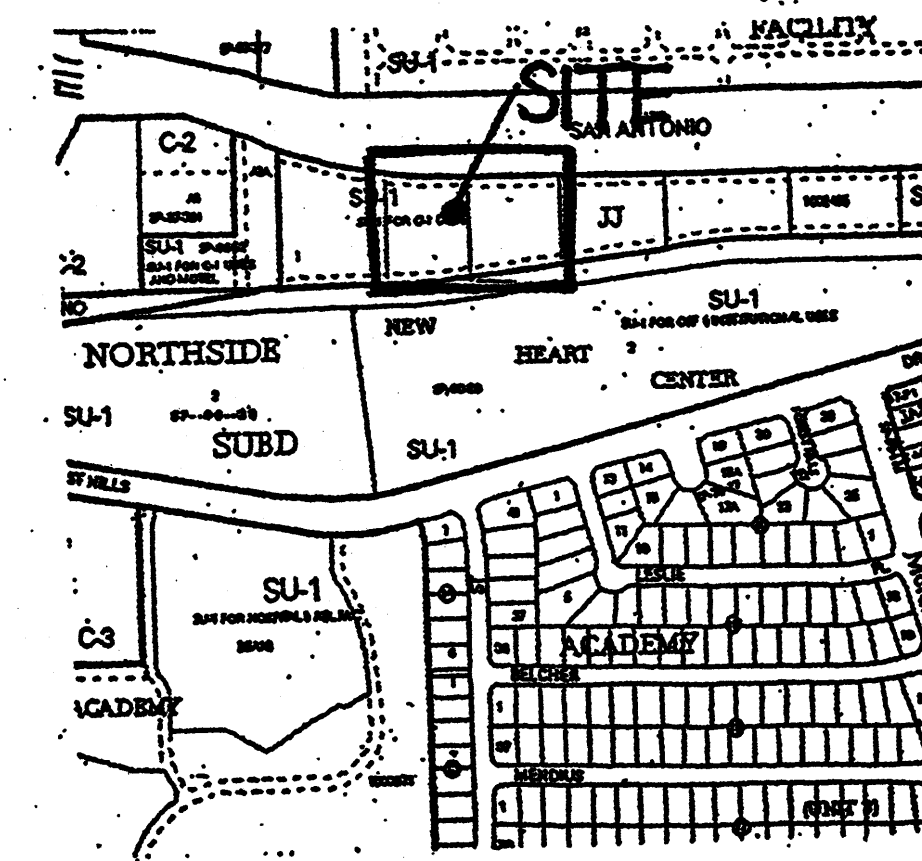


# DRB - AMENDED SITE PLAN FOR SUBDIVISION LOTS 2 & 3 JJ SUBDIVISION

## DRB - SITE PLAN FOR BUILDING PERMIT LOTS 2 & 3 JJ SUBDIVISION



VICINITY MAP  
N.T.S.

### INDEX TO DRAWINGS:

- CS - COVER SHEET
- SDP - AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION LOTS 2 & 3
- SD-1 - PREVIOUSLY APPROVED 08 EPC-00147-EPC SDP-S
- DRB SP - SITE PLAN FOR BUILDING PERMIT
- DRB SPDS - SITE PLAN DETAIL SHEET FOR BUILDING PERMIT
- DRB EVEL - BUILDING & STRUCTURAL ELEVATIONS
- DRB LP - LANDSCAPING PLAN
- DRB TLC - TRAFFIC CIRCULATION LAYOUT
- CON GD - CONCEPTUAL GRADING PLAN
- CON UP - CONCEPTUAL UTILITY PLAN 2
- ENV-1 - LFG ABATEMENT SYSTEM PLAN
- ENV-2 - LFG ABATEMENT SYSTEM ELEVATIONS & SECTION A
- ENV-3 - LFG ABATEMENT SYSTEM DETAILS

### DESIGN CRITERIA:

- ZONING: SU-1 FOR C-1
- TYPE OF OCCUPANCY: B
- TYPE OF CONSTRUCTION: II-N
- GROSS SQUARE FOOTAGE: 33,734 SQ. FT.

### PROJECT LOCATION:

LOT 2 JJ SUBDIVISION  
SAN ANTONIO DRIVE NE  
ALBUQUERQUE, NEW MEXICO

### LESSOR:

TIM OTT  
5620 VENICE AVE NE, SUITE J  
ALBUQUERQUE, NEW MEXICO 87113

### FOR:

NEW MEXICO OFFICE OF STATE ENGINEER  
121 TIJERAS NE  
ALBUQUERQUE, NEW MEXICO 87502

### ARCHITECT:

MIKE DEL MASTRO  
5620 VENICE AVE NE, SUITE J  
ALBUQUERQUE, NEW MEXICO 87113

### CONTRACTOR:

ISBS, LLC  
5620 VENICE AVE NE, SUITE J  
ALBUQUERQUE, NEW MEXICO 87113

JOB NO:

DATE:	1 MAY 2008
	02 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008
	04 NOVEMBER 2008
	10 NOVEMBER 2008
	24 NOVEMBER 2008

Sheet Title  
**DRB COVER SHEET**  
Drawn By: PESHAWA, S.A.  
Checked By: T. OTT

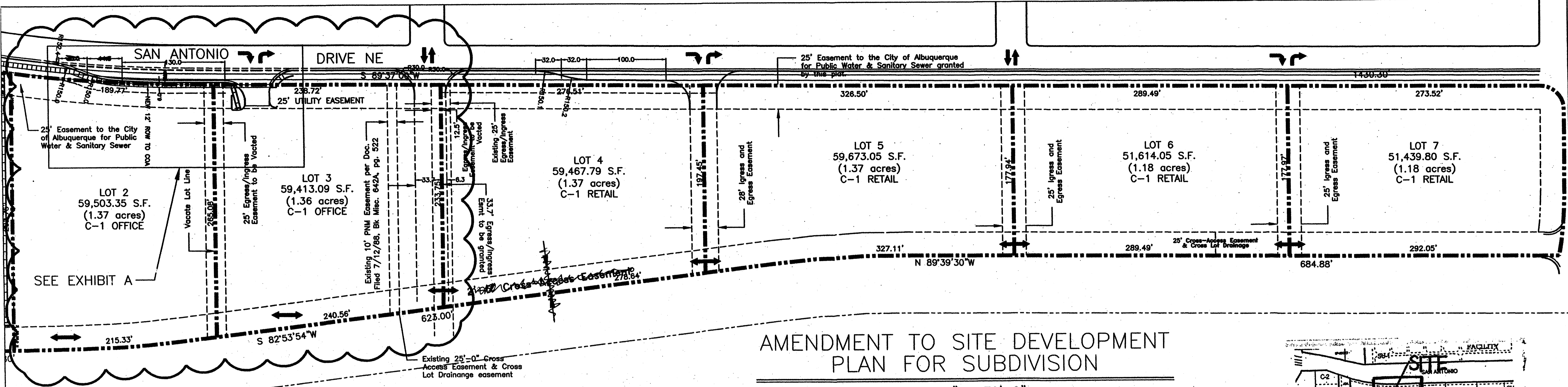
TIM OTT / DEVELOPER  
6620 VENICE AVE NE, SUITE G  
ALBUQUERQUE, NM 87113  
(505) 290-4475

MICHAEL DEL MASTRO / ARCHITECT  
7908 DELWOOD RD. NE (505) 888-4829  
ALBUQUERQUE, NEW MEXICO 87110

Project Name  
**STATE ENGINEERING  
ALBUQUERQUE BUILDING**  
ALBUQUERQUE, NEW MEXICO

SHEET NO.  
**DRB CS**

PROJECT # 1002455



AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

Scale 1" = 70'-0"

LEGAL DESCRIPTION

LOTS 2 & 3  
JJ SUBDIVISION  
BEING A REPLAT OF TRACT A-3-B,  
J GROUP ADDITION, TRACT 1,  
NEW HEART CENTER & TRACT 1,  
NORTHSIDE SUBDIVISION  
WITHIN PROJECTED SECTION 25  
TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
ZONING: SU-1 FOR C-1 USES

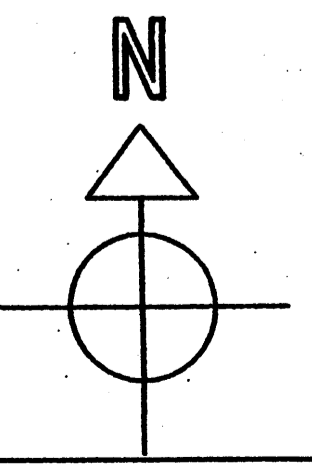
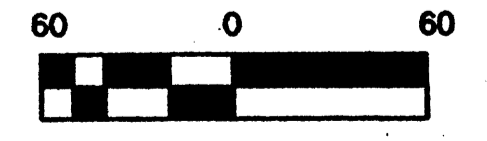
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY  
NEW MEXICO

NOTES: LOTS 2 & 3

BUILDING HEIGHT NOT TO EXCEED 34 FT.  
MAXIMUM FLOOR-AREA RATIO: 30.0%  
BUILDING MINIMUM SETBACKS:  
FRONT: 25.0 FT.  
SIDE: 5.0 FT.  
REAR: 5.0 FT.

TRAFFIC FLOW NOTES

- ↔ - TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- ↘ - RIGHT TURN ONLY INTO LOT
- ↙ - RIGHT TURN ONLY OUT OF LOT
- ↕ - TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW



GENERAL DESIGN CRITERIA:

1. ALL STRUCTURES ON LOTS SHALL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
2. DESIGN OF BUILDING SHALL BE A COMPATIBLE STYLE, MATERIALS AND COLORS THROUGHOUT LOTS 2 - 7.
3. PARKING SHALL NOT EXCEED THE REQUIRED PLUS 10%.
4. ACCESSIBLE (ADA) COMPLIANT PARKING SHALL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY. REQUIRED PARKING SHALL BE DISTRIBUTED ON AT LEAST TWO SIDES OF A BUILDING.
5. ALL SIDEWALKS SHALL HAVE A MINIMUM OF 6 FEET CLEAR WALKWAY AREA PROTECT BY PERMANENT CAR STOPS.
6. FRONT ENTRY SIDEWALK AREAS SHALL BE COVERED OR SHADED BY TREES.
7. ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS AND THRU VEHICULAR AREAS.
8. PATIO AREAS FOR EMPLOYEES SHALL BE PROVIDED AND SHADED.
9. BICYCLE RACKS SHALL BE PROVIDED PER COA CODE.
10. ALL LANDSCAPING SHALL BE PER COA CODE. NO GREATER THAN 20% OF LANDSCAPED AREA SHALL BE HIGH WATER USE AND ALL APPLICABLE WATER CONSERVATION MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION SHALL BE ADHERED TO. PLANTS SHALL BE CLUSTERED TO ALLOW WATER HARVESTING. CLUSTERING WILL CONCENTRATE GROUND COVERAGE IN PLANTED AREAS WITH DECORATIVE NON-PLANT GROUND COVER IN NON-PLANTED AREAS. ALL LANDSCAPING SHALL BE IN COMPLIANCE WITH THE LANDFILL GAS ABATEMENT PLAN.
11. PERIMETER WALLS SHALL COMPLY WITH PLANNING DEPARTMENT GUIDELINES AT TIME OF BUILDING PERMIT APPLICATION NOT TO EXCEED 3'-4" HIGH.
12. ALL ROOF TOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS SHALL MATCH STRUCTURE OR ROOF COLOR.
13. FRONT FACADES SHALL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THE ENTIRE FRONT FACADE OF THE STRUCTURE.
14. LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
15. ALL REFUSE ENCLOSURES SHALL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
16. MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN SHALL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
17. BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
18. SITE AND BUILDING LIGHTING SHALL BE FULLY SHIELDED AND COMPLY WITH SECTION 14-16-3-9 OF THE COA ZONING CODES AND WITH THE NM NIGHT SKY PROTECTION ACT. MAXIMUM LIGHTPOLE HEIGHT SHALL BE 18'-0".
19. 3'-0" HIGH BOLLARD ILLUMINATION (AT LEAST ONE) AT CURB RAMPS ENTERING A CROSSWALK, BE ONE DESIGN TYPE, FULLY SHIELDED.
20. ALL CROSSWALKS TO BE TEXTURED WITH COLORED CONCRETE OR BRICK PAVING.

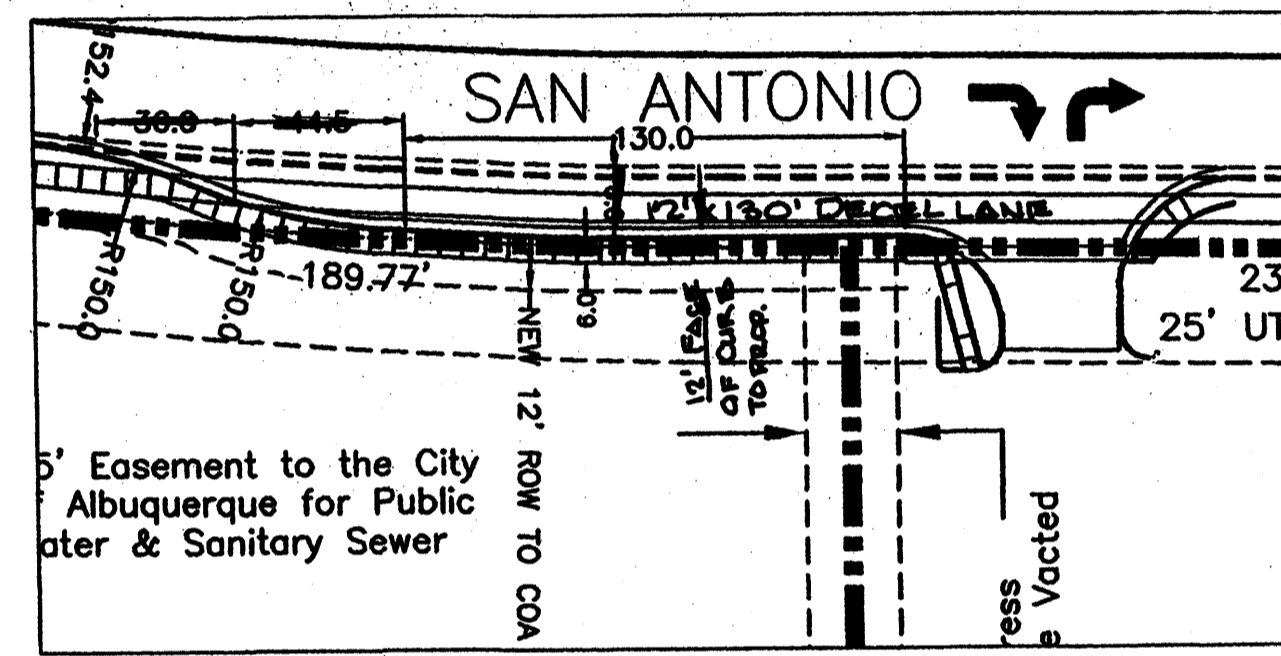
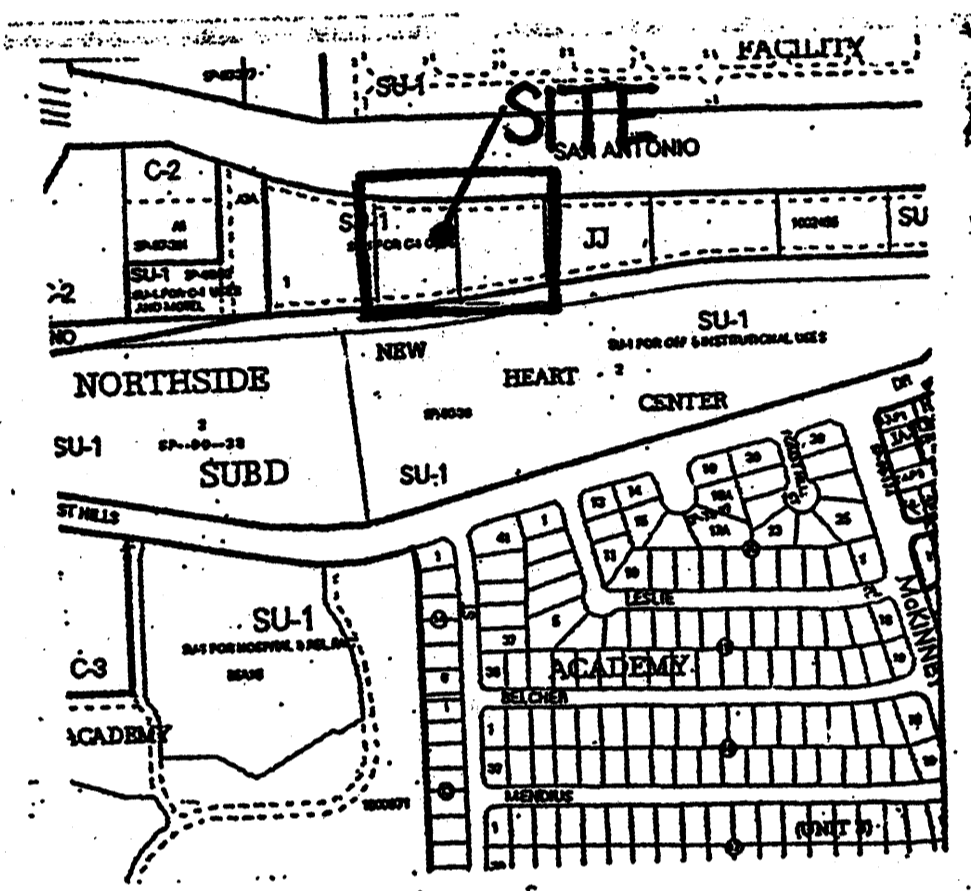


EXHIBIT A

Scale 1" = 50'-0"



VICINITY MAP

"The developers of this site are required to follow the most current version of the City of Albuquerque Interim Guidelines for development within city designated landfill buffer zones. A review and approval of the Site Plan(s) is required. The proposed construction, design drawings, and a certification will be required by the Environmental Health Department (EHD), Environmental Services Division."

"The subject property is located on an existing landfill. Due to the subject property being on a landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within City - Designated Landfill Buffer Zones") shall be consulted prior to development of the site."

PROJECT NUMBER: 1002455  
Application Number: \_\_\_\_\_

Is an Infrastructure List required? (X) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

- |  |          |
|--|----------|
| <i>[Signature]</i>                           | 11-20-08 |
| Traffic Engineering, Transportation Division | Date     |
| <i>[Signature]</i>                           | 11-12-08 |
| Utilities Department                         | Date     |
| <i>[Signature]</i>                           | 11/2/08  |
| Parks and Recreation Department              | Date     |
| <i>[Signature]</i>                           | 11-12-08 |
| City Engineer                                | Date     |
| N/A  | Date     |
| Environmental Health Department              | Date     |
| N/A  | Date     |
| Solid Waste Management                       | Date     |
| <i>[Signature]</i>                           | 04-01-09 |
| DRB Chairperson, Planning Department         | Date     |

JOB NO. \_\_\_\_\_

DATE: 1 MAY 2008

REVISIONS

02 JULY 2008
09 OCTOBER 2008
27 OCTOBER 2008
04 NOVEMBER 2008
10 NOVEMBER 2008

Sheet Title  
AMENDED SITE PLAN FOR SUBDIVISION

Checked By: T. OTT  
Drawn By: PESHJALAI, S.A.

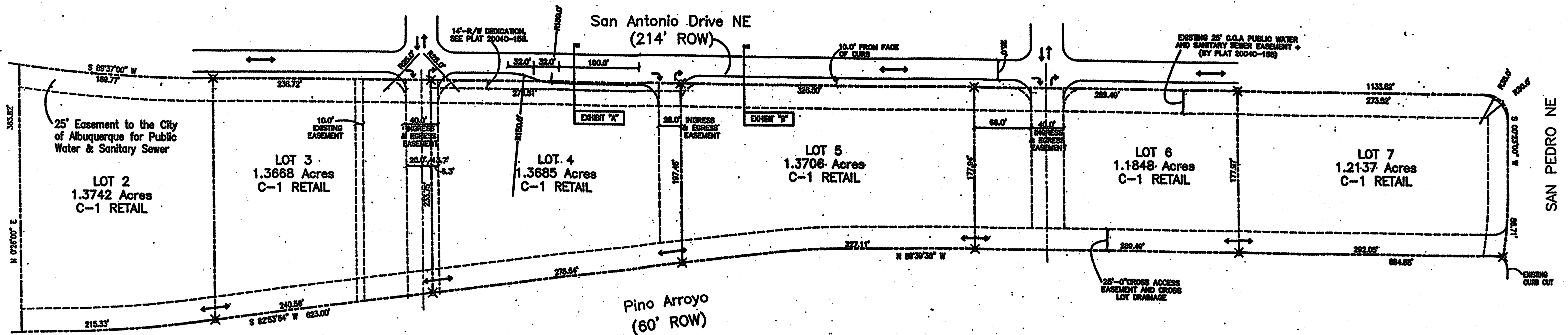
TIM OTT / DEVELOPER  
6820 VANCE AVE NE, SUITE G  
ALBUQUERQUE, NM 87118  
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT  
7008 DELWOOD RD. NE / (505) 888-8829  
ALBUQUERQUE, NEW MEXICO 87110

Project Name  
STATE ENGINEERING  
ALBUQUERQUE BUILDING  
ALBUQUERQUE, NEW MEXICO

SHEET NO.  
SDP

SEE APPROVED SITE PLAN FOR SUBDIVISION PROJECT NO. 1002455 CONTINUATION



**AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION**  
SCALE: 1"=60'-0"

"The subject property is located on an existing landfill. Due to the subject property being on a landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within City - Designated Landfill Buffer Zones") shall be consulted prior to development of the site."

"THE DEVELOPERS OF THIS SITE ARE REQUIRED TO FOLLOW THE MOST CURRENT VERSION OF THE CITY OF ALBUQUERQUE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES. A REVIEW AND APPROVAL OF THE SITE PLAN(S), THE PROPOSED CONSTRUCTION, DESIGN DRAWINGS, AND A CERTIFICATION OF CONSTRUCTION WILL BE REQUIRED BY THE ENVIRONMENTAL HEALTH DEPARTMENT (EHD), ENVIRONMENTAL SERVICES DIVISION."

