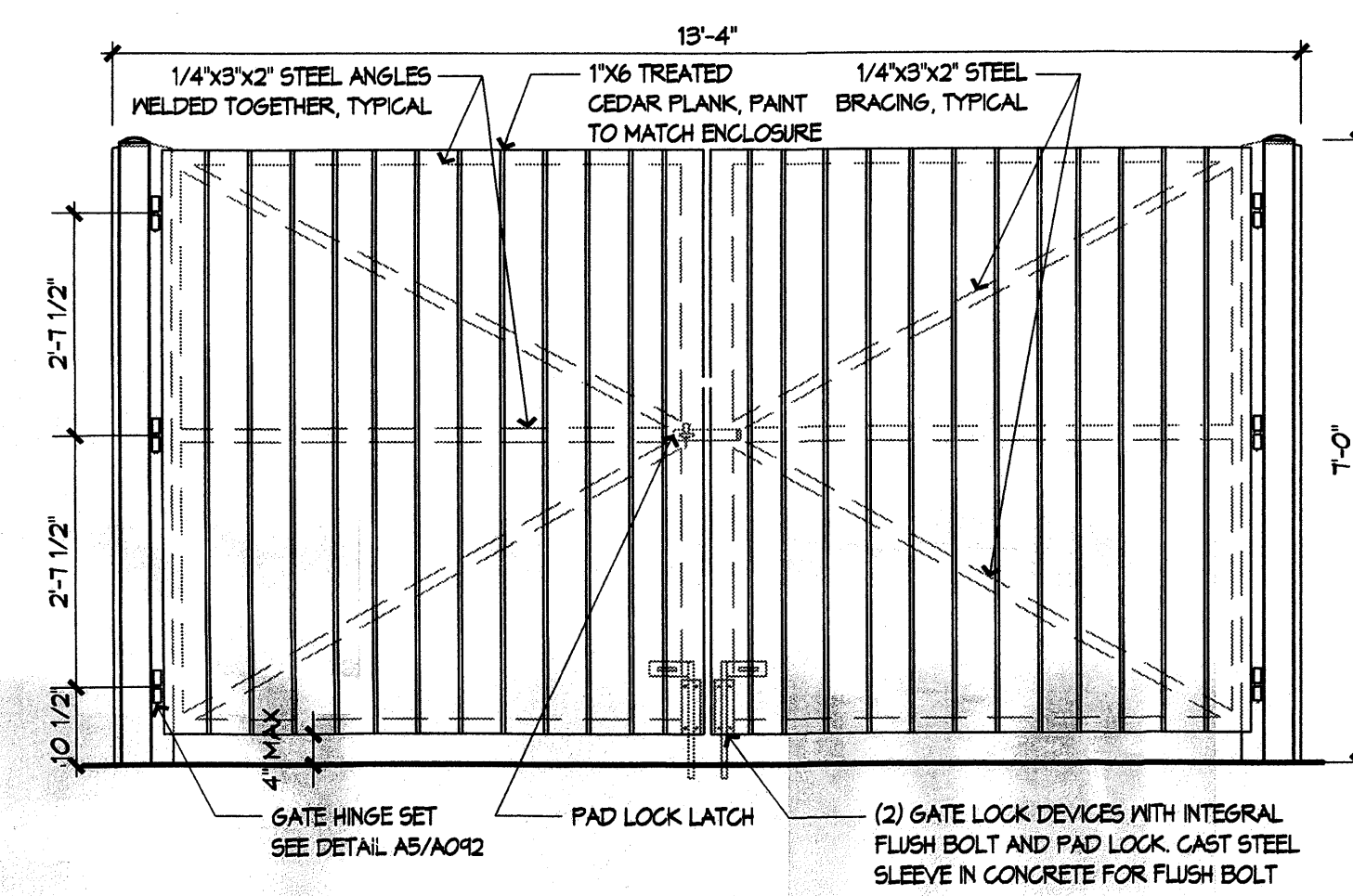
DEKKER/PERICH/SABATINI, LTD.
6801 JEFFERSON ST. NE, SUITE 100
ALBUQUERQUE, NM 87109
(505) 761-9700
FAX: (505)-761-4222

CIVIL ENGINEERING

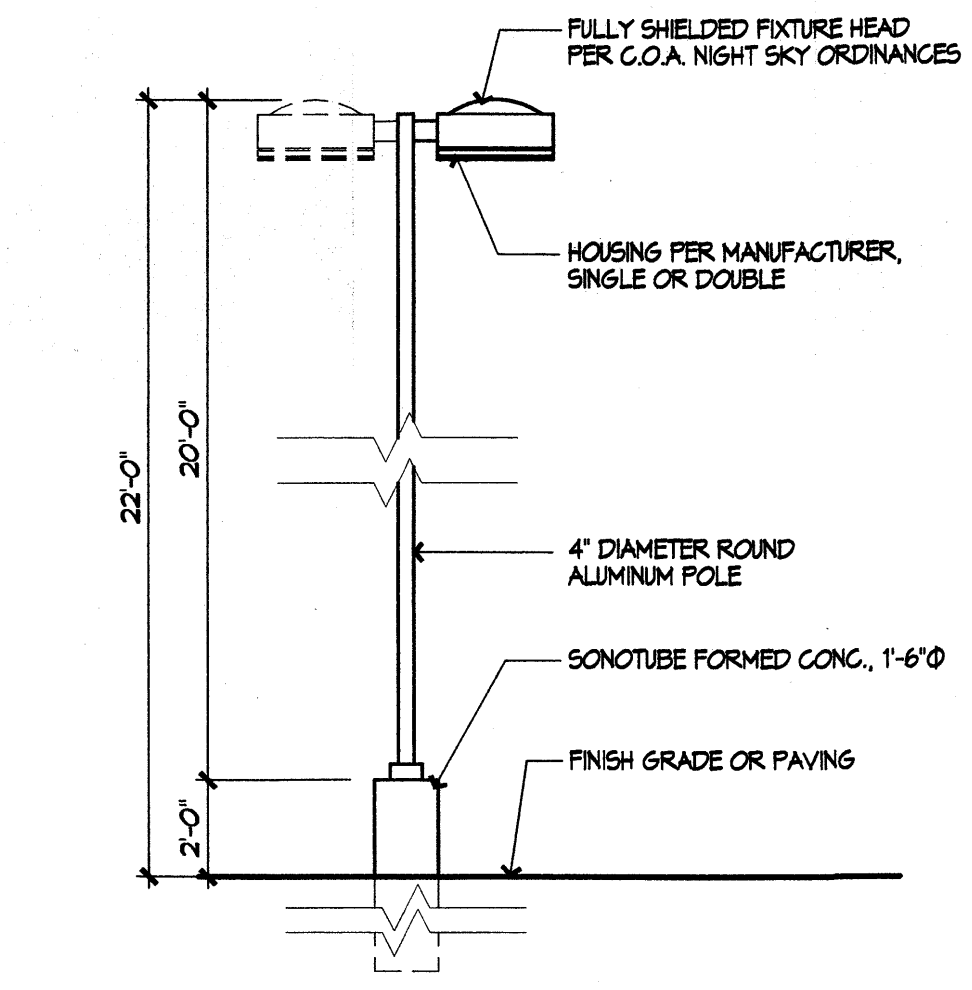
BOHANNAN - HUSTON, INC.
7500 JEFFERSON ST. NE
ALBUQUERQUE, NM 87109
(505) 823-1000
FAX: (505) 821-0892

