



SUBDIVISION

- ☐ Major subdivision action
☒ Minor subdivision action
☐ Vacation
☐ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ☒ for Subdivision
☐ for Building Permit
☐ Administrative Amendment (AA)
☐ Administrative Approval (DRT, URT, etc.)
☐ IP Master Development Plan
☐ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

S Z ZONING & PLANNING

- ☐ Annexation
☒ Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
☐ Adoption of Rank 2 or 3 Plan or similar
☐ Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

D Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- ☐ Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West, LLC PHONE: 505-858-3100

ADDRESS: 5571 Midway Park Place NE FAX: _____

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: rrb@tierrawestllc.com

APPLICANT: Foot Hills Partners LTD C/O Alliance TAV Advisors PHONE: 817-832-9664

ADDRESS: 11001 Menaul Blvd NE FAX: _____

CITY: Albuquerque STATE NM ZIP 87112 E-MAIL: Rrubenkoenig@rtacq.com

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Minor Subdivision Preliminary/ Final Plat Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☐ No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. _____ Block: 88 Unit: _____

Subdiv/Addn/TBKA: Snow Heights Subdivision

Existing Zoning: C-2 Proposed zoning: C-2 MRGCD Map No _____

Zone Atlas page(s): H-21-Z UPC Code: 102105949430710307

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____

1002445, 1008823, 1009075, 1009407

CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? ☒ N/A

No. of existing lots: 1 No. of proposed lots: 2 Total site area (acres): 8.6019

LOCATION OF PROPERTY BY STREETS: On or Near: Menaul

Between: Juan Tabo and _____

Check if project was previously reviewed by: Sketch Plat/Plan ☐ or Pre-application Review Team(PRT) ☐ Review Date: _____

SIGNATURE Ronald R. Bohannon DATE 11/13/2017

(Print Name) Ronald R. Bohannon Applicant: ☐ Agent: ☒

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____

Hearing date _____

Project # _____

Staff signature & Date _____

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- N/A Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- N/A Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- N/A Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- N/A Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

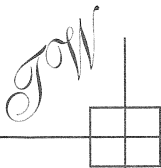
Ronald R. Bohannon
Applicant name (print)
11/13/2017
Applicant signature / date



Form revised October 2007

- | | |
|--|--------------------------|
| <input type="checkbox"/> Checklists complete | Application case numbers |
| <input type="checkbox"/> Fees collected | _____ |
| <input type="checkbox"/> Case #s assigned | _____ |
| <input type="checkbox"/> Related #s listed | _____ |

Planner signature / date
Project #



TIERRA WEST, LLC

November 14, 2017

Ms. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: REQUEST FOR MINOR SUBDIVISION
PRELIMINARY/FINAL PLAT APPROVAL
DRB PROJECT NUMBER 1002445- FOOT HILLS SHOPPING CENTER
PROJECT: SNOW HEIGHTS TR 1 & 2, BLK88**

Dear Mr. Cloud:

Tierra West, LLC request approval of the minor subdivision preliminary/final plat approval for the site referenced above. A sketch plat was processed for this project number 17DRB-70173. Comments provided during sketch plat have been incorporated and addressed as follows:

Hydrology Section

1. Add Flood Plain note & FIRM information (Zone X)
Response: The note was added to the second page of the plat.
2. Cross-lot drainage easement is required (assuming scheme is to continue draining to the parking lot to the west.)
Response: A private cross lot drainage easement is shown on the plat on page two that allows drainage from the new tracts across Tract 1.
3. An approved conceptual grading and drainage plan will be required for Site Plan or Site Plan Amendment
Response: A conceptual grading and drainage plan was included in the Administrative Amendment to the Site Development Plan which was approved on October 19, 2017. A separate submittal to hydrology was processed and approved on November 8, 2017. A copy of the approval letter is included.
4. An approved grading and drainage plan will be required for Grading/Building Permit
Response: This comment is acknowledged and included in the "Conceptual Drainage Configuration" narrative which appears in the Conceptual Grading and Drainage Plan.

ABCWUA

1. Future water and sanitary sewer service to development on proposed Tract 2 will require a request for a water and sanitary sewer availability statement.
Response: An easement has been shown on the approved Administrative Amendment and also shown on page two of the plat.

2. Consider granting a 10' private water easement across Tract 1 for the benefit of Tract 2 to permit access to water facilities in Menaul Blvd. There is no option for water service to Tract 2 from Juan Tabo Blvd.

Response: An easement is shown and granted on page 2 of the plat

Transportation Development

1. If future development is not going to be submitted to DRB, a TCL (Traffic Circulation Layout) will be required before building Permit.

Response: The development or modifications will have to either prepare an Administrative Amendment and routed through DRB or taken back to EPC.

2. Provide a sidewalk exhibit showing the location, width, and defining the distance from back of curb to the property line. Right of way dedication may be required.

Response: Attached is a separate Sidewalk Exhibit for the site which shows the existing curb and dimensioned to the property line that we believe meets this requirement.

Planning Department

1. This a Shopping Center (SC) site and is thus site plan controlled [ref: Case No. Z-1383]. An approved Site Development Plan for Subdivision will be required for proposed plat.

Response: An approved Site Plan for Subdivision was issued by the City of Albuquerque and is attached.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald. R. Bohannon, PE

cc: Ryan Rubenkoenig

JN: 2016068

RRB/jg



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
Robert J. Perry, CAO

DATE: November 10, 2017

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): 1002445, 1008823, 1009075, 1009407
Agent: Tierra West, LLC
Applicant: Foothills Partners, LTD c/o Alliance TAV Advisors
Legal Description: Tracts 1 and 2, Block 88 Snow Heights Addition
Zoning: C-2
Acreage: 8.6019
Zone Atlas Page(s): F-19-Z

CERTIFICATE OF NO EFFECT: ☒ Yes ☐ No

CERTIFICATE OF APPROVAL: ☐ Yes ☐ No

SUPPORTING DOCUMENTATION:

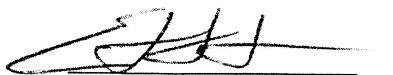
Review of NMCRIS GIS, AGIS, and Google Earth imagery

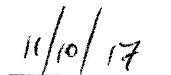
SITE VISIT: N/A

RECOMMENDATIONS:

Certificate of No Effect is issued: Ref O-07-72 Section 4(B)2; property has been disturbed through previous land use or development

SUBMITTED BY:

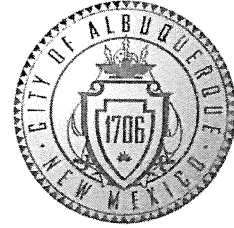

Ethan Kalosky, MA
Cultural Resource Specialist
Parametrix


Date

SUBMITTED TO:

Russell Brito, Planning Manager
City of Albuquerque Planning Department

CITY OF ALBUQUERQUE



November 8, 2017

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place, NE
Albuquerque, NM 87109

RE: **Foothills S.C**
Snow Heights Tr 1 and 2
Conceptual Grading and Drainage Plan
Stamp Date: 10/31/17
Hydrology File: H21D043

Dear Mr. Bohannon:

PO Box 1293

Based on the information provided in your submittal received on 10/31/17, the
Conceptual Grading and Drainage Plan is approved for Site Plan for Subdivision.