**LEGAL DESCRIPTION**

LOTS 2 THRU 7  
JJ SUBDIVISION  
BEING A REPLAT OF TRACT A-3-B,  
J GROUP ADDITION, TRACT 1,  
NEW HEART CENTER & TRACT 1,  
NORTHSIDE SUBDIVISION

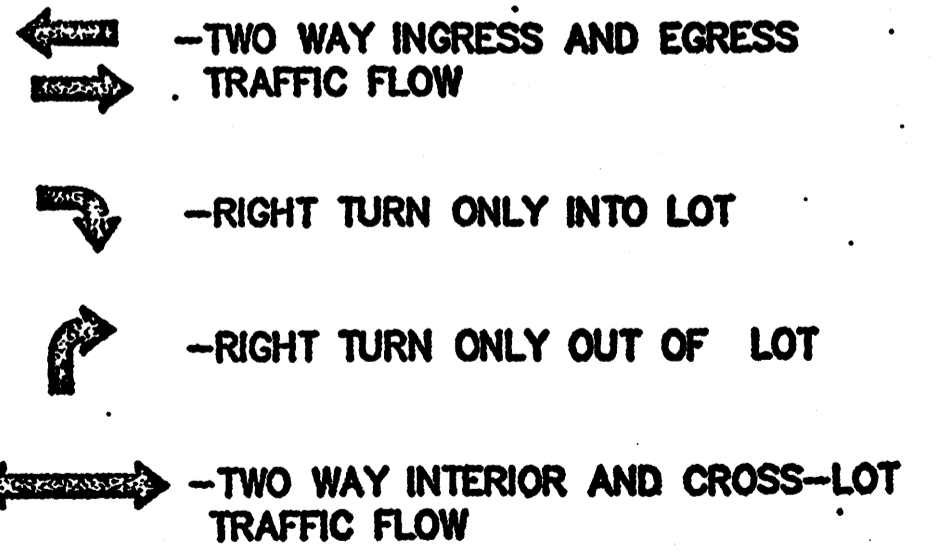
WITHIN PROJECTED SECTION 25  
TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY  
NEW MEXICO

**NOTES: LOTS 2 THRU 7**

BUILDING HEIGHT NOT TO EXCEED 34 FT.  
MAXIMUM FLOOR-AREA RATION: 20.0%  
BUILDING MINIMUM SETBACKS:  
FRONT: 25.0 FT  
SIDE: 5.0 FT  
REAR: 5.0 FT

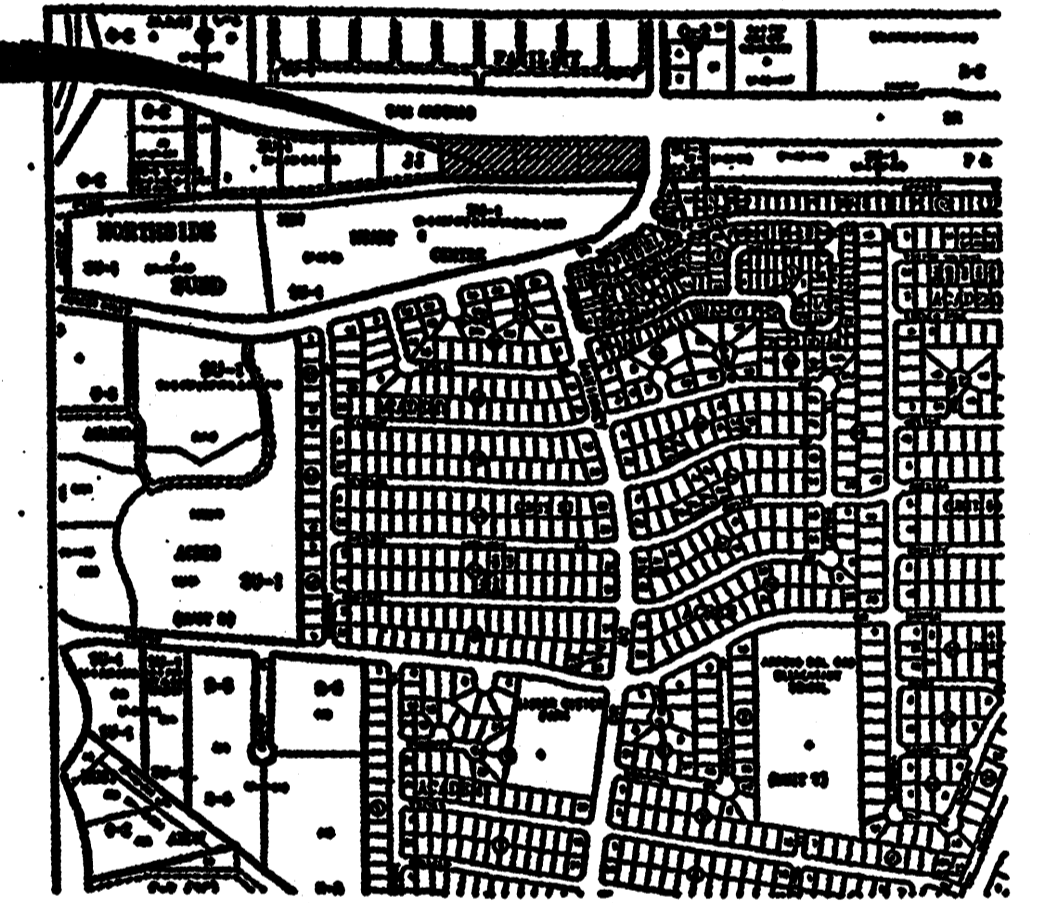
**TRAFFIC FLOW NOTES**



**GENERAL DESIGN CRITERIA:**

1. ALL STRUCTURES ON LOTS WILL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
2. DESIGN OF BUILDING SHALL BE A COMPATIBLE STYLE, MATERIALS AND COLORS THROUGHOUT LOTS 2-7.
3. PARKING WILL NOT EXCEED THE REQUIRED PLUS 10%.
4. ACCESSIBLE (ADA) COMPLIANT PARKING WILL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY. AND REQUIRED PARKING SHALL BE DISTRIBUTED ON AT LEAST TWO SIDES OF A BUILDING.
5. ALL SIDEWALKS WILL HAVE A MINIMUM OF 6 FEET CLEAN WALKWAY AREA PROTECTED BY PERMANENT CAR STOPS.
6. FRONT ENTRY SIDEWALK AREAS WILL BE COVERED OR SHADED BY TREES.
7. ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS AND THRU VEHICULAR AREAS.
8. PATIO AREAS FOR EMPLOYEES WILL BE PROVIDED AND SHADED.
9. BICYCLE RACKS WILL BE PROVIDED PER COA CODE.
10. ALL LANDSCAPING WILL BE PER COA CODE. NO GREATER THAT 20% OF LANDSCAPED AREA WILL BE LOW WATER USE AND ALL APPLICABLE WATER CONSERVATIONS MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION WILL BE ADHERED TO. 80% MINIMUM GROUND COVERAGE WITH LOW WATER USE OF NATIVE PLANTS.
11. SCREEN WALLS WILL NOT TO EXCEED 3'-4" HIGH, AND SHALL MATCH STUCCO COLOR OF BUILDINGS.
12. ALL ROOF TOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS WILL MATCH STRUCTURE OR ROOF COLOR.
13. FRONT FACADES WILL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THERE ENTIRE FRONT FACADE OF THE STRUCTURE.
14. LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
15. ALL REFUSE ENCLOSURES WILL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
16. MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN WILL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
17. BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
18. SITE AND BUILDING LIGHTING WILL COMPLY WITH COA CODES AND REGULATIONS, FULLY SHIELDED, ONE DESIGN TYPE, FOOTING SHALL MATCH STUCCO COLOR, AND 18'-0" HIGH MAXIMUM.
19. 3'-0" HIGH BOLLARD ILLUMINATION (AT LEAST ONE) AT CURB RAMPS ENTERING A CROSSWALK, BE ONE DESIGN TYPE, FULLY SHIELDED.
20. ALL CROSSWALKS TO BE TEXTURED WITH COLORED CONCRETE OR BRICK PAVING.

**SITE LOCATION**



**LOCATION MAP**  
ZONE ATLAS: E-18-2

PROJECT NUMBER: 1002455  
APPLICATION NUMBER: \_\_\_\_\_

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATE \_\_\_\_\_ AND THE FINDING S AN CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>[Signature]</i>	6-11-08
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	6-11-08
UTILITIES DEVELOPMENT	DATE
<i>[Signature]</i>	6-11-08
PARKS AND RECREATIONAL DEPARTMENT	DATE
<i>[Signature]</i>	6-11-08
CITY ENGINEER	DATE
<i>[Signature]</i>	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>[Signature]</i>	DATE
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	6-11-08
DRB/CHAIRPERSON, PLANNING DEPARTMENT	DATE



**AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION**  
1"=60'-0"

**AFRA Construction & Design**  
2501 Yale Blvd, Suite 102  
Albuquerque, New Mexico 87106  
Tel: 505.998.8128  
Tel: 505.998.5129

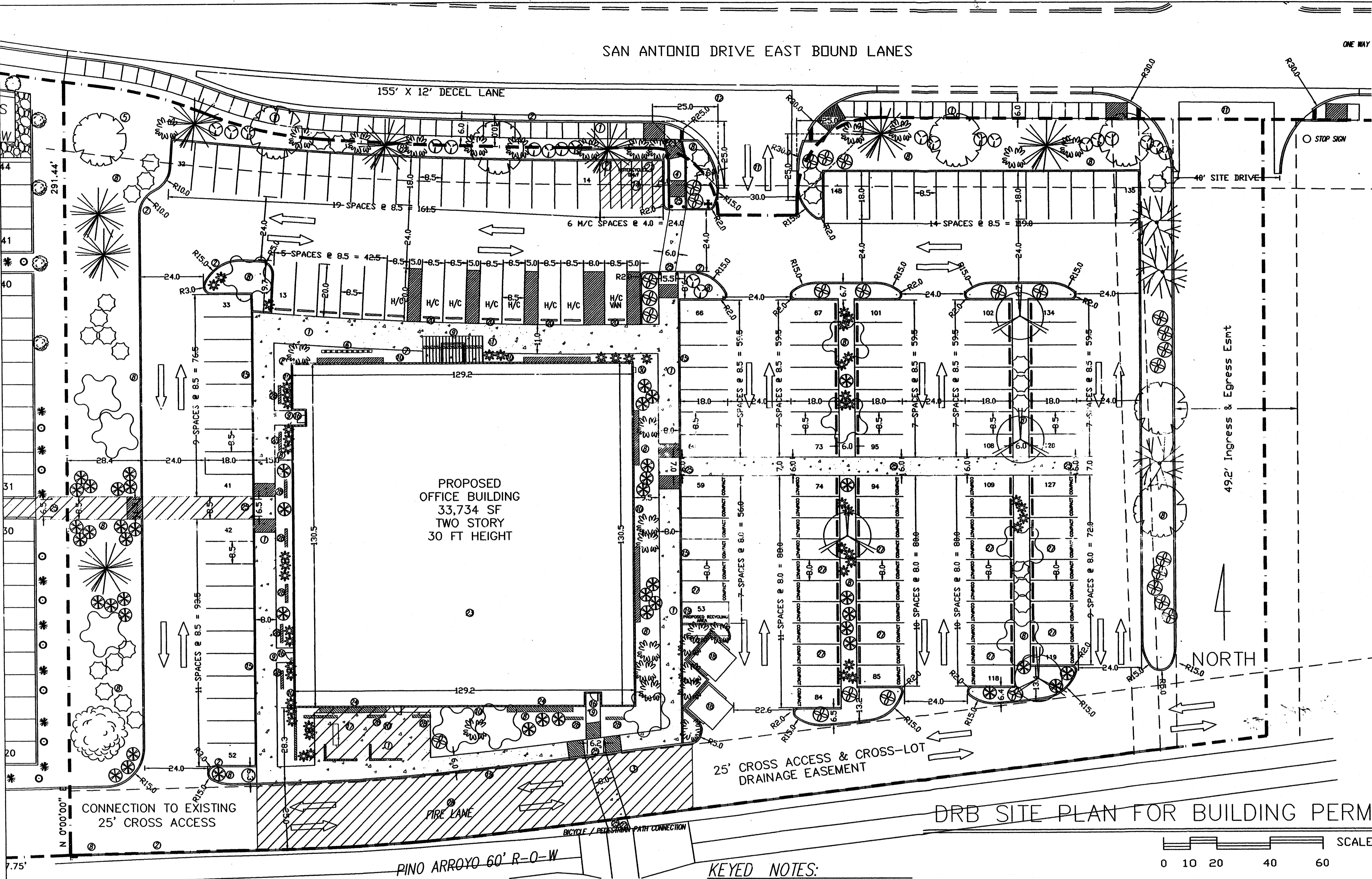
**SAN ANTONIO OFFICE & RETAIL**  
ALBUQUERQUE, NM

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

SD-1  
6.9.08

SAN ANTONIO DRIVE EAST BOUND LANES

ONE WAY



VICINITY MAP  
N.T.S.

PROJECT NUMBER: 1002455  
Application Number: 70446

Is an Infrastructure List required? (X) Yes ( ) No  
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

*[Signature]* 12-03-08  
Traffic Engineering, Transportation Division Date

*[Signature]* 12-3-08  
Public Development Date

*[Signature]* 12/3/08  
Parks and Recreation Department Date

*[Signature]* 4/1/09  
City Engineer Date

*[Signature]* 4/3/09  
Environmental Health Department Date

*[Signature]* 4/1/09  
Solid Waste Management Date

*[Signature]* 4/3/09  
City Chairperson, Planning Department Date

DRB SITE PLAN FOR BUILDING PERMIT

NOTE:  
1. ALL RAMPS WITHIN THE SITE HAVE A MAX. SLOPE OF 1:12  
2. ALL ITEMS IN CITY ROW TO BE COMPLETED UNDER SEPARATE WORK ORDER.

**GENERAL NOTES:**

LEGAL DESCRIPTION: LOT 2, JJ SUBDIVISION CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES SECOND FLOOR: 16,867 SF NET LEASABLE SF = 57 SPACES 141 TOTAL REQ.

PROVIDED: 151 TOTAL SPACES (93 REG., 47 COMPACT, 8 HANDICAP) (23% OF SPACES ARE FOR COMPACT CARS)

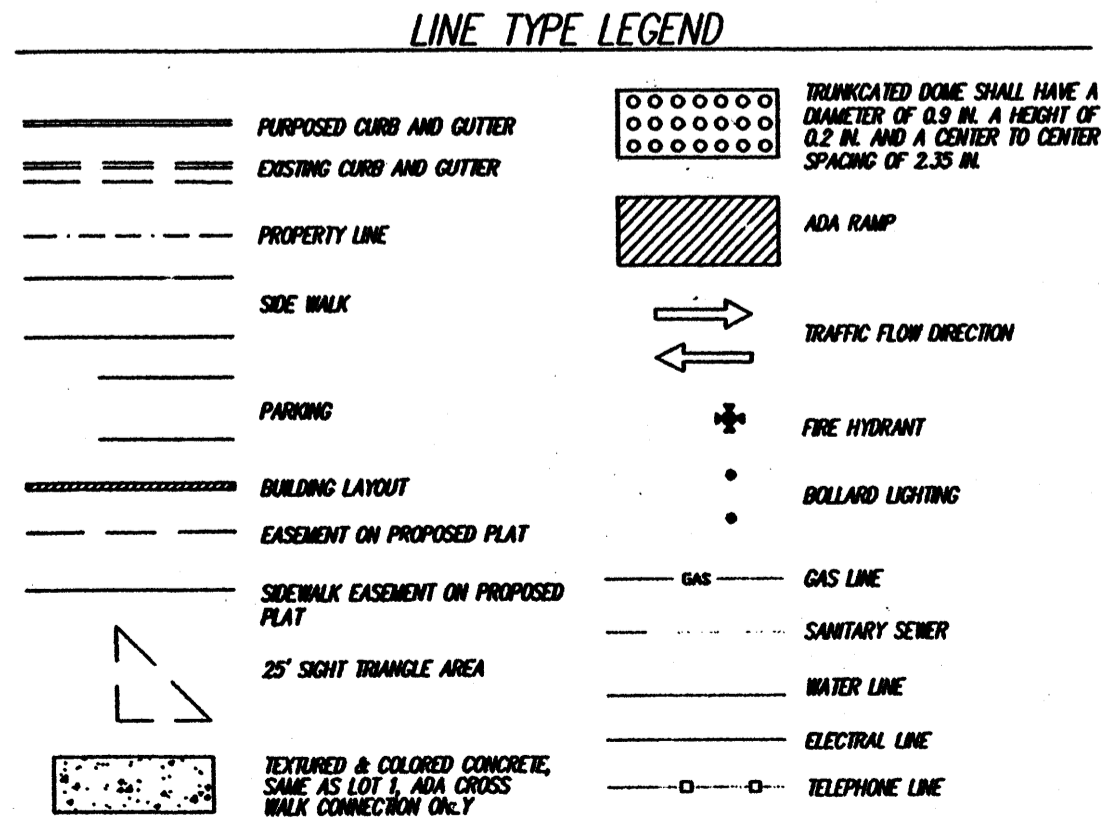
PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spaces). PROVIDED: 7 SPACES, 1 VAN ACCESSIBLE

PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (with 101 to 300 req. parking spaces). PROVIDED: 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spaces). PROVIDED: 8 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDIC ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.



KEYED NOTES:

- NEW CONCRETE SIDEWALK PER COA STD 2430.
- NEW CONCRETE CURB & GUTTER PER COA STD 2415.
- REMOVE LOT LINE-PER PLAT.
- NEW FIRE HYDRANT LOCATION.
- AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL, SEE DRB ELEV SHEET FOR DETAIL SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
- BICYCLE RACK, MINIMUM 8 SPACES.
- FLAG POLE
- LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM.
- SECURITY LIGHTING AT ALL ENTRANCES.
- EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROJECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL.
- DRIVEWAY PER CITY OF ALBUQUERQUE STD 2426.
- EXISTING FIRE HYDRANT, TO BE RELOCATED.
- EXISTING FIRE HYDRANT.
- MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE.
- NEW TURN DOWN SIDEWALK AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING.
- CYPHER LOCK ON ENTRANCE.
- EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
- DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS.
- PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP SIGNAGE LOCATION.
- MOTORCYCLE SIGNAGE LOCATION.
- PINO ARROYO BICYCLE & PEDESTRIAN TRAIL.
- ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE.
- LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM.
- BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE.
- NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED.
- ALL COMPACT SPACES TO BE LABELED ON PAVEMENT.
- SHADING WALLS.
- STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL.
- KNOX BOX LOCATION PER FIRE MARSHALL.
- ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SDP.

JOB NO:

DATE: 1 MAY 2007

02 JULY 2008
09 OCTOBER 2008
27 OCTOBER 2008
04 NOVEMBER 2008
10 NOVEMBER 2008
24 NOVEMBER 2008

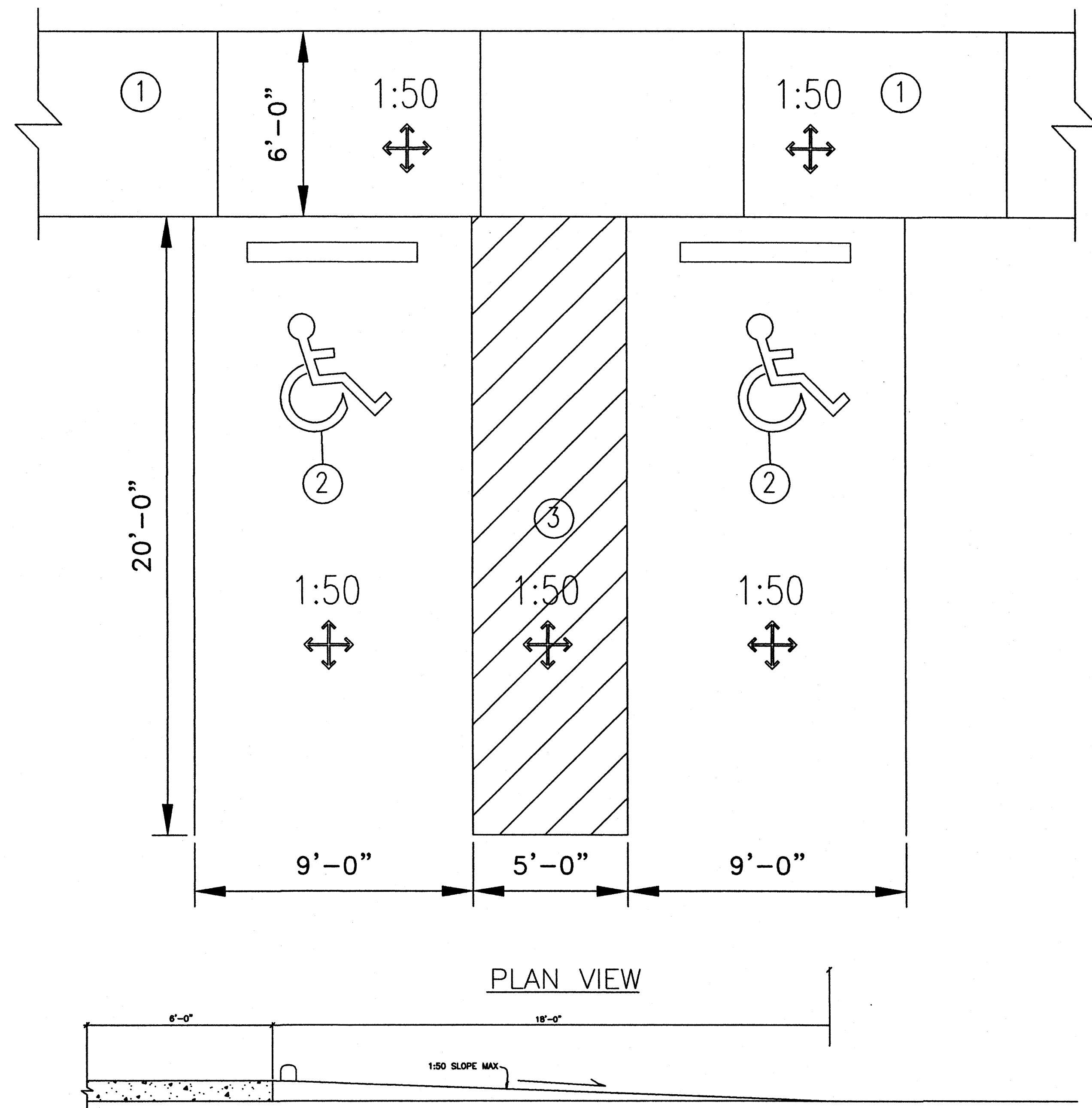
Sheet Title  
**DRB SITE PLAN FOR BUILDING PERMIT**  
Checked By: T. OTT  
From By: PESHUVA, S.A.