**Saab Albuquerque
Europa International, Inc.
5301 Alameda Boulevard
Albuquerque, NM**

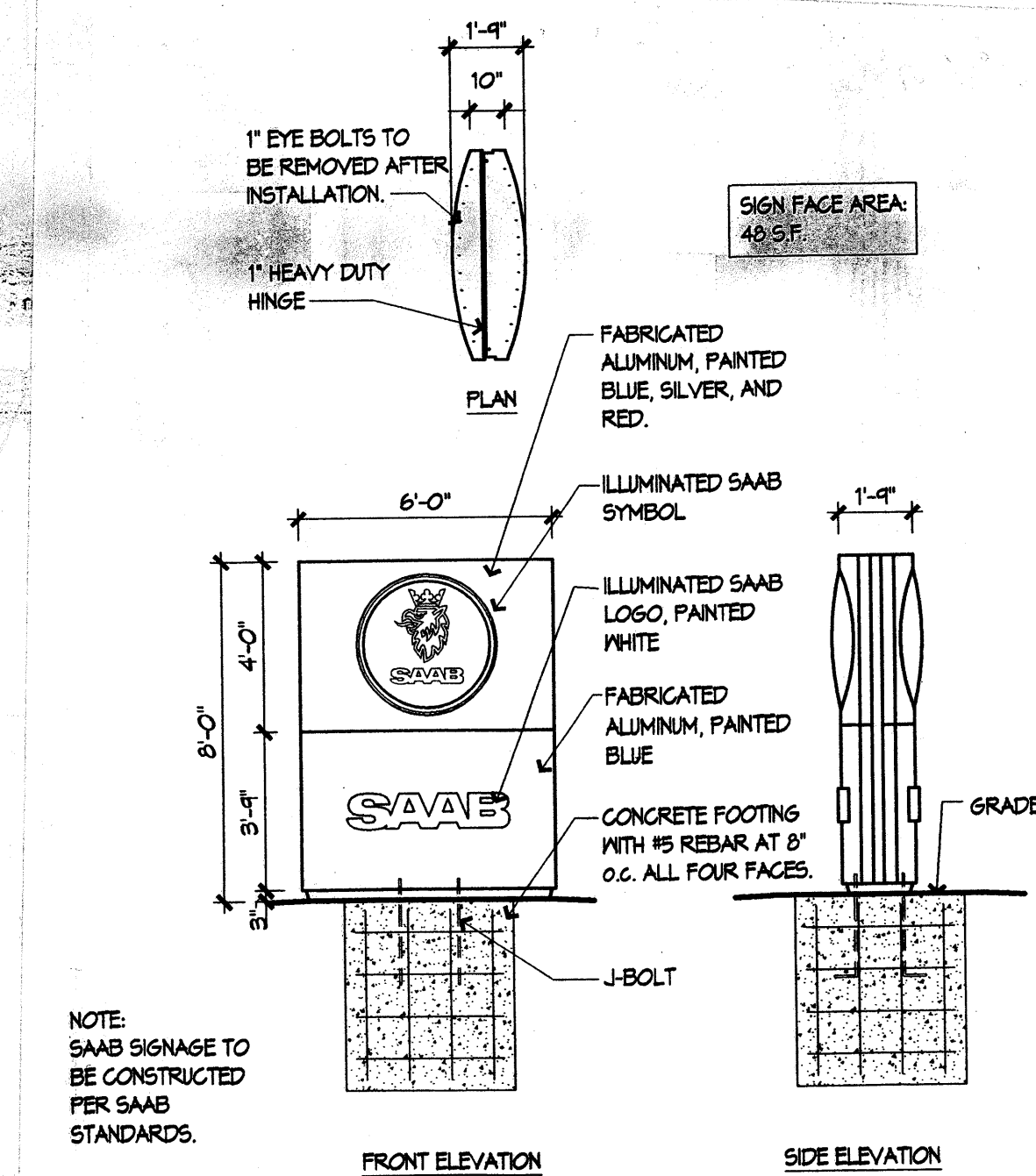
PROJECT 1002435



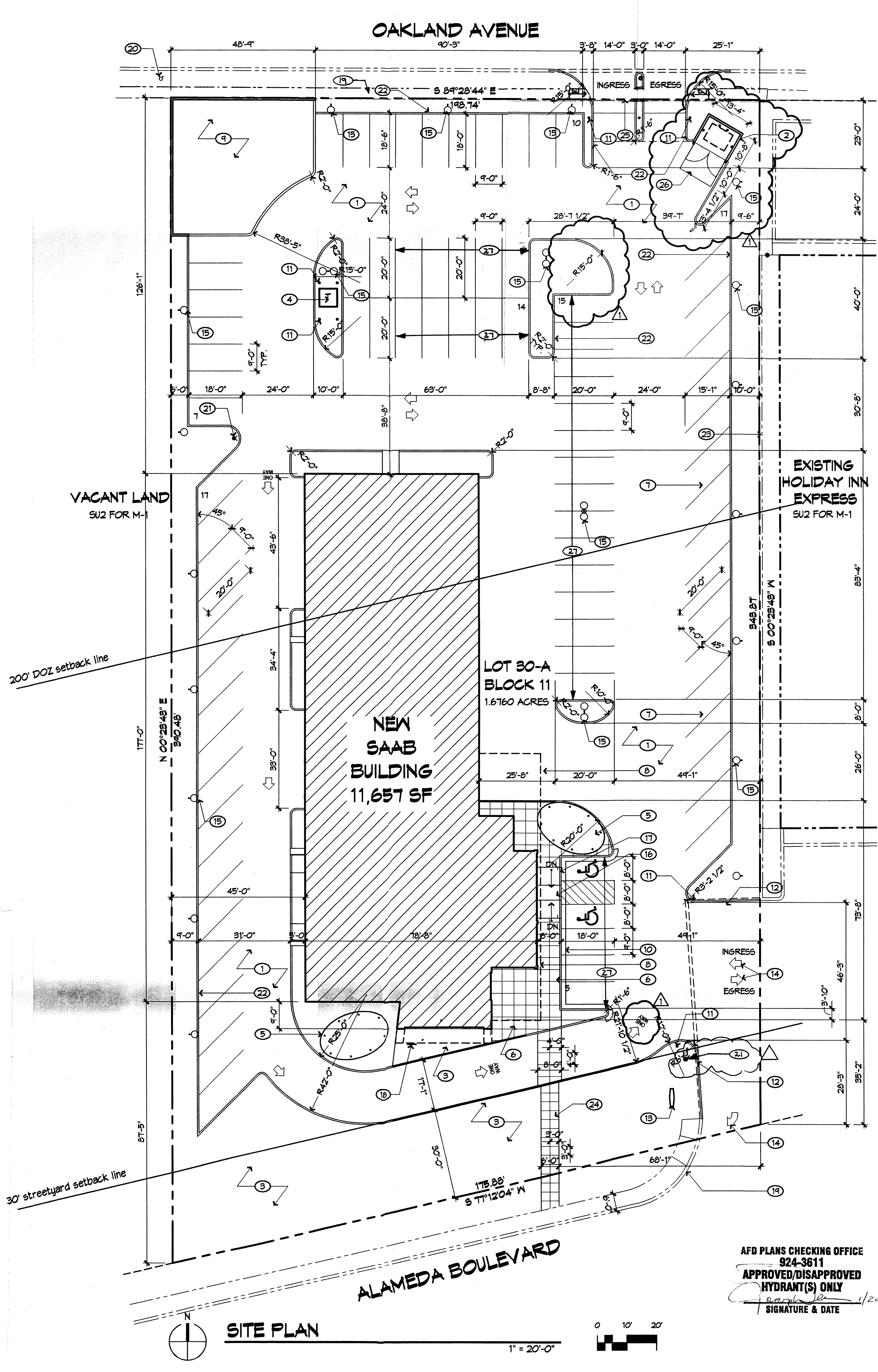
A1 TRASH ENCLOSURE ELEVATION
1/2" = 1'-0"



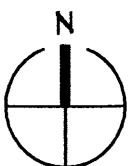
B1 LIGHT POLE ELEVATION
1/4" = 1'-0"



D1 MONUMENT SIGNAGE
1/4" = 1'-0"



SITE PLAN
1" = 20'-0"



VICINITY MAP
C-18-Z
1" = 400'

KEYED NOTES

1. ASPHALTIC PAVING
2. 8" CMU REFUSE ENCLOSURE COA SOLID WASTE DEPT. STANDARDS. RE. ELEVATION ON THIS SHEET.
3. LANDSCAPING PER LANDSCAPE DRAWINGS
4. ELECTRICAL TRANSFORMER
5. VEHICLE DISPLAY - N.I.C.
6. INTEGRAL, COLORED CONCRETE PAVING
7. NEW VEHICLE PARKING
8. CANOPY OVERHANG
9. LANDSCAPED STORM WATER DETENTION AREA
10. CONCRETE CURB AND GUTTER
11. STEEL BOLLARD
12. EXISTING CURB TO BE REMOVED
13. MONUMENT SIGN, RE. ELEVATIONS THIS SHEET.