Albuquerque

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

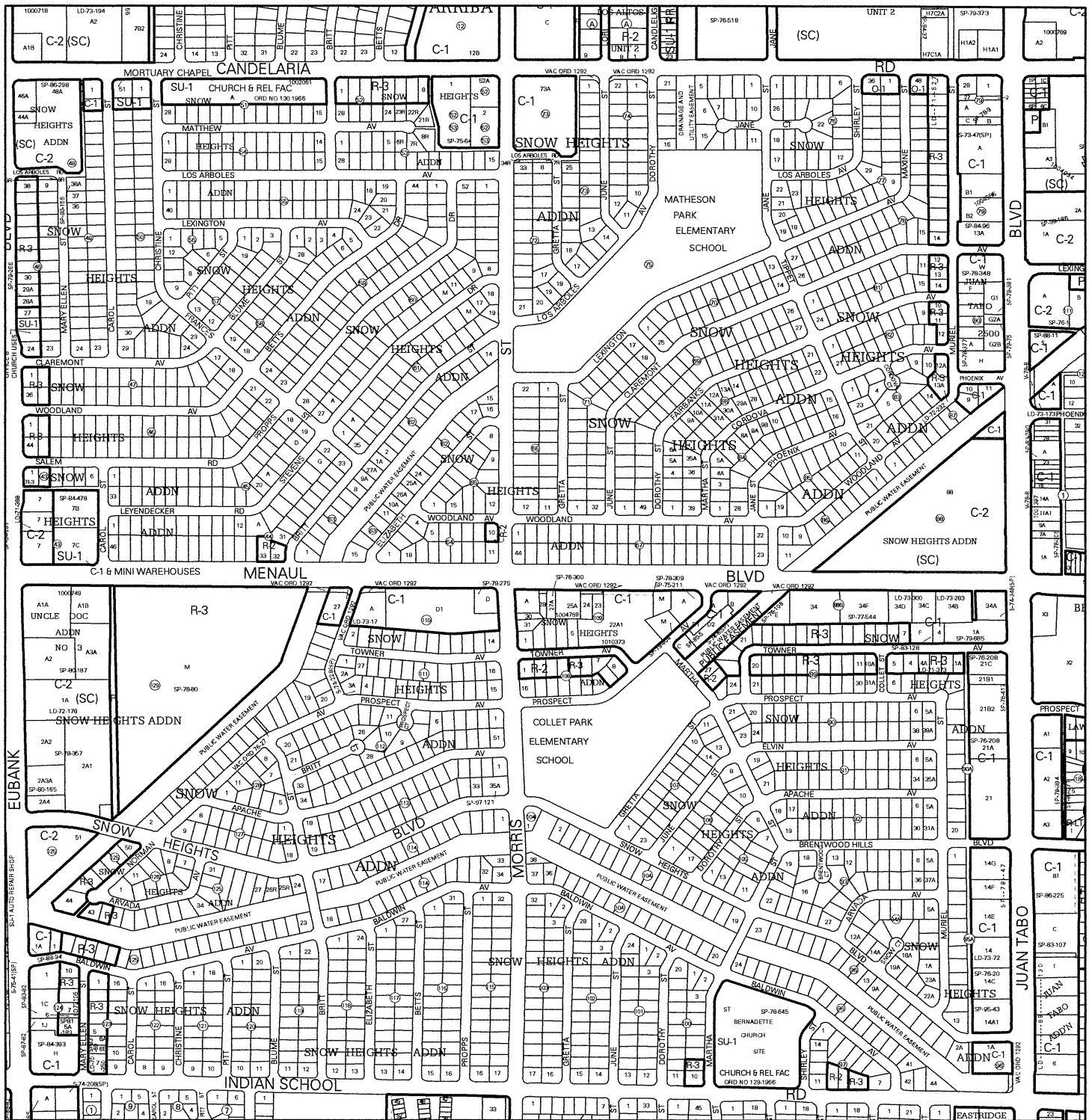
Sincerely,

NM 87103

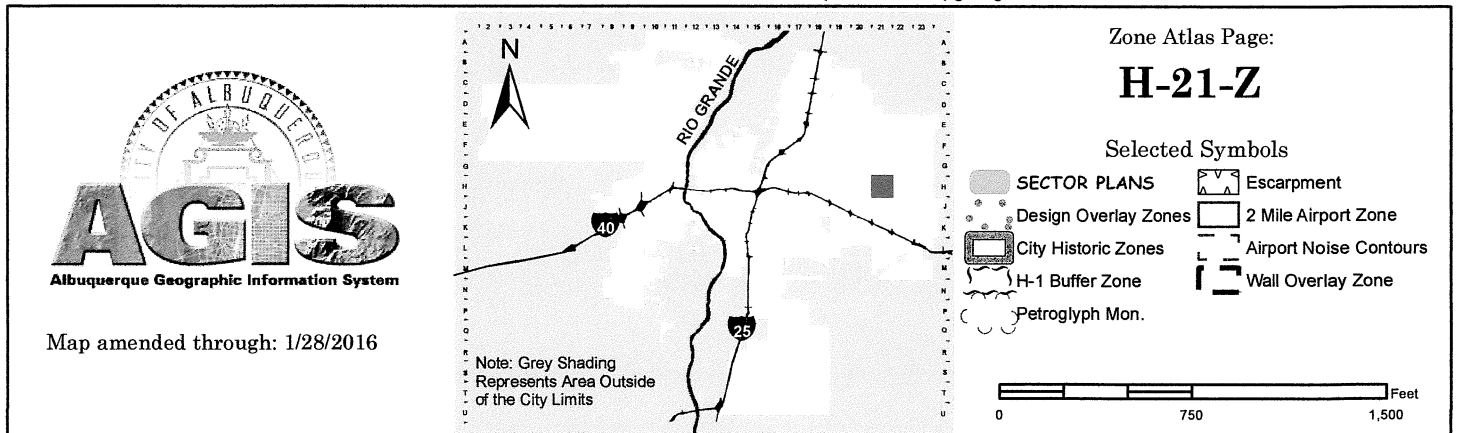
www.cabq.gov

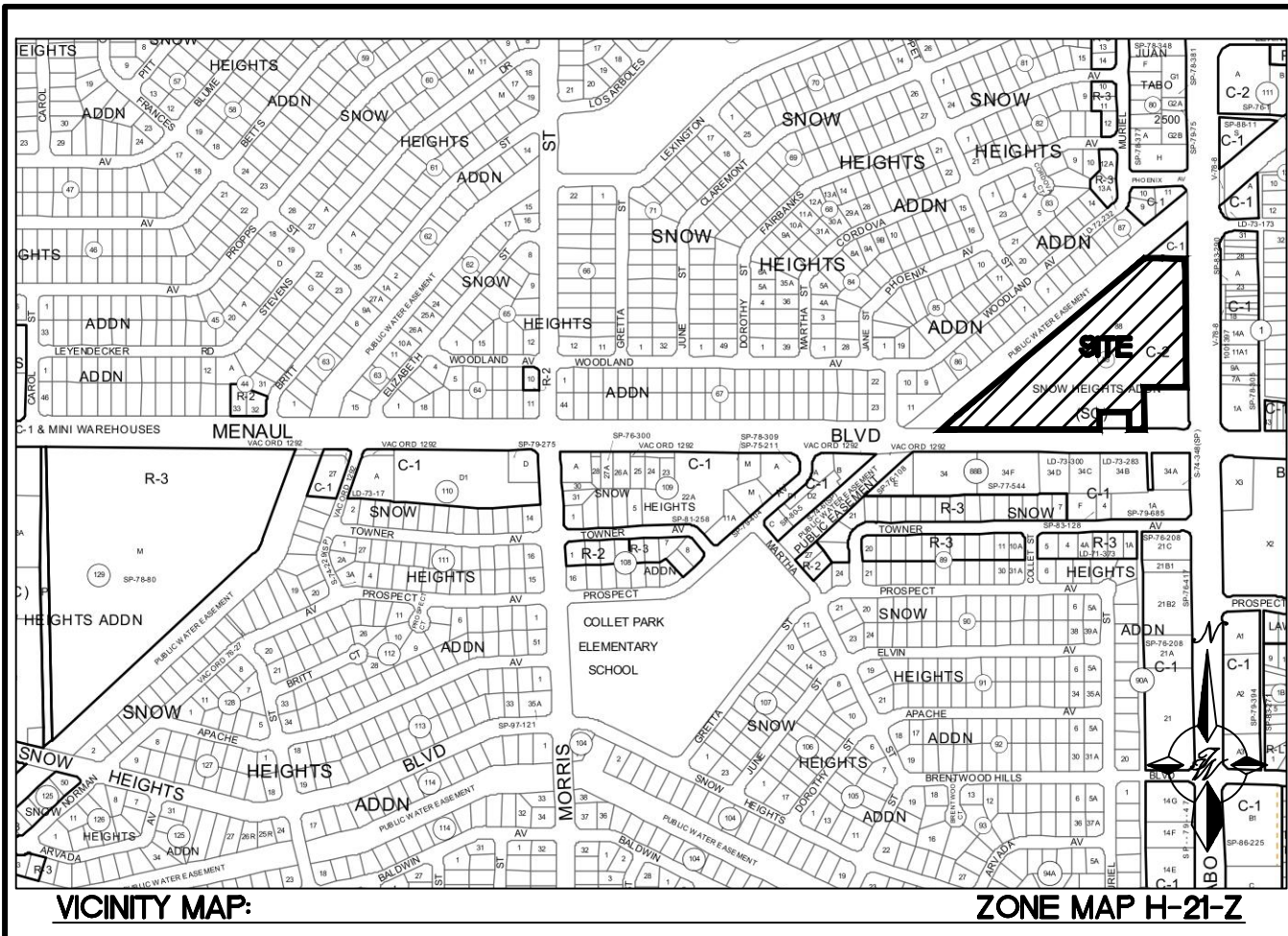
Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



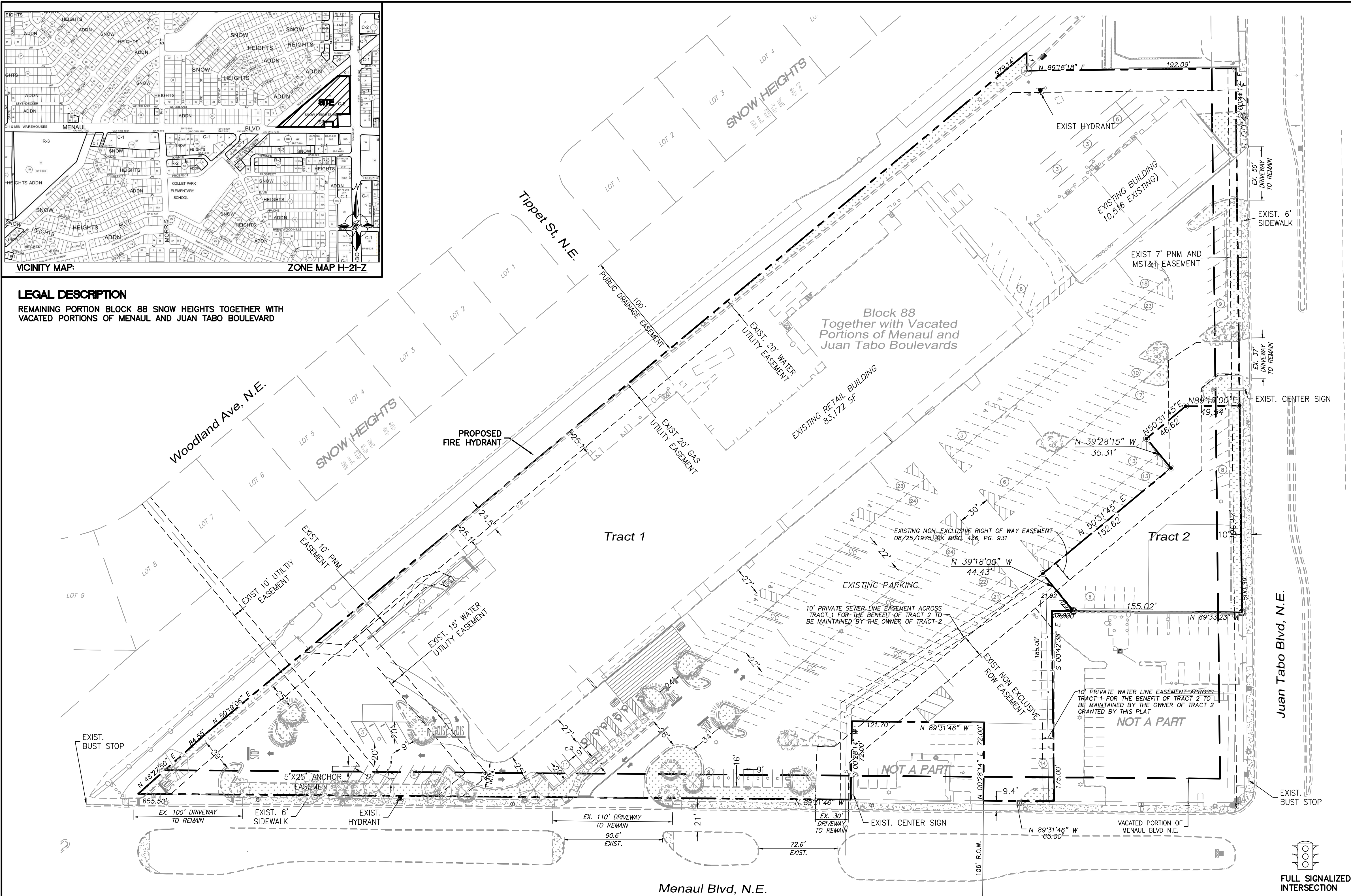
For more current information and details visit: <http://www.cabq.gov/gis>