TIM OTT / DEVELOPER  
6630 VENCE AVE NE SUITE G  
ALBUQUERQUE, NM 87110  
(505) 280-4678

MICHAEL DEL MASTRO / ARCHITECT  
7808 DELWOOD RD. NE (505) 885-4628  
ALBUQUERQUE, NEW MEXICO 87110

Project Name  
**STATE ENGINEERING,  
ALBUQUERQUE BUILDING**  
ALBUQUERQUE, NEW MEXICO

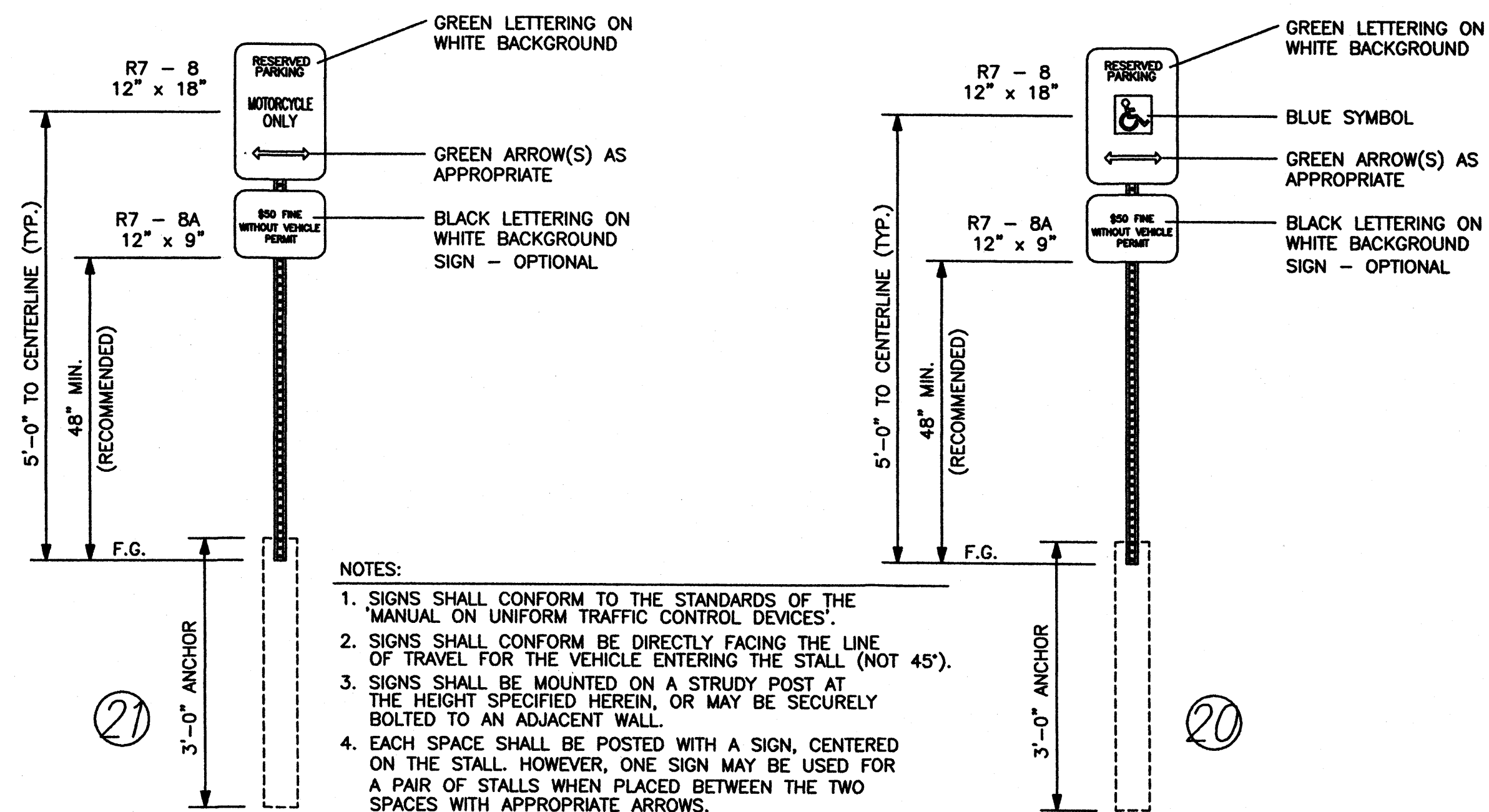
SHEET NO.  
**DRB SP**



PLAN VIEW

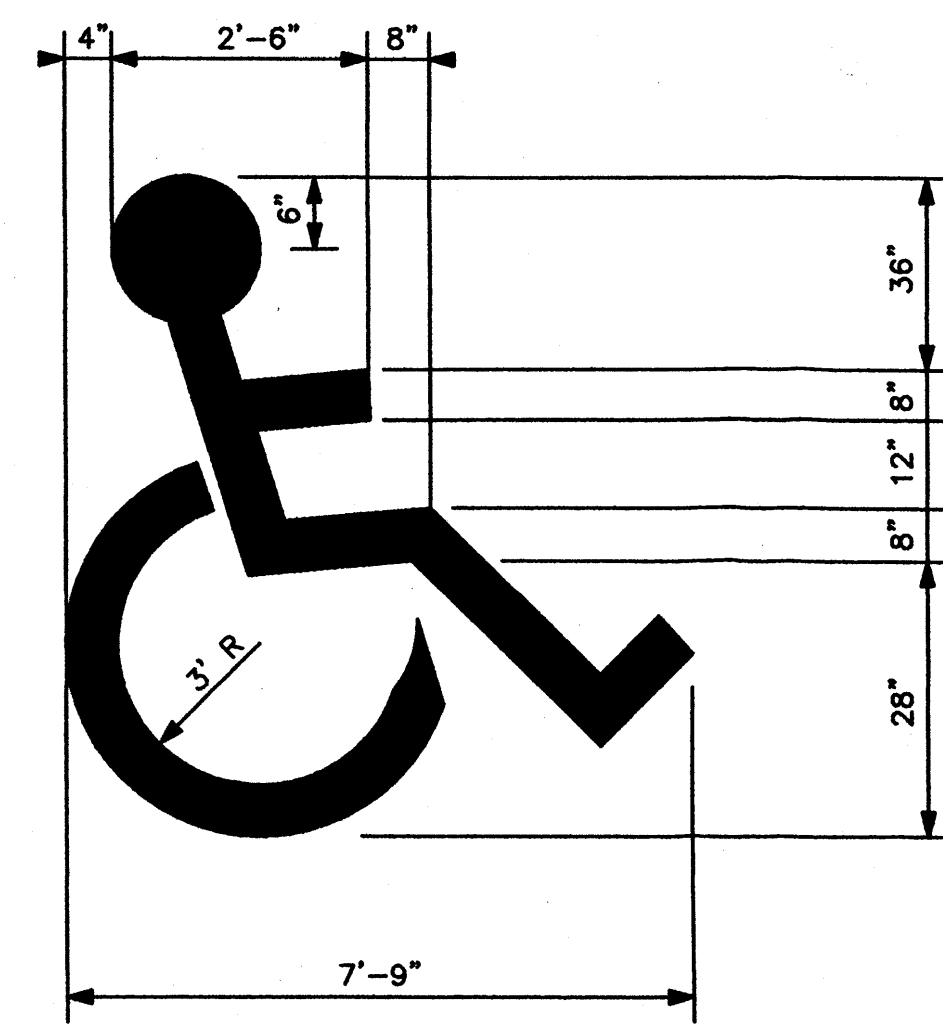
- KEYED NOTES:
1. 6" SIDEWALK X 4" THK. WITH HEAVY BROOM FINISH.
  2. ACCESSIBLE PARKING SYMBOL.
  3. TYPICAL PAINTED PARKING SPACE LINE 4" WIDE.

ENLARGED ACCESSIBLE PARKING, TYPICAL  
SCALE: N.T.S.



- NOTES:
1. SIGNS SHALL CONFORM TO THE STANDARDS OF THE 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES'.
  2. SIGNS SHALL CONFORM BE DIRECTLY FACING THE LINE OF TRAVEL FOR THE VEHICLE ENTERING THE STALL (NOT 45°).
  3. SIGNS SHALL BE MOUNTED ON A STRUDY POST AT THE HEIGHT SPECIFIED HEREIN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
  4. EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE USED FOR A PAIR OF STALLS WHEN PLACED BETWEEN THE TWO SPACES WITH APPROPRIATE ARROWS.
  5. 40" MIN. FROM FACE OF ADJACENT CURB OR

ACCESSIBLE SIGN  
SCALE: N.T.S.



ACCESSIBLE PARKING SYMBOL  
SCALE: N.T.S.

JOB NO.	
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	27 OCTOBER 2008
	04 NOVEMBER 2008
	10 NOVEMBER 2008
	24 NOVEMBER 2008

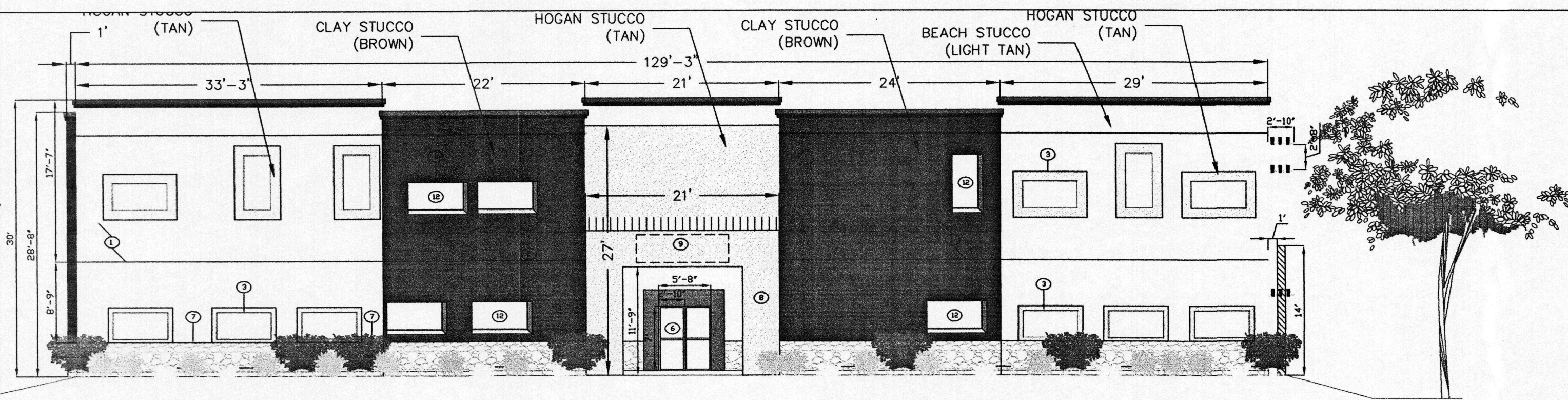
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DRB DETAILS SHEET  
FOR BUILDING PERMIT  
Drawn By: PESLUKAI, S.A. Checked By: T. OTT

TM OTT / DEVELOPER  
6520 VENCE AVE NE SUITE G  
ALBUQUERQUE, NM 87110  
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MICHAEL DEL MAESTRO / ARCHITECT  
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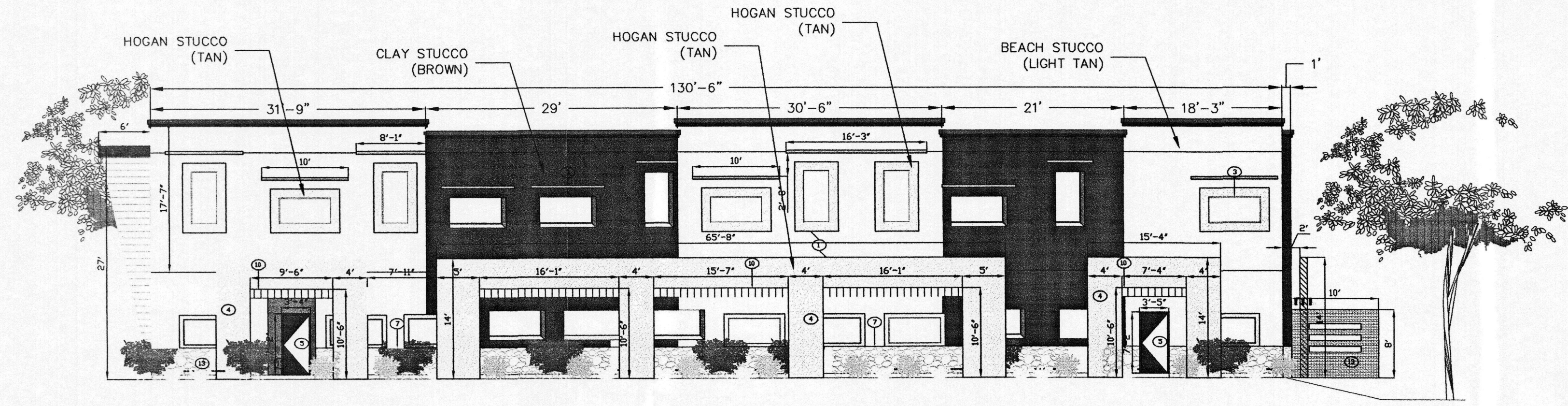
Project Name  
STATE ENGINEERING  
ALBUQUERQUE BUILDING  
ALBUQUERQUE, NEW MEXICO

SHEET NO.  
DRB DS



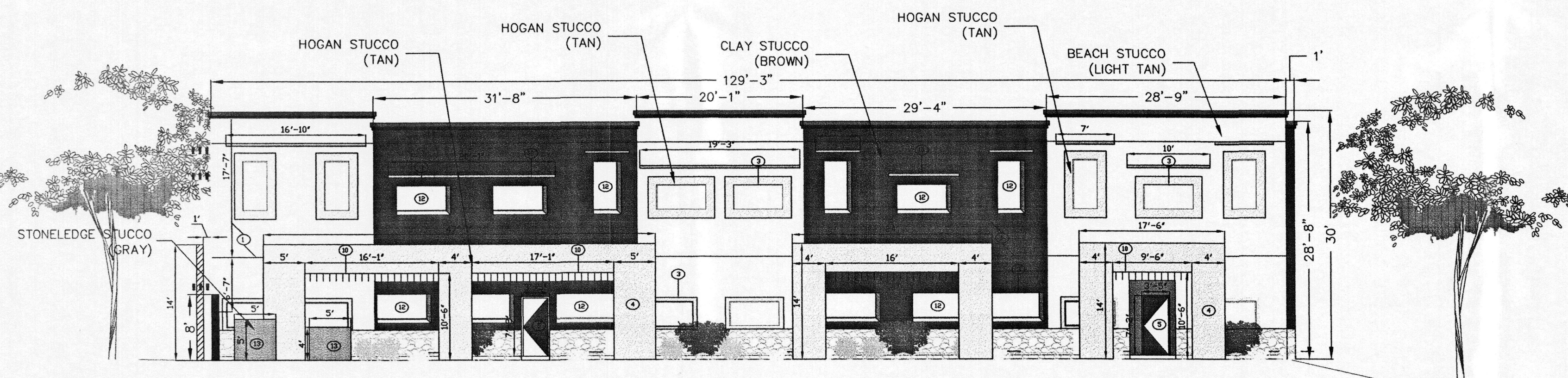
NORTH ELEVATION

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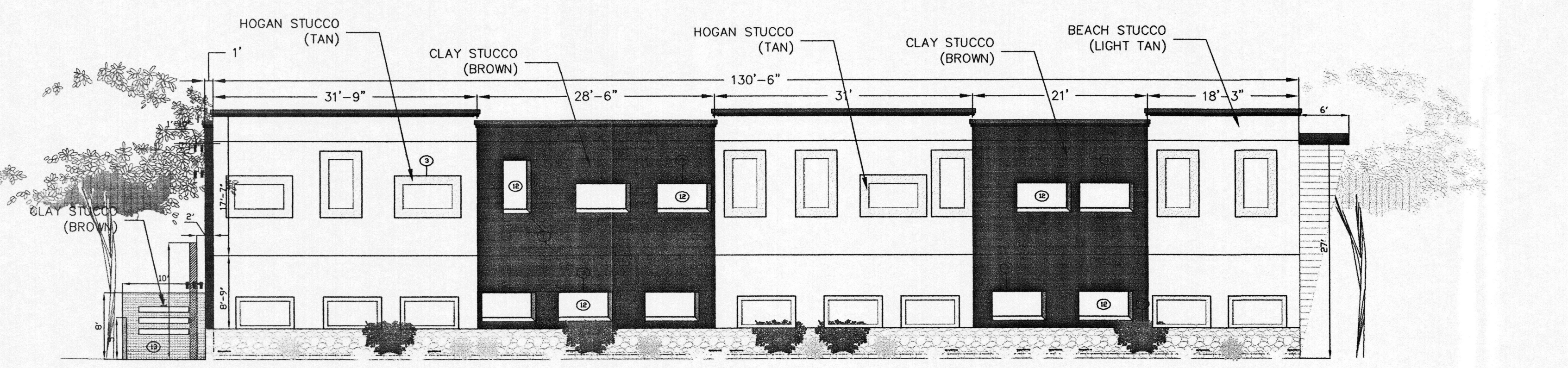
WEST ELEVATION

Scale 3/32"=1'-0"



SOUTH ELEVATION

Scale 3/32"=1'-0"



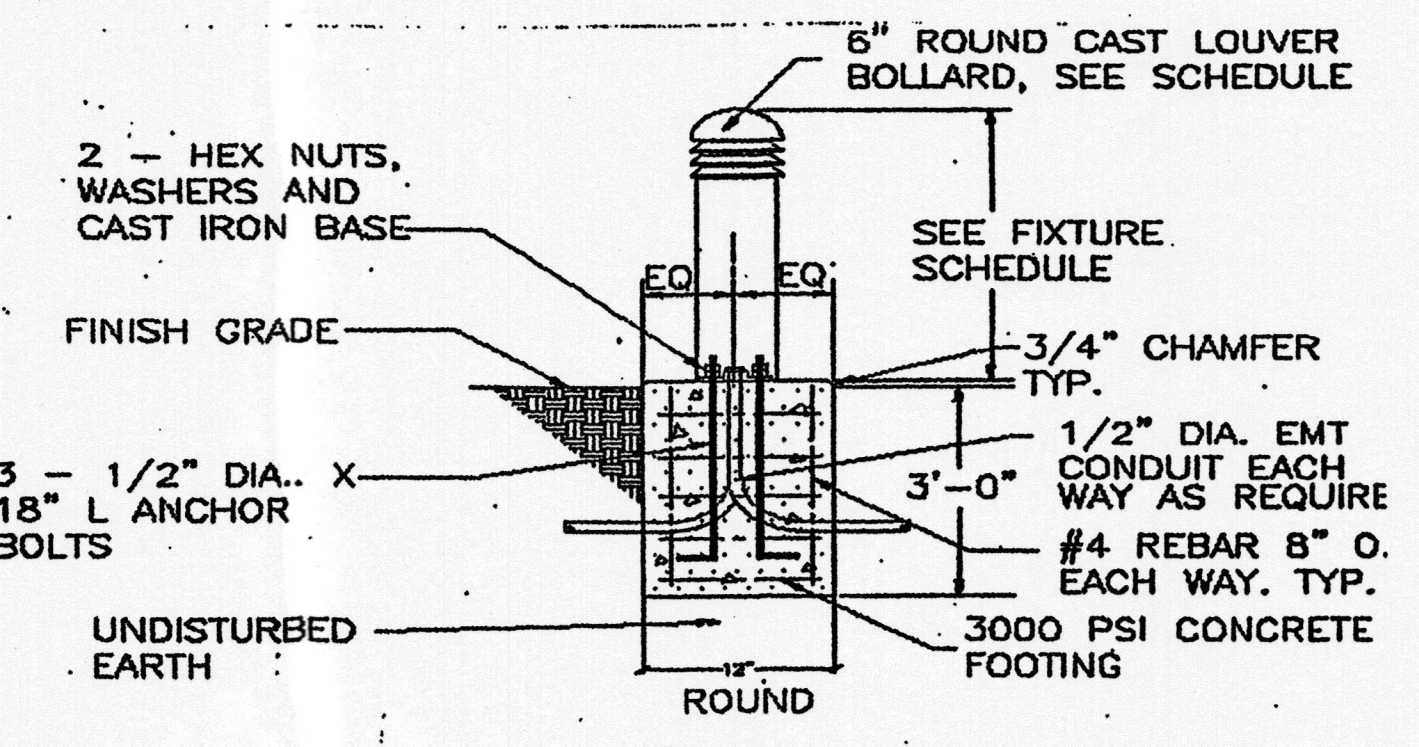
EAST ELEVATION

Scale 3/32"=1'-0"

KEYED NOTES

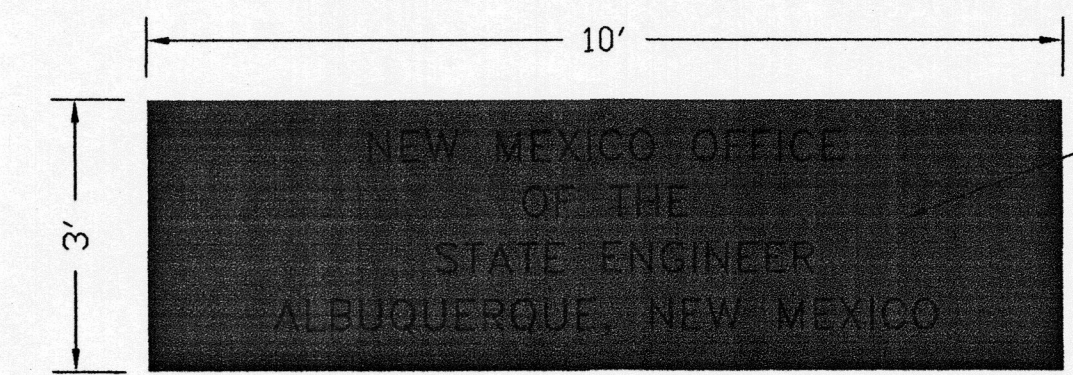
- ① 2 COAT STUCCO SYSTEM; BEACH, CLAY, & HOGAN
- ② EXPANSION JOINT, STUCCO THICKNESS
- ③ DOUBLE PANE GLAZING ALUMINUM FRAME WINDOW, WHITE
- ④ SHADING WALLS, TAN
- ⑤ HOLLOW METAL DOOR, TAN
- ⑥ 2 SETS OF ALUMINUM STORE FRONT AUTOMATIC SLIDING DOOR, WHITE
- ⑦ STONE FACE, NATURAL BROWN STONE
- ⑧ FRONT ENTRANCE CANOPY
- ⑨ WALL MOUNTED AGENCY SIGNAGE, NOT LIGHTING
- ⑩ EXTERIOR WINDOW AWNINGS, METAL, TAN
- ⑪ AGENCY SIGNAGE
- ⑫ RECESSED WINDOWS
- ⑬ PATIO SCREENING WALLS, STUCCO, STONELEDGE (GRAY)

"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."