14. DIRECTIONAL ARROWS
15. LIGHT POLE TYP. RE. ELEVATION THIS SHEET.
16. ACCESSIBILITY RAMP
17. ACCESSIBILITY SIGN
18. BIKE RACK, 2 SPACES
19. EXISTING SIDEWALK
20. EXISTING FIRE HYDRANT
21. NEW FIRE HYDRANT
22. CONCRETE CURB
23. EXISTING 4' HALF HEIGHT STUCCO WALL
24. NEW SIDEWALK FROM EXISTING SIDEWALK TO BUILDING ENTRANCE
25. CONCRETE PAVING AND APPROACH APRON
26. CONCRETE APRON
27. CUSTOMER PARKING

PROJECT DATA

ADDRESS:
5301 ALAMEDA BLVD, NE

LEGAL DESCRIPTION:
LOT 30-A, BLOCK 11
TRACT A, UNIT B - NORTH ALBUQUERQUE ACRES
PROJECTED SECTION 13, T.11 N,
R. 3 E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

ZONING: SU2 FOR M-1

TOTAL ACREAGE: 72,444 S.F. = 1.675 ACRES

TOTAL BUILDING AREA: 12,746 G.S.F. FAR: .175

ACTUAL BUILDING AREA:
12,746 S.F. - 1087 S.F. (area of covered canopies) = 11,659 S.F.

