

16



Completed
2/13/03
JM

DRB CASE ACTION LOG

REVISED 1/16/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03DRB-00092 (SBP)	Project # 1002435
Project Name: NORTH ALBUQ. ACRES UNIT B	EPC Application No.:
Agent: Dekker Perich Sabatini	Phone No.: 761-9700

Your request for (SDP for SUB) (SDP for BP) (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 1/29/03 by the DRB with delegation of signature(s) to the following departments. **OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: Show SPURKS on OAKland w/ H.C. RAMPs @ Entrance
 Cross Access EASEMENT

 Approval 2-04-03 RD

UTILITIES:
 Resolve Fire Hydrant connections / Coverage.

 Signed 2/12/03

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____
 See comments dated _____
 EPC comments (name) _____
 Planning must record this plat. Please submit the following items:
 -The original plat and a mylar copy for the County Clerk.
 -Tax certificate from the County Treasurer.
 -Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 -Tax printout from the County Assessor.
 Include 3 copies of the approved site plan along with the originals.
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 Property Management's signature must be obtained prior to Planning Department's signature.
 Copy of recorded plat AND a DXF File for Planning.

Project Number 1002435

APPLICATION NO. 03DRB-00092	PROJECT NO. 1002435
PROJECT NAME SAAB Albuquerque	
EPC APPLICATION NO. —	
APPLICANT / AGENT Dekker Perich SAB.	PHONE NO. 761-9700
ZONE ATLAS PAGE C-18	
ONE STOP COMMENT FORM LOG	
<i>Completed 2/13/03 gm</i>	

TRANSPORTATION DEV (505) 924-3990			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED	DATE	DATE	DATE
COMMENTS:			

UTILITY DEV (505) 924-3989			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED	DATE	DATE	DATE
COMMENTS:			

HYDROLOGY DEV (505) 924-3986			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED	DATE	DATE	DATE
COMMENTS:			

PARKS AND REC (505) 768-5328			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED	DATE	DATE	DATE
COMMENTS:			

PLANNING (505) 924-3858			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED	DATE	DATE	DATE
COMMENTS:			

(Return form with plat / site plan)

16



DRB CASE ACTION LOG

REVISED 1/16/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03DRE 00092 (SBP)	Project # 1002435
Project Name: NORTH ALBUQ. ACRES UNIT B	EPC Application No.:
Agent: Dekker Perich Sabatini	Phone No.: 761-9700

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 1/29/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Show SDP's on OAKland w/ H.C. Ramps @ Entrance
 Cross Access EASEMENT

UTILITIES:
 Resolve Fire Hydrant connections/Coverage

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign):
 See comments dated _____
 EPC comments (name) _____
 Planning must record this plat. Please submit the following items:
 -The original plat and a mylar copy for the County Clerk.
 -Tax certificate from the County Treasurer.
 -Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 -Tax printout from the County Assessor.

Include 3 copies of the approved site plan along with the originals.
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 Property Management's signature must be obtained prior to Planning Department's signature.
 Copy of recorded plat AND a DXF File for Planning.

Project Number 1002435



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1002435

Item No. 16

Zone Atlas C-18

DATE ON AGENDA 1-29-03

INFRASTRUCTURE REQUIRED (?)YES ()NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- (x) SITE PLAN FOR BUILDING PERMIT

No.	Comment
<input type="checkbox"/>	The cross-access easement needs to be documented.
<input type="checkbox"/>	Call-out customer parking and display parking, if applicable.
<input type="checkbox"/>	Is Oakland improved, including sidewalk?

- The cross-access easement needs to be documented.
- Call-out customer parking and display parking, if applicable.
- Is Oakland improved, including sidewalk?

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:



City of Albuquerque

Environmental Health Department

Martin J. Chavez, Mayor
Interoffice Memorandum

DATE: January 27, 2003
TO: Sheran Matson, Planning Department
FROM: Marcia A. Pincus, Environmental Health Department
SUBJECT: Saab Car Dealership Located at 5301 Alameda NE

The above referenced site is **NOT** within 1000 feet of a landfill; therefore, no landfill gas assessment and/or disclosure statement needs to be completed for this site. Environmental Health Department recommends that the site proceed through the Planning process, if all other Planning requirements have been met.

cc: Kevin Curran, Legal Department
Charles Kolberg, Legal Department
Fred Aguirre, Planning Department
Jeffery Fleming, Dekker, Perich, Sabatini
File

CITY OF ALBUQUERQUE
Planning Department
Development Review Board Case Comments
1/29/03

Item # 16

Project# 1002435

Case # 03DRB-00092

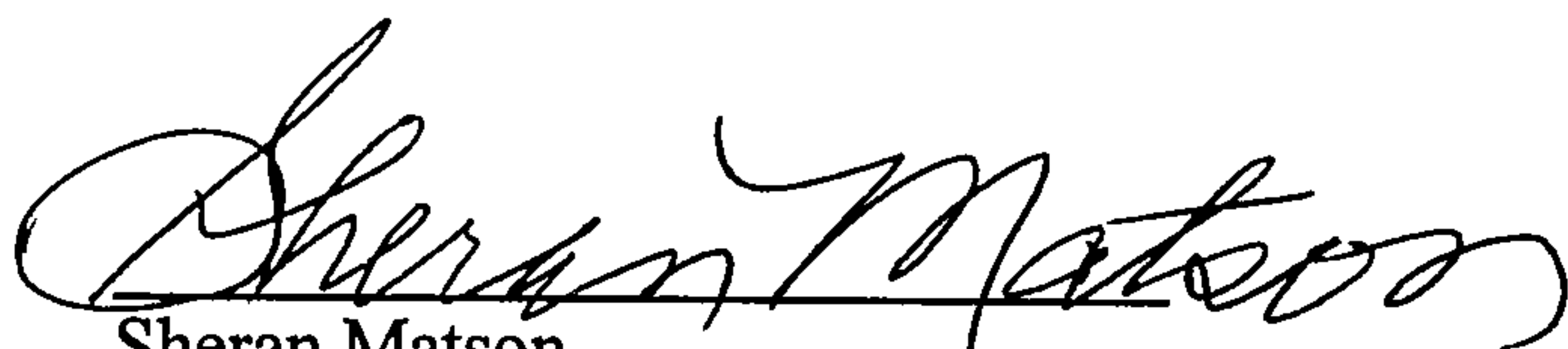
Subject: North Albuquerque Acres, Unit B/ SDP for BP

This property lies within 1000' of a landfill. Therefore, the landfill disclosure statement must be placed on the site plan prior to final signoff. Applicant will need to contact EHD to send Planning an e-mail stating if the disclosure statement is sufficient in this case. If not, the project may need to be deferred until this issue is satisfied to the satisfaction of EHD.

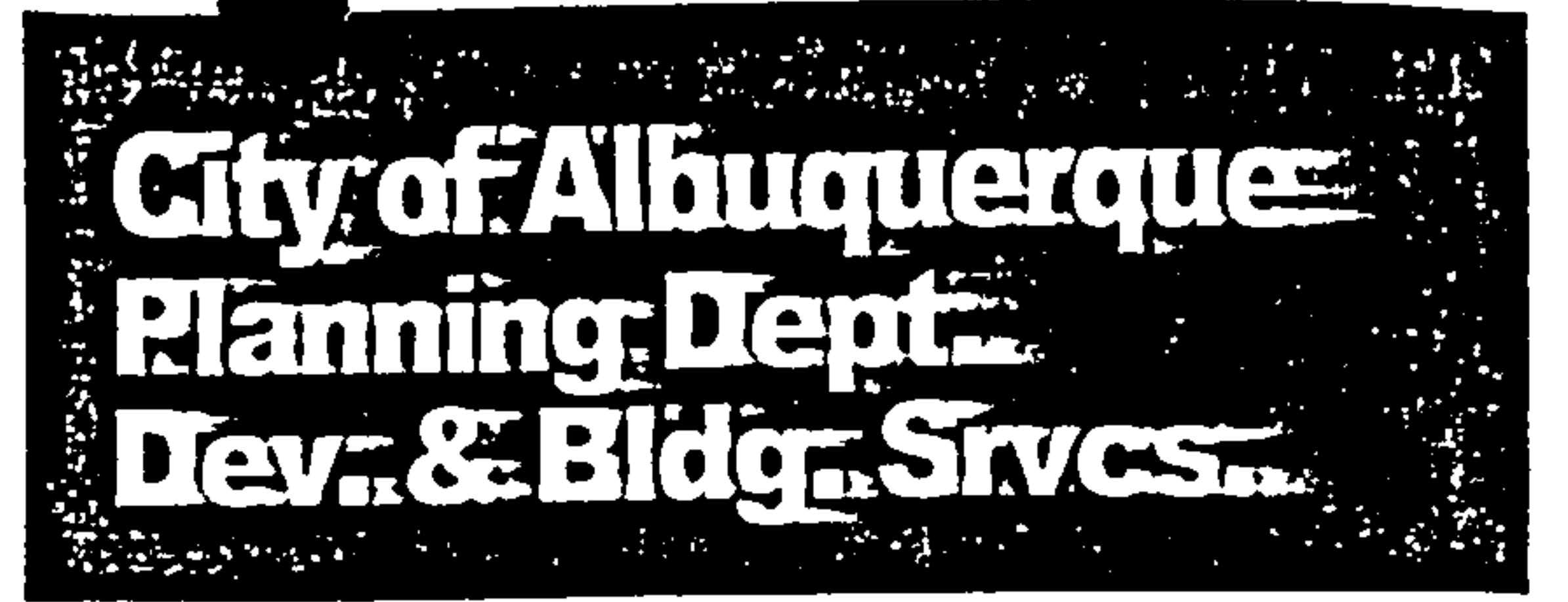
Page 28 of the Alameda Boulevard Design Overlay Zone specifies a maximum of 48 square feet and height of 8 feet for monument signs in Character Zone 4, within which this property lies. The current sign shown on the site plan exceeds both of these requirements.

The revised site plan submitted 1/24/03 showing the trash receptacle in a new location has a problem. The former location of the dumpster now needs a 15' turning radius according to Transportation Development.

The elevations sheet does not show the building height. Please add that dimension to the sheet.


Sheran Matson
Phone# 924-3880 Fax# 924-3864

City of Albuquerque
Planning Department
505-924-3900 (main number)
505-924-3864 (fax number)
Development and Building Services (One Stop Shop)
Plaza Del Sol Building, 2nd Floor
600 2nd Street NW
Albuquerque, NM 87102



Fax

To: Jim Grattan From: Sheran Watson

Copies to: _____

Fax: 761-4222

Pages Sent: (including this page) _____

Phone: 761-9700

Date: 1/24/03

Time: 2:30pm

Urgent For Review Please Comment Please Reply Please Recycle

COMMENTS:

Call if you have questions.
924-3880

CITY OF ALBUQUERQUE
Planning Department
Development Review Board Case Comments

Item # 16

Project# 1002435

Case # 03DRB-00092

Subject: North Albuquerque Acres, Unit B/ SDP for BP

This property lies within 1000' of a landfill. Therefore, the landfill disclosure statement must be placed on the site plan prior to final signoff. Applicant will need to contact EHD to send Planning an e-mail stating if the disclosure statement is sufficient in this case. If not, the project may need to be deferred until this issue is satisfied to the satisfaction of EHD.

