

- KEYED NOTES**
1. ASPHALTIC PAVING
 2. 8' CANI REFUSE ENCLOSURE COA SOLID WASTE DEPT. STANDARDS. RE. ELEVATION ON THIS SHEET.
 3. LANDSCAPING PER LANDSCAPE DRAWINGS
 4. ELECTRICAL TRANSFORMER
 5. VEHICLE DISPLAY - N.I.C.
 6. INTEGRAL, COLORED CONCRETE PAVING
 7. NEW VEHICLE PARKING
 8. CANOPY OVERHANGS
 9. LANDSCAPED STORM WATER DETENTION AREA
 10. CONCRETE CURB AND GUTTER
 11. STEEL BOLLARD
 12. EXISTING CURB TO BE REMOVED
 13. MONUMENT SIGN, RE. ELEVATIONS THIS SHEET.
 14. DIRECTIONAL ARROWS
 15. LIGHT POLE TYP. RE. ELEVATION THIS SHEET.
 16. ACCESSIBILITY RAMP
 17. ACCESSIBILITY SIGN
 18. BIKE RACK, 2 SPACES
 19. EXISTING SIDEWALK
 20. EXISTING FIRE HYDRANT
 21. NEW FIRE HYDRANT
 22. CONCRETE CURB
 23. EXISTING 4' HALF HEIGHT STUCCO WALL TO BUILDING ENTRANCE
 24. NEW SIDEWALK FROM EXISTING SIDEWALK TO BUILDING ENTRANCE
 25. CONCRETE PAVING AND APPROACH APRON
 26. CONCRETE APRON

PROJECT DATA

ADDRESS:
5301 ALAMEDA BLVD. NE

LEGAL DESCRIPTION:
LOT 30-A, BLOCK 11
TRACT A, UNIT B - NORTH ALBUQUERQUE ACRES
PROJECTED SECTION 19, T 11 N,
R 9 E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

ZONING: SU2 FOR M-1

TOTAL ACREAGE: 12,944 S.F. = 1.675 ACRES

TOTAL BUILDING AREA: 12,746 G.S.F. FAR: .175

ACTUAL BUILDING AREA:
12,746 S.F. - 1087 S.F. (area of covered canopies) = 11,659 S.F.

BUILDING USE: CAR DEALERSHIP INCLUDING ADMINISTRATIVE OFFICE SPACE AND AUTO SERVICE (NO WELDING)

PARKING:
REQUIRED:
1 SPACE FOR EA. 200 S.F. OF RETAIL OR SERVICE AREA
5,018/200 S.F. = 26 SPACES REQD.
1 SPACE FOR EA. 1000 S.F. OF MANF. OR WHOLESALE (SERVICE WING)
6,667/1000 S.F. = 7 SPACES REQD.
1 BICYCLE PARK. SPACE/20 VEHICLES; (2 MIN.)
MIN. OF (2) H.C. ACCESSIBLE PARKING SPACE W/ ACCESS AISLE
33 TOTAL PARKING SPACES REQUIRED
-3 SPACES FOR BUS PROXIMITY CREDIT (10%)
30 SPACES TOTAL REQUIRED

PARKING PROVIDED:
33 PARKING SPACES PROVIDED
2 H.C. PARKING SPACES PROVIDED (W/ ACCESS AISLE)
2 BICYCLE PARKING SPACES PROVIDED

Site Development Plan for Building Permit

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE APPROVAL BY THE DESIGN REVIEW BOARD (DRB) ON JANUARY 21, 2003, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

Michael Holten 1-24-03
SOLID WASTE, ALBUQUERQUE will comply w/ CoA request DATE

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

PARKS & RECREATION DEPARTMENT DATE

PUBLIC WORKS, WATER UTILITIES DIVISION DATE

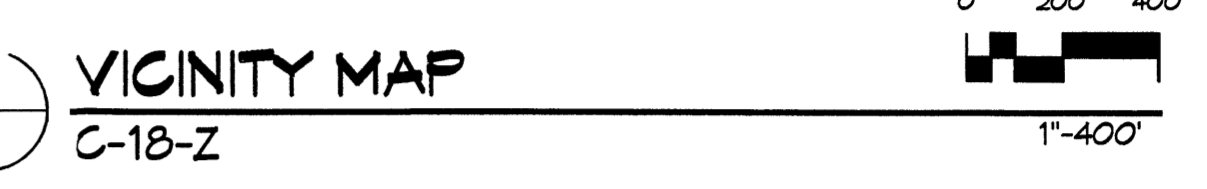
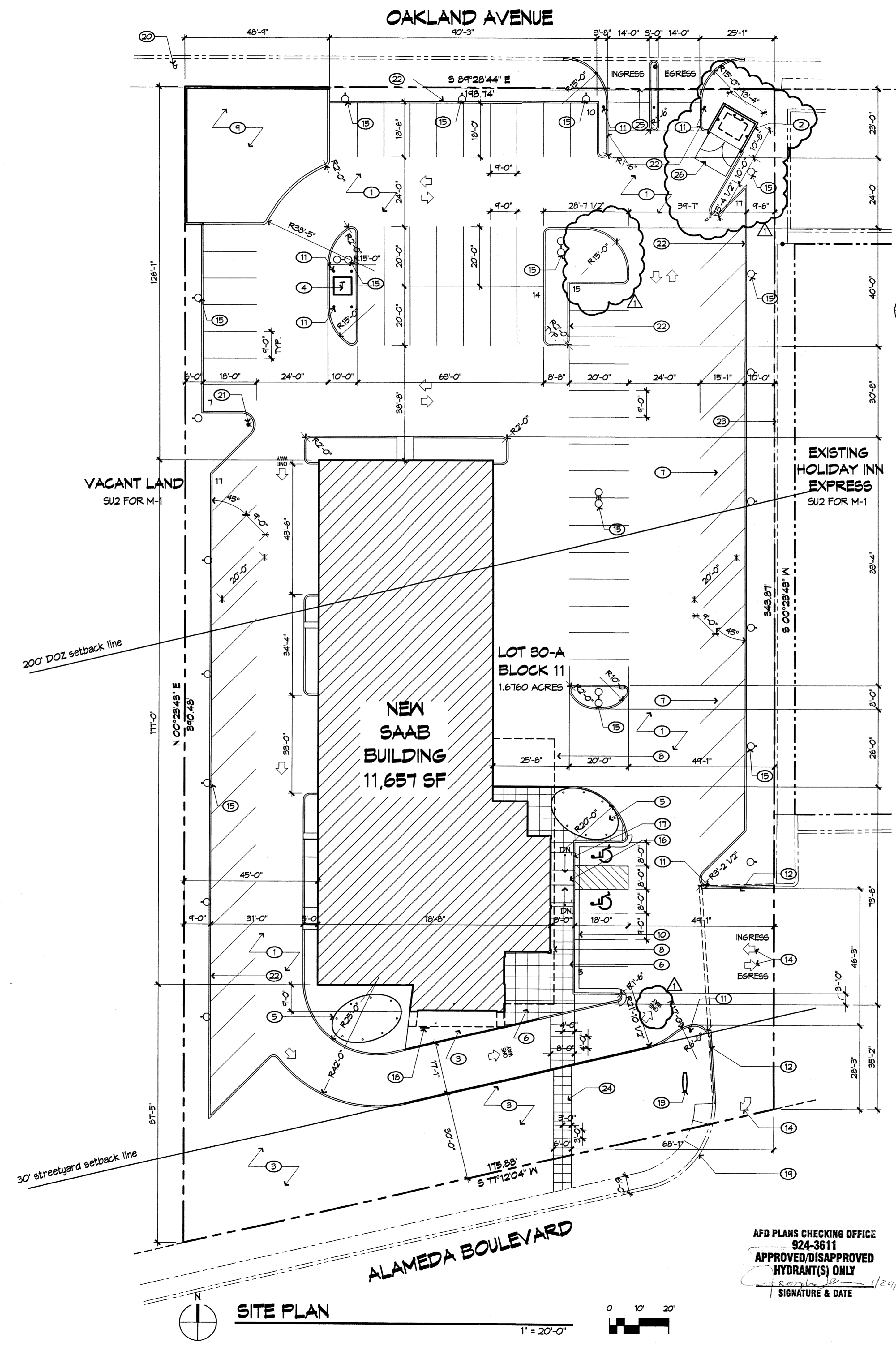
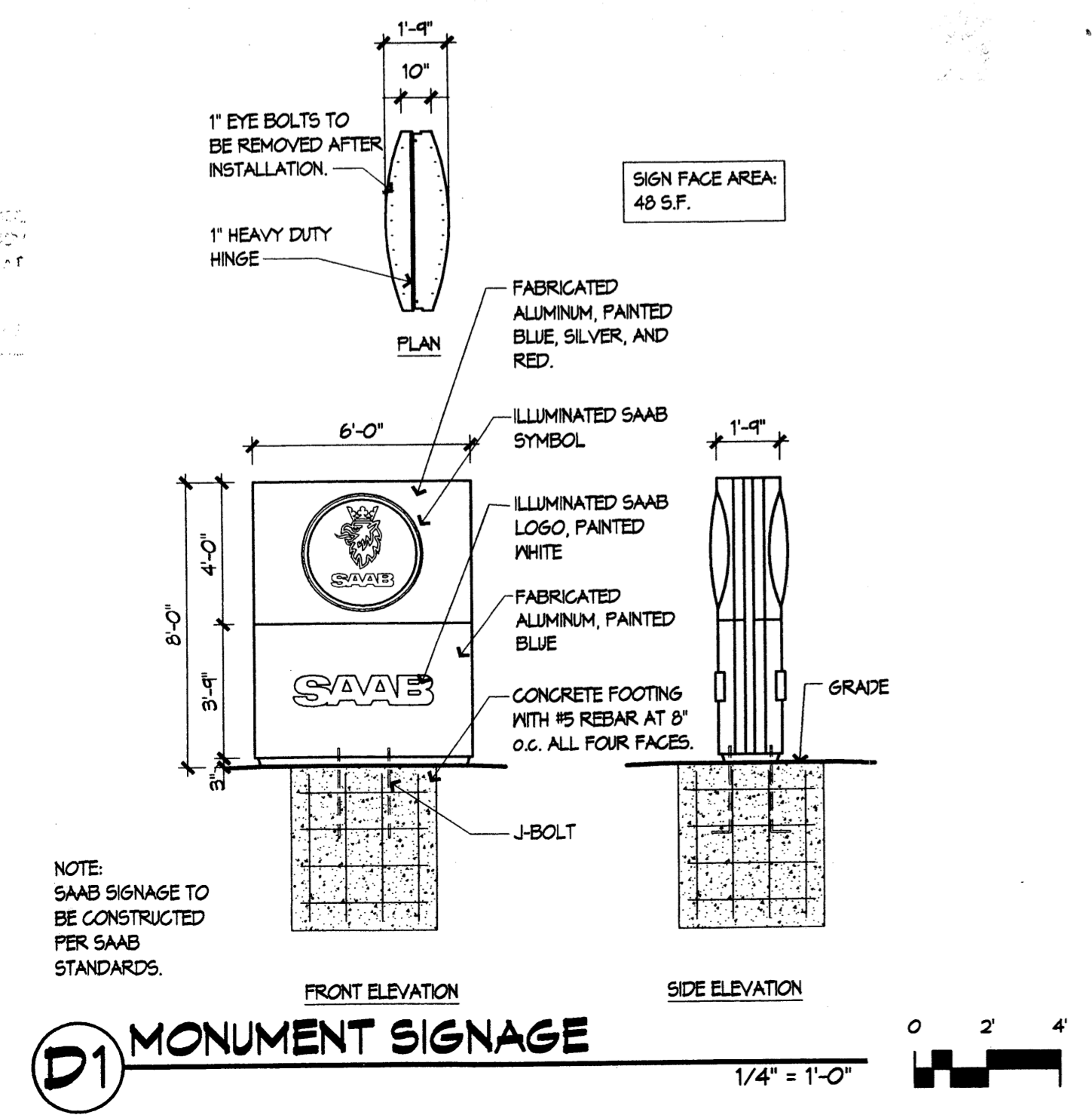
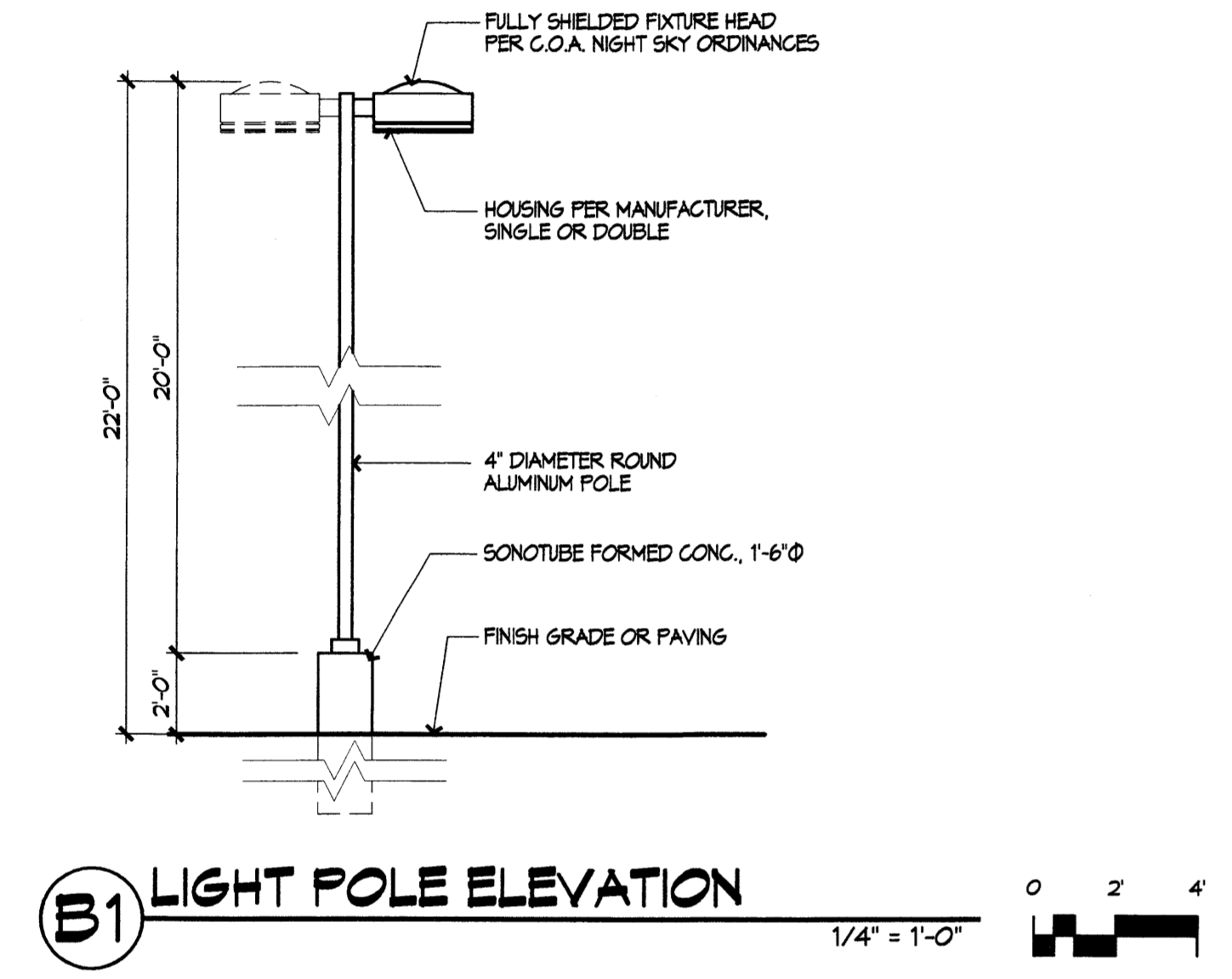
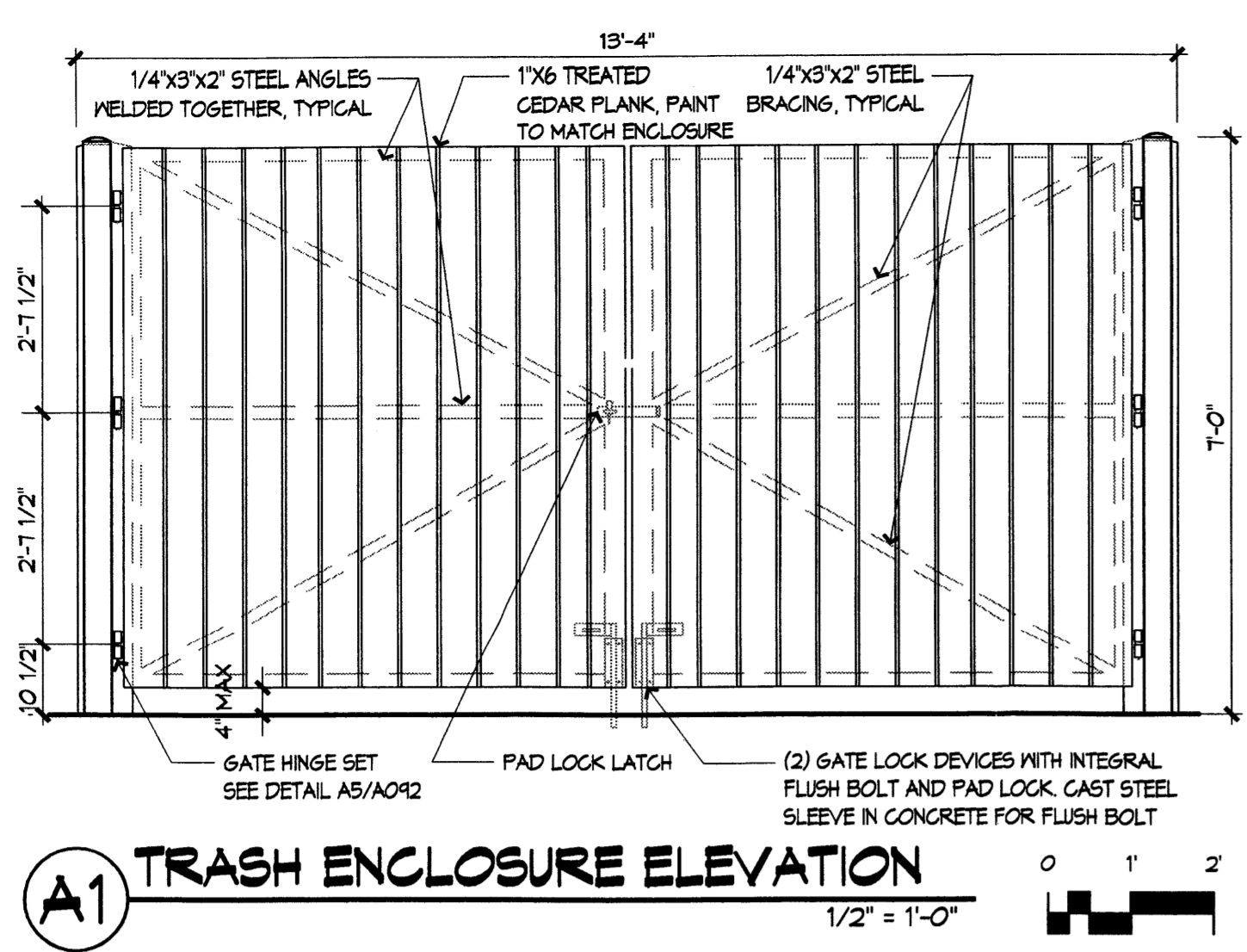
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual

CITY PLANNER, ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION DATE

AFD PLANS CHECKING OFFICE
824-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
1/24/03
SIGNATURE & DATE

NOTE:
SAAB SIGNAGE TO BE CONSTRUCTED PER SAAB STANDARDS.



- KEYED NOTES**
1. ASPHALTIC PAVING
 2. 8' CANI REFUSE ENCLOSURE GOA SOLID WASTE DEPT. STANDARDS. RE. ELEVATION ON THIS SHEET.
 3. LANDSCAPING PER LANDSCAPE DRAWINGS
 4. ELECTRICAL TRANSFORMER
 5. VEHICLE DISPLAY - N.I.C.
 6. INTEGRAL, COLORED CONCRETE PAVING
 7. NEW VEHICLE PARKING
 8. CANOPY OVERHANG
 9. LANDSCAPED STORM WATER DETENTION AREA.
 10. CONCRETE CURB AND GUTTER.
 11. STEEL BOLLARD
 12. EXISTING CURB TO BE REMOVED
 13. MONUMENT SIGN, RE. ELEVATIONS THIS SHEET.
 14. DIRECTIONAL ARROWS
 15. LIGHT POLE TYP. RE. ELEVATION THIS SHEET.
 16. ACCESSIBILITY RAMP
 17. ACCESSIBILITY SIGN
 18. BIKE RACK, 2 SPACES.
 19. EXISTING SIDEWALK
 20. EXISTING FIRE HYDRANT
 21. NEW FIRE HYDRANT.
 22. CONCRETE CURB
 23. EXISTING 4' HALF HEIGHT STUCCO WALL TO BUILDING ENTRANCE.
 24. NEW SIDEWALK FROM EXISTING SIDEWALK
 25. CONCRETE PAVING AND APPROACH APRON.
 26. CONCRETE APRON

PROJECT DATA

ADDRESS:
5301 ALAMEDA BLVD. NE

LEGAL DESCRIPTION:
LOT 30-A, BLOCK 11
TRACT A, UNIT B - NORTH ALBUQUERQUE ACRES
PROJECTED SECTION 13, T 11 N,
R 3 E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

ZONING: SU2 FOR M-1

TOTAL ACREAGE: 12,944 S.F. = 1.675 ACRES

TOTAL BUILDING AREA: 12,746 G.S.F. FAR: .175

ACTUAL BUILDING AREA:
12,746 S.F. - 1087 S.F. (area of covered canopies) = 11,659 S.F.

BUILDING USE: CAR DEALERSHIP INCLUDING ADMINISTRATIVE OFFICE SPACE AND AUTO SERVICE (NO WELDING)

PARKING:
REQUIRED:
1 SPACE FOR EA. 200 S.F. OF RETAIL OR SERVICE AREA
5,018/200 S.F. = 25 SPACES REQD.
1 SPACE FOR EA. 1000 S.F. OF MANF. OR WHOLESALE (SERVICE WING)
6,667/1000 S.F. = 7 SPACES REQD.
1 BICYCLE PARK SPACE/20 VEHICLES (2 MIN.)
MIN. OF (2) H.C. ACCESSIBLE PARKING SPACE W/ ACCESS AISLE
33 TOTAL PARKING SPACES REQUIRED
-3 SPACES FOR BUS PROXIMITY CREDIT (10%)
30 SPACES TOTAL REQUIRED

PARKING PROVIDED:
33 PARKING SPACES PROVIDED
2 H/C PARKING SPACES PROVIDED (W/ ACCESS AISLE)
3 BICYCLE PARKING SPACES PROVIDED

Site Development Plan for Building Permit

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE APPROVAL BY THE DESIGN REVIEW BOARD (DRB) ON JANUARY 21, 2003, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

Michael Holtes 1-24-03
SOLID WASTE, ALBUQUERQUE will comply w/ O&A specs DATE

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

PARKS & RECREATION DEPARTMENT DATE

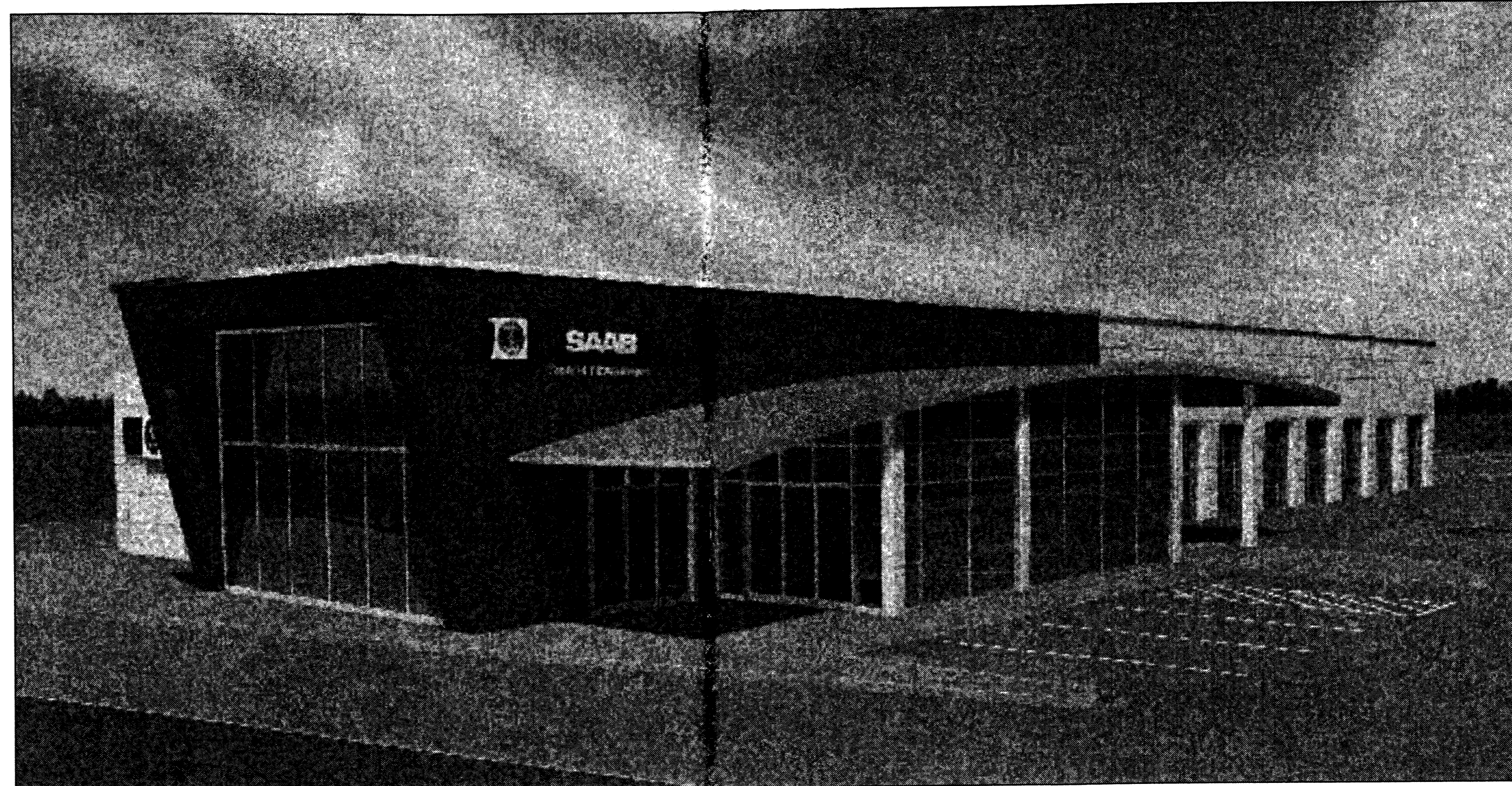
PUBLIC WORKS, WATER UTILITIES DIVISION DATE

CITY ENGINEER, ENGINEERING DIVISION / AMAFCA DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual

CITY PLANNER, ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION DATE

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
1/24/03
SIGNATURE & DATE



DRAWING INDEX

1. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
2. GRADING, DRAINAGE, AND UTILITY PLAN
3. LANDSCAPE PLAN
4. BUILDING ELEVATIONS