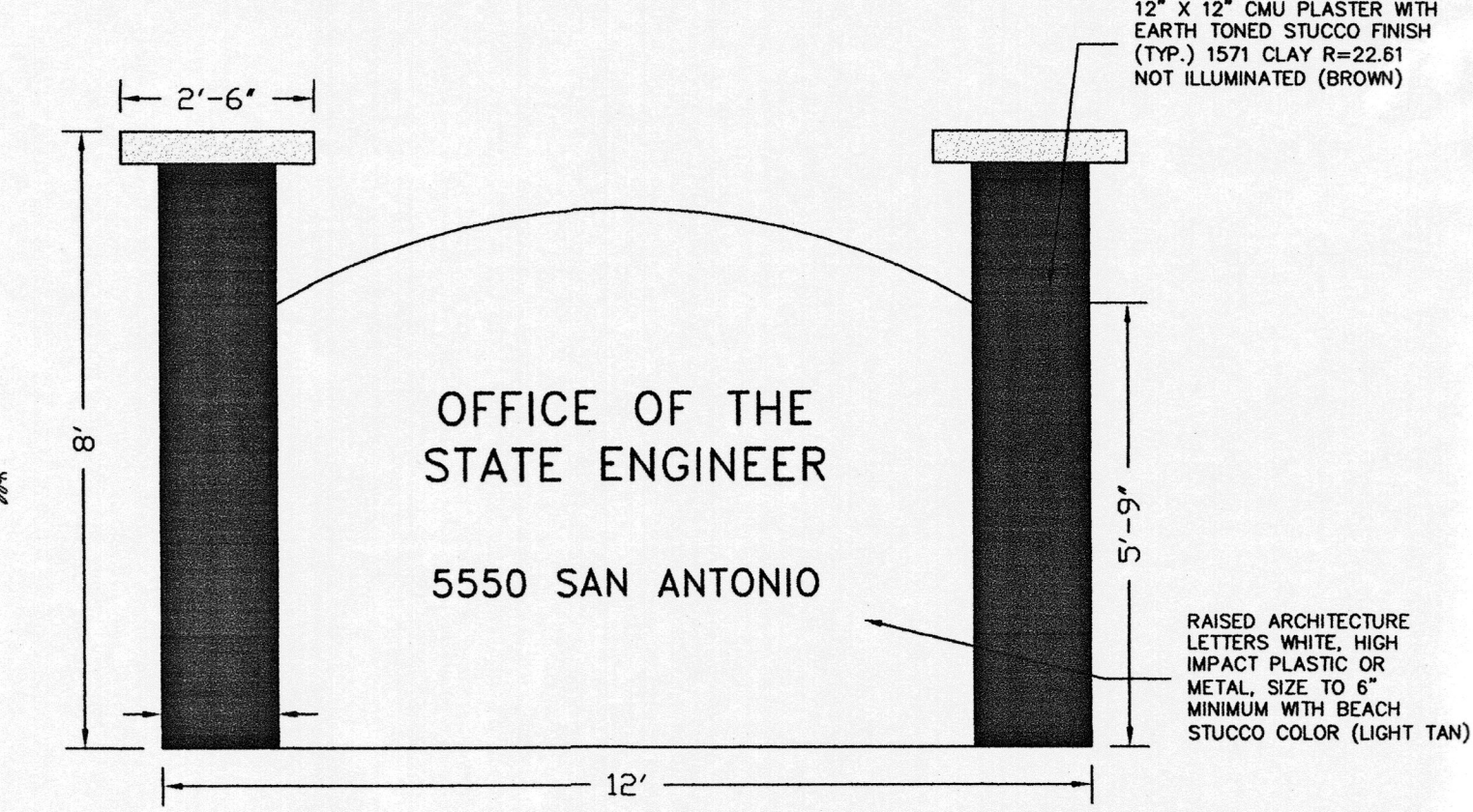
BOLLARD DETAIL

R-SCALE

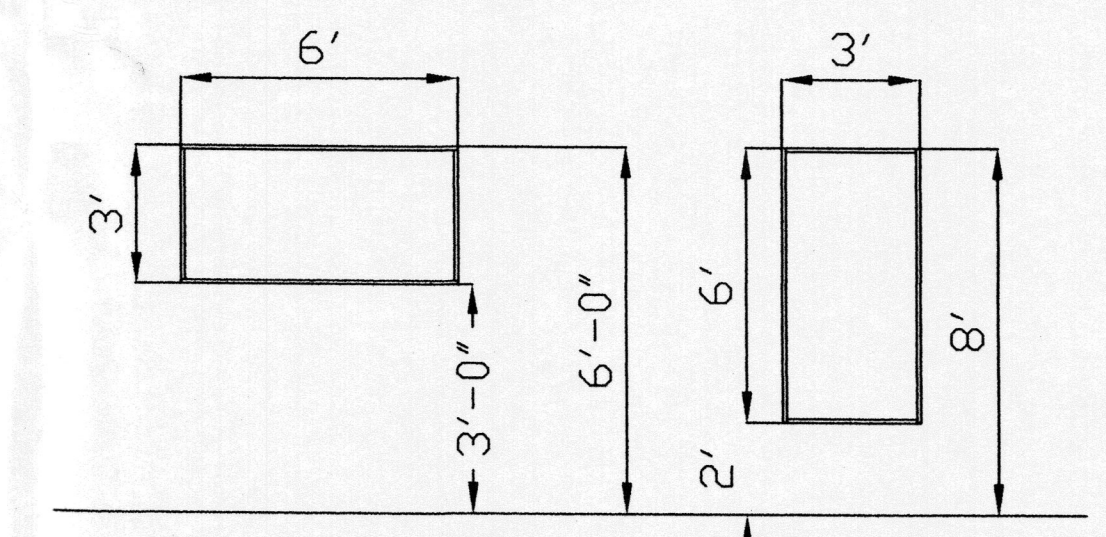


⑨ TYPICAL WALL MOUNT SIGN

SCALE: NTS

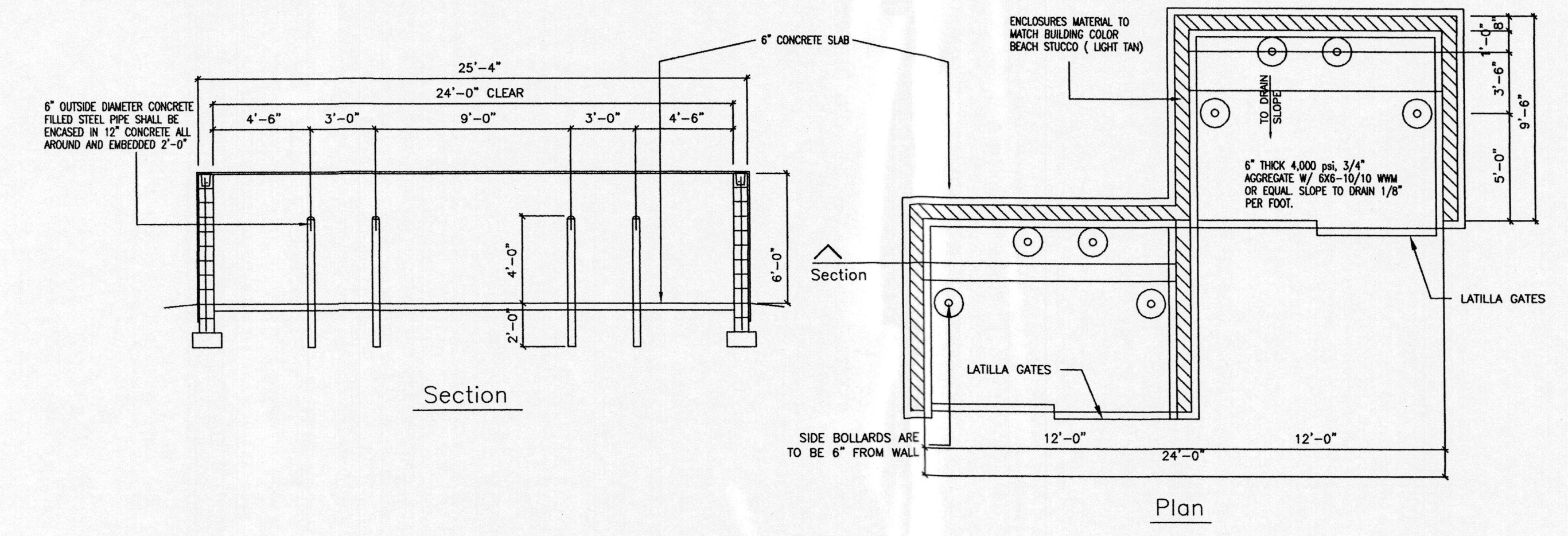


⑪ SEE ECP SP NOTE 5 FOR LOCATION OF SIGNAGE. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO DR A MINIMUM OF 50% CONTRAST SHALL BE ACHIEVED BETWEEN THE GRAPHICS AND BACKGROUND.



TYPICAL - ALUMINUM STORE FRONT WINDOW WITH MULLIONS 1/2" FIXED, 1 3/4" x 5 3/8" FRAME GLAZED W/TINTED INSULATED, DOUBLE PANE PROVIDE VENTILATION BLINDS FOR ALL WINDOWS

- GENERAL NOTES:
- 1. GLAZING CONTRACTOR TO VERIFY ALL DIMENSIONS.
  - 2. U - VALUE WINTER NIGHT, U=0.49; R=2.04.
  - 3. U - VALUE SUMMER DAY, U=0.57; R=1.75.
  - 4. TOTAL SQUARE FOOT FOR EACH WINDOW IS 18.
  - 5. STUCCO: EL REY, ACRYLIC FINISH - CLASSIQUE R-VALUE CLAY 1571, LRV=22.61 R-VALUE YEGA 21.31, LRV=21.31 OR EQUIVALENT
  - 6. ALL CANOPIES TOPS AT 4'-0" BELOW PARAPET.
  - 7. AGENCY BUILDING SIGN FACE AREA NOT TO EXCEED 60 SF.



Refuse & Recycling Enclosure Details

SCALE: NTS

JOB NO.	
DATE:	1 MAY 2008
	02 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008
	04 NOVEMBER 2008
	10 NOVEMBER 2008
	24 NOVEMBER 2008

Sheet Title  
DRB ELEVATIONS FOR BUILDING PERMIT  
Drawn By: RESHAKA, S.A.  
Checked By: T. OTT

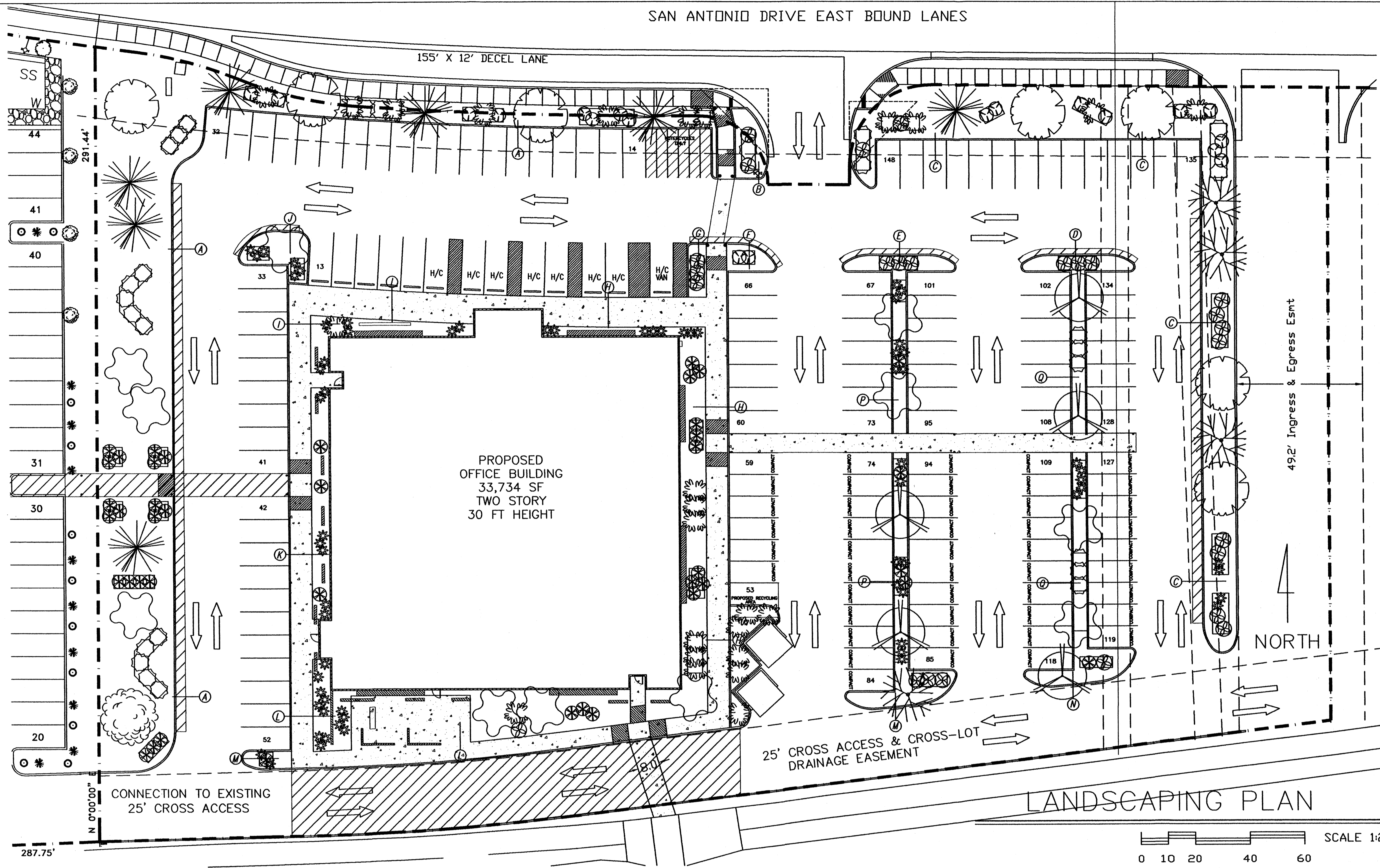
TIM OTT / DEVELOPER  
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(505) 250-4875

MICHAEL DEL MASTRO / ARCHITECT  
7908 DELWOOD RD NE (505) 880-8929  
ALBUQUERQUE, NEW MEXICO 87110

Project Name  
STATE ENGINEERING  
ALBUQUERQUE BUILDING  
ALBUQUERQUE, NEW MEXICO

SHEET NO.  
DRB ELEV

SAN ANTONIO DRIVE EAST BOUND LANES



GENERAL LANDSCAPE DATA:

- TOTAL SITE AREA ..... 119,257 S.F.
- TOTAL BUILDING AREA (FOOTPRINT)..... 16,867 S.F.
- NET LOT AREA ..... 102,390 S.F.

LANDSCAPE REQUIREMENTS:

- NET LOT AREA ..... 102,390 S.F.
- LANDSCAPE AREA REQUIRED  
NET LOT AREA X 15 % ..... 15,358 S.F.
- LANDSCAPE AREAS PROVIDED
 

AREA A	11,263 S.F.
AREA B	219 S.F.
AREA C	6,050 S.F.
AREA D	155 S.F.
AREA E	155 S.F.
AREA F	124 S.F.
AREA G	120 S.F.
AREA H	1,773 S.F.
AREA I	441 S.F.
AREA J	194 S.F.
AREA K	171 S.F.
AREA L	1,757 S.F.
AREA M	76 S.F.
AREA N	194 S.F.
AREA O	204 S.F.
AREA P	867 S.F.
AREA Q	918 S.F.

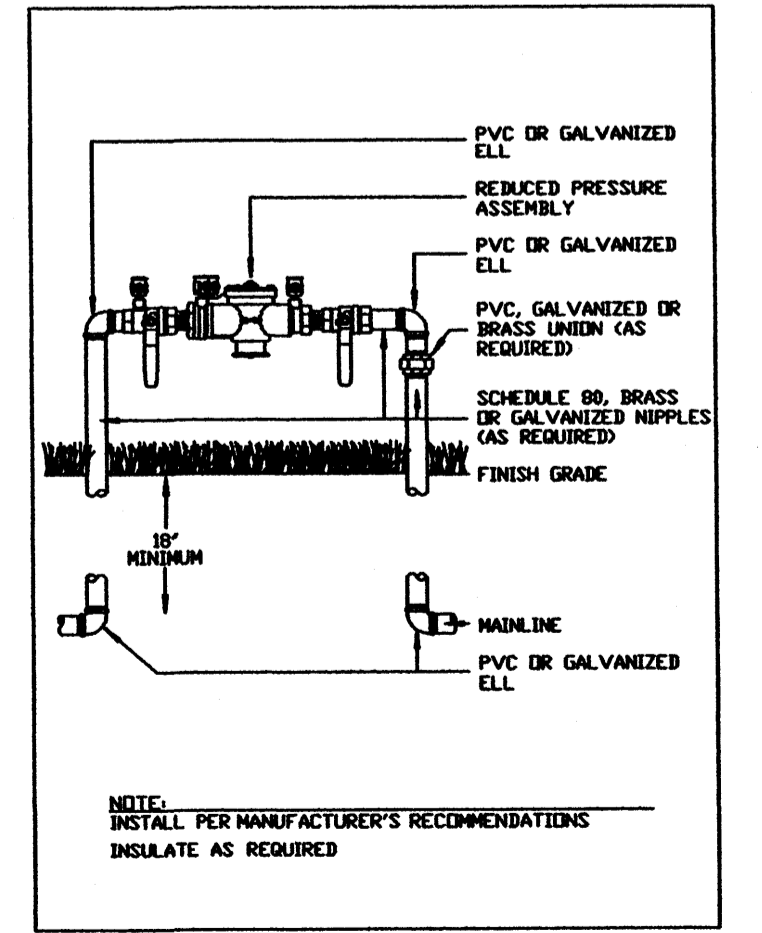
TOTAL LANDSCAPE AREA PROVIDED ..... 24,682 S.F.

- IRRIGATION SYSTEM ..... LAYOUT BY LANDSCAPE CONTRACTOR
- LOW FLOW DRIP SYSTEM
- BUBBLER SYSTEM

GENERAL NOTES:

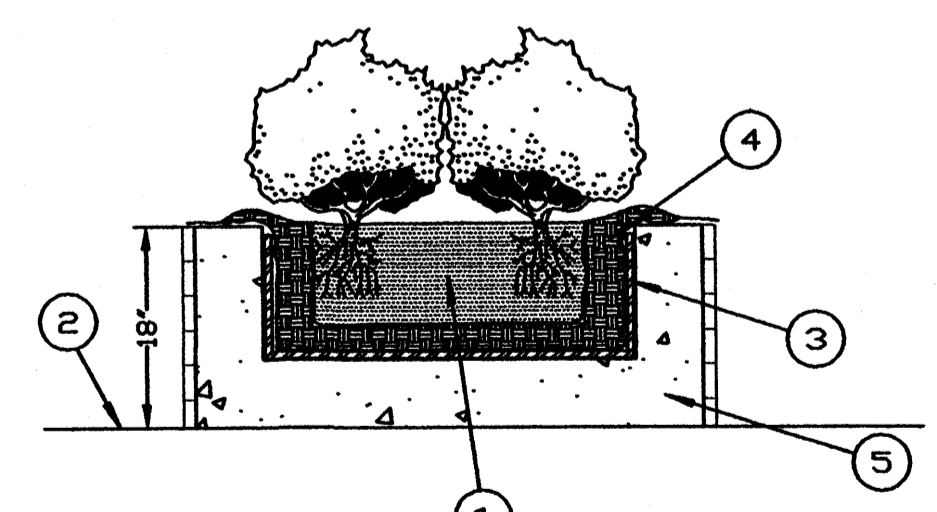
- ALL LANDSCAPING WILL BE COMPLETED WITHIN 60 DAYS OF BUILDING OCCUPANCY.
- THE LANDSCAPE CONTRACTOR SHALL DESIGN AND CONSTRUCT ANY IRRIGATION SYSTEM WHICH SHALL INCLUDE PIPING, CONTROLS, EQUIPMENT AND LABOR NECESSARY FOR A COMPLETE SYSTEM. SYSTEM SHALL INCLUDE AUTOMATIC VALVES AND TIMER.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO FIELD VERIFY THE EXACT LOCATIONS OF ALL ON-SITE UTILITIES, TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 3 FEET FROM UTILITY LINES.
- MAINTENANCE OF LANDSCAPING AND IRRIGATION SYSTEM TO BE THE RESPONSIBILITY OF THE OWNER.
- WOOD CHIPS WITH FILTER FABRIC IN LANDSCAPING AREAS.
- IRRIGATION SYSTEMS SHALL BE DESIGNED TO COMPLY WITH THE PROVISIONS OF THE CITY OF ALBUQUERQUE.
- DEVELOPMENT WILL COMPLY WITH THE PROVISIONS OF THE COA ORDINANCE 6-1-1.
- AREA A & C IS STREET TREE AREA. AREA TO CONFORM WITH COA 6-6-2-5. TREES WILL BE A MINIMUM OF 5 FT. FROM EDGE OF SIDEWALK AND SPACED PER LANDFILL RESTRICTIONS.
- THERE IS NO ON SITE PONDING DUE TO FORMER LANDFILL STATUS.
- ALL AREAS OF THE LOT WITH THE EXCEPTION OF THE BUILDING IS UNDERLAY WITH WASTE.
- XERISCAPE SHOULD USE 5 TO 20 GALLONS OF SUPPLEMENTAL WATER PER SQUARE FOOT OF ROOTING AREA (LINED PLANTING AREA).
- 5 GALLONS @ 2 GPA EMITTER FOR EACH SHRUB AND 2 MICRO BUBBLES 6 GPA FOR EACH TREE WITH A RUNTIME OF AN HOUR
- MAINTENANCE OF LANDSCAPING AND IRRIGATION SYSTEM TO BE THE RESPONSIBILITY OF THE OWNER AND SHALL COMPLY WITH THE PROVISIONS OF THE CITY OF ALBUQUERQUE.
- ALL SHRUBS SHALL BE PLANTED IN PLANTER ABOVE FINISH GRADE, EXCEPT FOR TREES WHICH SHALL HAVE A MINIMUM 2' DEPTH OF ROOTING AREA ABOVE LINER.
- SEE SHEET ENV-3 FOR ADDITIONAL DETAILS OF LINING FOR TREE PLANTERS