Page 28 of the Alameda Boulevard Design Overlay Zone specifies a maximum of 48 square feet and height of 8 feet for monument signs in Character Zone 4, within which this property lies. The current sign shown on the site plan exceeds both of these requirements.

The revised site plan submitted 1/24/03 showing the trash receptacle in a new location has a problem. The former location of the dumpster now needs a 15' turning radius according to Transportation Development.

The elevations sheet does not show the building height. Please add that dimension to the sheet.



Sheran Matson, DRB Chairperson
Phone# 924-3880 Fax# 924-3864



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1299 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002435

AGENDA ITEM NO: 16

SUBJECT:

- | | | |
|-------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments on Site Plan.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) TO: **(UD)** (CE) **(TRANS)** (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: January 29, 2003



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

January 29, 2003 9:00 a.m.

MEMBERS:

Roger Green, Acting DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Sheran Matson, Planning
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946 (VOICE) OR TELETYPEWRITER (TTY) 924-3361 - TTY USERS MAY ALSO ACCESS THE VOICE NUMBER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE BOARD SECRETARY MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. ADJOURNED: 11:49 A.M.
- B. Changes and/or Additions to the Agenda
- C. Announcements

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000187**
03DRB-00013 Major-Two Year SIA
TIERRA WEST, LLC agent(s) for LOS SUENOS LLC request(s) the above action(s) for all or a portion of Lot(s) 1-195, **LOS SUENOS, UNIT 1**, zoned R-T residential zone, located on MCMAHON BLVD NW, between PARK SOUTH PL. NW and PINON GRANDE RD NW containing approximately 41 acre(s). [REF: 00110-01234, 02DRB-01645] (A-11) **ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1000420**
03DRB-00012 Major-Two Year SIA

TIERRA WEST, LLC agent(s) for AGB ALBUQUERQUE, LLC request(s) the above action(s) for all or a portion of Tract(s) A, B1, B2, C, D, E, F, G, H1, H2, I, J, K, L, **THE 25**, zoned IP industrial park zone, located NORTH OF JEFFERSON ST NE, between JEFFERSON ST NE and NORTH I-25 containing approximately 50 acre(s). [REF: Z-99-9, 01410-00295] (E-17/ F-17) **A 6-MONTH EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1001050**
03DRB- 00028 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for ALBUQUERQUE INTERNATIONAL BALLOON FIESTA, request(s) the above action(s) for all or a portion of Lot(s) 26, **RICHFIELD PARK SUBDIVISION**, zoned IP and located on BALLOON MUSEUM DR NE BETWEEN ALAMEDA BLVD NE AND WASHINGTON ST NE containing approximately 2 acre(s). [REF:Z-85-70-1, DRB-87-644] (C-17) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

4. **Project # 1001376**
02DRB-01965 Major-Preliminary Plat Approval
02DRB-01966 Major-Vacation of Pub Right-of-Way
02DRB-01967 Minor-Sidewalk Waiver
02DRB-01968 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for MESA VERDE DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 8-25 & 10-23, Block(s) 3 & 4, Tract(s) 1, (to be known as **DESERT RIDGE TRAILS, NORTH**, NORTH ALBUQUERQUE ACRES, zoned R-D residential and related uses zone, developing area, 4 D/U per AC, located WEST OF WYOMING BLVD NE, between BEVERLY HILLS AVE NE and FLORENCE AVE NE containing approximately 32 acre(s). [REF: 02DRB-01363] [Deferred from 1/29/03] (B-19) **DEFERRED AT THE AGENT'S REQUEST TO 2/12/03.**

5. **Project # 1001534**
03DRB-00009 Major-Vacation of Public Easements

CLARK CONSULTING ENGINEERS agent(s) for LLAVE CONSTRUCTION INC request(s) the above action(s) for all or a portion of Tract(s) A, **VINEYARD ESTATES - UNIT 4A**, zoned RD, located on VENTURA NE, between ANAHEIM NE and CARMEL NE containing approximately 2 acre(s). [REF: 01DRB-01446] (C-20) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

02DRB-01931 Minor-Prelim&Final Plat Approval

CLARK CONSULTING ENGINEERS agent(s) for LLAVE CONSTRUCTION, INC. request(s) the above action(s) for all or a portion of Tract(s) A, **VINEYARD ESTATES, UNIT 4A**, zoned RD residential zone, located on the eastside of VENTURA ST NE, between ANAHEIM AVE NE and CARMEL AVE NE containing approximately 2 acre(s). [REF: 01DRB-01446] [Deferred from 1/8/03] (C-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/29/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12/20/02 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED.**

6. **Project # 1002207**
03DRB-00006 Major-Preliminary Plat Approval
03DRB-00007 Major-Vacation of Public Easements
03DRB-00008 Minor-Temp Defer SDWK

JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for HOECH REAL ESTATE CORP request(s) the above action(s) for all or a portion of Lot(s) 24, 25 & 26, Block(s) 18 and Lot 27, Block 18, NORTH ALBUQUERQUE ACRES, Tract 3, Unit 3, (to be known as **VINEYARD ESTATES, UNIT 4A**, zoning is RD on all lots except RD 5DU/A for North Albuquerque Acres, Tract 3, Unit 3, Block 18, Lot 27 which is zoned various, located on CARMEL AVE NE, between VENTURA ST NE and HOLBROOK ST NE containing approximately 4 acre(s). (C-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LISTED DATED 1/29/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12/16/02 THE PRELIMINARY PLAT WAS APPROVED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONTAGE AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

7. **Project # 1002271**
03DRB-00002 Major-Preliminary Plat
Approval
03DRB-00003 Major-Vacation of Pub
Right-of-Way
03DRB-00004 Major-Vacation of Public
Easements
03DRB-00005 Minor-Temp Defer SDWK

JEFF MORTENSEN ASSOCIATES, INC. agent(s) for HOECH REAL ESTATE CORP. request(s) the above action(s) for all or a portion of Lot(s) 6-9 & 24-27, Block 19, Unit 3, NORTH ALBUQUERQUE ACRES, Tract 3, (to be known as **LAS VIGILS SUBDIVISION**, zoned SU-2 special neighborhood zone, R-T, located SOUTH OF CARMEL, NORTH OF HOLLY AVE NE, between VENTURA ST NE and HOLBROOK ST NE containing approximately 8 acre(s). [REF: (1001463, 02DRB-01509), 02DRB-01365, 02DRB-01391, AX-94-1, Z-94-6](C-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LISTED DATED 1/29/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12/31/02 THE PRELIMINARY PLAT WAS APPROVED. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONTAGE AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

8. **Project # 1002409**
03DRB-00010 Major-Vacation of Public
Easements
03DRB-00011 Minor-Prelim&Final Plat
Approval

CONSENSUS PLANNING agent(s) for CITY OF ALBUQUERQUE, PARKS & RECREATION DEPT. request(s) the above action(s) for all or a portion of Lot(s) 19A & 20A, Block(s) C & 1, Tract(s) L & M, **INDIAN MESA SUBDIVISION, INDIAN REST ADDITION**, zoned R-2 residential zone, located WEST OF LAFAYETTE DR NE, between COMANCHE RD NE and AZTEC RD NE containing approximately 1 acre(s). [REF: Z-95-16, DRB-95-302] (G-16) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING.**

9. **Project # 1002410**
03DRB-00014 Major-SiteDev Plan
BldPermit

STERLING CAPITAL DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) A-1, B-1, **CRYER PROPERTIES**, zoned SU-1 for C-3 & IP Uses, located on OFFICE BLVD NE, between PAN AMERICAN FREEWAY and OFFICE BLVD NE containing approximately 1 acre(s). [REF: Z-97-121, Z-97-129, DRB-98-31, DRB-98-38] (F-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER.**

10. **Project # 1001986**
02DRB-01927 Major-Preliminary Plat
Approval
02DRB-01928 Minor-Temp Defer SDWK
02DRB-01929 Minor-Subd Design
Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for RIO OESTE DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) D & E (to be known as **RIO OESTE SUBDIVISION**, TAYLOR RANCH, zoned R-1, located on COORS BLVD NW, between LA ORILLA NW and MONTANO PLAZA DR NW containing approximately 10 acre(s). [Deferred from 1/29/03] (E-12) **DEFERRED AT THE AGENT'S REQUEST TO FEBRUARY 5, 2003.**

11. **Project # 1002119**
02DRB-01594 Major-SiteDev Plan
BldPermit
02DRB-01705 Minor-Prelim&Final Plat
Approval

HUITT - ZOLLARS agent(s) for PETER SCHWARZ DVM, request(s) the above action(s) for all or a portion of Tract(s) A1-A, **VOL-ANDIA ADDITION**, zoned O-1 office and institution zone, located on the south side of MONTGOMERY BLVD NE, between CARLISLE BLVD NE and WASHINGTON ST NE containing approximately 2 acre(s). [REF: 02EPC-01144] [DEFERRED FROM 11/13/02] [DEFERRED FROM 1/15/03] (G-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO UTILITIES DEVELOPMENT AND CITY ENGINEER (FOR SIA). THE INFRASTRUCTURE LIST DATED 1/29/03 WAS APPROVED. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT.**

12. **Project # 1000570**
02DRB-01567 Major-SiteDev Plan Subd

MARK GOODWIN & ASSOCIATES PA, agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion OF PARCEL A OF PARKWAY, UNIT 7 AND TRACT A OF PAINTED SKY, UNIT 1 AND TRACT 94 OF TOWN OF ATRISCO GRANT, (to be known as PARKWAY UNIT 10), zoned R-D residential and related uses zone, developing area, located west of UNSER BLVD NW, between GAVIN RD NW and VINEMONT PL NW. [REF: DRB-95-94, S-98-5, Z-99-8, AX-99-2, 00410-0162, 00410-00931, 00410-00933] [Deferred from 1/29/03] (J-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/19/03.**

- Project # 1000570**
02DRB-01021 Minor-Temp Defer SDWK
02DRB-01019 Major-Preliminary Plat
Approval
02DRB-01020 Major-Vacation of Public
Easements

MARK GOODWIN & ASSOC agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Parcel A, Parkway, Unit 7, Tract A, Painted Sky, Unit 1 and Tract 95, Town of Atrisco Grant (to be known as PARKWAY, UNIT 10) zoned R-LT residential zone, located WEST OF UNSER BLVD NW, between GAVIN RD NW and VINEMONT PL NW, containing approximately 13 acre(s). [REF: 00410-00162, 00410-00931, 00410-00933, Z-99-8, AX-99-2, DRB-95-94, S-98-5, S-98-62] [DEFERRED FROM 10/30/02] [Deferred from 11/6/02 and 1/29/03] (J-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/19/03.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

13. **Project # 1000032**
03DRB-00088 Minor-Amendment to
Sector Plan Subd/EPC

CONSENSUS PLANNING agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1 and 4, UNIVERSITY OF ALBUQUERQUE SECTOR PLAN, COORS VILLAGE, zoned SU-3, located on WESTERN TRAIL NW, between ATRISCO DR NW and COORS BLVD NW containing approximately 58 acre(s). [REF: 01EPC-01744, 02EPC-01161, Z-95-94, Z-99-84, DRB-96-361] [Juanita Vigil, EPC Case Planner] [Heard under Project #1001624 in error] (F-11) **THE AMENDMENT TO THE SECTOR PLAN WAS APPROVED AND SIGNED OFF BY THE BOARD.**