Saab Albuquerque

5301 Alameda Boulevard
Albuquerque, New Mexico

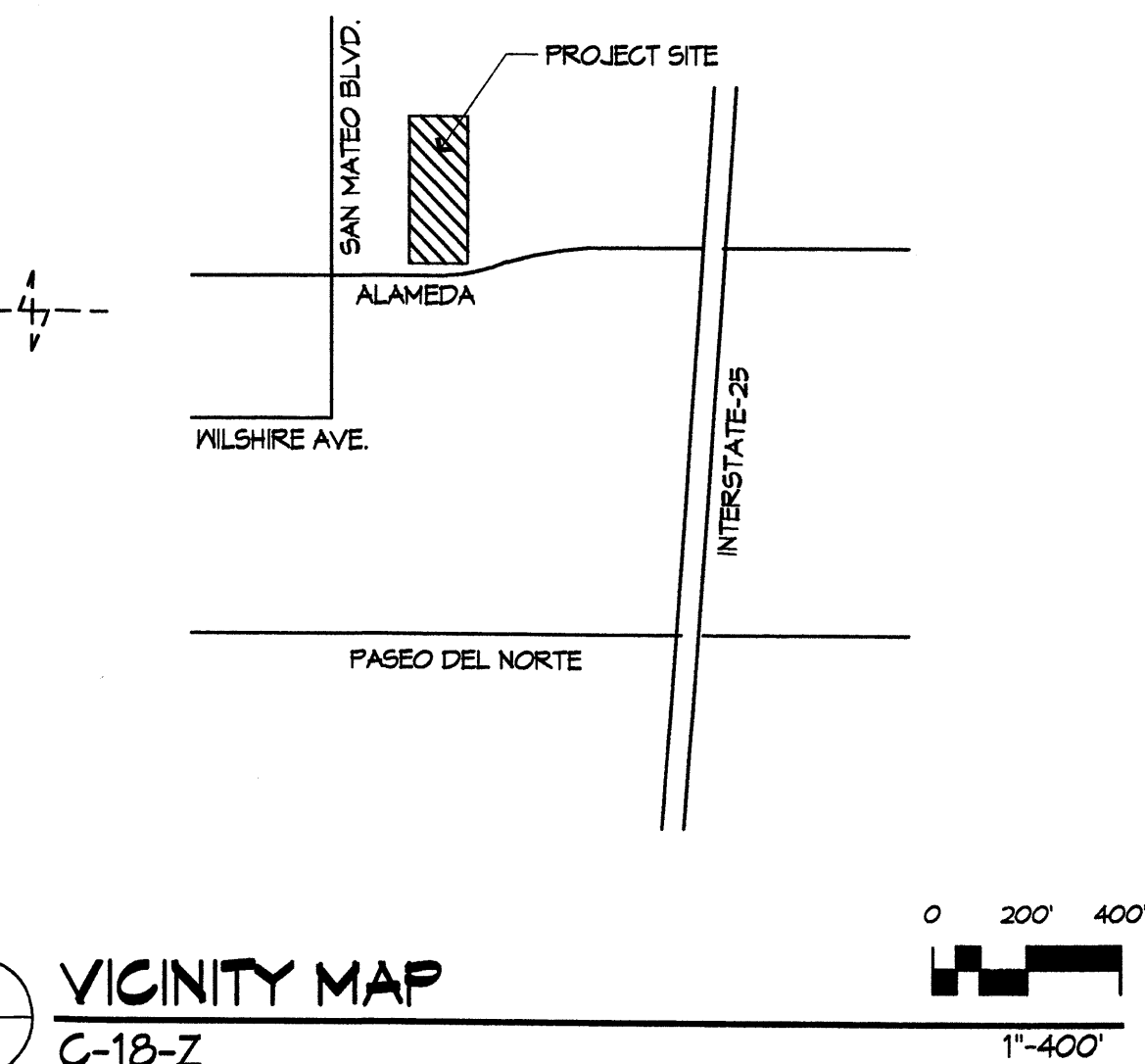
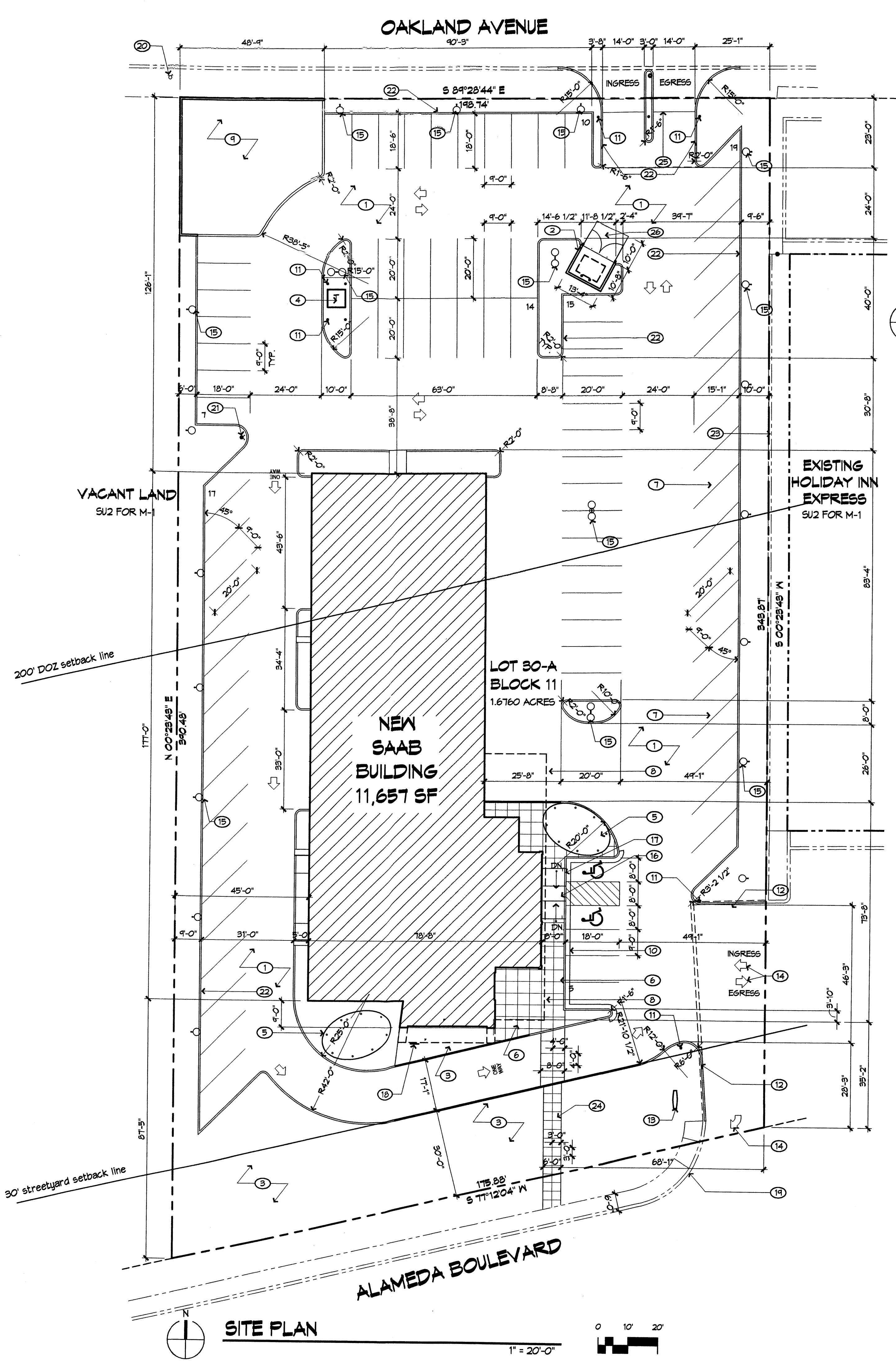
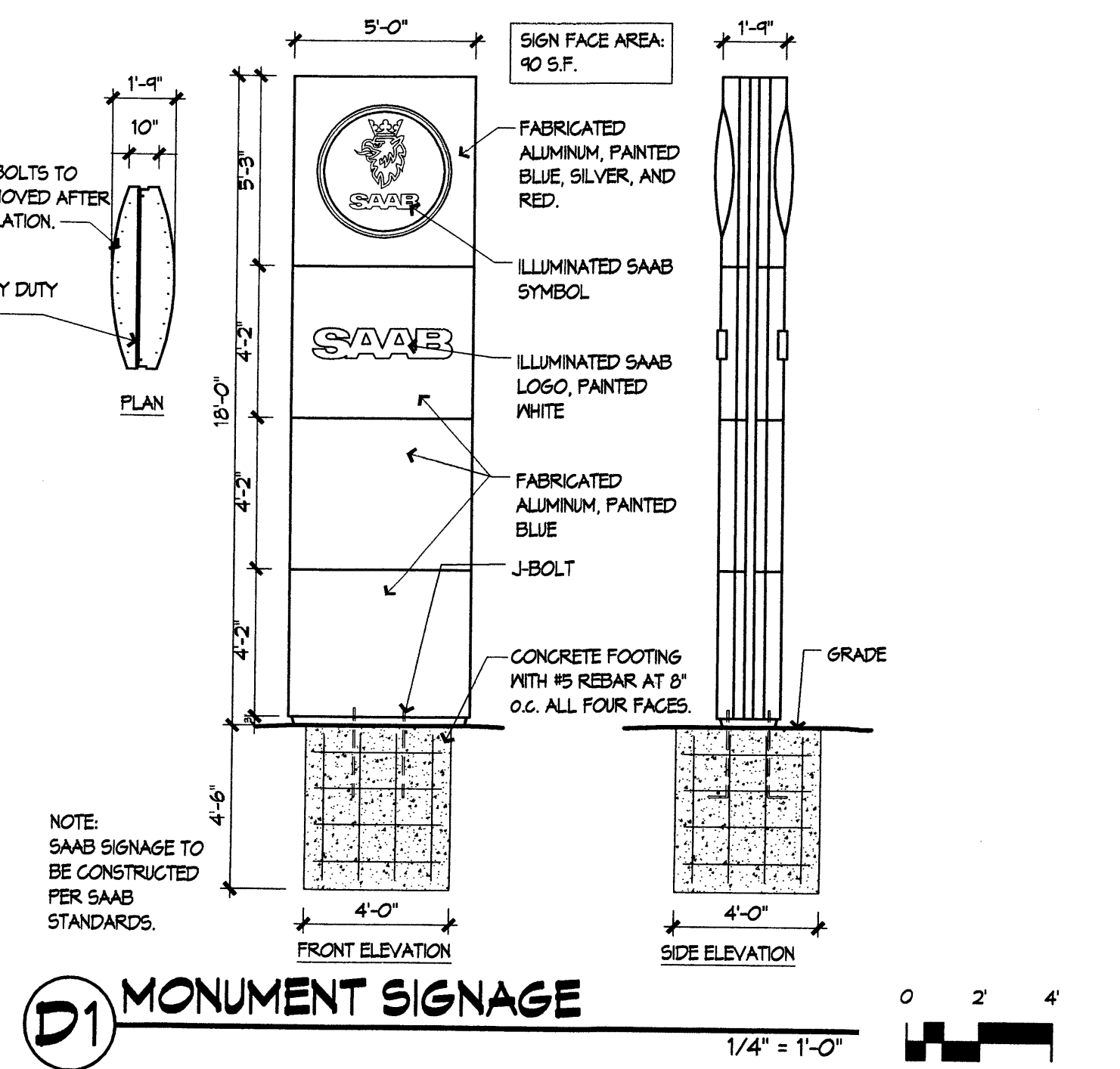
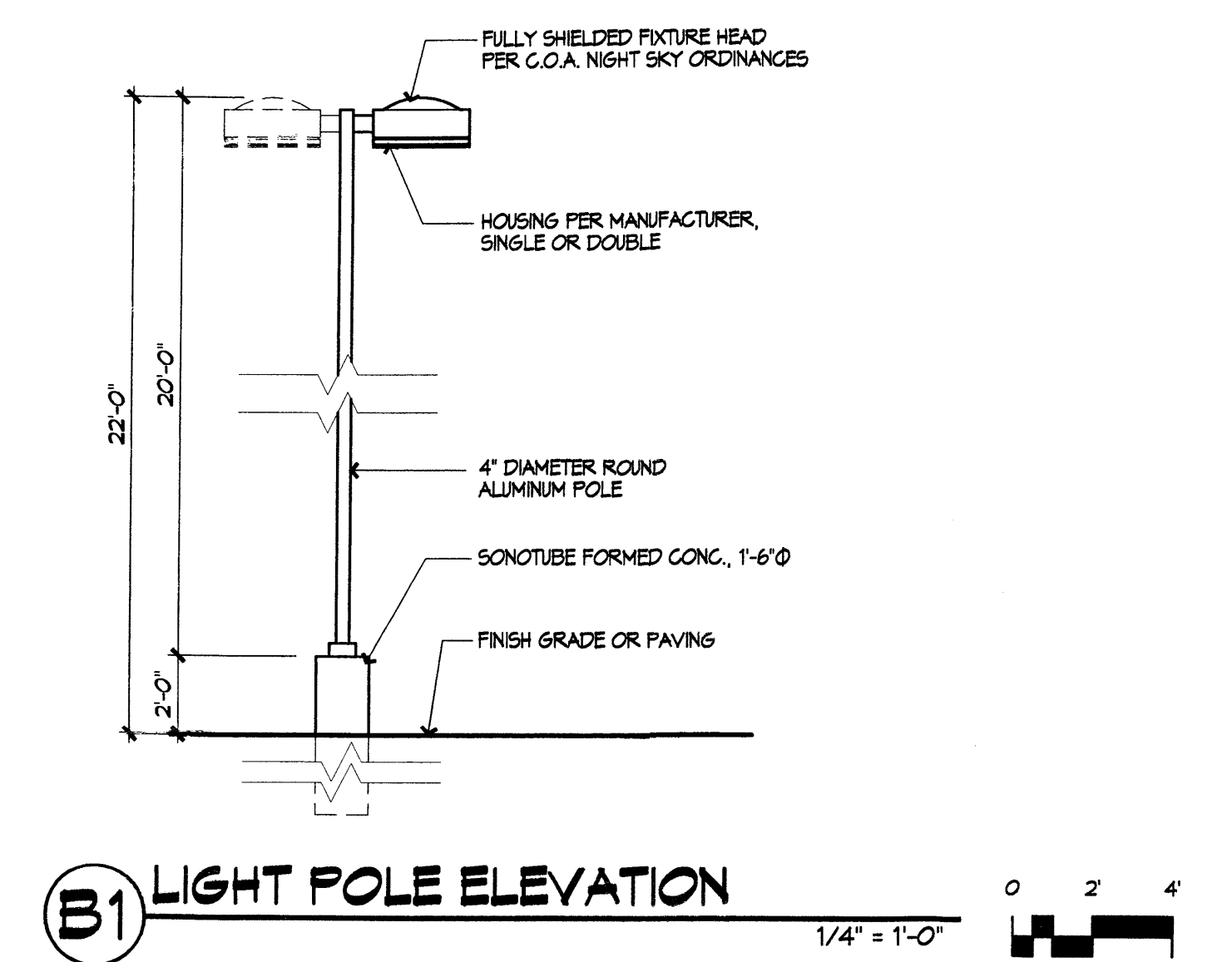
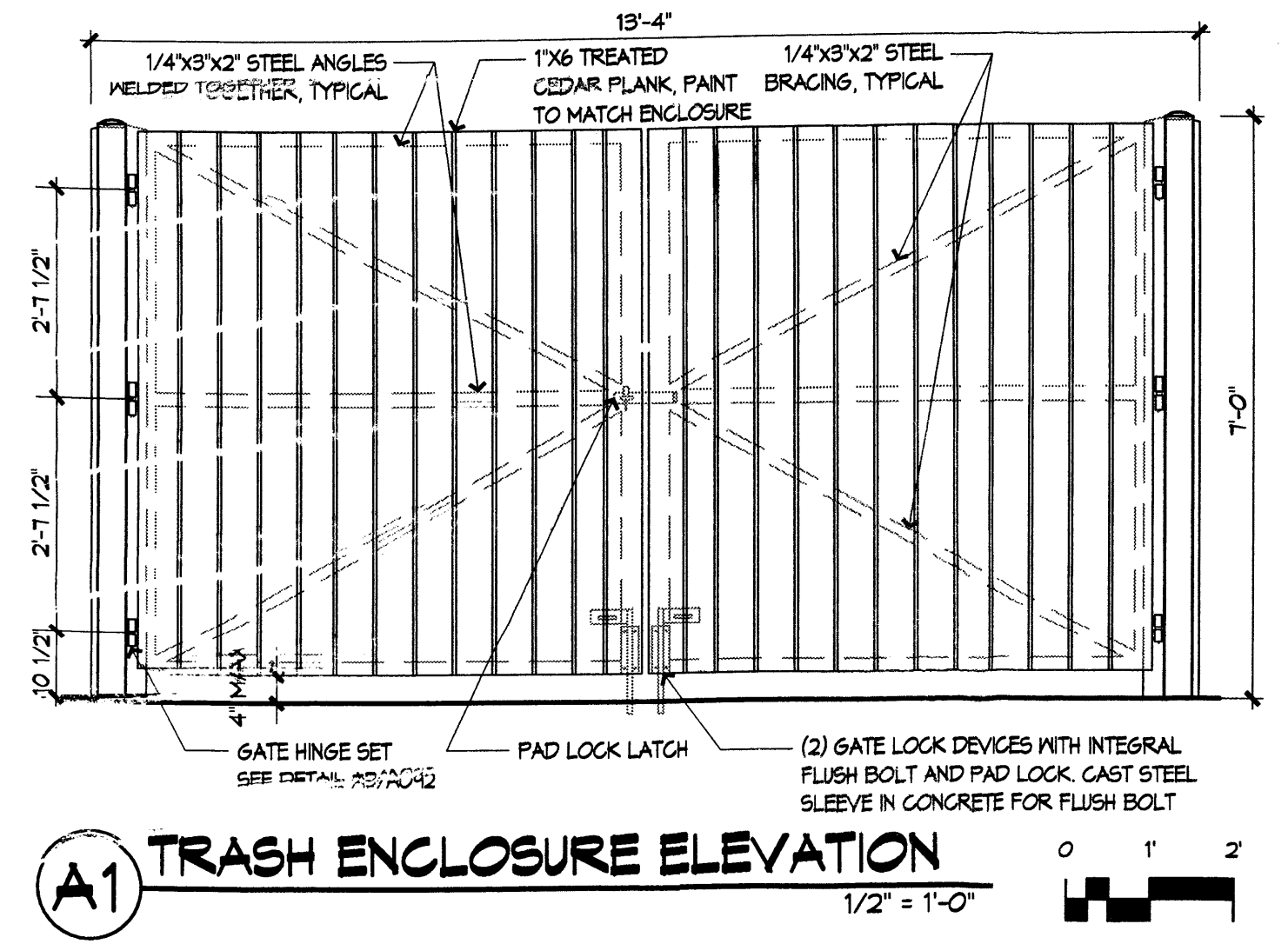
JANUARY 21, 2003
DRB
SUBMITTAL