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REDUCED PRESSURE & BACKFLOW PREVENTER ASSEMBLY

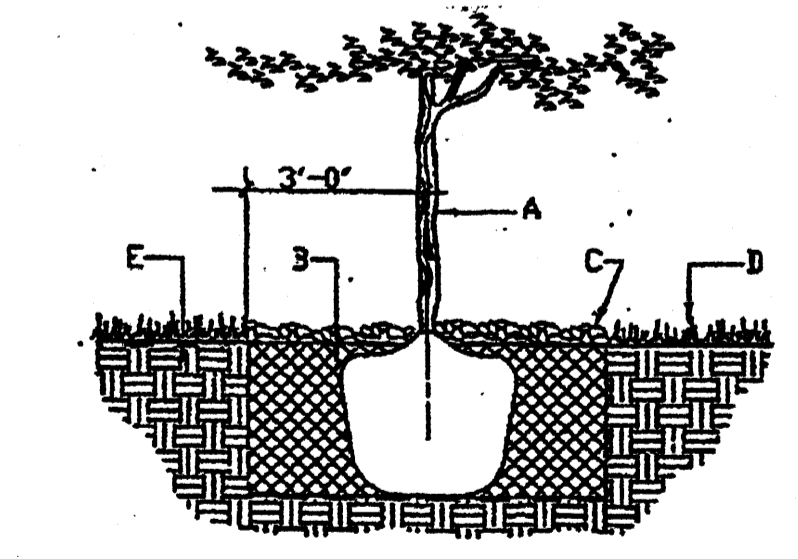
SYMBOL	KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED	NATURE	CONDITION	USAGE	WATER USE	AREA COVERAGE
<b>RECYCLING TREES</b>										
HL	HONEY LOCUST	GLERITSA	TRACANTHUS	2	7' - 7' HT.	20' HT. & 20' SP.	15 GAL. MULTI-TRUNK	SHADING	MEDIUM	689
WR	WESTERN REDBUD	CECROIS	SOCCIDENTALIS	11	2' GAL. 12' - 14' HT.	20' HT. & 20' SP.	20' BOX	SCREENING	MEDIUM	3456
HB	HACKBERRY	CELTIS	SOCCIDENTALIS	5	5' - 10' HT.	20' HT. & 20' SP.	20' BOX	SHADING	MEDIUM	2556
<b>PLANT SCHEDULE</b>										
SYMBOL	KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED	NATURE	CONDITION	USAGE	WATER USE	AREA COVERAGE
<b>EVERGREEN TREES</b>										
SP	SCOTCH PINE	PINUS	SYLVESTRIS	7	5' - 10' HT.	20' HT. & 20' SP.	20' BOX	SCREENING	MEDIUM	3899
PP	PINON PINE	PINUS	ESULIS	4	7' - 10' HT.	20' HT. & 20' SP.	20' BOX	SHADING	MEDIUM	2199
AC	ATLAS CEDAR	CEDEBUS	ATLANTICA	8	5' - 10' HT.	20' HT. & 20' SP.	20' BOX	SHADING	MEDIUM	4998
<b>SHRUBS</b>										
APP	AFACHE PLUME	FALLUGIA	PARADOXA	31	NON 24" HT	4' HT. & 3' SP.	5 - GAL	SCREENING / ORNAMENTAL	LDV	389
DB	DWARFY CHERRYBLOSSOM	POTENTILLA	FURCICOSA	59	NON 24" HT	3' HT. & 3' SP.	5 - GAL	SCREENING	MEDIUM	546
BB	BUTTERFLY BUSH	BURBULEIA	DAVIDII	24	NON 18" HT	5' HT. & 3' SP.	5 - GAL	ORNAMENTAL	LDV	534
CL	CLIFFROSE	EDWARDSIA	HEXAGONA	12	NON 18" HT	5' HT. & 6' SP.	5 - GAL	SCREENING	LDV	264
TLS	BIG SAGE	LEPTOSPERMUM	TREMBLANTA	39	NON 8' SP	4' HT. & 3' SP.	5 - GAL	SCREENING / ORNAMENTAL	LDV	377
BY	WAXY YUCCA	YUCCA	IMCATA	44	NON 12" SP	2' HT. & 4' SP.	5 - GAL	SCREENING	LDV	353
TOTAL										246
TOTAL										18999



LINED SHRUB PLANTER DETAIL

LEGEND

- SHRUB OR VINE
- FINISH GRADE
- PLANTER LINER, SEE ENV-3 FOR DETAILS
- CLEAN SAND/SOIL
- PLANTER ABOVE FINISH GRADE, 18" HIGH AND LENGTH MAY VARY WITH BRICK FINISH



GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  - TREE ROOT COLLAR SHALL BE AT GRADE. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED. THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL. THE PLANTING HOLE SHALL BE 2-3 TIMES AS WIDE AS THE ROOTBALL DEPENDING ON SURROUNDING SOIL COMPACTION.
  - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- TREE
  - BACKFILL WITH EXISTING SOIL
  - DEPTH OF BARK MULCH
  - TURF AT FINISH GRADE
  - UNDISTURBED SOIL

JOB NO. \_\_\_\_\_  
DATE: 15 JANUARY 2009

REVISIONS

Sheet Title  
**DRB LANDSCAPING PLAN FOR BUILDING PERMIT**  
Drawn By: RESULVA, S.A. Checked By: T. OTT

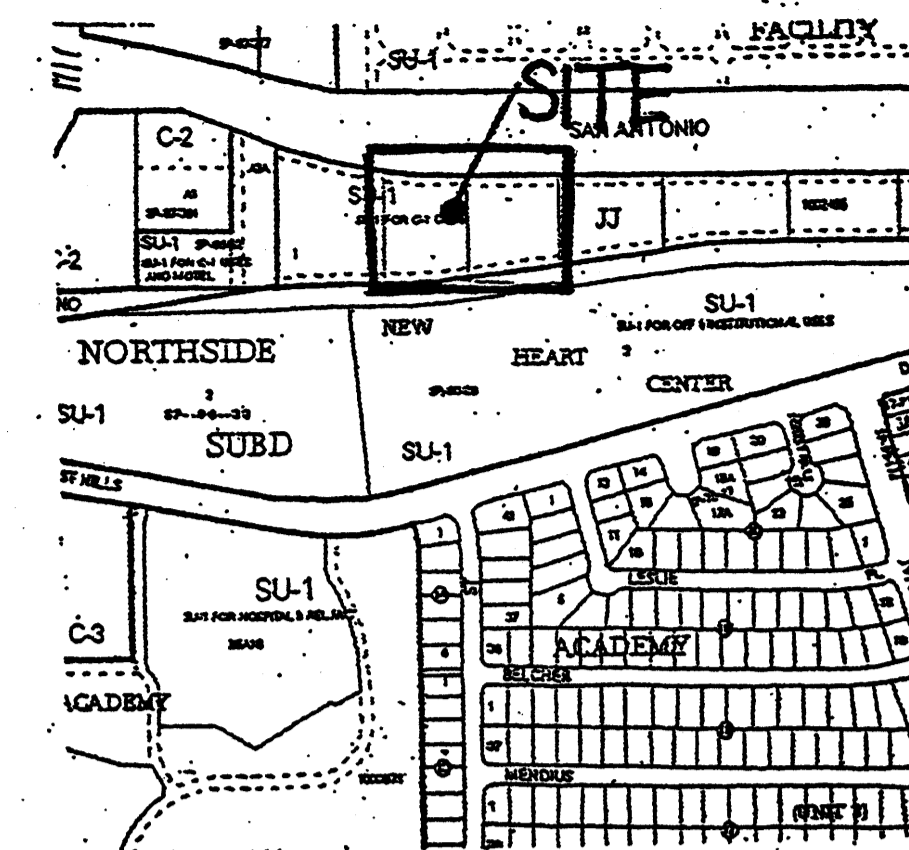
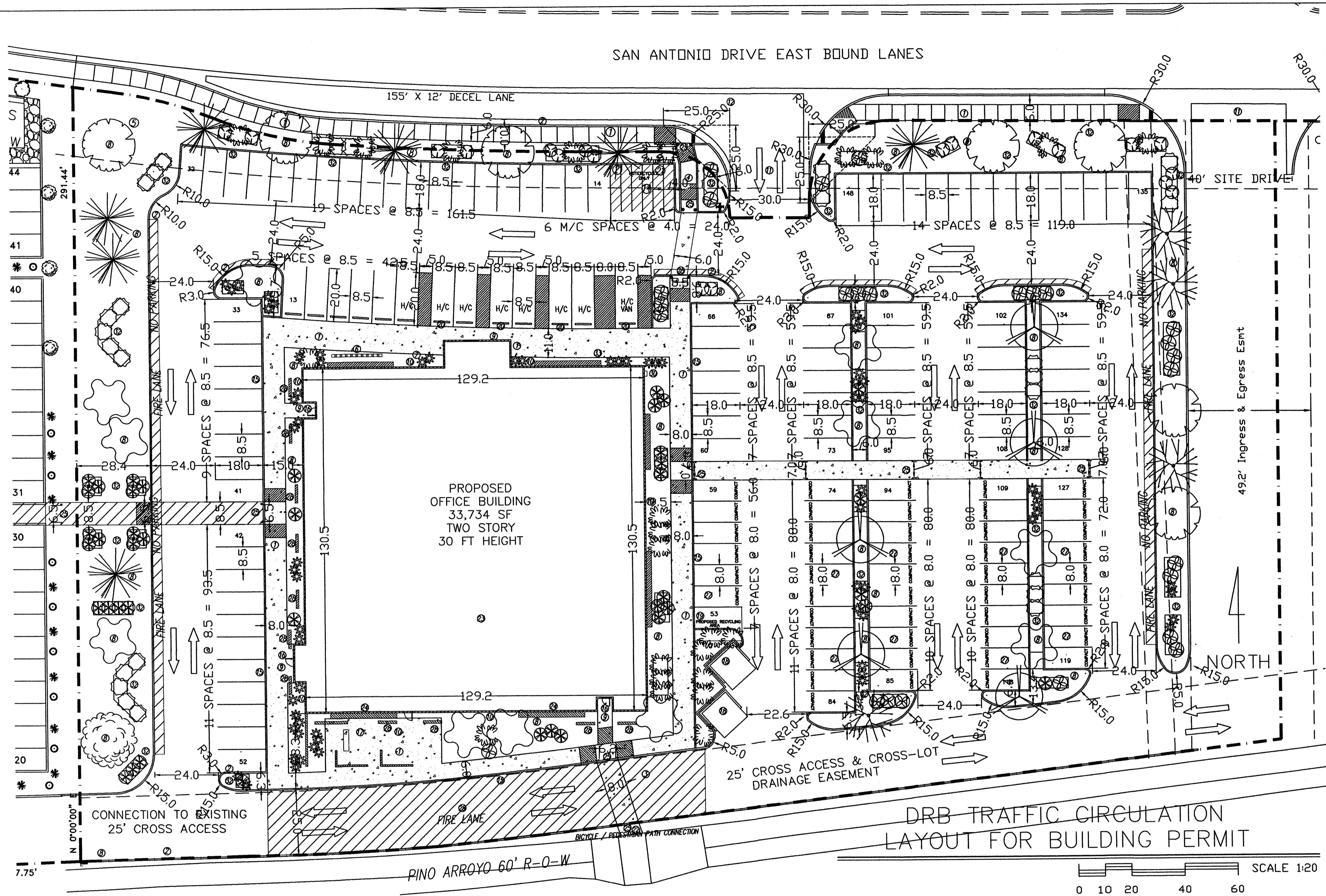
TM OTT / DEVELOPER  
5620 VENICE AVE. SUITE G  
ALBUQUERQUE, NM 87116  
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT  
7508 DELWOOD RD. NE. (505) 888-9929  
ALBUQUERQUE, NEW MEXICO 87110

Project Name  
**NEW MEXICO OFFICE OF THE STATE ENGINEER ALBUQUERQUE BUILDING**  
ALBUQUERQUE, NEW MEXICO

SHEET NO.  
**DRB LP**

SAN ANTONIO DRIVE EAST BOUND LANES



VICINITY MAP  
N.T.S.

KEYED NOTES:

- ① NEW CONCRETE SIDEWALK PER COA STD 2430.
- ② NEW CONCRETE CURB & GUTTER PER COA STD 2415.
- ③ REMOVE LOT LINE—PER PLAT.
- ④ NEW FIRE HYDRANT LOCATION.
- ⑤ AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL, SEE DRB ELEV SHEET FOR DETAIL. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
- ⑥ BICYCLE RACK, MINIMUM 8 SPACES.
- ⑦ FLAG POLE
- ⑧ PLANTED TREE, SEE L-1 & ENV-3 FOR DETAILS
- ⑨ SECURITY LIGHTING AT ALL ENTRANCES.
- ⑩ EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL.
- ⑪ DRIVEWAY PER CITY OF ALBUQUERQUE STD 2426.
- ⑫ EXISTING FIRE HYDRANT, TO BE RELOCATED.
- ⑬ EXISTING FIRE HYDRANT.
- ⑭ MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE.
- ⑮ NEW TURN DOWN SIDEWALK AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING.
- ⑯ CYPHER LOCK ON ENTRANCE.
- ⑰ EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
- ⑱ DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS.
- ⑲ PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
- ⑳ HANDICAP SIGNAGE LOCATION.
- ㉑ MOTORCYCLE SIGNAGE LOCATION.
- ㉒ PINO ARROYO BICYCLE & PEDESTRIAN TRAIL.
- ㉓ ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE.
- ㉔ LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM.
- ㉕ BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE.
- ㉖ NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED.
- ㉗ ALL COMPACT SPACES TO BE LABELED ON PAVEMENT.
- ㉘ SHADING WALLS.
- ㉙ STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL.
- ㉚ KNOX BOX LOCATION PER FIRE MARSHALL.
- ㉛ ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SDP.
- ㉜ ALL SHRUBS PLANTED IN PLANTER

GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, JJ SUBDIVISION CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES SECOND FLOOR: 16,867 SF NET LEASABLE SF = 57 SPACES 141 TOTAL REQ.

PROVIDED: 151 TOTAL SPACES (83 REG., 47 COMPACT, 8 HANDICAP) (20% OF SPACES ARE FOR COMPACT CARS)

PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (WITH 101 TO 300 REQ. PRKING. SPCS.) PROVIDED: 7 SPACES, 1 VAN ACCESSIBLE.

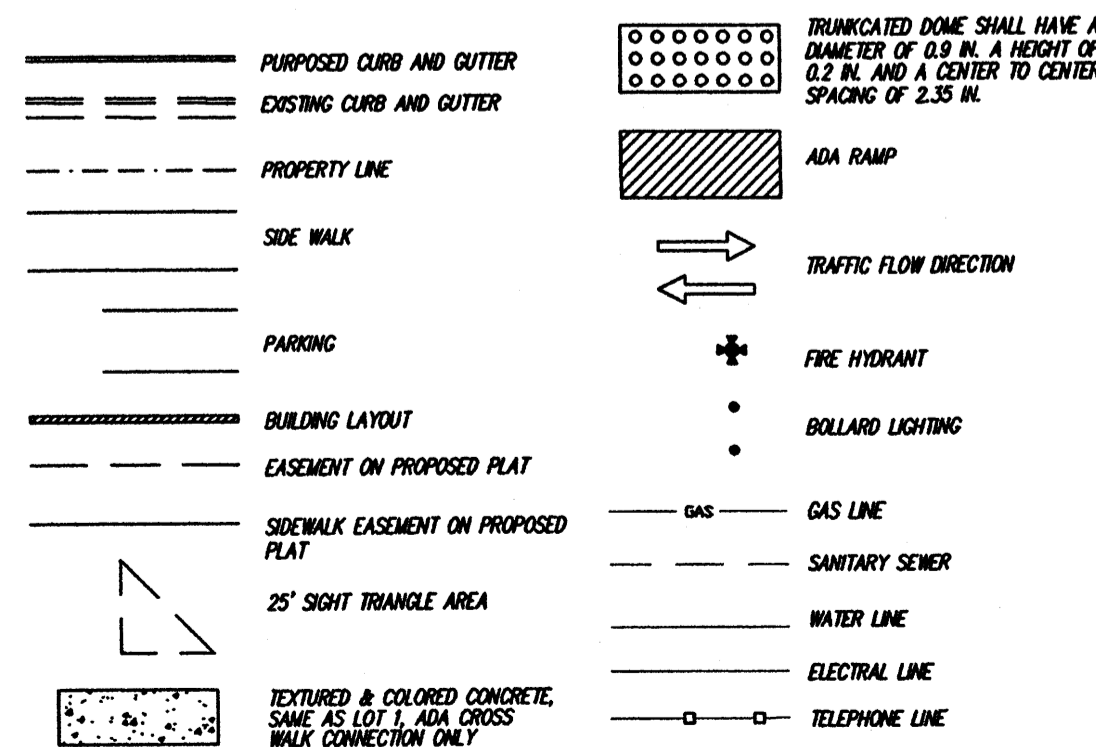
PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (WITH 101 TO 300 REQ. PRKING. SPCS.) PROVIDED: 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (WITH 101 TO 300 REQ. PRKING. SPCS.) PROVIDED: 8 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.

LINE TYPE LEGEND



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JOB NO.:

DATE: 1 MAY 2008

02 JULY 2008
09 OCTOBER 2008
27 OCTOBER 2008
04 NOVEMBER 2008
10 NOVEMBER 2008
24 NOVEMBER 2008

Sheet Title  
DRB TRAFFIC CIRCULATION LAYOUT FOR BUILDING PERMIT

Drawn By: PESHUKAL, S.A.  
Checked By: T. OTT

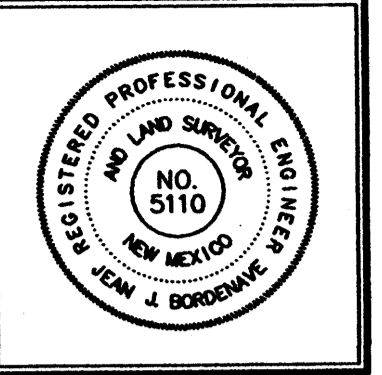
TM OTT / DEVELOPER  
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(505) 220-4675

MICHAEL DEL MASTRO / ARCHITECT  
7000 DELWOOD RD. NE / 6500 880-4629  
ALBUQUERQUE, NEW MEXICO 87110

Project Name  
STATE ENGINEERING  
ALBUQUERQUE BUILDING  
ALBUQUERQUE, NEW MEXICO

SHEET NO.  
DRB TCL





JOB NO.:

DATE: 31 MARCH, 2009

REVISIONS

Sheet Title

**GRADING & DRAINAGE PLAN**

Drawn By: METO

Checked By: JB

**TIM OTT / DEVELOPER**  
 6630 VENICE AVE. SUITE G  
 ALBUQUERQUE, NM 87109  
 (505) 252-1344

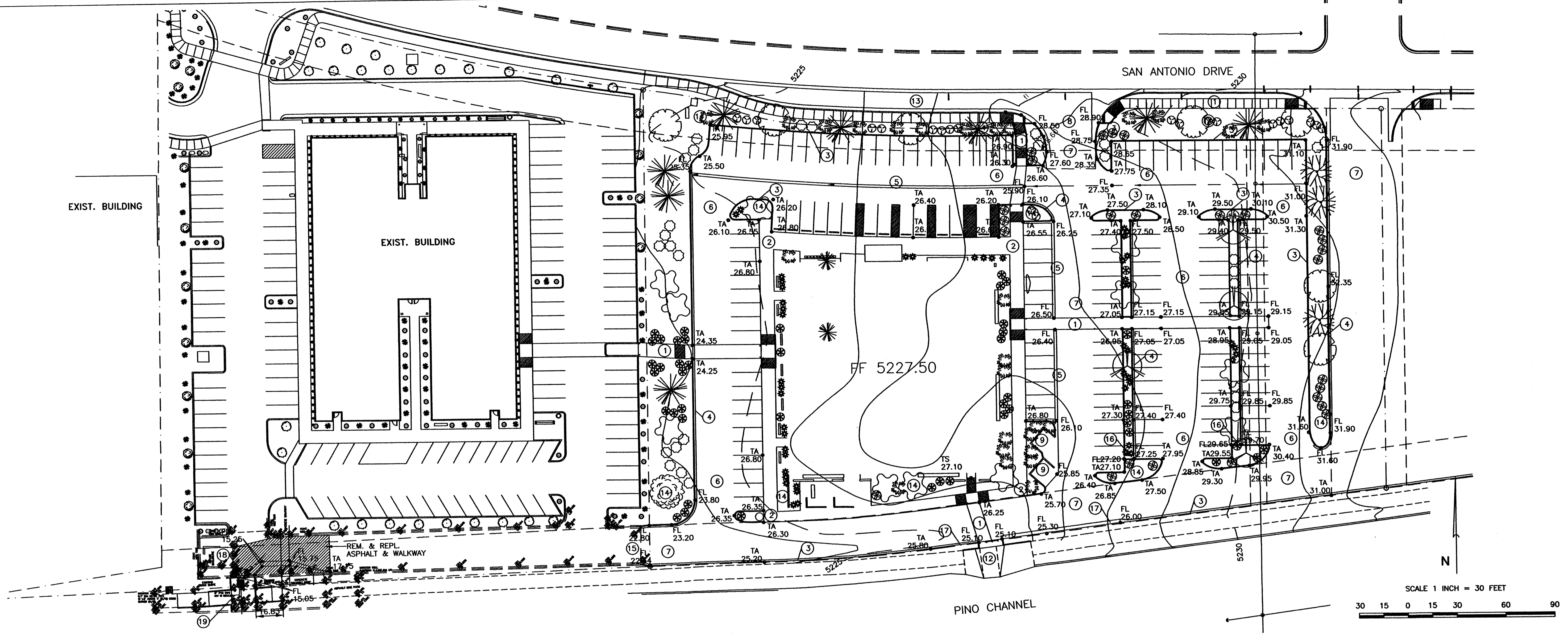
**BORDENAVE DESIGNS**  
 P.O. BOX 1444, ALBUQUERQUE, NM 87109  
 (505) 252-1344

Project Name

**NEW MEXICO OFFICE OF THE STATE ENGINEER**  
**ALBUQUERQUE BUILDING**  
 ALBUQUERQUE, NEW MEXICO

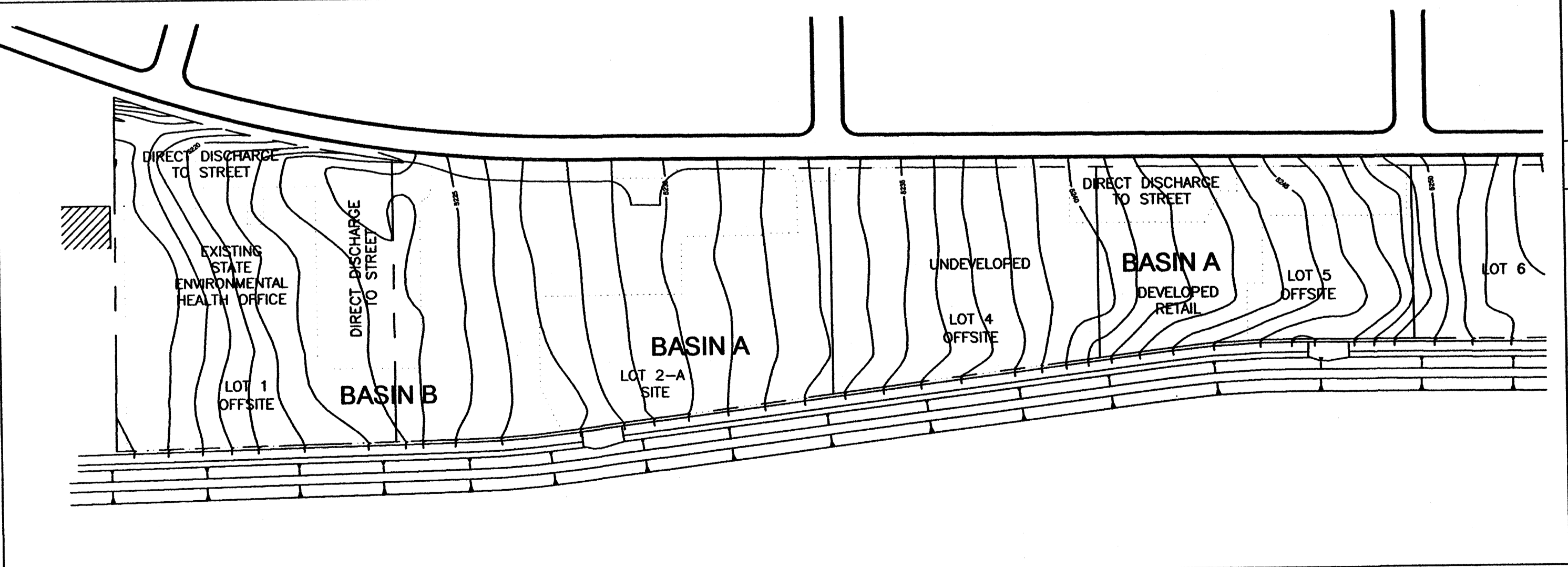
SHEET NO.