LEGAL DESCRIPTION

REMAINING PORTION BLOCK 88 SNOW HEIGHTS TOGETHER WITH VACATED PORTIONS OF MENAUL AND JUAN TABO BOULEVARD



NOTES:

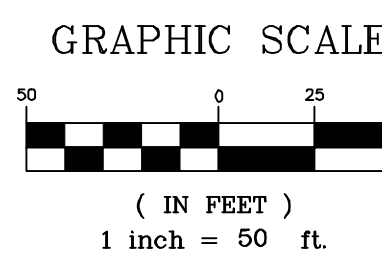
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE OR THERMOPLASTIC.
- 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.

LEGEND

- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- EXISTING SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING STREET LIGHTS
- HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- SAWCUT
- STANDARD DUTY ASPHALT
- ADA ACCESSIBLE ROUTE
- PROPOSED PARKING SPACES
- CART CORRAL
- SITE LIGHTING (SEE LIGHTING PLAN)

INDEX TO DRAWINGS

- SITE PLAN FOR BUILDING PERMIT
- SITE PLAN
- L1-LANDSCAPING PLAN
- GRADING PLAN
- MASTER UTILITY PLAN
- DETAILS
- DETAILS
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- AA SITE PLAN (PREVIOUSLY APPROVED)



SITE DATA

LEGAL DESCRIPTION: TRACTS 1 AND 2, BLOCK 88 SNOW HEIGHTS ADDITION

ZONING: C-2 (SC)

SITE AREA: 8.61 ACRES (TRACT 1: 8.1075 AC)
(TRACT 2: 0.5033 AC)

PROPOSED USE/EXISTING USE:
COMMERCIAL RETAIL

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:

EXISTING INGRESS AND EGRESS IS PROVIDED DIRECTLY TO MENAUL BLVD AT FOUR DRIVEWAY APRONS AND DIRECTLY TO JUAN TABO BLVD AT THREE DRIVEWAY APRONS.

THE PROPOSED BUILDING ADDITION WILL REQUIRE THE TWO MOST SOUTHWESTERLY DRIVEWAY APRONS RECONFIGURED AS SHOWN TO CONTINUE TO MAINTAIN INGRESS AND EGRESS FOR VEHICULAR TRAFFIC AT THESE LOCATIONS. PEDESTRIAN INGRESS AND EGRESS WILL BE ENHANCED WITH A DIRECT PEDESTRIAN CONNECTION TO MENAUL BLVD WHICH IS ADA COMPLIANT.

INTERNAL CIRCULATION REQUIREMENTS:

AN EXISTING NON-EXCLUSIVE RIGHT OF WAY EASEMENT IS IN PLACE TO PROVIDE ACCESS TO THE TWO SEPARATE RESTAURANT PADS ALONG MENAUL BOULEVARD WHICH ARE "NOT A PART" OF THIS SITE DEVELOPMENT PLAN.

MAXIMUM BUILDING HEIGHT ALLOWED:

26 FEET AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGEWAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE.

PROPOSED BUILDING HEIGHT: 32' MAXIMUM

MINIMUM BUILDING SETBACK:

THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.

MAXIMUM TOTAL DWELLING UNITS :

N/A, RESIDENTIAL USE NOT PERMITTED PER ZONING

NONRESIDENTIAL USES' MAXIMUM FLOOR AREA RATIO :

NO REQUIREMENT. (0.247 F.A.R. EXISTING/0.250 F.A.R. PROPOSED)

PHASING

NONE.

STRUCTURE LOCATIONS:

EXISTING STRUCTURES WILL REMAIN IN PLACE, EXCEPT FOR THE SOUTHWESTERLY TENANT SPACE TO BE DEMOLISHED AND REBUILT AS INDICATED ON THE PLAN.

STRUCTURE ELEVATIONS AND DIMENSIONS:

BUILDING AREA:

WEST BLDG: 82,107 SF (EXISTING) + 1,065 SF (PROPOSED EXPANSION)
83,172 SF (AFTER EXPANSION)
EXISTING EAST BLDG: 10,516 SF
TOTAL: 93,688 SF (AFTER EXPANSION)

SEE SHEETS 8 THROUGH 9 FOR STRUCTURE ELEVATIONS

PARKING FACILITIES

PARKING CALCULATIONS (TRACT 1):

1 SPACE/200 SF (FIRST 15,000 SF): 75 SPACES
1 SPACE/250 SF (15,000 TO 60,000 SF): 180 SPACES
1 SPACE/300 SF (> 60,000 SF): 112 SPACES
REQUIRED (GROSS): 367 SPACES
10% TRANSIT REDUCTION: -37 SPACES
TOTAL REQUIRED: 330 SPACES
TOTAL PROVIDED: 330 SPACES
CART CORRALS PROVIDED: 6 SPACES
HC PARKING REQUIRED: 12 SPACES (2 VAN ACCESSIBLE)
NOTE: BUILDING ADDITION DOES NOT EXCEED 2500 SQUARE FEET, THEREFORE ONLY GENERAL REQUIREMENTS OF § 14-16-3-1 OFF-STREET PARKING REGULATIONS APPLY.

PARKING CALCULATIONS (TRACT 2):