ARCHITECTURAL/LANDSCAPING

DEKKER/PERICH/SABATINI, LTD.
6801 JEFFERSON ST. NE, SUITE 100
ALBUQUERQUE, NM 87109
(505) 761-9700
FAX: (505)-761-4222

CIVIL ENGINEERING

BOHANNAN - HUSTON, INC.
7500 JEFFERSON ST. NE
ALBUQUERQUE, NM 87109
(505) 823-1000
FAX: (505) 821-0892



- KEYED NOTES**
1. ASPHALTIC PAVING
 2. 8' CMU REFUSE ENCLOSURE COA SOLID WASTE DEPT. STANDARDS. RE. ELEVATION ON THIS SHEET.
 3. LANDSCAPING PER LANDSCAPE DRAWINGS
 4. ELECTRICAL TRANSFORMER
 5. VEHICLE DISPLAY - N.I.G.
 6. INTEGRAL, COLORED CONCRETE PAVING
 7. NEW VEHICLE PARKING
 8. CANOPY OVERHANG
 9. LANDSCAPED STORM WATER DETENTION AREA.
 10. CONCRETE CURB AND GUTTER.
 11. STEEL BOLLARD
 12. EXISTING CURB TO BE REMOVED
 13. MONUMENT SIGN, RE. ELEVATIONS THIS SHEET.
 14. DIRECTIONAL ARROWS
 15. LIGHT POLE TYP. RE. ELEVATION THIS SHEET.
 16. ACCESSIBILITY RAMP
 17. ACCESSIBILITY SIGN
 18. BIKE RACK, 2 SPACES.
 19. EXISTING SIDEWALK
 20. EXISTING FIRE HYDRANT
 21. NEW FIRE HYDRANT.
 22. CONCRETE CURB
 23. EXISTING 4' HALF HEIGHT STUCCO WALL
 24. NEW SIDEWALK FROM EXISTING SIDEWALK TO BUILDING ENTRANCE.
 25. CONCRETE PAVING AND APPROACH APRON.
 26. CONCRETE APRON

- PROJECT DATA**
- ADDRESS: 5301 ALAMEDA BLVD. NE
 LEGAL DESCRIPTION: LOT 30-A, BLOCK 11 TRACT A, UNIT B - NORTH ALBUQUERQUE ACRES PROJECTED SECTION 13, T 11 N, R 3 E, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM
 ZONING: SU2 FOR M-1
 TOTAL ACREAGE: 12,944 S.F. = 1.675 ACRES
 TOTAL BUILDING AREA: 12,746 G.S.F. FAR: .175
 ACTUAL BUILDING AREA: 12,746 S.F. - 1087 S.F. (Area of covered canopies) = 11,659 S.F.
 BUILDING USE: CAR DEALERSHIP INCLUDING ADMINISTRATIVE OFFICE SPACE AND AUTO SERVICE (NO WELDING)
 PARKING: REQUIRED 1 SPACE FOR EA. 200 S.F. OF RETAIL OR SERVICE AREA 5,018/200 S.F. = 25 SPACES REQ'D. 1 SPACE FOR EA. 1000 S.F. OF MANF. OR WHOLESAL (SERVICE MING) 6,861/1000 S.F. = 7 SPACES REQ'D. 1 BICYCLE PARK SPACE/20 VEHICLES; (2 MIN.) MIN. OF (2) H.C. ACCESSIBLE PARKING SPACE IV ACCESS AISLE 33 TOTAL PARKING SPACES REQUIRED -3 SPACES FOR BUS PROXIMITY CREDIT (10%) 30 SPACES TOTAL REQUIRED
 PARKING PROVIDED: 25 PARKING SPACES PROVIDED 2 H/C PARKING SPACES PROVIDED (IV ACCESS AISLE) 2 BICYCLE PARKING SPACES PROVIDED

Site Development Plan for Building Permit

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE APPROVAL BY THE DESIGN REVIEW BOARD (DRB) ON JANUARY 21, 2008, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

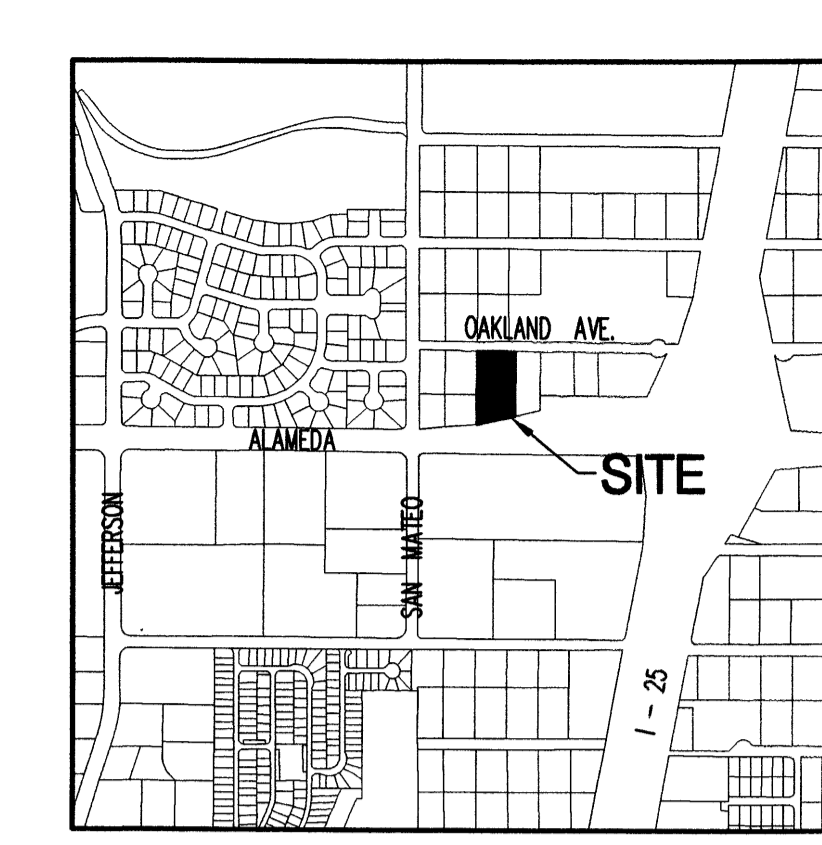
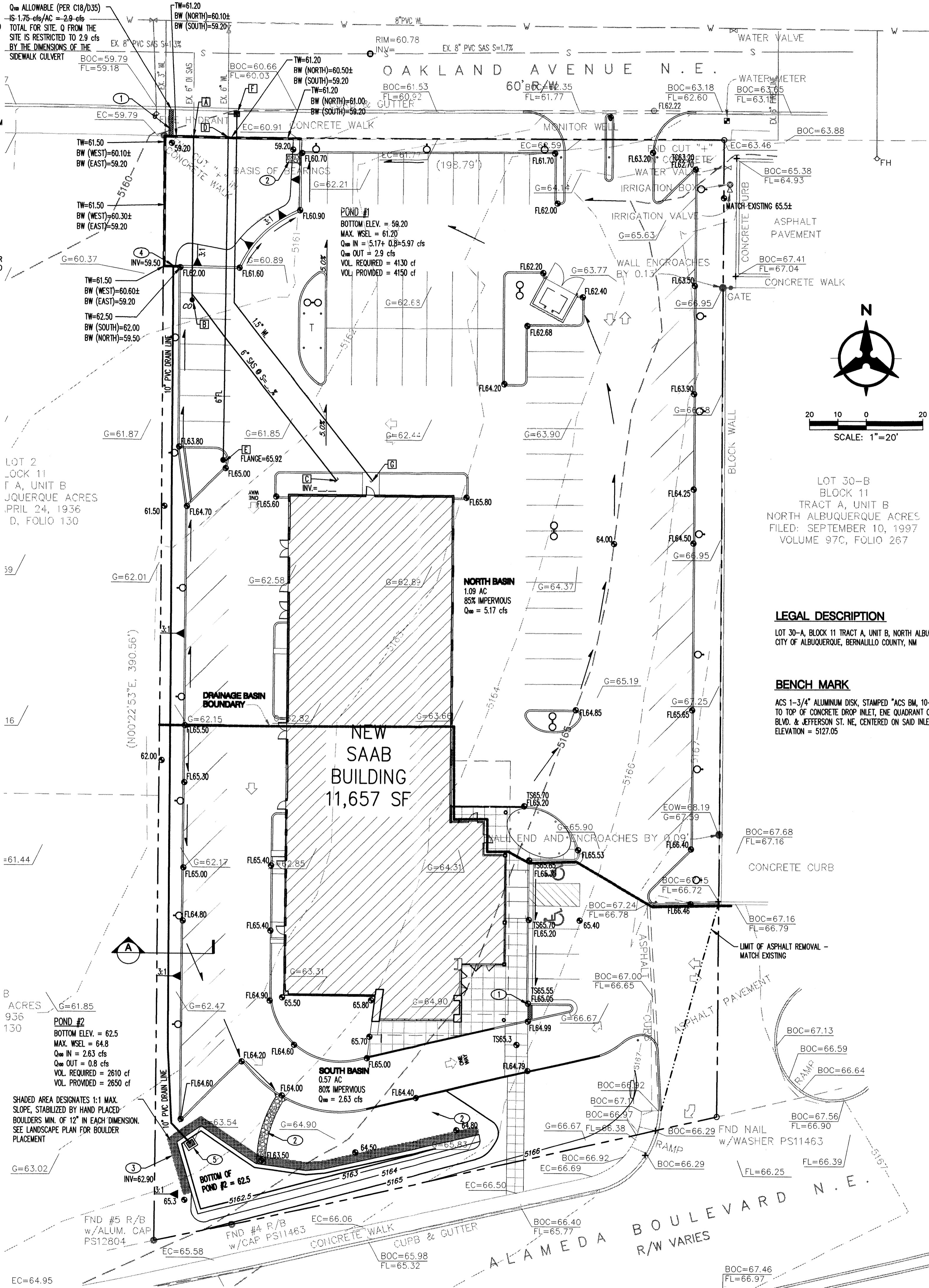
| | |
|---|------|
| SOLID WASTE, ALBUQUERQUE | DATE |
| TRAFFIC ENGINEER, TRANSPORTATION DIVISION | DATE |
| PARKS & RECREATION DEPARTMENT | DATE |
| PUBLIC WORKS, WATER UTILITIES DIVISION | DATE |
| CITY ENGINEER, ENGINEERING DIVISION / AMAFCA | DATE |
| APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual | DATE |
| CITY PLANNER, ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION | DATE |

