



# DRB CASE ACTION LOG

## (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70005 (P&F)

Project # 1002455

Project Name JJ SUBDIVISION

Agent: Rio Grande Surveying Co

Phone No.: 764-8891

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6-11-08 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
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UTILITIES: \_\_\_\_\_  
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CITY ENGINEER / AMAFCA: \_\_\_\_\_  
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PARKS / CIP: \_\_\_\_\_  
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PLANNING (Last to sign): - AMAFCA signature  
 \_\_\_\_\_  
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 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

N/A

Project Number 1002455



# DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01648 (SPS)

Project # 1002455

Project Name: JJ SUBDIVISION

Agent: Tafazzul Hussain

Phone No: 243-9093

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6-11-08 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: \_\_\_\_\_
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- UTILITIES: \_\_\_\_\_
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- CITY ENGINEER / AMAFCA: \_\_\_\_\_
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- PARKS / CIP: \_\_\_\_\_
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- PLANNING (Last to sign): \_\_\_\_\_
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  - The original plat and a mylar copy for the County Clerk.
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  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1002455



**COMPLETED 08/07/08**  
**DRB CASE ACTION LOG (SITE PLAN B.P.)**  
 REVISED 9/28/05

DRB

**This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.**

DRB Application No.: 06DRB-01649 (SBP)  
 Project Name: JJ SUBDIVISION  
 Agent: Tafazzul Hussain

Project # 1002455  
 Phone No.: 243.9093

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on \_\_\_\_\_ by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
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UTILITIES: \_\_\_\_\_  
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CITY ENGINEER / AMAFCA: - JIA  
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PARKS / CIP: \_\_\_\_\_  
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PLANNING (Last to sign): - check w/ Carol Tafazzul  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1003714



# DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01649 (SBP)

Project # 1002455

Project Name: JJ SUBDIVISION

Agent: Tafazzul Hussain

Phone No.: 243.9093

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on \_\_\_\_\_ by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_  
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UTILITIES: \_\_\_\_\_  
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CITY ENGINEER / AMAFCA: - JIA  
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PARKS / CIP: \_\_\_\_\_  
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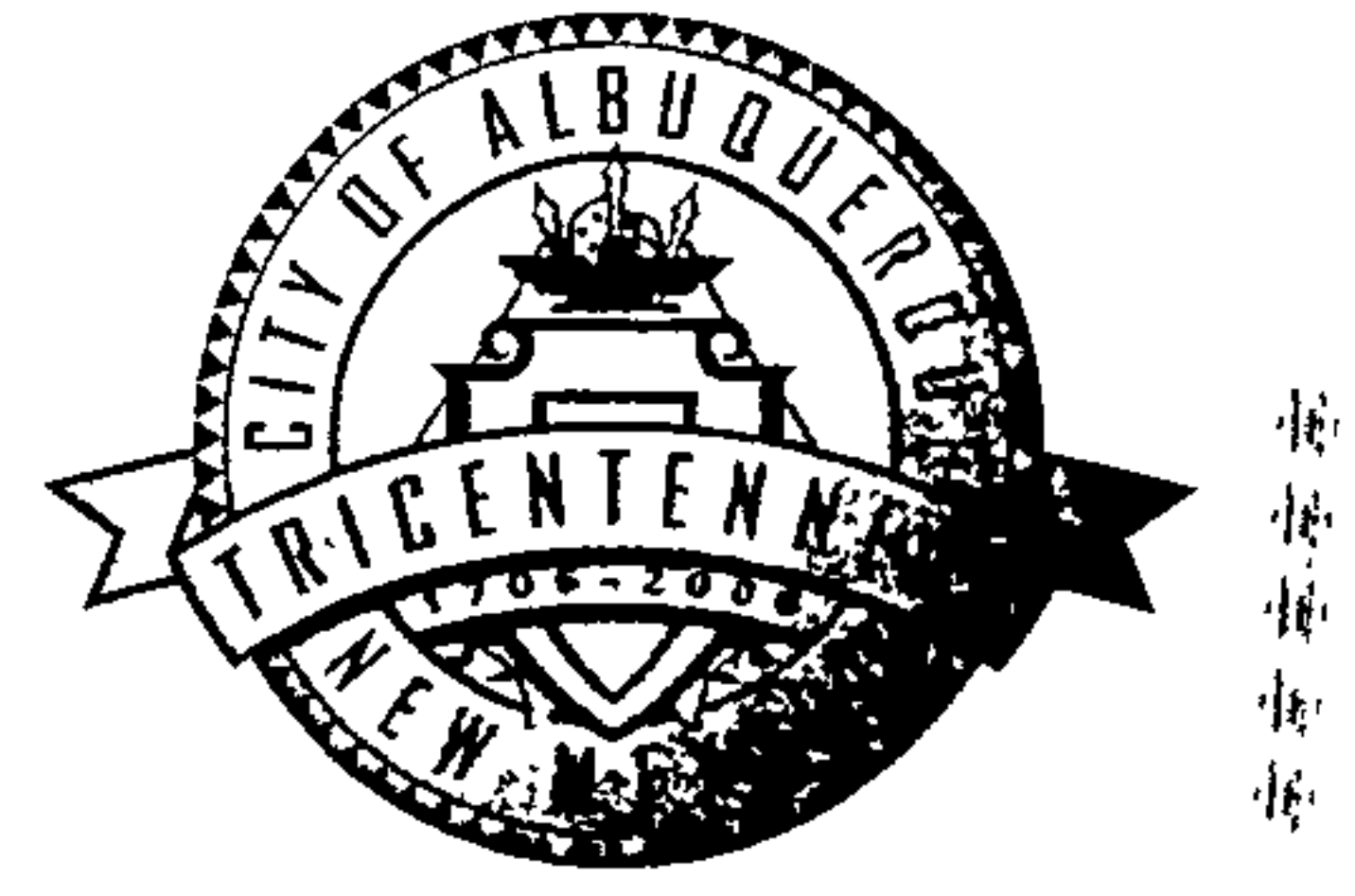
PLANNING (Last to sign): - check w/ Carol Tafazzul  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
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  - Tax certificate from the County Treasurer.
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  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

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Project Number 1003714

# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD MEMO

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 4**

**SUBJECT:**

Site Development Plan for Building Permit

**ENGINEERING COMMENTS:**

Hydrology has an approved Grading and Drainage Plan dated 11-20-06.  
An executed Subdivision Improvement Agreement with financial guarantees is required for Site Plan approval.

*Signed IL, new SPA for CE approved.*

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP)

BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP)

TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:**

Curtis Cherne  
City Engineer Designee  
924-3695

**DATE: 6-18-08**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



# DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01648 (SPS)

Project # 1002455

Project Name: JJ SUBDIVISION

Agent: Tafazzul Hussain

Phone No: 243-9093

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6-11-08 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: \_\_\_\_\_
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- UTILITIES: \_\_\_\_\_
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- CITY ENGINEER / AMAFCA: \_\_\_\_\_
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- PARKS / CIP: \_\_\_\_\_
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- PLANNING (Last to sign): \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
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  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1002455



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

June 11, 2008

**Project # 1002455**  
07DRB-70004 VACATION OF  
PRIVATE EASEMENT

RIO GRANDE SURVEYING CO. agent(s) for SAN ANTONIO PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 3-7, **JJ** **SUBDIVISION**, zoned SU-1 for C-1 USES, located on SAN ANTONIO NE between INTERSTATE 25 NE and FOREST HILLS NE containing approximately 6.5044 acre(s). *[Deferred from 5/30/07, 5/28/08 & 6/4/08]* (E-18)

At the June 11, 2008, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance.

(A)(1) The public utility easment vacation request was filed by the owners of a majority of the footage of land abutting the proposed vacation.

(B)(1) The public welfare is in no way served by retaining the public utility easements.

(B)(3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

### CONDITIONS:

1. Final disposition shall be through the City Real Estate Office
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

07DRB-70005 MINOR-PRELIMINARY/FINAL PLAT APPROVAL

With the signing of the infrastructure list dated June 11, 2008, the Preliminary/Final was approved with final sign off delegated to planning for AMAFCA signature.

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06DRB-01648 EPC SDP FOR SUBD.

The site plan for subdivision was approved. 3 copies of the approved site plan must be provided to Planning.

06DRB-01649 EPC SDP FOR BUILDING PERMIT

The site plan for building permit was deferred to 6/18/08 at the agent's request.

If you wish to appeal these decisions, you must do so by June 26, 2008 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

  
Jack Cloud, AICP, DRB Chair

Cc: Rex Vogler, P.S. – P.O. Box 7155 – Albuquerque, NM 87194

Cc: San Antonio Properties – Douglas Simms - LLC – 2712 Castaneda Dr. NW  
– Albuquerque, NM 87107



10. ~~Project# 10024553~~  
07DRB-70004 VACATION OF  
PRIVATE EASEMENT  
07DRB-70005 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL  
06DRB-01648 EPC SDP FOR SUBD.  
06DRB-01649 EPC SDP FOR BUILDING  
PERMIT

RIO GRANDE SURVEYING CO. agent(s) for SAN ANTONIO PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 3-7, **JJ SUBDIVISION**, zoned SU-1 for C-1 USES, located on SAN ANTONIO NE between INTERSTATE 25 NE and FOREST HILLS NE containing approximately 6.5044 acre(s). [Deferred from 5/30/07, 5/28/08 & 6/4/08] (E-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/11/08, THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE. THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED. 3 COPIES OF APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING.**

11. **Project# 1006760**  
08DRB-70180 SITE DEVELOPMENT  
PLAN FOR BUILDING PERMIT

YOLANDA MONTOYA agent(s) for MICHAEL RAJOLA request(s) the above action(s) for all or a portion of Lot(s) 28, Block(s) 27, Tract(s) 1, **NAA Unit(s) B**, zoned SU-2/IP, located on OAKLAND NE BETWEEN SAN PEDRO NE AND LOUISIANA NE containing approximately 0.89 acre(s). (C-18) [Deferred from 4/23/08, 5/7/08 & 5/28/08] **DEFERRED TO 6/25/08 AT THE AGENT'S REQUEST.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

12. **Project# 1007033**  
08DRB-70252 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for GILFERD PACHECO request(s) the above action(s) for all or a portion of Lot(s) 5-8, Block(s) 7, **MESA PARK ADDITION** zoned C-1, located on ZUNI RD SE BETWEEN INDIANA ST SE AND KENTUCKY ST SE containing approximately .3659 acre(s). (L-18) **DEFERRED TO 6/25/08 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

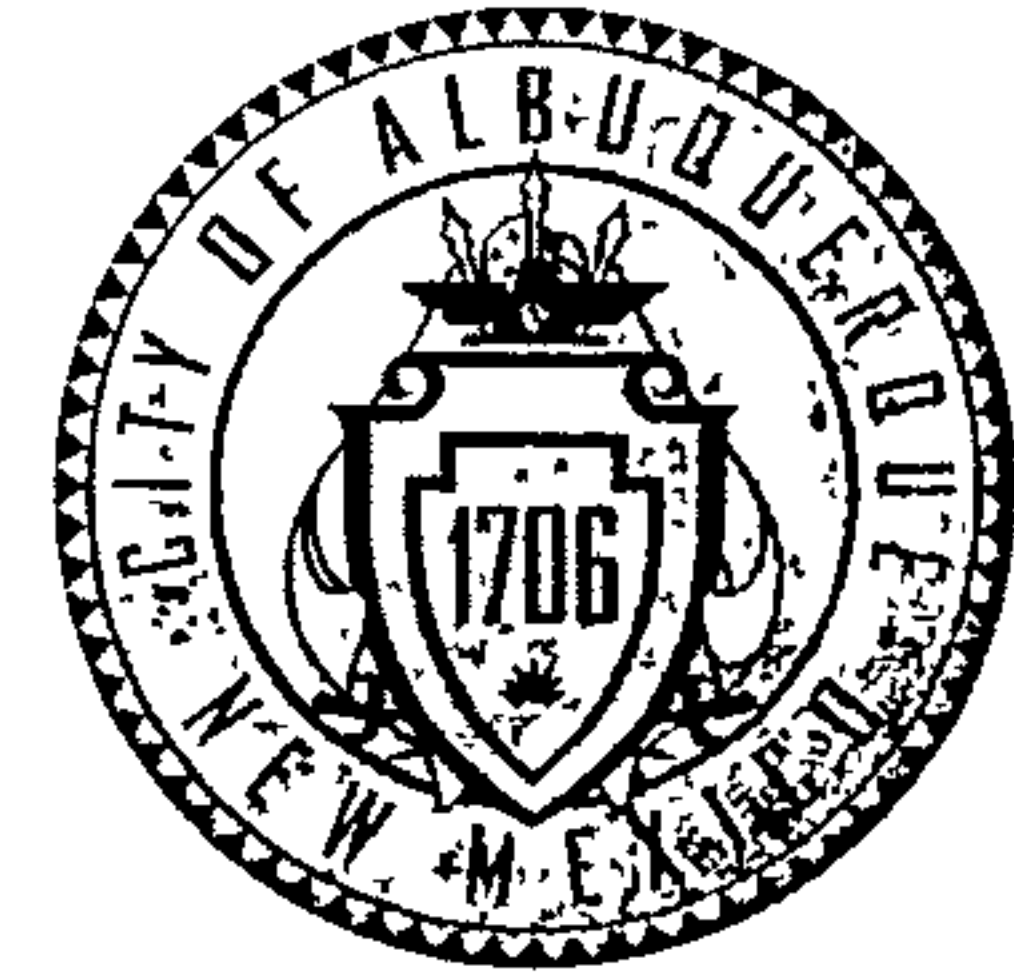
7. **Project# 1007017**  
08DRB-70255 EPC APPROVED SDP  
FOR BUILD PERMIT  
08DRB-70256 EPC APPROVED SDP  
FOR SUBDIVISION  
08DRB-70258 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

NMHCR LLC agent(s) for KASSAM HOSPITALITY request(s) the above action(s) for all or a portion of Lot(s) 2-A-1, 2-A-2, 2-A-3, **SUNPORT PARK** zoned IP, located on WOODWARD RD SE BETWEEN UNIVERSITY AND TRANSPORT SE containing approximately 4.45 acre(s). (M-15) **DEFERRED TO 6/25/08 AT THE AGENT'S REQUEST.**
  
8. **Project# 1004675**  
08DRB-70257 EPC APPROVED SDP  
FOR BUILD PERMIT  
08DRB-70259 EPC APPROVED SDP  
FOR SUBDIVISION

GEORGE RAINHART ARCHITECTS agent(s) for MCNANEY BUILDING INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) K, **VISTA DE LA LUZ** zoned SU-1 PRD, located on COORS BLVD NW BETWEEN WESTERN TRAILS NW AND LEARNING RD NW containing approximately 2.78 acre(s). **DEFERRED TO 6/25/08 AT THE AGENT'S REQUEST.**
  
9. **Project# 1000650**  
08DRB-70237 EPC APPROVED SDP  
FOR BUILD PERMIT

GEORGE RAINHART & ASSSOC. agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 2A, **LAMONICA & WENK**, zoned SU-1 / C-1, located on COORS BLVD AND RIO BRAVO containing approximately 1.55 acre(s). (P-10) [*Deferred from 5/28/08 & 6/4/08*] **DEFERRED TO 6/25/08 AT THE AGENT'S REQUEST.**

# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 15**

**SUBJECT:**

Vacation  
Final Plat  
Preliminary Plat

**ACTION REQUESTED:**

PO Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

Albuquerque

The Hydrology Section has no objection to the vacation request.  
Need to amend the Site Plan for Subdivision prior to or concurrently with platting action.

NM 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_\_; DENIED \_\_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_\_; WITHDRAWN

5-28-08

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** May 21, 2008

ALBUQUERQUE  
PLANNING DEPARTMENT  
May 21, 2008  
DRB Comments

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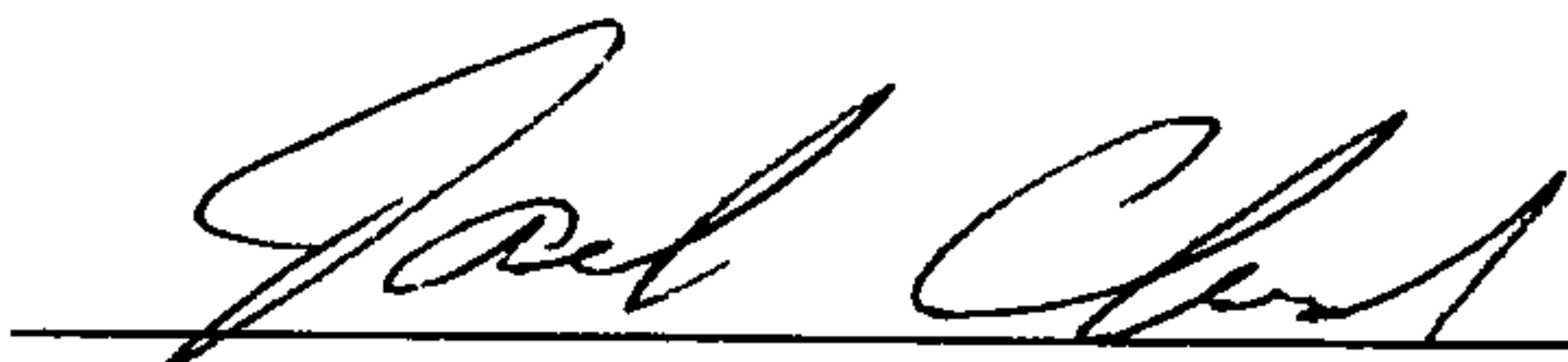
**ITEM # 15**

**PROJECT # 1002455**

**APPLICATION # 07-70005**

**RE: Lots 3-7, JJ Subdivision**

There is a site development plan scheduled for review by the Environmental Planning Commission (EPC) on June 19; these cases should be heard by DRB at the same time. The plat will need to have a Solar Access Note per Section 14-14-4-7 of the Subdivision Ordinance.



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Jack Cloud AICP, DRB Chairman  
924-3880/ jcloud@cabq.gov



**INTERA Incorporated**  
6000 Uptown Boulevard NE  
Suite 100  
Albuquerque, NM 87110  
Telephone: 505 246 1600  
Fax: 505 246 2600

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## MEMORANDUM

DATE: May 19, 2008

TO: Jack Cloud, Planning Department – Design Review Board

COPY: Suzanne Busch, Environmental Health Department  
Donna Griffin, Legal Department  
Rio Grande Surveying Co.

FROM: James Joseph, INTERA Inc.

SUBJECT: Project # 1002455, 07DRB-70004 Vacation of Private Easement, 07DRB-70005  
Minor – Preliminary/Final Plat Approval, Lots 3 – 7, JJ Subdivision, Located on  
San Antonio NE Between I-25 and Forest Hills NE.

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There is the potential for the above-named project to be impacted by the presence of landfill gas generated by a former City owned/operated landfill (San Antonio Landfill). The developers of this site are required to follow the most current version of the “City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones”. A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.

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PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1002455

AGENDA ITEM NO: 10

SUBJECT:

FINAL PLAT  
PRELIMINARY PLAT  
SITE PLAN FOR BUILDING PERMIT  
SITE PLAN FOR SUBDIVISION  
VACATION OF PRIVATE EASEMENTS

ENGINEERING COMMENTS:

Site Plan for Subdivision and Plat:

- ✓• A new ingress/egress easement must be dedicated to replace the vacated easement between lots 2 and 3

Site Plan for Building Permit:

- ✓• Call out the width of the keyway.
- ✓• For passenger vehicles, the minimum end island radius is 15 feet.
- ✓• Call out the width of all sidewalk and crosswalks. A minimum width of 6 feet must be maintained.
- ✓• The wheelchair ramps must line up at the deceleration lane.

TIS – SAN ANTONIO DRIVE REGULATION AND LICENSING AND RETAIL SHOPPING CENTER  
– MAY 2003 (MOREY WALKER & ASSOCIATES, INC)

RESOLUTION:

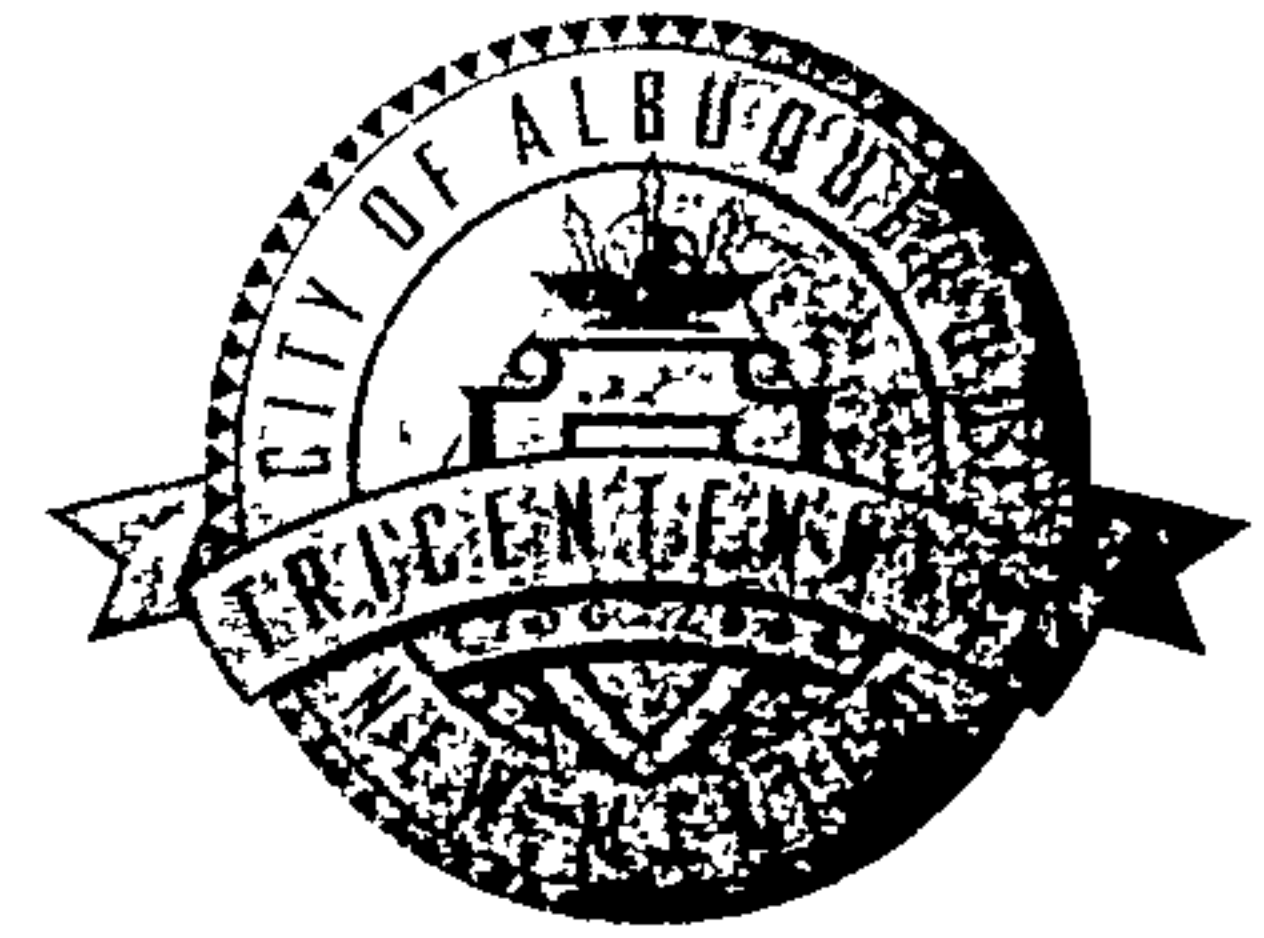
APPROVED \_\_; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Kristal D. Metro  
Transportation Development 505-924-3991

DATE: JUNE 11, 2008



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD MEMO**

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 10**

**SUBJECT:**

Vacation of Private Easement  
Plat Approval  
Site Plan for Subdivision  
Site Plan for Building Permit

**ENGINEERING COMMENTS:**

P.O. Box 1293

The Hydrology Section has no objection to the vacation request.  
No adverse comments on the plat or Site plan.

Albuquerque

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

New Mexico 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

www.cabq.gov

FOR:

**SIGNED:**

Curtis Cherne  
City Engineer Designee  
924-3695

**DATE: 6-11-08**



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

May 30, 2007

9:00 A.M.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

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**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.  
B. Changes and/or Additions to the Agenda  
C. New or Old Business

Adjourned: Noon

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1002371**  
07DRB-00577 Major-Vacation of Public Easements  
07DRB-00576 Minor-Prelim&Final Plat Approval

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or any portion of Tract(s) 1-A-1, Block(s) 15, ALBAN HILLS (to be known as **HOFFMANTOWN WEST CHURCH**) zoned SU-1 for R-2 with church related uses, located on LA ORILLA RD NW between COORS BLVD NW and the CORRALES DRAIN containing approximately 17 acre(s). [REF: 02DRB01824, 03DRB02150, 05DRB00560, 03DRB02085, 03DRB02086, 03EPC01285, 07DRB00286] [Deferred from 5/30/07] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 6/6/07.**



2. **Project # 1005539**  
07DRB-00580 Major-Vacation of Pub  
Right-of-Way

WILSON AND COMPANY agent(s) for MGMe DEVELOPMENT INC request(s) the above action(s) for all or any portion of Lot(s) 1, Block(s) 5, VOLCANO CLIFFS SUBDIVISION, UNIT 26 (to be known as **TIERRA BUENA ESTATES**) zoned SU-2 SRLL located on ROSA PARKS RD NW between UNSER BLVD NW and CALLE NORTENA NW containing approximately 4 acre(s). [REF: 07DRB00561] (C-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE FOLLOWING CONDITION OF FINAL PLAT: PRIOR TO THE REPLAT A RE-EVALUATION OF THE LEFT HAND TURN BAYS WILL BE NEEDED.**

3. **Project # 1005540**  
07DRB-00578 Major-Vacation of Public  
Easements  
07DRB-00579 Major-Vacation of Pub  
Right-of-Way

WILSON AND COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT INC request(s) the above action(s) for all or any portion of Tract(s) D, **LA CUENTISTA SUBDIVISION, UNIT 3**, zoned SU-2 SRLL, located on KIMMICK DR NW between ROSA PARKS RD NW and the PETROGLYPH NATIONAL MONUMENT containing approximately 20 acre(s). [REF: 07DRB00562] (C-11 & D-11) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE FOLLOWING CONDITION OF FINAL PLAT: PRIOR TO THE REPLAT A RE-EVALUATION OF THE LEFT HAND TURN BAYS WILL BE NEEDED.**

4. **Project # 1004075**  
06DRB-01537 Major-Vacation of Pub  
Right-of-Way  
06DRB-01539 Minor-Vacation of Private  
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] [*Deferred from 11/15/06, 12/13/06, 1/3/07, 1/17/07, 2/7/07, 2/28/07, 3/21/07, 04/11/07 & 05/02/07 & 5/30/07.*] (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 6/20/07.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

- 5. Project# 1003364**  
07DRB-70003 EPC APPROVED SDP  
FOR BUILD PERMIT

TAFAZZUL HUSSAIN agent(s) for PHILLIP LINDBORG request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned SU-2 MIXED USE, located on HOLLY AVE NE BETWEEN LOUISIANA NE AND WYOMING NE containing approximately 1 acre(s). [Anna DiMambro, EPC Case Planner] [*Indef deferred from 5/30/07*] (C-19) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
  
- 6. Project# 1005239**  
07DRB-70009 EPC APPROVED SDP  
FOR BUILD PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for MECH-CON INVESTMENT LLC request(s) the above action(s) for all or a portion of Tract(s) K-1, **GATEWAY INDUSTRIAL PARK**, zoned IP, located on BROADWAY NE BETWEEN MENAUL NE AND CLAREMONT NE containing approximately 1.75 acre(s). [REF: 06EPC 01583] [Catalina Lehner, EPC Case Planner] (H-15) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS-ACCESS WITH PLAT 30 FEET AND MINOR SITE COMMENTS AND PLANNING FOR CATALINA LEHNER'S INITIALS AND 3 COPIES OF THE SITE PLAN.**
  
- 7. Project# 1005240**  
07DRB-70007 EPC APPROVED SDP  
FOR BUILD PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for MECH-CON INVESTMENT LLC request(s) the above action(s) for all or a portion of Tract(s) H-1, **GATEWAY INDUSTRIAL PARK**, zoned IP, located on BROADWAY NE BETWEEN MENAUL NE AND CLAREMONT NE containing approximately 2.575 acre(s). [Catalina Lehner, EPC Case Planner](H-14) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CATALINA LEHNER'S INITIALS, REMOVAL OF SIGNATURE BLOCK FROM UTILITY PLAN AND 3 COPIES OF THE SITE PLAN.**

8. **Project# 1005280**  
07DRB-70011 EPC APPROVED SDP  
FOR BUILD PERMIT  
07DRB-70012 EPC APPROVED SDP  
FOR SUBDIVISION

GEORGE RAINHART ARCHITECTS agent(s) for SCM PROPERTY CO LLC request(s) the above action(s) for all or a portion of TRACT 16-A-1, PARADISE NORTH AND TRACT E-A-1, CRESTVIEW SUBDIVISION (to be known as **MCMAHON MARKETPLACE**) zoned SU-1 FOR C-1 PURPOSES, located on MCMAHON NW BETWEEN BANDELIER DR NW AND UNSER BLVD NW containing approximately 12.3 acre(s). [REF: 06EPC01706, 06EPC01705, 063PC01704] [**Catalina Lehner, EPC Case Planner**] [*Indef deferred from 5/30/07*] (A-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

9. **Project# 1005498**  
07DRB-70006 MINOR - SDP FOR  
BUILDING PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for MART-NAIR, LLC request(s) the above action(s) for all or a portion of Lot(s) 10-12 and portion of Lot 13, Block(s) 3, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **UNIVERSITY OF PHOENIX**) zoned IP, located on PASADENA NE BETWEEN I-25 FRONTAGE ROAD NE AND SAN MATEO BLVD NE containing approximately 3 acre(s). (B-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/30/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELGATED TO CITY ENGINEER FOR SIA AND PLANNING TO CHANGE THE TITLE TO SITE PLAN FOR BUILDING PERMIT AND 3 COPIES OF THE PLAN.**

07DRB-70001 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURV-TEK INC agent(s) for MART-NAIR, LLC request(s) the above action(s) for all or a portion of Lot(s) 10-12, and portion of Lot 13, Block(s) 3, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **UNIVERSITY OF PHOENIX**) zoned IP, located on PASADENA NE BETWEEN I-25 FRONTAGE ROAD NE AND SAN MATEO BLVD NE containing approximately 3 acre(s). (B-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

10. **Project # 1005545**  
07DRB-00588 Minor-SiteDev Plan  
BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for FARM CREDIT OF NEW MEXICO request(s) the above action(s) for all or any portion of Tract(s) C-1-A, **NORTH GATEWAY SUBDIVISION**, zoned IP industrial park, located on BALLOON FIESTA PARKWAY NE between SAN MATEO NE and PAN AMERICAN FREEWAY containing approximately 2 acre(s). [REF:DRB-97-6] [Deferred from 5/16/07] (B-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR UTILITY PLAN, FIRE MARSHAL STAMP, REVISED WORK ORDER SETS AND PLANNING FOR 3 COPIES OF THE PLAN.**

11. **Project # 1002455**  
06DRB-01648 Minor-SiteDev Plan  
Subd/EPC  
06DRB-01649 Minor-SiteDev Plan  
BldPermit/EPC

TAFAZZUL HUSSAIN agent(s) for DOUGLAS SIMMS request(s) the above action(s) for all or a portion of Lot(s) 2-7, **J J SUBDIVISION**, zoned SU-1 for C-1 USES, located on SAN ANTONIO DR NE, between I-25 and SAN PEDRO NE containing approximately 8 acre(s). [REF: 06DRB-00610, 06EPC-00458, 06EPC-01076] [**Carmen Marrone, EPC Case Planner**] [Indef deferred from 11/29/06] [Indef deferred from 5/30/07] (E-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

07DRB-70004 VACATION OF  
PRIVATE EASEMENT  
07DRB-70005 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

RIO GRANDE SURVEYING CO. agent(s) for SAN ANTONIO PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 3-7, **JJ SUBDIVISION**, zoned SU-1 for C-1 USES, located on SAN ANTONIO NE between INTERSTATE 25 NE and FOREST HILLS NE containing approximately 6.5044 acre(s). [Indef deferred from 5/30/07] (E-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

ANGELA,  
THIS WAS  
IND. DEFERRED  
SO NOW THEY  
WANT TO BE BACK  
ON AGENDA FOR  
MAY 21, 2004.  
DEFERRAL FEE  
HAS BEEN PAID.