PARKING REQUIRED: TBD
PARKING PROVIDED: 14 SPACES

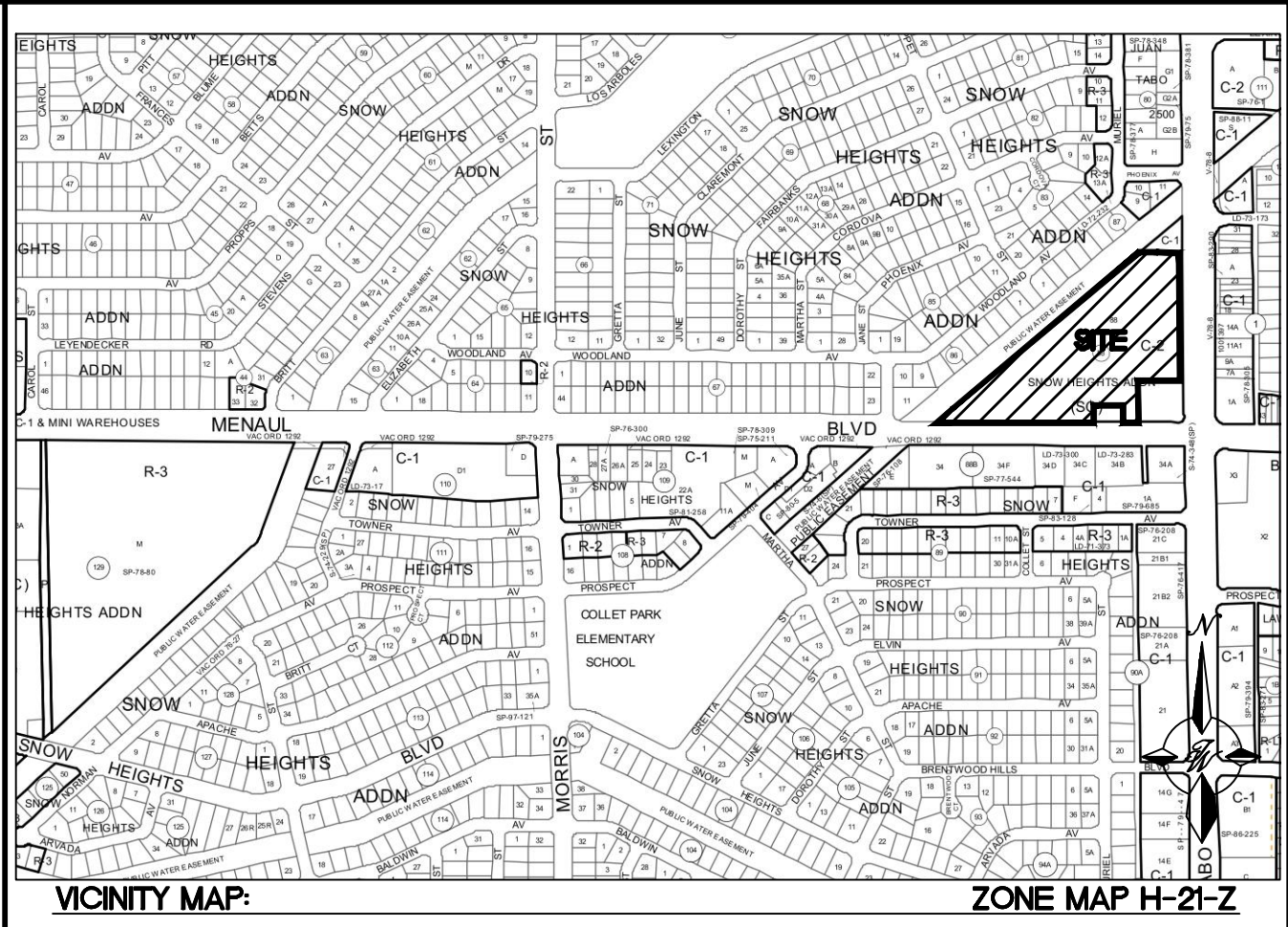
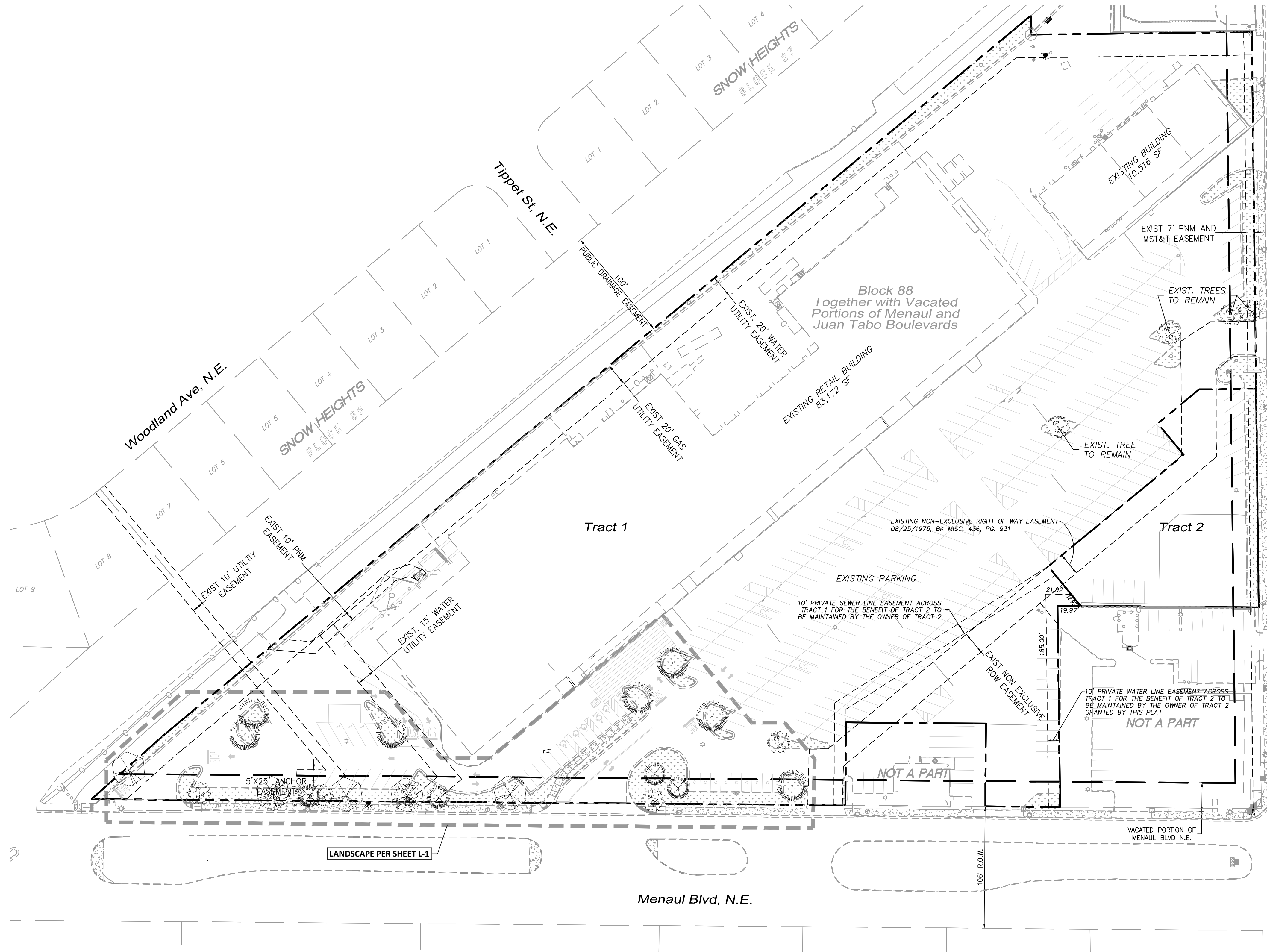
LOADING FACILITIES

DELIVERY DOCK IS LOCATED AT THE REAR (NORTH SIDE) OF BUILDING.

NON AUTO TRANSPORTATION

PUBLIC TRANSPORTATION IS AVAILABLE TO AN EXISTING TRANSIT STOPS AT THE SITE SERVICED WITH ROUTES 1 AND 8.

ENGINEER'S SEAL	FOOTHILLS, S.C. MENAU AND JUAN TABO	DRAWN BY DY
	AA - SITE PLAN FOR BUILDING PERMIT (OVERALL)	DATE 10-10-17
		DRAWING 2016068-SPB
RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # 1
		JOB # 2016068

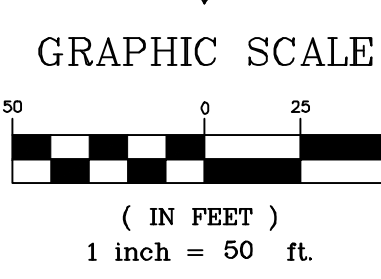
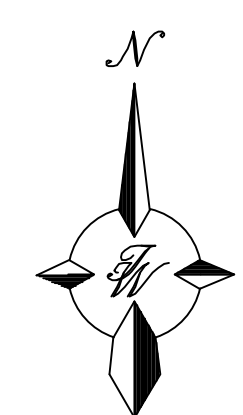


LEGAL DESCRIPTION
TRACTS 1 AND 2, BLOCK 88 SNOW HEIGHTS ADDITON

- LEGEND**
- BOUNDARY LINE
 - EASEMENT
 - EXISTING BOUNDARY LINE
 - EXISTING SIDEWALK
 - EXISTING CURB & GUTTER
 - EXISTING STREET LIGHTS
 - EXISTING LANDSCAPE
 - EXISTING TREES PER SHEET L-1
 - EXISTING TREES TO REMAIN

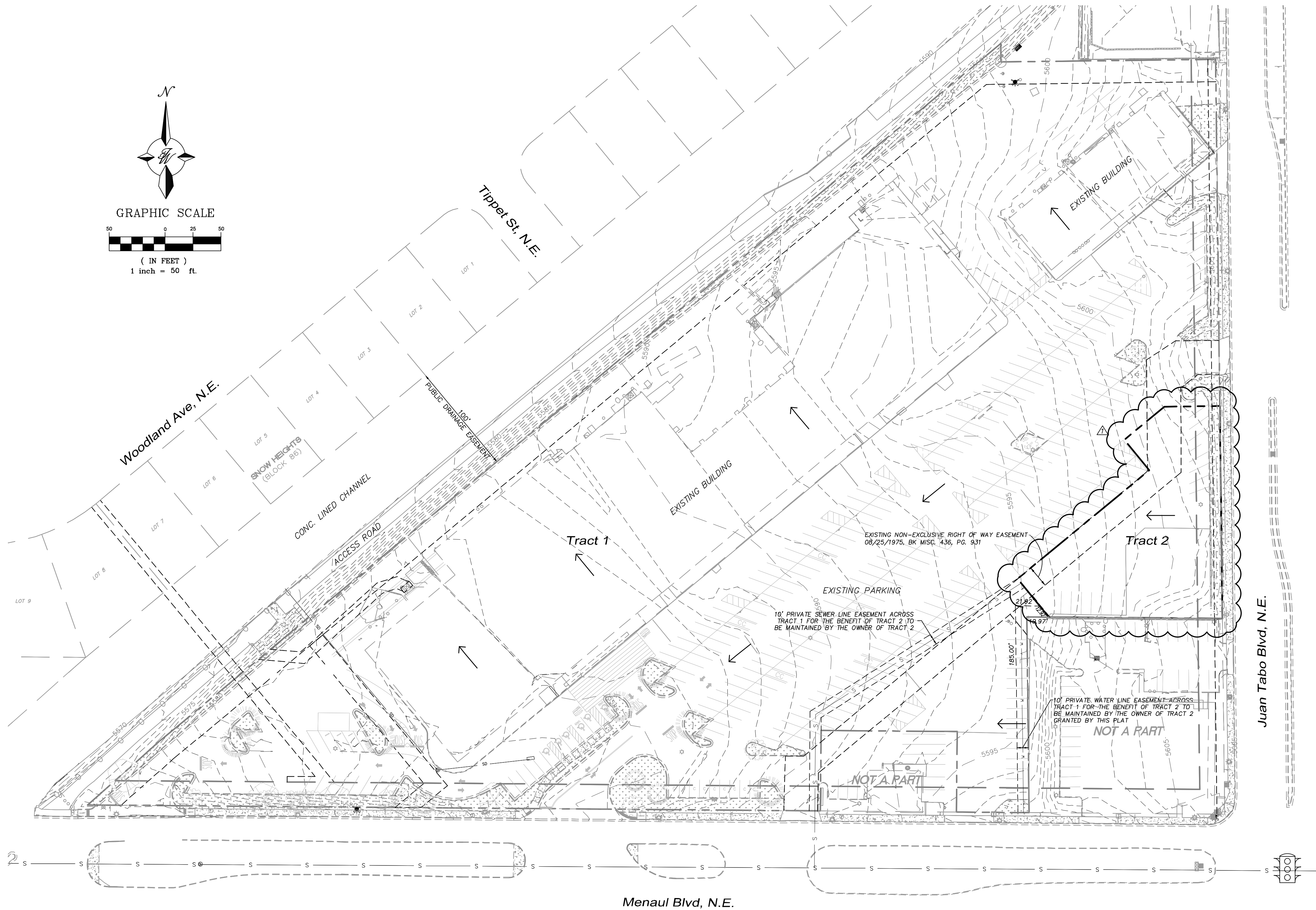
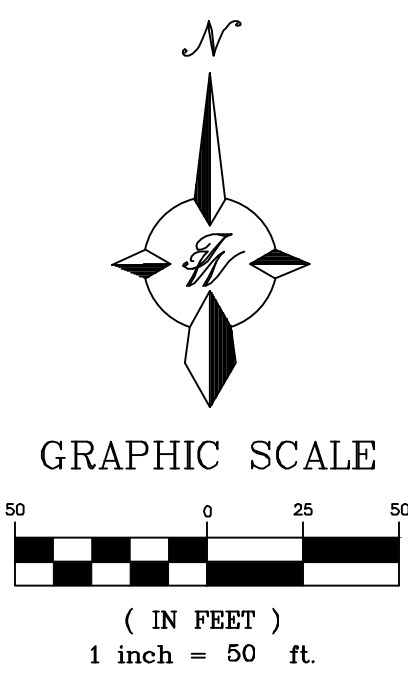
LANDSCAPE COVERAGE (OVERALL - TRACTS 1 AND 2)