**CG**



**DRAINAGE BASIN MAP**

SCALE 1" = 100'



**DRAINAGE NOTES**

1. THE ENTIRE SUBDIVISION IS BEING BUILT ON AN OLD LANDFILL; THE SURFACE IS DISTURBED AND COMPACTED. LANDSCAPING IS RESTRICTED TO XERIC PLANTS AND STONE. RUNOFF FROM LOTS 4 AND A PORTION OF LOT 5 ARE DESIGNED TO ENTER THE SUBJECT SITE VIA A PLATTED DRAINAGE EASEMENT ALONG THE SOUTH SIDE OF THE LOTS TO ACCESS THE PINO ARROYO CHANNEL AT AN EXISTING SIDE CHANNEL INLET LOCATED NEAR THE MIDDLE OF THE SUBJECT SITE. THE RUNOFF FROM THE WESTERLY SIDE OF THE SUBJECT SITE AND LOT 1 IS ROUTED TO THE WEST SIDE OF LOT 1 TO A SIDE CHANNEL INLET TO BE CONSTRUCTED IN CITY PROJECT NO. XXXX.
2. THE SITE IS LOCATED IN COA PRECIPITATION ZONE 3. FLOW RATES FOR THE SITE INCREASE BY XX CFS AND XX CFS FOR THE 10 YEAR AND 100 YEAR, 6 HOUR STORMS DUE TO DEVELOPMENT. RUNOFF VOLUMES INCREASE BY XX CF AND XX CF FOR THE TWO STORMS.
3. THE SITE IS LOCATED IN ZONE X PER FEMA FIRM MAP NO. 137 DATED NOVEMBER, 2003.
4. TOPO SHOWN ON THIS PLAN WAS OBTAINED BY BASELINE FIELD SERVICES, INC. IN 2004 AND 2008.

**ENGINEER'S CERTIFICATION**

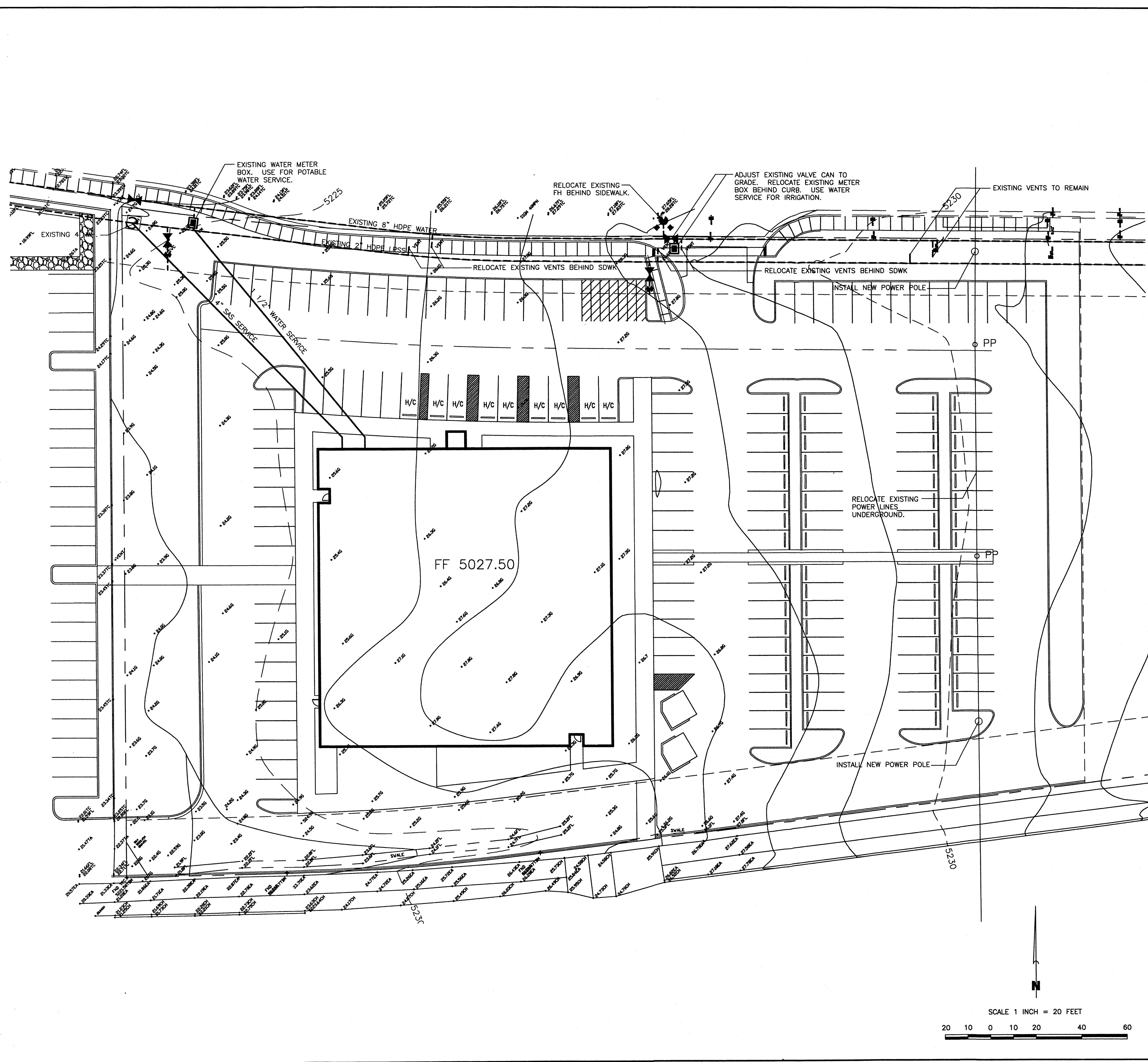
I, JEAN J. BORDENAVE, NMPE&LS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED \_\_\_\_\_. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS AND/OR QUALIFICATIONS:

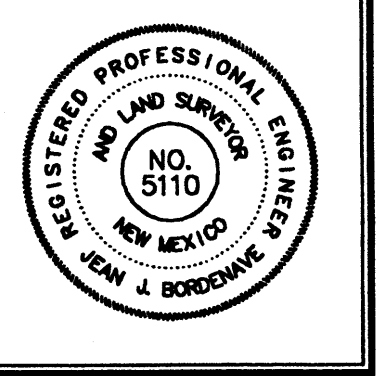
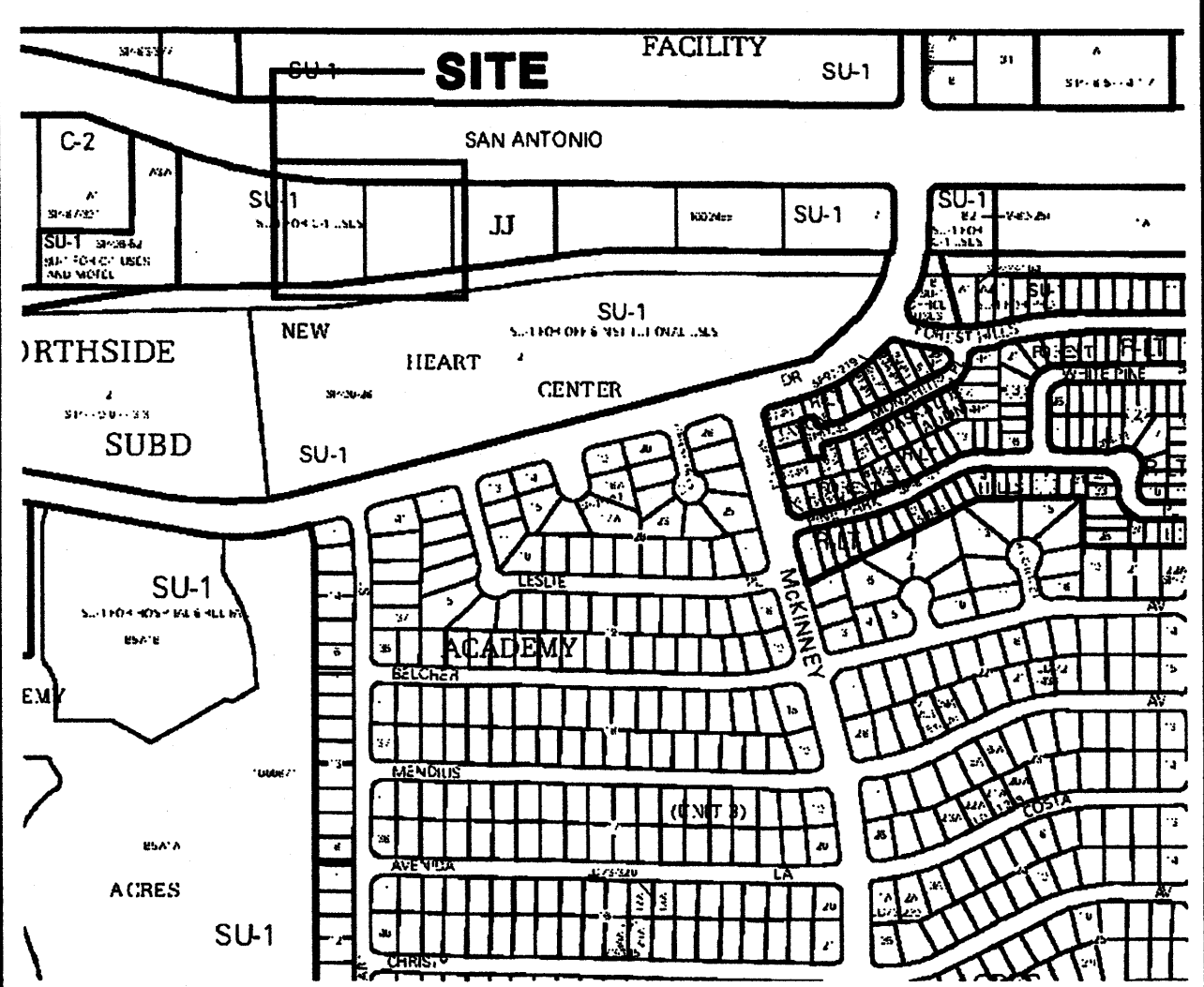
THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

LEGAL DESCRIPTION	
LOT 2A, JJ SUBDIVISION	
PERMANENT BENCHMARK	
ACS 18-E18, ELEV. 5266.765 (NGVD 1929)	
LEGEND	
TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TS	TOP OF SIDEWALK
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
PP	POWER POLE
RD	ROOF DRAINAGE POINT FEMA FLOODPLAIN BOUNDARY
DRAINAGE BASIN BOUNDARY	
EROSION SETBACK LINE	
EXISTING CONTOUR	
PROPOSED CONTOUR	
XX.XX	EXISTING SPOT ELEVATION
•XX.XX	PROPOSED SPOT ELEVATION
-XX.XX	RECORD SPOT ELEVATION
XX.XX	RECORD SPOT ELEVATION

- KEYED NOTES**
1. SIDEWALK. SEE DETAIL SHEET CD. THICKEN TO 7" IN PARKING AREAS.
  2. TURNDOWN SIDEWALK. SEE DETAIL SHEET CD.
  3. HEADER CURB. SEE DETAIL SHEET CD.
  4. CURB AND GUTTER. SEE DETAIL SHEET CD.
  5. CONCRETE VALLEY GUTTER.
  6. ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET CD.
  7. ASPHALT PAVEMENT - HEAVY DUTY (HATCHED AREA). SEE DETAIL SHEET CD.
  8. 30 FOOT WIDE PRIVATE ENTRANCE DETAIL. SEE COA PROJECT NO. 735184.
  9. REFUSE ENCLOSURE.
  10. REMOVE EXISTING ASPHALT, REGRADE AND REPLACE PAVEMENT.
  11. BUILD NEW SIDE INLET TO PINO CHANNEL PER CITY PROJECT NO. 735184.
  12. EXISTING SIDE INLET TO PINO ARROYO CHANNEL w/ CONCRETE FILLED STEEL PIPE BOLLARDS. SEE COA PROJECT NO. 735184 FOR DETAILS. EXTEND CONCRETE FROM EXISTING INLET TO BACK OF CURB.
  13. NEW DECELERATION LANE, CURB & GUTTER AND SIDEWALK PER CITY PROJECT NO. 735184.
  14. LANDSCAPE
  15. CONNECT TO EXISTING CURBS AND ASPHALT PAVEMENT APPROXIMATELY 5 FEET WEST OF PROPERTY LINE.
  16. 2' WIDE CONCRETE CHANNEL. SEE DETAIL SHEET CD.
  17. CURB AND GUTTER PER CITY OF ALBUQUERQUE STD. DWG. 2415A MODIFIED TO 10" HIGH CURB FACE.
  18. 14' WIDE CURB OPENING.
  19. NEW SIDE CHANNEL INLET TO PINO ARROYO CHANNEL. SEE CITY PROJECT 735184 FOR DETAILS.



**VICINITY MAP NO. E-18**



JOB NO:

DATE: 03 NOVEMBER, 2008

REVISIONS


**LEGAL DESCRIPTION**

LOTS 2 & 3, JJ SUBDIVISION

**PERMANENT BENCHMARK**

ACS 18-E18 ELEVATION 5058.889 (NGVD 1929)

**UTILITY NOTES**

1. WATER, SANITARY SEWER, STORM DRAIN, POWER, GAS AND COMMUNICATIONS ARE AVAILABLE TO THE SITE AT ITS BOUNDARY OR IN A SHORT DISTANCE WITHIN THE SUBDIVISION BOUNDARY. NO OFFSITE (OUTSIDE THE SUBDIVISION BOUNDARY) CONSTRUCTION WILL BE REQUIRED.
2. COORDINATION OF FACILITY CONSTRUCTION MAY BE MADE THROUGH THE FOLLOWING:  
 WATER AND SANITARY SEWER - ABCWUA  
 POWER AND GAS - PUBLIC SERVICE CO. OF NEW MEXICO  
 TELEPHONE - QWEST  
 CABLE - COMCAST

**LEGEND**

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
(Dashed line)	FEMA FLOODPLAIN BOUNDARY
(Dotted line)	DRAINAGE BASIN BOUNDARY
(Dotted line)	EROSION SETBACK LINE
(Solid line)	EXISTING CONTOUR
(Dashed line)	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
●XX.XX	PROPOSED SPOT ELEVATION
—XX.XX—	RECORD SPOT ELEVATION

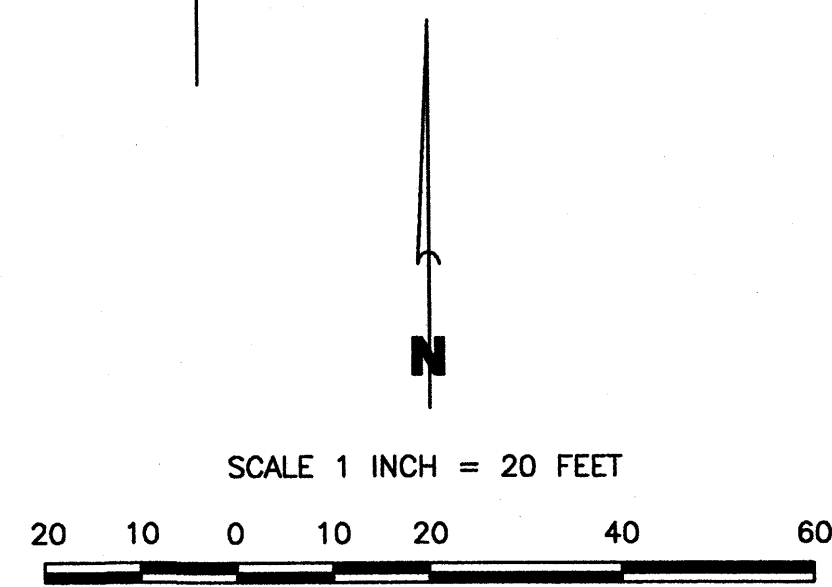
**CONCEPTUAL UTILITY PLAN**  
 Checked By: JB  
 Drawn By: METU

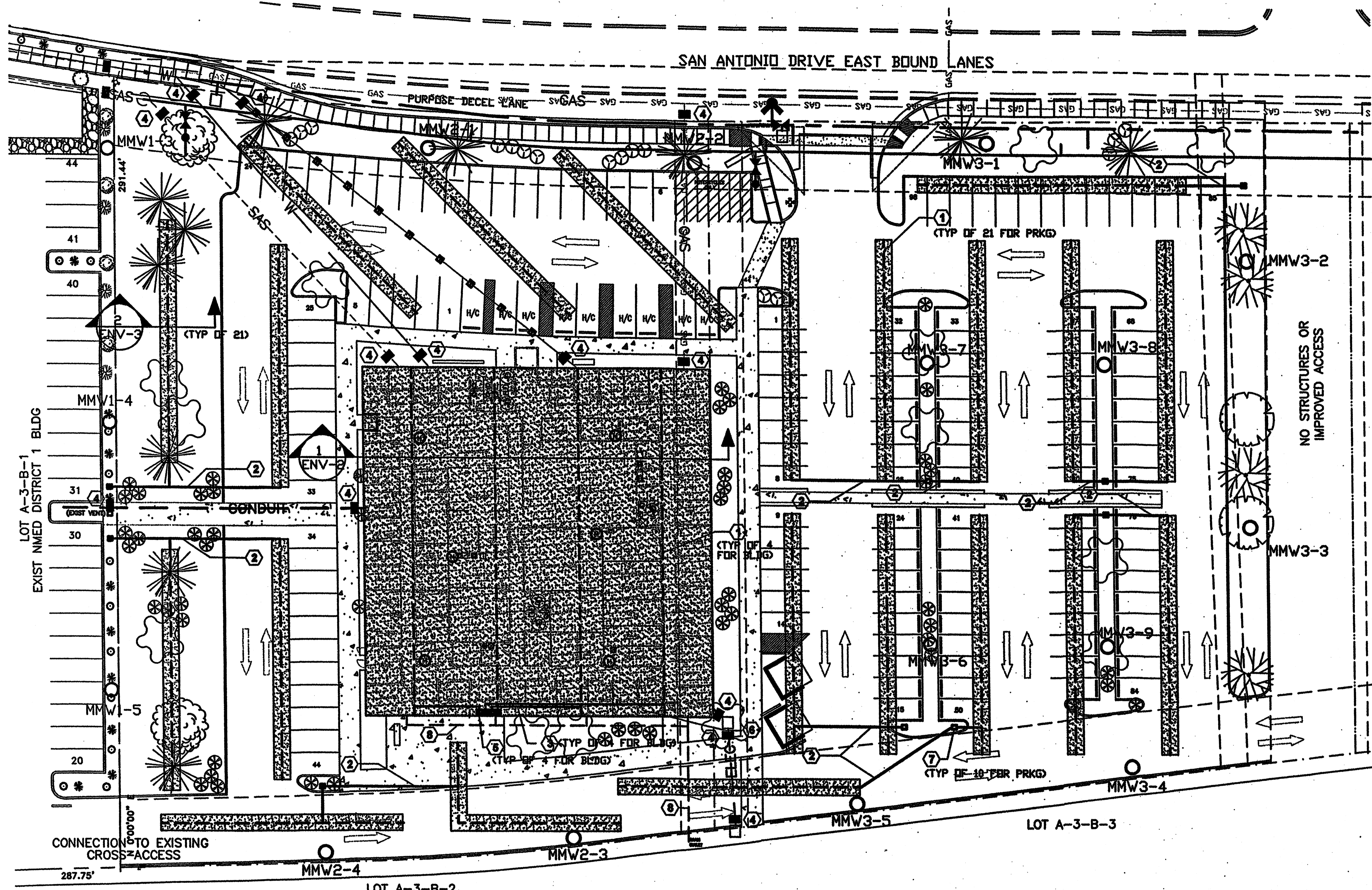
**TM OTT / DEVELOPER**  
 5600 VANCE AVE NE SUITE Q  
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 (505) 252-4675

**BORDENAVE DESIGNS**  
 P.O. BOX 91194, ALBUQUERQUE, NM 87199  
 (505) 252-4675 FAX (505) 921-1344

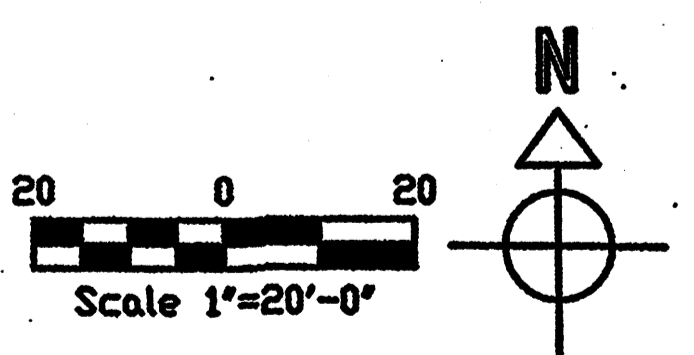
Project Name  
**NEW MEXICO OFFICE OF THE STATE ENGINEER**  
**ALBUQUERQUE BUILDING**  
 ALBUQUERQUE, NEW MEXICO

SHEET NO.





PLAN



GENERAL NOTES

1. BASE SITE PLAN BY ISBS LLC - OWNER.
2. BASE FLOOR PLAN OF BUILDING PROVIDED BY OWNER.
3. LOCATIONS OF UTILITIES PROVIDED BY OWNER.
4. ALL PENETRATIONS THROUGH THE BASE LEVEL CONCRETE SHALL BE PER (S)
5. THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES" FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.
6. ALL PIPING AND FITTINGS FOR PARKING AND BUILDING VENT SYSTEMS TO BE GLUED AT CONNECTIONS.
7. IN AREAS UNDERLAIN BY REFUSE (INCLUDES ALL AREAS WITHIN THE SITE BOUNDARIES), ONLY NATIVE, DROUGHT-TOLERANT PLANT SPECIES THAT DO NOT REQUIRE IRRIGATION SHALL BE PLANTED DIRECTLY IN TO THE GROUND. LAWNS REQUIRING IRRIGATION SHALL NOT BE USED. SHADE TREES SHALL BE PLANTED IN SEALED-BOTTOM PLANTERS PER (S) OR (S)
8. SANITARY SEWER (GAS), WATER, AND GAS UTILITY LINES OVERLYING BURIED WASTE SHALL INCORPORATE FLEXIBLE COUPLINGS AT JOINTS; COUPLINGS TO BE APPROVED BY LFG ENGINEER.