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION COST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO-TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL PREPARE A SHIPP FOR THE PROJECT AND SHALL TAKE ALL MEASURES NECESSARY TO COMPLY WITH EPA REQUIREMENTS.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.

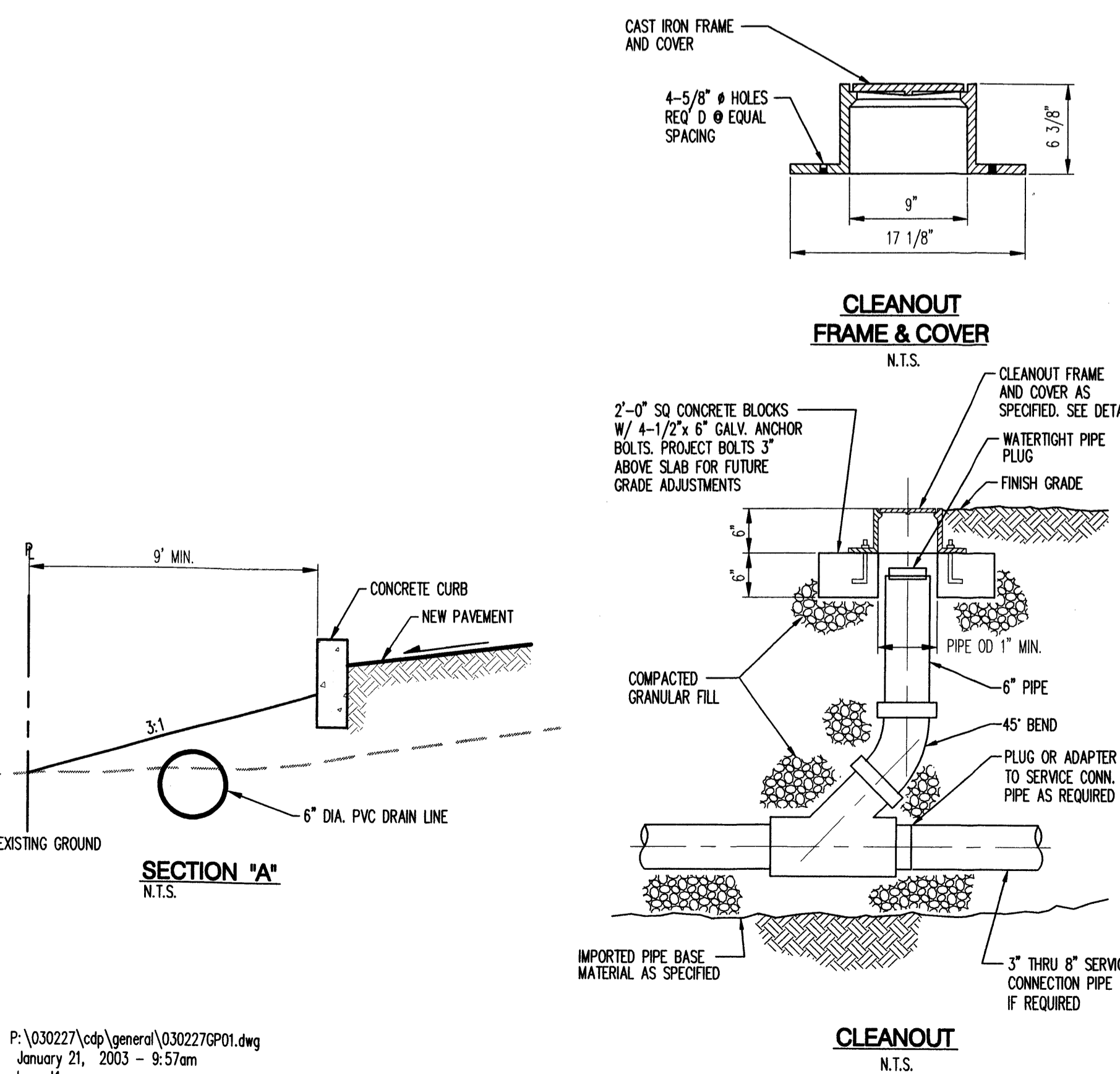
UTILITY NOTES

- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PANS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
- UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
- ROUGH GRADING OF SITE (10:5) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
- CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
- ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2335.
- FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS INCLUDING UTILITY EXPANSION CHANGES. OWNER SHALL BE RESPONSIBLE FOR PRORATA AND OTHER SPECIAL ASSESSMENTS.
- CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING UTILITY LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.



LEGEND

| | |
|---------|--|
| --- | PROPERTY LINE |
| -5160- | EXISTING CONTOUR |
| G=62.68 | EXISTING SPOT ELEVATION |
| --- | EXISTING CURB |
| SAS | EXISTING SANITARY SEWER |
| SASMH | EXISTING SANITARY SEWER MH |
| W | EXISTING WATERLINE |
| V | EXISTING VALVE |
| FH | EXISTING FIRE HYDRANT |
| WM | EXISTING WATER METER |
| IV | EXISTING IRRIGATION VALVE |
| IB | EXISTING IRRIGATION BOX |
| MWL | EXISTING MONITORING WELL |
| --- | LIMIT OF PAVEMENT REMOVAL |
| -5165- | PROPOSED CONTOUR |
| FL65.60 | PROPOSED SPOT ELEVATION TS=TOP OF SIDEWALK FL=FLOWLINE |
| → | PROPOSED FLOW ARROW |
| SAS | PROPOSED SANITARY SEWER |
| --- | PROPOSED CLEANOUT |
| WL | PROPOSED WATERLINE |
| ● | PROPOSED FIRE HYDRANT |
| --- | PROPOSED VALVE |
| --- | PROPOSED STORM DRAIN |
| --- | PROPOSED RETAINING WALL |



- GRADING KEYED NOTES**
- 10" WIDE SIDEWALK CULVERT AS PER COA STD. DWG. 2236
 - COBBLE LINED RUNDOWN
 - DAYLIGHT STORM DRAIN W/ HEADWALL PER DETAIL
 - DAYLIGHT STORM DRAIN THROUGH RETAINING WALL
 - INSTALL TYPE 'D' INLET PER COA STD. DWG. 2206.
- UTILITY KEYED NOTES**
- TIE TO EXISTING 6" SAS STUB. INV.=56.28', VERIFY PRIOR TO CONSTRUCTING
 - INSTALL CLEANOUT PER DETAIL THIS SHEET
 - STUB 6" SAS TO WITHIN 5' OF BUILDING, SEE PLUMBING FOR CONTINUATION
 - TIE TO EXISTING 6" WATERLINE. COORDINATE WITH CITY WATER UTILITY DIVISION FOR OPERATION OF CITY VALVE.
 - INSTALL FIRE HYDRANT, 4" BURY PER COA STD. DWG. 2340
 - CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF 1.5" WATER SERVICE PER COA STD. DWG. 2363
 - STUB 1.5" WATERLINE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLAN FOR CONTINUATION

architecture
interiors
planning
engineering

**Dekker
Perich
Sabatini**

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

ARCHITECT

ENGINEER

PROJECT

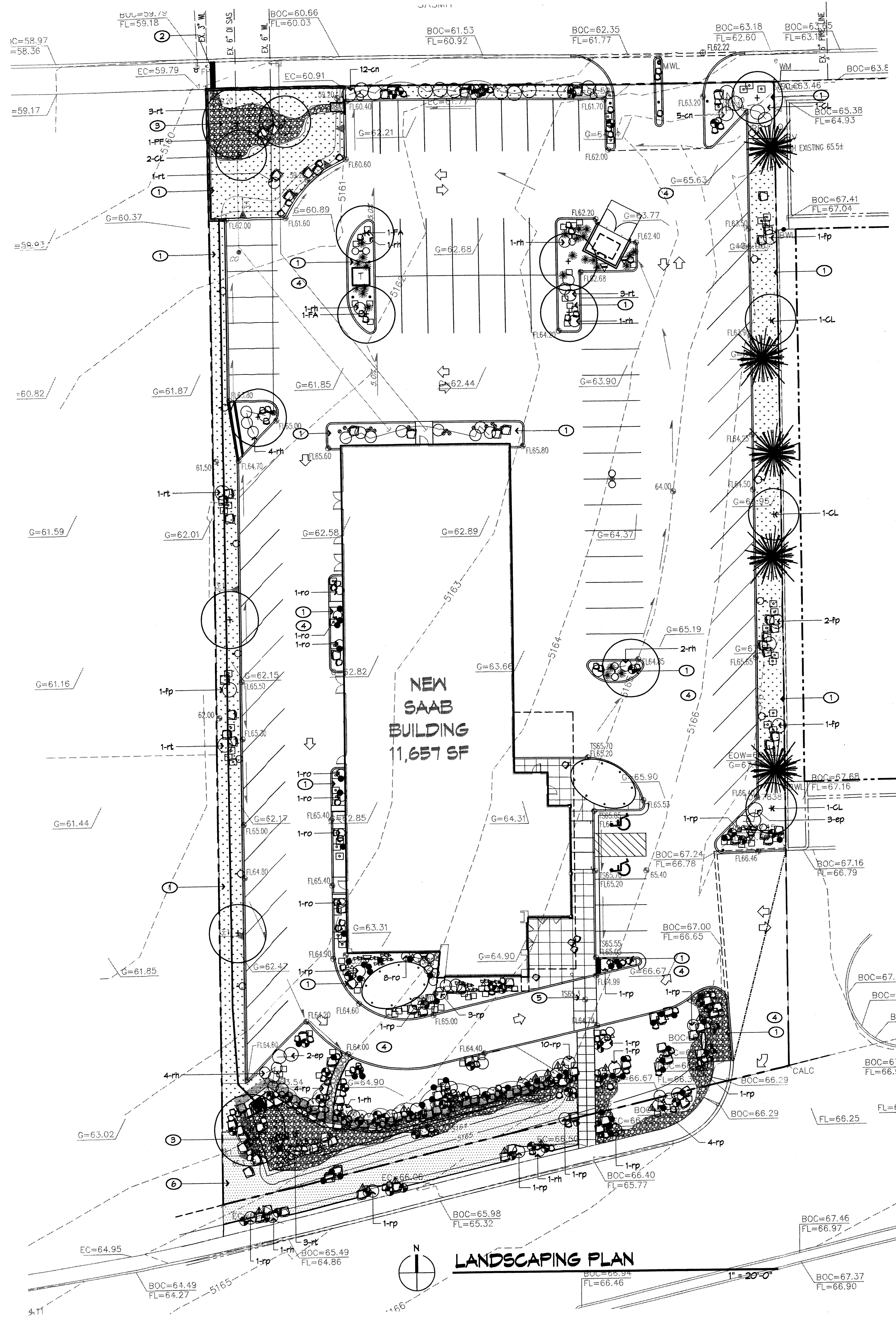
Saab Albuquerque
Europa International, Inc.
5031 Alameda Boulevard
Albuquerque, NM

REVISIONS

| | |
|---|--|
| △ | |
| △ | |
| △ | |
| △ | |

DRAWN BY: RWB
REVIEWED BY: BJS
DATE: 01/08/03
PROJECT NO.: 02105
DRAWING NAME: CONCEPTUAL GRADING, DRAINAGE, & UTILITY PLAN
SHEET NO.: C100

Bohannon & Huston
Court yard 1 7500 Jefferson St NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