LOT 1:	353,165
LOT 2:	21,923
	375,088
BUILDING FOOTPRINT LOT 1:	(83,172 + 10,516) = 93,688
BUILDING FOOTPRINT LOT 2:	NONE
TOTAL BLDG:	93,688
NET LOT AREA:	281,400 SF
15% OF NET LOT AREA:	42,210 SF
LANDSCAPE VARIANCE:	19,297 SF
REQUIRED LANDSCAPE:	22,913 SF
PROVIDED LOT 1 & ROW:	20,384 SF
PROVIDED LOT 2 & ROW:	2,610 SF
TOTAL PROVIDED:	22,994 SF



ENGINEER'S SEAL	FOOTHILLS, S.C.	DRAWN BY	DY
	MENAU AND JUAN TABO	DATE	10-10-17
	AA - LANDSCAPE PLAN FOR OVERALL SITE	DRAWING	2016068-LS
		SHEET #	L-O
RONALD R. BOHANNAN P.E. #7868		JOB # 2016068	

TERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com



NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

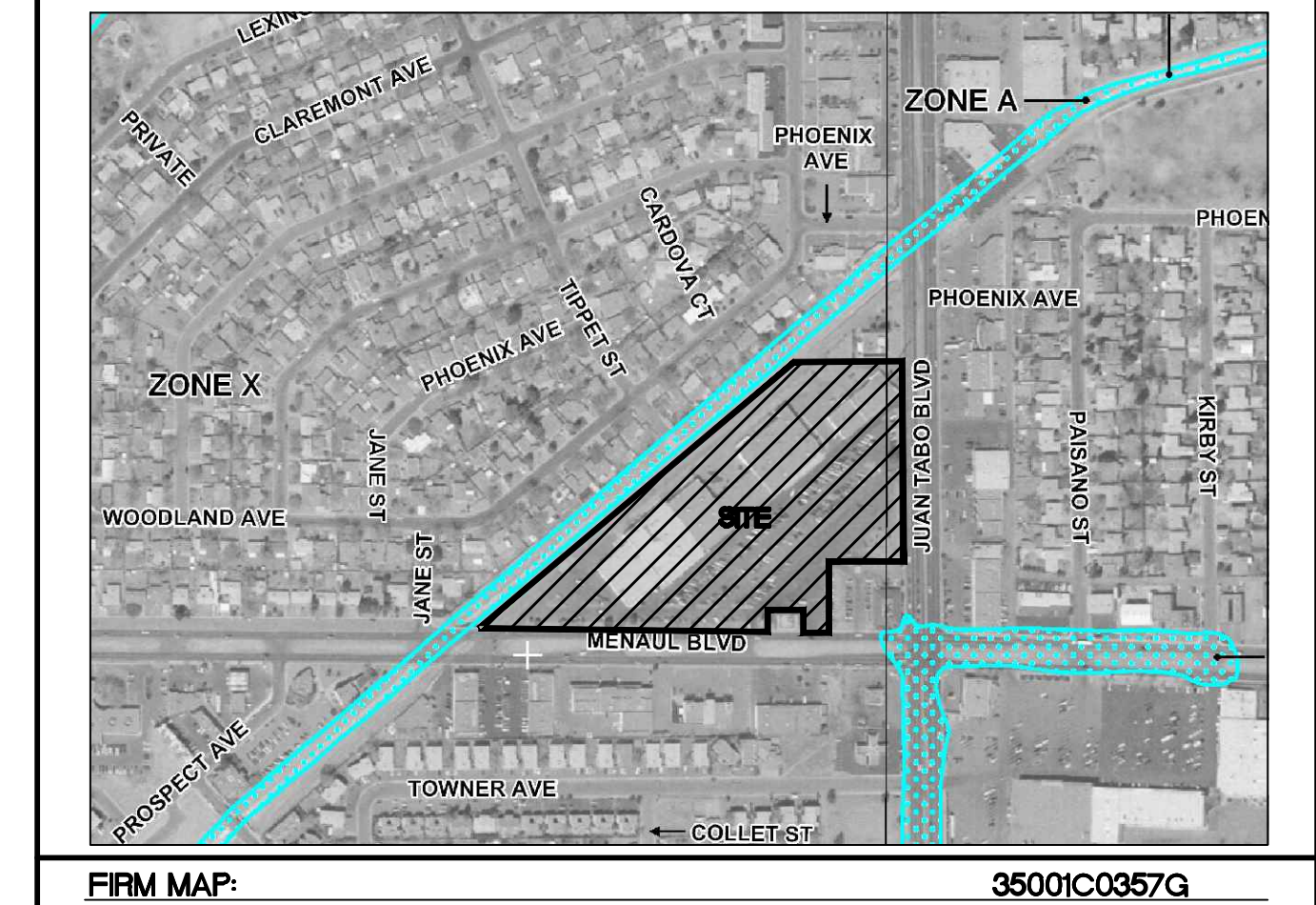
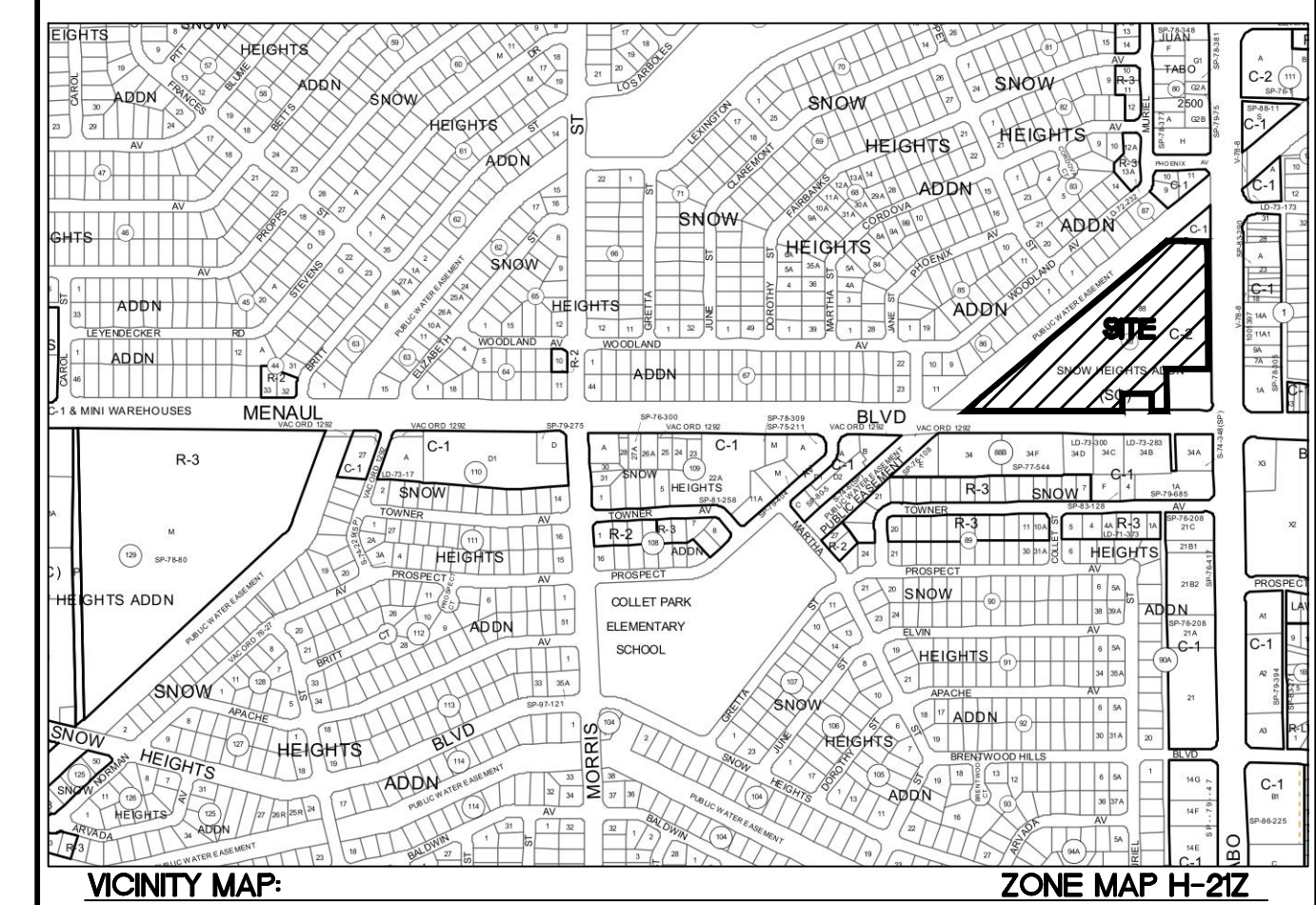
EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CONCEPTUAL DRAINAGE CONFIGURATION