14. **Project # 1001206**
03DRB-00085 Minor-Amended SiteDev
Plan Subd/EPC
03DRB-00086 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for DOUBLE CHEESE CORPORATION - BLACK DEVELOPMENT TWO request(s) the above action(s) for all or a portion of Tract(s) 2A and 3E-1 and various UPC numbers and zoning, **BLACK RANCH**, zoned SU-1/C-1 permissive uses and hotel not to exceed 2 stories and restaurant with full service liquor (6.4 acres) and SU-1/C-2 (1.4 acres) located on COORS BLVD NW, between PASEO DEL NORTE NW and IRVING NW containing approximately 8 acres. [REF: 02EPC-01341, 02EPC-01345, 01EPC-00557, 01EPC-00556, 01EPC-00558, 02DRB-00420, AX-83-17, Z-83-93] [Debbie Stover, EPC Case Planner] (C-13) **THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER.**

- 03DRB-00081 Minor-Prelim&Final Plat
Approval

SURV-TEK, INC. agent(s) for BLACK DEVELOPMENT ONE, LLC request(s) the above action(s) for all or a portion of Tract(s) 2A, 3E-1, 3F-1 & 3G-1, **BLACK RANCH**, zoned O-1, SU-1/C-1 & SU-1/C-2, located South and East of VALLEY VIEW PL NW, between COORS BLVD NW and CORRALES CANAL NW containing approximately 10 acre(s). [REF: DRB-90-121, DRB-92-340, 02DRB-01560, 02DRB-01561& 62] (C-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/29/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12/23/02 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

15. **Project # 1002430**
03DRB-00083 Minor-Prelim&Final Plat
Approval
03DRB-00084 Minor-SiteDev Plan Subd

MARK GOODWIN & ASSOCIATES, PA agent(s) for D. R. HORTON INC. request(s) the above action(s) for all or a portion of Lot(s) 27-P1, Tract(s) F, **EAGLE SPRINGS SUBDIVISION**, zoned RD (7DU/AC), located on EAGLE SPRINGS DR NE, between ALAMEDA AVE NE and WILSHIRE AVE NE containing approximately 1 acre(s). [REF: 1000428, 02DRB-00622, 02DRB-00084] (C-19) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS.**

16. **Project # 1002435**
03DRB-00092 Minor-SiteDev Plan
BldPermit

DEKKER PERICH SABATINI agent(s) for EUROPA INTERNATIONAL, INC. request(s) the above action(s) for all or a portion of Lot(s) 30A, Block(s) 11, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 special neighborhood zone, M-1, located on ALAMEDA BLVD NE, between SAN MATEO BLVD NE and NORTH I-25 NE containing approximately 2 acre(s). [REF: S-96-44, DRB-96-352] (C-18) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT AND TRANSPORTATION DEVELOPMENT.**

17. **Project # 1001817**
03DRB-00030 Minor-SiteDev Plan
BldPermit/EPC

HDR ENGINEERING agent(s) for CITY OF ALBUQUERQUE, SOUTH SIDE WATER RECLAMATION. request(s) the above action(s) for all or a portion of Tract(s) V-5 (formerly Tract Q) **VISTA DEL NORTE SUBDIVISION**, zoned SU-1 special use zone, FOR IP USES, located on the SOUTH SIDE OF EL PUEBLO RD NE, between LAS LOMITAS DR NE and NORTH DIVERSION CHANNEL containing approximately 3 acre(s). [REF: 02EPC-00435, Z-89-56] [Russell Brito, EPC Case Planner] [Deferred from 1/22/03] (D-16). **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT AND TRANSPORTATION DEVELOPMENT. THE INFRASTRUCTURE LIST DATED 1/29/03 WAS APPROVED AND SIGNED BY THE BOARD. THE AGENT IS RESPONSIBLE FOR OBTAINING A PUBLIC WORKS OFFICIAL SIGNATURE ON THE INFRASTRUCTURE LIST AND RETURNING IT TO THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

18. **Project # 1001916**
03DRB-00080 Minor-Extension of
Preliminary Plat

BOHANNAN HUSTON INC agent(s) for SIVAGE THOMAS HOMES request(s) the above action(s) for all or a portion of Lot(s) 1-98, **PINON POINTE @ VENTANA RANCH - UNITS 3 & 4**, zoned R-LT, located on RAINBOW BLVD NW, SOUTH OF IRVING BLVD NW and containing approximately 20 acre(s). [REF: 02DRB-00651] (B-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

19. **Project # 1000147**
03DRB-00074 Minor-Ext of SIA for Temp
Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for C & W LAND DEVELOPMENT ENTERPRISE INC., request(s) the above action(s) for all or a portion of Lot(s) 1-21, 1, 41-43, 15-28, Block(s) 1, 2 and 3, **WHISPERING POINTE SUBDIVISION, UNIT 1**, zoned R-D residential and related uses zone, developing area, (9DU/AC) and located on the SOUTH SIDE OF SUNSET GARDENS RD SW, between 82ND ST SW and UNSER BLVD SW containing approximately 16 acre(s). [REF: DRB-97-497, Z-97-78, 01DRB-00128 FP, 00DRB-00077 XT PP, 01DRB-00005 XT PP, 01DRB-00039 AmPP] (L-10) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

- 02DRB-01961 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for C & W LAND DEVELOPMENT ENTERPRISE INC., request(s) the above a action(s) for all or a portion of Tract(s) A, Unit 1, **WHISPERING POINTE SUBDIVISION, UNIT 2**, zoned R-D residential and related uses zone, developing area, 9DU/AC, located on the southside of SUNSET GARDENS RD SW, between 82ND ST SW and UNSER BLVD SW containing approximately 16 acre(s). [REF: DRB-97-497, Z-97-78, 01DRB-00128 FP, 00DRB-00077 XT PP, 01DRB-00005 XT PP, 01DRB-00039 AmPP][Deferred from 1/29/03] (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 2/5/03.**

20. **Project # 1000485**
03DRB-00073 Minor-Ext of SIA for Temp
Defer SDWK

MARK GOODWIN & ASSOCIATES, PA, agent(s) for AMERICAN SOUTHWEST HOMES request(s) the above action(s) for all or a portion of Block(s) 6 and Encanto Village One (Tract(s)1-18 / Blk 1) (Tract(s) 1-19 / Blk 11) (Tract(s) 1-4 / Blk 12) (Tract(s) 1-21 / Blk 2) (Tract(s)1-13 / Blk 3) (Tract(s)1-15 / Blk 7), **ENCANTO VILLAGE ONE**, zoned R-T & RD-9, located on EUCARIZ AVE SW, between UNSER BLVD SW AND STINSON ST SW and containing approximately 31 acre(s). [REF: DRB-98-176, 01440-00875, 01410-00146, 00440-01522, 02-01171, 02-01172] (L-10) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

NO ACTION IS TAKEN ON THESE CASES:
IF APPLICANT IS NOT PRESENT, COMMENTS WILL BE FORWARDED

21. **Project # 1002427**
03DRB-00069 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST, LTD. agent(s) for JOEL BACA request(s) the above action(s) for all or a portion of Lot(s) 31, Block(s) 3, **PANORAMA ADDITION**, zoned R-3 residential zone, and located on west of GEORGENE DR NE, south of COPPER AVE NE and east of CHELWOOD PARK BLVD NE containing approximately 1 acre(s). [REF: DRB-95-25] (K-22) **COMMENTS WERE RECEIVED.**

22. Other Matters: NONE

ADJOURNED: 11:49 A.M.



97100399 *100,491... Ke* 6010

ACCESS AND ENCROACHMENT EASEMENT AGREEMENT

THIS ACCESS AND ENCROACHMENT EASEMENT AGREEMENT ("Agreement") is made and executed this 16th day of September, 1997, by and between PANKAJ B. PATEL and NAYANA P. PATEL, husband and wife ("PATBLS"), and G. C. & P. INC., a New Mexico Corporation ("G. C. & P.").

WHEREAS, PATBLS are the owners of that certain real property being more particularly described as follows:

SEE LEGAL DESCRIPTION ON EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF BY REFERENCE.

("Lot 30-A"); and

WHEREAS, G. C. & P. is the owner of that certain real property being more particularly described as follows:

SEE LEGAL DESCRIPTION ON EXHIBIT "B" ATTACHED HERETO AND MADE A PART HEREOF BY REFERENCE.

("Lot 30-B"); and

WHEREAS, PATBLS desire to grant to G. C. & P. the nonexclusive right to use a portion of Lot 30 A being described as follows:

The driveway to be aligned with the median cut on Alameda Boulevard immediately in front of Lot 30 A and such portion of lot 30 A as is necessary or desirable for ingress to and egress from Lot 30 B and Alameda Boulevard.

NOW, THEREFORE, in consideration of the above and other good and valuable consideration, the receipt of which is hereby acknowledged, it is agreed as follows:

1. PATBLS do hereby grant unto G. C. & P. the Easement over Lot 30-A for the purposes defined hereinabove.
2. The parties acknowledge that the Easement is located over and within lot 30-A which is shown on Exhibit "A" which is attached hereto and incorporated herein by reference.
3. PATBLS covenant that they will not attempt to destroy remove or block the Easement for the life thereof and shall allow the same to remain as is, provided that nothing herein contained shall grant unto G. C. & P. any rights under the law of adverse possession, and that G. C. & P. expressly forfeits, waives and relinquishes any and all rights which G. C. & P. might otherwise have now or hereafter may have against PATBLS by virtue of the law of adverse possession.
4. This Agreement shall not have the effect to convey the fee title to any part of Lot 30-A to G. C. & P., nor shall any part of the fee title ever become vested in G. C. & P., its heirs, successors and assigns.



6011

5. It is mutually agreed by the parties that this Agreement shall be perpetual and at all times shall be deemed to run with the land to bind the heirs, successors, assigns and personal representatives of the respective parties hereto.

IN WITNESS WHEREOF, the undersigned have hereunto set their hands effective the date first hereinabove set forth.

[Signature]
PANKAJ B. PATEL

N. P. Patel.
NAYANA P. PATEL

G. C. & P. Inc.,
a New Mexico Corporation

By: [Signature]
Ray A. Padilla

Its: President

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on September 25th, 1997, by PANKAJ B. PATEL and NAYANA P. PATEL, husband and wife.

MY COMMISSION EXPIRES:
10/19/97

[Signature]
NOTARY PUBLIC

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on September 24, 1997, Ray A. Padilla, President of G. C. & P. Inc., a New Mexico Corporation.

MY COMMISSION EXPIRES:
5-22-99

[Signature]
NOTARY PUBLIC

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

6012

LOT NUMBERED THIRTY-A (30-A) IN BLOCK NUMBERED ELEVEN (11) OF PLAT
OF LOTS 30-A AND 30-B (BEING A REPLAT OF LOTS 3, 4, 29 & 30), TRACT
A, UNIT B, NORTH ALBUQUERQUE ACRES, PROJECTED SECTION 13, TOWNSHIP
11 NORTH, RANGE 3 EAST, N.M.P.M., ALBUQUERQUE, NEW MEXICO, AS THE
SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID ADDITION, FILED
IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO,
ON SEPTEMBER 10, 1997, IN PLAT BOOK 97C, FOLIO 257.