Sandy

12. **Project # 1000762**  
07DRB-00597 Minor-SiteDev Plan  
BldPermit/EPC

GOLDEN ASSOCIATES LLC agent(s) for FIRST BAPTIST CHURCH request(s) the above action(s) for all or any portion of Tract(s) B, RICHLAND HILLS, UNIT 1, **FIRST BAPTIST CHURCH**, zoned SU-1 FOR IP uses with exceptions, located on PASEO DEL NORTE NW between RICHLAND HILLS RD NW and EAGLE RANCH RD NW containing approximately 6 acre(s). [REF: 06EPC01711] **[Stephanie Shumsky, EPC Case Planner]** *[Deferred from 5/23/07]* (C-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/30/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR REPLAT, STEPHANIE SHUMSKY'S INITIALS AND 3 COPIES OF THE PLAN.**

13. **Project # 1005390**  
07DRB-00648 Minor-SiteDev Plan  
BldPermit

TIMOTHY OTT request(s) the above action(s) for all or any portion of Lot(s) 9, 10 & 12, **NZ COMMERCIAL, THE RANDOLPH BUILDING**, zoned IP, located on RANDOLPH RD SE between YALE BLVD SE and UNIVERSITY BLVD SE containing approximately 4 acre(s). [REF: 07DRB-00648] *[Deferred from 5/23/07]* (M-15) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES.**

07DRB-00206 Minor-Final Plat Approval

BORDENAVE DESIGNS agent(s) for TIMOTHY OTT request(s) the above action(s) for all or a portion of Lot(s) 9, 10 & 12, **NZ COMMERCIAL THE RANDOLPH BUILDING** zoned IP industrial park zone, located on RANDOLPH RD SE between YALE BLVD SE and UNIVERSITY BLVD SE containing approximately 4 acre(s). *[Deferred from 2/28/07 & Indef deferred 3/7/07]* *[Deferred from 5/23/07]* (M-15) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

14. **Project# 1005182**  
07DRB-70014 AMENDMENT TO  
PRELIMINARY PLAT
- WILSON AND COMPANY INC agent(s) for LA CUENTISTA II LLC request(s) the above action(s) for all or a portion of Tract(s) C, **LA CUENTISTA SUBDIVISION, UNIT 2**, zoned SU-2 SRSL, located on ROSA PARKS RD NW between ALOE RD NW and KIMMICK DR NW containing approximately 35.4714 acre(s). [REF: 1000922] [Deferred from 5/30/07] (C-10 & C-11) **DEFERRED AT THE AGENT'S REQUEST TO 6/6/07.**
15. **Project# 1004272**  
07DRB-70013 SUBDN DESIGN  
VARIANCE FROM MIN DPM STDS
- ISAACSON AND ARFMAN PA agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 16-D-1, EL RANCHO GRANDE, UNIT 16 (to be known as **EL RANCHO GRANDE, UNIT 17**) zoned R-D, located on GIBSON BLVD SW between DELGADO DR SW and 118<sup>TH</sup> ST SW containing approximately 2.9585 acre(s). [REF: 07DRB-00547, 07DRB-00548, 07DRB-00549, 07DRB-00550] (N-8) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT D IN THE PLANNING FILE.**
16. **Project# 1000572**  
07DRB-70008 MAJOR - FINAL PLAT  
APPROVAL
- ISAACSON AND ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) E, H, R, S & T, **THE PRESIDIO, UNIT 2**, zoned SU-1 PRD, located on CHICO RD NE BETWEEN EUBANK BLVD NE AND MORRIS STREET NE containing approximately 4.3225 acre(s). [REF: 06DRB-01778, 06DRB-01779, 06DRB-01781] (K-21) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

17. **Project# 1004791**  
07DRB-70002 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for LOMAS JACK LLC request(s) the above action(s) for all or a portion of Tract(s) C, **LANDS OF GREVEY**, zoned C-1, located on LOMAS BLVD NE between WALKER DR NE and EUBANK BLVD NE containing approximately 1.226 acre(s). [REF: 06EPC-00413] (J-20) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

18. **Project # 1004565**  
06DRB-00908 Minor-Final Plat Approval

WAYJOHN SURVEYING INC agent(s) for DOYLE & TRICARIO INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 7, 8 & 9, Block(s) 16-A, SANTILLA PLACE (to be known as **CAGUA TOWNHOMES**) zoned SU-1 FOR PRD, located on CAGUA DR NE between COPPER AVE NE and GRAND AVE NE containing approximately 1 acre(s). [**Catalina Lehner, EPC Case Planner**] [Deferred from 8/2/06 & 8/16/06 & 8/30/06 & 9/6/06 & 9/13/06] (K-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

19. **Project# 1006500**  
07DRB-70010 SKETCH PLAT REVIEW  
AND COMMENT

MARK GOODWIN AND ASSOCIATES PA agent(s) for KB HOMES NEW MEXICO, INC request(s) the above action(s) for all or a portion of **ANDERSON HEIGHTS, UNITS 4 & 6**, zoned R-D, located on 118<sup>TH</sup> ST SW between AMOLE MESA AVE SW and COLOBEL AVE SW containing approximately 55.274 acre(s). (N-8) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. Approval of the Development Review Board Minutes for May 23, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR 5/23/07 WERE APPROVED BY THE BOARD.**

ADJOURNED: NOON



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 29, 2006

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

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**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:08 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1004989**  
 06DRB-01411 Major-Preliminary Plat Approval  
 06DRB-01412 Major-Vacation of Public Easements  
 06DRB-01413 Minor-Subd Design (DPM) Variance  
 06DRB-01414 Minor-Sidewalk Waiver  
 06DRB-01415 Minor-Temp Defer SDWK  
 BOHANNAN HUSTON INC agent(s) for MESA VERDE DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) A, UNIT 2, WILDERNESS @ HIGH DESERT (to be known as **WILDERNESS CANON @ HIGH DESERT**) zoned SU-2, HD/R-R, located on HIGH DESERT PL NE, between TRAILHEAD RD NE and EMBUDITO VIEW CT NE containing approximately 4 acre(s). [REF: 06DRB-00933, 04DRB-00713, 04DRB-01723] [*Deferred from 10/25/06 & 11/8/06 & 11/15/06 & 11/22/06 & 11/29/06*] (F-23) **DEFERRED AT THE AGENT'S REQUEST TO 12/6/06.**



2. **Project # 1004999**  
06DRB-01578 Major-Vacation of Pub  
Right-of-Way
- GLEN EFFERTZ request(s) the above action(s) for all or a portion of Tract(s) 316, **OLD TOWN ELEMENTARY SCHOOL**, zoned RA-1 residential zone, located on MOUNTAIN RD NW, between RIO GRANDE NW and GALBALDON NW containing approximately 1 acre(s). [REF: 06DRB-00965] (J-12) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
3. **Project # 1003369**  
06DRB-01601 Major-Vacation of Pub  
Right-of-Way  
06DRB-01602 Major-Vacation of Public  
Easements
- ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 6 & 7, Block(s) 16, Tract(s) 3, Unit 3, NORTH ALBUQUERQUE ACRES (to be known as **VINTNER COURT SUBDIVISION**) zoned R-D (5 DU/acre) located on WILSHIRE NE, between VENTURA NE and CORONA NE containing approximately 2 acre(s). [REF: 04DRB-00510, 04DRB-00511, 04DRB-00513, 04DRB-00519, 04DRB-00514] (C-20) **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
4. **Project # 1002372**  
06DRB-01597 Major-Amnd Prelim Plat  
Approval  
06DRB-01598 Minor-Sidewalk Waiver  
06DRB-01599 Minor-Temp Defer SDWK
- THOMPSON ENGINEERING CONSULTANTS INC agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) 223 & 224, AIRPORT UNIT, TOWN OF ATRISCO GRANT (to be known as **LAS PLAYAS SUBDIVISION**) zoned R-2, located on GLENRIO RD NW, between 68<sup>TH</sup> ST NW and 72<sup>ND</sup> ST NW containing approximately 9 acre(s). [REF: 06DRB-01084] (J-10) **WITH THE SIGNING OF THE AMENDED INFRASTRUCTURE LIST DATED 11/29/06 AND APPROVAL OF THE AMENDED GRADING PLAN ENGINEER STAMP DATED 11/2/06 THE AMENDED PRELIMINARY PLAT WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT. A SIDEWALK VRIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN**

ON EXHIBIT C IN THE PLANNING FILE. 06DRB-01600 THE EXTENSION OF SIA FOR TEMP DEFERRAL OF SDWK WAS DELETED FROM THE AGENDA AS IT WAS NOT NEEDED.

5. **Project # 1005031**  
06DRB-01077 Major-Vacation of Public Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] *[Deferred from 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06 & 11/29/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/20/06.**

- 06DRB-01017 Major-Preliminary Plat Approval  
06DRB-01018 Minor-Temp Defer SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL , located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) *[Deferred from 8/9/06 & 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06 & 11/29/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/20/06.**

- 06DRB-01282 Minor-Subd Design (DPM) Variance

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018, DRB-01077] *Deferred from 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06 & 11/29/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/20/06.**

6. **Project # 1004428**  
06DRB-01121 Major-Vacation of Public Easements  
06DRB-01119 Major-Preliminary Plat Approval  
06DRB-01122 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for ALBUQUERQUE RIO BRAVO PARTNERS LLC request(s) the above action(s) for all or a portion of Tract(s) RR-3A, RR-3B, RR-3C, RR-3D and RR-3E, TOWN OF ATRISCO GRANT (to be known as **CEJA VISTA**) zoned SU-1, C-1, R-LT, located on DENNIS CHAVEZ BLVD SW, between MEADE AVE SE and 118<sup>TH</sup> ST SW containing approximately 99 acre(s). [REF: 05DRB-01460, 05DRB-01461] [Deferred from 8/30/06 & 9/27/06 & 10/4/06 & 10/18/06 & 11/1/06 & 11/29/06] (P-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/13/06.**

7. **Project # 1005070**  
06DRB-01154 Major-Preliminary Plat Approval  
06DRB-01156 Minor-Sidewalk Waiver  
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). [Deferred from 9/6/06 & 9/13/06 & 9/27/06 & 10/11/06 & 10/25/06 & 11/29/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/20/06.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

8. **Project # 1002330**  
06DRB-01642 Minor-SiteDev Plan  
BldPermit/EPC

JIM MEDLEY ARCHITECT AIA agent(s) for ULTIMATE CAR WASH request(s) the above action(s) for all or a portion of Tract(s) G-2-A-2, **MONTGOMERY COMPLEX**, zoned SU-1 FOR C-1, located on MONTGOMERY BLVD NE, between CARLISLE BLVD NE and I-25 containing approximately 1 acre(s). [REF: 06EPC-00954] [**Maggie Gould, EPC Case Planner**] [Indef deferred from 11/29/06] (F-16) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

9. ~~Project # 1002455~~  
06DRB-01648 Minor-SiteDev Plan  
Subd/EPC  
06DRB-01649 Minor-SiteDev Plan  
BldPermit/EPC

TAFAZZUL HUSSAIN agent(s) for DOUGLAS SIMMS request(s) the above action(s) for all or a portion of Lot(s) 2-7, **J J SUBDIVISION**, zoned SU-1 FOR C-1 USES, located on SAN ANTONIO DR NE, between I-25 and SAN PEDRO NE containing approximately 8 acre(s). [REF: 06DRB-00610, 06EPC-00458, 06EPC-01076] [**Carmen Marrone, EPC Case Planner**] [*Indef deferred from 11/29/06*] (E-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

10. **Project # 1003714**  
06DRB-01646 Minor-SiteDev Plan  
Subd/EPC  
06DRB-01647 Minor-SiteDev Plan  
BldPermit/EPC  
06DRB-01645 Minor-Prelim&Final Plat  
Approval

TIERRA WEST LLC agent(s) for LB/VCC EAGLE RANCH LLC request(s) the above action(s) for all or a portion of Tract(s) C-2 & C-3, **ADOBE WELLS SUBDIVISION**, VENTURE COMMERCE CENTER, zoned SU-1 FOR IP, C-2, R-2, located on EAGLE RANCH RD NW, between WESTSIDE DR NW and COORS BLVD NW containing approximately 7 acre(s). [REF: 06EPC-01306, 06EPC-01307] [**Catalina Lehner, EPC Case Planner**] [*Deferred from 11/29/06*] (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 12/6/06.**

#### MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1001028**  
06DRB-01655 Minor-Final Plat Approval

PRECISION SURVEYS INC. agent(s) for RON AND TINA CERROS request(s) the above action(s) for all or a portion of Tract (s) 1 (to be known as **LOTS 1-A & 1-B, LANDS OF ALEJANDRO GARCIA**, zoned R-1, located on 49TH ST NW, between BLUEWATER NW and ALEJANDRO ST NW containing approximately 1 acre(s). (J-11) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR RECORDED APS DOCUMENT, APS STATEMENT ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

12. **Project # 1004932**  
06DRB-01654 Minor-Prelim&Final Plat  
Approval

PRECISION SURVEYS INC. agent(s) for ALAN M. & LINDA MALOTT request(s) the above action(s) for all or a portion of Block(s) B (to be known as **LOT B-1, MONTE VISTA ADDITION**, zoned O-R, located on CAMPUS BLVD NE and TULANE AVE NE and containing approximately 1 acre(s). *[Indef deferred from 11/29/06]* (K-16) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

13. **Project # 1002739**  
06DRB-01635 Minor-Amnd Prelim Plat  
Approval  
06DRB-01636 Minor-Sidewalk Waiver  
06DRB-01637 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for PARCELS 7 & 8A, **ANDERSON HEIGHTS, UNIT 5**, zoned RD, R-LT, located on 118<sup>TH</sup> ST SW, between DENNIS CHAVEZ BLVD SW and COLOBEL AVE SW containing approximately 69 acre(s). [REF: 05DRB-01832, 05DRB-01834, 05DRB-01835] *[Deferred from 11/29/06]* (P-8) **DEFERRED AT THE BOARD'S REQUEST TO 12/6/06.**

14. **Project # 1005261**  
06DRB-01652 Minor-Vacation of Private  
Easements  
06DRB-01651 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES INC agent(s) for CITY OF ALBUQUERQUE, C/O STUDIO SOUTHWEST ARCHITECTS, request(s) the above action(s) for Lot(s) 1 & 2, Block(s) 2, **BRATINA ADDITION NO. 2** & Lot(s) 1-10 & 19-21, **FRANCHINI ADDITION** & Lot(s) 1, **TOWNES ADDITION**, zoned M-1 light manufacturing zone, located on BROADWAY BLVD NE, between JOHN ST NE and ROMA AVE NE containing approximately 2 acre(s). (J-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project # 1004161**  
06DRB-01650 Minor-Extension of  
Preliminary Plat

JEFF MORTENSEN & ASSOCIATES agent(s) for WILLIAM & BENITA BRENNAN request(s) the above action(s) for all or a portion of Lot(s) 4 & 5 (to be known as **PLAZA ESCONDIDO**) RIVERSIDE PLAZA, zoned SU-1 FOR PRD (8 du/a) located on WINTER HAVEN RD NW, between LA ORILLA RD NW and MONTANO PLAZA DR NW containing approximately 3 acre(s). [REF: 05DRB-01724, 05DRB-01725, 05DRB-01726, 05DRB-01727, 05DRB-01728] (E-12) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

16. **Project # 1004602**  
06DRB-01628 Minor-Prelim&Final Plat  
Approval

DOUG SMITH agent(s) for ROBERT JENKINS request(s) the above action(s) for all or a portion of Lot(s) G & westerly portion of Lot(s) F, **ALVARADO GARDENS NO. 2**, zoned RA-2, located on CASTANEDA RD NW, between ORO VISTA RD NW and CAMPBELL RD NW containing approximately 1 acre(s). [REF: 06DRB-01098 (G-12) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE, MAINTENANCE AND BENEFICIARIES OF THE 2 EASEMENTS AND TO RECORD THE PLAT.**

17. **Project # 1005250**  
06DRB-01613 Minor-Prelim&Final Plat  
Approval

JOSE RODRIGUEZ request(s) the above action(s) for all or a portion of Lot(s) A, B & C, Block T-1, **CARLOS REY SUBDIVISION**, zoned R-2 residential zone, located on CHURCHILL RD SW, between COORS BLVD SW and BATAAN DR SW containing approximately 1 acre(s). [Deferred from 11/15/06 & 11/22/06 & 11/29/06] (K-10) **DEFERRED AT THE AGENT'S REQUEST TO 12/6/06.**

18. **Project # 1002730**  
06DRB-01521 Minor-Final Plat Approval

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS II LLC request(s) the above action(s) for all or a portion of Lot(s) 13-A-1, Block(s) 6, Tract(s) 3, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **VILLA FIRENZE**) zoned R-D, located on CORONA AVE NE, between VENTURA ST NE and MENDOCINO DR NE containing approximately 4 acre(s). [REF: 06DRB-01204] *[Deferred from 10/25/06 Indef deferred 11/8/06 & Indef deferred 11/29/06]* (C-20) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

06DRB-01555 Minor-Subd Design (DPM)  
Variance

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS II LLC request(s) the above action(s) for all or a portion of Lot(s) 13-A-1, Block(s) 6, Tract(s) 3, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **VILLA FIRENZE**) zoned R-D, located on CORONA AVE NE, between VENTURA ST NE and MENDOCINO DR NE containing approximately 4 acre(s). [REF: 06DRB-01204] *Indef deferred 11/8/06]* (C-20) **A SUBDIVISION DESIGN VARIANCE FROM THE MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

19. **Project # 1005262**  
06DRB-01653 Minor-Sketch Plat or Plan

DON GORMAN agent(s) for MIKE MIDANI request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, Block(s) 7, **DALE BELLAMAH ADDITION**, zoned R-3 residential zone, located on ALVARADO DR NE, between INDIAN SCHOOL RD NE and CONSTITUTION AVE NE containing approximately 1 acre(s). (J-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1005258**  
06DRB-01640 Minor-Sketch Plat or Plan

ANGELA BLAIR agent(s) for CHRISTOPHER & JEANETTE CHAVEZ request(s) the above action(s) for all or a portion of Tract(s) 242C, **MARTINEZTOWN**, zoned SU-2/NCR, located on EDITH BLVD NE, between LOMAS NE and MOUNTAIN NE containing approximately 1 acre(s). (J-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1005259**  
06DRB-01641 Minor-Sketch Plat or Plan

AZEEZ HINDI request(s) the above action(s) for **CANYON ACRES**, zoned C-1, located on SKYLINE NE, between FIGUEROA NE and TRAMWAY BLVD NE containing approximately 2 acre(s). (L-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **ADJOURNED: 11:08 A.M.**





# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD -- SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 9**

**SUBJECT:**

Site Plan for BP  
Site Plan for Subd

**ACTION REQUESTED:**

**REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )**

**ENGINEERING COMMENTS:**

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED *deferred* ; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** NOVEMBER 29, 2006

**CITY OF ALBUQUERQUE**  
**PLANNING DEPARTMENT**  
Development Review Division

#9

**INTER-OFFICE MEMO**

**November 27, 2006**

**TO:** Sheran Matson, DRB Chair  
**FROM:** Carmen Marrone, Senior Planner  
**RE:** **Project #1002455, San Antonio Office/Retail**

On October 19, 2006, the EPC approved a Site Development Plan for Subdivision and Building Permit for Lots 2-7, JJ Subdivision. **The DRB submittal generally meets the EPC conditions of approval except for the following:**

**Site Plan for Subdivision:**

**Condition 7:** General Design Criteria 11 addresses perimeter walls and not screen walls that may be required along San Antonio. Also, it is unclear what is meant by "Planning Department Guidelines at time of Building Permit application." The screen walls should be of a similar style, color, material and height throughout lots 2-7.

If you have any questions regarding this case, please call me at 924-3814.

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 11**

**SUBJECT:**

Final Plat  
Preliminary Plat  
Site Plan for Building Permit  
Site Plan for Subdivision - *Amended*  
Vacation of Private Easements

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

No adverse comments.  
An approved SIA with Financial Guarantee(s) is required prior to plat sign off by City Engineer.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

**RESOLUTION:**

*Indef*

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** MAY 30, 2007

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## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

May 31, 2006

**1. Project # 1002455**  
06DRB-00610 Major-One Year SIA

TIM OTT agent(s) for J GROUP request(s) the above action(s) for all or a portion of Lot(s) 1-7, **J J SUBDIVISION**, zoned SU-1 for C-1 uses, located on SAN ANTONIO DR NE, between I-25 and SAN PEDRO DR NE containing approximately 10 acre(s). [REF: 04DRB-00984, 03DRB-01899, 03DRB-01654] (E-18)

At the May 31, 2006, Development Review Board meeting, a one-year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by June 15, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Sheran Matson, AICP, DRB Chair

Cc: J Group, 7508 Northridge Ave NE, 87109  
Timothy Ott, 5620 Venice NE, Suite #G, 87113  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
File

# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002455 AGENDA#: 1 DATE: 5-31-06

1. Name: Tim OTT Address: 5620 Venice Zip: 87113

2. Name: Robert Powers Address: 4328 Los Metates <sup>MD</sup> Zip: 87125

3. Name: Jake Bodenbade Address: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 1**

**SUBJECT:**

SIA Extension

**ACTION REQUESTED:**

REV/CMT:() APP:() SIGN-OFF:() EXTN:(x) AMEND:()

**ENGINEERING COMMENTS:**

The Hydrology Section has no objection to the extension request.

**RESOLUTION:**

APPROVED ; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** May 31, 2006

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

|||||



#1002455





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CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

May 31, 2006

**Project # 1002455**  
06DRB-00610 Major-Two Year SIA

TIM OTT agent(s) for J GROUP request(s) the above action(s) for all or a portion of Lot(s) 1-7, **J J SUBDIVISION**, zoned SU-1 for C-1 uses, located on SAN ANTONIO DR NE, between I-25 and SAN PEDRO DR NE containing approximately 10 acre(s). [REF: 04DRB-00984, 03DRB-01899, 03DRB-01654 ] (E-18)

- AMAFCA No adverse comments.
- COG No adverse comments.
- Transit No objection to the request.
- Zoning Enforcement No adverse comments.
- Neighborhood Coordination
  - Letters sent to Albuquerque Meadows Residents Assoc. (R) and Academy Acres North NA (R).
- APS The request for an extension of the Subdivision Improvements Agreement for lots 1-7 of the JJ Subdivision will have no adverse impacts to the APS district.
- Police Department No crime prevention or CPTED comments at this time.
- Fire Department No adverse comments.
- PNM Electric & Gas No adverse comments.
- Comcast No comments received.
- QWEST No comments received.
- Environmental Health No comments received.
- M.R.G.C.D. No comments received.





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, May 31, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

- Project # 1002455**  
06DRB-00610 Major-Two Year SIA  
TIM OTT agent(s) for J GROUP request(s) the above action(s) for all or a portion of Lot(s) 1-7, **J J SUBDIVISION**, zoned SU-1 for C-1 uses, located on SAN ANTONIO DR NE, between I-25 and SAN PEDRO DR NE containing approximately 10 acre(s). [REF: 04DRB-00984, 03DRB-01899, 03DRB-01654 ] (E-18)
- Project # 1003353**  
06DRB-00631 Major-Two Year SIA  
WILSON & COMPANY INC agent(s) for THE TRAILS LLC request(s) the above action(s) for THE TRAILS (to be known as **HERITAGE @ THE TRAILS, UNIT 2**) zoned RD, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and HEARTHSTONE NW containing approximately 14 acre(s). [REF: 04DRB-01415] (C-9)
- Project # 1003354**  
06DRB-00633 Major-Two Year SIA  
WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for THE TRAILS, (to be known as **HERITAGE @ THE TRAILS, UNIT 1**, zoned RD, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and HEARTHSTONE NW containing approximately 9 acre(s). [REF: 04DRB-01416] (C-9)
- Project # 1002858**  
06DRB-00629 Major-Vacation of Public Easements  
06DRB-00630 Minor-Prelim&Final Plat Approval  
MARK GOODWIN & ASSOCIATES PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Lot(s) 28, Block(s) 13, **MESA @ ANDERSON HILLS, UNIT 2**, zoned SU-1 for C-1 uses & R-2, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 35 acre(s). [REF: 05DRB-00488, 04DRB-01744, 04DRB-01683] (P-9)
- Project # 1004877**  
06DRB-00634 Major-Vacation of Pub Right-of-Way  
06DRB-00635 Minor-Sketch Plat or Plan  
JEFF MORTENSEN & ASSOCIATES INC agent(s) for THE BOARD OF EDUCATION FOR THE CITY OF ALBUQUERQUE (APS REAL ESTATE OFFICE) request(s) the above action(s) for all or a portion of Lot(s) 1-10, Block(s) 3 and Lot(s) 1-9, Block(s) 4, **MANDELL ADDITION NO 2**, zoned M-1, located on WOODLAND AVE NW, between 4<sup>TH</sup> ST NW and 2<sup>ND</sup> STNW containing approximately 4 acre(s). (H-14)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

  
Sheran Matson, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 15, 2006.**

**CITY OF PLANNING  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** MAY 31, 2006  
**Zone Atlas Page:** E-18-Z  
**Notification Radius:** 100 Ft.

**Project# 1002455**  
**App#06DRB-00610**

**Cross Reference and Location:** SAN ANTONIO DR NE BETWEEN I-25 NE AND  
SAN PEDRO DR NE

**Applicant:** J GROUP  
**Address:** 7508 NORTHRIDGE AVE NE  
ALBUQUERQUE, NM 87109

**Agent:** TIMOTHY M OTT  
5620 VENICE NE STE # G  
ALBUQUERQUE, NM 87113

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** MAY 12, 2006  
**Signature:** YVONNE SAAVEDRA

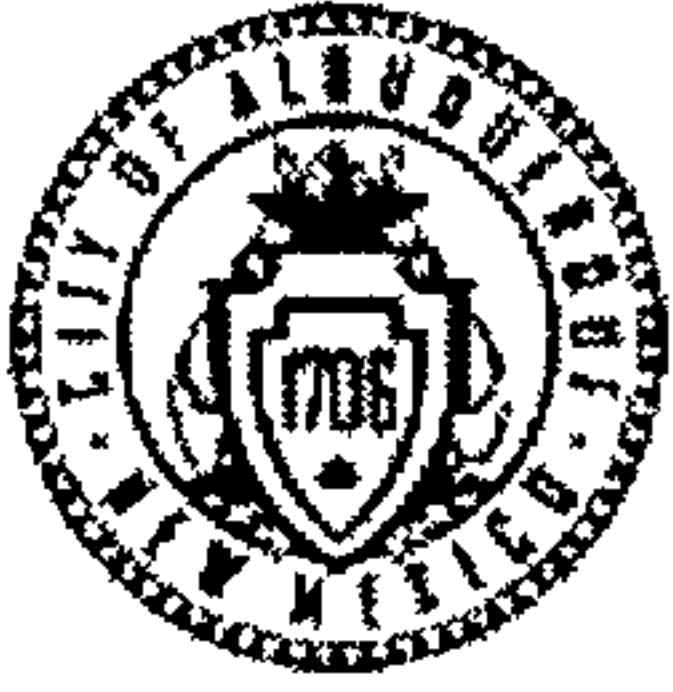
**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP / LEGAL LIST**

**PROJECT #** 1002455  
**APPLICATION #** \_\_\_\_\_

**PAGE** 1 **OF** 2

ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
E-18	10180 62	083-500	201-40	✓
		109-498	41	✓
		131-500	42	✓ Dup
		158-502	43	✓ Dup <sup>2</sup>
		188-503	44	✓ Dup <sup>2</sup>
		219-503	46	✓
		247-502	47	✓
		224-489	35	✓
		043-512	25	✓
		017-502	15	✓
		166-467	05	✓ <del>COA</del> Dup
		045-456	20	✓
		001-445	45	✓ Dup <sup>2</sup>
		277-507	102-25	✓ COA
	10180 63	274-010	401-01	✓
		135-053	301-10	✓





mainframe@coa1mp3.ca

bq.gov

05/08/2006 04:13 PM

To

cc

bcc

Subject

1 R E C O R D S W I T H L A B E L S PAGE  
1  
01018062 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0101806208350020140 LEGAL: LT 1 PLA T OF LOTS 1 THRU 7 JJ SUBDIVISION BEING  
A LAND USE:  
PROPERTY ADDR: 00000 SAN ANTONIO  
OWNER NAME: OTT TIMOTHY M  
OWNER ADDR: 00040 CHACO ST  
LOS ALAMOS NM 87544  
0101806210949820141 LEGAL: LT 2 PLA T OF LOTS 1 THRU 7 JJ SUBDIVISION BEING  
A LAND USE:  
PROPERTY ADDR: 00000 SAN ANTONIO  
OWNER NAME: J GROUP  
OWNER ADDR: 07508 NORTHRIDGE AV NE  
ALBUQUERQUE NM 87109  
0101806213150020142 LEGAL: LT 3 PLA T OF LOTS 1 THRU 7 JJ SUBDIVISION BEING  
A LAND USE:  
PROPERTY ADDR: 00000 SAN ANTONIO  
OWNER NAME: SAN ANTONIO PROPERTIES LLC  
OWNER ADDR: 07508 NORTHRIDGE AV NE  
ALBUQUERQUE NM 87109  
0101806215850220143 LEGAL: LT 4 PLA T OF LOTS 1 THRU 7 JJ SUBDIVISION BEING  
A LAND USE:  
PROPERTY ADDR: 00000 SAN ANTONIO  
OWNER NAME: SAN ANTONIO PROPERTIES LLC  
OWNER ADDR: 07508 NORTHRIDGE AV NE  
ALBUQUERQUE NM 87109  
0101806218850320144 LEGAL: LT 5 PLA T OF LOTS 1 THRU 7 JJ SUBDIVISION BEING  
A LAND USE:  
PROPERTY ADDR: 00000 SAN ANTONIO  
OWNER NAME: SAN ANTONIO PROPERTIES LLC  
OWNER ADDR: 07508 NORTHRIDGE AV NE  
ALBUQUERQUE NM 87109  
0101806221950320146 LEGAL: LT 6 PLA T OF LOTS 1 THRU 7 JJ SUBDIVISION BEING  
A LAND USE:  
PROPERTY ADDR: 00000 SAN ANTONIO  
OWNER NAME: COTRUZZOLA JOSEPH P  
OWNER ADDR: 07508 NORTHRIDGE AV NE  
ALBUQUERQUE NM 87109  
0101806224750220147 LEGAL: LT 7 PLA T OF LOTS 1 THRU 7 JJ SUBDIVISION BEING  
A LAND USE:  
PROPERTY ADDR: 00000 SAN ANTONIO  
OWNER NAME: COTRUZZOLA JOSEPH P  
OWNER ADDR: 07508 NORTHRIDGE AV NE  
ALBUQUERQUE NM 87109  
0101806222448920135 LEGAL: TR A -3-A PLAT OF TRS A-3-A & A-3-B J GROUP ADDN  
CO LAND USE:  
PROPERTY ADDR: 00000 SAN ANTONIO  
OWNER NAME: VEENA INVESTMENTS INC  
OWNER ADDR: 06605 TERESO PL NE  
ALBUQUERQUE NM 87113

PAGE 2

0101806204351220125 SQ LAND USE: LEGAL: TR A -1 R EPLAT OF TR A J GROUP ADDN CONT 74,496  
PROPERTY ADDR: 00000 SAN ANTONIO  
OWNER NAME: ABQ INVESTMENTS INC  
OWNER ADDR: 13215 VELMA CT NE  
87112

ALBUQUERQUE NM 87112  
0101806201750220115 NE/4 LAND USE: LEGAL: TR O F LA ND IN NW/4 NW/4 NW/4 SEC 25 & IN THE  
PROPERTY ADDR: 00000 SAN ANTONIO  
OWNER NAME: CRACKER BARREL OLD COUNTRY  
OWNER ADDR: PO BOX 787  
37088

LEBANON TN 37088  
0101806216646720105 HEAR LAND USE: LEGAL: TRAC T 2 SUBDIVISION & DEDICATION PLAT FOR NEW  
PROPERTY ADDR: 00000 FOREST HILLS  
OWNER NAME: PRESBYTERIAN HEALTHCARE SVC  
OWNER ADDR: PO BOX 26666  
87125

ALBUQUERQUE NM 87125  
0101806204545620120 LAND USE: LEGAL: TRAC T 2 NORTHSIDE SUBD CONT 9.2870 AC M/L  
PROPERTY ADDR: 00000 FOREST HILLS  
OWNER NAME: SOUTHWEST HEALTH FOUNDATION  
OWNER ADDR: PO BOX 26666  
87125

ALBUQUERQUE NM 87125  
0101806200144520145 ( A LAND USE: LEGAL: TR 1 PLA T OF TR 1 LANDS OF A B C MECHANICAL CO  
PROPERTY ADDR: 00000 FRONTAGE  
OWNER NAME: PRESBYTERIAN HEALTHCARE SERVIC  
OWNER ADDR: PO BOX 26666  
87125

ALBUQUERQUE NM 87125  
0101806227750710225 GR LAND USE: LEGAL: TRAC T B- 2 J GROUP ADDN PLAT OF TRS B-1A & B-2 J  
PROPERTY ADDR: 00000 SAN PEDRO  
OWNER NAME: CITY OF ALBUQUERQUE  
OWNER ADDR: PO BOX 1293  
87103

ALBUQUERQUE NM 87103  
0101806327401040101 NO LAND USE: LEGAL: TR B PLA T OF DIV OF LT 32 BLK 20 OF TR A UNIT A  
PROPERTY ADDR: 00000 SAN ANTONIO  
OWNER NAME: JAMES A DICK CO  
OWNER ADDR: PO BOX 1856  
79950

EL PASO TX 79950  
0101806313505330110 49.795 LAND USE: LEGAL: TR B THE MEADOWS MOBILE HOME FACILITY CONT  
PROPERTY ADDR: 00000 PAN AMERICAN FRWY  
OWNER NAME: AML LLC  
OWNER ADDR: PO BOX 36159  
90036

LOS ANGELES CA 90036  
0101806307202230102 LAND USE: LEGAL: TR B OF TRS A & B MCKAY SUBN  
PROPERTY ADDR: 00000 SAN ANTONIO  
OWNER NAME: AVINASH INC  
OWNER ADDR: 01809 ARCHULETA DR NE  
87112

ALBUQUERQUE NM 87112



PAGE 3

0101806303802730101      LEGAL: TR A   OF   TRS A & B MCKAY SUBD EXC SWLY POR CONT  
2.8   LAND USE:

PROPERTY ADDR: 00000      SAN ANTONIO  
OWNER NAME: LA QUINTA MOTOR INNS INC  
OWNER ADDR: PO BOX 2636 PROP TAX

SAN ANTONIO TX      78299

0101806217551820130      LEGAL: TRAC T A- 2-A-1 J GROUP ADDN PLAT OF TRS A-2-A-1  
& A   LAND USE:

PROPERTY ADDR: 00000      N/A  
OWNER NAME: CITY OF ALBUQUERQUE  
OWNER ADDR: PO BOX 1293

ALBUQUERQUE NM      87103

0101806228348010801      LEGAL: TRAC T A- 1 REPLAT OF TR A CREATING TRACTS A-1  
AND A   LAND USE:

PROPERTY ADDR: 00000      FOREST HILLS  
OWNER NAME: GALLEGOS MARY ROSE  
OWNER ADDR: 06711      FOREST HILLS

ALBUQUERQUE NM      87109

DR NE

QUIT



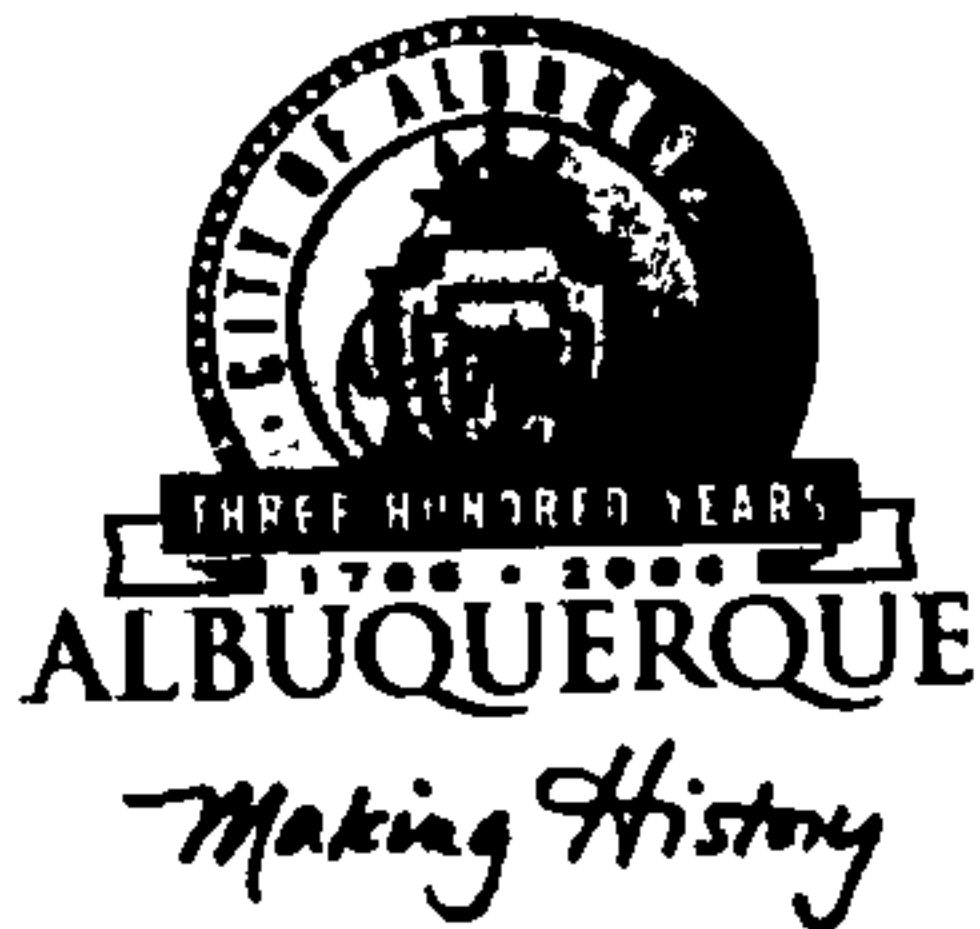
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LEGAL: TRACT A-2-A-1 J GROUP ADDN PLAT OF TRS A-2-A P ADDN CONT  
7.6079

PROPERTY ADDR: N/A

OWNERS NAME:  
OWNERS ADDR:

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE, NM 87103



# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: April 28, 2006

TO CONTACT NAME: Timothy M. Ott  
COMPANY/AGENCY: \_\_\_\_\_  
ADDRESS/ZIP: 5620 Venice NE, Suite E ABQ, NM 87113  
PHONE/FAX #: 250-4675 / 268-9742 Fax

Thank you for your inquiry of 4-28-06 (date) requesting the names of **Recognized**

**Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at lots 1 through 7 JJ Subdivision, located on  
SAN ANTONIO BETWEEN SAN PEDRO & I-25  
zone map page(s) E-18.