THE PURPOSE OF THIS ADMINISTRATIVE AMENDMENT IS TO DOCUMENT THE PREVIOUSLY APPROVED CONFIGURATION OF PROPOSED TRACT 2 WITHIN THE EXISTING FOOTHILLS SHOPPING CENTER AND TO ALLOW FOR A REPLATING ACTION: NO CONSTRUCTION IS PROPOSED WITH THIS PLAN. THE SITE IS DEVELOPED AND MOST RECENTLY MODIFIED BY A BUILDING EXPANSION PER GRADING AND DRAINAGE PLANS WITH STAMP DATE 7/21/11 AND DRAINAGE REPORT IN FILE (H21/D043). TRACT 2 LIES WITHIN BASIN A OF THE REFERENCED DRAINAGE REPORT WITH ASSUMED HYDROLOGIC LAND TREATMENTS OF 10% C AND 90% D.

FUTURE DEVELOPMENT OF TRACT 2 WILL REQUIRE DEVELOPMENT AND APPROVAL OF A DETAILED GRADING AND DRAINAGE PLAN WITH ANALYSIS TO DEMONSTRATE EITHER HISTORIC DRAINAGE CHARACTERISTICS WILL BE MAINTAINED, OR DOWNSTREAM CAPACITY ANALYSIS FOR CHANGED CONDITIONS FOR APPROVAL BY THE CITY OF ALBUQUERQUE. ONSITE RETENTION/DETENTION MAY BE REQUIRED WITHIN TRACT 2 AT TIME OF DEVELOPMENT IN CONFORMANCE WITH THE DRAINAGE ORDINANCE FOR FIRST FLUSH TREATMENT REQUIREMENTS.



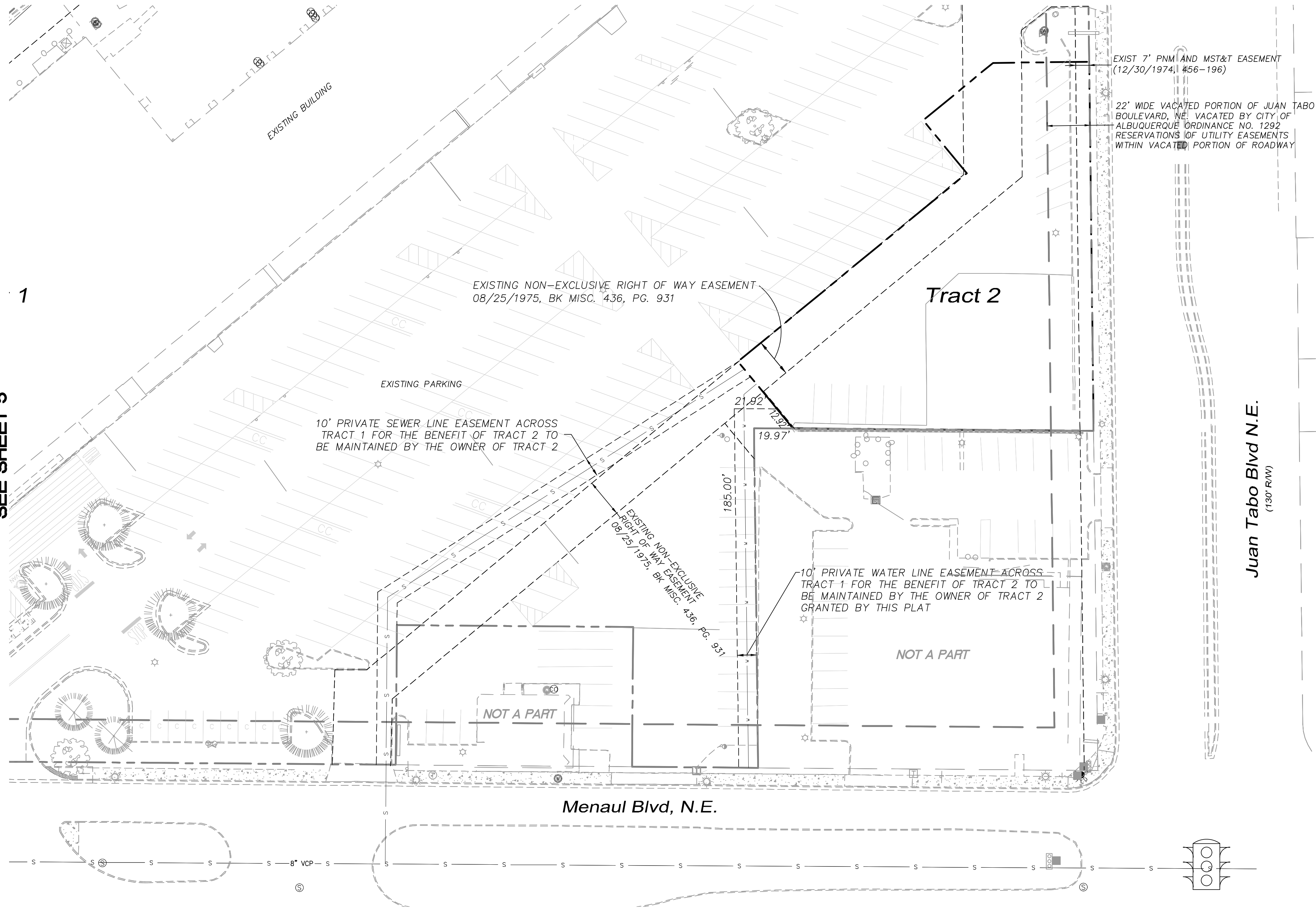
LEGAL DESCRIPTION

LOTS 1 TO 12, BLOCK 1, EVA J ROBERTS ADDITION

LEGEND

- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- EXISTING SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING STREET LIGHTS
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- EXISTING INLET

10/10/17	ADDED SHEET FOR PROPOSED TRACT 2	JDH
NO.	DATE	REMARKS
REVISIONS		
ENGINEER'S SEAL	FOOTHILLS, S.C. MENAUL AND JUAN TABO	DRAWN BY DY
	AA - CONCEPTUAL GRADING & DRAINAGE PLAN (TRACT 2)	DATE 10-10-17
		DRAWING 2016068-GRB
		SHEET # 4A
		JOB # 2016068
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	



NOTICE TO CONTRACTORS

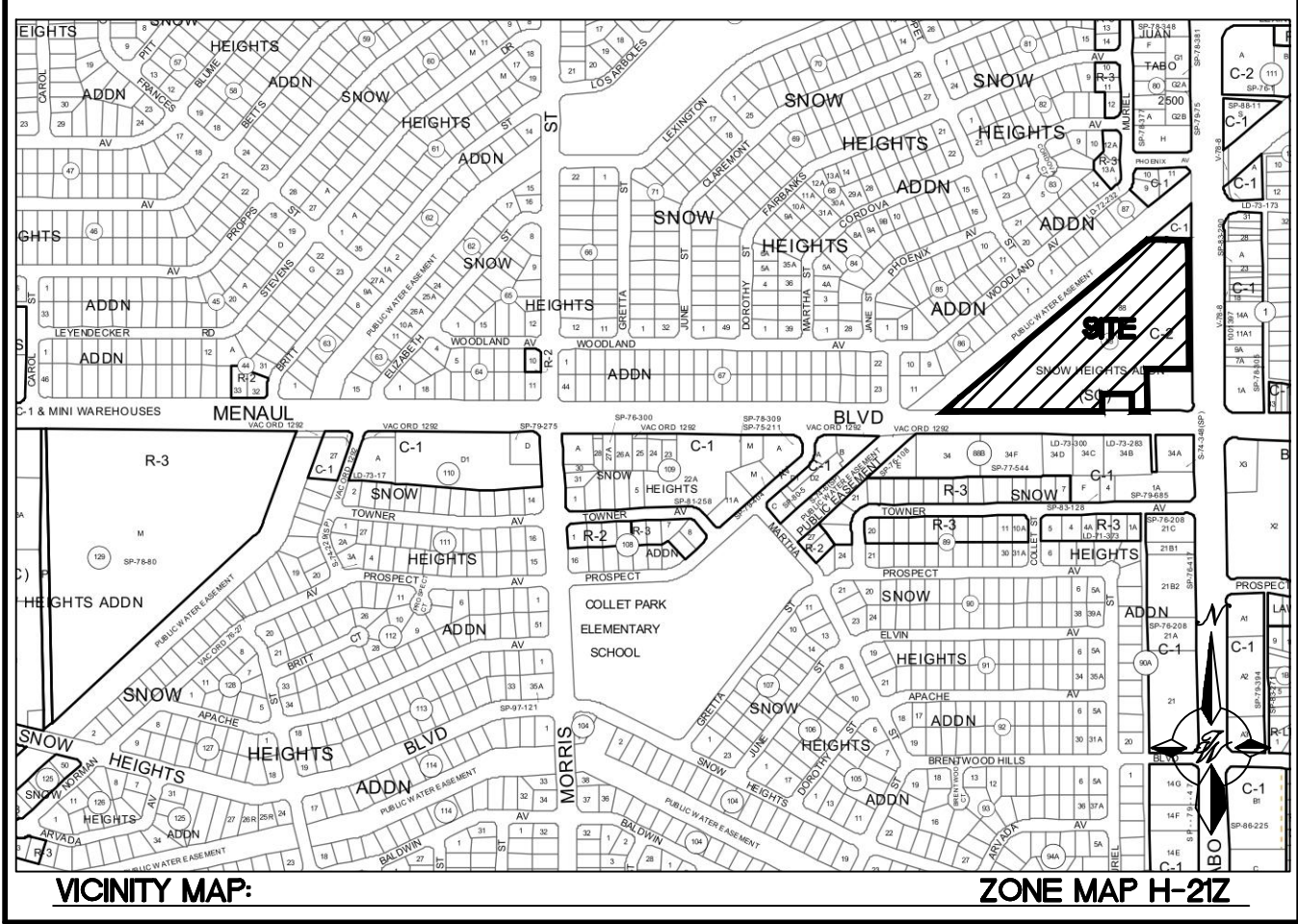
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GENERAL NOTES:

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

CAUTION:

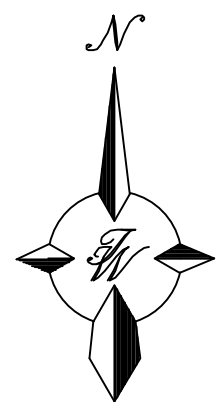
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



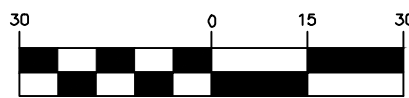
1. ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY ABCWUA WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.

LEGEND


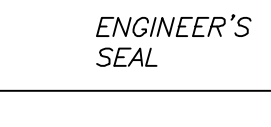




- | | |
|-------------------------|--------------------------------|
| — | CURB & GUTTER |
| - - - | BOUNDARY LINE |
| - - - | EASEMENT |
| - - - | CENTERLINE |
| — | SIDEWALK |
| — | RETAINING WALL |
| - - - | EXISTING CURB & GUTTER |
| - - - | EXISTING BOUNDARY LINE |
| — 36" SD — | STORM SEWER LINE |
| — 8" SAS — | SANITARY SEWER LINE |
| — 6" WL — | WATERLINE |
| o | SINGLE CLEAN OUT |
| o | DOUBLE CLEAN OUT |
| o | EXISTING SD MANHOLE |
| o | EXISTING INLET |
| o | EXISTING SAS MANHOLE |
| o | EXISTING FIRE HYDRANT |
| o | EXISTING WATER METER |
| o | EXISTING POWER POLE |
| o | EXISTING GAS VALVE |
| — U — | EXISTING OVERHEAD UTILITIES |
| - - - EX. UGE - - - | EXISTING UNDERGROUND UTILITIES |
| - - - EX. 2" GAS - - - | EXISTING GAS |
| - - - EX. 8" SAS - - - | EXISTING SANITARY SEWER LINE |
| - - - EX. 10" WL - - - | EXISTING WATER LINE |
| - - - EX. 18" RCP - - - | EXISTING STORM SEWER LINE |

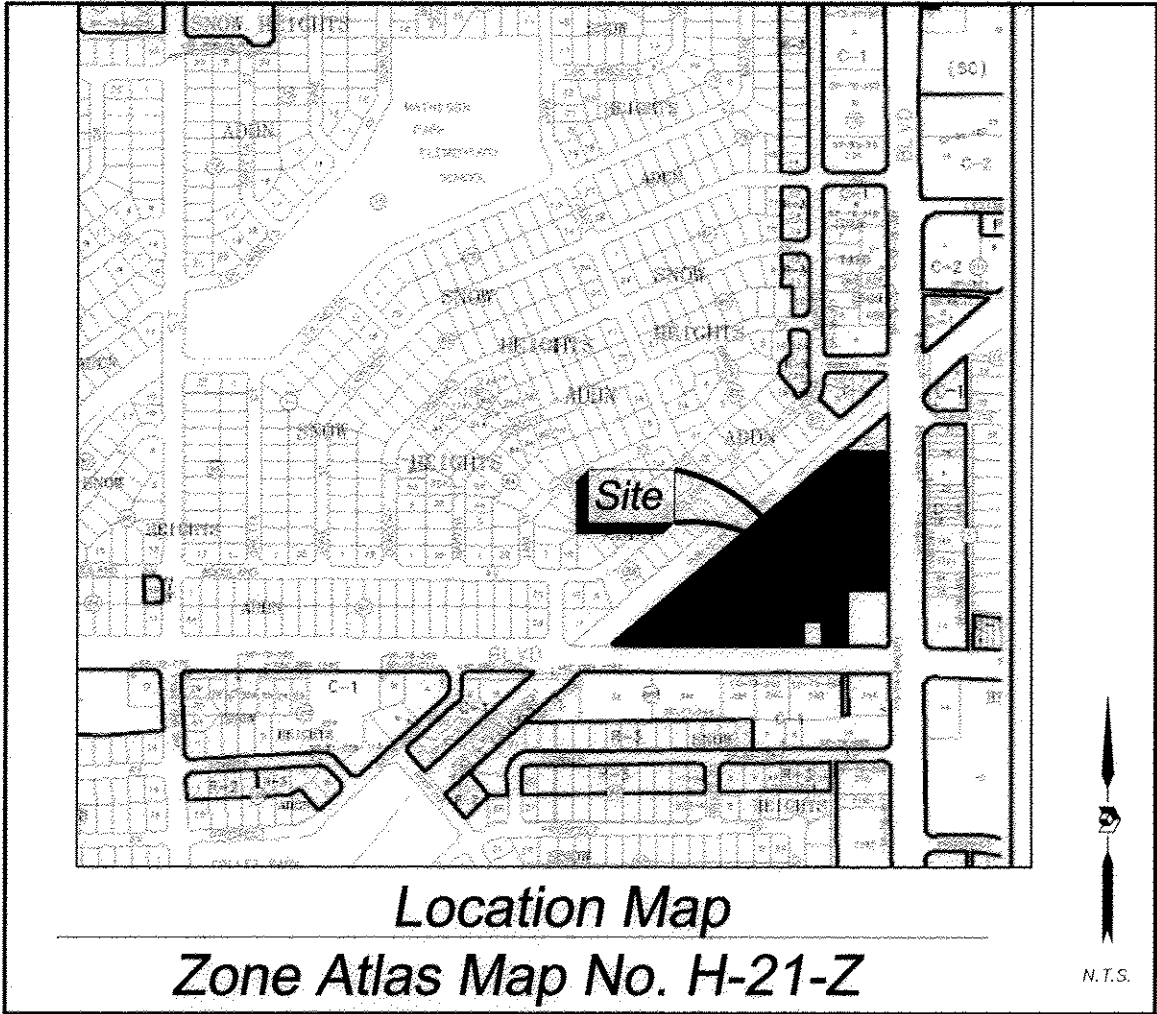


GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

		10/10/17		ADD SHEET FOR AA		JDH	
NO.		DATE		REMARKS		BY	
REVISIONS							
 ENGINEER'S SEAL		FOOTHILLS, S.C. MENAU AND JUAN TABO				DRAWN BY DY	
						DATE 10-10-17	
		MASTER UTILITY PLAN FOR TRACT 2				DRAWING 2016068-MUB	
 RONALD R. BOHANNAN P.E. #7868		 <i>TERRA WEST, LLC</i> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com				 SHEET # 	
						JOB # 2016068	



Subdivision Data:

ZONING:
GROSS SUBDIVISION ACREAGE: 8.6106 ACRES±
ZONE ATLAS INDEX NO: H-21-Z
NO. OF TRACTS CREATED: 2
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: MAY 2017

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING ONE TRACT INTO TWO NEW TRACTS AND TO GRANT EASEMENTS.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE SECTION 09, TOWNSHIP 10 NORTH, RANGE 04 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

COORDINATE AND DIMENSION INFORMATION				
STATE PLANE ZONE:		GRID /GROUND COORDINATES:		TYPE:
NM-C		GROUND		STANDARD
HORIZONTAL DATUM:	VERTICAL DATUM:	ROTATION ANGLE:		MATCHES DRAWING UNITS
NAD83	NAVD88	0° 00' 00.00"		YES
CONTROL USED:		BASE POINT FOR SCALING AND/OR ROTATION:		
ALBUQUERQUE GEODETIC REFERENCE SYSTEM		N = 0 E = 0		
COMBINED SCALE FACTOR:		DISTANCE ANNOTATION:	ELEVATIONS VALID:	
GRID TO GROUND: 1.0003590236		GROUND	NO	
GROUND TO GRID: 0.9996411052		BEARING ANNOTATION:	ELEVATION TRANSLATION:	
		GRID	±0.00'	

RECORDING STAMP

Legal Description

A PARCEL OF LAND LYING AND SITUATE WITHIN SECTION 9, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AND IDENTIFIED AS A PORTION OF BLOCK EIGHTY-EIGHT (88), IN SNOW HEIGHTS, AS SAID BLOCK 88 IS SHOWN AND DESIGNATED ON PLAT OF "BLOCKS 43 TO 88, INCLUSIVE, OF SNOW HEIGHTS, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 4, 1953, IN PLAT BOOK D1, PAGE 105, TOGETHER WITH THE VACATED PORTION OF MENAUL BLVD. NE, AND JUAN TABO BLVD. NE (VACATION ORDINANCE NO. 1292), AND BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE COORDINATE SYSTEM GRID BEARINGS (NAD 1983-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE PARCEL OF LAND HEREIN DESCRIBED, BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF MENAUL BLVD NE, MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 5110" FROM WHENCE A TIE TO AGRS CONTROL MONUMENT "11-H21", BEARS S 86°47'58" W, A DISTANCE OF 223.35 FEET;