PLANT SCHEDULE/LEGEND

| Symbol | Approx. Qty. | Abbrev. | Botanical Name/ Common Name | Size | Cond. | Mature Size Height/Width | Water Use | Remarks/ Spacing |
|--------------------|--------------|---------|--|---|-------|-----------------------------|-----------|---------------------|
| Trees | | | | | | | | |
| CL | 4 | CL | Chilopsis linearis / Desert Willow | 24" | box | 20' 25' | L | multi-trunk |
| FA | 5 | FA | Fraxinus angustifolia 'Raywood' / Raywood Ash | 2.5' cal. bbb | bb | 35' 30' | M | |
| PE | 5 | PE | Pinus edulis / Pinon Pine | 8' hgt. | bbb | 20' 15' | L | |
| PF | 2 | PF | Populus fremontii 'Nalizeni' / Rio Grande Cottonwood | 9' cal. | bbb | 50' 60' | H | |
| Shrubs | | | | | | | | |
| cn | | cn | Chrysothamnus nauseosus / Chamisa | 1 gal. | cont. | 5' 5' | L | |
| ep | | ep | Eleagnus pungens / Silverberry | 1 gal. | cont. | 5' 5' | M | no variegation |
| fp | | fp | Fallugia paradoxa / Apache Plume | 1 gal. | cont. | 5' 5' | L | |
| rh | | rh | Rhus trilobata 'Prostrata' / Prostrate Three Leaf Sumac | 1 gal. | cont. | 2' 4' | M | |
| rt | | rt | Rhus trilobata / Three Leaf sumac | 1 gal. | cont. | 4' 4' | M | |
| rp | | rp | Rosmarinus o. prostratus sp. / Prostrate Rosemary | 5 gal. | cont. | 2' 4' | M | |
| ro | | ro | Rosmarinus o. / Upright Rosemary | 5 gal. | cont. | 3' 3' | M | |
| Grasses | | | | | | | | |
| arp | | arp | Aristida purpurea / Purple Three Awn | 1 gal. | cont. | 24" 24" | L | |
| fes | | fes | Festuca idahoensis 'Siskiyou' / Blue Fescue | 1 gal. | cont. | 18" 15" | M | |
| nom | | nom | Nolina microcarpa / Beargrass | 1 gal. | cont. | 24" 36" | L | |
| son | | son | Sorghastrum nutans / Indiangrass | 1 gal. | cont. | 48" 18" | L | |
| stt | | stt | Stipa tenuilima / Threadgrass | 1 gal. | cont. | 18" 12" | L | |
| Succulents | | | | | | | | |
| hep | | hep | Hesperaloe parviflora / Red Yucca | 1 gal. | cont. | 36" 36" | M | |
| opm | | opm | Opuntia macrocentra / Purple Prickly Pear | 1 gal. | cont. | 30" 30" | L | |
| Perennials | | | | | | | | |
| arf | | arf | Artemisia frigida / Fringed Sage | 1 gal. | cont. | 12" 18" | M | |
| arl | | arl | Artemisia ludoviciana 'Silver King' / Silver King Prairie Sage | 1 gal. | cont. | 30" 30" | M | |
| lla | | lla | Linum lewisii 'Appar' / Appar Blue Flax | 1 gal. | cont. | 15" 24" | M | |
| pep | | pep | Penstemon pseudospectabilis / Desert Beard Tongue | 1 gal. | cont. | 36" 18" | L | |
| pes | | pes | Penstemon strictus / Rocky Mountain Penstemon | 1 gal. | cont. | 24" 36" | L | |
| Sod | | | | | | | | |
| 2150 SF | | | Buffalo Grass | Sod or plug installation. Plugs to be a minimum of 12' o.c. | | | | |
| Native Seed | | | | | | | | |
| 5570 SF | | | Native Grass Seed Blend w/ Wildflower Mix | Grass Seed Mix: City of Albuquerque (COA) East Side Blend - w/out Atriplex sp. Seeding rate to match COA std. Wildflower Mix: Plants of the Southwest High Desert Mix at 2.5 oz. per 1000 SF. | | | | |
| Stone | | | | | | | | |
| 1515 SF | | | Cobblestone | | | | | |
| | | | Boulder | | | | | |

GENERAL NOTES

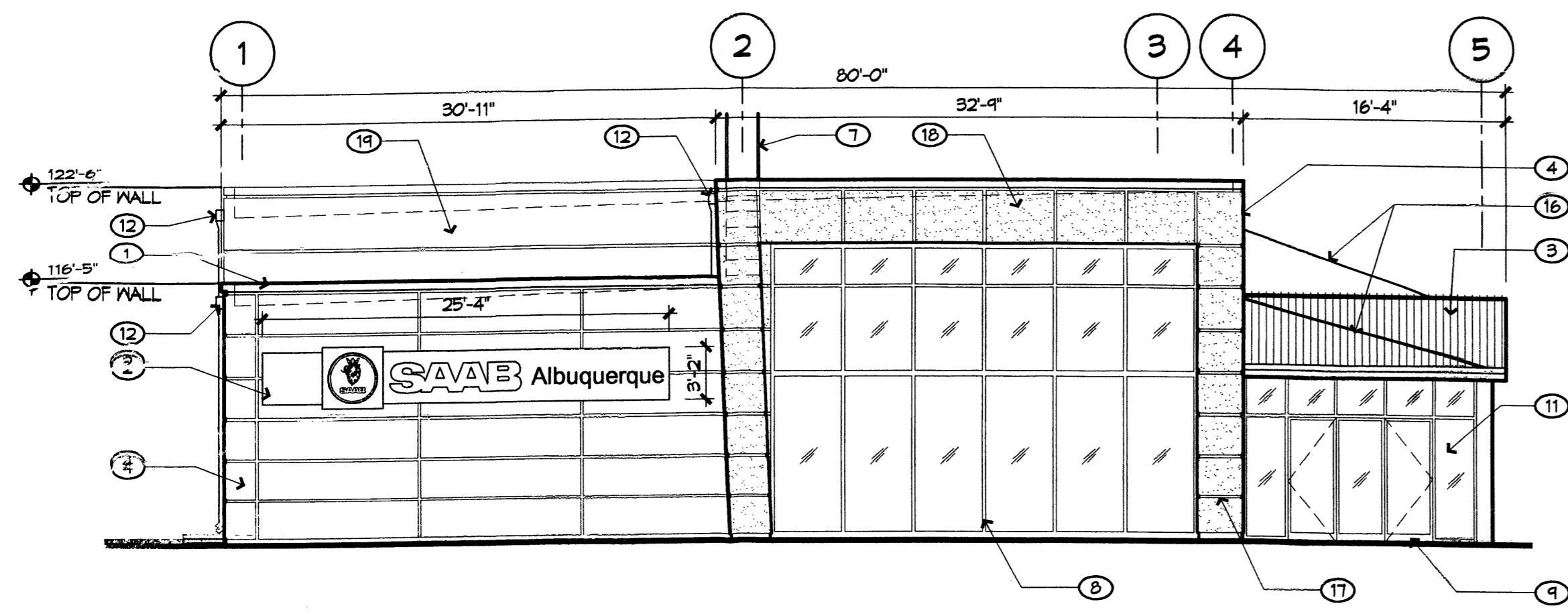
- PLANTING AND IRRIGATION SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE ALAMEDA BOULEVARD DESIGN OVERLAY ZONE.
- THERE ARE NO EXISTING TREES OR SHRUBS OF SIGNIFICANT SPECIES OR SIZE ON THE SITE. ALL PLANT MATERIAL ILLUSTRATED ON THE LANDSCAPE PLAN IS PROPOSED.
- TURF: THERE IS NO HIGH WATER USE TURF INCLUDED IN THE LANDSCAPE PLAN.
- MAINTENANCE OF PLANTING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL PLANTING AREAS, EXCEPT FOR TURF AND NATIVE SEED AREAS, SHALL BE COVERED WITH SANTA ANA TAN GRAVEL MULCH, UNLESS OTHERWISE NOTED ON THE PLANS.
- IT IS THE INTENT OF THE OWNER TO MINIMIZE THE USE OF IRRIGATION BY USING NATIVE PLANTS IN NATIVE DENSITIES. THE IRRIGATION SYSTEM IS TO BE COMPRISED OF A COMBINATION OF DRIP, SPRAY AND WATER HARVESTING ZONES. DRIP EMITTERS LOCATED IN THE STREET YARD, LOW WATER USE TURF AND NATIVE SEEDING AREAS WILL BE IRRIGATED WITH SPRAY EMITTERS, APPROPRIATELY DESIGNED TO AVOID OVERSPRAY ONTO IMPERMEABLE SURFACES. MEDIANS AND OTHER PLANTING AREAS WILL BE DESIGNED TO RECEIVE SURFACE RUNOFF WHEREVER POSSIBLE.

- THE RUN TIMES FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 30 MINUTES FOR DRIP ZONES AND 15 MINUTES FOR SPRAY ZONES. RUN TIMES SHALL BE ADJUSTED ACCORDING TO SEASON. THE POINT OF CONNECTION FOR THE IRRIGATION SYSTEM SHALL BE COORDINATED WITH THE OVERALL WATER SERVICE TO THE PROPERTY.
- SEEDING: SEEDING RATES ARE BASED ON DRILL SEED INSTALLATION. CONTRACTOR SHALL DOUBLE SEEDING RATES FOR BROADCAST INSTALLATION.
- LANDSCAPE CALCULATIONS:
TOTAL SITE AREA: 1.676 ACRES = 73,001 SF
BUILDING AREA: 11,657 SF
SITE AREA - TOTAL AREA - BUILDING AREA = 61,344 SF
REQUIRED LANDSCAPE AREA = 15% OF SITE AREA (15 X 61,344 SF) = 9,202 SF
PROVIDED LANDSCAPE AREA: 16,068 SF (26%)
ALLOWABLE HIGH WATER USE LANDSCAPING = 20% OF REQUIRED LANDSCAPE AREA = 2 X 9,202 SF = 18,405 SF
PROVIDED HIGH WATER USE LANDSCAPING AREA: 0 SF

KEYED NOTES

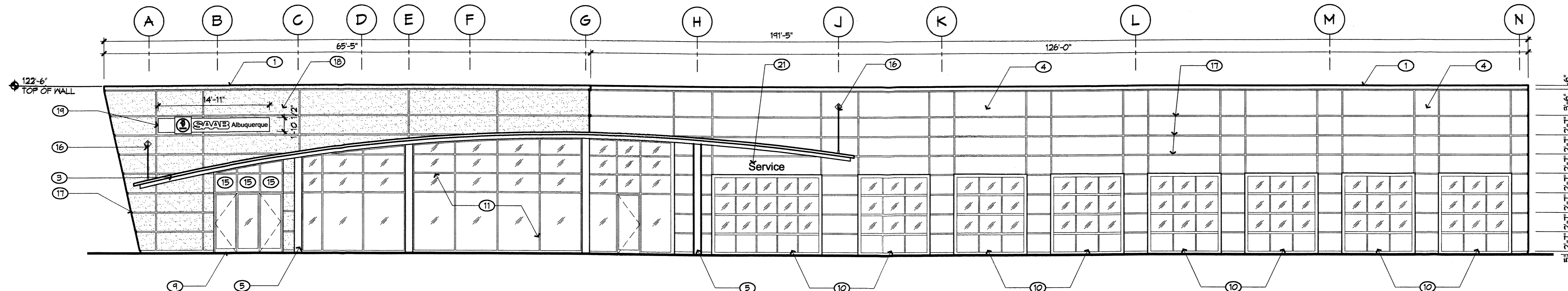
- PLANTING BED
- WATER OUTLET VIA SIDEWALK CULVERT
- DETENTION/PONDING AREA
- ASPHALT PAVING
- CONCRETE PAVING
- LOW WATER USE TURF AREA

LANDSCAPING PLAN



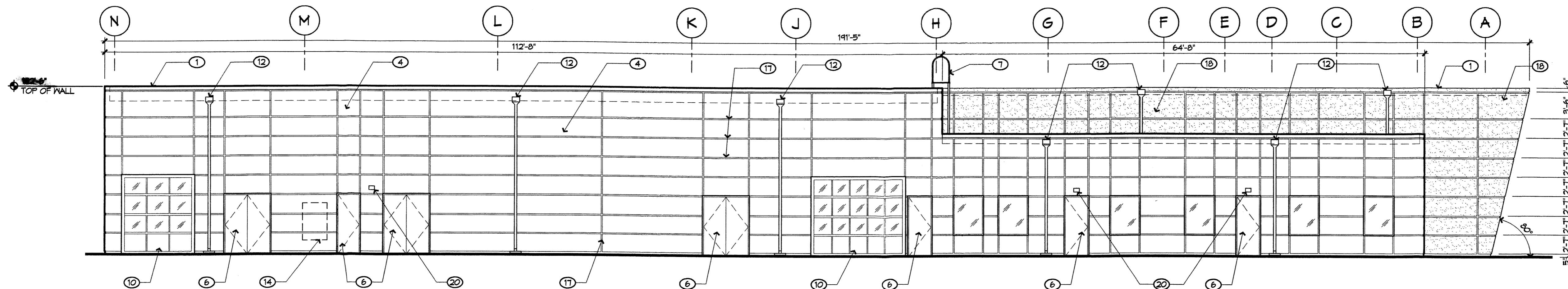
SOUTH ELEVATION

1/8" = 1'-0"