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Albuquerque Meadows Residents  
Neighborhood Association ASSOC.

Contacts: Dick Schlaeser  
7112-148 Pan American Fwy. NE. / 87109  
798-1797

Douglas Berry  
7112-102 Pan American Fwy. NE. / 87109  
858-3286

Academy Acres North  
Neighborhood Association

Contacts: Frene Minke  
6504 DUNGAN NE / 87109  
828-9810

Jody Lynch  
PO. Box 94387 / 87199  
821-3282

**See reverse side for additional Neighborhood Association Information: YES { } NO {X}**

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

[Signature]  
OFFICE OF NEIGHBORHOOD COORDINATION

.....  
Attention: Both contacts per neighborhood association need to be notified.  
.....

Tim Ott  
5620 Venice N.E. Suite G  
Albuquerque, NM 87113

May 1, 2006

Academy Acres North  
c/o Judy Lynch  
PO Box 94387  
Albuquerque, New Mexico 87199

Dear Sir,

I am writing you in regard to an extension of the Subdivision Improvements Agreement (SIA) for lots 1-7 of the JJ Subdivision. This SIA was previously approved under DRB case no. 1002455. These improvements are for water and sewer lines on the south side of San Antonio between San Pedro and the I-25 intersection. These improvements should be completed by August 2006. The current SIA expires prior to this date so an extension is being requested.

The SIA extension would extend the SIA expiration date to January 12, 2007.

If you have any questions you may contact Tim Ott at 250-4675.

Thank you for your consideration in this matter.



T. M. Ott  
Agent for J Group Addition

Project # 1002455

J GROUP  
7508 NORTHRIDGE AVE NE  
ALBUQUERQUE, NM 87109

Project # 1002455

TIMOTHY M OTT  
5620 VENICE NE STE # G  
ALBUQUERQUE, NM 87113

Project # 1002455

DICK SCHLAEFAR  
Albuquerque Meadows Residents Assoc.  
7112-148 PAN AMERICAN FRWY NE  
ALBUQUERQUE, NM 87109

Project # 1002455

DOUGLAS BERRY  
Albuquerque Meadows Residents Assoc.  
7112-102 PAN AMERICAN FRWY NE  
ALBUQUERQUE, NM 87109

Project # 1002455

IRENE MINKE  
Academy Acres North N.A.  
6504 DUNGAN NE  
ALBUQUERQUE, NM 87109

Project # 1002455

JODY LYNCH  
Academy Acres North N.A.  
PO BOX 94387  
ALBUQUERQUE, NM 87199

101806208350020140

OTT TIMOTHY M  
40 CHACO ST  
LOS ALAMOS NM 87544

101806213150020142

SAN ANTONIO PROPERTIES LLC  
7508 NORTHRIDGE AV NE  
ALBUQUERQUE NM 87109

101806221950320146

COTRUZZOLA JOSEPH P  
7508 NORTHRIDGE AV NE  
ALBUQUERQUE NM 87109

101806222448920135

VEENA INVESTMENTS INC  
6605 TERESO PL NE  
ALBUQUERQUE NM 87113

101806204351220125

ABQ INVESTMENTS INC  
13215 VELMA CT NE  
ALBUQUERQUE NM 87112

101806201750220115

CRACKER BARREL OLD COUNTRY  
PO BOX 787  
LEBANON, TN 37088

101806216646720105

PRESBYTERIAN HEALTHCARE SVC  
PO BOX 26666  
ALBUQUERQUE, NM 87125

101806204545620120

SOUTHWEST HEALTH FOUNDATION  
PO BOX 26666  
ALBUQUERQUE, NM 87125

101806327401040101

JAMES A DICK CO  
PO BOX 1856  
EL PASO, TX 79950

101806313505330110

AML LLC  
PAN AMERICAN FRWY

101806307202230102

AVINASH INC  
1809 ARCHULETA DR NE  
ALBUQUERQUE NM 87112

101806303802730101

LA QUINTA MOTOR INNS INC  
PO BOX 2636 PROP TAX  
SAN ANTONIO, TX 78299

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ALBUQUERQUE MEADOWS LTD  
PO BOX 36159  
LOS ANGELES, CA 90036

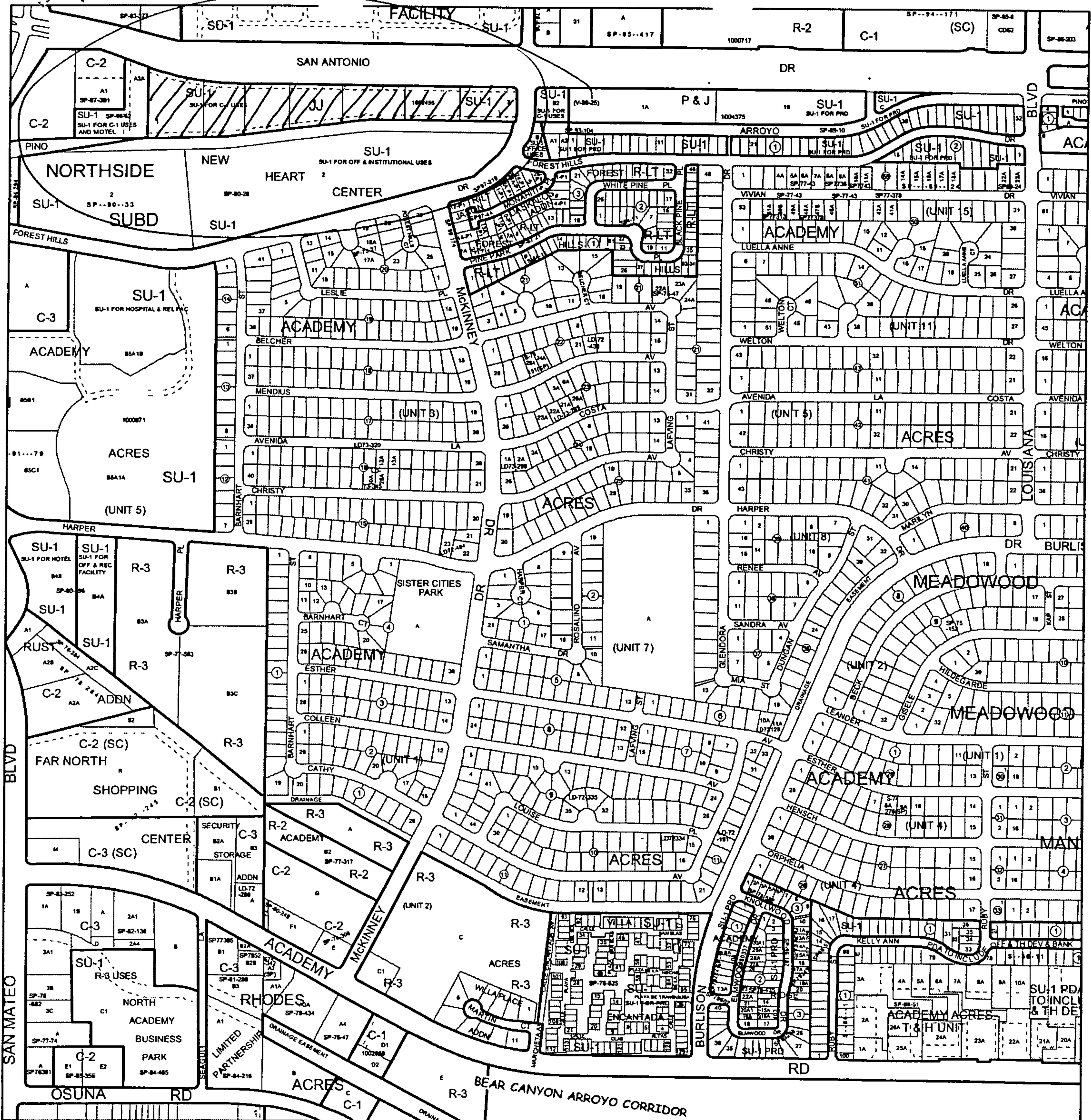
101806228348010801

GALLEGOS MARY ROSE  
6711 FOREST HILLS DR NE  
ALBUQUERQUE NM 87109

101806313505330110

ALBUQUERQUE MEADOWS LTD  
PO BOX 36159  
LOS ANGELES, CA 90036

SITE



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**E-18-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

Map amended through: 11/2/2005

0 750 1,500 Feet



Tim Ott  
5620 Venice N.E. Suite G  
Albuquerque, NM 87113

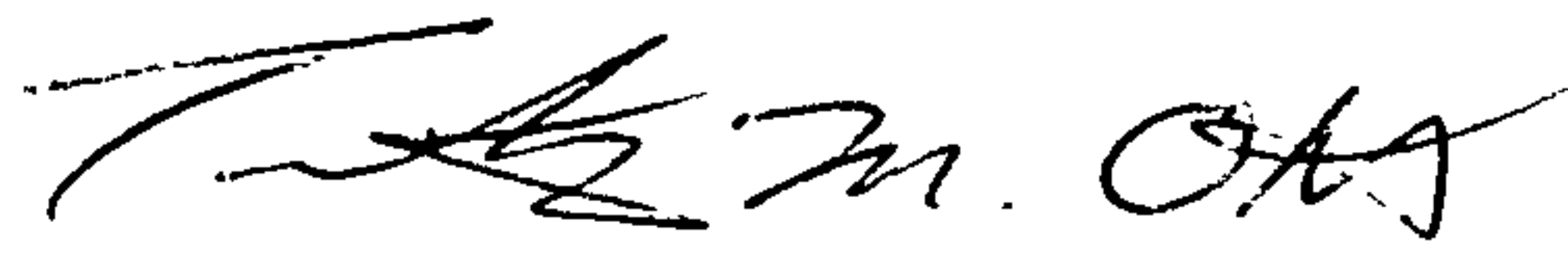
May 2, 2006

I am asking for an extension of the Subdivision Improvements Agreement (SIA) for lots 1-7 of the JJ Subdivision. This SIA was previously approved under DRB case no. 1002455. These improvements are for water and sewer lines and an arroyo rundown inlet on the south side of San Antonio between San Pedro and the I-25 intersection. These improvements should be completed by August 2006. The current SIA expires prior to that date so an extension is being requested.

The SIA extension would extend the SIA expiration date to January 12, 2007.

If you have any questions you may contact Tim Ott at 250-4675.

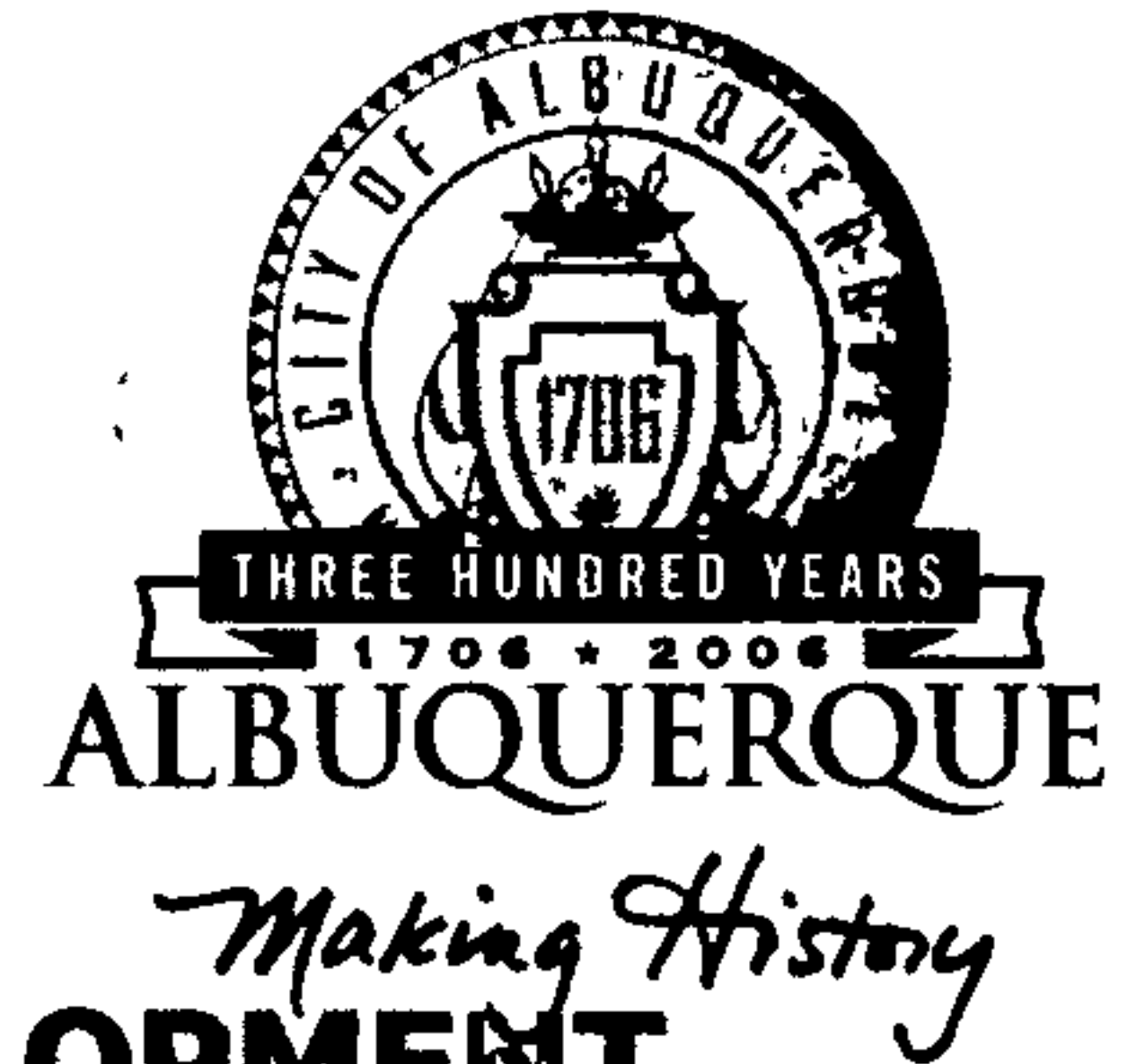
Thank you for your consideration in this matter.

A handwritten signature in black ink, appearing to read "Timothy M. Ott". The signature is stylized and cursive.

Timothy M. Ott  
Agent for the J Group

# CITY OF ALBUQUERQUE

FYI



## **NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD**

May 17, 2006

**TO:** Irene Minke and Jody Lynch, Academy Acres North Neighborhood Association  
Dick Schlaefer and Douglas Berry, Albuquerque Meadows Resident's Assoc.

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately ten (10) acre(s) - Major Two year Subdivision Improvement Agreement for improvements for the water and sewer lines and an arroyo rundown inlet.**

*Proposed by:* Tim Ott at 505-250-4675

*Agent for:* J Group

P.O. Box 1293

*For property located:* On or near south side of San Antonio Drive NE between I-25 Freeway and San Pedro Drive NE.

*The case number(s) assigned is:* 06DRB- 00610, Project # 1002455

Albuquerque

City Planning accepted application for this request on May 5, 2006.

New Mexico 87103

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, May 31, 2006 in the **Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.**

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at 924-3902 or by e-mail at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Sincerely,

***Stephani J. Winklepleck***

*Stephani I. Winklepleck*

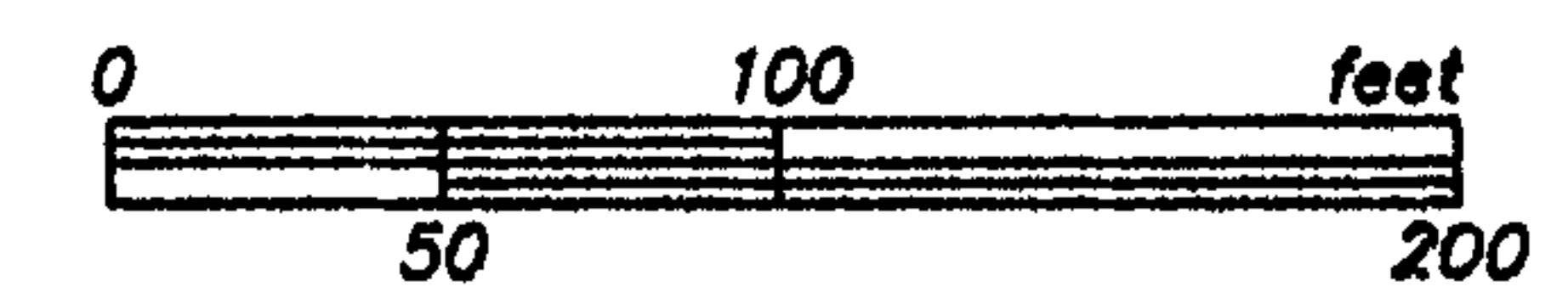
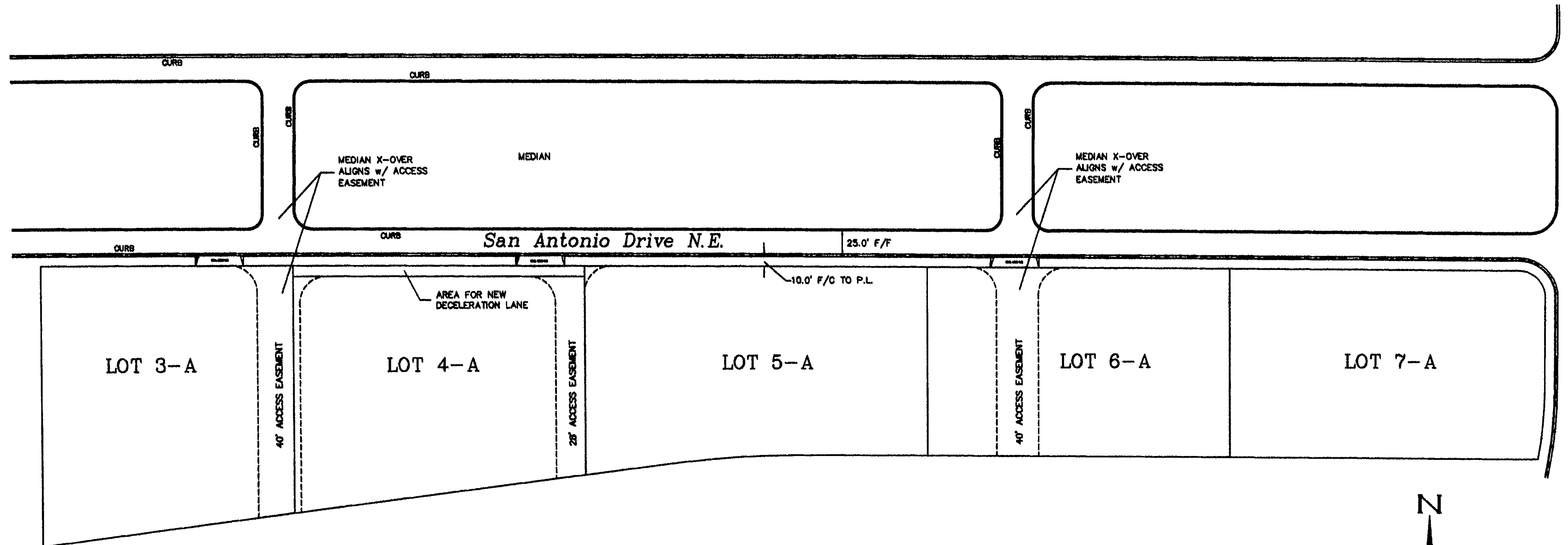
Neighborhood Program Coordinator

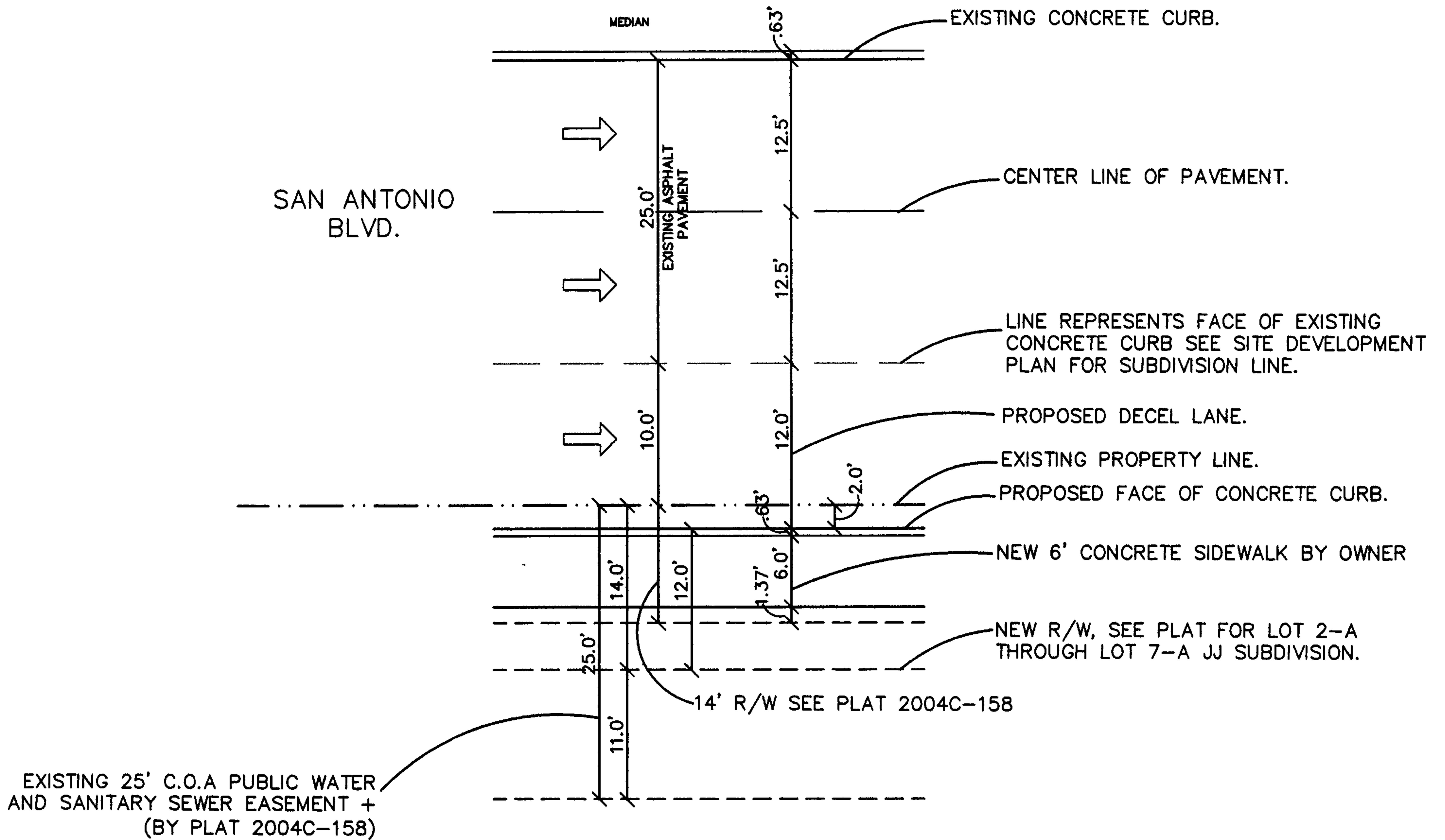
OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB  
Administrative Assistant**

EXHIBIT SHOWING PROPERTY LINES, CURB LINES AND ACCESS EASEMENTS





**EXHIBIT 'A'**  
 PROJECT NO. 1002455  
 SITE DEVELOPMENT PLAN FOR SUBDIVISION  
 SCALE: 1"=10'-0"



# Afra Construction & Design

2501 Yale Blvd. SE Suite 102

Albuquerque, NM 87106

505-243-9093 Office

505-315-1482 Cell

505-243-1561 Fax

November 20, 2006

Ms. Sharon Matson, DRB, Chairperson, Planning Manager  
City of Albuquerque, Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, NM 87103

Re: Project No. 1002455, 06EPC- 00458 EPC  
Site Development Plan for Building Permit

Dear Ms. Matson:

In regard to the project approvals at the Environmental Planning Commission (EPC) hearing, Project 100245 / 06EPC 00458, a site development plan for building permit for Lot 5, JJ Subdivision, zoned SU-1/C-1, we are submitting corrected items for Design Review Board's review meeting on November 23, 2006.

The Conditions for Approval are corrected, as follows:

1. Condition 3  
Site Plan Drawing SP-1, has been labeled "Site Development Plan for Building Permit".
2. Condition 4  
Details of Sign Illumination shall be submitted at such time for Building Permit. Selection of signage not available, except for the area on the building elevations. All signage shall comply with the latest City of Albuquerque Zoning Code, General Sign Regulations, Section 14-16-3-5.
3. Condition 5  
Landscaping:
  - a. 80% minimum of ground cover shall be native vegetation and less use of Santa Fe gravel.
  - b. Landscape maintenance shall keep shrubs, trees pruned and clear of trails, crosswalks and bike paths.
  - c. Honey Locust trees shall replace the original design of Sycamore trees.
  - d. The east side of Building 'B' shall have purple leaf, honeysuckle and Tucson Blue rosemary.
4. Condition 6  
Owner shall contact Environmental Health Department, Environment Services Division, prior to building permit to incorporate migration of landfill requirements. All landfill requirements shall comply with the latest version of "Interim Guidelines for Development within City-designated Landfill Buffer Zones".
5. Condition 7  
Outdoor Patio on the east side of Building 'B', has been moved to the west side. This location is more conducive to be utilized by Building 'A' in conjunction. Between the sidewalks on the west side of

Building 'B', more landscaping has been designed.

6. Condition 8- added as GDC 18  
Site lighting shall comply with COA codes, fully shielded, one design type, concrete footing shall match stucco color and 18'-0" high maximum.
7. Condition 9- added as GDC 20  
All crosswalks to be textured with colored concrete or brick paving.

Conditions from City Engineer, Municipal Development, Water Authority and NMDOT, have been met are, as follows:

- b. Developer shall comply with all improvements and requirements concerning site development, such as additional right-of-way, paving, curb and gutter, side walk and ADA accessible ramps, public infrasture within the public right-of-way or public easements to City Standards. Those Standards shall include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. "Future sidewalk by City of Albuquerque", has been corrected to "concrete sidewalk, by owner".
- d. Transportation Development Staff has identified the requirement for Deceleration Lane to be built on Lot 4, 2'-0" south of the north property line. The owner shall grant the City of Albuquerque all rights to have this safety item be constructed.
- e. The Site Plan design links lot 4 with a north-south 28' wide access easement to the east-west 25' wide access easement, south on lot 4 thru lot 6. The north-south 28' wide easement on lot 4 also links to lot 5 with a 24' wide drive aisle. All access drives shall be paved according to the latest City of Albuquerque's Standards. All cross lot drainage goes to the south side of the site.
- f. A direct 24' wide drive access to lot 5 from lot 6 has been eliminated. A 5' deep parking keyway has replaced with condition.
- g. The 36'-6" wide east access thru lot 6, has 25' radii curb and gutter, center lines of easement aligns with the center line of cross over road thru PNM easement from the west bound lane of San Antonio Drive. In addition the owner shall incorporate new ADA ramps and landings at the new curb and gutter, per City of Albuquerque's Standards.
- h. All new and existing access easements shall be paved per Site Plan, City of Albuquerque Standards by owner.
- i. Design of Deceleration Lane and length was determined by TIS, as indicated on Drawing SP-1 and shall be constructed per DPM Standards by the owner.
- j. All Site Plan development shall comply with the design per DPM Standards.

A Sector Development Plan guideline does not govern this project or the site design.

Your favorable consideration and approval of this request shall be greatly appreciated. Thank You for your time.

Sincerely yours,

  
Tafazzul Hussain  
Jim Green

**AFRA CONSTRUCTION & DESIGN, LLC**  
 2501 Yale Blvd. Suite 102  
 Albuquerque, NM 87106  
 Phone: (505) 998-3128  
 Fax: (505) 998-3129

# TRANSMITTAL

06.09.08

Project:	1002455 / SAN ANTONIO	OFF / RET.
To:	CHAIRPERSON JACK CLOUD	
From:	JIM GREEN	

We transmit:

Herewith     Under Separate Cover Via \_\_\_\_\_  
 In Accordance With Your Request

The Following:     Drawings     Shop Drawings     Samples     Specifications     Proposals  
 Product Literature     Change Orders     Other \_\_\_\_\_

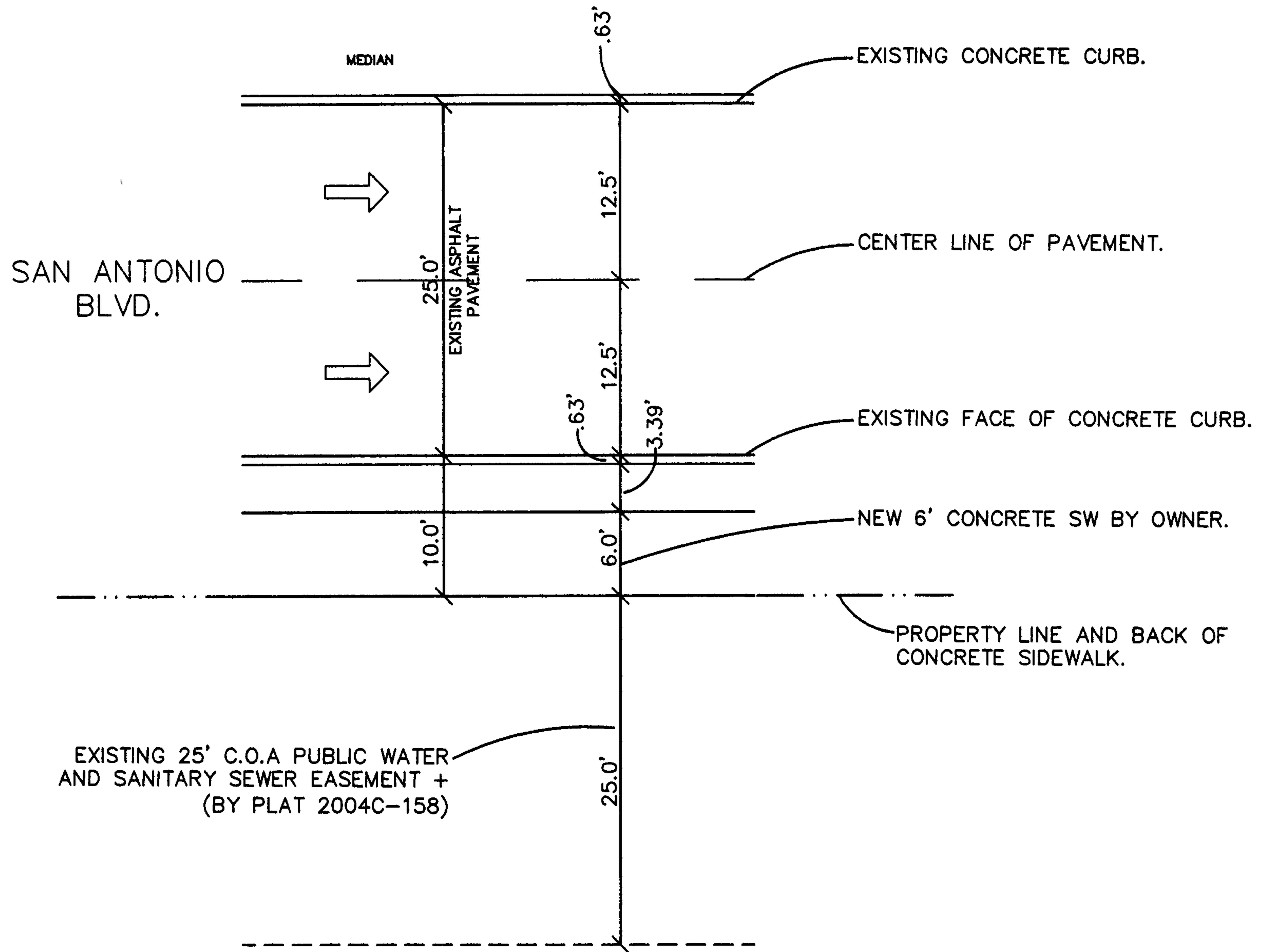
For Your:     Approval     Distribution to Parties     Information     Review and Comment

COPIES	DATE	REV NO.	DESCRIPTION	ACTION CODE
1	06.09.08		AMENDMENT SITE DEV. PLAN FOR SUBDIVISION	
1	06.09.08		EXHIBIT 'A'	
1	06.09.08		EXHIBIT 'B'	
1	06.09.08		SITE DEV. PLAN FOR BLDG. PERMIT	
1	06.09.08		PLAT COVER SHEET	
1	06.09.08		PLAT MEETS & BOUNDS	

ENCLOSED PLEASE FIND DRAWINGS  
 FOR YOUR REVIEW FOR THE DRB  
 MEETING ON 06.11.08.

THANK YOU.

JIM GREEN



SAN ANTONIO  
BLVD.

MEDIAN

25.0'  
EXISTING ASPHALT  
PAVEMENT

EXISTING CONCRETE CURB.

CENTER LINE OF PAVEMENT.

EXISTING FACE OF CONCRETE CURB.

NEW 6' CONCRETE SW BY OWNER.

PROPERTY LINE AND BACK OF  
CONCRETE SIDEWALK.