EXHIBIT "A"



6013

LOT NUMBERED THIRTY-B (30-B) IN BLOCK NUMBERED ELEVEN (11) OF PLAT OF LOTS 30-A AND 30-B (BEING A REPLAT OF LOTS 3, 4, 29 & 30), TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.H.P.N., ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1997, IN PLAT BOOK 97C, FOLIO 287.

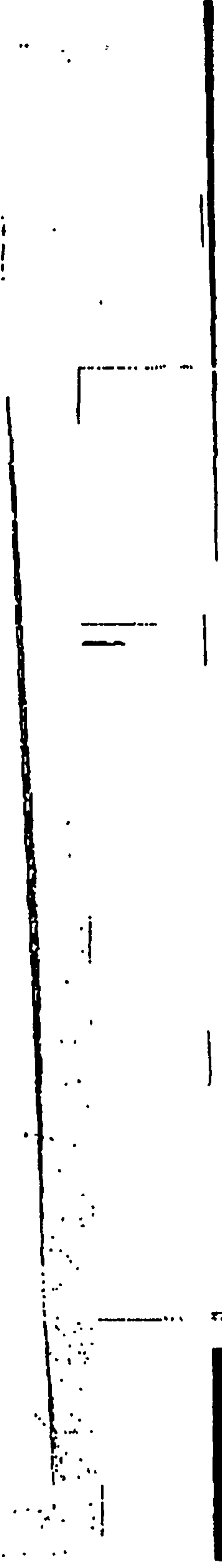
STATE OF NEW MEXICO
COUNTY OF BERNALILLO

97 SEP 26 AM 9:53

97-26-6010-6013

C. J. [Signature]

EXHIBIT "B"



01981310 Ke

#14

GRANT OF EASEMENT AND
ALAMEDA BLVD IMPROVEMENTS AGREEMENT

THIS AGREEMENT ("Agreement") is made and executed this 2nd day of July, 1998, by and between RADHA CORPORATION, a New Mexico Corporation ("RADHA") and PACIFIC INVESTMENTS INC., a New Mexico Corporation, ("PACIFIC INVESTMENTS").

WHEREAS, RADHA is the owner of that certain real property being more particularly described as follows:

Lot 30-A in Block Numbered Eleven (11) of Plat of Lots 30-A and 30-B (being a replat of lots 3, 4, 29, and 30), Tract A, Unit B, North Albuquerque Acres, Projected Section 13, Township 11, North, Range 3 East, N.M.P.M., Albuquerque, New Mexico, as the same is shown and designated on the replat of said addition, filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 10, 1997, in Plat Book 97C, Folio 267.

("Lot 30-A"); and

WHEREAS, PACIFIC INVESTMENTS is the owner of that certain real property being more particularly described as follows:

Lot 30-B in Block Numbered Eleven (11) of Plat of Lots 30-A and 30-B (being a replat of lots 3, 4, 29 & 30), Tract A, Unit B North Albuquerque Acres, Projected Section 13, Township 11, North, Range 3 East, N.M.P.M., Albuquerque, New Mexico, as the same is shown and designated on the replat of said addition, filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 10, 1997, in Plat Book 97C, Folio 267

("Lot 30-B"); and

WHEREAS, the New Mexico State Highway Department requires certain improvements ("Improvements") to be made on Alameda Blvd in front of Lot 30-A and Lot 30-B; and

WHEREAS, RADHA and PACIFIC INVESTMENTS desire to have the improvements constructed and to equally share the costs of such.

NOW, THEREFORE, in consideration of the above and other good and valuable consideration, the receipt of which is hereby acknowledged, it is agreed as follows:

1. RADHA and PACIFIC INVESTMENTS agree to locate a common driveway entrance from Alameda Blvd into Lot 30-A and Lot 30-B (herein "the Common Driveway"). The Common Driveway will be located at the property line of Lots 30-A and 30-B such as to be located equally on said lots. The Common Driveway, as well as deceleration and acceleration lanes in Alameda Blvd (collectively "the Improvements") will be designed and constructed, subject to approval by the New Mexico State Highway

19980831
Page 1 of 4
07/02/1998 02:49P
8k-9812 Pg-1863

July D. Hoodward
Bernalillo Co. N.M.

Department, the City of Albuquerque, and perhaps other governmental agencies having jurisdiction (collectively "the Governmental Approvals") It is anticipated that the Common Driveway will have a width of approximately 40 feet and a depth of approximately 55 feet, which dimensions are subject to change as required by the Governmental Approvals. At such time as the Common Driveway is actually constructed as required pursuant to this Agreement, the parties agree to have licensed surveyor or engineer prepare a legal description of the location of the Common Driveway and to execute and record an Amendment to this Agreement to more particularly locate the Common Driveway.

2. Mark Goodwin & Associates, P.A., or such other engineering firm as the parties may mutually select, (herein "Goodwin"), previously prepared preliminary estimates for the Common Driveway and Improvements. Upon execution of this agreement, the parties agree to employ Goodwin to finalize the design and engineering work for the Common Driveway and Improvements, obtain all required Governmental Approvals and to let and supervise bids from reputable contractors to do the work. The parties will mutually select a contractor to do the work, or if the parties are unable to agree, Goodwin shall select the contractor.

3. The parties agree to equally share all costs reasonably necessary and incident to the design and construction of the Common Driveway and Improvements, including without limitation, Goodwin's fees and the actual costs of construction (herein "the Shared Costs"). When the contractor is selected pursuant to paragraph 2 above, the parties agree to each pay one-half (1/2) of Goodwin's fees then due, enter into a construction contract with the contractor selected and to each deposit one-half (1/2) of the then projected remaining Shared Costs (herein the "Escrowed Funds") in an interest-bearing escrow account with First American Title Insurance Company (herein "Escrow Agent"), Attn: Kathy Carrillo, 2601 Louisiana Blvd., N.E., Albuquerque, New Mexico. All disbursements of the Escrowed Funds by the Escrow Agent to pay the contractor or other Shared Costs must have the written approval of RADHA and PACIFIC INVESTMENTS. To the extent any Escrowed Funds remain after payment of all Shared Costs, such excess will be distributed equally to RADHA and PACIFIC INVESTMENTS. If the Escrowed Funds are not sufficient to pay all Shared Costs, any deficiencies will be paid one-half (1/2) by RADHA and one-half (1/2) by PACIFIC INVESTMENTS.

4. The parties hereby terminate that certain "ACCESS AND ENCROACHMENT AGREEMENT" dated September 16, 1997, between Pankaj B. Patel and Nayana P. Patel, as the owner of Lot 30-A, and G.C. & P., Inc., a New Mexico Corporation, as the owner of Lot 30-B (herein "The Prior Agreement"), which Prior Agreement was recorded September 26, 1997, as Document No. 97100399 in Book 97-26, pages 6010-6013. The parties agree that all easements, rights and privileges created by or under the Prior Agreement are hereby terminated and vacated as of the date of this Agreement.

5. RADHA and PACIFIC INVESTMENTS, mutually and reciprocally, grant to each other and their respective successors in interest, assigns, customers, employees, business invitees and guests, a non-exclusive cross-easement for vehicular and pedestrian access on, over and across

19980831
07/30/98
Page: 2 of 4
07/02/1998 02:45P
01-0012 Pg-1983
July D. Woodard Bern. Co. R 13.00

such portions of Lot 30-A and Lot 30-B, where the Common Driveway is actually Constructed pursuant to this Agreement. The cross-easement for access hereby granted shall be perpetual, shall run with the land and shall inure to the benefit, and bind, the parties hereto and their successors, assigns, mortgagees, lienholders and all other persons now or hereafter having any right, title, interest, lien or claim in or against Lot 30-A and Lot 30-B. If Governmental Approvals are not obtained to the Common Driveway and Improvements as contemplated by this agreement such that the entrance for both Lot 30-A and Lot 30-B is required to be relocated on either Lot 30-A or Lot 30-B, the parties agree to share equally the costs of constructing such alternate access and related improvements and to grant appropriate access easements from such alternate entrance to each other.

IN WITNESS WHEREOF, the parties have executed and delivered this Agreement the date first written above.

RADHA CORPORATION,
a New Mexico Corporation

PACIFIC INVESTMENTS, INC.,
a New Mexico Corporation

BY: [Signature]
ITS: Vice President

BY: [Signature]
ITS: President

STATE OF NEW MEXICO)
) no.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me this 2nd day of July, 1998 by MARKET PAPER, as Vice-President of RADHA CORPORATION, a New Mexico Corporation, on behalf of said Corporation.

[Signature: Kathleen A. Carrillo]
Notary Public

My Commission Expires:
5-22-99

STATE OF NEW MEXICO)
)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me this 2nd day of July, 1998 by ALGERM M. KASEAM, as PRESIDENT of PACIFIC INVESTMENTS, INC., a New Mexico Corporation, on behalf of said Corporation.

Kathleen A. Carrillo
Notary Public

My Commission Expires:

5-22-99

SZ3123

1998083531
07/02/98
Page: 4 of 4
07/02/1998 02:43P
81-2012 Pg-1963
N 13.00
Judy D. Woodward Bern. Co. Not. P.S.C.



97100898 *Delivered to the Commission this 11th day of 10/24/97 Ka* 6010

ACCESS AND ENCROACHMENT EASEMENT AGREEMENT

THIS ACCESS AND ENCROACHMENT EASEMENT AGREEMENT ("Agreement") is made and executed this 16th day of September, 1997, by and between PANKAJ B. PATEL and NAYANA P. PATEL, husband and wife ("PATELS"), and G. C. & P. INC., a New Mexico Corporation ("G. C. & P.").

WHEREAS, PATELS are the owners of that certain real property being more particularly described as follows:

SEE LEGAL DESCRIPTION ON EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF BY REFERENCE.

("Lot 30-A"); and
WHEREAS, G. C. & P. is the owner of that certain real property being more particularly described as follows:

SEE LEGAL DESCRIPTION ON EXHIBIT "B" ATTACHED HERETO AND MADE A PART HEREOF BY REFERENCE.

("Lot 30-B"); and
WHEREAS, PATELS desire to grant to G. C. & P. the nonexclusive right to use a portion of Lot 30 A being described as follows:

The driveway to be aligned with the median cut on Alameda Boulevard immediately in front of Lot 30 A and such portion of lot 30 A as is necessary or desirable for ingress to and egress from Lot 30 B and Alameda Boulevard.

NOW, THEREFORE, in consideration of the above and other good and valuable consideration, the receipt of which is hereby acknowledged, it is agreed as follows:

1. PATELS do hereby grant unto G. C. & P. the Easement over Lot 30-A for the purposes defined hereinabove.
2. The parties acknowledge that the Easement is located over and within lot 30-A which is shown on Exhibit "A" which is attached hereto and incorporated herein by reference.
3. PATELS covenant that they will not attempt to destroy remove or block the Easement for the life thereof and shall allow the same to remain as is, provided that nothing herein contained shall grant unto G. C. & P. any rights under the law of adverse possession, and that G. C. & P. expressly forgoes, waives and relinquishes any and all rights which G. C. & P. might otherwise have now or hereafter may have against PATELS by virtue of the law of adverse possession.
4. This Agreement shall not have the effect to convey the fee title to any part of Lot 30-A to G. C. & P., nor shall any part of the fee title ever become vested in G. C. & P., its heirs, successors and assigns.