BUILDING USE: CAR DEALERSHIP INCLUDING ADMINISTRATIVE OFFICE SPACE AND AUTO SERVICE (NO WELDING)

PARKING:

REQUIRED:

- 1 SPACE FOR EA. 200 S.F. OF RETAIL OR SERVICE AREA
- 5,018/200 S.F. = 26 SPACES REQ'D.
- 1 SPACE FOR EA. 1000 S.F. OF MANF. OR WHOLESALE (SERVICE WING)
- 6,667/1000 S.F. = 7 SPACES REQ'D.
- 1 BICYCLE PARK, 5SPACE/20 VEHICLES; (2 MIN.)
- MIN. OF (2) H.C. ACCESSIBLE PARKING SPACE IV ACCESS AISLE
- 33 TOTAL PARKING SPACES REQUIRED
- 3 SPACES FOR BUS PROXIMITY CREDIT (10%)
- 30 SPACES TOTAL REQUIRED

PARKING PROVIDED:

- 35 PARKING SPACES PROVIDED
- 2 H/C PARKING SPACES PROVIDED (IV ACCESS AISLE)
- 2 BICYCLE PARKING SPACES PROVIDED

Site Development Plan for Building Permit

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE APPROVAL BY THE DESIGN REVIEW BOARD (DRB) ON JANUARY 21, 2003, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

1002435 11 03DRB-00092

Michael H. Hite 1-24-03
SOLID WASTE, ALBUQUERQUE - EE comply w/ cert aspects DATE

Paul D. ... 2-07-03
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

Christina Sandora 1/29/03
PARKS & RECREATION DEPARTMENT DATE

Roger A. ... 2/12/03
PUBLIC WORKS WATER UTILITIES DIVISION DATE

Bradley B. ... 1/29/03
CITY ENGINEER, ENGINEERING DIVISION / AMARCA DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual

Sharon Matern 1/29/03
CITY PLANNER, ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION DATE

REVISIONS

▲	01/23/03	Solid Waste Revision
▲		
▲		
▲		

DRAWN BY	KK
REVIEWED BY	JEF
DATE	01/24/03
PROJECT NO.	02105
DRAWING NAME	SITE PLAN
SHEET NO.	1
	OF

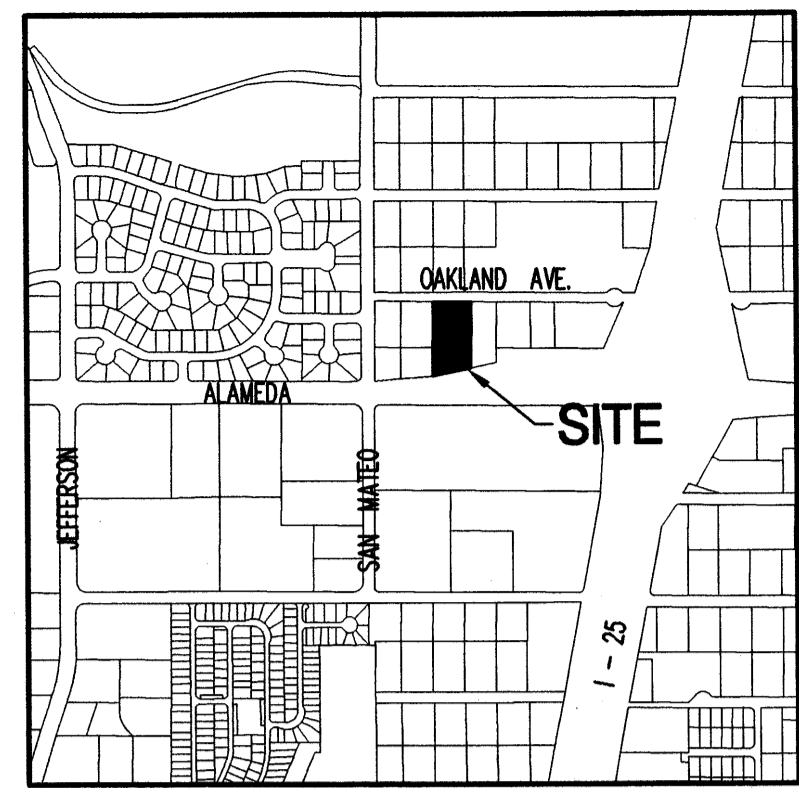
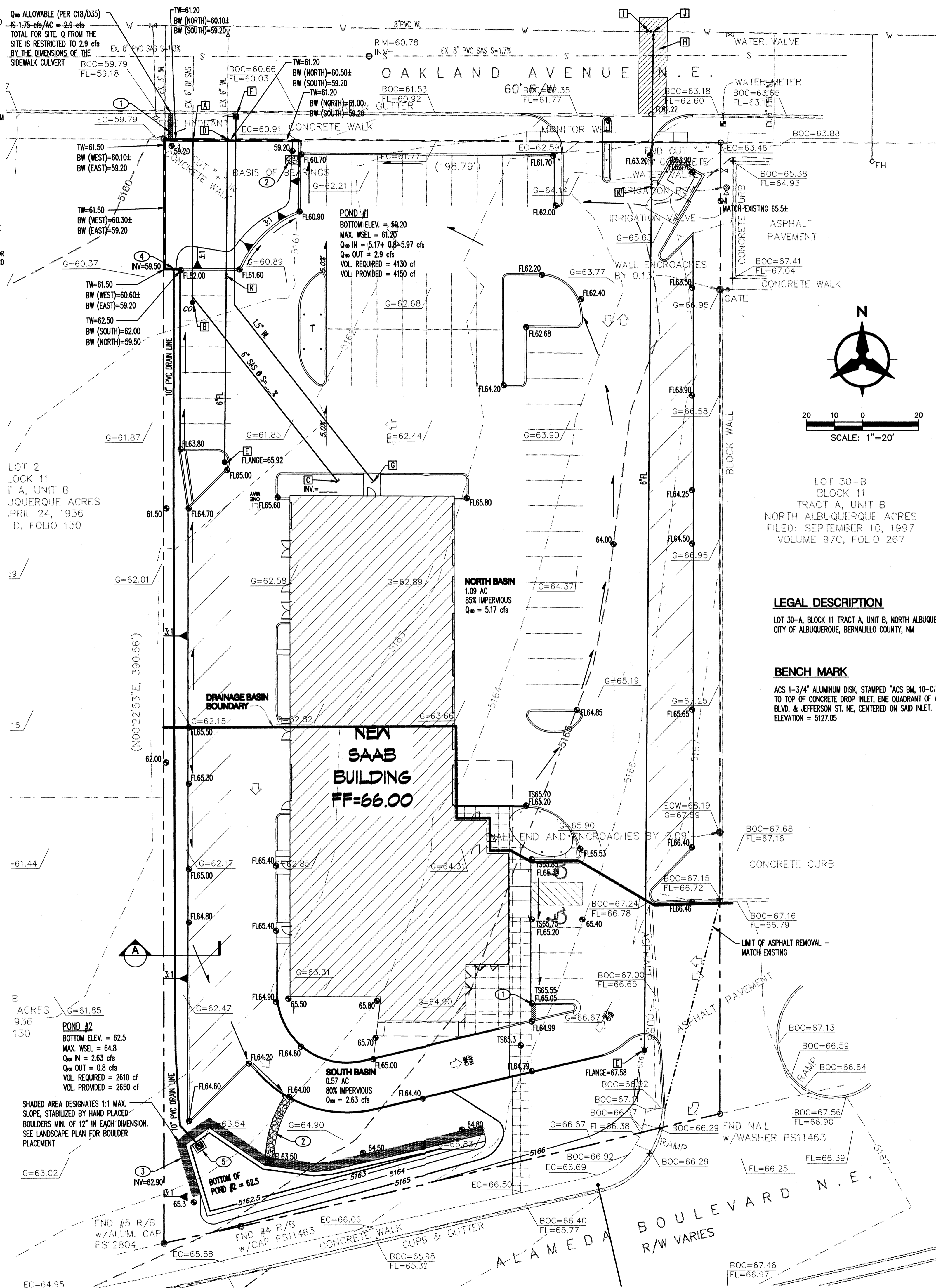
AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
[Signature] 1/24/03
SIGNATURE & DATE