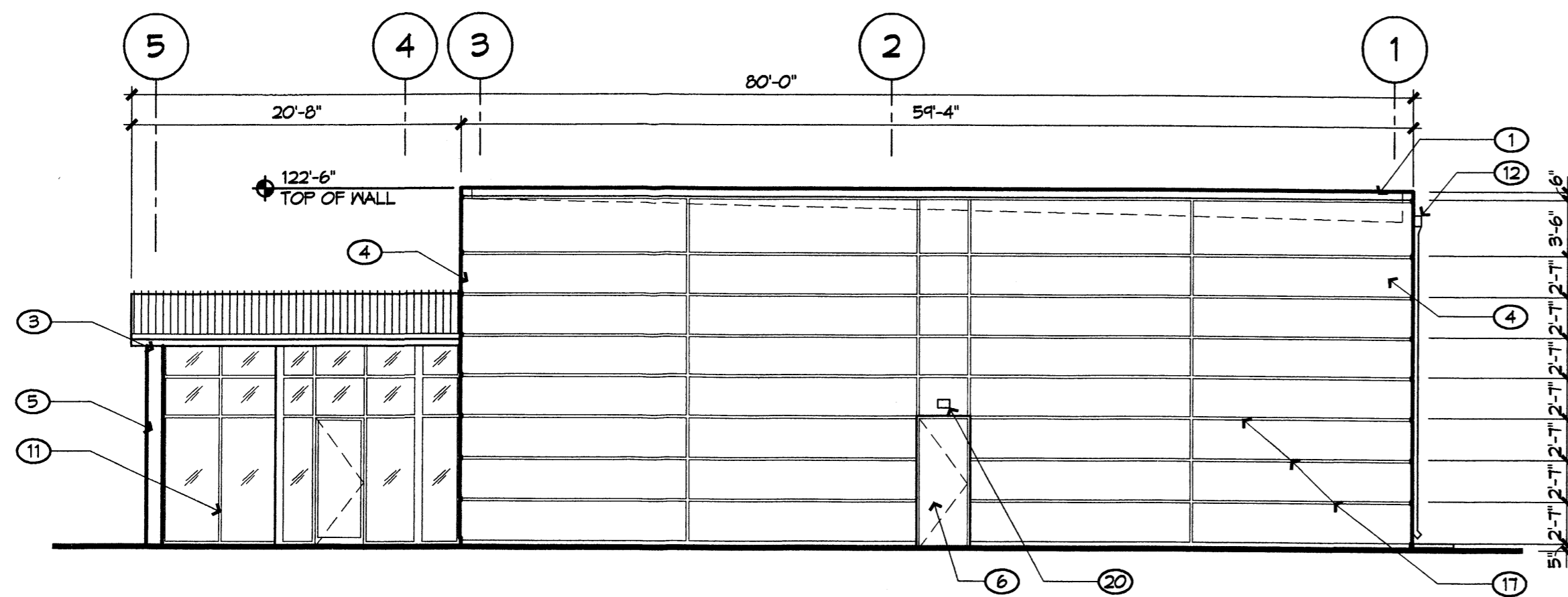
EAST ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"

KEYED NOTES

1. SILVER METALLIC ALUMINUM COPING, TYPICAL
2. SAAB ILLUMINATED BAND SIGN (B.O.), FABRICATED ALUMINUM LOGO PAINTED BLUE WITH WHITE LETTERING. SAAB SYMBOL PAINTED SILVER, BLUE, AND RED (80 SF OF TOTAL SURFACE AREA).
3. STANDING SEAM METAL ROOF, SILVER METALLIC
4. STUCCO SYSTEM, COLOR: WHITE
5. METAL COLUMN COVER, TYPICAL SILVER METALLIC
6. HOLLOW METAL DOORS, PAINTED TO MATCH STUCCO COLOR (WHITE).
7. PARAPET LADDER, PAINT COLOR WHITE.
8. GALLERY FRONT GLAZING, KAWNEER 1600 566 WALL SYSTEM, STERLING GRAY, SILVER ANODIZED ALUMINUM INTERMEDIATE HORIZONTAL AND VERTICAL INTERIOR AND EXTERIOR MULLION
9. CLEAR ANODIZED ALUMINUM AUTO SHOWROOM DOOR
10. OVERHEAD SERVICE DOOR WITH METALLIC SOLID BASE PANEL, TYPICAL
11. CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM
12. METAL COLLECTOR HEAD AND DOWNSPOUT, PAINT WHITE.
13. NOT USED.
14. UTILITY METERS
15. CLEAR ANODIZED ALUMINUM PANELS ABOVE ENTRY
16. STEEL HANGER RODS
17. STUCCO REVEAL, 2" WIDE TYP.
18. STUCCO SYSTEM, COLOR: DARK BLUE.
19. SAAB ILLUMINATED BAND SIGN (B.O.), FABRICATED ALUMINUM LOGO PAINTED BLUE WITH WHITE LETTERING. SAAB SYMBOL PAINTED SILVER, BLUE, AND RED (28 SF OF TOTAL SURFACE AREA).
20. BUILDING MOUNTED WALL PACK LIGHTING.
21. SERVICE SIGN BACK LIT REVERSE CHANNEL LETTERS (B.O.), BRUSHED ALUMINUM WITH WHITE NEON CENTERED BELOW 'SAAB' LETTERS (5 SF TOTAL SURFACE AREA).

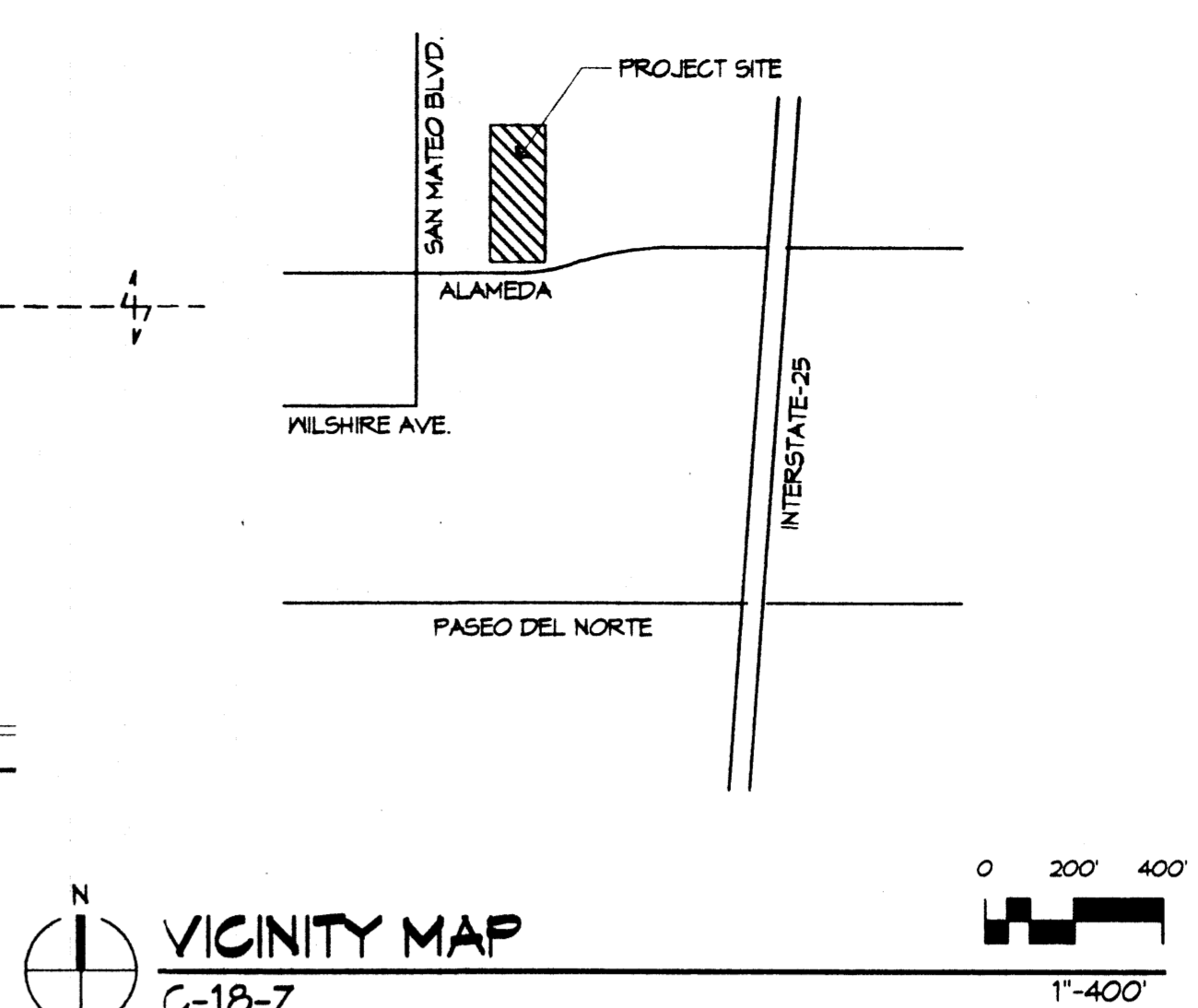
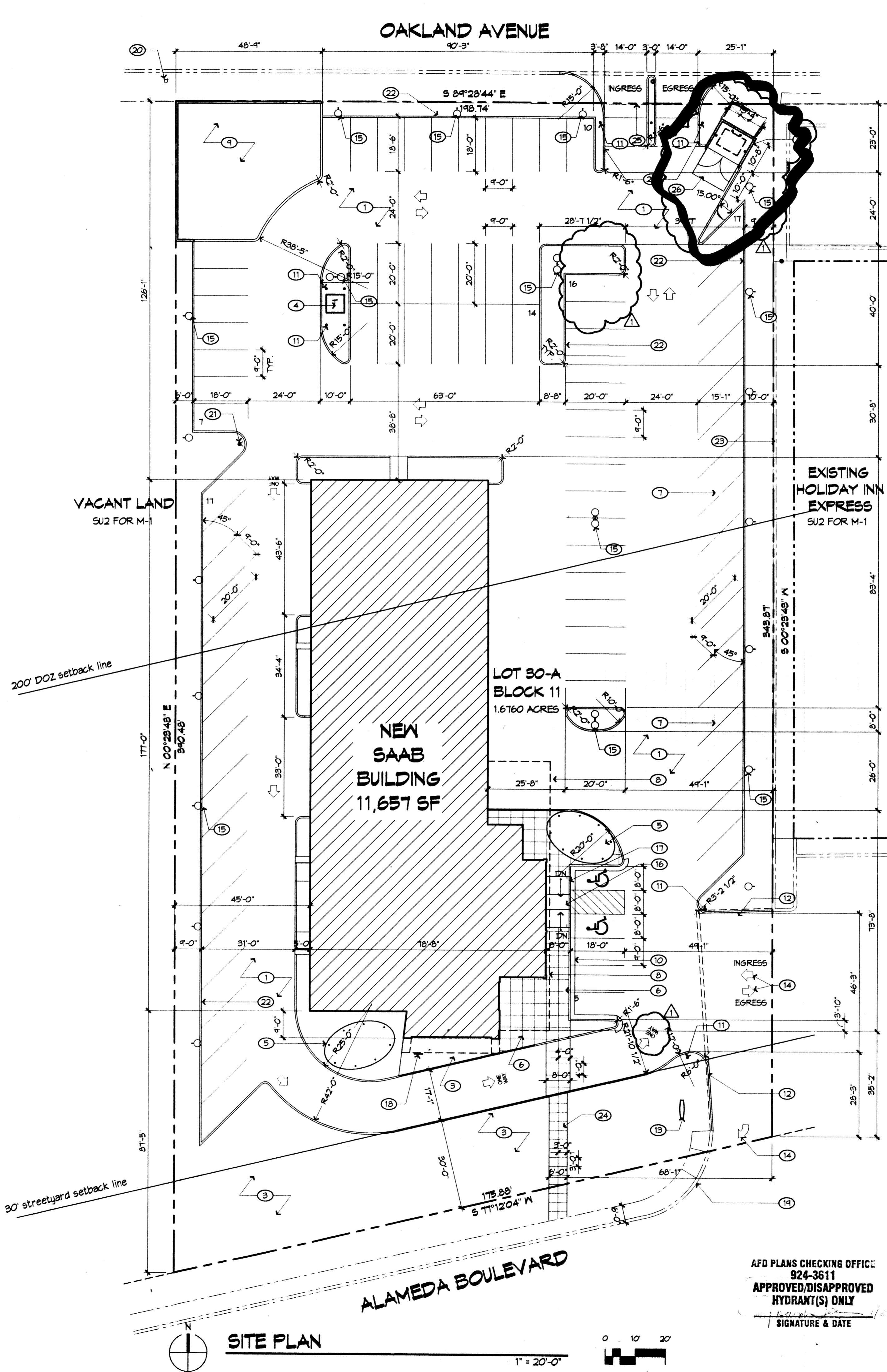
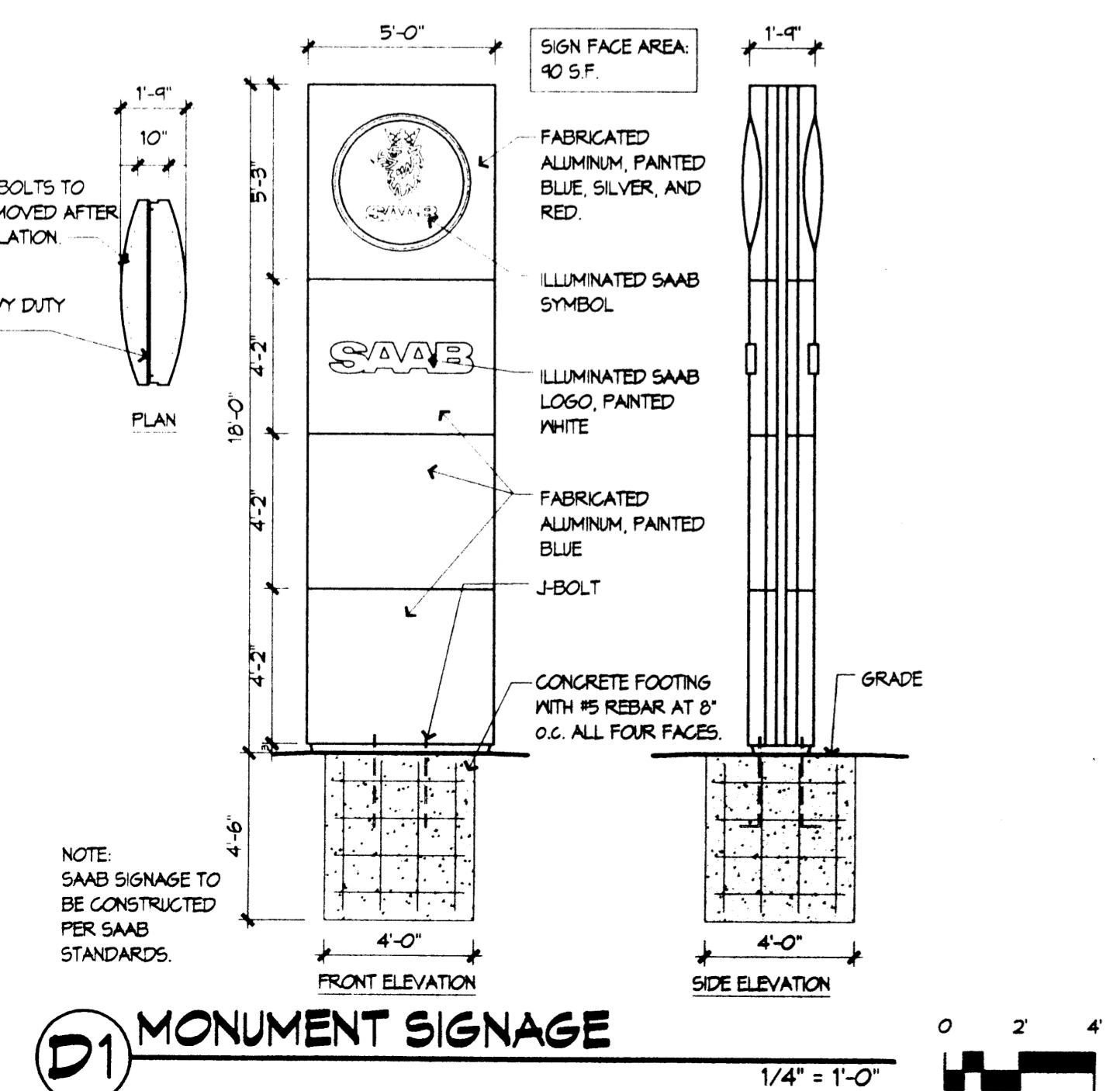
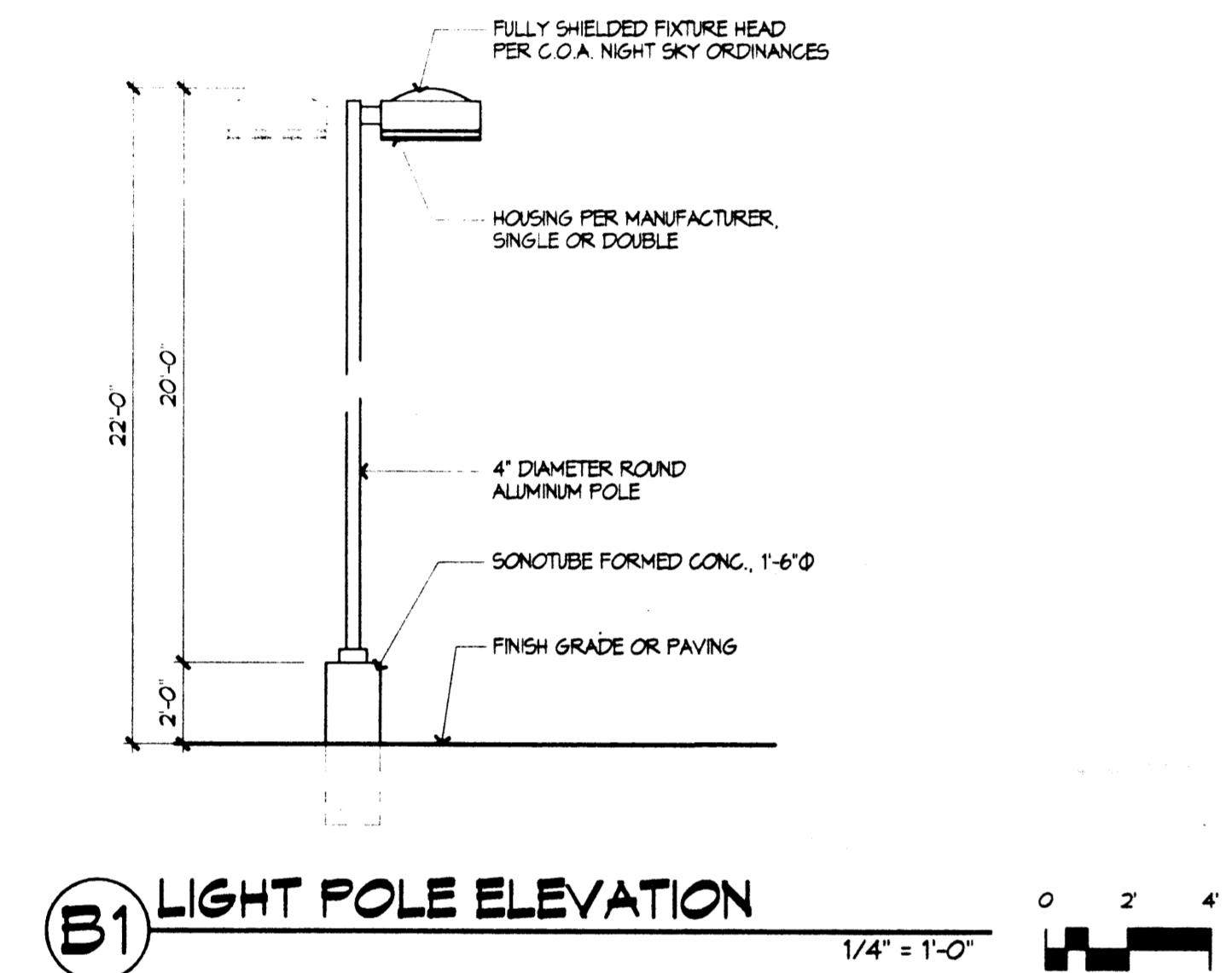
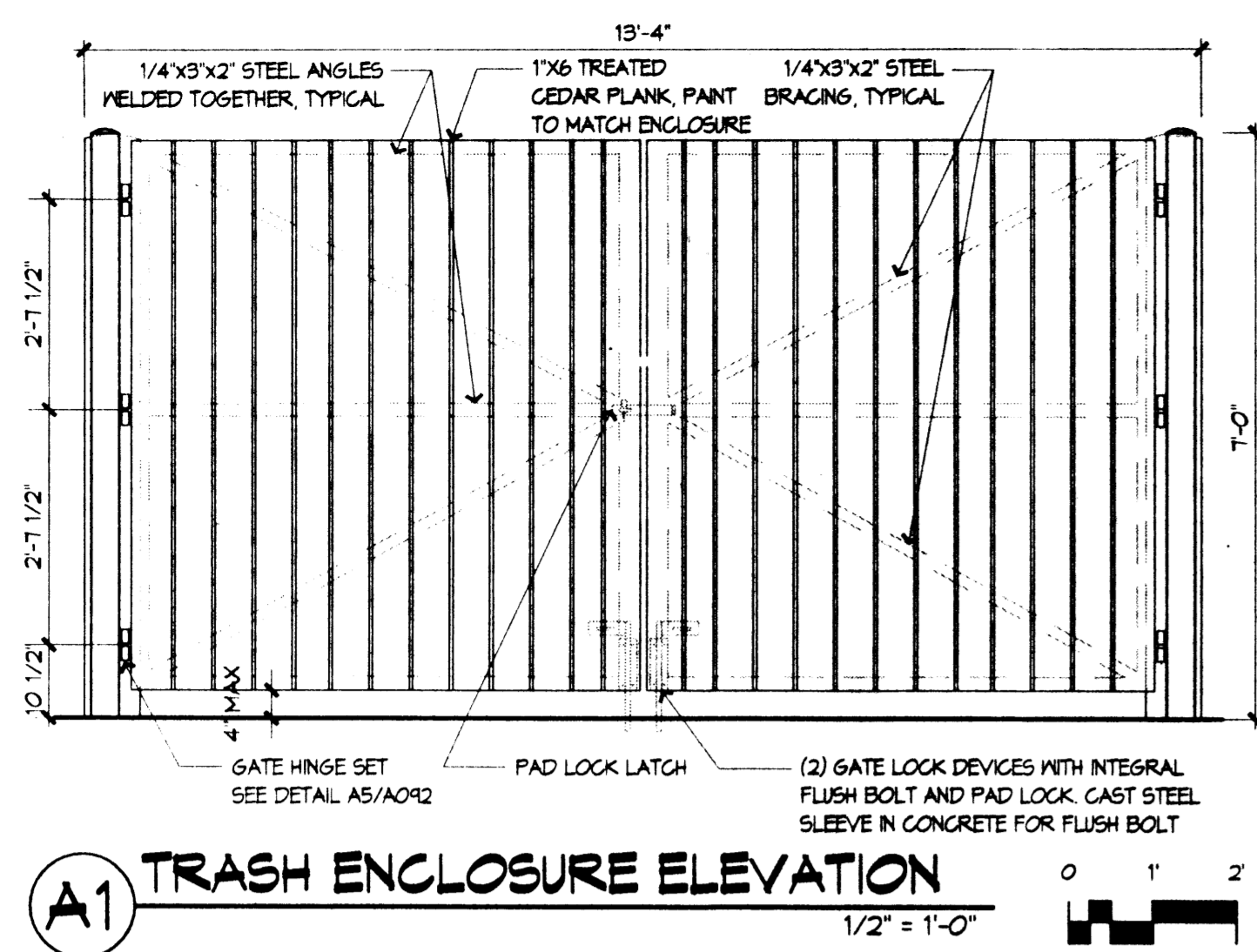
REVISIONS