KEYED NOTES

- 1 6" DIA PERFORATED SCH 40 PVC LFG VENT PIPE.
- 2 6" DIA SOLID SCH 40 PVC LFG VENT PIPE FOR PARKING AREA VENT SYSTEM. USE FITTINGS AS NECESSARY TO CONNECT PERFORATED PIPE TO SOLID PIPE AND TURBINE VENT.
- 3 6" DIA SOLID SCH 40 PVC LFG VENT PIPE FOR BUILDING VENT SYSTEM. USE FITTINGS AS NECESSARY TO CONNECT PERFORATED PIPE TO SOLID PIPE. VENT PIPE RISERS TO BE INSTALLED INSIDE THICKENED SECTION OF EXTERIOR WALL TO TURBINE VENTS MOUNTED ON THE ROOF.
- 4 UTILITY TRENCH BENTONITE PLUG AND VENT (SEE (S) ).
- 5 TURBINE VENTILATION FAN (SEE SHEET ENV.2, SECTION A, KEYED NOTE 4).
- 6 VENTING LAYER TO EXTEND BENEATH ENTIRE BUILDING FOOTPRINT (SEE (S) FOR TYPICAL SECTION).
- 7 LFG VENTING LAYER OUTLET FOR PARKING AREAS (SEE (S) ). NOTE: UP TO 3 OUTLETS FOR INDIVIDUAL VENTING LAYERS FOR PARKING AREAS MAY BE MANIFOLDED INTO A SINGLE OUTLET AT THE DISCRETION OF THE OWNER.
- 8 BURIED DRAINAGE PIPE FROM ROOF DRAINS

LEGEND

- TURBINE VENTILATION FAN MODEL BEB-12 OR BIB-12 (LOMANCO INC. 1-800-843-5598) OR APPROVED ALTERNATE. SEE SHEET ENV-2 FOR DETAIL.
- ⊙ METHANE SENSORS (S) BY CEA INSTRUMENTS, INC. (1-201-987-5680), SERIES "U", OR APPROVED ALTERNATE. SENSORS TO BE PLACED ALONG BASEBOARD APPROXIMATELY AT LOCATION SHOWN ON DRAWING. SENSOR RESPONSE SHALL BE AS DESCRIBED IN OPERATIONS, MAINTENANCE AND MONITORING PLAN (OMMP). SENSORS SHALL BE LINKED DIRECTLY TO ALARMED DATA LOGGER AS DESCRIBED IN OMMP.
- MMW2-4 PROPOSED PERMITTER METHANE MONITORING WELL AND NUMBER. MONITORING WELL LOCATIONS MAY BE ADJUSTED SLIGHTLY TO ACCOMMODATE SITE FEATURES. (SEE (S) FOR TYPICAL SECTION).
- MMW1-5 EXISTING PERMITTER METHANE MONITORING WELL AND NUMBER FOR ADJACENT NIMED BUILDING WEST OF STATE ENGINEER BUILDING.



JOB NO:	07-18
DATE:	08 Aug 08
REVISIONS:	
1	
2	
3	

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MICHAEL DEL MASTRO / ARCHITECT  
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 (505) 262-4675

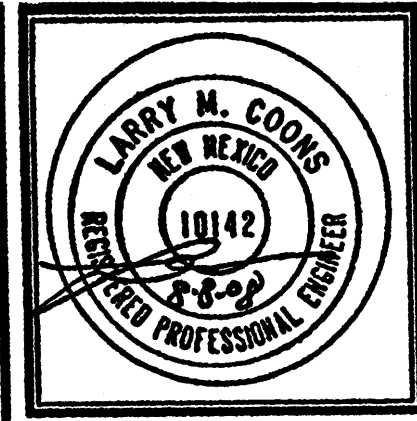
**OFFICE OF THE STATE ENGINEER BUILDING**

**ENV-1 LFG ABATEMENT SYSTEM PLAN**

ISBS LLC

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**LAWRENCE EARTH ENGINEERING**  
 4500 Glenwood Hills NE  
 Albuquerque, NM 87111  
 Phone 505-294-7227 Fax 505-294-7772

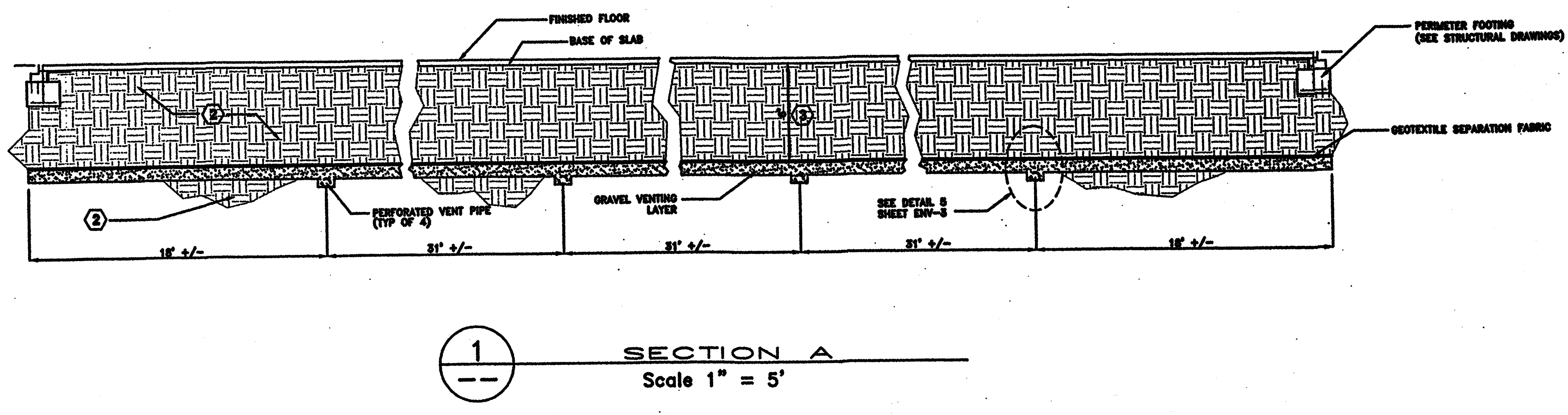
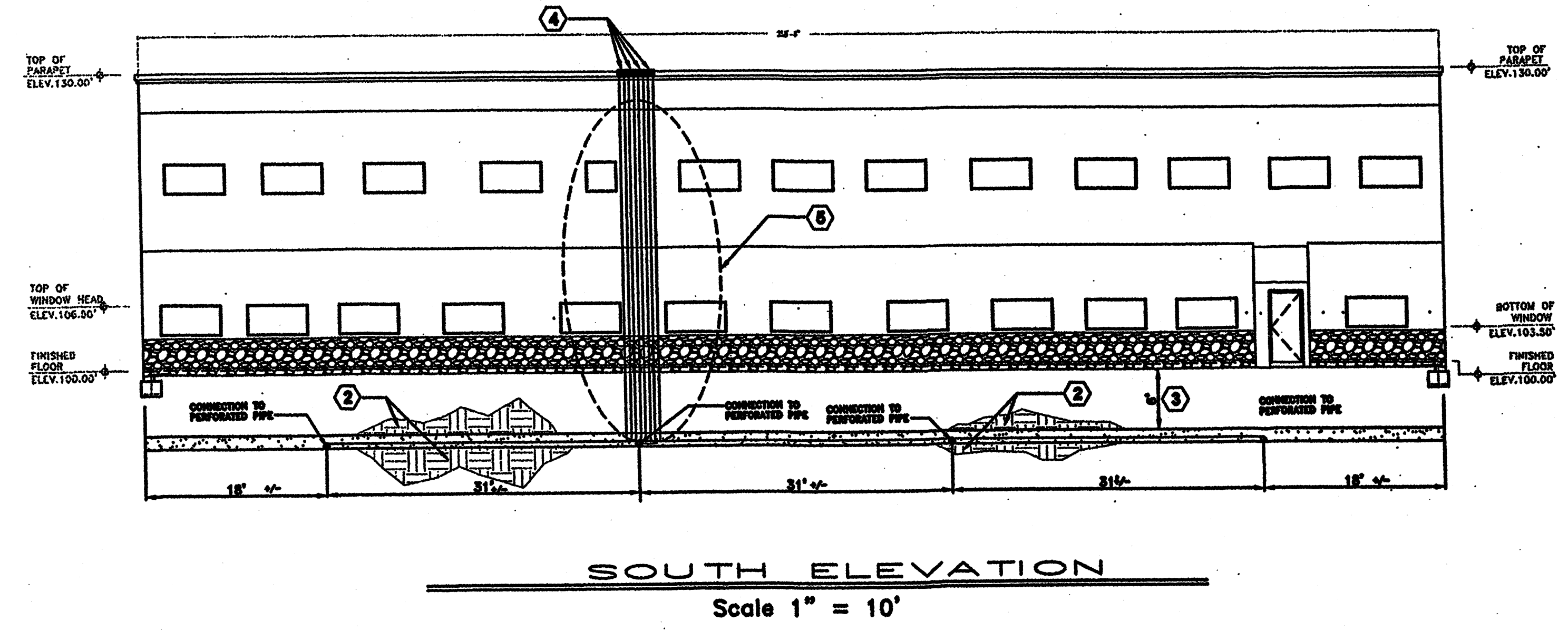
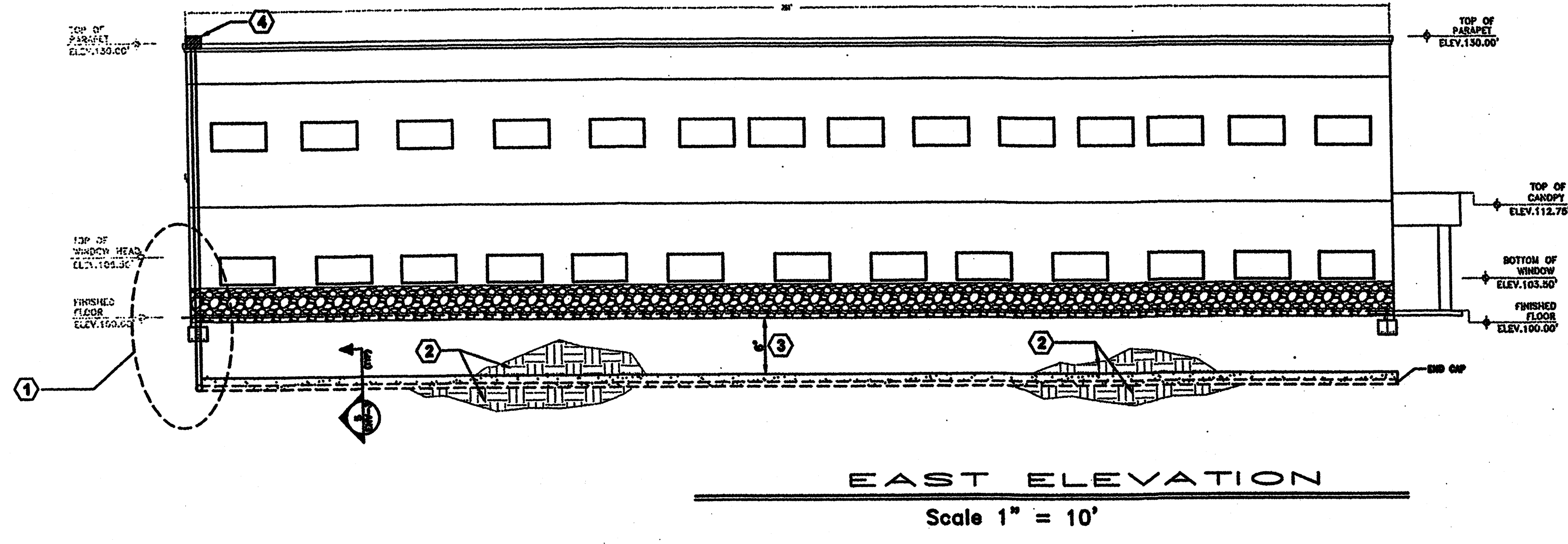


JOB NO:	07-18
DATE:	08 Aug 08
REVISIONS	
1	

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 MICHAEL DEL MASTRO / ARCHITECT  
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 ALBUQUERQUE, NEW MEXICO 87109

**OFFICE OF THE STATE ENGINEER BUILDING**  
**ENV-2 LFG ABATEMENT SYSTEM ELEVATIONS AND SECTION A**  
 ISSBS LLC  
 Drawn By: LMC  
 Date: 08 AUG 08  
 Checked By: CSJ  
 Date: 18 SEP 08

**LAWRENCE EARTH ENGINEERING**  
 4500 Glenwood Hills NE  
 Albuquerque, NM 87111  
 Phone: 505-294-7227 Fax: 505-294-7712

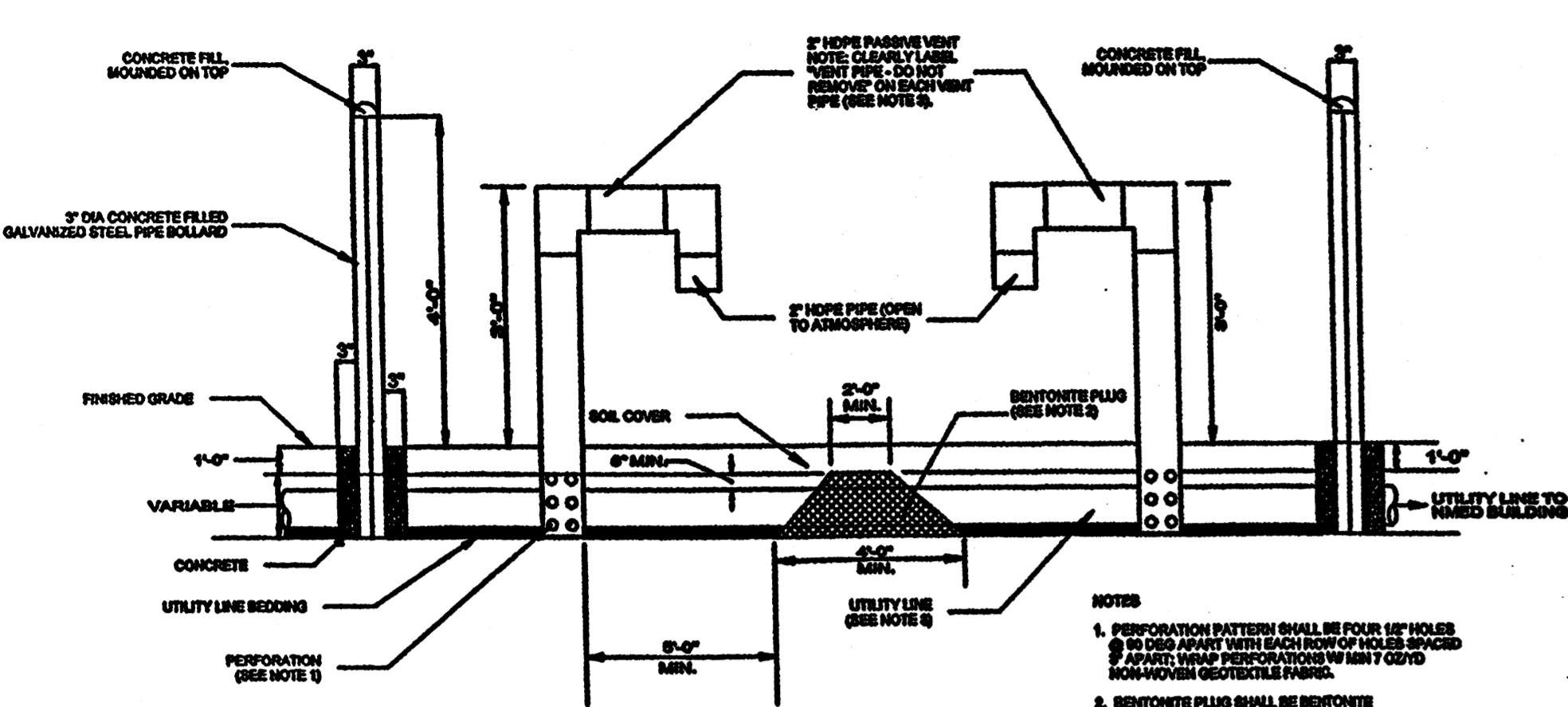


**GENERAL NOTES**

1. ELEVATION BASE BY ISSBS LLC - OWNER.
2. ALL PENETRATIONS THROUGH THE BASE LEVEL CONCRETE SHALL BE PER ②.
3. ALL PIPING AND FITTINGS FOR PARKING AND BUILDING VENT SYSTEM TO BE GLUED AT CONNECTIONS.

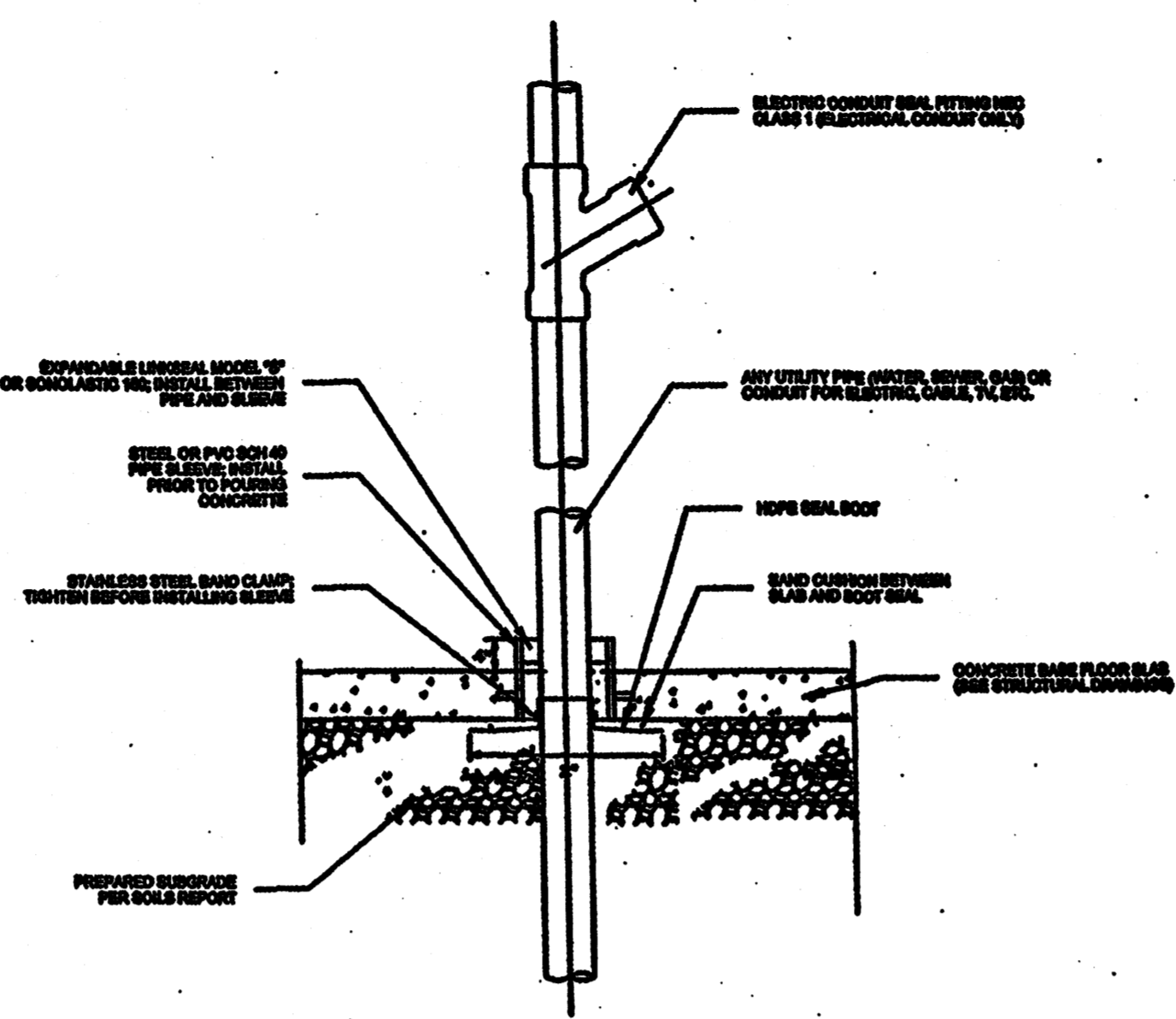
**KEYED NOTES**

- ① USE FITTINGS AS REQUIRED TO CONNECT 6" PVC RISER PIPES TO 6" PVC PERFORATED VENT PIPES. RISERS TO PENETRATE CONCRETE FOOTING AND STEMWALL. PENETRATIONS THROUGH FOOTINGS AND STEMWALL SHALL BE SEALED SIMILAR TO ④. STRUCTURAL ENGINEER TO VERIFY INTEGRITY OF FOOTING AND STEMWALL AT PENETRATIONS.
- ② PLACE AND COMPACT FILL IN ACCORDANCE WITH SOILS REPORT. SOILS TO BE COMPACTED TO REQUIRED DENSITY AT 0 TO 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT BETWEEN BASE OF WASTE EXCAVATION AND BASE OF VENTING LAYER, AND BETWEEN TOP OF VENTING LAYER AND BASE OF SLAB.
- ③ 6" SEPARATION DISTANCE BETWEEN BASE OF SLAB AND TOP OF GRAVEL VENTING LAYER (GEOTEXTILE SEPARATION FABRIC).
- ④ TURBINE VENTILATION FAN MODEL BEB-12 OR BIB-12 (LOMANCO INC. 1-800-643-5596) OR APPROVED ALTERNATE. TOP OF VENTILATION FANS TO STICK UP MINIMUM OF 6 INCHES ABOVE TOP OF PARAPET. VENTILATION FANS TO BE SPACED MINIMUM OF 6 INCHES APART (EDGE TO EDGE). SEE SHEET A-18 FOR ROOF VENT DETAILS.
- ⑤ RISER PIPES INSIDE CHASE OR WALL SHALL BE PROTECTED FROM PUNCTURE BY NAILS OR SCREWS BY COVERING RISERS WITH MINIMUM 12 GAGE GALVANIZED METAL SHEETING. ALSO REFER TO ①. SEE SHEET A-18 FOR ROOF VENT DETAILS.