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO-TECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL PREPARE A SMPPP FOR THE PROJECT AND SHALL TAKE ALL MEASURES NECESSARY TO COMPLY WITH EPA REQUIREMENTS.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.

UTILITY NOTES

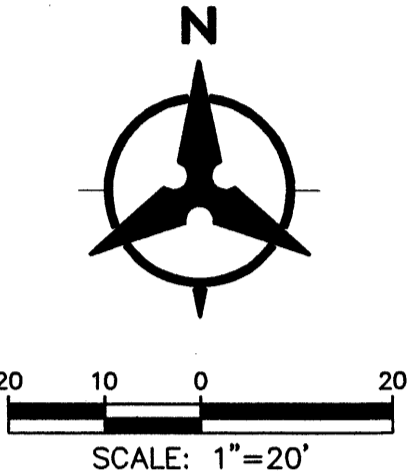
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PANS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE UAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
- UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
- ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
- CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
- ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
- FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS INCLUDING UTILITY EXPANSION CHARGES. OWNER SHALL BE RESPONSIBLE FOR PRORATA AND OTHER SPECIAL ASSESSMENTS.
- CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING UTILITY LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.



VICINITY MAP
ZONE ATLAS PAGE C-18-Z

LEGEND

---	PROPERTY LINE
- - - - -	EXISTING CONTOUR
G=62.68	EXISTING SPOT ELEVATION
---	EXISTING CURB
SAS	EXISTING SANITARY SEWER
○ SASH	EXISTING SANITARY SEWER MH
WL	EXISTING WATERLINE
⊕	EXISTING VALVE
⊕ FH	EXISTING FIRE HYDRANT
⊕ WM	EXISTING WATER METER
⊕ IRV	EXISTING IRRIGATION VALVE
⊕ IRB	EXISTING IRRIGATION BOX
⊕ MWL	EXISTING MONITORING WELL
---	LIMIT OF PAVEMENT REMOVAL
- - - - -	PROPOSED CONTOUR
○ FL65.60	PROPOSED SPOT ELEVATION TO-TOP OF SIDEWALK FL-ELEVATION
→	PROPOSED FLOW ARROW
SAS	PROPOSED SANITARY SEWER
---	PROPOSED CLEANOUT
WL	PROPOSED WATERLINE
⊕	PROPOSED FIRE HYDRANT
⊕	PROPOSED VALVE
---	PROPOSED STORM DRAIN
---	PROPOSED RETAINING WALL