6011

5. It is mutually agreed by the parties that this Agreement shall be perpetual and at all times shall be deemed to run with the land to bind the heirs, successors, assigns and personal representatives of the respective parties hereto.

IN WITNESS WHEREOF, the undersigned have hereunto set their hands effective the date first hereinabove set forth.

[Signature]
PANKAJ B. PATEL

N. P. Patel.
NAYANA P. PATEL

G. C. & P. Inc.,
a New Mexico Corporation

By: [Signature]
Ray A. Padilla

Its: President

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on September 25th, 1997, by PANKAJ B. PATEL and NAYANA P. PATEL, husband and wife.

MY COMMISSION EXPIRES:
10/19/97

[Signature]
NOTARY PUBLIC

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on September 27, 1997, Ray A. Padilla, President of G. C. & P. Inc., a New Mexico Corporation.

MY COMMISSION EXPIRES:
5-22-99

[Signature]
NOTARY PUBLIC

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

6012

LOT NUMBERED THIRTY-A (30-A) IN BLOCK NUMBERED ELEVEN (11) OF PLAT OF LOTS 30-A AND 30-B (BEING A REPLAT OF LOTS 3, 4, 29 & 30), TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1997, IN PLAT BOOK 97C, FOLIO 257.

EXHIBIT "A"



6013

LOT NUMBERED THIRTY-B (30-B) IN BLOCK NUMBERED ELEVEN (11) OF PLAT OF LOTS 30-A AND 30-B (BEING A REPLAT OF LOTS 3, 4, 29 & 30), TRACT A, UNIT B, NORTH ALBUQUERQUE AGRES, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1997, IN PLAT BOOK 97C, FOLIO 287.

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

97 SEP 26 AM 9:53

97-26-6010-6013

Carly...

EXHIBIT "B"



||

—

—



GRANT OF EASEMENT AND
ALAMEDA BLVD IMPROVEMENTS AGREEMENT

THIS AGREEMENT ("Agreement") is made and executed this 2nd day of July, 1998, by and between RADHA CORPORATION, a New Mexico Corporation ("RADHA") and PACIFIC INVESTMENTS INC., a New Mexico Corporation, ("PACIFIC INVESTMENTS").

WHEREAS, RADHA is the owner of that certain real property being more particularly described as follows:

Lot 30-A in Block Numbered Eleven (11) of Plat of Lots 30-A and 30-B (being a replat of lots 3, 4, 29, and 30), Tract A, Unit B, North Albuquerque Acres, Projected Section 13, Township 11, North, Range 3 East, N.M.P.M., Albuquerque, New Mexico, as the same is shown and designated on the replat of said addition, filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 10, 1997, in Plat Book 97C, Folio 267.

("Lot 30-A"); and

WHEREAS, PACIFIC INVESTMENTS is the owner of that certain real property being more particularly described as follows:

Lot 30-B in Block Numbered Eleven (11) of Plat of Lots 30-A and 30-B (being a replat of lots 3, 4, 29 & 30), Tract A, Unit B North Albuquerque Acres, Projected Section 13, Township 11, North, Range 3 East, N.M.P.M., Albuquerque, New Mexico, as the same is shown and designated on the replat of said addition, filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 10, 1997, in Plat Book 97C, Folio 267

("Lot 30-B"); and

WHEREAS, the New Mexico State Highway Department requires certain improvements ("Improvements") to be made on Alameda Blvd in front of Lot 30-A and Lot 30-B; and

WHEREAS, RADHA and PACIFIC INVESTMENTS desire to have the improvements constructed and to equally share the costs of such.

NOW, THEREFORE, in consideration of the above and other good and valuable consideration, the receipt of which is hereby acknowledged, it is agreed as follows:

1. RADHA and PACIFIC INVESTMENTS agree to locate a common driveway entrance from Alameda Blvd into Lot 30-A and Lot 30-B (herein "the Common Driveway"). The Common Driveway will be located at the property line of Lots 30-A and 30-B such as to be located equally on said lots. The Common Driveway, as well as deceleration and acceleration lanes in Alameda Blvd (collectively "the Improvements") will be designed and constructed, subject to approval by the New Mexico State Highway

19980825J
 387322
 Page 1 of 4
 87/92/1898 02:48P
 88-9812 Pg-1863

Bern. Co. N.M.

13.00

01981310 Ka

#14

Department, the City of Albuquerque, and perhaps other governmental agencies having jurisdiction (collectively "the Governmental Approvals") It is anticipated that the Common Driveway will have a width of approximately 40 feet and a depth of approximately 35 feet, which dimensions are subject to change as required by the Governmental Approvals. At such time as the Common Driveway is actually constructed as required pursuant to this Agreement, the parties agree to have licensed surveyor or engineer prepare a legal description of the location of the Common Driveway and to execute and record an Amendment to this Agreement to more particularly locate the Common Driveway.

2. Mark Goodwin & Associates, P.A., or such other engineering firm as the parties may mutually select, (herein "Goodwin"), previously prepared preliminary estimates for the Common Driveway and Improvements. Upon execution of this agreement, the parties agree to employ Goodwin to finalize the design and engineering work for the Common Driveway and Improvements, obtain all required Governmental Approvals and to let and supervise bids from reputable contractors to do the work. The parties will mutually select a contractor to do the work, or if the parties are unable to agree, Goodwin shall select the contractor.

3. The parties agree to equally share all costs reasonably necessary and incident to the design and construction of the Common Driveway and Improvements, including without limitation, Goodwin's fees and the actual costs of construction (herein "the Shared Costs"). When the contractor is selected pursuant to paragraph 2 above, the parties agree to each pay one-half (1/2) of Goodwin's fees then due, enter into a construction contract with the contractor selected and to each deposit one-half (1/2) of the then projected remaining Shared Costs (herein the "Escrowed Funds") in an interest-bearing escrow account with First American Title Insurance Company (herein "Escrow Agent"), Attn: Kathy Carrillo, 2601 Louisiana Blvd., N.E., Albuquerque, New Mexico. All disbursements of the Escrowed Funds by the Escrow Agent to pay the contractor or other Shared Costs must have the written approval of RADHA and PACIFIC INVESTMENTS. To the extent any Escrowed Funds remain after payment of all Shared Costs, such excess will be distributed equally to RADHA and PACIFIC INVESTMENTS. If the Escrowed Funds are not sufficient to pay all Shared Costs, any deficiencies will be paid one-half (1/2) by RADHA and one-half (1/2) by PACIFIC INVESTMENTS.

4. The parties hereby terminate that certain "ACCESS AND ENCROACHMENT AGREEMENT" dated September 16, 1997, between Pankaj B. Patel and Nayana P. Patel, as the owner of Lot 30-A, and G.C. & P., Inc., a New Mexico Corporation, as the owner of Lot 30-B (herein "The Prior Agreement"), which Prior Agreement was recorded September 26, 1997, as Document No. 97100399 in Book 97-26, pages 6010-6013. The parties agree that all easements, rights and privileges created by or under the Prior Agreement are hereby terminated and vacated as of the date of this Agreement.

5. RADHA and PACIFIC INVESTMENTS, mutually and reciprocally, grant to each other and their respective successors in interest, assigns, customers, employees, business invitees and guests, a non-exclusive cross-easement for vehicular and pedestrian access on, over and across



1000000001
007324
Page: 2 of 4
87/02/1998 02:49
01-0012 Pg-1963

Judy D. Woodard Born. Co. N.M.

such portions of Lot 30-A and Lot 30-B, where the Common Driveway is actually constructed pursuant to this Agreement. The cross-easement for access hereby granted shall be perpetual, shall run with the land and shall inure to the benefit, and bind, the parties hereto and their successors, assigns, mortgagees, lienholders and all other persons now or hereafter having any right, title, interest, lien or claim in or against Lot 30-A and Lot 30-B. If Governmental Approvals are not obtained to the Common Driveway and Improvements as contemplated by this agreement such that the entrance for both Lot 30-A and Lot 30-B is required to be relocated on either Lot 30-A or Lot 30-B, the parties agree to share equally the costs of constructing such alternate access and related improvements and to grant appropriate access easements from such alternate entrance to each other.

IN WITNESS WHEREOF, the parties have executed and delivered this Agreement the date first written above.

RADHA CORPORATION,
a New Mexico Corporation

BY: [Signature]
ITS: Vice President

PACIFIC INVESTMENTS, INC.,
a New Mexico Corporation

BY: [Signature]
ITS: President

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me this 2nd day of JULY, 1998 by PANKAJ PATEL, as Vice-President of RADHA CORPORATION, a New Mexico Corporation, on behalf of said Corporation.

[Signature]
Notary Public

My Commission Expires:

5-22-99

189883631
Page: 3 of 4
07/02/1998 02:40P
Bk-0612 Pg-1063
July 0, 1998 Bern. Co. PATEL R 13.00

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me this 2nd day of July, 1998 by ALAN M. KASSAM, as President of PACIFIC INVESTMENTS, INC., a New Mexico Corporation, on behalf of said Corporation.

Kathleen A. Cavilli
Notary Public

My Commission Expires:

5-22-99

SZ3123

199803531
07/02/98
Page: 4 of 4
07/02/1998 02:43P
01-9812 Pg-1033
R 13.00
July D. Bookard
Serra, Co. INC.

City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

Supplemental form **S**

SUBDIVISION

Major Subdivision action

Minor Subdivision action

Vacation

Variance (Non-Zoning)

Supplemental form **Z**

ZONING

Annexation & Zone Establishment

Sector Plan

Zone Change

Text Amendment

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: ~~DECKER PERICH SABATINI~~ EUROPA INTERNATIONAL, INC PHONE: 761-9700

ADDRESS: 6801 JEFFERSON NE FAX: 761-4222

CITY: ABQ. STATE NM ZIP 87109 E-MAIL: TIM6@DPSABQ.COM

Proprietary interest in site: PROPRIETOR/OWNER

AGENT (if any): DECKER PERICH SABATINI PHONE: 761-9700

ADDRESS: 6801 JEFFERSON NE FAX: 761-4222

CITY: ABQ. STATE NM ZIP 87111 E-MAIL: TIM6@DPSABQ.COM

DESCRIPTION OF REQUEST: REQUEST FOR APPROVAL OF SITE DEVELOPMENT PLAN FOR BLDG. PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 30-A TRACT A UNIT B Block: 1 Unit: B

Subdiv. / Addn. NORTH ALBUQUERQUE ACRES

Current Zoning: SU-2 FOL. M-1 Proposed zoning: SAME

Zone Atlas page(s): C-18-7 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 1.675 Density if applicable: dwellings per gross acre: NA dwellings per net acre: NA

Within city limits? Yes No, but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 101806404240220503 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: ALAMEDA AND SAN MATEO NE (5301)

Between: SAN MATEO BLVD NE and I-25

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): DRB-96-352
S-96-44

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 1-21-03

(Print) TIM GRATTAN Applicant Agent

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>03DRB - 00092</u>	<u>2BP</u>	<u>P(3)</u>	\$ <u>385.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>JAN, 29 '03</u>			Total \$ <u>385.00</u>

[Signature] 1/21/03
Planner signature / date

Project # 1002435

505-984-8888
GLORIA FERRER

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule) **385.00**
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - ___ Infrastructure List, if relevant to the site plan
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

TIM GRATTAN
Applicant name (print)
Timothy Grattan
Applicant signature / date
1-21-03



Form revised December 2000

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
03DRB-00092

Roderick 1/21/03
Planner signature / date
Project # 1002435

January 21, 2003



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Sharon Matson/Roger Green
Developmental Review Board
City of Albuquerque
600 2nd Street, NW
Albuquerque, NM 87102

Dear Sharon & Roger:

Dekker/Perich/Sabatini, acting as Agents for Europa International, Inc., respectfully request approval of a Site Development Plan for Building Permit for the development identified in the attached DRB Submittal Drawings.