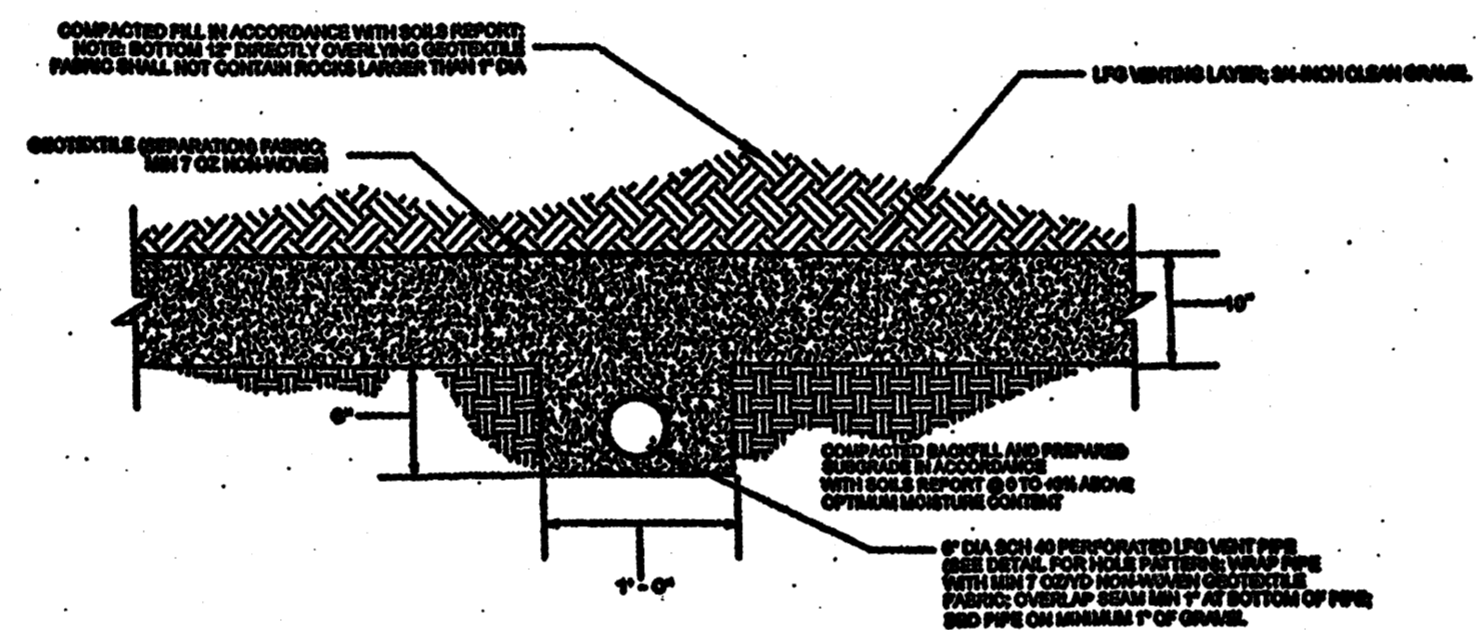


1 BENTONITE PLUG AND VENT FOR UTILITY LINE (TYP) NTS

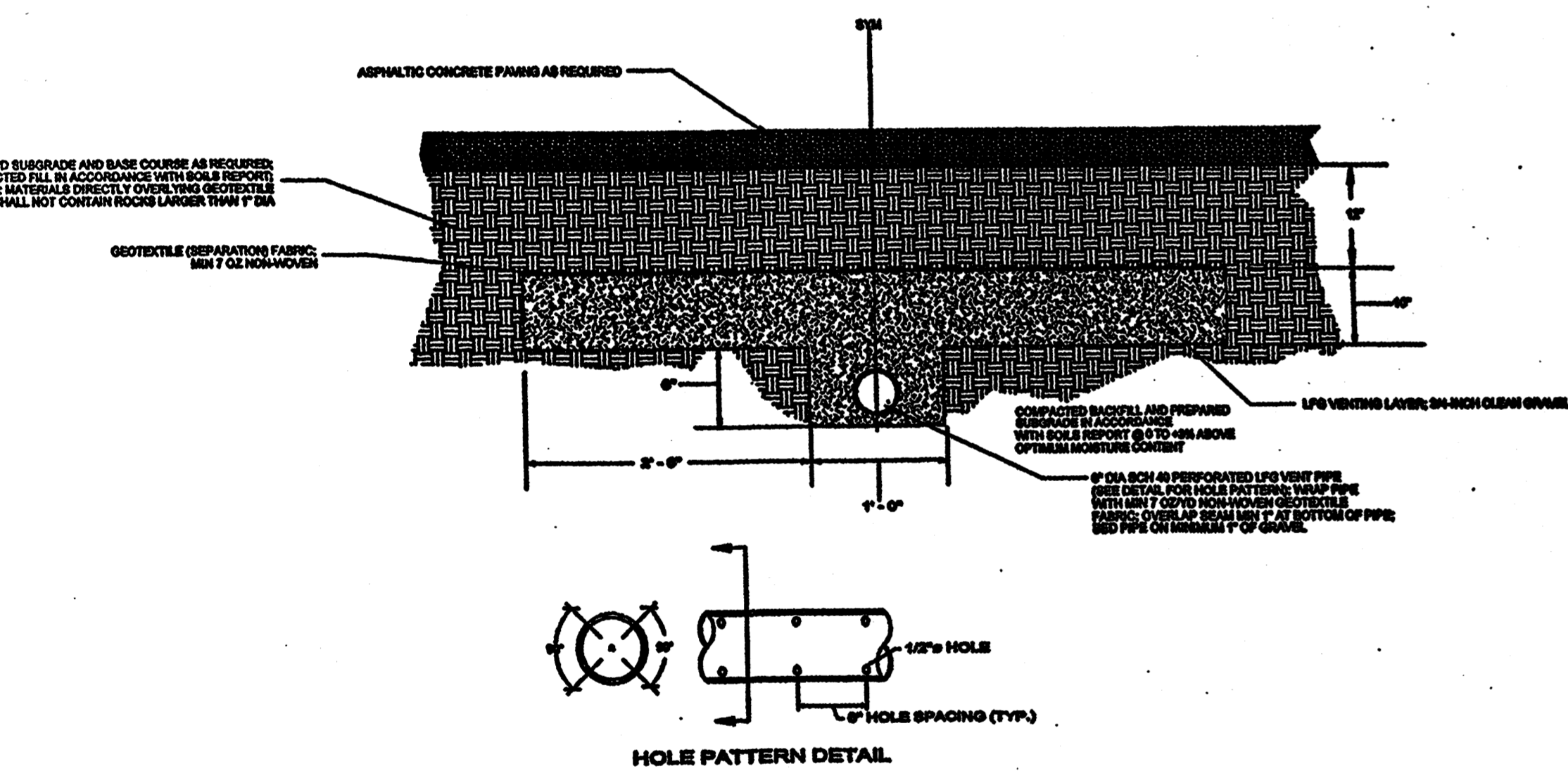
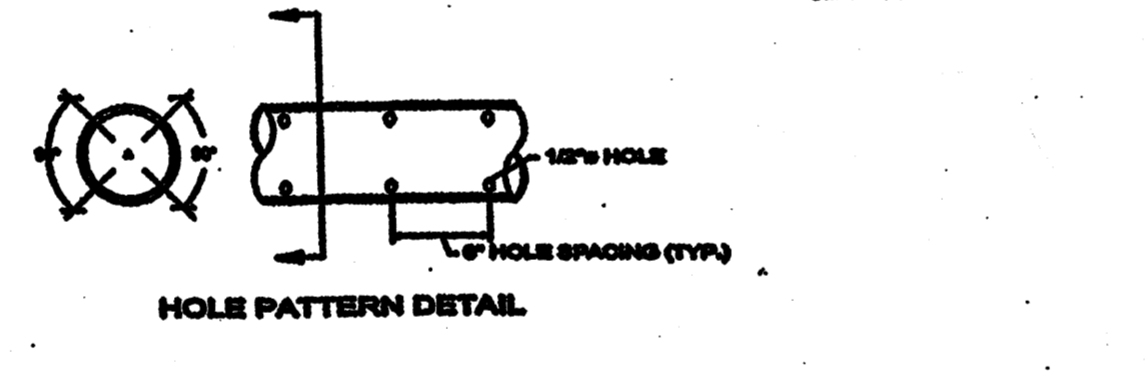
- NOTES**
1. PERFORATION PATTERN SHALL BE FOUR (4) HOLES @ 90 DEGREE APART WITH EACH ROW OF HOLES SPACED @ MINIMUM PERFORATION PATTERN WITH 7\"/>
  - 2. BENTONITE PELLETS SHALL BE BENTONITE PELLETS OR APPROVED ALTERNATE. PUG SHALL BE 100% FULL WIDTH OF TRENCH. HYDRATE BENTONITE PELLETS @ 1/4\"/>
  - 3. VENT AND PUG TO BE INSTALLED ON UTILITY LINE AS SHOWN ON DRAWING. VENT PIPE OUTLETS MAY BE MOVED TO ALTERNATE LOCATIONS WITH THE APPROVAL OF THE ENGINEER.
  - 4. SPACING BETWEEN BENTONITE PUGS FOR CITY UTILITIES TO BE A MINIMUM OF 10\"/>
  - 5. TRENCH BACKFILL TO BE A MINIMUM OF 90% OF STANDARD PROCTOR DENSITY (PROCTOR DENSITY IS ACCEPTABLE AND MOISTURE OF 4-25% OF OPTIMUM FOR CITY UTILITIES



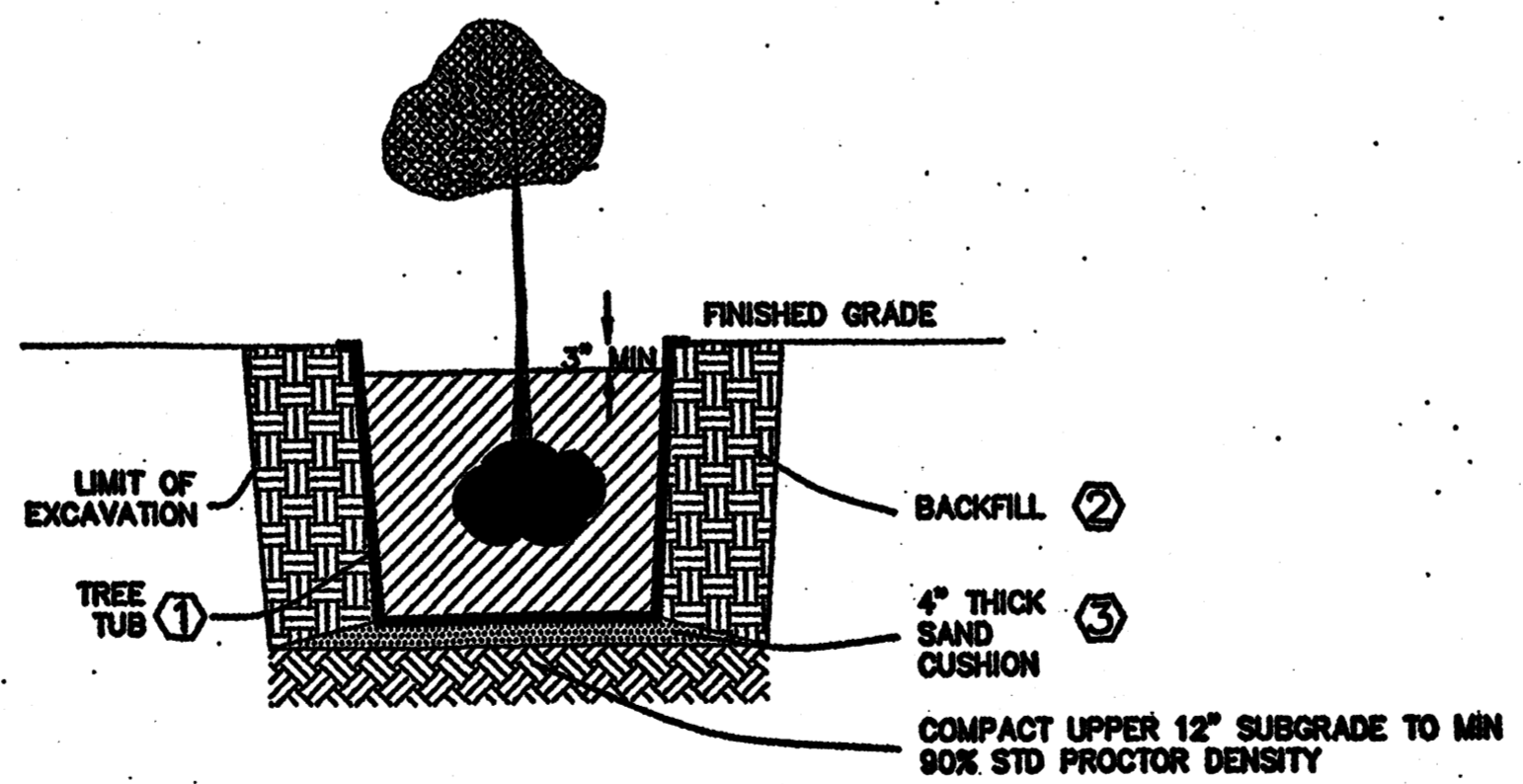
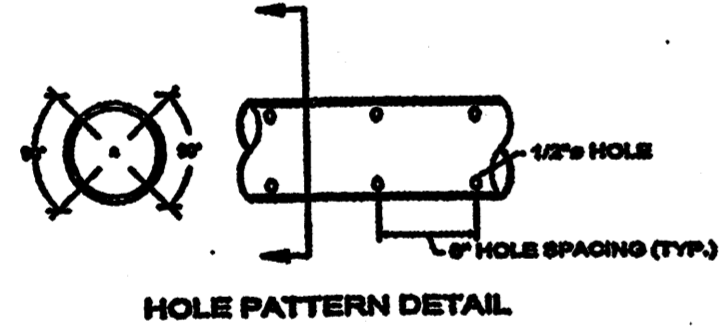
4 UTILITY PIPE PENETRATION - SLAB OR FOOTING (TYP) NTS



6 LFG VENTING LAYER DETAIL FOR BUILDING (TYP) NTS

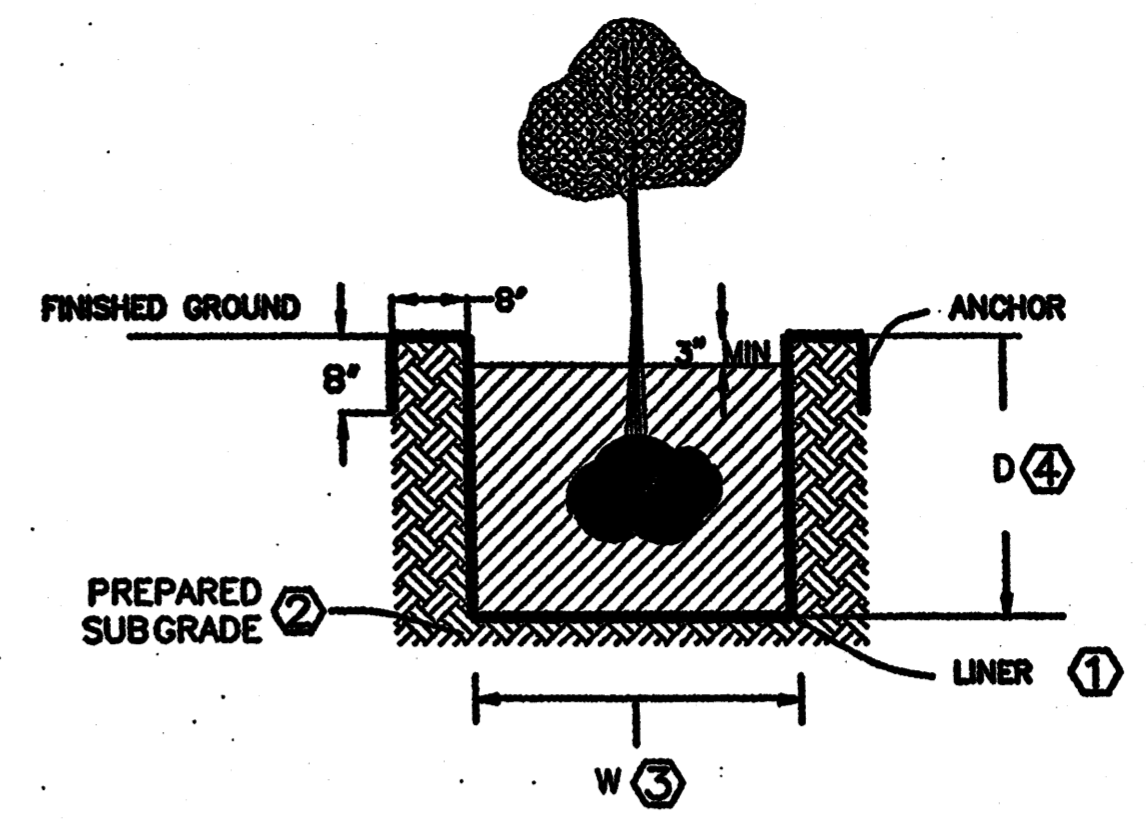


2 LFG VENTING LAYER DETAIL FOR PARKING AREAS (TYP) NTS



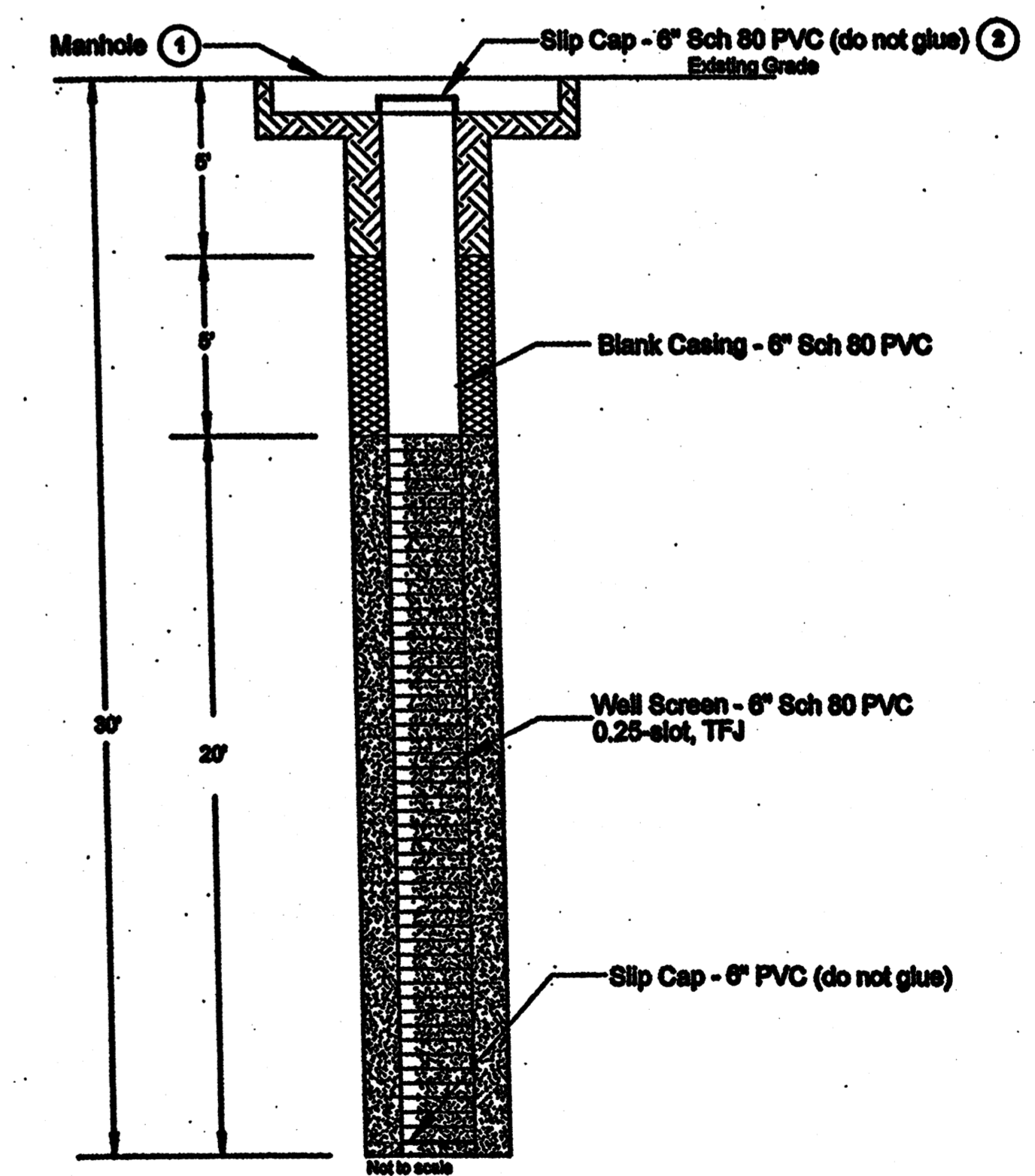
5 LINED TREE PLANTER DETAIL - OPTION A NTS

- KEYED NOTES:**
1. BIG PLANTERS.COM (1-800-222-3226) OR APPROVED EQUAL. SIZE TO BE DETERMINED BY LANDSCAPE CONTRACTOR / PROFESSIONAL.
  2. SELECT BACKFILL W/ NO ROCKS LARGER THAN 1\"/>
  - 3. CLEAN SILICA SAND OR ROUNDED PEA GRAVEL.



3 LINED TREE PLANTER DETAIL - OPTION B NTS

- KEYED NOTES:**
1. PLANTER LINER: 45-MIL THICK EPDM, NO SEAMS INSIDE PLANTER. PREPARE SLOPE OF EXCAVATION PRIOR TO PLACEMENT OF LINER BY REMOVING ALL SLUMP OR PROTRUDING OBJECTS SUCH AS ROCKS, ROOTS, STICKS, DEBRIS, OR OTHER OBJECTS THAT COULD PUNCTURE LINER.
  2. PREPARE SUBGRADE BENEATH LINER BY COMPACTING UPPER 12\"/>
  - 3. PLANTER WIDTH IS DETERMINED BY LANDSCAPE CONTRACTOR / PROFESSIONAL, BUT NOT TO EXCEED 72 INCHES.
  - 4. PLANTER DEPTH AS DETERMINED BY LANDSCAPE CONTRACTOR / PROFESSIONAL, BUT NOT TO EXCEED 36 INCHES.



- LEGEND**
- 1/4\"/>
  - 1\"/>
- NOTES**
1. Morrison MM418XA12X12 (12\"/>
  - 2. Owner to equip cap with quick-disconnect adapter - Cole Parmer cat no. A-6369-01
- Blank well casing shall be 6\"/>

4 PERIMETER METHANE WELL SCHEMATIC (TYP) NTS



JOB NO. \_\_\_\_\_  
 DATE: 08 Aug 08  
 REVISIONS

1	
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 PO BOX 6061  
 ALBUQUERQUE, NM 87106  
 505-250-4670

MICHAEL DEL. MANTRO / ARCHITECT  
 700 DELWOOD RD. NEY 800-880-888  
 ALBUQUERQUE, NM 87105 8710

OFFICE OF THE STATE ENGINEER BUILDING  
 ENV-3 LFG ABATEMENT SYSTEM DETAILS  
 RBSS LLC

DATE: 08 AUG 08  
 DRAWN BY: LAC  
 CHECKED BY: C/P/PROF/SEAL/AS RBSS CONSULTING,LLC

**LAWRENCE EARTH ENGINEERING**  
 4500 Glenwood Hills NE  
 Albuquerque, NM 87111  
 Phone: 505-294-7227 Fax: 505-294-7712