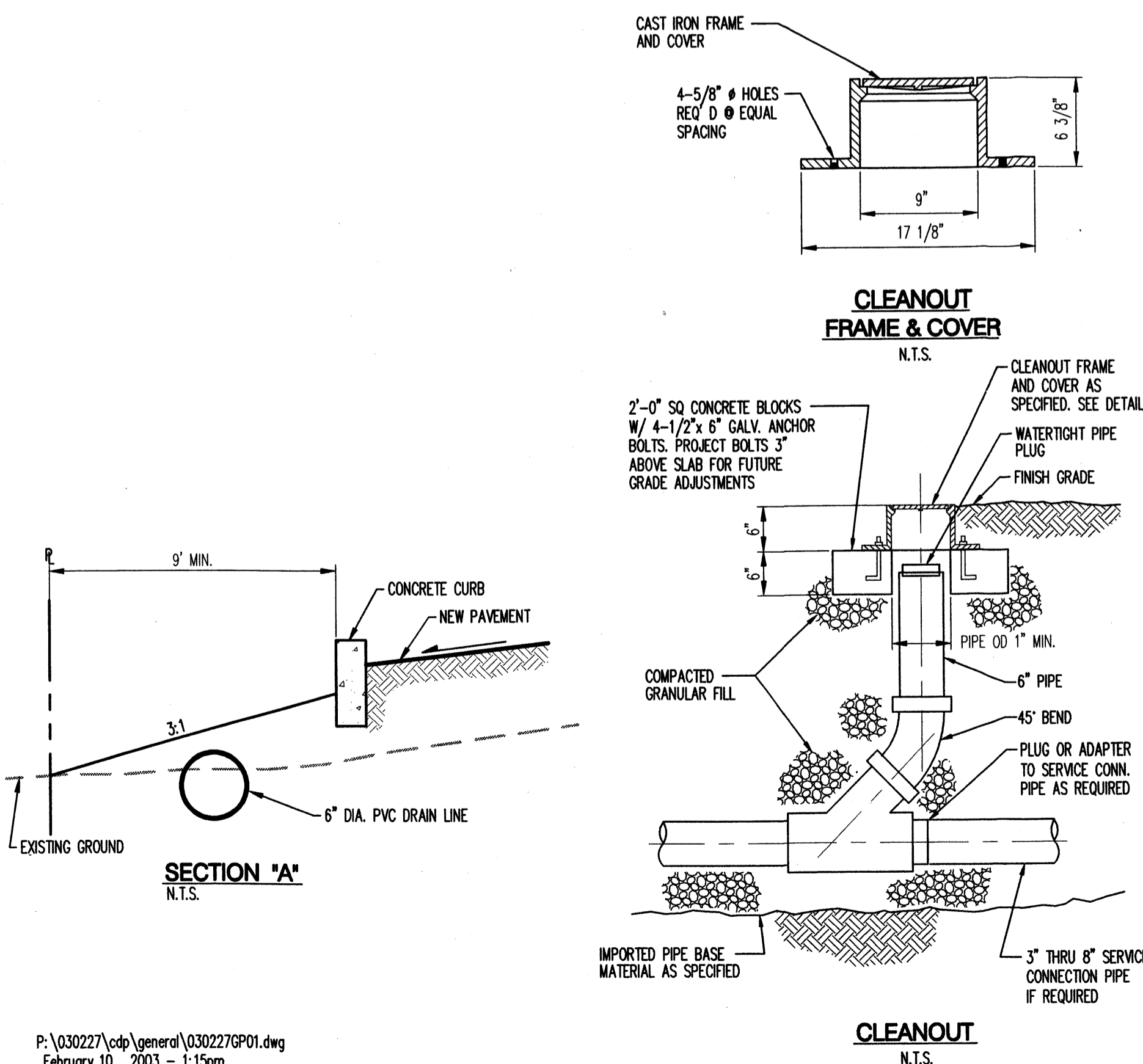
LOT 30-B
BLOCK 11
TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
FILED: SEPTEMBER 10, 1997
VOLUME 97C, FOLIO 267

LEGAL DESCRIPTION

LOT 30-A, BLOCK 11 TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

BENCH MARK

ACS 1-3/4" ALUMINUM DISK, STAMPED "ACS BM, 10-G-7", EPOXY TO TOP OF CONCRETE DROP INLET, ENE QUADRANT OF ALAMEDA BLVD. & JEFFERSON ST. NE, CENTERED ON SAID INLET. ELEVATION = 5127.05



GRADING KEYED NOTES

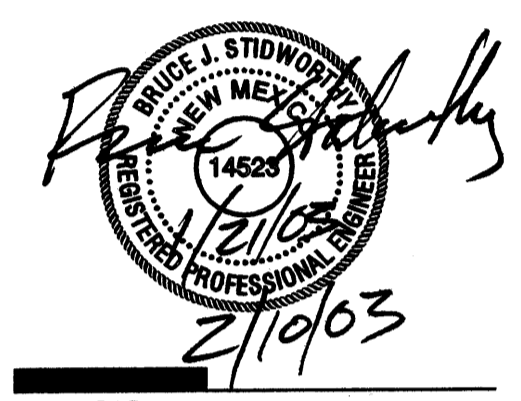
- 10" WIDE SIDEWALK CULVERT AS PER COA STD. DWG 2236
- COBBLE LINED ROUND
- DAYLIGHT STORM DRAIN W/ HEADWALL PER DETAIL
- DAYLIGHT STORM DRAIN THROUGH RETAINING WALL
- INSTALL TYPE 'D' INLET PER COA STD. DWG. 2206.

UTILITY KEYED NOTES

- TIE TO EXISTING 6" SAS STUB. INV=56.28±, VERIFY PRIOR TO CONSTRUCTING
- INSTALL CLEANOUT PER DETAIL THIS SHEET
- STUB 6" SAS TO WITHIN 5' OF BUILDING, SEE PLUMBING FOR CONTINUATION
- TIE TO EXISTING 6" WATERLINE. COORDINATE WITH CITY WATER UTILITY DIVISION FOR OPERATION OF CITY VALVE.
- INSTALL FIRE HYDRANT, 4' BURY PER COA STD. DWG. 2340
- CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF 1.5" WATER SERVICE PER COA STD. DWG. 2363
- STUB 1.5" WATERLINE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLAN FOR CONTINUATION
- REMOVE & REPLACE PAVING PER COA STD. DWG. 2465
- INSTALL 8" GATE VALVE PER COA STD. DWG 2326 & 2328
- INSTALL 8"x6" TEE AND 6" VALVE PER COA STD. DWG 2326 & 2328
- INSTALL 6" GATE VALVE PER COA STD. DWG 2326 & 2328