The project is located at 5301 Alameda Drive just west of I-25. The building's use is exclusively for the sale of Saab automobiles and is one-story with an area of 12,746 gross square feet.

We trust that you find this to be a quality project and the documents to be complete. We have developed the plans in consideration of the *City of Albuquerque Zoning Ordinance* in general, and the *Alameda Design Overlay Zone Guidelines (DOZ)* in particular.

We have made the utmost effort to meet or exceed all of the DOZ guidelines within the context of this projects use – a car dealership. Furthermore, we have proceeded with these plans under the guidance and counsel of Mr. Bob Paulsen. We reference page five of the DOZ brochure with respect to the administration of the guidelines being by City staff and the EPC. We also understand from Mr. Paulsen that the specific review of these guidelines is by the DRB.

Specifically, the following points are worth noting with respect to this development:

1. The required 30' street-yard setback has been respected. This space has been scrutinized with regard to grading, drainage, and particularly - landscaping.
2. A direct connection is provided from the public sidewalk to the building entrance.
3. The entire site has been developed in consideration of the *Overlay Zone Guidelines* rather than the 200' depth as required for "deep lots" within zone four.
4. The storm water detention area at the northwest corner of the site has been carefully designed as part of a water harvesting strategy. Water from the southwest section of the site is directed into a collection area prior to running into the detention area proper.
5. The landscaping scheme has been designed to minimize the amount of irrigation while meeting all of the Overlay Zone Guidelines with respect to area coverage and quantities.
6. Sideyard parking has been screened from view to Alameda by landscaping to further enhance the overall appearance of the project.
7. The building-mounted signs and the monument sign match Saab USA corporate signage requirements and are of the highest quality and appearance (see attached documents).

■ ■ ■
6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761.9700
fax 761.4222
dps@dpsabq.com



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

8. A second access drive has been provided to Oakland Avenue on the north to facilitate ingress and egress from cars entering the site via the signalized interchange at San Mateo and Alameda. This drive has been located to allow the center median to accommodate an existing City of Albuquerque Environmental Health Department monitoring well. This well cannot be relocated or its elevation modified.

We will, of course, be happy to address any of these points – and any others – at the actual review session. Thank you for your consideration of this project.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

Jeffrey Fleming, AIA
Project Architect

Encl: 6 copies of drawings
Copy of zone atlas map page
Dave Holland – letter of authorization

■ ■ ■
6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761.9700
fax 761.4222
dps@dpsabq.com

January 13, 2003

Jeffrey Fleming, AIA
Dekker/Perich/Sabatini
6801 Jefferson, NE
Suite 100
Albuquerque, NM 87109

Re: Saab Dealership – 5301 Alameda Boulevard NE

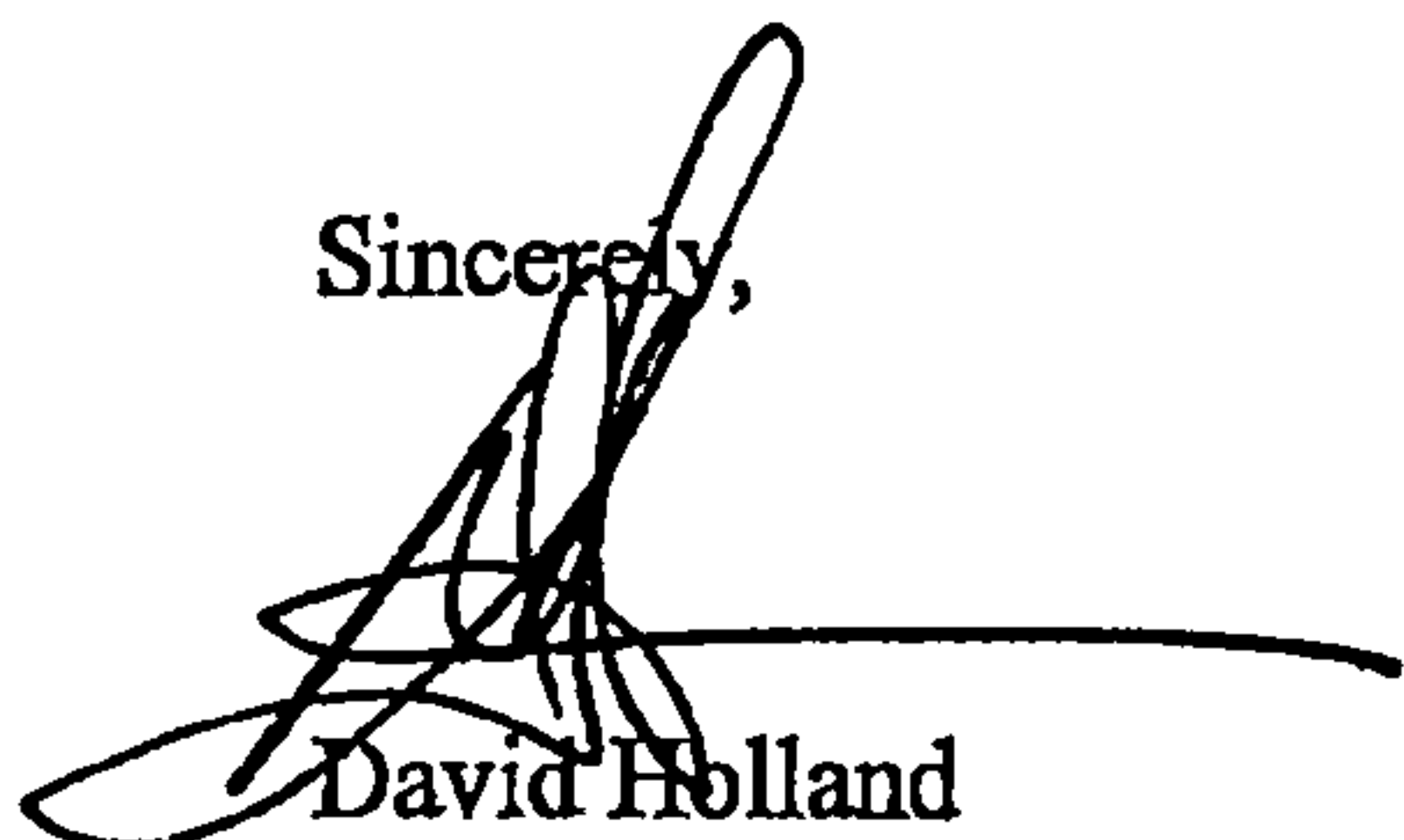
Dear Jeffrey:

This letter is my explicit authorization for you and your firm – Dekker/Perich/Sabatini – to submit, on my behalf, a DRB package to the City of Albuquerque as my agent.

The purpose of this submission is to gain DRB approval of the proposed development at 5301 Alameda.

I declare that I am the owner of the referenced property in making this authorization. Thank you.

Sincerely,



David Holland
President and CEO
Europa International, Inc.

SITE DEVELOPMENT PLAN CHECKLIST FOR BUILDING PERMITS

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Since development proposals vary in type and scale, there may be application requirements that are not included here. Site development plan submitted will ordinarily be composed of the following plan sheets:

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading Plan
4. Building Elevations

Submitted shall be organized in the above manner. In addition, 8 1/2" by 11" reductions must be included with plan submitted. The following checklist describes the minimum information necessary for element. Applicant shall check off all items shown on the site plan or label as **NA**, if not applicable.

SHEET #1 - SITE PLAN

A. General Information

1. Scale

Under 1.0 acre	1" = 10'
1.0 - 5.0 acres	1" = 20'
Over 5 acres	1" = 50'
Over 20 acres	1" = 100'
Other scales as approved by staff	

2. Bar Scale

3. North Arrow

4. Scaled Vicinity Map

5. Existing structures on site and site adjacent to the proposal that impact, or are impacted by the project.

6. Property lines

7. Existing and proposed easement (identify each)

B. Proposed Development

1. Structural

A. Existing and proposed structures on the property and in the adjacent properties including privacy and retaining walls

B. Square footage of each structure

C. Proposed of each structure

D. Temporary structures, sign and other improvements

E. Wall(s), fence(s), and screening: height, length, color, and materials.
Show cross-sections for retaining walls.

F. Dimensions of all principal site elements

G. Loading facilities

H. Site lighting (height, type, and intensity)

2. Non-Structural and Parking

A. Parking design with spaces numbered per aisle and totaled.

- 1. Location
 - 2. Arrangements
 - 3. Dimensions
 - 4. Turning spaces
 - 5. Drives
 - 6. Aisles
 - 7. Ingress
 - 8. Egress
 - 9. Number of spaces required: 30
Provided: 85
 - 10. Handicapped parking, spaces required: 2
Provided: 2
- B. Bicycle racks, spaces required: 2
Provided: 2
- C. Refuse container and enclosure, if applicable.

C. Street and Circulation

- 1. Identification and location of public or private streets and alleys with proper name, existing and proposed width dimensions.
- 2. Curve radii
- 3. Right-of-Way width
- 4. Pavement width, flow line to flow line including medians and median cuts.
- 5. Sidewalk widths and locations, existing and proposed.
- 6. Rail spurs, if applicable
- 7. Location of traffic signs and signals related to the functioning of the proposal.
- 8. Bikeways
- 9. Bus facilities, including bays and shelters where required.
- 10. Curb cut size and type.
- 11. Provisions for non-auto transportation, including transit and bicycle related improvements and pedestrian linkage.

D. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

E. Phasing

- N/A 1. Proposed phasing of improvements and provision for interim facilities. Information on future phasing should be included, if applicable.

SHEET #2 - LANDSCAPING PLAN

If appropriate maybe shown on sheet #1, site plan with the approval of planning staff.
See article 6-1-1-1 at all water conservation/water waste and maintenance statement.

1. Scale - must be same as scale on sheet #1 - Site plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Identify nature of ground cover materials
 - A. Impervious areas (pavements, sidewalks, slope pavings, curb, and gutters, etc.).
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.).
 - C. Ponding areas either for drainage or landscaping/recreational use.
7. Identify nature, location and size of shrubbery and trees (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
8. Irrigation System
9. Planting Beds
10. Turf Area - only 20% of landscaped area can be high water turf, in square feet and percentage.
11. Responsibility for maintenance
12. Statement of Water Waste, etc.
13. Landscaped area requirement, in square feet and percent: 9202.5 sq. FT.
14. Landscaped area provided, in square and percent: 16,068.0 sq. FT.

SHEET #3 - GRADING PLAN

A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required).
5. Property Lines
6. Existing and proposed easements
7. Proposed contours and/or spot elevations
8. Retaining walls

B. Proposal

1. Grading submittals, ponding areas, erosion and sediment control facilities:
 - A. Conceptual grading and drainage plan
 - B. Drainage plan (maybe required for other submittals)
 - C. Drainage Report (maybe required for other submittals)
- A. Cross Sections
Provide cross section for all perimeter property lines at the point of the greatest grade change: Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point

B. Spot Elevation

Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.