EXISTING 25' C.O.A PUBLIC WATER  
AND SANITARY SEWER EASEMENT +  
(BY PLAT 2004C-158)

EXHIBIT 'B'  
PROJECT NO. 1002455  
SITE DEVELOPMENT PLAN FOR SUBDIVISION  
SCALE: 1"=10'-0"





No. of Lots: 1  
Nearest Major Streets  
San Antonio + San Pedro

**FIGURE 12**

**SUBDIVISION IMPROVEMENTS  
AGREEMENT-PUBLIC AND/OR PRIVATE  
(Procedure B)**

**AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS**

THIS AGREEMENT is made this 18<sup>th</sup> day of May, 2004, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Timothy M. OIT, A single man ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] individual, whose address is 40 Chaco Los Alamos N.M. and whose telephone number is 250-4875, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

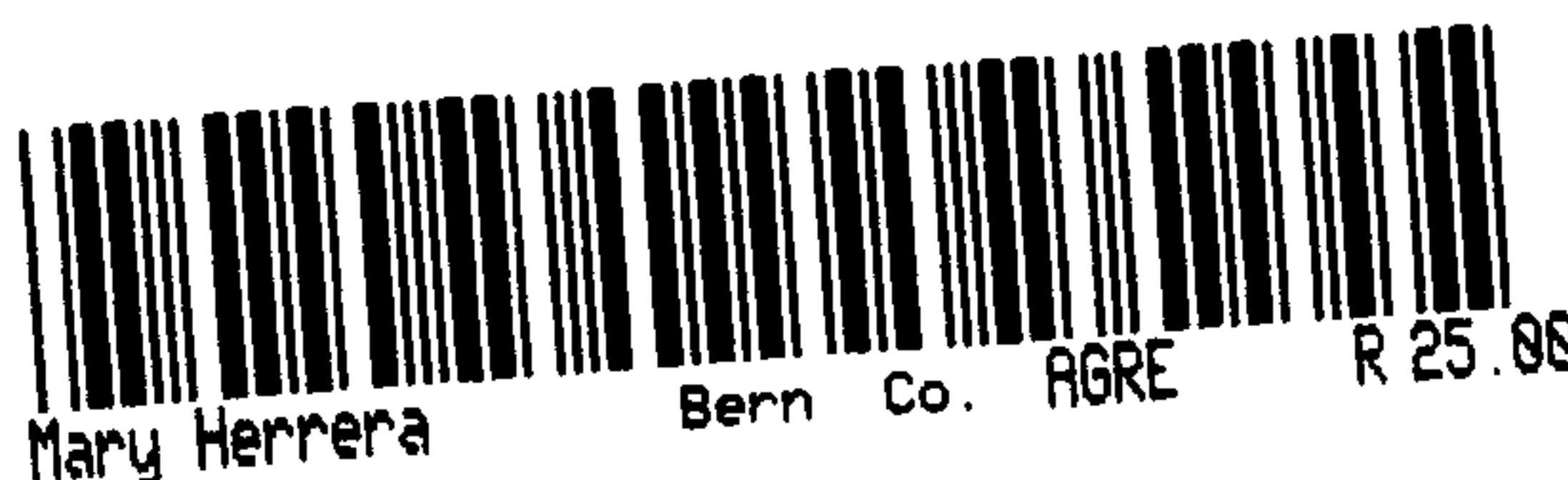
1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] J Group, recorded on 2-27-96 in the records of the Bernalillo County Clerk at Book 96C, pages 91 through — (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] J Group ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as JT Subdivision describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 12 day of Nov, 2005 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 735181.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



2004068827  
6882318  
Page: 1 of 9  
05/20/2004 01:13P  
Bk-A77 Pg-8639

the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

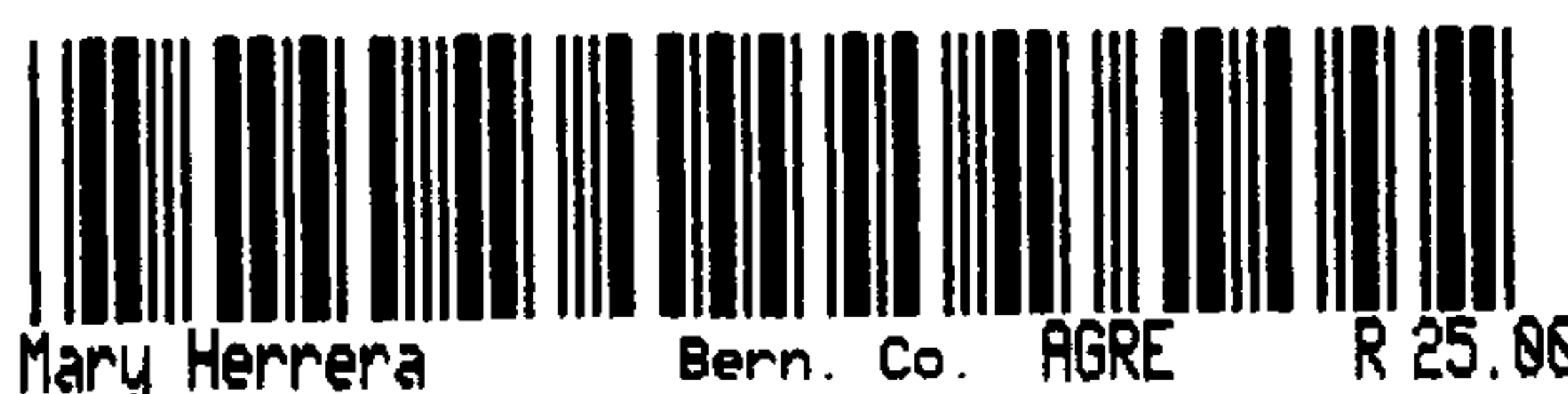
<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Chris Dehler, and construction surveying of the private Improvements shall be performed by Chris Dehler. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Jean S. Bordenave, and inspection of the private Improvements shall be performed by Jean S. Bordenave, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider



shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Geo - Test, and field testing of the private Improvements shall be performed by Geo - Test, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

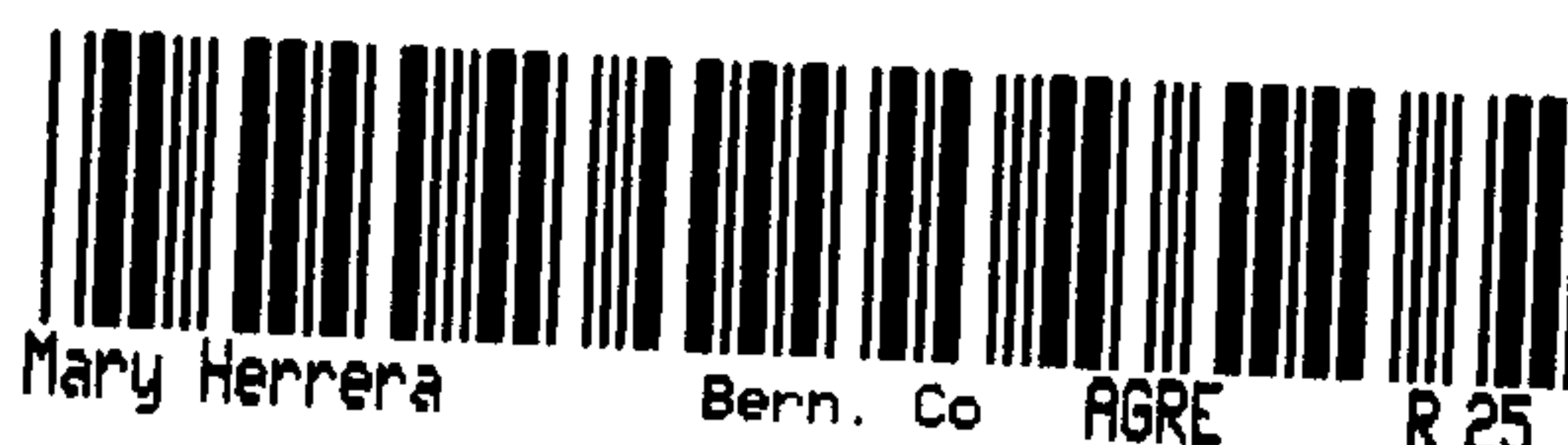
5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Los Alamos Natl Bank, LOC #1606  
Amount: \$ 110,155.19 Name of Financial Institution or Surety  
Date City first able to call Guaranty: Nov 11, 2005  
[Construction Completion Deadline]: Nov 11, 2005 20  
If Guaranty other than a Bond, last day City able to call Guaranty is:  
January 12, 20 06  
Additional information: \_\_\_\_\_

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

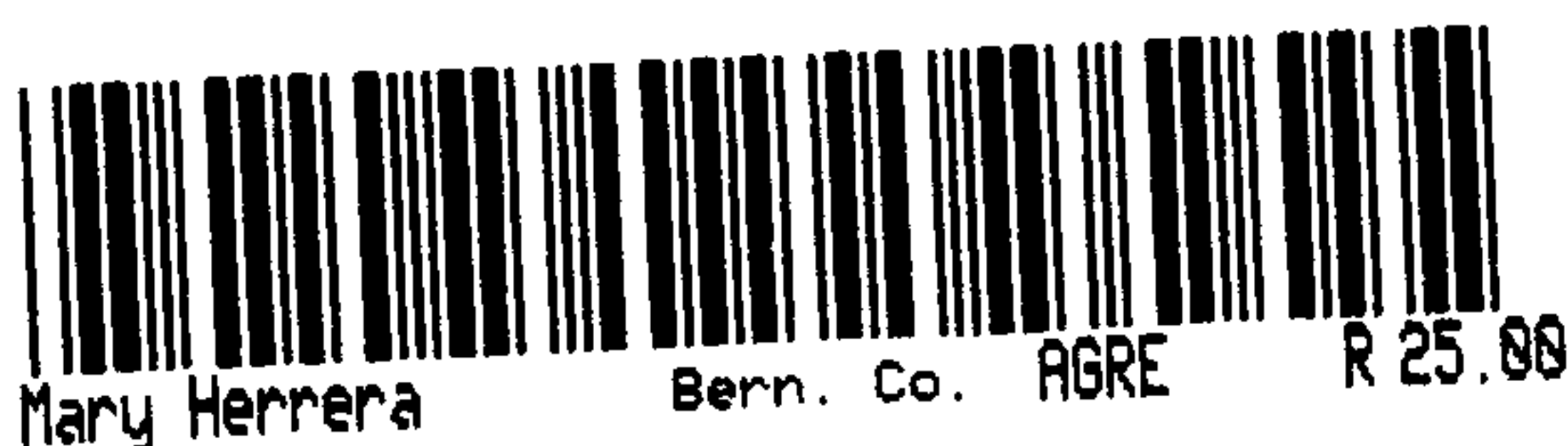
(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

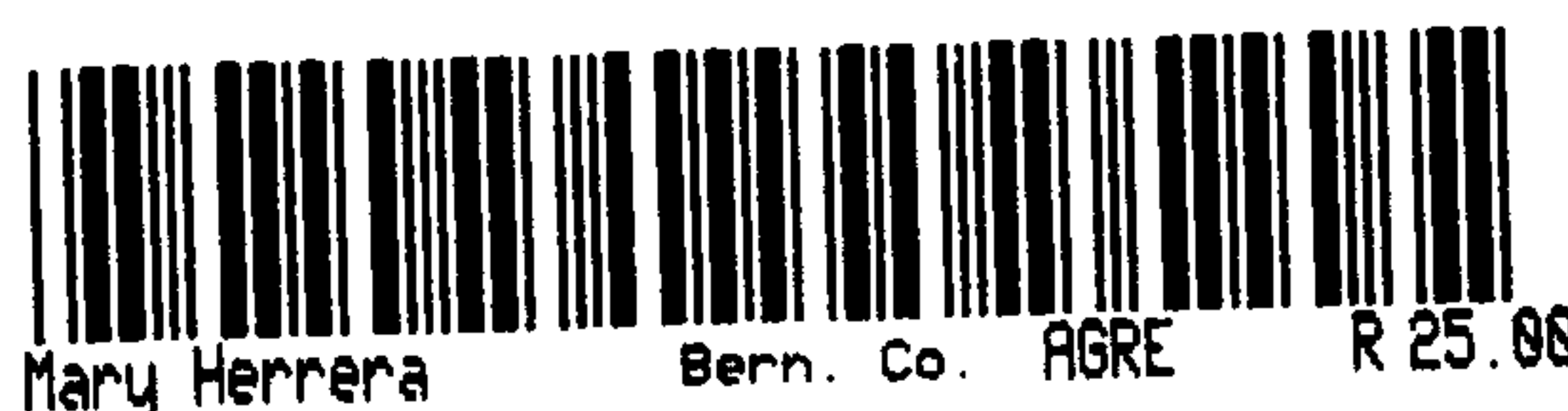
17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:

By [Signature]: [Handwritten Signature]  
 Name: TIMOTHY M. OTT  
 Title: Developer Individual T.O.  
 Dated: May 17, 2004

CITY OF ALBUQUERQUE  
[Handwritten Signature]  
 City Engineer  
 Dated: 5-18-04

5/18/04      [Handwritten]

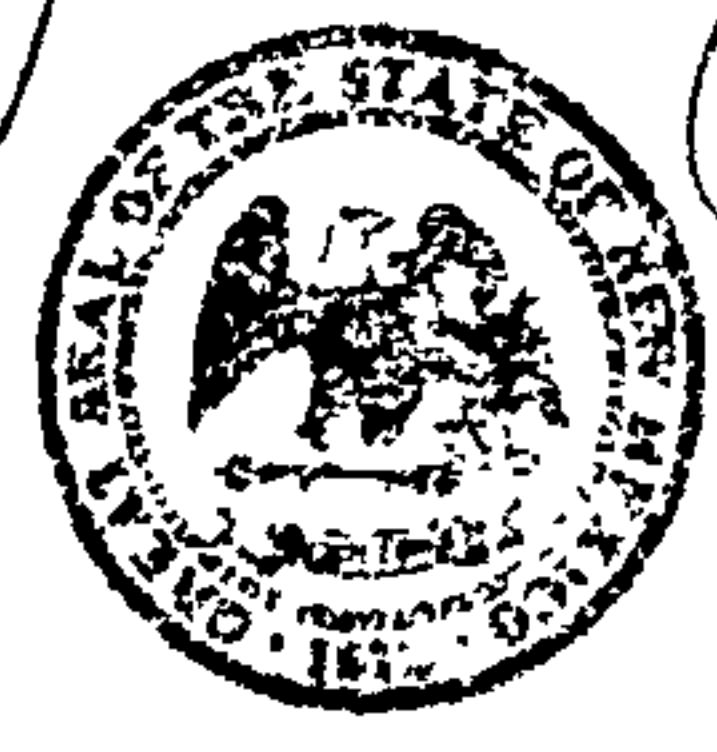
SUBDIVIDER'S NOTARY

STATE OF New Mexico  
 COUNTY OF Bernalillo ss.

This instrument was acknowledged before me on 17 day of May, 2004 by [name of person:] Timothy M. Ott, [title or capacity, for instance, "President" or "Owner":] Developer Individual of [Subdivider:] J.J. Subdivision

My Commission Expires: \_\_\_\_\_

[Handwritten Signature]  
 Notary Public



CITY'S NOTARY

OFFICIAL SEAL  
 JULIE A. GUITARD  
 NOTARY PUBLIC-STATE OF NEW MEXICO  
 My commission expires 6-5-2004

STATE OF NEW MEXICO )  
 ) ss.  
 COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 18th day of May, 2004 by [Handwritten Signature], City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

My Commission Expires: June 27, 2005

[Handwritten Signature]  
 Notary Public



EXHIBIT A AND POWER OF ATTORNEY ATTACHED

Mary Herrera      Bern. Co. AGRE      R 25.00      2004068827      6882318      Page: 6 of 9      05/20/2004 01:13P

# FINANCIAL GUARANTY AMOUNT

05/06/2004

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

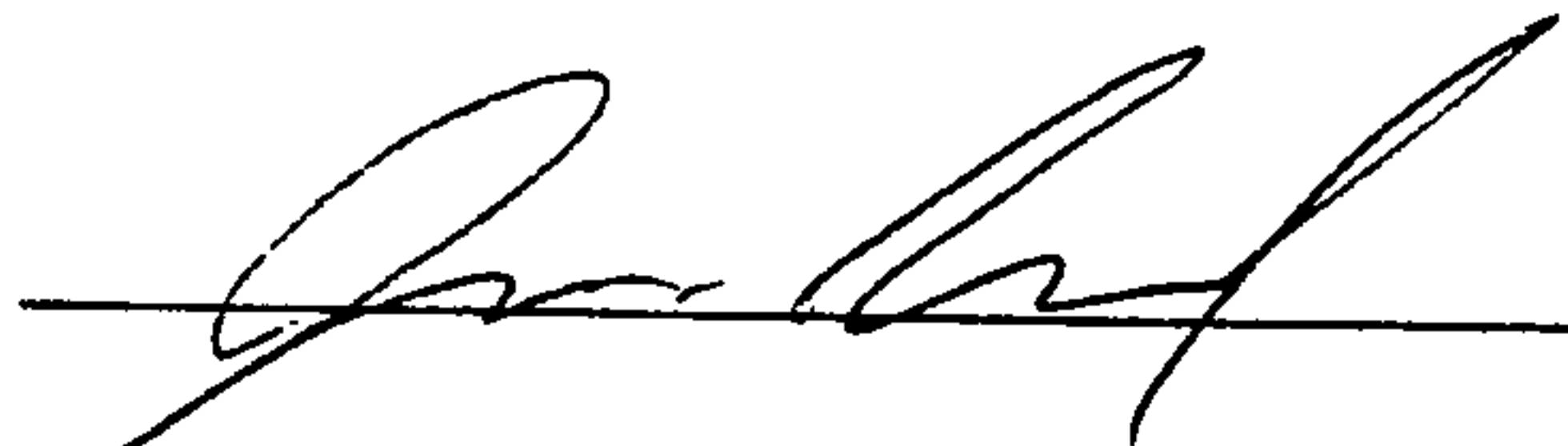
Project ID #: 735181, J Group Retail Complex-Paving/Util.Imps., Phase/U

Requested By: Jake Bordenave, PE w/ Bordenave Designs

Approved estimate amount:		\$69,716.48
Contingency Amount:	10.00%	\$6,971.65
Subtotal:		\$76,688.13
NMGRT	5.8125%	\$4,457.50
Subtotal:		\$81,145.63
Engineering Fee	6.60%	\$5,355.61
Testing Fee	2.00%	\$1,622.91
Subtotal:		\$88,124.15
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
<b>TOTAL FINANCIAL GUARANTY REQUIRED</b>		<b>\$110,155.19</b>

APPROVAL:

DATE:



5-6-2004

Notes: B-2. 10% contingency plans not approved. This FG is for the SD and wtr & SAS fronting the future western lot. All items on IL must be accepted or FG'ed prior to final plat.

2 of 2 FG's



Mary Herrera

Bern. Co. AGRE

R 25.00

2004068827

6082318

Page: 9 of 9

05/20/2004 01:13P

Bk-A77 Pg-8639

**FIRE HYDRANT AND INSTANTANEOUS  
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT  
FIRE MARSHAL'S PLAN CHECKING OFFICE  
600 2<sup>ND</sup> ST N.W, 8<sup>TH</sup> Floor, Plaza del Sol  
Albuquerque, New Mexico 87102  
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER E-18

REFERRAL # \_\_\_\_\_

SITE ADDRESS 5700 SAN ANTONIO NE

LEGAL DESCRIPTION: SUBJECT TRACT \_\_\_\_\_

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 1

INSTANTANEOUS FLOW REQUIRED 1371

SQUARE FOOTAGE - LARGEST BUILDING \_\_\_\_\_

TYPE CONSTRUCTION III-B

**PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS**

**ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION**

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 1

DATE: 6/11/08

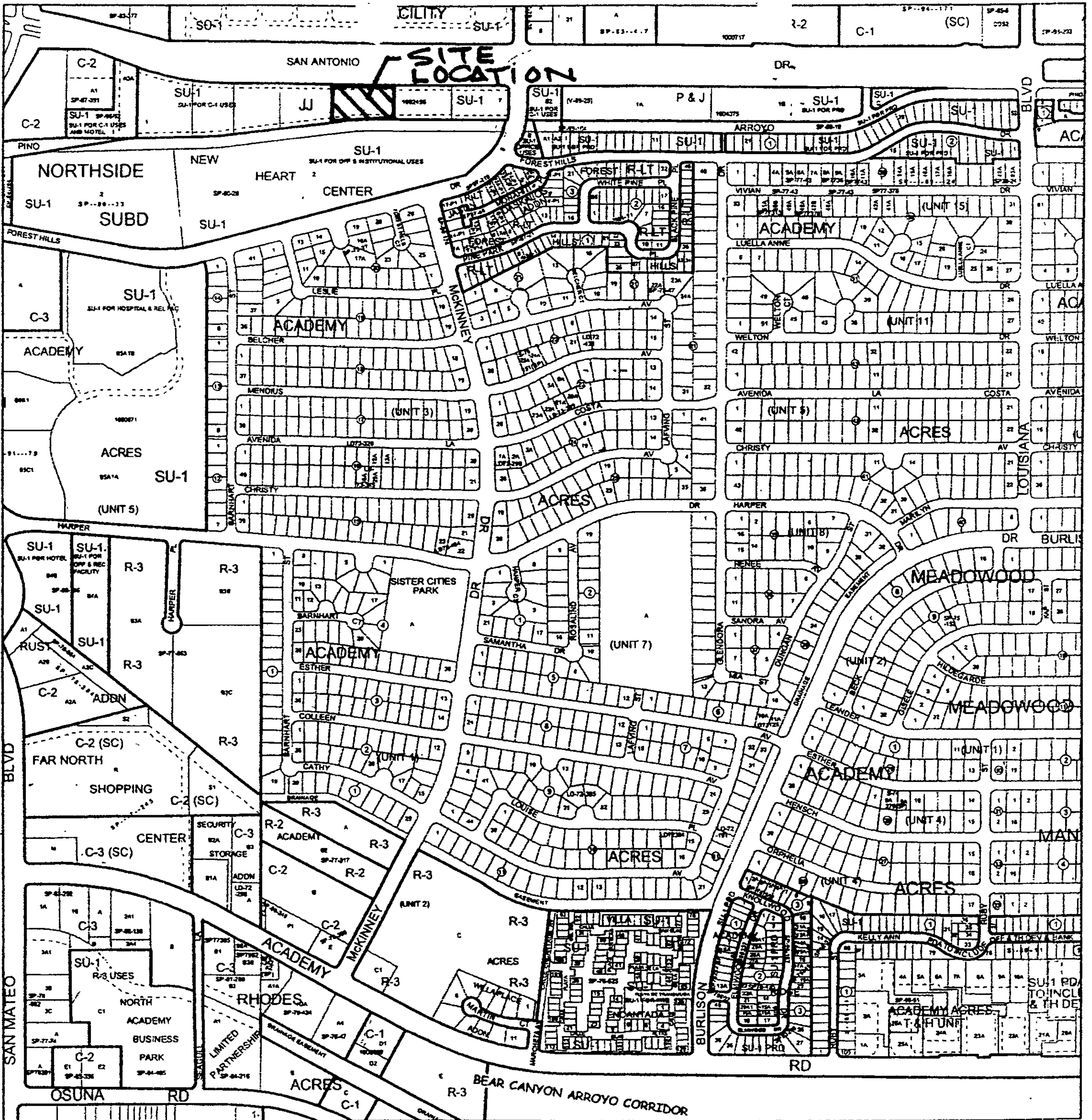
FIRE DEPARTMENT INSPECTOR: F.M. QUINTERA

RECEIVED BY: JAMES W GREEN TELEPHONE: 505-998-3128

- NOTES:
- 1 ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
  - 2 DETERMINATION OF THE WATER SYSTEM CAPACITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
  - 3 DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPONSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL      YELLOW - FILE





For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 11/2/2005

Zone Atlas Page:  
**E-18-Z**

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0                      750                      1,500  
Feet

# **Afra Construction & Design**

**2501 Yale Blvd. SE Suite 102**

**Albuquerque, NM 87106**

**505-243-9093 Office**

**505-315-1482 Cell**

**505-243-1561 Fax**

November 20, 2006

Ms. Sharon Matson, DRB, Chairperson, Planning Manager  
City of Albuquerque, Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, NM 87103

Re: Project No. 1002455, 06EPC- 00458 EPC  
Site Development Plan for Building Permit

Dear Ms. Matson:

In regard to the project approvals at the Environmental Planning Commission (EPC) hearing, Project 100245 / 06EPC 00458, a site development plan for building permit for Lot 5, JJ Subdivision, zoned SU-1/C-1, we are submitting corrected items for Design Review Board's review meeting on November 23, 2006.

The Conditions for Approval are corrected, as follows:

1. Condition 3  
Site Plan Drawing SP-1, has been labeled "Site Development Plan for Building Permit".
2. Condition 4  
Details of Sign Illumination shall be submitted at such time for Building Permit. Selection of signage not available, except for the area on the building elevations. All signage shall comply with the latest City of Albuquerque Zoning Code, General Sign Regulations, Section 14-16-3-5.
3. Condition 5  
Landscaping:
  - a. 80% minimum of ground cover shall be native vegetation and less use of Santa Fe gravel.
  - b. Landscape maintenance shall keep shrubs, trees pruned and clear of trails, crosswalks and bike paths.
  - c. Honey Locust trees shall replace the original design of Sycamore trees.
  - d. The east side of Building 'B' shall have purple leaf, honeysuckle and Tucson Blue rosemary.
4. Condition 6  
Owner shall contact Environmental Health Department, Environment Services Division, prior to building permit to incorporate migration of landfill requirements. All landfill requirements shall comply with the latest version of "Interim Guidelines for Development within City-designated Landfill Buffer Zones".
5. Condition 7  
Outdoor Patio on the east side of Building 'B', has been moved to the west side. This location is more conducive to be utilized by Building 'A' in conjunction. Between the sidewalks on the west side of

Building 'B', more landscaping has been designed.

6. Condition 8- added as GDC 18  
Site lighting shall comply with COA codes, fully shielded, one design type, concrete footing shall match stucco color and 18'-0" high maximum.
7. Condition 9- added as GDC 20  
All crosswalks to be textured with colored concrete or brick paving.

Conditions from City Engineer, Municipal Development, Water Authority and NMDOT, have been met are, as follows:

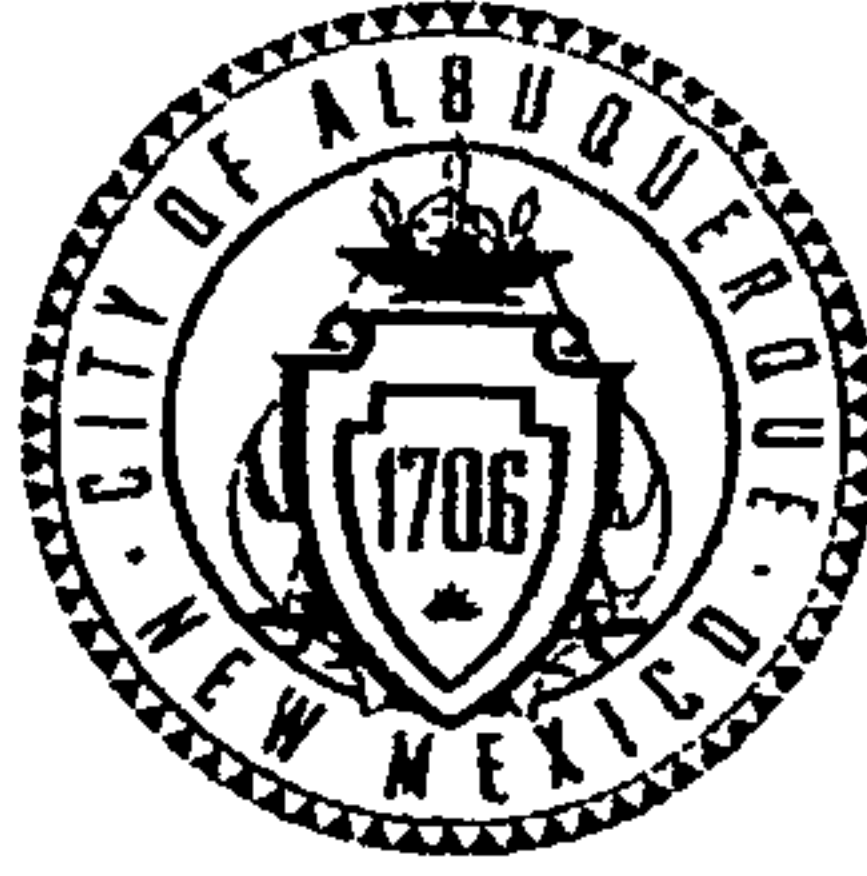
- b. Developer shall comply with all improvements and requirements concerning site development, such as additional right-of-way, paving, curb and gutter, side walk and ADA accessible ramps, public infrasture within the public right-of-way or public easements to City Standards. Those Standards shall include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. "Future sidewalk by City of Albuquerque", has been corrected to "concrete sidewalk, by owner".
- d. Transportation Development Staff has identified the requirement for Deceleration Lane to be built on Lot 4, 2'-0" south of the north property line. The owner shall grant the City of Albuquerque all rights to have this safety item be constructed.
- e. The Site Plan design links lot 4 with a north-south 28' wide access easement to the east-west 25' wide access easement, south on lot 4 thru lot 6. The north-south 28' wide easement on lot 4 also links to lot 5 with a 24' wide drive aisle. All access drives shall be paved according to the latest City of Albuquerque's Standards. All cross lot drainage goes to the south side of the site.
- f. A direct 24' wide drive access to lot 5 from lot 6 has been eliminated. A 5' deep parking keyway has replaced with condition.
- g. The 36'-6" wide east access thru lot 6, has 25' radii curb and gutter, center lines of easement aligns with the center line of cross over road thru PNM easement from the west bound lane of San Antonio Drive. In addition the owner shall incorporate new ADA ramps and landings at the new curb and gutter, per City of Albuquerque's Standards.
- h. All new and existing access easements shall be paved per Site Plan, City of Albuquerque Standards by owner.
- i. Design of Deceleration Lane and length was determined by TIS, as indicated on Drawing SP-1 and shall be constructed per DPM Standards by the owner.
- j. All Site Plan development shall comply with the design per DPM Standards.

A Sector Development Plan guideline does not govern this project or the site design.

Your favorable consideration and approval of this request shall be greatly appreciated. Thank You for your time.

Sincerely yours,

  
Tafazzul Hussain  
Jim Green



City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: October 20, 2006

## OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002455**

- 06EPC-00458 EPC Site Development Plan-Building Permit
- 06EPC-01076 EPC Site Development Plan-Subdivision

Douglas W. Simms  
2712 Castaneda Dr. NW  
Albuq. NM 87107

LEGAL DESCRIPTION: for all or a portion of Lots 2-7, **JJ Subdivision**, zoned SU-1 for C-1 Uses, located on the south side of SAN ANTONIO DR., NE, between I-25 and SAN PEDRO DR. NE, containing approximately 2 acres. (E-18) Carmen Marrone, Staff Planner

On October 19, 2006 the Environmental Planning Commission voted to approve Project 1002455/06EPC 01076, an amendment to a site development plan for subdivision for Lots 2-7, JJ Subdivision, zoned SU-1/C-1, based on the following Findings and subject to the following Conditions:

### FINDINGS:

1. This is a request to amend a site development plan for subdivision for **Lots 2-7, JJ Subdivision**, located on the south side of San Antonio Drive NE between I-25 and San Pedro NE. The site development plan for subdivision was approved by the DRB on October of 2003.
2. This site is located on the old San Antonio Landfill. Development of this site is dependant on the applicant's cooperation with the Environmental Health Department's requirements regarding developing on a landfill site. Environmental Health has submitted a letter concerning this issue and the applicant is required to work with this department to submit mitigation measures if necessary.
3. The request involves several amendments to the approved Site Plan for Subdivision including: (a) the removal of several reciprocal access easements straddling the common lot lines of lots 2 through 7; (b) the provision of two new 40' wide cross access easements straddling lots 3 and 4 and lots 5 and 6 to be in line with the median cuts on San Antonio Drive, (c) the provision of a new 28' wide cross access easement straddling lots 4 and 5; (d) the inclusion of a deceleration lane along San Antonio Drive at the request of the City Traffic Engineering Division, (e) the modification of the design criterion limiting parking in front of a building to no more than 25% of a site's required parking; (f) establishment of wall height limitations; and (g) additional lighting requirements.

4. The proposed amendments to the Site Plan for Subdivision will facilitate development of the site in a more reasonable manner by providing improved access to the site. In addition, the proposed amendments will improve the quality of development on the site by providing additional design guidelines that require compatible site elements. (*Comp Plan Policies II.B.5.d and II.B.5.l*)
5. The Rank II *Facility Plan for Arroyos* governs this site. A multi-purpose trail is located south of the site within the Pino Arroyo. The request furthers the design guidelines of the *Facility Plan for Arroyos* by linking the subject site to the arroyo trail (*Parking and Service Areas Policy 3*).
6. Both the *Academy Acres North* and *Albuquerque Meadows* Neighborhood Associations were notified of this project. No comments were received from either association.
7. There is no known opposition to this request.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to an application for final DRB sign-off, the applicant shall meet with the staff planner to ensure that all conditions of approval are satisfactorily met.
3. Development of this site is required to follow the most current version of the Interim Guidelines for Development within City Designated Landfill Buffer Zones. Approval of the Site Development Plan will be required by the Environmental Health Department.
4. Delete the word "Proposed" in the title "Proposed General Design Criteria"
5. The fourth design regulation shall be replaced with the following language: "Required parking shall be distributed on at least two sides of a building."
6. Provide additional design criteria requiring compatible building style, materials and colors throughout lots 2-7.
7. Provide additional design criteria requiring consistent parking lot screening along San Antonio.
8. Lighting regulations shall include language requiring design and height consistency. On-site light poles shall be limited to 18 feet in height.

9. Provide additional design criteria requiring all crosswalks to be textured with colored concrete or brick paving.
10. **CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:**
  - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - c. Delete note on site plan that states, "future sidewalk by City of Albuquerque". Sidewalk is the developer's responsibility and will be constructed as required.
  - d. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
  - e. The developer will need to define and provide cross access from the proposed west site drive across lot four to lot five, as shown on the site plan. This is in addition, to the proposed north/south access easements that cross lots four and six linking San Antonio Drive with the existing 25' east/west cross access easement and cross lot drainage easement on the south side of the site.
  - f. Direct access to lot five from lot six via the existing east drive cut, as shown on the site plan, is not permitted. Delete 24' drive aisle on lot six, as shown on the site plan, and provide a five-foot keyway on lot five at property line (end of drive aisle). Access to lot five across lot six will be via the proposed north/south access easement that links San Antonio Drive with the existing 25' east/west cross access easement and cross lot drainage easement on the south side of the site.
  - g. Proposed site drive and existing drive cut to be 36' to 40' wide with 25' to 30' curb return radii.
  - h. North/south access easements across lot four and lot six to be paved/improved. Twenty-five foot east/west access easement, south side of property adjacent to site, to be paved/improved.
  - i. Construction of right turn deceleration lane at proposed west site drive required. Length to be determined per TIS and DPM.
  - j. Site plan shall comply and be designed per DPM Standards.

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On October 19, 2006 the Environmental Planning Commission voted to approve Project 1002455/06EPC 00458, a site development plan for building permit for Lot 5, JJ Subdivision, zoned SU-1/C-1, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for approval of a site development plan for building permit purposes on 1.3706-acre tract identified as **Lot 5, JJ Subdivision**, for the construction of a neighborhood commercial/retail center with a gross building area of +/-14,958 square feet. This development request was deferred at the May 18 and June 15, 2006 public hearings of the Environmental planning Commission at the request of the applicant.
2. The subject site is part of an overall 7-lot site plan for subdivision that received DRB approval in October of 2003. A site plan for building permit to accommodate the construction of a state office building on Lot 1 was approved in conjunction with the site development plan for subdivision (03EPC.00148). The design of this building was not intended to serve as the architectural anchor for the remainder of development within the overall subdivision. This current application constitutes the second development request within the overall subdivision.
3. This site is located on the old San Antonio Landfill. Development of this site is dependant on the applicant's cooperation with the Environmental Health Department's requirements regarding developing on a landfill site. Environmental Health has submitted a letter concerning this issue and the applicant is required to work with this department to submit mitigation measures if necessary.
4. The request furthers several Established Urban goals and policies of the *Comprehensive Plan*:
  - a. The site plan review process plays a crucial role in maintaining area values, ensuring a safe, visually amenable, and integral development and provides the opportunity for affected property owners to participate and offer input relative to the proposed development of the property (*Policies d, k, l and m*).
  - b. The project site is contiguous to existing municipal services, and the applicant will be responsible for any necessary public improvements and utility extensions (*Policies e, and p*).
  - c. The proposed development is located in an existing commercially zoned area and will provide a reasonable level of goods, services and employment that will not have an adverse effect on residential environments (*Policies i and j*).
5. The request furthers Comprehensive Plan Transportation/Transit *Policies II.D.4.g and II.D.4.h* because the applicant will be responsible for the development of any necessary bicycle lanes and connections to existing multi-purpose public trails in order to provide both connectivity between non-residential and residential uses and alternative mobility.
6. The Rank II *Facility Plan for Arroyos* governs this site. A multi-purpose trail is located south of the site within the Pino Arroyo. The request furthers the design guidelines of the *Facility Plan for Arroyos* by orienting windows and entrances to the arroyo trail and by linking the subject site to the arroyo trail (*Orientation Policy 1.b and Parking and Service Areas Policy 3*).

7. Both the *Academy Acres North* and *Albuquerque Meadows* Neighborhood Associations were notified of this project. No comments were received from either association.
8. There is no known opposition to this request.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to an application for final DRB sign-off, the applicant shall meet with the staff planner to ensure that all conditions of approval are satisfactorily met.
3. Label Sheet SP.1 "Site Development Plan for Building Permit".
4. Provide details on sign illumination.
5. Landscaping:
  - a. The final landscape plan shall also include heavier emphasis upon native re-vegetation that will attain a minimum 80% ground coverage by living materials and rely less upon Santa Fe brown gravel ground coverage.
  - b. Walkways shall remain clear of vegetation. Some vegetation will need to be removed from the walkways connecting to the Pino Arroyo trail.
  - c. Honey Locust shall be the shade master of variety.
  - d. Use Hall Honeysuckle on the east side and an upright variety of Rosemary such as Tucson Blue.
6. The applicant shall adhere to the most current version of the *Interim Guidelines for Development within City-designated Landfill Buffer Zones*. A review and approval of the site plan, proposed construction, design drawings and a certification of construction will be required by the City's Environmental Health Department, Environmental Services Division.
7. Relocate the outdoor patio on the east side of Building B to the southwest corner of Building B and move Building B further east on the site. Provide additional landscaping on the east side of Building B.



8. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - c. Delete note on site plan that states, "future sidewalk by City of Albuquerque". Sidewalk is the developer's responsibility and will be constructed as required.
  - d. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
  - e. The developer will need to define and provide cross access from the proposed west site drive across lot four to lot five, as shown on the site plan. This is in addition, to the proposed north/south access easements that cross lots four and six linking San Antonio Drive with the existing 25' east/west cross access easement and cross lot drainage easement on the south side of the site.
  - f. Direct access to lot five from lot six via the existing east drive cut, as shown on the site plan, is not permitted. Delete 24' drive aisle on lot six, as shown on the site plan, and provide a five-foot keyway on lot five at property line (end of drive aisle). Access to lot five across lot six will be via the proposed north/south access easement that links San Antonio Drive with the existing 25' east/west cross access easement and cross lot drainage easement on the south side of the site.
  - g. Proposed site drive and existing drive cut to be 36' to 40' wide with 25' to 30' curb return radii.
  - h. North/south access easements across lot four and lot six to be paved/improved. Twenty-five foot east/west access easement, south side of property adjacent to site, to be paved/improved.
  - i. Construction of right turn deceleration lane at proposed west site drive required. Length to be determined per TIS and DPM.
  - j. Site plan shall comply and be designed per DPM Standards.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **NOVEMBER 3, 2006** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

OFFICIAL NOTICE OF DECISION  
OCTOBER 19, 2006  
PROJECT #1002455  
PAGE 7 OF 7

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

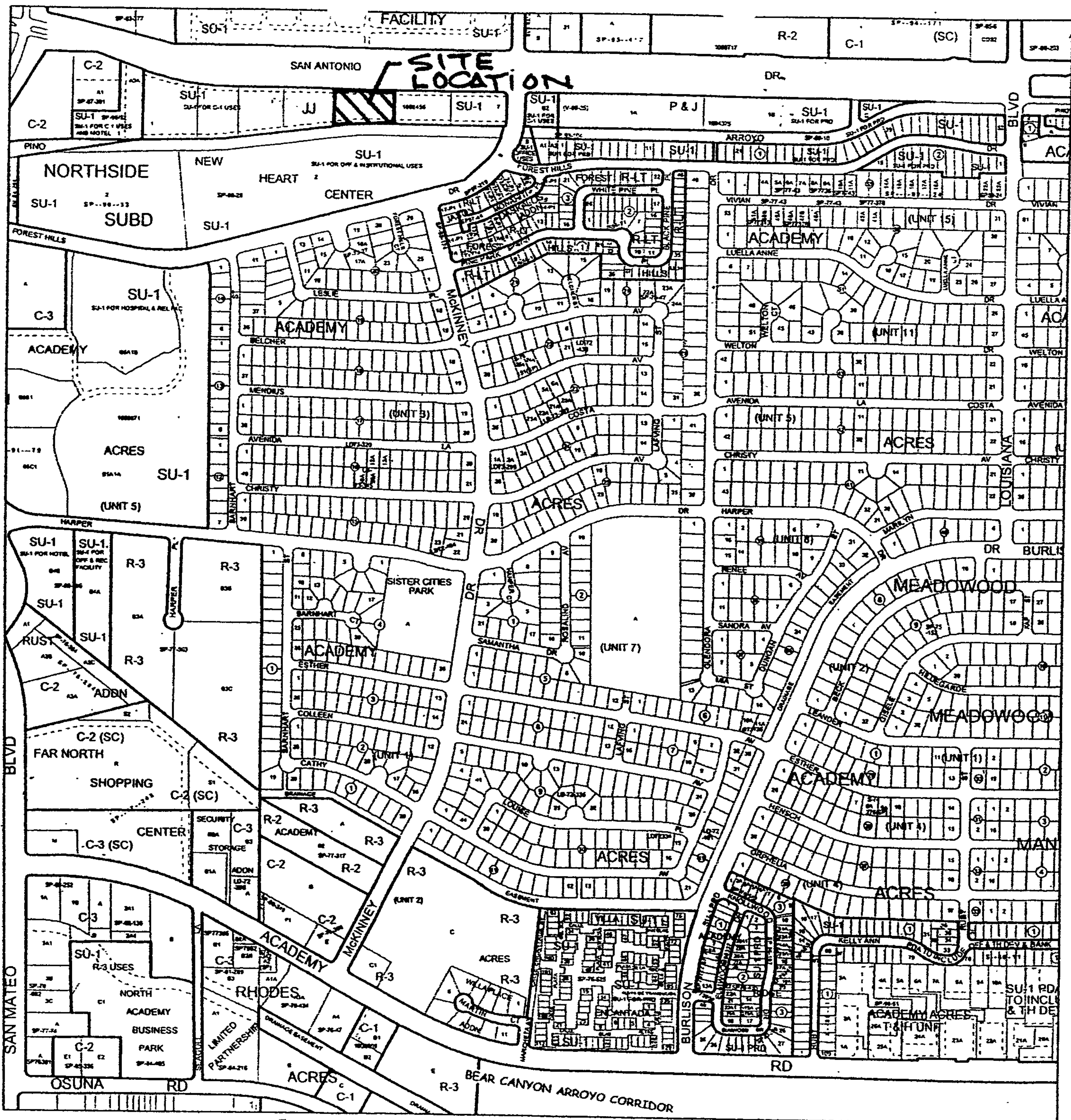
Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

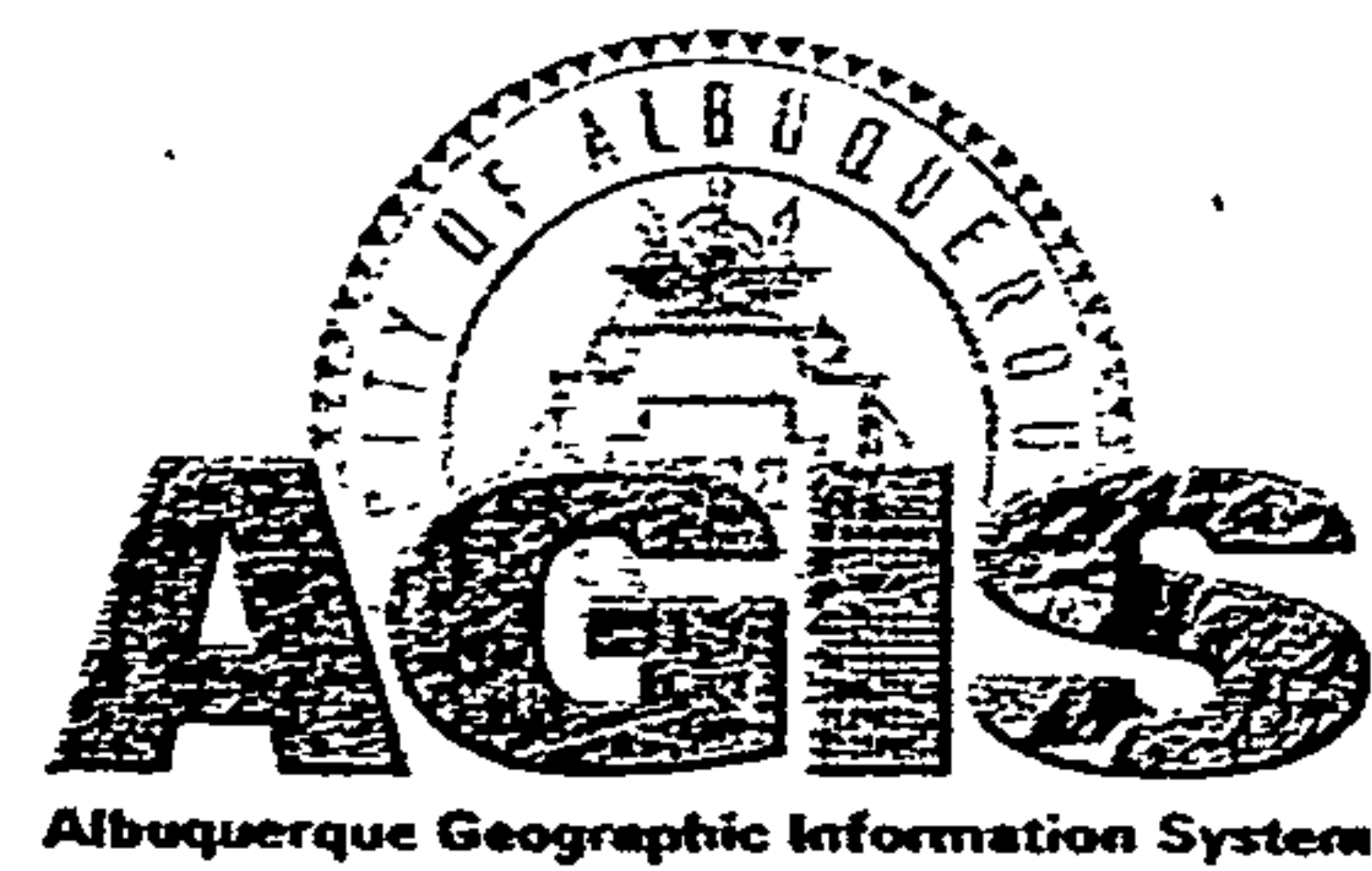
*for*   
Richard Dineen,  
Planning Director

RD/CM/ac

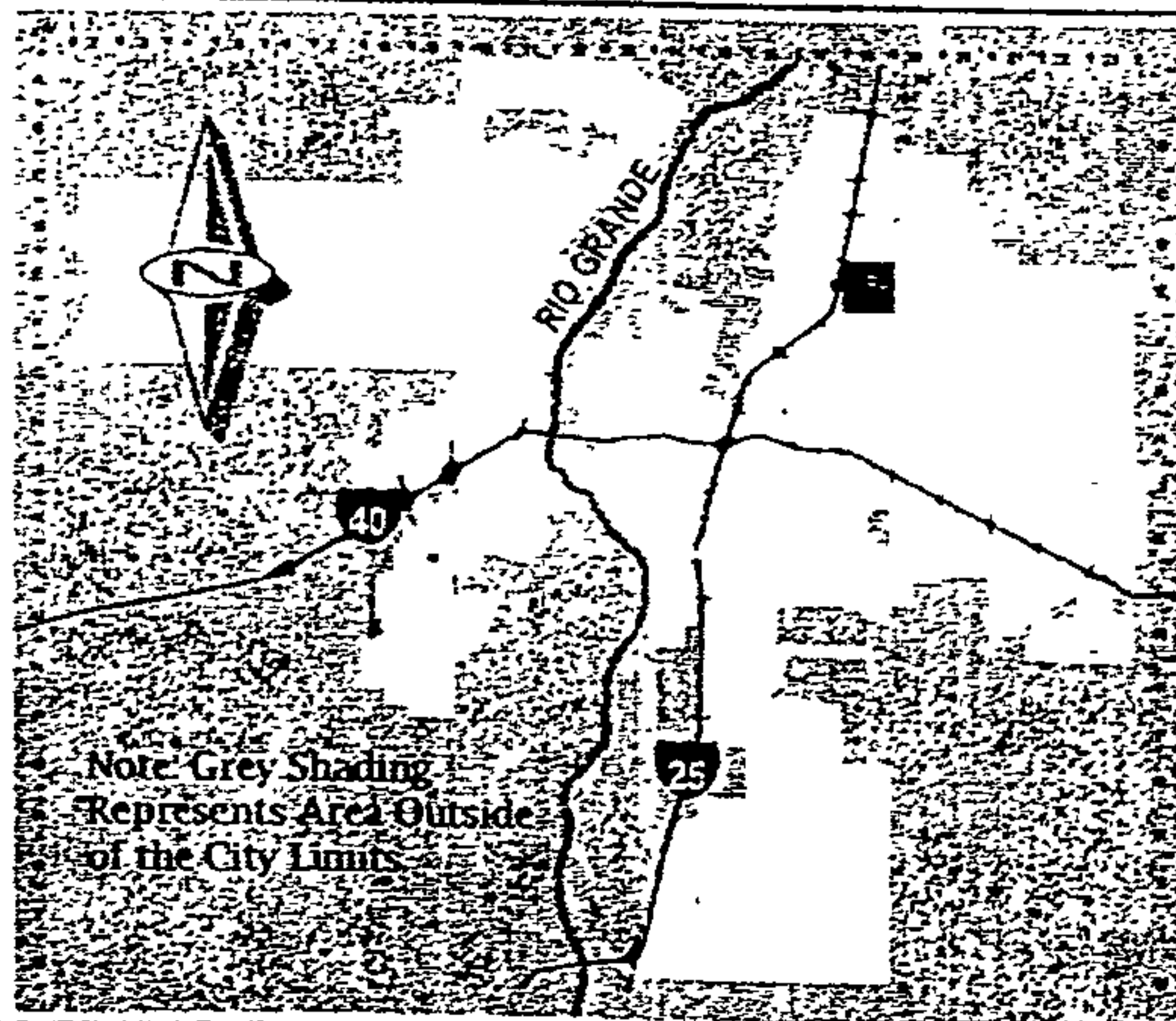
cc: Tafazzul Hussain, 2501 Yale Blvd. SE, Ste 102, Albuquerque, NM 87106  
Irene Minke, Academy Acres NA, 6504 Dungan, NE, Albuquerque, NM 87109  
Jody Lynch, Academy Acres NA, PO Box 94387, Albuquerque, NM 87199  
Dick Schlaefer, Albuquerque Meadows NA, 7112-148 Pan American Frwy, NE, Albuquerque, NM 87109  
Douglas Berry, Albuquerque Meadows NA, 7112-102 Pan American Frwy, NE, Albuquerque, NM 87109



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 11/2/2005



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

**E-18-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



4

#9

**CITY OF ALBUQUERQUE**  
**PLANNING DEPARTMENT**  
Development Review Division

**INTER-OFFICE MEMO**

November 27, 2006

**TO:** Sheran Matson, DRB Chair  
**FROM:** Carmen Marrone, Senior Planner  
**RE:** Project #1002455, San Antonio Office/Retail

amendment to a CM 4/14/07

On October 19, 2006, the EPC approved a Site Development Plan for Subdivision and Building Permit for Lots 2-7, JJ Subdivision. **The DRB submittal generally meets the EPC conditions of approval except for the following:**

**Site Plan for Subdivision:**

**Condition 7:** General Design Criteria 11 addresses perimeter walls and not screen walls that may be required along San Antonio. Also, it is unclear what is meant by "Planning Department Guidelines at time of Building Permit application." The screen walls should be of a similar style, color, material and height throughout lots 2-7.

If you have any questions regarding this case, please call me at 924-3814.

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: 5/13/2008

**INFRASTRUCTURE LIST**

Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: 1002455  
DRB Application No.: 06DRB-01648  
06DRB-01649

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

SAN ANTONIO OFFICE / RETAIL

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 5, J GROUP ADDITION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

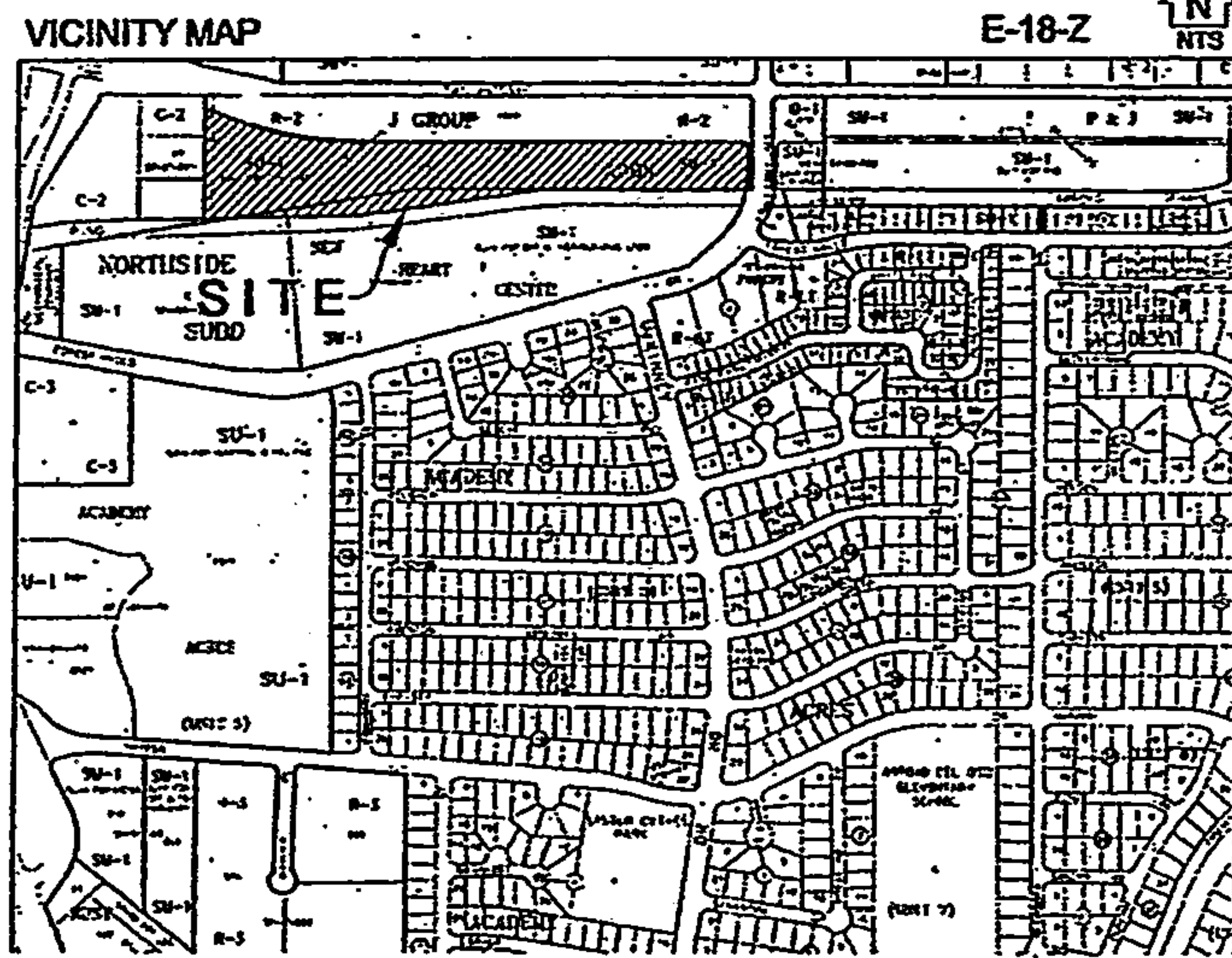
SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		125' +/-	12' RIGHT TURN LANE	SOUTH SIDE OF SAN ANTONIO	ROADWAY CROSS-OVER W. LOT 4	NEW DRIVE PAD WEST LOT 5	/	/	/
		6'	SIDEWALK	SOUTH SIDE OF SAN ANTONIO	WEST PROP LINE	EAST PROP LINE	/	/	/
							/	/	/
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# CONSTRUCTION COST ESTIMATE

6/21/2007

PROJECT NAME: San Antonio Office Retail  
 ESTIMATE - PHASE: Financial Guaranty

BID ITEM NO.	SPEC ITEM NO.	SHORT DESCRIPTION	UNIT	QTY	UNIT COST	COST ESTIMATE
<b>CURRENT CONSTRUCTION ITEMS</b>						
1	4.020	SURVEY	LS	1	1,500.00	1,500.00
2	343.020	AC PVMT <4", SAW, R&D	SY	48	3.80	182.40
3	343.070	CURB, AC, REM & DISP	LF	260	4.16	1,081.60
4	301.020	SUBGRADE PREP, 12"	SY	520	2.70	1,404.00
5	302.010	ABS, 6"	SY	347	7.96	2,762.12
6	340.010	SDWK, 4", PCC	SY	149	32.62	4,860.38
7	336.040	ART ASP CONC, TYPE A, 3", M	SY	694	16.62	11,534.28
8	340.030	VLY GUT & CURB, PCC	SY	82	43.79	3,590.78
9	340.050	C & G, STD, PCC	LF	224	22.65	5,073.60
10	441.001	REF PLAS MRK 4"	LF	125	3.21	401.25
Subtotal						\$32,390.41
CONTINGENCY - 10%						\$3,239.04
NMGRT =						
TOTAL =						\$35,629.45



**LEGAL DESCRIPTION**

A certain tract of land situate within Projected Section 25, Township 11 North, Range 3 East, N.M.P.M., in the Elena Callegos Grant, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract A-3-B, J GROUP ADDITION, filed in the Office of the Bernalillo County Clerk on 2/27/1996 in Plat Book 98C, Page 91, Tract 1, NEW HEART CENTER, filed in the Office of the Bernalillo County Clerk on 11/11/1991 in Plat Book 91C, Page 245, and Tract 1, NORTHSIDE SUBDIVISION, filed in the Office of the Bernalillo County Clerk on 3/14/1990 in Plat Book 90C, Page 72 and being more particularly described as follows:

BEGINNING at the Northwest corner of the Tract herein described, being the northwest corner of said Tract A-3-B, from whence the NMSHC Brass Cap monument "STA 1-25-14" bears N 18° 06' 08" W, a distance of 1446.60 feet; Thence, from said point of beginning, Easterly, 486.25 feet along the arc of a curve bearing to the left having a radius of 1462.00 feet, a central angle of 19° 03' 22" and a chord which bears S 80° 05' 18" E, a distance of 484.01 feet along the southerly line of San Antonio Drive, N.E. to a point of tangency; Thence, S 89° 37' 00" E, a distance of 1430.30 feet along said southerly line of San Antonio Drive N.E. to a point of curvature; Thence, Southeasterly, a distance of 39.27 feet along the arc of a curve bearing to the right having a radius of 25.00 feet, a central angle of 90° 00' 00" and a chord which bears S 44° 37' 00" E, a distance of 35.36 feet to a point of tangency on the westerly line of San Pedro Drive, N.E.; Thence, S 00° 23' 00" W, a distance of 86.71 feet along said westerly line of San Pedro Drive, N.E., to a point of curvature; Thence, Southwesterly, a distance of 68.96 feet along the arc of a curve bearing to the right having a radius of 398.90 feet, a central angle of 09° 37' 04" and a chord which bears S 05° 11' 32" W, a distance of 66.87 feet to a non-tangent point on the north line of the right-of-way line for the Pino Arroyo; Thence, N 89° 36' 30" W, a distance of 684.88 feet along said north line of the Pino Arroyo to a point of curvature; Thence, Westerly, a distance of 51.23 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 1537.50 feet, a central angle of 01° 54' 33" and a chord which bears S 89° 26' 13" W, a distance of 51.23 feet to a point of compound curvature; Thence, Westerly, a distance of 50.51 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 787.50 feet, a central angle of 03° 40' 29" and a chord which bears S 88° 38' 41" W, a distance of 50.50 feet to a point of compound curvature; Thence, Westerly, a distance of 51.23 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 1537.50 feet, a central angle of 01° 54' 33" and a chord which bears S 83° 51' 10" W, a distance of 51.23 feet to a point of tangency; Thence, S 82° 53' 54" W, a distance of 623.00 feet along said north line of the Pino Arroyo to a point of curvature; Thence, Westerly, a distance of 39.00 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 1462.50 feet, a central angle of 01° 31' 40" and a chord which bears S 83° 39' 44" W, a distance of 39.00 feet to a point of compound curvature; Thence, Westerly, a distance of 33.76 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 712.50 feet, a central angle of 02° 42' 54" and a chord which bears S 85° 47' 01" W, a distance of 33.76 feet to a point of compound curvature; Thence, Westerly, a distance of 39.00 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 1462.50 feet, a central angle of 01° 31' 40" and a chord which bears S 87° 54' 48" W, a distance of 39.00 feet to a point of tangency; Thence, S 88° 40' 08" W, a distance of 172.39 feet along said north line of the Pino Arroyo to an angle point; Thence, S 88° 39' 59" W, a distance of 230.80 feet along said north line of the Pino Arroyo to the southwest corner of the tract herein described; Thence, N 81° 19' 52" E, a distance of 42.62 feet along said north line of said Tract 1, Northside Subdivision, to a point on the westerly line of said Tract A-3-B; Thence, N 00° 26' 00" E, a distance of 363.82 feet along said westerly line of Tract A-3-B to the northwest corner and point of beginning of the tract herein described and containing 10.0445 acres, more or less.

**NOTES**

- The purpose of this plat is to create seven (7) commercial lots from three (3) existing tracts.
- Bearings shown hereon are New Mexico State Plane Grid bearings, Central Zone (NAD 1927). All distances shown are ground.
- Gross acreage = 10.0445 acres.  
Existing tracts = 3.  
Proposed tracts = 7.
- Unless otherwise indicated, all property corners are monumented by a found rebar with cap stamped "LS 4071". Corners established by this plat are No. 5 rebar with cap stamped "NMRLS 7923".
- City of Albuquerque water and sewer service is currently available to this property. Where applicable, availability should be coordinated with the Public Works Department.
- This survey shows any easements apparent on the ground, as indicated by the plat of record, those disclosed by owners and those disclosed in a Title Binder prepared for this property by Fidelity National Title Co. (02-3007464-B-MD) dated 12/2/2002. No Title Search was performed by the surveyor.
- Any underground structures not shown are not a part of this survey.
- There are no new rights of way created by this plat.
- Matters of zoning, property covenants and restrictions are not a part of this survey.
- Talos Log No. 2003380827.
- See Master Landfill Gas Evaluation and Abatement System Plan note on sheet 2 regarding gas monitoring well(s).
- The twenty-five (25) foot ingress and egress easements as shown hereon are granted for the collective benefit of all owners of Lots 1 thru 7. Individual lot owner(s) are responsible for the maintenance of the portion of said easement lying within said owner(s) individual lot(s).
- Current zoning is SU-1 for C-1

**UTILITY APPROVALS**

PNM Electric Services 5-10-04  
Date

PNM Gas Services 5-10-04  
Date

QWEST 5-13-04  
Date

Comcast 5/6/04  
Date

**PUBLIC UTILITY EASEMENTS**

Public Utility Easements shown on this plat are for the common and joint use of:

The PNM Electric Services for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.

The PNM Gas Services for the installation, maintenance and service of natural gas lines, valves and other equipment and related facilities reasonably necessary to provide natural gas.

Consent for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities necessary to provide communication services, including, but not limited to, above ground pedestals and closures.

Consent for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included in the right to build, rebuild, demolish, reconstruct, locate, relocate, change, remove, modify, renew, expand and maintain facilities for the purposes described above, together with free access to, from and over said easements, including sufficient working area space for electric transformers, with the right and privilege to use and remove lines, wires and cables which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking or other structure shall be erected or constructed on said easements, nor shall any well be drilled or completed thereon. Property owners shall be solely responsible for correcting any violations of National Electric or Safety Code caused by construction or pools, decking of any structures adjacent to, with or near easements shown on this plat.

**PNM DISCLAIMER**

By approving this document, PNM does NOT waive or release any easements or easement rights which may have been granted by prior plat, report or document, except those indicated on this plat.

**FREE CONSENT**

The land described hereon, identified as LOTS 1 THRU 7, JJ SUBDIVISION is platted with the free consent and in accordance with the wishes and desires of the undersigned owner(s). Said owner(s) do hereby represent that they are so authorized to act.

Joseph P. Cotruzzola 11/04/03  
The J Group, a New Mexico Partnership  
Joseph P. Cotruzzola, a partner  
Date

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO

COUNTY OF Bernalillo

This instrument was acknowledged before me by Joseph P. Cotruzzola, partner for the J Group, a New Mexico Partnership, this 4th day of November, 2003.

By [Signature] My Commission Expires 10-17-07  
Notary Public

**TREASURER'S CERTIFICATION**

101906215052720140  
10190621544620110  
10190620748020119  
This is to certify that taxes are current & paid on UPC #  
Property owners of record: The J Group, a New Mexico partnership & cotruzzola Joseph P.  
Bernalillo County Treasurer's Office: [Signature] 21 May 04

INDEXING INFORMATION FOR  
COUNTY CLERK  
OWNERS: The J Group, a New Mexico  
partnership  
LOCATION: PROJECTED SECTION 25  
TOWNSHIP 11 NORTH  
RANGE 3 EAST  
NAME: LOTS 1 THRU 7  
JJ SUBDIVISION



**PLAT OF**

**LOTS 1 THRU 7  
JJ SUBDIVISION**

BEING A REPLAT OF TRACT A-3-B, J GROUP ADDITION,  
TRACT 1, NEW HEART CENTER & TRACT 1, NORTHSIDE SUBDIVISION

WITHIN PROJECTED SECTION 25  
TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY  
NEW MEXICO

NOVEMBER 2003

SHEET 1 OF 2

**DISCLOSURE STATEMENT**

The purpose of this plat is to create seven (7) lots from three (3) existing tracts.

**CITY APPROVALS**

[Signature] 5/19/04  
DRB Chairperson, Planning Department Date

[Signature] 11-04-2003  
City Surveyor Date

[Signature]  
Real Property Division Date

[Signature] May 19, 2004  
Environmental Health Department Date

[Signature] 5-19-04  
Traffic Engineer, Transportation Division Date

[Signature] 5/20/04  
Utilities Development Date

[Signature] 5/19/04  
Parks and Recreation Department Date

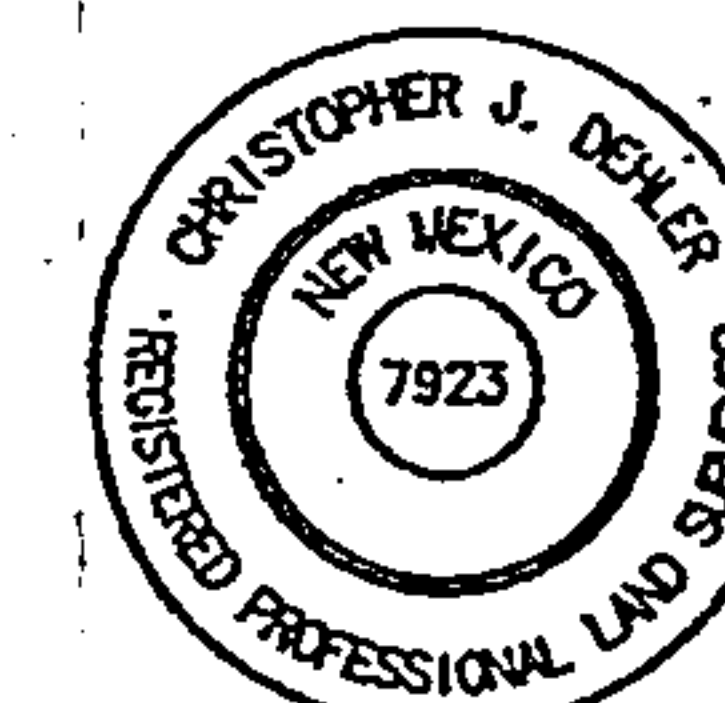
[Signature] 5/20/04  
A.M.A.F.C.A. Date

[Signature] 5/20/04  
City Engineer Date

**SURVEYOR'S CERTIFICATION**

I, Christopher J. Dehler, New Mexico Registered Land Surveyor No. 7923 hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey, shows all easements of record made known to me by the owners, utility companies and Fidelity National Title Co. (02-3007464-B-MD), meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and the Minimum Standards for Land Surveys in New Mexico and is true and correct to the best of my knowledge and belief.

[Signature] 11/03/03  
Christopher J. Dehler Date  
N.M.R.L.S. No.7923



Record Plat  
Showing Esmtnts.  
to be vacated

**MASTER LANDFILL GAS EVALUATION AND ABATEMENT SYSTEM PLAN NOTE**

As a condition to this Subdivision Plat approval by the City, owner, its successors and assigns covenants and agrees to install a landfill gas monitoring well(s) and extraction system on the property, pursuant to that certain Master Landfill Gas Evaluation and Abatement System Plan for the proposed Subdivision at I-25 and San Antonio Boulevard. Lots A-3-B1 thru 7 (now known as Lots 1 thru 7, JJ Subdivision, Albuquerque, New Mexico, dated July 18, 2003 prepared by Lawrence Earth Engineering, Larry M. Coons, P.E. (the "Master Landfill Gas Evaluation and Abatement System Plan") and incorporated herein by reference. The landfill gas monitoring well (s) and extraction system shall be installed on a lot by lot basis as defined in the Master Landfill Gas Evaluation and Abatement System Plan for any individual lot at the time of and as a condition to Site Development Plat approval, Design Review approval by the City's Design Review Committee or building permit approval, whichever occurs sooner.

The obligation of the owner, its successors and assigns of an individual lot to install landfill gas monitoring well (s) and extraction system shall include the obligation to monitor well(s) on a periodic basis as approved by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan on file at the City's Environmental Health Department and incorporated herein by reference and initiating the start up, operation and maintenance of the extraction system, as required by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan.

This paragraph shall in its entirety constitute a covenant running with the title to each individual lot of the property as shown on this Plat shall be binding on the owner, its successors and assigns of each individual lot for the benefit of the City until terminated.

(Above language by Assistant City Attorney, City of Albuquerque)

The subject property is located (near, on) a former, existing landfill. Due to the subject property being (on, near), a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfill and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 Feet of Landfills") shall be consulted prior to development of the site.