ARCHITECT

ENGINEER



PROJECT

**Saab Albuquerque
Europa International, Inc.
5031 Alameda Boulevard
Albuquerque, NM**

REVISIONS
2-10-03, ADDED
FIRE HYDRANT

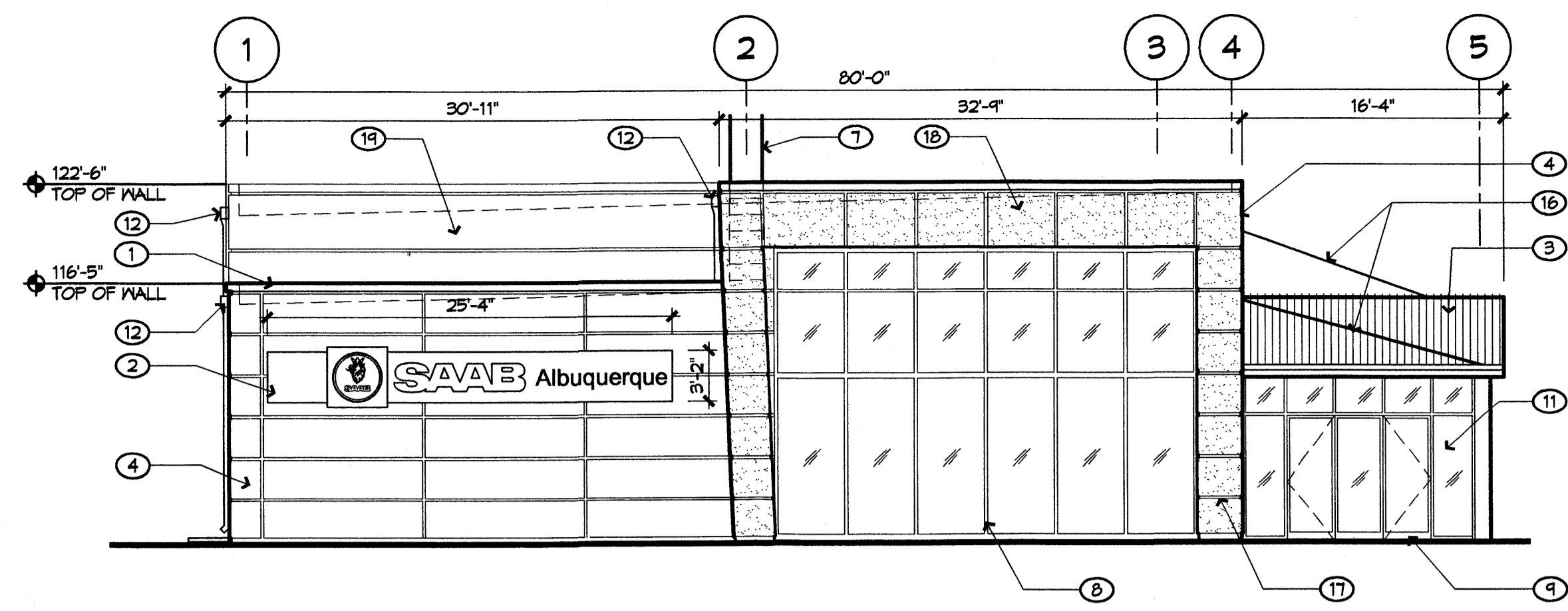
DRAWN BY: RMB
REVIEWED BY: BJS
DATE: 01/08/03
PROJECT NO.: 02105
DRAWING NAME:

CONCEPTUAL
GRADING,
DRAINAGE, &
UTILITY PLAN

SHEET NO. **C100**
OF

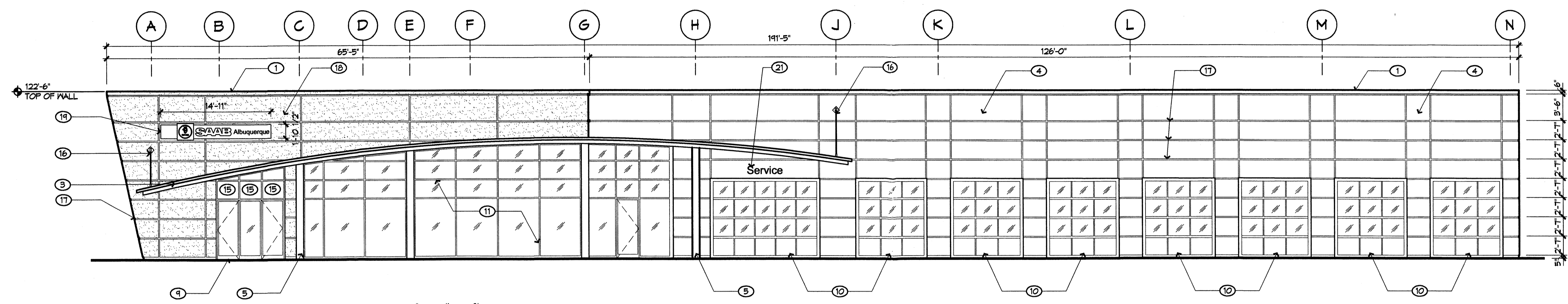
Bohannon & Huston
Courtney I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

Saab Albuquerque
Europa International, Inc.
5301 Alameda Boulevard
Albuquerque, NM



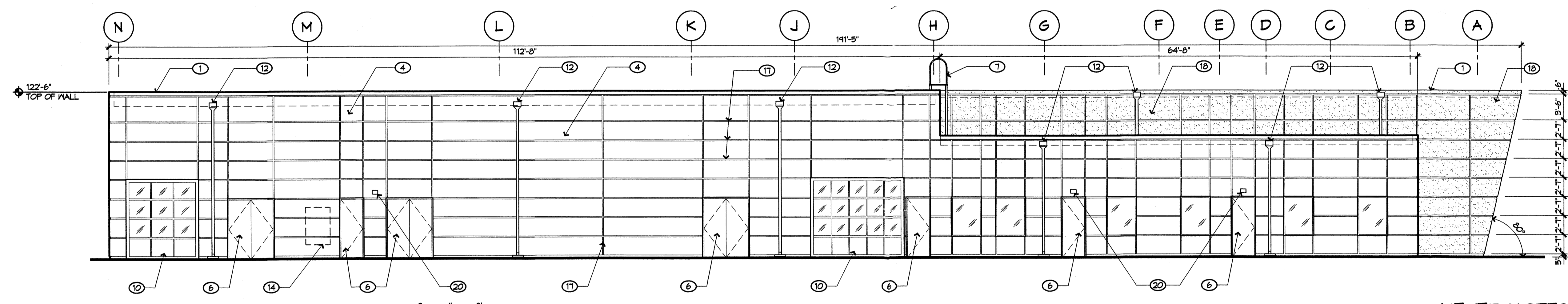
SOUTH ELEVATION

1/8" = 1'-0"