C. Grade Changes

Identify grade change on the site greater than 2 feet with shading or a single cross-hatch. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch.

SHEET #4 - BUILDING AND STRUCTURES OF ELEVATIONS TO SCALE

A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff).
- 2. Bar Scale
- 3. Facade orientation (elevation of all sides of the buildings)
- 4. Dimension, to scale if not shown in plan including overall height and width, and dimensions of major facade elements.
- 5. Location materials and colors of windows and building entrances
- 6. Materials and colors of buildings and structures

B. Signage

- 1. Elevations
- 2. Location
- 3. Height and width
- 4. Sign face area
- 5. Lighting
- 6. Materials and Colors
- 7. Additional information including, renderings, perspective drawings may be submitted.
 - A. Samples
 - Presentation Models
 - 2. Photos

January 27, 2003



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Sheran Matson
Planning Department
Development Review Board
City of Albuquerque
Plaza del Sol Building
600 2nd Street
Albuquerque, NM 87102

Re: Europa International Site Plan / App. Case # 03DRB-00092 / Project # 1002435

Dear Sheran:

I am resubmitting the site plan with the minor revisions that you identified in your fax message to Tim Grattan on January 24th.

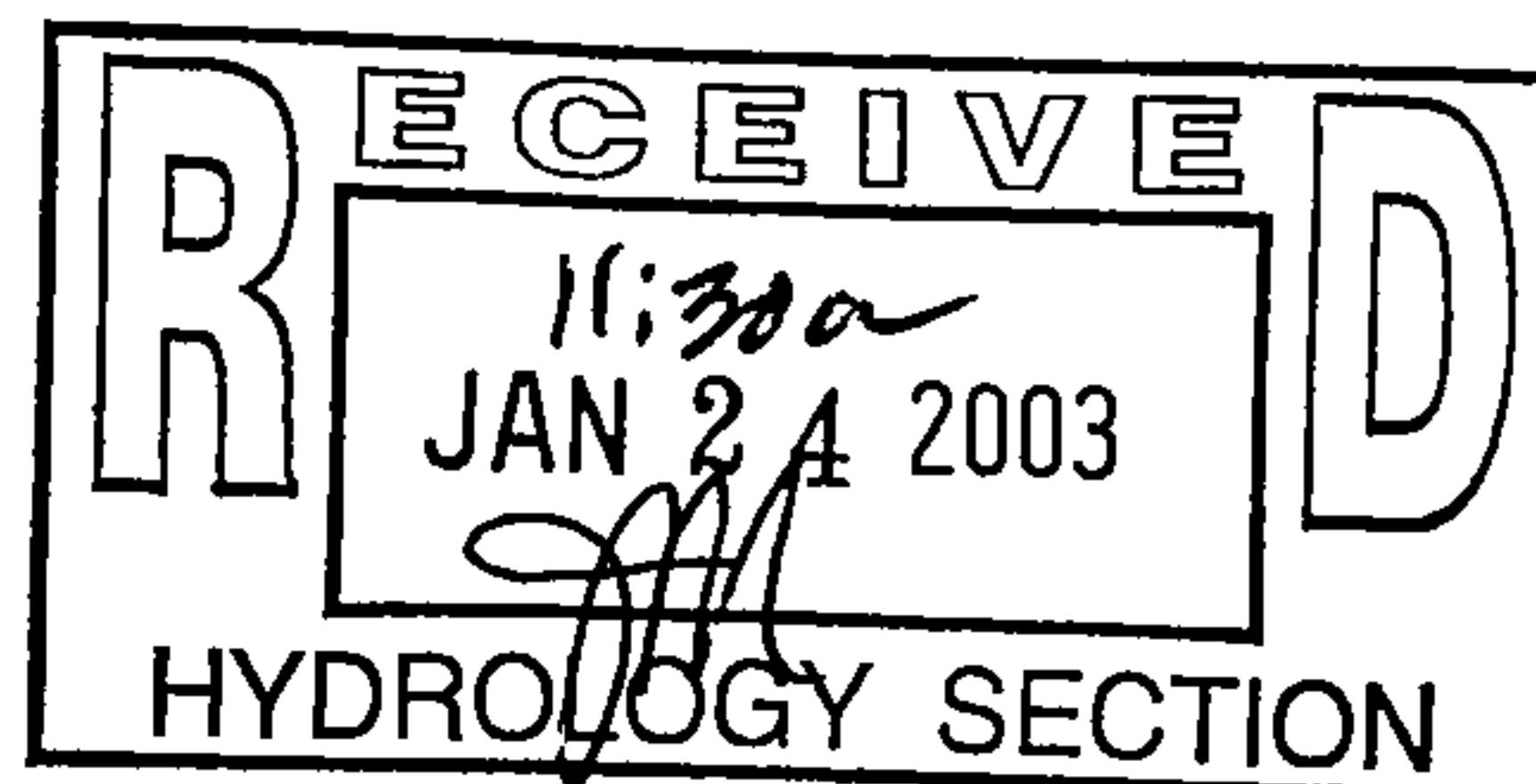
1. Per Marcia Pinkus, the property does NOT lie within 1000' of an existing or former landfill. She will confirm this with you via a letter.
2. We have modified the monument signage as suggested to be in compliance with the Alameda Overlay Zone Design Guidelines – 8' maximum height and 48 s.f. of area.
3. We have modified the turning radius at the former site of the dumpster to 15' per the Transportation Department's suggestion.
4. The elevation sheet does show the height of the building with elevation marks – 122'-6" to the top of the parapet – this, of course, is relative to a reference elevation of 100'-0" for the finish floor.

I would like to thank you for your consideration in this matter. Please do not hesitate to contact me should you have any questions with regard to this issue.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

Jeffrey Fleming, AIA
Project Architect



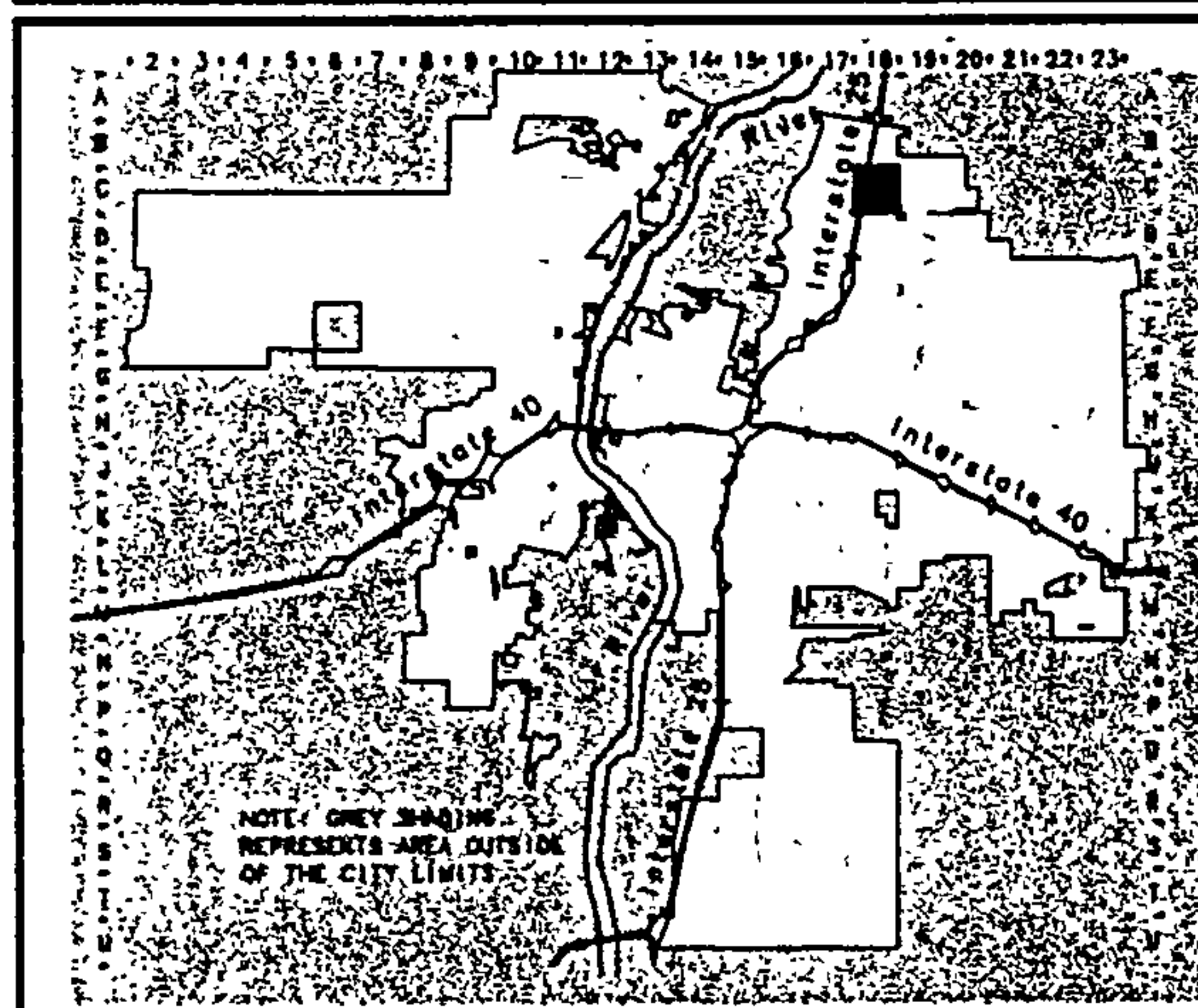
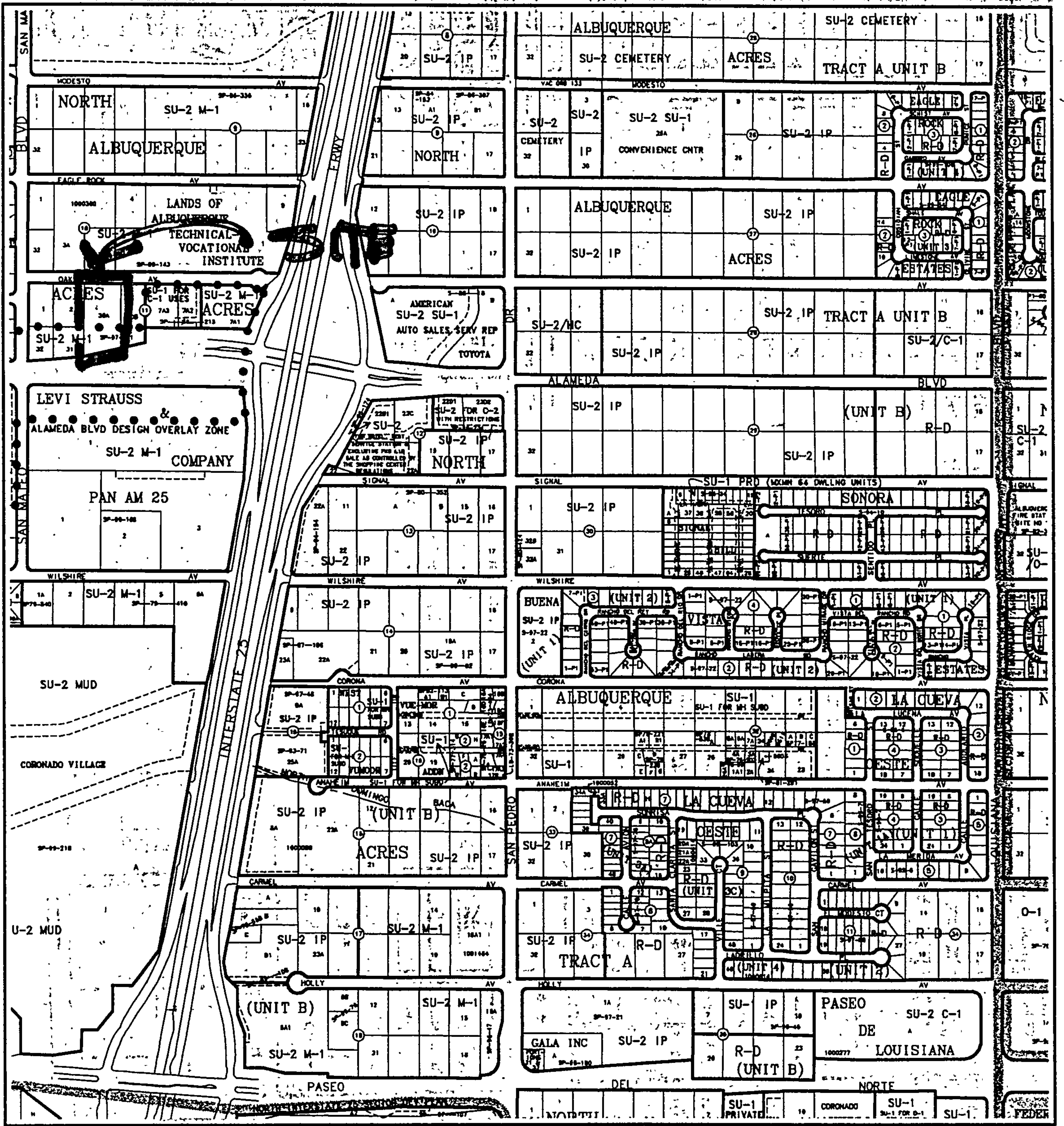
Encl: revised site plan