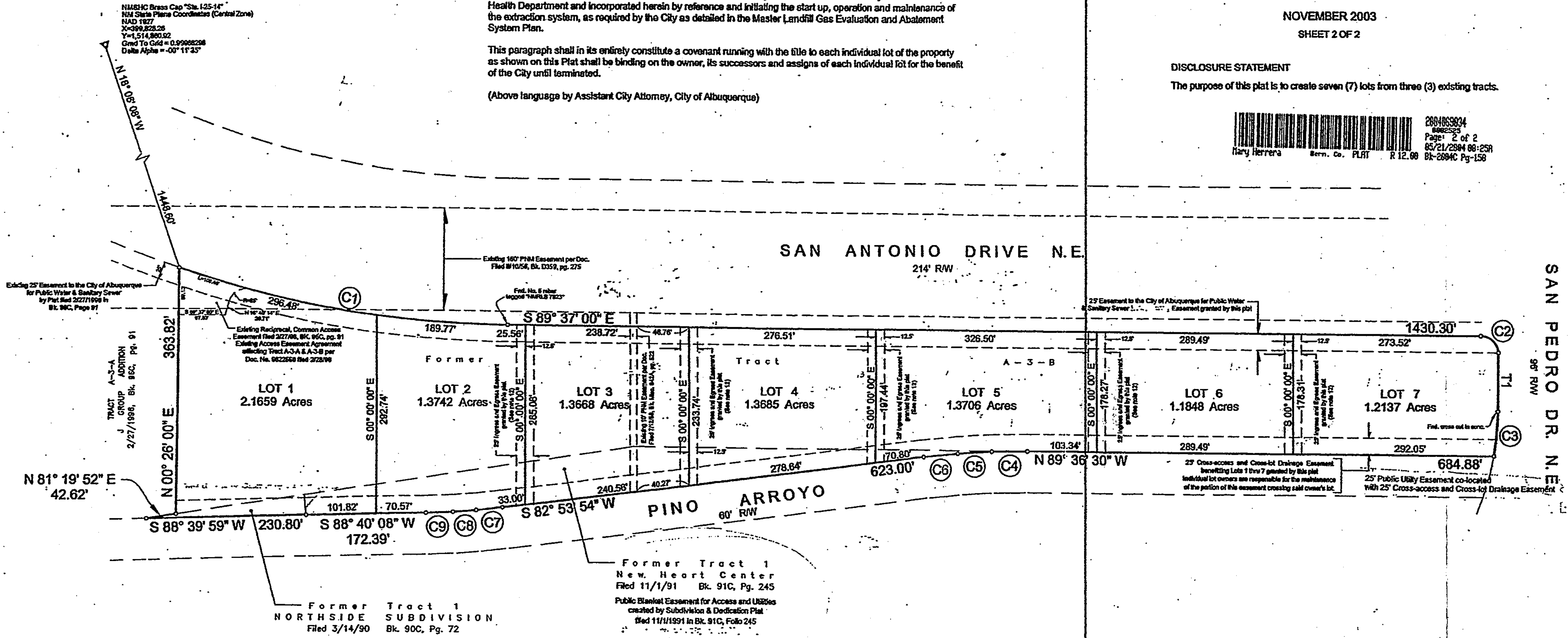
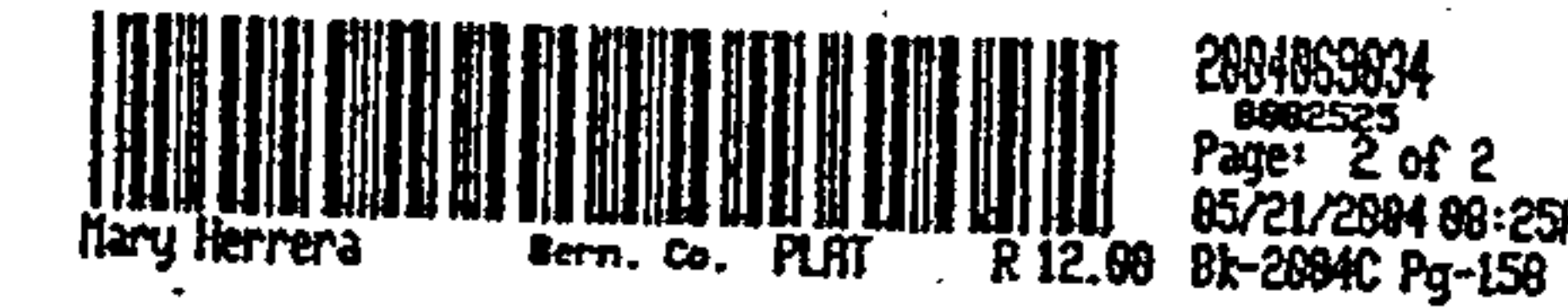
PLAT OF  
**LOTS 1 THRU 7  
JJ SUBDIVISION**  
BEING A REPLAT OF TRACT A-3-B, J GROUP ADDITION,  
TRACT 1, NEW HEART CENTER & TRACT 1, NORTHSIDE SUBDIVISION  
WITHIN PROJECTED SECTION 25  
TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY  
NEW MEXICO

NOVEMBER 2003  
SHEET 2 OF 2

**DISCLOSURE STATEMENT**

The purpose of this plat is to create seven (7) lots from three (3) existing tracts.

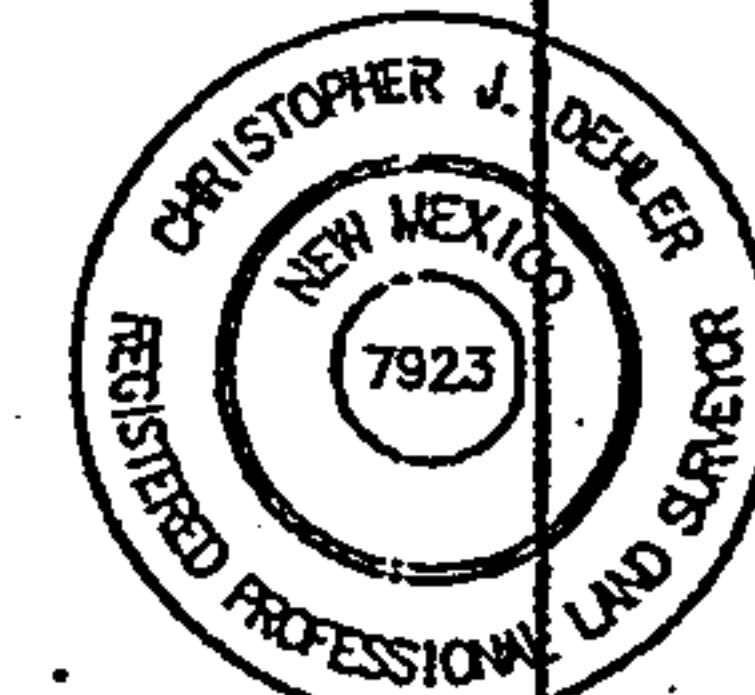


**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	CHORD DIST.
C1	486.25'	1462.00'	19° 03' 22"	484.01'
C2	39.27'	25.00'	90° 00' 00"	35.36'
C3	66.96'	398.90'	09° 37' 04"	66.87'
C4	51.23'	1537.50'	01° 54' 33"	51.23'
C5	50.51'	787.50'	03° 40' 29"	50.50'
C6	51.23'	1537.50'	01° 54' 33"	51.23'
C7	39.00'	1462.50'	01° 31' 40"	39.00'
C8	33.76'	712.50'	02° 42' 54"	33.76'
C9	39.00'	1462.50'	01° 31' 40"	39.00'

**TANGENT TABLE**

TANGENT	BEARING	DISTANCE
T1	S 00° 23' 00" W	88.71'



**SURVEYOR'S CERTIFICATION**

I, Christopher J. Dehler, New Mexico Registered Land Surveyor No. 7923 hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey, shows all easements of record made known to me by the owners, utility companies and Fidelity National Title Co. (02-3007464-B-MD), meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and the Minimum Standards for Land Surveys in New Mexico and is true and correct to the best of my knowledge and belief.

Christopher J. Dehler  
N.M.R.L.S. No. 7923

11/03/03

Date



Christopher J. Dehler, PLS  
274 Manterro Road • Corral, NM • 87046 • 898-1061





WATER RESOURCES  
PLANNING AND DESIGN  
SOLID WASTE  
CONSTRUCTION MANAGEMENT  
COST AND VALUE ENGINEERING  
LAND DEVELOPMENT

Phone: 505-379-3671  
Fax: 810-885-1946  
ACGENG@aol.com

PO BOX 93906  
Albuquerque, NM  
87199-3906

220 Copper Ave. NW  
Suite 650  
Albuquerque, NM  
87102

May 12, 2008

Chairman  
Design Review Board  
City of Albuquerque

Re: Project No. 1002455, <sup>07 DRB 70005</sup> ~~07 DRB 70005~~ EPC  
MINOR Preliminary/Final Plat Approval  
Vacation of Private Easement <sup>07 DRB 70004</sup>

Dear Mr. Chairman and Members:

Our project is currently on indefinite deferral. Please place us on the May 21, 2008 agenda for action on the two items previously deferred: Preliminary/Final Plat Approval and Vacation of Easements (Private).

Attached is the submittal package which contains the following:

1. Letter from AFRA to Mrs. Sharon Matson, describing the changes to the Site Development Plan which addresses ALL EPC conditions of approval.
2. Drawings consisting of the Amendment to the Site Development Plan along with various other related sheets (landscaping, drainage, utility, elevations, etc.).
3. Office Notice of Decision from the EPC.
4. Letter from the Planning Department to Sharon Matson regarding EPC approval.
5. Infrastructure List for the Deceleration Lane along with the cost estimate for the said lane from Larry Read.
6. Highlighted Plat of Record showing the private easement vacations.

Please call me if you have any questions. You can reach me at 505-379-3671.

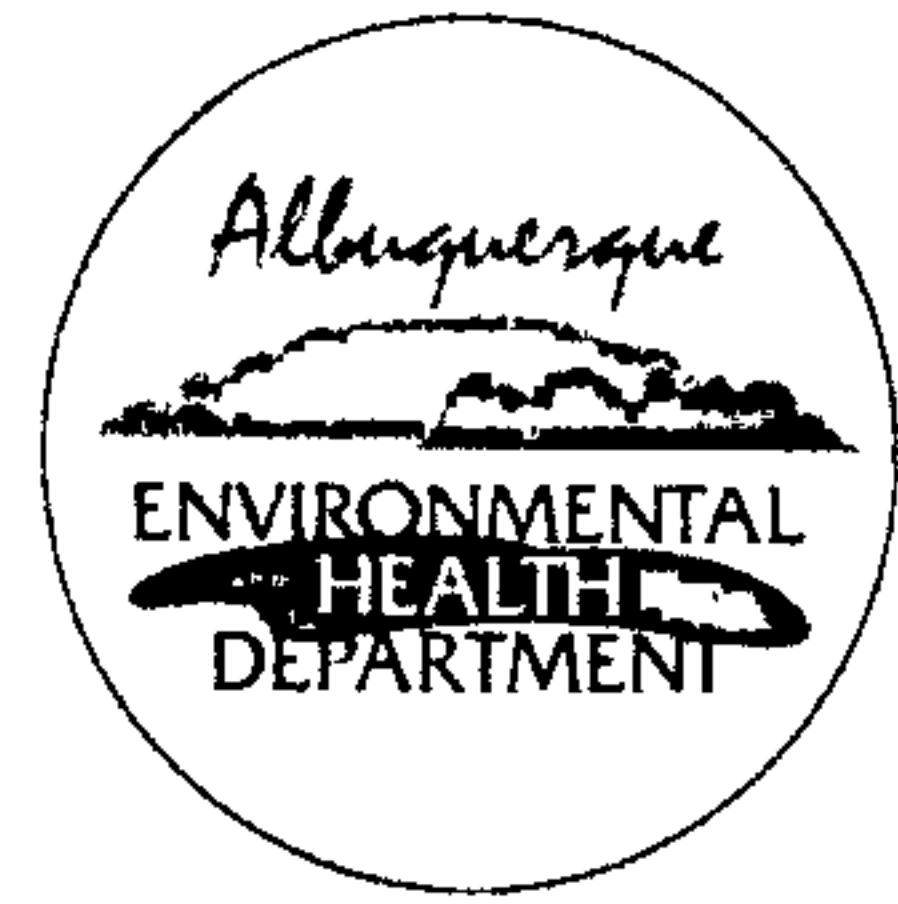
Best Regards,  
ACG ENGINEERING

Augustine C. Grace, M.S., P.E.

#9



**City of Albuquerque**  
**Environmental Health Department**



Martin J. Chávez, Mayor

John Soladay, Acting Director

May 15, 2008

**TO:** Jack Cloud, Planning Department Design Review Board Chair

**FROM:** Suzanne Busch, Principal Engineer *Suzanne Busch*

**SUBJECT:** Project #1003815, 08 DRB-70208 Site Development Plan for Subdivision, 08DRB-70209 Site Development Plan for Building Permit – Lots 1-3, Block 4, Tract A, Unit B, North Albuquerque Acres located on the southwest corner of San Mateo Blvd NE and Venice Ave NE .

The above-referenced project is within the buffer zone of a former City owned/operated landfill (Coronado Landfill). The developers of this site are required to follow the most current version of the *City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones*. A review and approval of the site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department (EHD), Environmental Services Division.

EHD requests that the Planning Department make the above paragraph a condition of approval for the project's site Development Plan-Building Permit.

Cc: James Joseph, Intera Inc.  
Donna Griffin, Assistant City Attorney  
Slagleherr Architects

**Gomez, Angela J.**

---

**From:** Tafazzul Hussain [thussain@afra-design.com]  
**Sent:** Tuesday, May 27, 2008 12:32 PM  
**To:** Gomez, Angela J.  
**Subject:** Project Review Deferment - 1002455 with contact info

Angela,

Currently we have a Project # 1002455 / 07-70005 up for review this week. We are requesting that review be deferred till next week.

Thank you,  
Jim Green  
Afra Construction  
505-998-3128  
thussain@afra-design.com

# AFRA CONSTRUCTION & DESIGN, LLC

2501 Yale Blvd. Suite 102

Albuquerque, NM 87106

Phone: (505) 998-3128

Fax: (505) 998-3129

## TRANSMITTAL

Project:	1002455	06 DRB-01649	ERC	SDP
To:	DRB	CHAIRMAN	JACK	CLOUD
From:	JIM	GREEN		

We transmit:

Herewith  Under Separate Cover Via \_\_\_\_\_

In Accordance With Your Request \_\_\_\_\_

The Following:

Drawings     Shop Drawings     Samples     Specifications     Proposals  
 Product Literature     Change Orders     Other SEE BELOW

For Your:

Approval     Distribution to Parties     Information     Review and Comment

COPIES	DATE	REV NO.	DESCRIPTION	ACTION CODE
1. SP.1	06.18.08		SITE PLAN FOR BLDG PERMIT	
1. C.1	06.18.08		CONCEPTUAL GRADING PLAN	
1. WS	06.18.08		WATER & SEWER PLAN	
1.	06.18.08		COMMENT SHEET	
1.	06.18.08		INFRASTRUCTURE LIST	
1.	06.18.08		FIRE HYDRANT & FIRE FLOW	

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME

AGENT

ADDRESS

PROJECT & APP #

PROJECT NAME

\$ \_\_\_\_\_ 441032/3424000 Conflict Management Fee

\$ 50<sup>00</sup> 441006/4983000 DRB Actions *deferral fee*

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ \_\_\_\_\_ 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*

( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit

( ) Letter of Map Revision ( ) Conditional Letter of Map Revision

( ) Traffic Impact Study

\$ 50<sup>00</sup> TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque  
Treasury Division

5/24/2007 2:08PM LOC: ANNX  
RECEIPT# 00082547 WSH 007 TRANS# 0042  
Account 441006 Fund 0110  
Activity 4983000 TRSMSP  
Trans Amt \$50.00  
J24 Misc \$50.00  
CK \$50.00  
CHANGE \$0.00

Thank You

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

05/22/2007 Issued By: PLNABG

# 11

**Permit Number:** 2007 070 004

**Application Number:** 07DRB-70004, Vacation Of Private Easement

**Address:**

**Location Description:** SAN ANTONIO NE BETWEEN INTERSTATE 25 NE FORREST HILLS NE

**Project Number:** -1002455

**Applicant**  
 San Antonio Properties Llc  
 Douglas Sims

**Agent / Contact**  
 Rio Grande Surveying Co.  
 Rex Vogler, P.S.

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441008/4983000	DRB Actions	\$180.00
<b>TOTAL:</b>		<b>\$200.00</b>

5/22/2007 10:26AM LOC: ANNX  
 RECEIPT# 00082382 WSH 007 TRANS# 0015  
 Account 441006 Fund 0110  
 Activity 4983000 TRSHSP  
 Trans Amt \$695.00  
 J24 Misc \$180.00  
 Thank You

City Of Albuquerque  
 Treasury Division

City Of Albuquerque  
 Treasury Division

5/22/2007 10:26AM LOC: ANNX  
 RECEIPT# 00082381 WSH 007 TRANS# 0015  
 Account 441032 Fund 0110  
 Activity 3424000 TRSHSP  
 Trans Amt \$695.00  
 J24 Misc \$20.00

Thank You

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

05/22/2007 Issued By: PLNABG

**Permit Number:** 2007 070 005

**Application Number:** 07DRB-70005, Minor - Preliminary/ Final Plat Approval

**Address:**

**Location Description:** SAN ANTONIO NE BWETWEEN INTERSTATE 25 NE AND FORESTHILLS NE

**Project-Number:** 1002455

**Applicant**  
San Antonio Properties Llc  
Douglas Sims

**Agent / Contact**  
Rio Grande Surveying Co.  
Rex Vogler, P.S.

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$495.00
<b>TOTAL:</b>		<b>\$495.00</b>

City Of Albuquerque  
Treasury Division

5/22/2007 10:26AM LOC: ANNX  
RECEIPT# 00082383 WS# 007 TRANS# 0015  
Account 441006 Furd 0110  
Activity 4983000 TRSMSP  
Trans Amt, \$695.00  
J24 Misc \$495.00  
CK \$695.00  
CHANGE \$0.00

Thank You



Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

Professional/Agent (if any): Rex Vogler, P.S. dba Rio Grande Surveying Co. PHONE: 764-8891  
 ADDRESS: P.O. Box 7155 FAX: 764-8891  
 CITY: ABQ. STATE NM ZIP 87194 E-MAIL: rgsc@flash.net

APPLICANT: San Antonio Properties LLC, Douglas Simms PHONE: 263-3805  
 ADDRESS: 2712 Castaneda Dr. NW FAX: \_\_\_\_\_  
 CITY: ABQ. STATE NM ZIP 87107 E-MAIL: \_\_\_\_\_

Proprietary interest in site: Member List all owners: Douglas Simms, Dr. Jeffrey Rubin

DESCRIPTION OF REQUEST: Vacate Easements; Grant addn'l. Easements; Dedicate addn'l. R/W

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lots 3-7 of 'JJ Subd.' Block: - Unit: -  
 Subdiv/Addn/TBKA: 'JJ' Subd.  
 Existing Zoning: SU-1 for C-1 uses Proposed zoning: SU-1 for C-1 uses  
 Zone Atlas page(s): E-18 UPC Code: 101806213150020142 MRGCD Map No -

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
Proj. # 1002455

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? Yes  
 No. of existing lots: 5 No. of proposed lots: 5 Total area of site (acres): 6.5044  
 LOCATION OF PROPERTY BY STREETS: On or Near: San Antonio NE  
 Between: I-25 (west) and Forest Hills (east)

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE May 16, 2007  
 (Print) Rex J. Vogler Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill!
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07 DRB - 70004</u>	<u>V PRE</u>	<u>V</u>	<u>\$ 80.<sup>00</sup></u>
<u>07 DRB - 70005</u>	<u>P &amp; F</u>		<u>\$ 495.<sup>00</sup></u>
	<u>CMF</u>		<u>\$ 20.<sup>00</sup></u>
			\$ _____
			\$ _____
			\$ _____
Hearing date <u>May 30, 2007</u>			Total <u>\$ 695.<sup>00</sup></u>

[Signature]  
 Planner signature / date

Project # 1002455



**FORM V: SUBDIVISION VARIANCES & VACATIONS**

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
    - \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
    - \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
    - \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
    - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - \_\_\_ Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
  - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
    - \_\_\_ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
    - \_\_\_ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the request
    - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - \_\_\_ Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- SEWAGE VARIANCE (DRB20)**
  - SEWAGE WAIVER (DRB21)**
    - \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
    - \_\_\_ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the variance
    - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - \_\_\_ Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
  - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
    - \_\_\_ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the deferral or extension
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
  - VACATION OF RECORDED PLAT (DRB29)**
    - ✓ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
    - ✓ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
    - ✓ Zone Atlas map with the entire property(ies) clearly outlined
    - ✓ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
    - ✓ Letter of authorization from the grantors and the beneficiaries (private easement only)
    - ✓ Fee (see schedule)
    - ✓ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Rex J. Vogler  
Applicant name (print)  
[Signature] 05/22/07  
Applicant signature / date



- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
07DRB - \_\_\_\_\_ - 70004

Form revised 4/07  
Andrew Garcia 5/22/07  
Planner signature / date  
Project # 1002455

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** **Your attendance is required.**

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Rex J. Vogler  
Applicant name (print)

[Signature] 05/22/07  
Applicant signature / date



Form revised 4/07

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 07 DRB - -70005  
 \_\_\_\_\_ - \_\_\_\_\_  
 \_\_\_\_\_ - \_\_\_\_\_

[Signature] 5/22/07  
Planner signature / date

**Project # 1002455**

# **RIO GRANDE SURVEYING CO., P.C.**

P.O. BOX 7155 ABQ., N.M. 87194 VOICE & FAX (505)764-8891 [rgsc@flash.net](mailto:rgsc@flash.net)

May 22, 2007

Development Review Board Chairperson  
City of Albuquerque, Planning Dept.  
Albuquerque, New Mexico

**RE:           PROJECT #1002455**  
**LOTS 3 THRU 7 OF THE 'JJ SUBDIVISION'**

Dear Sir or Madam,

We are submitting this application for 2 actions: 1) Vacation of Private Easements; 2) Minor Subdivision Preliminary/Final Plat Approval.

The easements we are seeking to vacate are the private 25' ingress and egress easements along the side lot lines common to Lots 3 thru 7. These easements were created by the plat 'LOTS 1 THRU 7, JJ SUBDIVISION', recorded May 21, 2004 in Plat Book 2004C, folio 158 (copies attached).

The Minor Subdivision Plat will grant new private access easements in accordance with City requirements, and better serve the owners' planned development. The plat also shows the vacation action described above, and the dedication of additional right-of-way to the City for a planned turn lane into the subject property.

Feel free to call if you have any questions or need additional information.

Sincerely,  
RIO GRANDE SURVEYING CO., PC



Rex J. Vogler, PS  
President

FROM : R AND D

FAX NO. : 111111111110

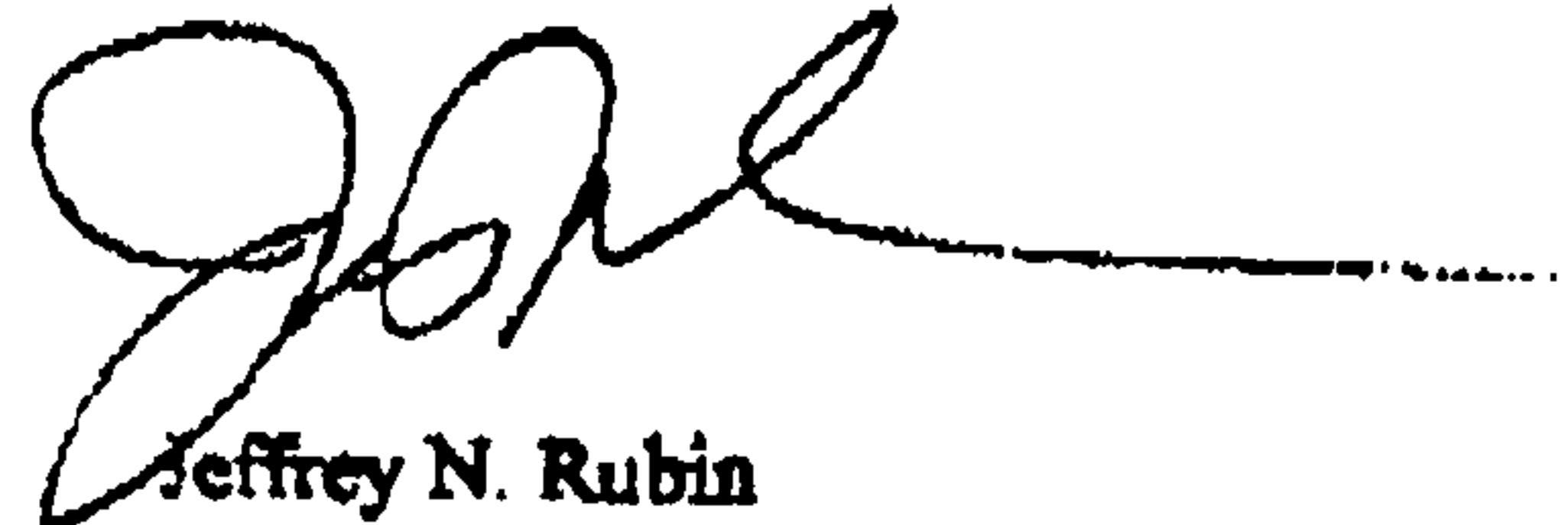
May. 16 2007 09:24PM P1

11311 Penfield Lane, NE  
Albuquerque, NM 87111  
16 May 2007

City of Albuquerque

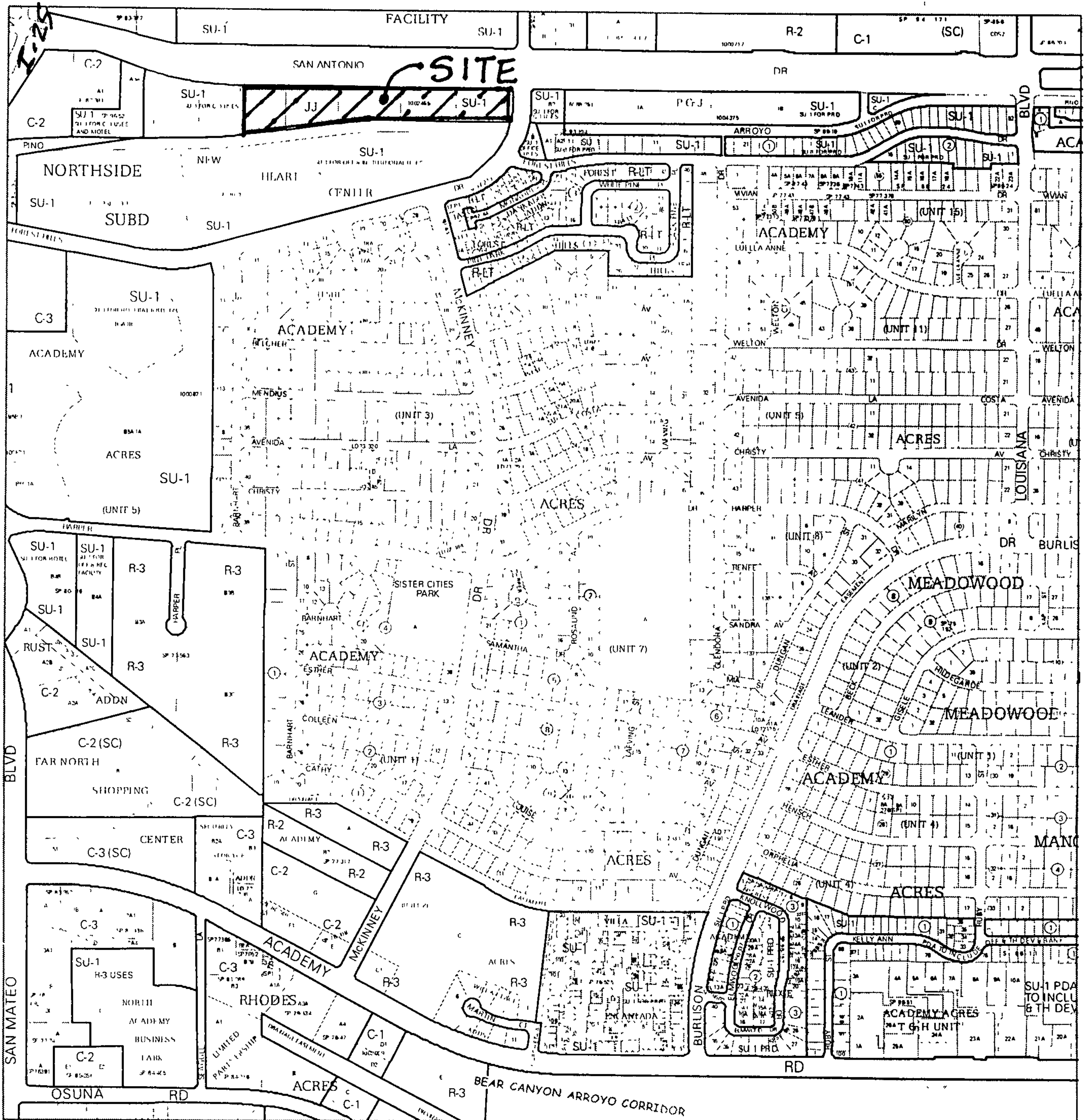
To Whom It May Concern:

I, Jeffrey Rubin, President of San Antonio Properties, give permission to Rio Grande Survey Co, P.C. to vacate the easements and adjust lot lines as required on Lot 3A thru 7A, J Group Subdivision property on San Antonio.

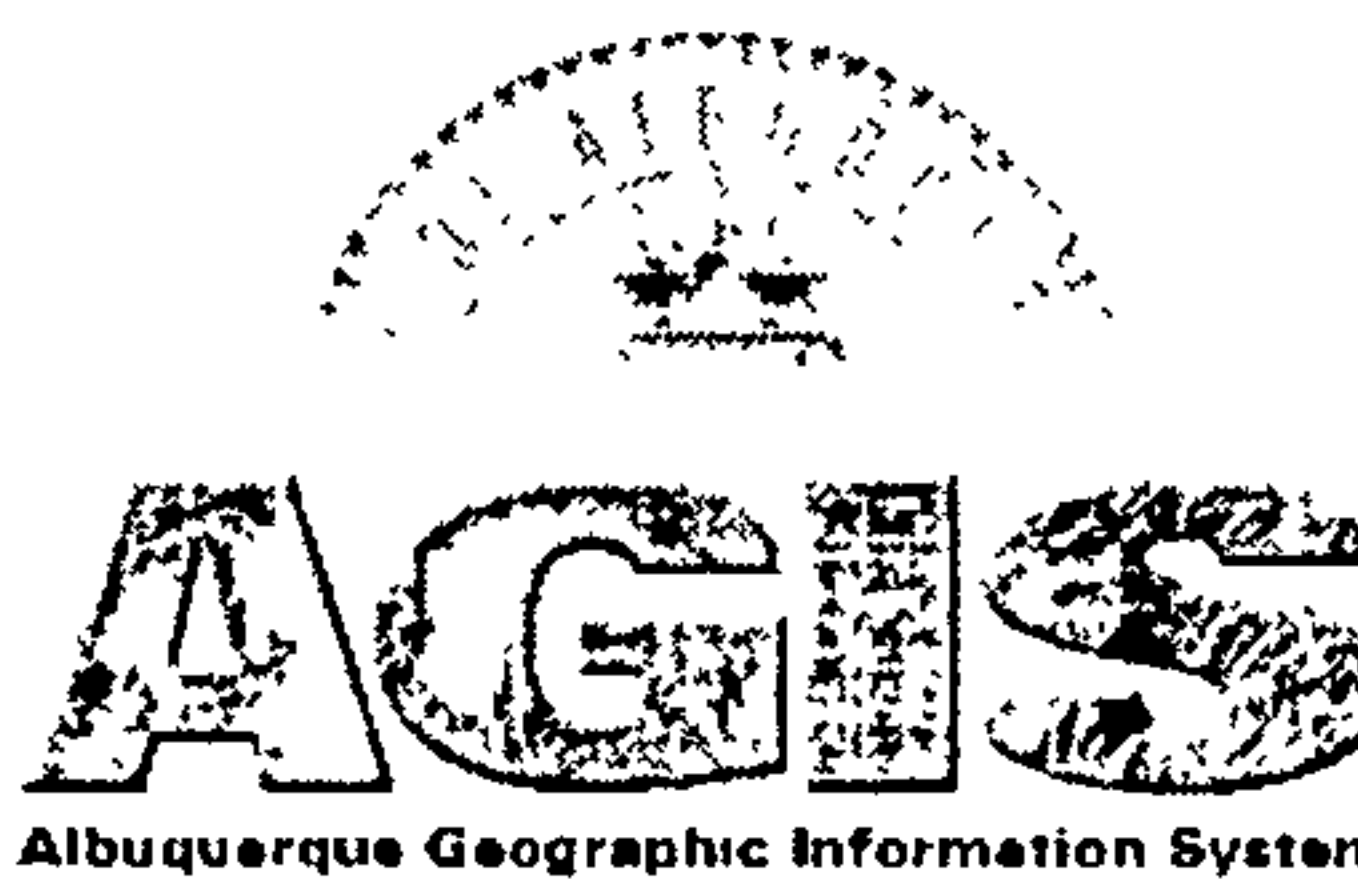


Jeffrey N. Rubin

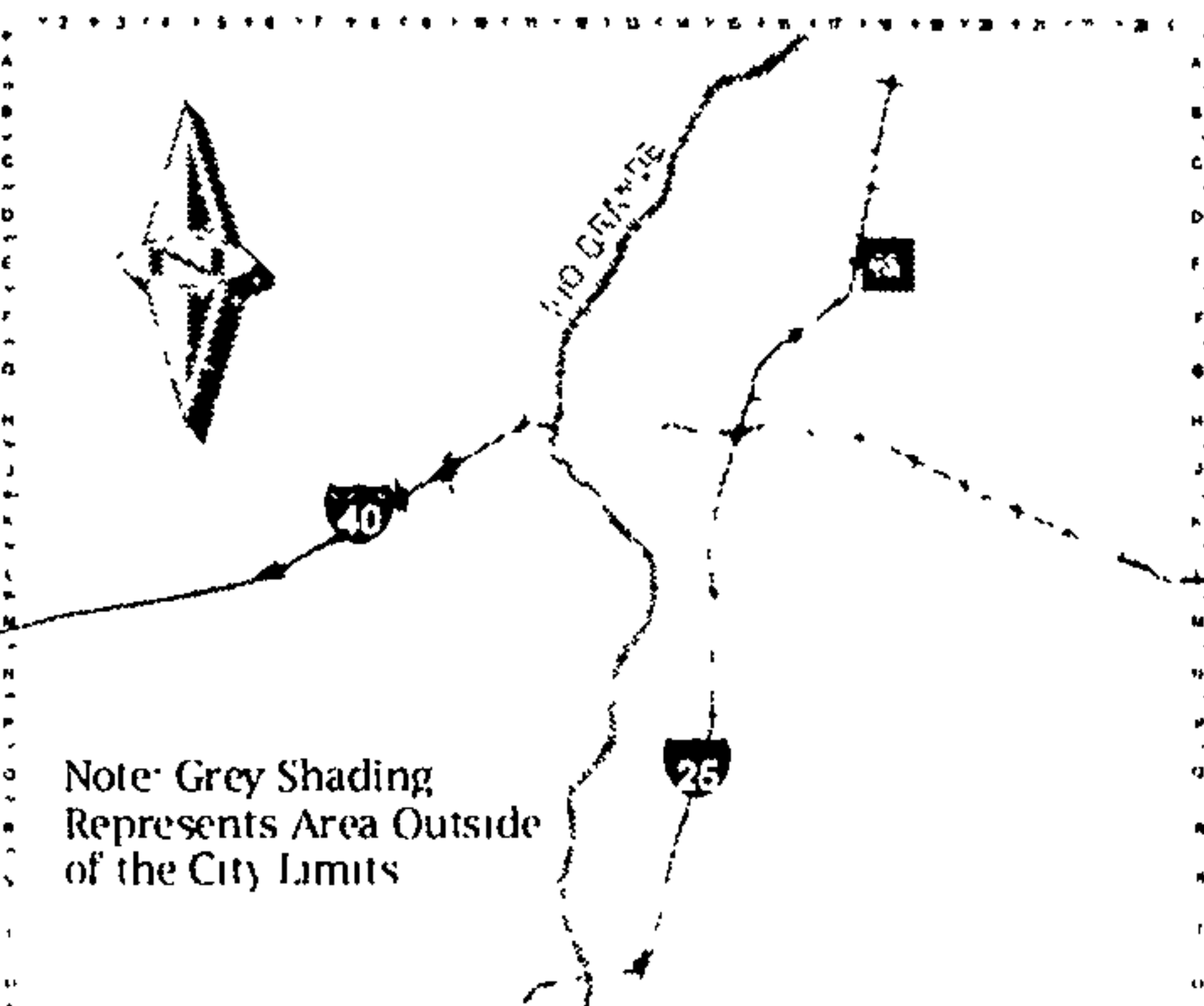
President, San Antonio Properties



For more current information and more details visit <http://www.cabq.gov/gis>



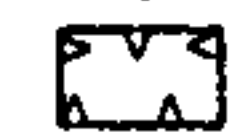



Map amended through: 1/9/2007

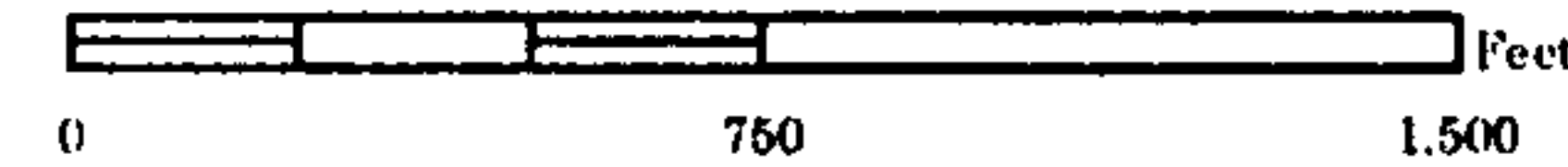


Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**E-18-Z**

Selected Symbols

SECTOR PLANS	 Escarpment
Design Overlay Zones	 2 Mile Airport Zone
City Historic Zones	 Airport Noise Contours
H-1 Buffer Zone	 Wall Overlay Zone
Petroglyph Mon	



0 750 1,500 Feet



**INTERA Incorporated**  
6000 Uptown Boulevard NE  
Suite 100  
Albuquerque, NM 87110  
Telephone: 505 246 1600  
Fax: 505 246 2600


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•••  
•••  
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## MEMORANDUM

DATE: November 27, 2006

TO: Sheran Matson, Planning Department – Design Review Board

COPY: Rhonda Methvin, Environmental Health Department  
Kevin Curran, Legal Department  
Tafazzul Hussain, AFRA Construction

FROM: James Joseph, INTERA Inc. 