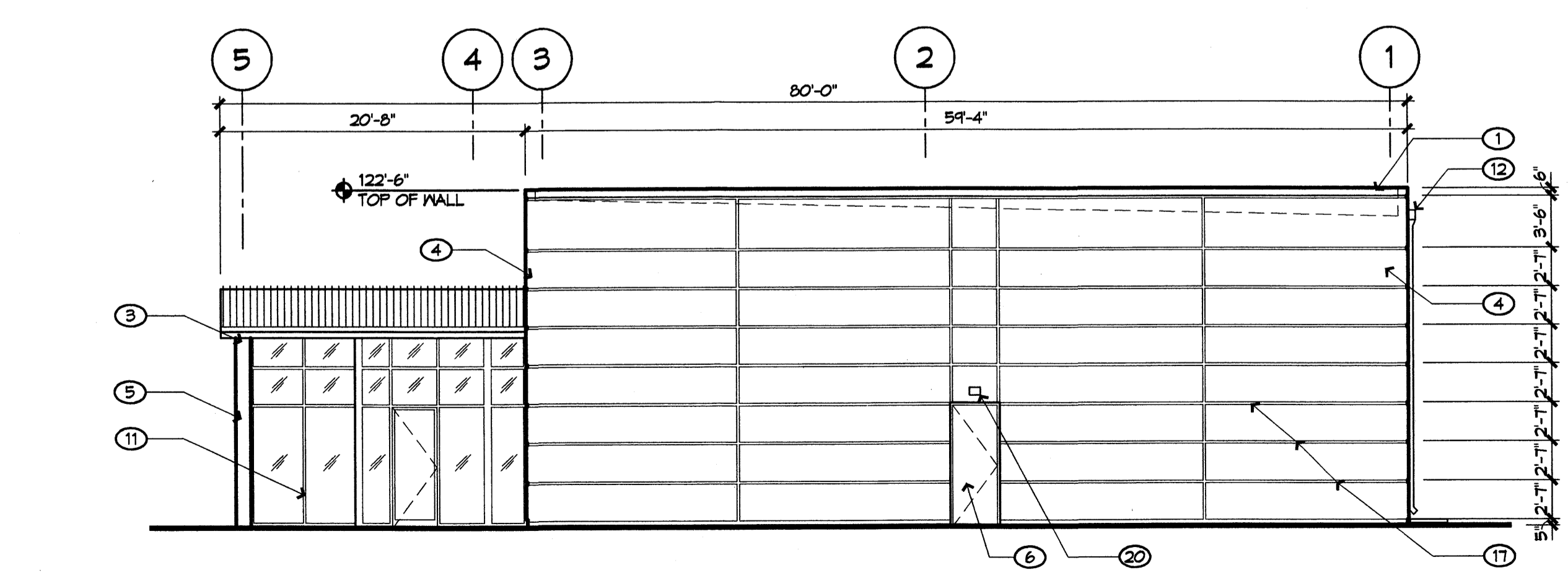
EAST ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"

KEYED NOTES

1. SILVER METALLIC ALUMINUM COPING, TYPICAL
2. SAAB ILLUMINATED BAND SIGN (B.O.), FABRICATED ALUMINUM LOGO PAINTED BLUE WITH WHITE LETERING. SAAB SYMBOL PAINTED SILVER, BLUE, AND RED (80 SF OF TOTAL SURFACE AREA).
3. STANDING SEAM METAL ROOF, SILVER METALLIC STUCCO SYSTEM, COLOR: WHITE
4. METAL COLUMN COVER, TYPICAL SILVER METALLIC
5. HOLLOW METAL DOORS, PAINTED TO MATCH STUCCO COLOR (WHITE)
6. PARAPET LADDER, PAINT COLOR: WHITE
7. GALLERY FRONT GLAZING, KAMNEER 1600 556 WALL SYSTEM, STERLING GRAY, SILVER ANODIZED ALUMINUM INTERMEDIATE HORIZONTAL AND VERTICAL INTERIOR AND EXTERIOR MULLION
8. CLEAR ANODIZED ALUMINUM AUTO SHOWROOM DOOR
9. OVERHEAD SERVICE DOOR WITH METALLIC SOLID BASE PANEL, TYPICAL
10. CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM
11. METAL COLLECTOR HEAD AND DOWNSPOUT, PAINT WHITE
12. NOT USED
13. UTILITY METERS
14. CLEAR ANODIZED ALUMINUM PANELS ABOVE ENTRY
15. STEEL HANGER RODS
16. STUCCO REVEAL, 2" WIDE TYP.
17. STUCCO SYSTEM, COLOR: DARK BLUE
18. SAAB ILLUMINATED BAND SIGN (B.O.), FABRICATED ALUMINUM LOGO PAINTED BLUE WITH WHITE LETERING. SAAB SYMBOL PAINTED SILVER, BLUE, AND RED (28 SF OF TOTAL SURFACE AREA).
19. BUILDING MOUNTED WALL PACK LIGHTING
20. SERVICE SIGN BACK LIT REVERSE CHANNEL LETTERS (B.O.). BRUSHED ALUMINUM WITH WHITE NEON CENTERED BELOW SAAB LETTERS (5 SF TOTAL SURFACE AREA).

REVISIONS

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△	
△	
△	

DRAWN BY	KK
REVIEWED BY	JEP
DATE	01/21/08
PROJECT NO.	02108

**EXTERIOR
ELEVATIONS**

SHEET NO.