| | |
|---|--|
| △ | |
| △ | |
| △ | |
| △ | |

| | |
|--------------|----------|
| DRAWN BY | KK |
| REVIEWED BY | JEF |
| DATE | 01/21/08 |
| PROJECT NO. | 02108 |
| DRAWING NAME | |

EXTERIOR ELEVATIONS

SHEET NO.



- KEYED NOTES**
- ASPHALTIC PAVING
 - 8" CMU REFUSE ENCLOSURE COA SOLID WASTE DEPT. STANDARDS. RE. ELEVATION ON THIS SHEET.
 - LANDSCAPING PER LANDSCAPE DRAWINGS
 - ELECTRICAL TRANSFORMER
 - VEHICLE DISPLAY - N.I.C.
 - INTEGRAL COLORED CONCRETE PAVING
 - NEW VEHICLE PARKING
 - CANOPY OVERHANG
 - LANDSCAPED STORM WATER DETENTION AREA
 - CONCRETE CURB AND GUTTER
 - STEEL BOLLARD
 - EXISTING CURB TO BE REMOVED
 - MONUMENT SIGN, RE. ELEVATIONS THIS SHEET.
 - DIRECTIONAL ARROWS
 - LIGHT POLE TYP. RE. ELEVATION THIS SHEET.
 - ACCESSIBILITY RAMP
 - ACCESSIBILITY SIGN
 - BIKE RACK, 2 SPACES
 - EXISTING SIDEWALK
 - EXISTING FIRE HYDRANT
 - NEW FIRE HYDRANT
 - CONCRETE CURB
 - EXISTING 4' HALF HEIGHT STUCCO WALL
 - NEW SIDEWALK FROM EXISTING SIDEWALK TO BUILDING ENTRANCE
 - CONCRETE PAVING AND APPROACH APRON.
 - CONCRETE APRON

PROJECT DATA

ADDRESS: 5301 ALAMEDA BLVD. NE

LEGAL DESCRIPTION: LOT 30-A, BLOCK 11 TRACT A, UNIT B - NORTH ALBUQUERQUE ACRES PROJECTED SECTION 19, T 11 N, R 3 E, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

ZONING: SU2 FOR M-1

TOTAL ACREAGE: 12,944 S.F. = 1.675 ACRES

TOTAL BUILDING AREA: 12,746 G.S.F. FAR: .175

ACTUAL BUILDING AREA: 12,746 S.F. - 1087 S.F. (area of covered canopies) = 11,659 S.F.

BUILDING USE: CAR DEALERSHIP INCLUDING ADMINISTRATIVE OFFICE SPACE AND AUTO SERVICE (NO WELDING)

PARKING: REQUIRED 1 SPACE FOR EA. 200 S.F. OF RETAIL OR SERVICE AREA 5,018/200 S.F. = 26 SPACES REQD. 1 SPACE FOR EA. 1000 S.F. OF MANF. OR WHOLESALE (SERVICE WING) 6,667/1000 S.F. = 7 SPACES REQD. 1 BICYCLE PARK. SPACE/20 VEHICLES; (2 MIN.) MIN. OF (2) H.C. ACCESSIBLE PARKING SPACE IV ACCESS ISLE 33 TOTAL PARKING SPACES REQUIRED -3 SPACES FOR BUS PROXIMITY CREDIT (10%) 30 SPACES TOTAL REQUIRED

PARKING PROVIDED: 34 PARKING SPACES PROVIDED 2 H/C PARKING SPACES PROVIDED (IV ACCESS ISLE) 2 BICYCLE PARKING SPACES PROVIDED

Site Development Plan for Building Permit

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE APPROVAL BY THE DESIGN REVIEW BOARD (DRB) ON JANUARY 21, 2003, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

Michael H. H. H. 1-24-03
SOLID WASTE, ALBUQUERQUE, NM

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE: _____

PARKS & RECREATION DEPARTMENT DATE: _____

PUBLIC WORKS, WATER UTILITIES DIVISION DATE: _____

CITY ENGINEER, ENGINEERING DIVISION / AMAFCA DATE: _____

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual

CITY PLANNER, ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION DATE: _____

architecture
interiors
planning
engineering

Dekker Perich Sabatini

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

ARCHITECT

ENGINEER

DRB SUBMITTAL

PROJECT

Saab Albuquerque
Europa International, Inc.
5301 Alameda Boulevard
Albuquerque, NM

REVISIONS

- 01/23/03 Solid Waste Revision

DRAWN BY: KK

REVIEWED BY: JEP

DATE: 01/24/03

PROJECT NO: 02105

DRAWING NAME: SITE PLAN

SHEET NO. 1 OF 1