SUBJECT: Project # 1002455, JJ Subdivision, Lots 2-7 on San Antonio Dr. NE between I-25 and San Pedro Dr. NE (06DRB-01648 Minor-SiteDev Plan Subd/EPC, & 06DRB-01649 Minor-SiteDev Plan BldPermit/EPC).

---

There is the potential for the above-named project to be impacted by the presence of landfill gas generated by a former City owned/operated landfill (San Antonio Landfill). The developers of this site are required to follow the most current version of the “City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones”. A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.

Vertical text on the right margin.



6000 Uptown Blvd NE Suite 100  
Albuquerque, NM 87110  
Phone: (505) 246-1600  
Fax: (505) 246-2600

**FACSIMILE COVER SHEET**

TO: <u>Sheran Matson</u>	FROM: <u>Amy Andrews</u>
COMPANY: <u>City of Albuquerque</u>	NO. OF PAGES: <u>2</u> (Including cover page)
FAX #: <u>924-3864</u>	
PHONE #: _____	DATE: <u>11/27/06</u>

PLEASE MAKE COPIES FOR:

\_\_\_\_\_

SUBJECT: DRB Memo

Original will follow via USPS

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

If there are any problems with this transmission, please call (505) 246-1600

Thank You



A stamp consisting of a document icon (a rectangle with a folded top-right corner) followed by the word "COPY" in a large, bold, sans-serif font.


**INTERA Incorporated**  
6000 Uptown Boulevard NE  
Suite 100  
Albuquerque, NM 87110  
Telephone: 505 246 1600  
Fax: 505 246 2600

### MEMORANDUM

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\*\*\*\*\*  
\*\*\* RX REPORT \*\*\*  
\*\*\*\*\*

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RECEPTION OK

TX/RX NO	8455
CONNECTION TEL	
SUBADDRESS	
CONNECTION ID	
ST. TIME	11/27 13:59
USAGE T	00'48
PGS.	2
RESULT	OK

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes - ~~ANNEXATION~~
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: DOUGLAS SIMMS  
 ADDRESS: 2712 CASTANEDA DR. NW  
 CITY: ALBUQUERQUE STATE NM ZIP 87107  
 Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_  
 AGENT (if any): TAFAZZUL HUSSAIN  
 ADDRESS: 2501 YALE BLVD. SE, STE 102  
 CITY: ALBUQUERQUE STATE NM ZIP 87106

PHONE: 505-263-2513  
 FAX: 505-341-9430  
 E-MAIL: \_\_\_\_\_  
 PHONE: 505-243-9093  
 FAX: 505-243-1561  
 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: SITE PLAN FOR SUBDIVISION & SITE PLAN FOR BUILDING PERMIT - LOT 5

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOTS 2 THRU LOT 7 Block: --- Unit: ---  
 Subdiv. / Addn. JJ SUBDIVISION, CITY OF ALBUQUERQUE  
 Current Zoning: SU-1 FOR C-1 USES Proposed zoning: SAME  
 Zone Atlas page(s): E-18-Z No. of existing lots: 6 No. of proposed lots: 6  
 Total area of site (acres): 7.8464 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.)  
 Within 1000FT of a landfill? YES  
 UPC No. 101806218850320144 MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: SOUTH SIDE OF SAN ANTONIO DR.  
 Between: I-25 TO WEST and SAN PEDRO / FOREST HILLS DR.

CASE HISTORY: Carmen Marrone Epc Case Planner  
 List any current or prior case number that may be relevant to your application (Proj, App, DRB, AX, Z, V, S, etc.): 06DRB-00610  
PROJECT 1002455 / DRB-95-529 06EPC-00458  
06EPC-01076

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: \_\_\_\_\_  
 SIGNATURE Tafazzul Hussain DATE 11/20/06  
 (Print) TAFAZZUL HUSSAIN \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers  
06DRB-01648  
06DRB-01649  
 Hearing date 11-29-06

Action	S.F.	Fees
<u>SPS</u>		\$
<u>SBP</u>		\$
<u>CMF</u>		\$ <u>20.00</u>
		\$
		\$
		\$
		Total
		\$ <u>20.00</u>

Carmen Marrone 11/21/06  
 Planner signature / date

Project # 1002455

Form revised 4/04

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

**Maximum Size: 24" x 36"**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**Maximum Size: 24" x 36"**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**Maximum Size: 24" x 36"**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**Maximum Size: 24" x 36"**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions

TAFAZZUL HUSSAIN  
Applicant name (print)

Tafazzul Hussain 11/20/06  
Applicant signature / date

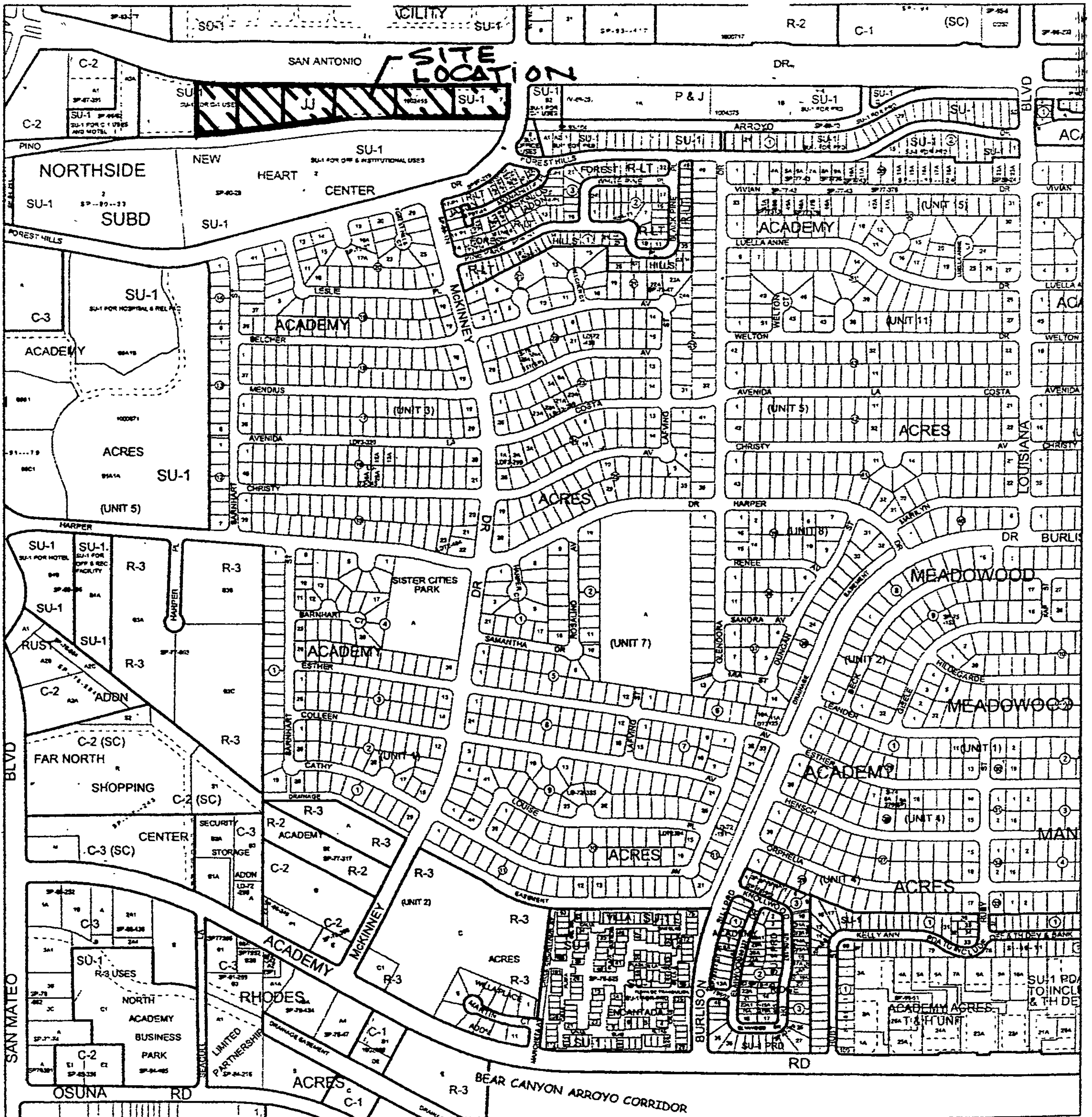


Form revised APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
06DRB - -01648  
06DRB - -01649

Oliver Senora 11/21/06  
Planner signature / date  
**Project #** 1002455



For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Note: Grey Shading  
Represents Areas Outside  
of the City Limits

Zone Atlas Page:  
**E-18-Z**

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

Map amended through: 11/2/2005

0 750 1,500 Feet

# **...fra Construction & Des.-g-1**

**2501 Yale Blvd. SE Suite 102**

**Albuquerque, NM 87106**

**505-243-9093 Office**

**505-315-1482 Cell**

**505-243-1561 Fax**

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||  
||  
||

November 20, 2006

Ms. Sharon Matson, DRB, Chairperson, Planning Manager  
City of Albuquerque, Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, NM 87103

Re: Project No. 1002455, 06EPC- 00458 EPC  
Site Development Plan for Building Permit

---

Dear Ms. Matson:

In regard to the project approvals at the Environmental Planning Commission (EPC) hearing, Project 100245 / 06EPC 00458, a site development plan for building permit for Lot 5, JJ Subdivision, zoned SU-1/C-1, we are submitting corrected items for Design Review Board's review meeting on November 23, 2006.

The Conditions for Approval are corrected, as follows:

1. Condition 3  
Site Plan Drawing SP-1, has been labeled "Site Development Plan for Building Permit".
2. Condition 4  
Details of Sign Illumination shall be submitted at such time for Building Permit. Selection of signage not available, except for the area on the building elevations. All signage shall comply with the latest City of Albuquerque Zoning Code, General Sign Regulations, Section 14-16-3-5.
3. Condition 5  
Landscaping:
  - a. 80% minimum of ground cover shall be native vegetation and less use of Santa Fe gravel.
  - b. Landscape maintenance shall keep shrubs, trees pruned and clear of trails, crosswalks and bike paths.
  - c. Honey Locust trees shall replace the original design of Sycamore trees.
  - d. The east side of Building 'B' shall have purple leaf, honeysuckle and Tucson Blue rosemary.
4. Condition 6  
Owner shall contact Environmental Health Department, Environment Services Division, prior to building permit to incorporate migration of landfill requirements. All landfill requirements shall comply with the latest version of "Interim Guidelines for Development within City-designated Landfill Buffer Zones".
5. Condition 7  
Outdoor Patio on the east side of Building 'B', has been moved to the west side. This location is more conducive to be utilized by Building 'A' inconjunction. Between the sidewalks on the west side of

Building 'B', more lands ig has been designed.

6. Condition 8- added as GDC 18  
Site lighting shall comply with COA codes, fully shielded, one design type, concrete footing shall match stucco color and 18'-0" high maximum.
7. Condition 9- added as GDC 20  
All crosswalks to be textured with colored concrete or brick paving.

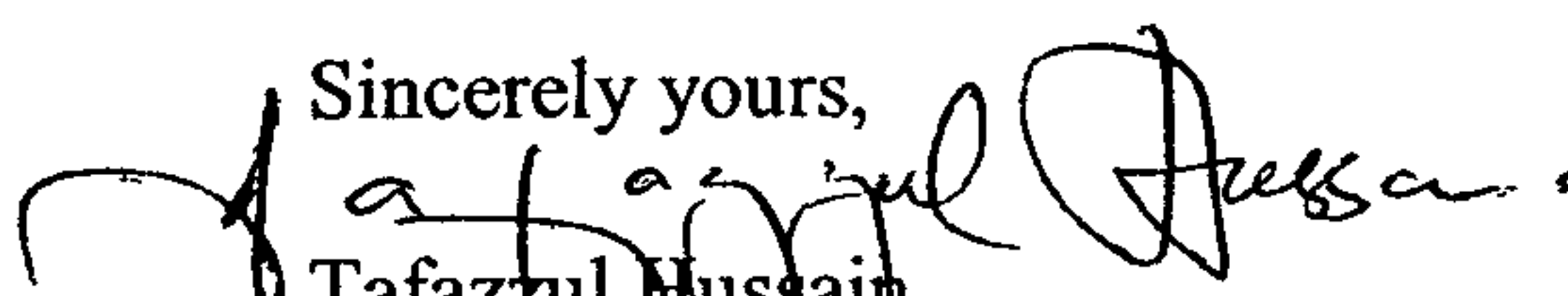
Conditions from City Engineer, Municipal Development, Water Authority and NMDOT, have been met are, as follows:

- b. Developer shall comply with all improvements and requirements concerning site development, such as additional right-of-way, paving, curb and gutter, side walk and ADA accessible ramps, public infrasture within the public right-of-way or public easements to City Standards. Those Standards shall include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. "Future sidewalk by City of Albuquerque", has been corrected to "concrete sidewalk, by owner".
- d. Transportation Development Staff has identified the requirement for Deceleration Lane to be built on Lot 4, 2'-0" south of the north property line. The owner shall grant the City of Albuquerque all rights to have this safety item be constructed.
- e. The Site Plan design links lot 4 with a north-south 28' wide access easement to the east-west 25' wide access easement, south on lot 4 thru lot 6. The north-south 28' wide easement on lot 4 also links to lot 5 with a 24' wide drive aisle. All access drives shall be paved according to the latest City of Albuquerque's Standards. All cross lot drainage goes to the south side of the site.
- f. A direct 24' wide drive access to lot 5 from lot 6 has been eliminated. A 5' deep parking keyway has replaced with condition.
- g. The 36'-6" wide east access thru lot 6, has 25' radii curb and gutter, center lines of easement aligns with the center line of cross over road thru PNM easement from the west bound lane of San Antonio Drive. In addition the owner shall incorporate new ADA ramps and landings at the new curb and gutter, per City of Albuquerque's Standards.
- h. All new and existing access easements shall be paved per Site Plan, City of Albuquerque Standards by owner.
- i. Design of Deceleration Lane and length was determined by TIS, as indicated on Drawing SP-1 and shall be constructed per DPM Standards by the owner.
- j. All Site Plan development shall comply with the design per DPM Standards.

A Sector Development Plan guideline does not govern this project or the site design.

Your favorable consideration and approval of this request shall be greatly appreciated. Thank You for your time.

Sincerely yours,

  
Tafazzul Hussain  
Jim Green

# **Afra Construction & Design**

**2501 Yale Blvd. SE Suite 102**

**Albuquerque, NM 87106**

505-243-9093 Office

505-315-1482 Cell

505-243-1561 Fax

November 20, 2006

Ms. Sharon Matson, DRB, Chairperson, Planning Manager  
City of Albuquerque, Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, NM 87103

Re: Project No. 1002455, Number: 06EPC 01076 / 00458  
Site Development Plan for Subdivision, October 19, 2006

Dear Ms. Matson:

In regard to the project approvals at the Environmental Planning Commission (EPC) hearing, for amendment to a site development plan for subdivision for Lots 2-7, JJ Subdivision, zoned SU-1/C-1, subject to "Conditions of Approval-06EPC 01076, October 19, 2006, we are submitting corrected items for Design Review Board's review meeting on November 23, 2006.

The Conditions for Approval for General Design Criteria (GDC) corrections are, as follows:

1. Condition 3-  
The Environmental Health Department has determined the site is located on the old San Antonio Landfill. As the agent, we are working with Vinyard & Associates for future migration actions and asurety to comply with "Interim Guidelines for Development within City Designated Landfill Buffer Zones". Before development on Lots 2 thru Lot 7, we shall comply with all regulations, requirements and approvals from AEHD.
2. Condition 4-  
Word "Proposed", in the title "Proposed General Design Criteria", has been removed.
3. Condition 5- added to GDC 4  
"Required parking shall be distributed on at least two sides of a building", has been added.
4. Condition 6- added as GDC 2  
"Design of building shall be a compatible style, materials, and colors throughout lots 2-7.
5. Condition 7- added as GDC 11  
Perimeter walls shall comply with Planning Department Guidelines and not exceed 3'-4" high.
6. Condition 8- added as GDC 18  
Site lighting shall comply with COA codes, fully shielded, one design type, concrete footing shall match Stucco color and light fixture not higher than 18'-0" maximum.
7. Condition 9- added as GDC 20  
All crosswalks to be textured with colored concrete or brick paving.

Conditions from City Engineer, Municipal Development, Water Authority and MDOT, have been met are, as follows:

- b. Developer shall comply with all improvements and requirements concerning site development, such as additional right-of-way, paving, curb and gutter, side walk and ADA accessible ramps, public infrastructure within the public right-of-way or public easements to City Standards. Those Standards shall include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. "Future sidewalk by City of Albuquerque", has been corrected to "concrete sidewalk, by owner".
- d. Transportation Development Staff has identified the requirement for a Deceleration Lane to be built on Lot 4, 2'-0" south of the north property line. The owner shall grant the City of Albuquerque all rights to have this safety item be constructed.
- e. The Site Plan design links lot 4 with a north-south 28' wide access easement to the east-west 25' wide access easement, south on lot 4 thru lot 5 to lot 6. The north-south 28' wide easement on lot 4 also links lot 5 with a east 24' wide drive aisle. All access drives shall be paved according to the latest City of Albuquerque's Standards. All cross lot drainage goes to the south side of the site.
- f. A direct 24' wide drive access to lot 5 from lot 6 has been eliminated. A 5' deep parking keyway has replaced with condition.
- g. The 36'-6" wide east access thru lot 6 to lot 5, has 25' radii curb and gutter at San Antonio drive, center lines of easement aligns with the center line of cross over road thru PNM easement from the west bound lane of San Antonio Drive. In addition the owner shall incorporate new ADA ramps and landings at the new curb and gutter at lot 4 and lot 6, per City of Albuquerque's Standards.
- h. All new and existing access easements shall be paved per Site Plan, and with City of Albuquerque Standards by owner.
- i. Design of Deceleration Lane and length were determined by TIS, as indicated on Drawing SP-1 and shall be constructed per DPM Standards by the owner.
- j. All Site Plan development on lot 2 thru lot 7 shall comply with the design per DPM Standards.

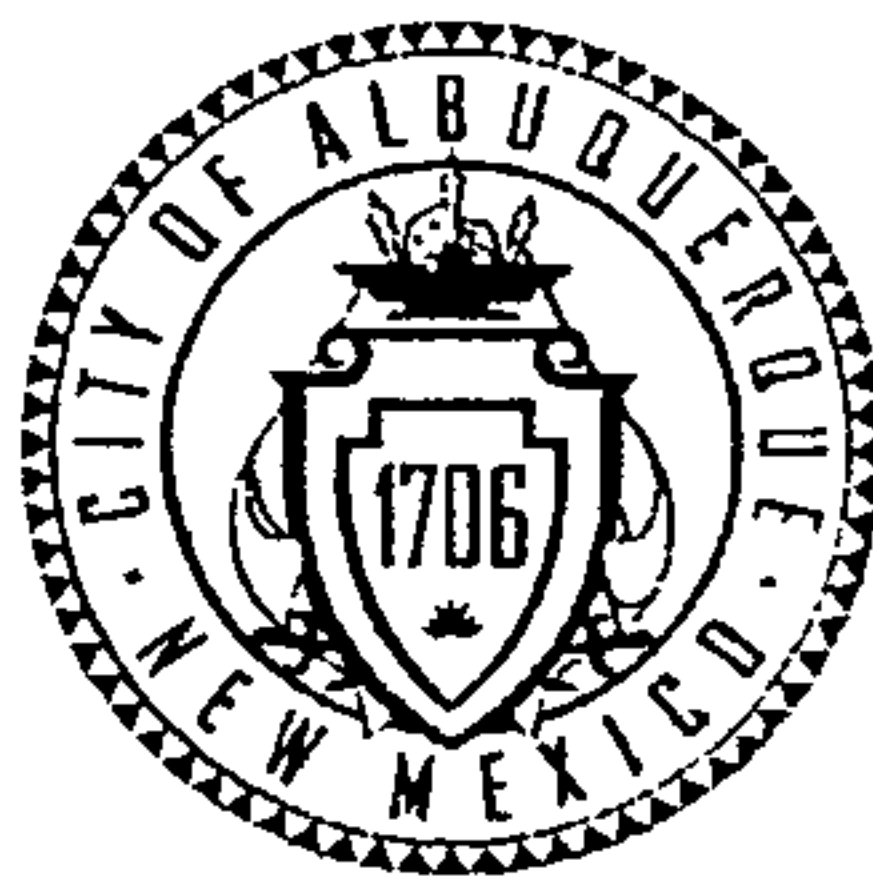
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Sincerely yours,

  
Tafazzul Hussain  
Jim Green





Mr P. Dine, A.D.R.

City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: October 20, 2006

## OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002455**  
06EPC-00458 EPC Site Development Plan-  
Building Permit  
06EPC-01076 EPC Site Development Plan-  
Subdivision

Douglas W. Simms  
2712 Castaneda Dr. NW  
Albuq. NM 87107

LEGAL DESCRIPTION: for all or a portion of  
Lots 2-7, **JJ Subdivision**, zoned SU-1 for C-1  
Uses, located on the south side of SAN  
ANTONIO DR., NE, between I-25 and SAN  
PEDRO DR. NE, containing approximately 2  
acres. (E-18) Carmen Marrone, Staff Planner

On October 19, 2006 the Environmental Planning Commission voted to approve Project 1002455/06EPC 01076, an amendment to a site development plan for subdivision for Lots 2-7, JJ Subdivision, zoned SU-1/C-1, based on the following Findings and subject to the following Conditions:

### FINDINGS:

1. This is a request to amend a site development plan for subdivision for **Lots 2-7, JJ Subdivision**, located on the south side of San Antonio Drive NE between I-25 and San Pedro NE. The site development plan for subdivision was approved by the DRB on October of 2003.
2. This site is located on the old San Antonio Landfill. Development of this site is dependant on the applicant's cooperation with the Environmental Health Department's requirements regarding developing on a landfill site. Environmental Health has submitted a letter concerning this issue and the applicant is required to work with this department to submit mitigation measures if necessary.
3. The request involves several amendments to the approved Site Plan for Subdivision including: **(a)** the removal of several reciprocal access easements straddling the common lot lines of lots 2 through 7; **(b)** the provision of two new 40' wide cross access easements straddling lots 3 and 4 and lots 5 and 6 to be in line with the median cuts on San Antonio Drive, **(c)** the provision of a new 28' wide cross access easement straddling lots 4 and 5; **(d)** the inclusion of a deceleration lane along San Antonio Drive at the request of the City Traffic Engineering Division, **(e)** the modification of the design criterion limiting parking in front of a building to no more than 25% of a site's required parking; **(f)** establishment of wall height limitations; and **(g)** additional lighting requirements.

4. The proposed amendments to the Site Plan for Subdivision will facilitate development of the site in a more reasonable manner by providing improved access to the site. In addition, the proposed amendments will improve the quality of development on the site by providing additional design guidelines that require compatible site elements. (*Comp Plan Policies II.B.5.d and II.B.5.l*)
5. The Rank II *Facility Plan for Arroyos* governs this site. A multi-purpose trail is located south of the site within the Pino Arroyo. The request furthers the design guidelines of the *Facility Plan for Arroyos* by linking the subject site to the arroyo trail (*Parking and Service Areas Policy 3*).
6. Both the *Academy Acres North* and *Albuquerque Meadows* Neighborhood Associations were notified of this project. No comments were received from either association.
7. There is no known opposition to this request.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to an application for final DRB sign-off, the applicant shall meet with the staff planner to ensure that all conditions of approval are satisfactorily met.
3. Development of this site is required to follow the most current version of the Interim Guidelines for Development within City Designated Landfill Buffer Zones. Approval of the Site Development Plan will be required by the Environmental Health Department.
4. Delete the word "Proposed" in the title "Proposed General Design Criteria"
5. The fourth design regulation shall be replaced with the following language: "Required parking shall be distributed on at least two sides of a building."
- ✓ 6. Provide additional design criteria requiring compatible building style, materials and colors throughout lots 2-7.
7. Provide additional design criteria requiring consistent parking lot screening along San Antonio.
8. Lighting regulations shall include language requiring design and height consistency. On-site light poles shall be limited to 18 feet in height.

9. Provide additional design criteria requiring all crosswalks to be textured with colored concrete or brick paving.
10. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
  - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - c. Delete note on site plan that states, "future sidewalk by City of Albuquerque". Sidewalk is the developer's responsibility and will be constructed as required.
  - d. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
  - e. The developer will need to define and provide cross access from the proposed west site drive across lot four to lot five, as shown on the site plan. This is in addition, to the proposed north/south access easements that cross lots four and six linking San Antonio Drive with the existing 25' east/west cross access easement and cross lot drainage easement on the south side of the site.
  - f. Direct access to lot five from lot six via the existing east drive cut, as shown on the site plan, is not permitted. Delete 24' drive aisle on lot six, as shown on the site plan, and provide a five-foot keyway on lot five at property line (end of drive aisle). Access to lot five across lot six will be via the proposed north/south access easement that links San Antonio Drive with the existing 25' east/west cross access easement and cross lot drainage easement on the south side of the site.
  - g. Proposed site drive and existing drive cut to be 36' to 40' wide with 25' to 30' curb return radii.
  - h. North/south access easements across lot four and lot six to be paved/improved. Twenty-five foot east/west access easement, south side of property adjacent to site, to be paved/improved.
  - i. Construction of right turn deceleration lane at proposed west site drive required. Length to be determined per TIS and DPM.
  - j. Site plan shall comply and be designed per DPM Standards.

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On October 19, 2006 the Environmental Planning Commission voted to approve Project 1002455/06EPC 00458, a site development plan for building permit for Lot 5, JJ Subdivision, zoned SU-1/C-1, based on the following Findings and subject to the following Conditions:

44  
44  
44  
44

**FINDINGS:**

1. This is a request for approval of a site development plan for building permit purposes on 1.3706-acre tract identified as **Lot 5, JJ Subdivision**, for the construction of a neighborhood commercial/retail center with a gross building area of +/-14,958 square feet. This development request was deferred at the May 18 and June 15, 2006 public hearings of the Environmental planning Commission at the request of the applicant.
2. The subject site is part of an overall 7-lot site plan for subdivision that received DRB approval in October of 2003. A site plan for building permit to accommodate the construction of a state office building on Lot 1 was approved in conjunction with the site development plan for subdivision (03EPC.00148). The design of this building was not intended to serve as the architectural anchor for the remainder of development within the overall subdivision. This current application constitutes the second development request within the overall subdivision.
3. This site is located on the old San Antonio Landfill. Development of this site is dependant on the applicant's cooperation with the Environmental Health Department's requirements regarding developing on a landfill site. Environmental Health has submitted a letter concerning this issue and the applicant is required to work with this department to submit mitigation measures if necessary.
4. The request furthers several Established Urban goals and policies of the *Comprehensive Plan*:
  - a. The site plan review process plays a crucial role in maintaining area values, ensuring a safe, visually amenable, and integral development and provides the opportunity for affected property owners to participate and offer input relative to the proposed development of the property (*Policies d, k, l and m*).
  - b. The project site is contiguous to existing municipal services, and the applicant will be responsible for any necessary public improvements and utility extensions (*Policies e, and p*).
  - c. The proposed development is located in an existing commercially zoned area and will provide a reasonable level of goods, services and employment that will not have an adverse effect on residential environments (*Policies i and j*).
5. The request furthers Comprehensive Plan Transportation/Transit *Policies II.D.4.g and II.D.4.h* because the applicant will be responsible for the development of any necessary bicycle lanes and connections to existing multi-purpose public trails in order to provide both connectivity between non-residential and residential uses and alternative mobility.
6. The Rank II *Facility Plan for Arroyos* governs this site. A multi-purpose trail is located south of the site within the Pino Arroyo. The request furthers the design guidelines of the *Facility Plan for Arroyos* by orienting windows and entrances to the arroyo trail and by linking the subject site to the arroyo trail (*Orientation Policy 1.b and Parking and Service Areas Policy 3*).

7. Both the *Academy Acres North* and *Albuquerque Meadows* Neighborhood Associations were notified of this project. No comments were received from either association.
8. There is no known opposition to this request.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to an application for final DRB sign-off, the applicant shall meet with the staff planner to ensure that all conditions of approval are satisfactorily met.
3. Label Sheet SP.1 "Site Development Plan for Building Permit".
4. Provide details on sign illumination.
5. Landscaping:
  - a. The final landscape plan shall also include heavier emphasis upon native re-vegetation that will attain a minimum 80% ground coverage by living materials and rely less upon Santa Fe brown gravel ground coverage.
  - b. Walkways shall remain clear of vegetation. Some vegetation will need to be removed from the walkways connecting to the Pino Arroyo trail.
  - c. Honey Locust shall be the shade master of variety.
  - d. Use Hall Honeysuckle on the east side and an upright variety of Rosemary such as Tucson Blue.
6. The applicant shall adhere to the most current version of the *Interim Guidelines for Development within City-designated Landfill Buffer Zones*. A review and approval of the site plan, proposed construction, design drawings and a certification of construction will be required by the City's Environmental Health Department, Environmental Services Division.
7. Relocate the outdoor patio on the east side of Building B to the southwest corner of Building B and move Building B further east on the site. Provide additional landscaping on the east side of Building B.

8. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - c. Delete note on site plan that states, "future sidewalk by City of Albuquerque". Sidewalk is the developer's responsibility and will be constructed as required.
  - d. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
  - e. The developer will need to define and provide cross access from the proposed west site drive across lot four to lot five, as shown on the site plan. This is in addition, to the proposed north/south access easements that cross lots four and six linking San Antonio Drive with the existing 25' east/west cross access easement and cross lot drainage easement on the south side of the site.
  - f. Direct access to lot five from lot six via the existing east drive cut, as shown on the site plan, is not permitted. Delete 24' drive aisle on lot six, as shown on the site plan, and provide a five-foot keyway on lot five at property line (end of drive aisle). Access to lot five across lot six will be via the proposed north/south access easement that links San Antonio Drive with the existing 25' east/west cross access easement and cross lot drainage easement on the south side of the site.
  - g. Proposed site drive and existing drive cut to be 36' to 40' wide with 25' to 30' curb return radii.
  - h. North/south access easements across lot four and lot six to be paved/improved. Twenty-five foot east/west access easement, south side of property adjacent to site, to be paved/improved.
  - i. Construction of right turn deceleration lane at proposed west site drive required. Length to be determined per TIS and DPM.
  - j. Site plan shall comply and be designed per DPM Standards.

**IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 3, 2006 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.**


OFFICIAL NOTICE OF DECISION  
OCTOBER 19, 2006  
PROJECT #1002455  
PAGE 7 OF 7

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

*for*   
Richard Dineen, \_\_\_\_\_  
Planning Director

RD/CM/ac

cc: Tafazzul Hussain, 2501 Yale Blvd. SE, Ste 102, Albuquerque, NM 87106  
Irene Minke, Academy Acres NA, 6504 Dungan, NE, Albuquerque, NM 87109  
Jody Lynch, Academy Acres NA, PO Box 94387, Albuquerque, NM 87199  
Dick Schlaefer, Albuquerque Meadows NA, 7112-148 Pan American Frwy, NE, Albuquerque, NM 87109  
Douglas Berry, Albuquerque Meadows NA, 7112-102 Pan American Frwy, NE, Albuquerque, NM 87109

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME

Douglas Summs

AGENT

Sofayzul Hussain

ADDRESS

PROJECT & APP #

1002455 / 06DRB01648

PROJECT NAME

06DRB01649

\$ 20.00 441032/3424000 Conflict Management Fee

\$ \_\_\_\_\_ 441006/4983000 DRB Actions

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ \_\_\_\_\_ 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque  
Treasury Division

11/21/2006 11:04AM LGT ANI  
X  
RECEIPT# 00067500 USH 008 TRANSH 0012  
Account 441032 Fund 0110  
Activity 3424000 TRF: J  
Trans Snt \$20.00  
J24 Misc \$20.00  
CK \$20.00  
CHANGE \$0.00

Thank You



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action / *SIA Extension*
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: J Group PHONE: 505-883-4004  
 ADDRESS: 7508 Northridge AVE NE FAX: \_\_\_\_\_  
 CITY: Alb STATE NM ZIP 87109 E-MAIL: timott@nmia.com  
 Proprietary interest in site: Respos. Party List all owners: \_\_\_\_\_  
 AGENT (if any): T. Ott PHONE: 250-4675  
 ADDRESS: 5620 Venice NE Suite 5 FAX: 268-9742  
 CITY: Alb STATE NM ZIP 87113 E-MAIL: timott@nmia.com

DESCRIPTION OF REQUEST: Extension of previously approved SIA

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lots 1 thru 7 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. 55 Subdivision  
 Current Zoning: SU-C-1 Proposed zoning: Same  
 Zone Atlas page(s): E-18 No. of existing lots: 7 No. of proposed lots: 7  
 Total area of site (acres): 9.8 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? Yes  
 UPC No. 101806 21505 2720140 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: San Antonio DR NE  
 Between: I-25 NE and San Pedro DR NE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.):  
DRB # 1002455 / 03 DRB -1899 / DRB 96-452

Check-off if project was previously reviewed by Sketch Plat/Plan ?  or Pre-application Review Team ?  Date of review: \_\_\_\_\_

SIGNATURE Joseph Cotruzzola DATE May 2, 2006  
 (Print) Joseph Cotruzzola  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06DRB-00610</u>	<u>SIA</u>	<u>5(2)</u>	<u>\$ 50.00</u>
_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>05/31/06</u>			Total <u>\$ 145.00</u>

Sandy Sandley 05/03/06 Project # 1002455

**FORM S(2): SUBDIVISION - [ 3. PUBLIC HEARING**

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL**

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
  - Proposed Infrastructure List
  - Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Property owner's and City Surveyor's signature on the proposed plat
  - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Signed** Pre-Annexation Agreement if Annexation required.
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.  
DRB Public hearings are approximately **ONE MONTH** after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
  - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.  
DRB Public hearings are approximately **ONE MONTH** after the filing deadline. **Your attendance is required.**

**MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT**  
**(Temporary sidewalk deferral uses FORM-V)**

- 1 copy of each of the following items
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Plat or plan reduced to 8.5" x 11"
  - Official D.R.B. Notice of the original approval
  - Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
  - Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Any original and/or related file numbers are listed on the cover application
  - Fee (see schedule)
- SEE*

DRB Public hearings are approximately **ONE MONTH** after the filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

*Joseph Cotruzzola*  
\_\_\_\_\_  
Applicant name (print)

*Joseph Cotruzzola*  
\_\_\_\_\_  
Applicant signature / date



Form revised 11/04 and JUNE 05

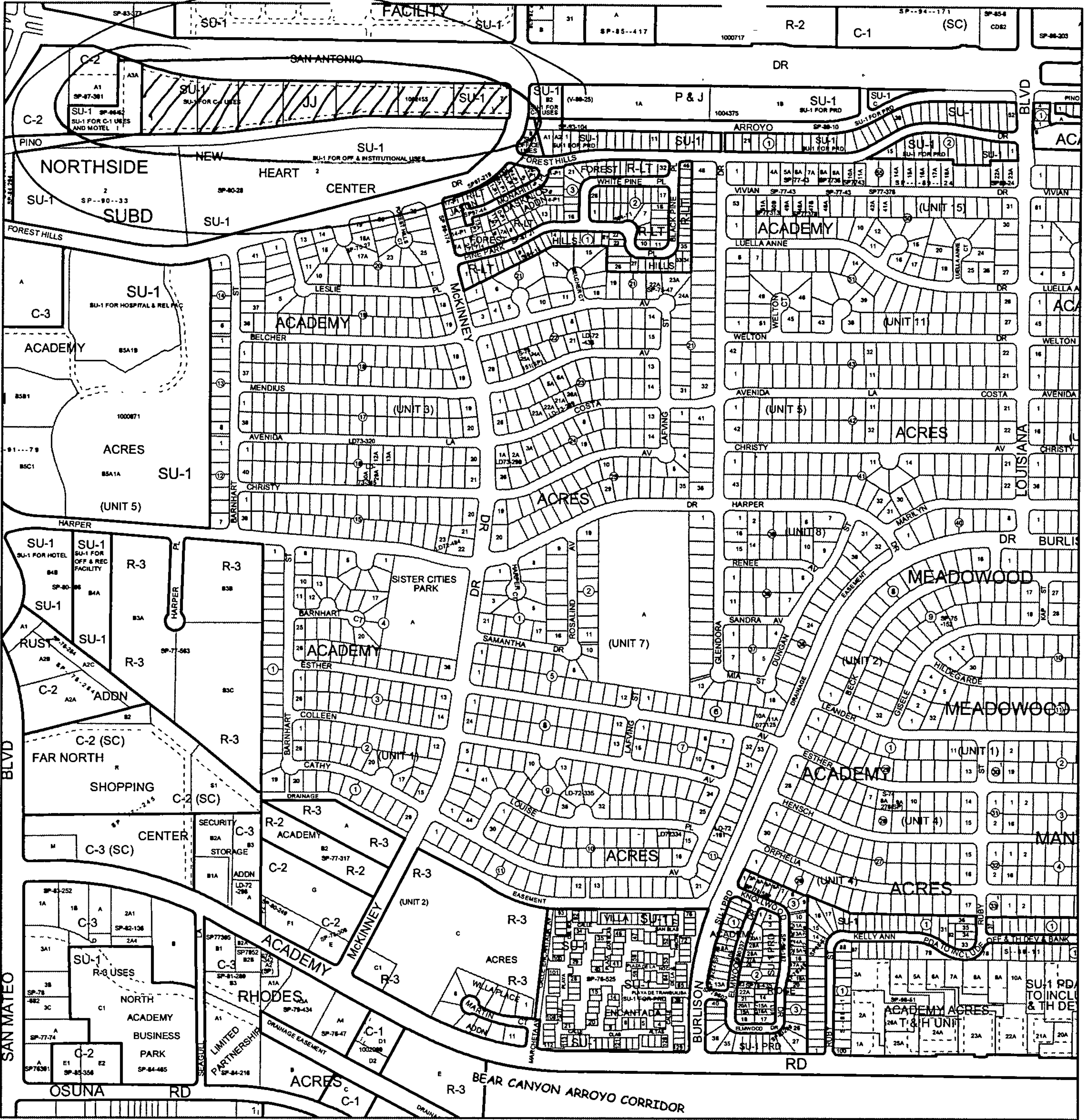
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
*06DRB - - 00610*  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Sandy Handley 05/03/06*  
\_\_\_\_\_  
Planner signature / date

**Project # 1002455**

# SITE



For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**E-18-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Map amended through: 11/2/2005

Tim Ott  
5620 Venice N.E. Suite G  
Albuquerque, NM 87113

May 2, 2006

I am asking for an extension of the Subdivision Improvements Agreement (SIA) for lots 1-7 of the JJ Subdivision. This SIA was previously approved under DRB case no. 1002455. These improvements are for water and sewer lines and an arroyo rundown inlet on the south side of San Antonio between San Pedro and the I-25 intersection. These improvements should be completed by August 2006. The current SIA expires prior to that date so an extension is being requested.