6801 Jefferson NE
Suite 100
Albuquerque NM
87109

505 761.9700
fax 761.4222
dps@dpsobq.com

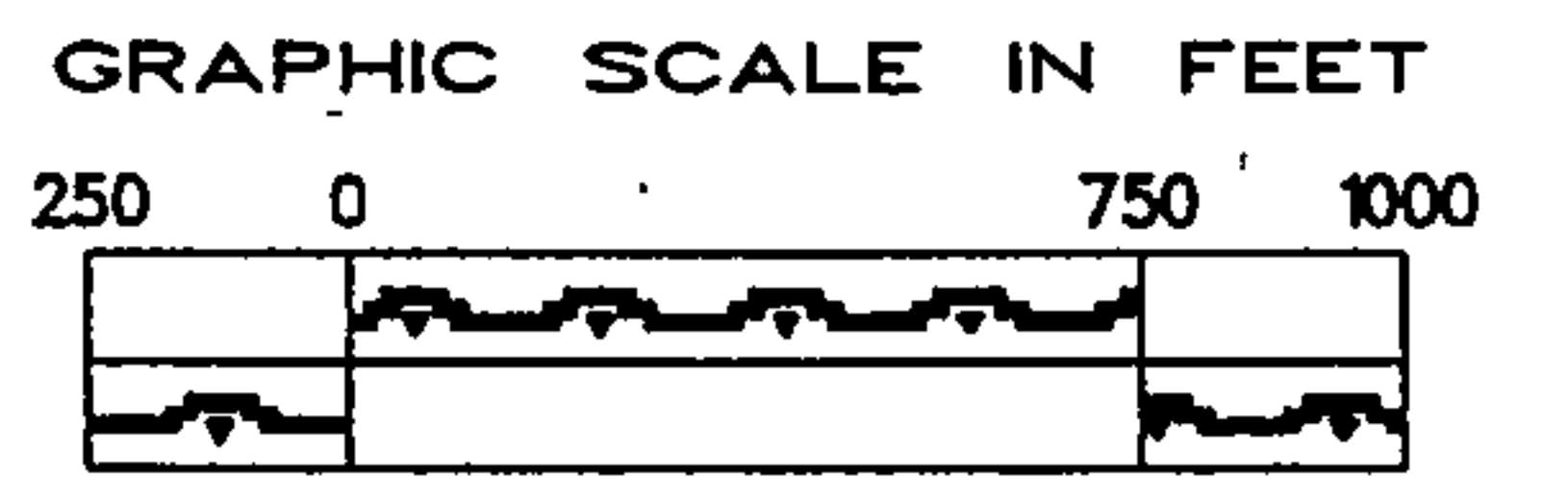
New revised
submittal
1002435

#/0



CITY OF
Albuquerque
A **G** **I**
B **U** **R**
 Geographic Information System
PLANNING DEPARTMENT

© Copyright 2002



Zone Atlas Page

C-18-Z

Map Amended through April 03, 2002

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol -2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME EUROPA INTRNL, INC.
AGENT PEKKER PERICH SABATINI
ADDRESS 6801 JEFFERSON ST. NE.
PROJECT NO. 1002435
APPLICATION NO. 03DRB-00092

\$ 385⁰⁰ 441006 / 4983000 (DRB Cases)
\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)
\$ _____ 441018 / 4971000 (Notification)

\$ 385⁰⁰ **Total amount due**

DEKKER/PERICH/SABATINI, LTD 12-92
6801 JEFFERSON NE SUITE 100
ALBUQUERQUE, NM 87109
(505) 761-9700
FED #85-0367023

WELLS FARGO NEW MEXICO, N.A. 0204
Albuquerque, NM 87103-1081
95-219-1070

027387
CHECK NO. 27387

Exactly Three hundred eighty-five and no / 100 Dollars

DATE 1/21/2003 AMOUNT \$385.00

CITY OF ALBUQUERQUE

DUPLICATE
City Of Albuquerque VOID AFTER 90 DAYS
Treasury Division

PAY TO THE ORDER OF

01/21/2003
RECEIPT# 00002839 WSH 006 TRANSH 0052
Account 441006 Fund 0110
Activity 4983000 TRSKDM
Trans Amt \$385.00
J24 Misc \$385.00
CK 10/28/02 \$385.00
CHANGE \$0.00

⑈027387⑈ ⑆107002192⑆ 1047

January 24, 2003



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Sheran Matson
Planning
Development Review Board
City of Albuquerque
Plaza del Sol Building
600 2nd Street
Albuquerque, NM 87102

Re: Europa International Site Plan / App. Case no. 03DRB-00092

JAN 29/03
100 2435

16

Dear Sheran:

I am respectfully submitting a minor amendment to the previously submitted plans to the DRB for the above-referenced project.

This revision was necessitated by Solid Waste's disapproval of the refuse enclosure. We have relocated the enclosure to Solid Waste's satisfaction and this change is clearly shown on the attached site plan.

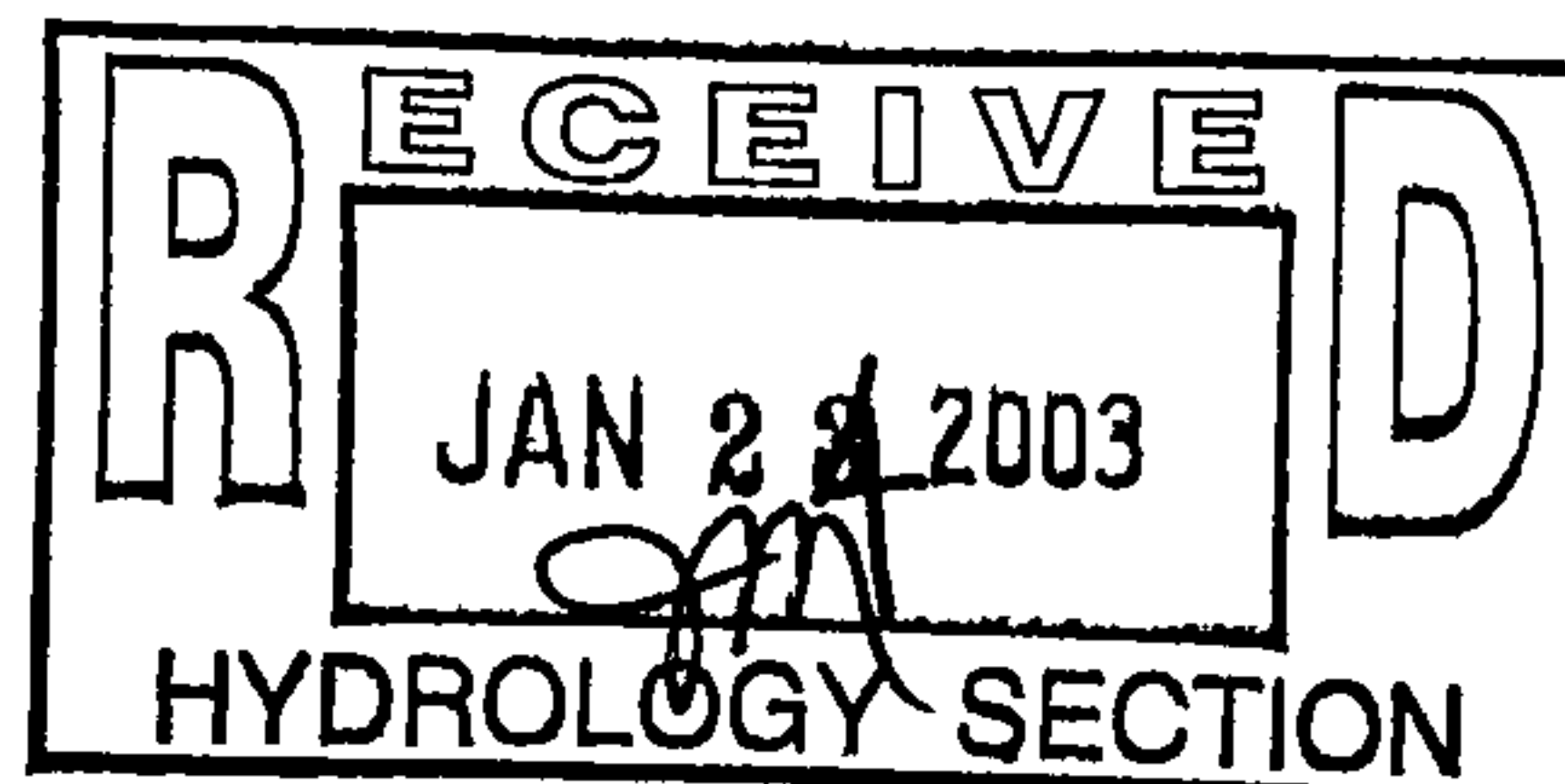
I would like to thank you for your consideration in this matter. Please do not hesitate to contact me should you have any questions with regard to this issue.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

Jeffrey Fleming, AIA
Project Architect

Encl: revised site plan



6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761.9700
fax 761.4222
dps@dpsabq.com