THENCE ALONG THE SOUTHEASTERLY LINE OF A 100 FOOT WIDE PUBLIC EASEMENT FROM SAID POINT OF BEGINNING ALONG N 48°19'30" E, 84.54 FEET TO AN ANGLE POINT;

THENCE N 50°19'06" E, A DISTANCE OF 979.14 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 5110";

THENCE S 00°18'27" E, A DISTANCE OF 16.53 FEET TO AN ANGLE POINT MARKED BY A MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°18'18" E, A DISTANCE OF 192.09 FEET TO AN ANGLE POINT MARKED BY A MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 00°41'12" E, A DISTANCE OF 500.39 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 4078"

THENCE N 89°33'23" W, A DISTANCE OF 175.00 FEET TO AN ANGLE POINT MARKED BY A MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 00°42'36" E, A DISTANCE OF 175.00 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR;

THENCE N 89°31'46" W, A DISTANCE OF 65.00 FEET TO AN ANGLE POINT MARKED BY A MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 00°28'14" E, A DISTANCE OF 72.00 FEET TO AN ANGLE POINT MARKED BY A MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°31'46" W, A DISTANCE OF 121.70 FEET TO AN ANGLE POINT MARKED BY A MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 00°28'14" W, A DISTANCE OF 72.00 FEET TO AN ANGLE POINT MARKED BY A MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°31'46" W, A DISTANCE OF 655.50 FEET TO THE POINT OF BEGINNING;

HAVING AN AREA OF 8.6106 ACRES MORE OR LESS, NOW COMPRISING TRACTS 1 AND 2, BLOCK 88, SNOW HEIGHTS ADDITION.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS

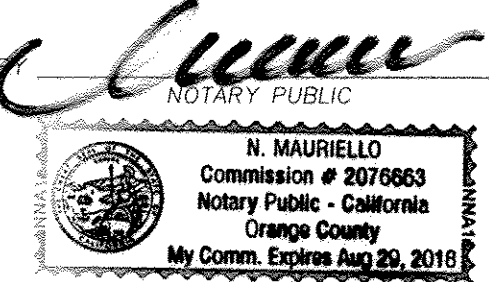
BY: MICHAEL B. EARL, MANAGER
FPA FOOTHILLS, LLC
A DELAWARE LIMITED LIABILITY COMPANY

DATE

Acknowledgment

STATE OF CALIFORNIA) SS
COUNTY OF ORANGE)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 3 DAY OF AUG, 2017 BY MICHAEL B. EARL, MANAGER, FPA FOOTHILLS, LLC, A DELAWARE LIMITED LIABILITY COMPANY.



INDEXING INFORMATION FOR COUNTY CLERK
OWNER FPA FOOTHILLS, LLC
SECTION 09, TOWNSHIP 10 N, RANGE 04 E,
SUBDIVISION SNOW HEIGHTS ADDITION
UPC 102105949430710307

Plat of
Tracts 1 and 2, Block 88
Snow Heights Addition
Section 09, Township 10 North, Range 04 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
July 2017

Project No. 1002445

Application No. 17DRB-70173

Utility Approvals

PNM *Lernardo Vigil* 8-22-17
NEW MEXICO GAS COMPANY *Chris Kelly* 8-21-17
QWEST CORPORATION D/B/A CENTURYLINK QC *[Signature]* 10/25/2017
COMCAST *[Signature]* 8/21/17

City Approvals

Steven M. Riechert P.S. 8/10/17
CITY SURVEYOR

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT DATE
A.B.C.W.U.A. DATE
PARKS AND RECREATION DEPARTMENT DATE
AMAFCA DATE
CITY ENGINEER DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO
N.M.P.S. No. 11993

DATE

PRECISION
SURVEYS, INC.

OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113
505.856.5700 PHONE
505.856.7900 FAX

Sheet 1 of 2

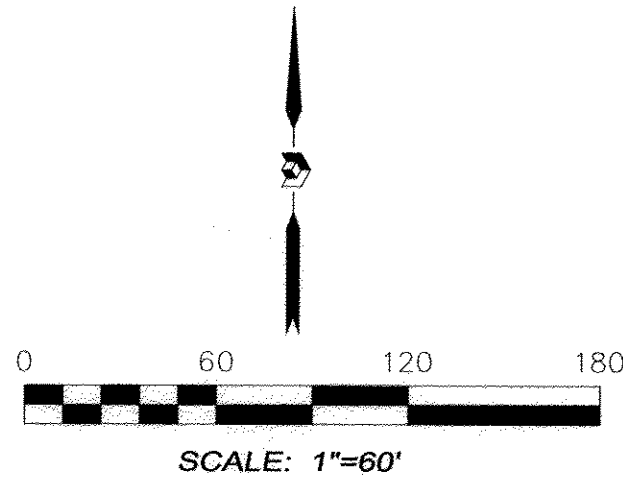
179068P

Plat of
Tracts 1 and 2, Block 88
Snow Heights Addition

Section 09, Township 10 North, Range 04 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
July 2017

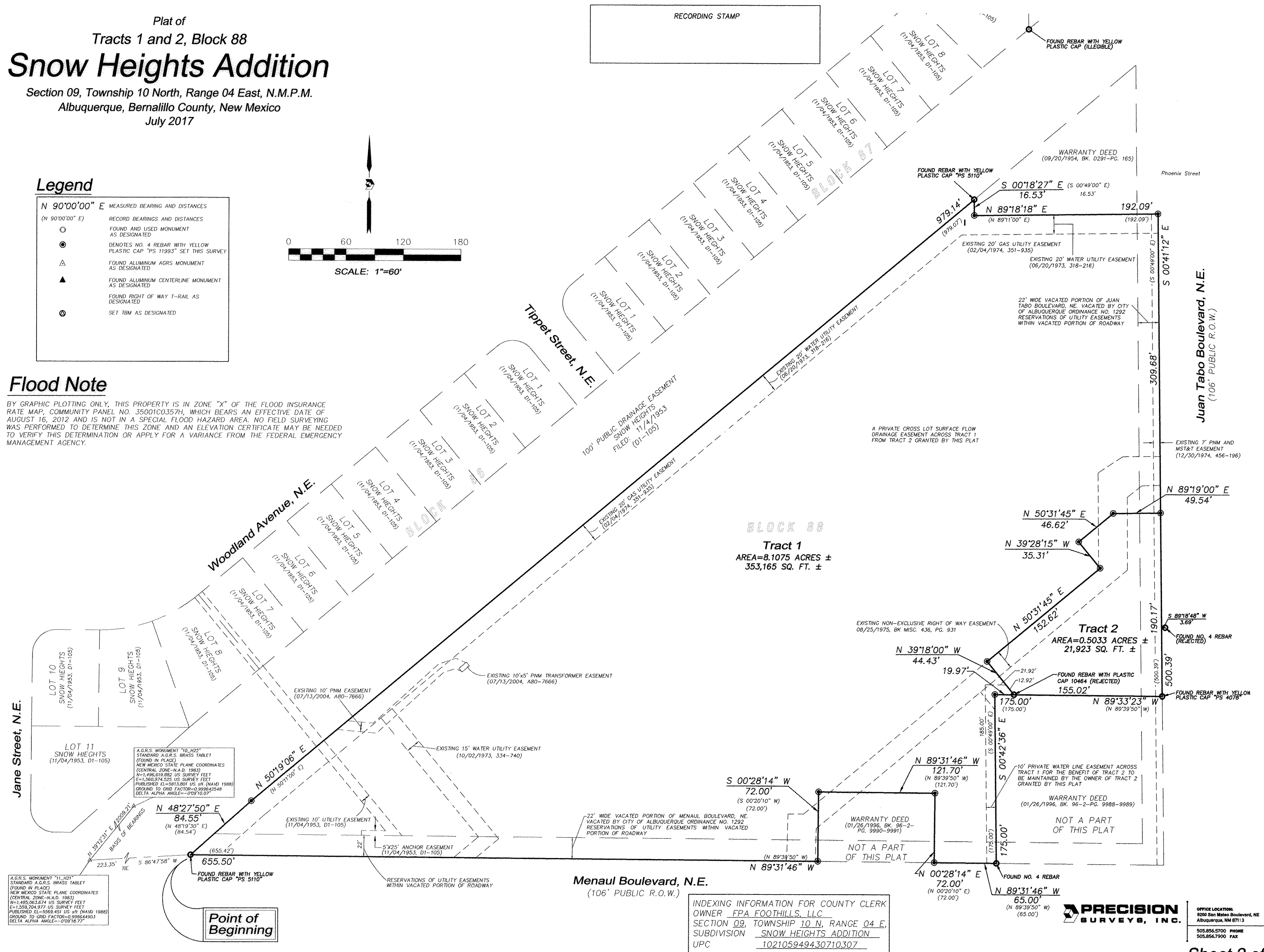
Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
(N 90°00'00" E)
- RECORD BEARINGS AND DISTANCES
 - FOUND AND USED MONUMENT AS DESIGNATED
 - DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
 - △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED
 - ▲ FOUND ALUMINUM CENTERLINE MONUMENT AS DESIGNATED
 - FOUND RIGHT OF WAY T-RAIL AS DESIGNATED
 - SET TBM AS DESIGNATED



Flood Note

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0357H, WHICH BEARS AN EFFECTIVE DATE OF AUGUST 16, 2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE, AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



INDEXING INFORMATION FOR COUNTY CLERK
OWNER FPA FOOTHILLS, LLC
SECTION 09, TOWNSHIP 10 N., RANGE 04 E.
SUBDIVISION SNOW HEIGHTS ADDITION
UPC 102105949430710307

PRECISION
SURVEYS, INC.

OFFICE LOCATION:
9200 San Mateo Boulevard, N.E.
Albuquerque, NM 87113
505.856.5700 PHONE
505.856.7900 FAX