The SIA extension would extend the SIA expiration date to January 12, 2007.

If you have any questions you may contact Tim Ott at 250-4675.

Thank you for your consideration in this matter.



Timothy M. Ott  
Agent for the J Group



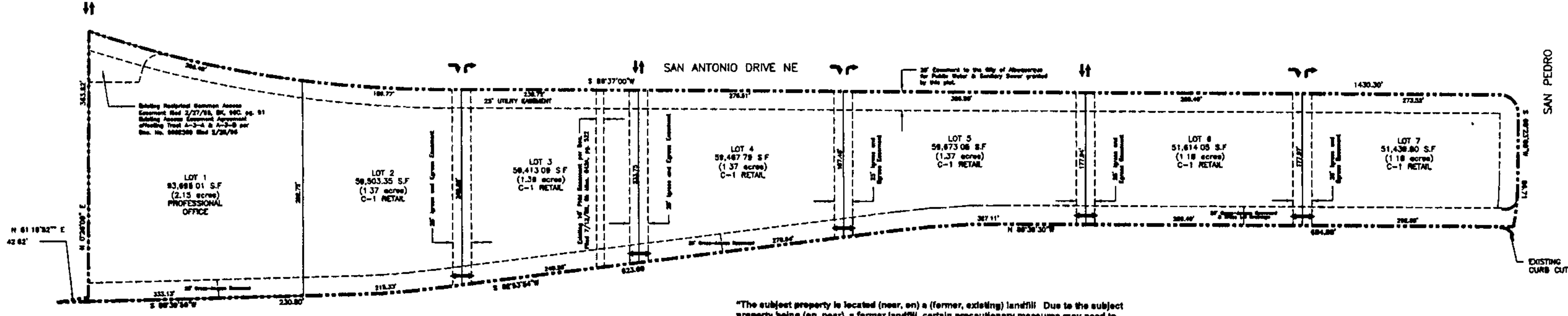
DATE: 30 September 2003  
 REVIEWER:

SHEET NO. SITE PLAN FOR SUBDIVISION  
 Checked by: L.M.L.  
 Drawn by: R.A.L.

TIM OTT / DEVELOPER  
 PO BOX 35981  
 ALBUQUERQUE, N.M. 87176  
 (505) 250-4675

Project Name: J GROUP SUBDIVISION  
 ALBUQUERQUE, NEW MEXICO

SHEET NO. SP



"The subject property is located (near, on) a former, existing landfill. Due to the subject property being (on, near), a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfill and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 Feet of Landfill") shall be consulted prior to development of the site."

**LEGAL DESCRIPTION**

LOTS 1 THRU 7  
 JJ SUBDIVISION  
 BEING A REPLAT OF TRACT A-3-B,  
 J GROUP ADDITION, TRACT 1,  
 NEW HEART CENTER & TRACT 1,  
 NORTHSIDE SUBDIVISION  
 WITHIN PROJECTED SECTION 25  
 TOWNSHIP 11 NORTH, RANGE 3 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY  
 NEW MEXICO

**NOTES: LOTS 1 thru 7**

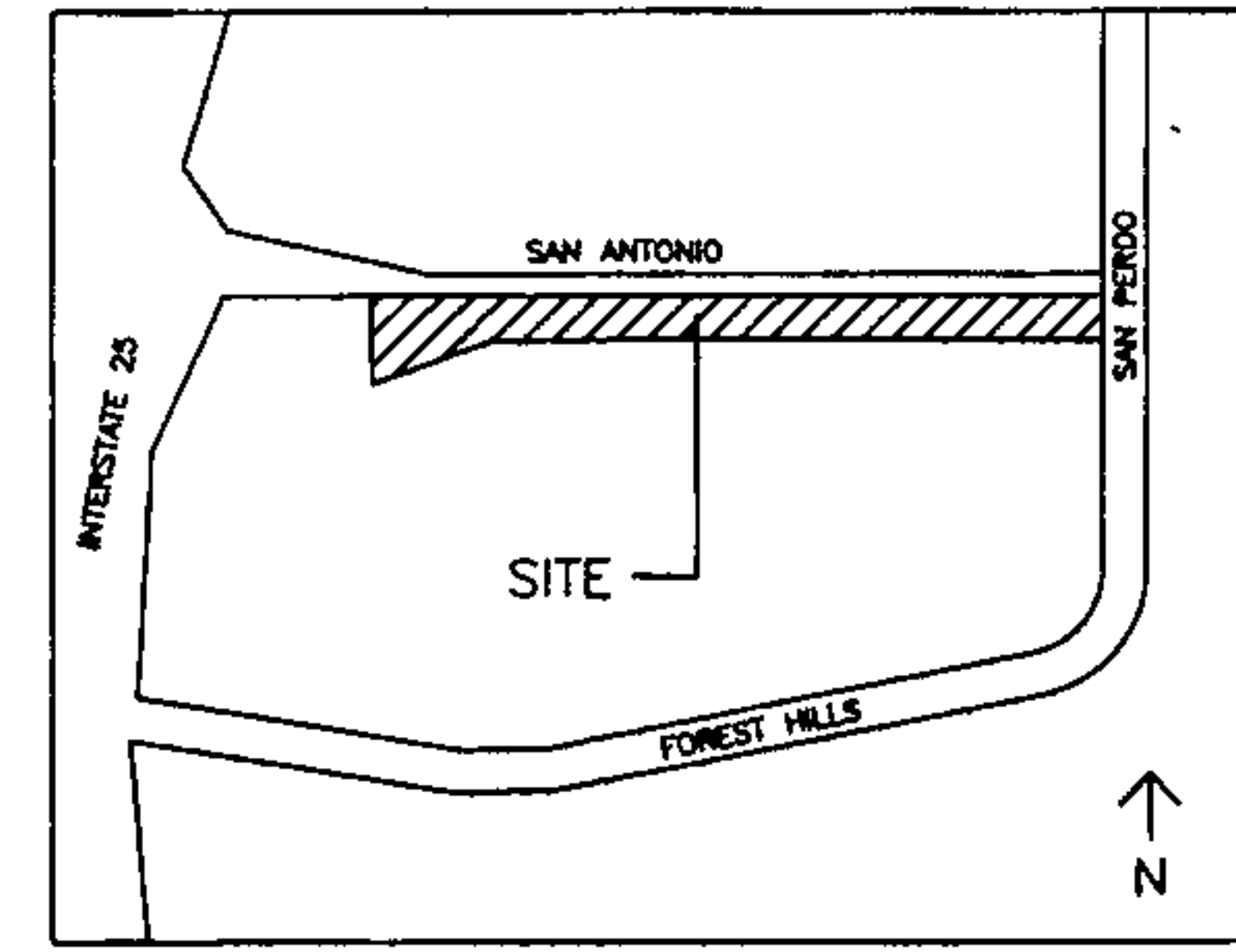
BUILDING HEIGHT NOT TO EXCEED 26 FT.  
 MAXIMUM FLOOR-AREA RATIO: 20.0%  
 BUILDING MINIMUM SETBACKS:  
 FRONT: 25.0 FT  
 SIDE: 5.0 FT  
 REAR: 5.0 FT

**TRAFFIC FLOW NOTES**

- ↔ - TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- ↘ - RIGHT TURN ONLY INTO LOT
- ↗ - RIGHT TURN ONLY OUT OF LOT
- ↔ - TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW

**PROPOSED GENERAL DESIGN CRITERIA:**

- ALL STRUCTURES ON LOTS WILL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
- EXTERIOR APPEARANCE OF STRUCTURES WILL BE AS DEPICTED ON SHEET.
- PARKING WILL NOT EXCEED THE REQUIRED PLUS 10%
- NO MORE THAN 25% OF THE REQUIRED PARKING WILL BE LOCATED IN FRONT OF THE BUILDING BETWEEN THE BUILDING AND THE STREET
- ADA-COMPLIANT PARKING WILL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY.
- ALL SIDEWALKS WILL HAVE A MINIMUM OF 6 FEET CLEAN TRAVEL AREA PROTECTED BY PERMANENT CAR STOPS.
- FRONT ENTRY SIDEWALK AREAS WILL BE COVERED OR SHADED BY TREES.
- ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS.
- PATIO AREAS FOR EMPLOYEES WILL BE PROVIDED AND SHADED
- BICYCLE RACKS WILL BE PROVIDED PER COA CODE.
- ALL LANDSCAPING WILL BE PER COA CODE. NO GREATER THAN 20% OF LANDSCAPED AREA WILL BE HIGH WATER USE AND ALL APPLICABLE WATER CONSERVATION MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION WILL BE ADHERED TO.
- PERIMETER WALLS WILL COMPLY WITH PLANNING DEPARTMENT GUIDELINES AT TIME OF BUILDING PERMIT APPLICATION.
- ALL ROOFTOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS WILL MATCH STRUCTURE OR ROOF COLOR.
- FRONT FACADES WILL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THE ENTIRE FRONT FACADE OF THE STRUCTURE.
- LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
- ALL REFUSE ENCLOSURES WILL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS
- BUILDING FRONTS WILL BE NO CLOSER THAN 12 FEET FROM THE FACE OF CURB TO THE STRUCTURE.
- MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN WILL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
- BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
- SITE AND BUILDING LIGHTING WILL COMPLY WITH COA CODES AND REGULATIONS. IN NO INSTANCE SHALL LIGHT ESCAPE BEYOND THE PROPERTY LINE.



VICINITY MAP

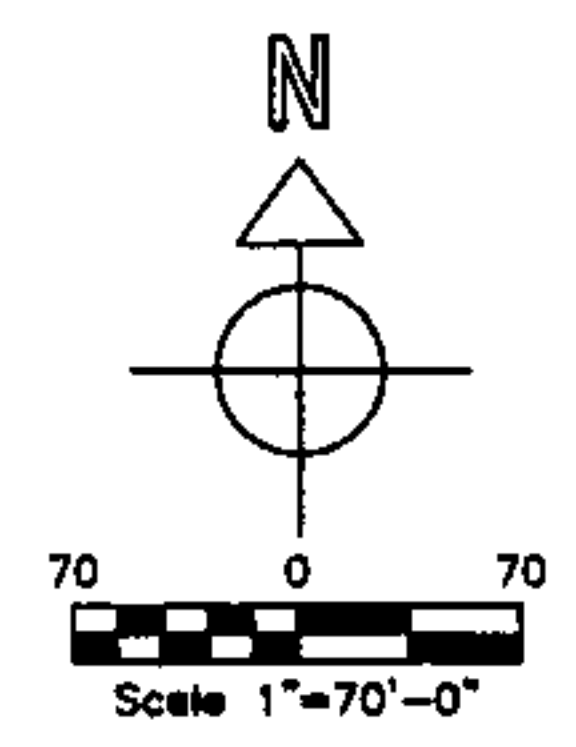
PROJECT NUMBER: 1002455

Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), date March 21, 2003 and the Findings and Conditions in the Official Notification of Decision are satisfied.

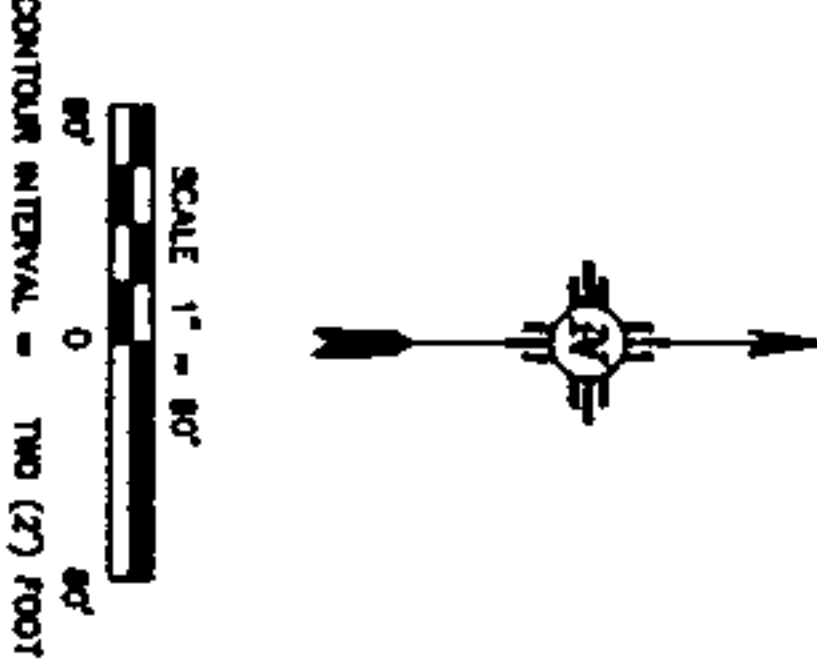
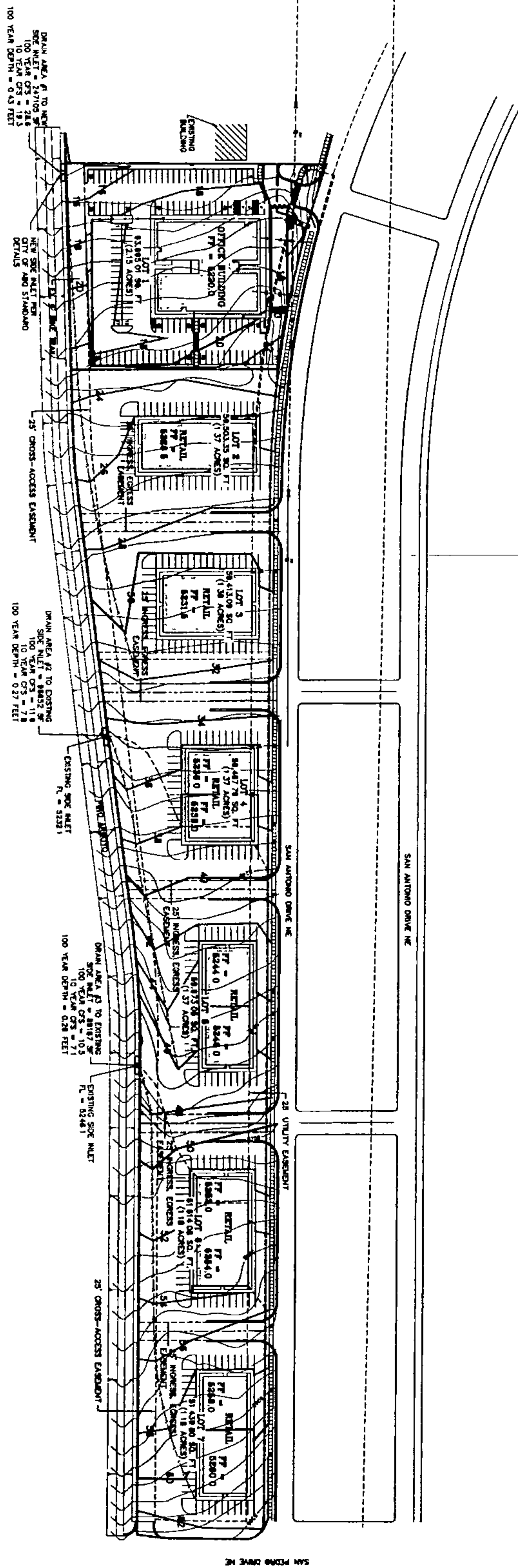
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

<i>[Signature]</i> Traffic Engineering, Transportation Division	10-29-03 Date
<i>[Signature]</i> Utilities Development	10-29-03 Date
<i>[Signature]</i> Parks and Recreation Department	10/29/03 Date
<i>[Signature]</i> City Engineer	10-29-03 Date
<i>[Signature]</i> Environmental Health Department	05-29-03 Date
<i>[Signature]</i> Solid Waste Management	10/29/03 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	10/29/03 Date



**SITE PLAN FOR SUBDIVISION**

Scale 1"=70'-0"



CITY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
WASTEWATER MON'T DIV		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		
FIRE DEPARTMENT		
CITY USE ONLY		

PROJECT: **TRACT A-3-B**  
**STATE OFFICE BUILDING**  
 SHEET TITLE: **MASTER GRADING PLAN**

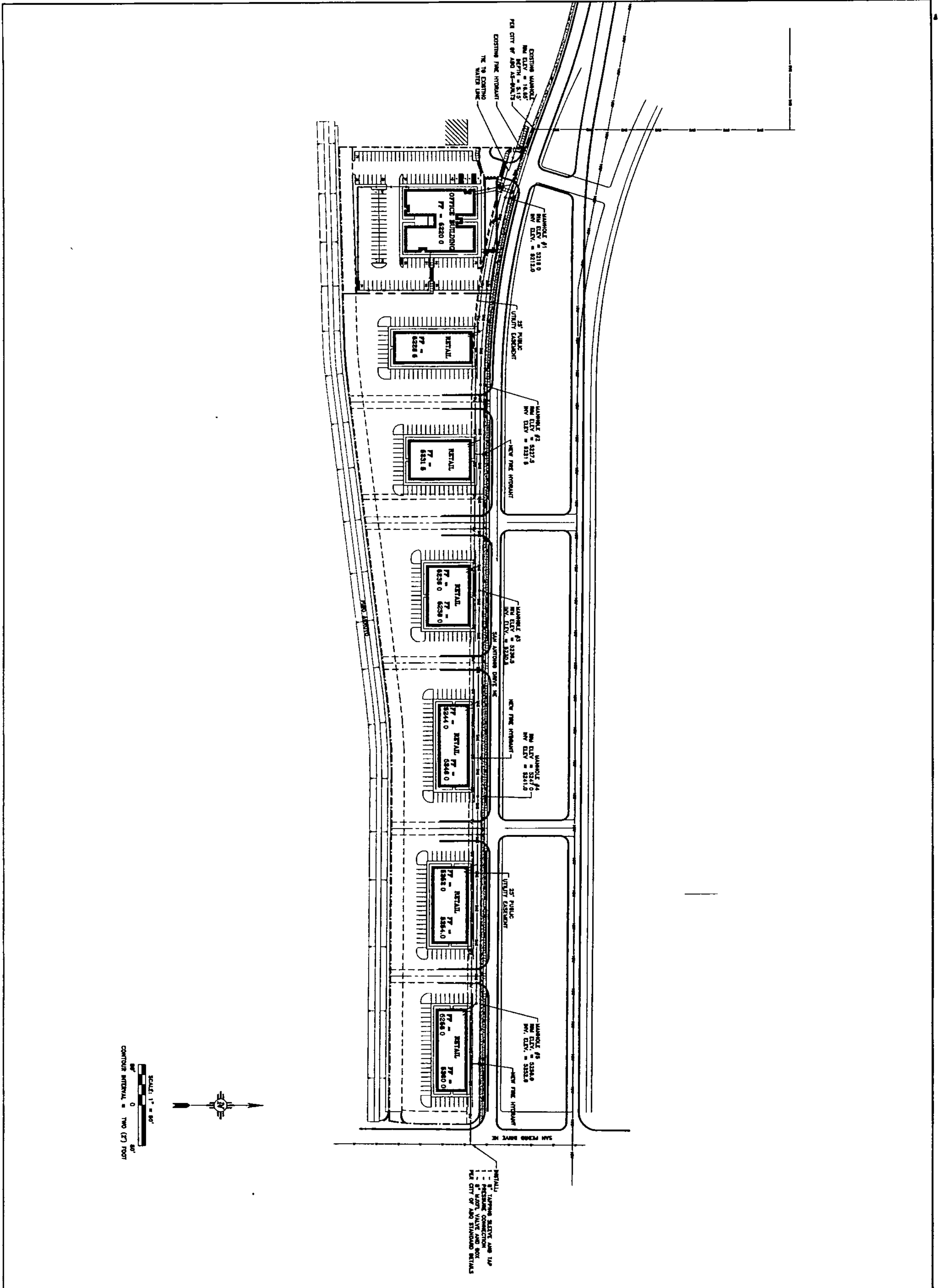


No.	REVISION	BY	APP	DATE

PROJECT: 02-224  
 FILE: 02-224 MASTER  
 DATE: 7/1/03  
 SCALE: AS NOTED

Civil Engineering • Water Resources • Traffic Engineering  
**W. E. Walker Engineering**  
 906 Camino Marra Vista, Santa Fe, NM 87501  
 505-820-7990  
 FAX 505-820-3639  
 E-MAIL: civil@walkerengineering.net

C-1



CITY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
WASTEWATER MON'T DIV		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		
FIRE DEPARTMENT		
CITY USE ONLY		

PROJECT: **TRACT A-3-B  
STATE OFFICE BUILDING**

SHEET TITLE: **MASTER UTILITY  
PLAN**

No.	REVISION	BY	APP.	DATE

PROJECT: 02-224 DESIGNED BY: A.E.R.  
 FILE: 02-224 UTILITY DRAWN BY: C.D.A.  
 DATE: 6/9/03 CHECKED BY: M.E.V.  
 SCALE: AS NOTED

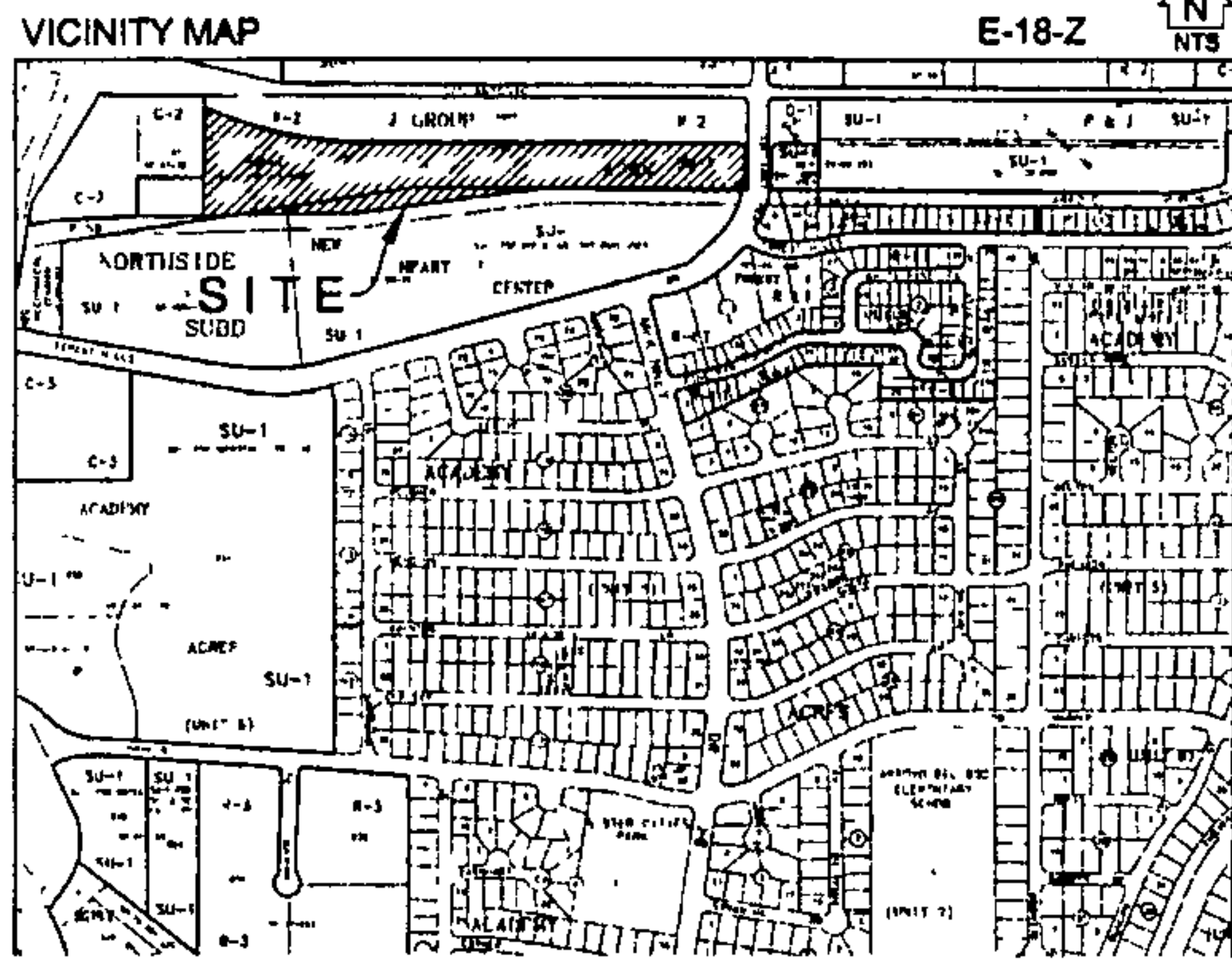
Civil Engineering • Water Resources • Traffic Engineering

**W. E. Walker Engineering**

906 Camino Sierra Vista, • Santa Fe, NM 87501

806-860-7890  
 FAX 806-830-2638  
 E-MAIL: civil@walkerengineering.net

C-2



- NOTES**
- The purpose of this plat is to create seven (7) commercial lots from three (3) existing tracts
  - Bearings shown hereon are New Mexico State Plane Grid bearings, Central Zone (NAD 1927). All distances shown are ground.
  - Gross acreage = 10.0445 acres  
Existing tracts... 3  
Proposed tracts... 7
  - Unless otherwise indicated, all property corners are monumented by a found rebar with cap stamped "LS 4071". Corners established by this plat are No. 5 rebar with cap stamped "NMRLS 7923".
  - City of Albuquerque water and sewer service is currently available to this property. Where applicable, availability should be coordinated with the Public Works Department.
  - This survey shows any easements apparent on the ground, as indicated by the plat of record, those disclosed by owners and those disclosed in a Title Binder prepared for this property by Fidelity National Title Co. (02-3007464-B-MD) dated 12/2/2002. No Title Search was performed by the surveyor.
  - Any underground structures not shown are not a part of this survey.
  - There are no new rights of way created by this plat.
  - Matters of zoning, property covenants and restrictions are not a part of this survey.
  - Talos Log No. 2003380827.
  - See Master Landfill Gas Evaluation and Abatement System Plan note on sheet 2 regarding gas monitoring well(s).
  - The twenty-five (25) foot ingress and egress easements as shown hereon are granted for the collective benefit of all owners of Lots 1 thru 7. Individual lot owner(s) are responsible for the maintenance of the portion of said easement lying within said owner(s) individual lot(s).

13) Current zoning is SU-1 for C-1

**UTILITY APPROVALS**

Leah D. Mart 5-10-04  
PNM Electric Services Date

Leah D. Mart 5-10-04  
PNM Gas Services Date

Daniel E. Muller 5-13-04  
QWEST Date

Rita Enriquez 5/16/04  
Comcast Date

**PUBLIC UTILITY EASEMENTS**

Public Utility Easements shown on this plat are for the use and joint use of:

The PNM Electric Services for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.

The PNM Gas Services for the installation, maintenance and service of natural gas lines, valves and other equipment and related facilities reasonably necessary to provide natural gas.

Consent for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities necessary to provide communication services, including, but not limited to, above ground pedestals and structures.

Consent for the installation, maintenance and service of such lines, cables and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included is the right to build, rebuild, reconstruct, locate, relocate, change, remove, modify, repair, operate and maintain facilities for the purposes described above, together with free access to, from and over said easements including sufficient working areas necessary for the right and privilege to line and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, post, advertisement or obstruction, not in, upon or over said easement or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for carrying any violations of National Electrical Safety Code caused by construction or maintenance of any structures adjacent to, within or near easements shown on this plat.

**PNM DISCLAIMER**

By approving this document, PNM does NOT waive or release any easements or easement rights which may have been granted by prior plat, report or document, except those indicated on this plat.

**LEGAL DESCRIPTION**

A certain tract of land situate within Projected Section 25, Township 11 North, Range 3 East, N.M.P.M., in the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract A-3-B, J GROUP ADDITION, filed in the Office of the Bernalillo County Clerk on 2/27/1996 in Plat Book 96C, Page 91, Tract 1, NEW HEART CENTER, filed in the Office of the Bernalillo County Clerk on 11/1/1991 in Plat Book 91C, Page 245, and Tract 1, NORTHSIDE SUBDIVISION, filed in the Office of the Bernalillo County Clerk on 3/14/1990 in Plat Book 90C, Page 72 and being more particularly described as follows

BEGINNING at the Northwest corner of the Tract herein described, being the northwest corner of said Tract A-3-B, from whence the NMSHC Brass Cap monument "STA 1-25-14" bears N 18° 06' 06" W, a distance of 1446.60 feet; Thence, from said point of beginning,

Easterly, 485.25 feet along the arc of a curve bearing to the left having a radius of 1462.00 feet, a central angle of 19° 03' 22" and a chord which bears S 80° 05' 18" E, a distance of 484.01 feet along the southerly line of San Antonio Drive, N.E. to a point of tangency; Thence, S 89° 37' 00" E, a distance of 1430.30 feet along said southerly line of San Antonio Drive N.E. to a point of curvature; Thence,

Southeasterly, a distance of 39.27 feet along the arc of a curve bearing to the right having a radius of 25.00 feet, a central angle of 90° 00' 00" and a chord which bears S 44° 37' 00" E, a distance of 35.38 feet to a point of tangency on the westerly line of San Pedro Drive, N.E., Thence,

S 00° 23' 00" W, a distance of 86.71 feet along said westerly line of San Pedro Drive, N.E., to a point of curvature; Thence,

Southwesterly, a distance of 66.96 feet along the arc of a curve bearing to the right having a radius of 398.90 feet, a central angle of 09° 37' 04" and a chord which bears S 05° 11' 32" W, a distance of 66.87 feet to a non-tangent point on the north line of the right-of-way line for the Pino Arroyo; Thence,

N 89° 36' 30" W, a distance of 684.88 feet along said north line of the Pino Arroyo to a point of curvature; Thence,

Westerly, a distance of 61.23 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 1537.50 feet, a central angle of 01° 54' 33" and a chord which bears S 89° 28' 13" W, a distance of 61.23 feet to a point of compound curvature; Thence,

Westerly, a distance of 60.51 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 787.50 feet, a central angle of 03° 40' 29" and a chord which bears S 86° 38' 41" W, a distance of 50.50 feet to a point of compound curvature; Thence,

Westerly, a distance of 51.23 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 1537.50 feet, a central angle of 01° 54' 33" and a chord which bears S 83° 51' 10" W, a distance of 51.23 feet to a point of tangency; Thence,

S 82° 53' 54" W, a distance of 623.00 feet along said north line of the Pino Arroyo to a point of curvature; Thence,

Westerly, a distance of 39.00 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 1462.50 feet, a central angle of 01° 31' 40" and a chord which bears S 83° 38' 44" W, a distance of 39.00 feet to a point of compound curvature; Thence,

Westerly, a distance of 33.78 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 712.50 feet, a central angle of 02° 42' 54" and a chord which bears S 85° 47' 01" W, a distance of 33.78 feet to a point of compound curvature; Thence,

Westerly, a distance of 39.00 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 1462.50 feet, a central angle of 01° 31' 40" and a chord which bears S 87° 54' 18" W, a distance of 39.00 feet to a point of tangency; Thence,

S 88° 40' 08" W, a distance of 172.38 feet along said north line of the Pino Arroyo to an angle point; Thence,

S 88° 39' 59" W, a distance of 230.80 feet along said north line of the Pino Arroyo to the southwest corner of the tract herein described; Thence,

N 81° 19' 52" E, a distance of 42.62 feet along said north line of said Tract 1, Northside Subdivision, to a point on the westerly line of said Tract A-3-B; Thence,

N 00° 28' 00" E, a distance of 363.82 feet along said westerly line of Tract A-3-B to the northwest corner and point of beginning of the tract herein described and containing 10.0445 acres, more or less.

**TREASURER'S CERTIFICATION**

101906207946620119  
This is to certify that taxes are current & paid on UPC # 101906215052720140, 101906213446620110  
Property owners of record The J Group, a New Mexico Partnership & COTRUZZOLA, JOSEPH P.  
Bernalillo County Treasurer's Office. *Mark Long* 2/11/04

**FREE CONSENT**

The land described hereon, identified as LOTS 1 THRU 7, JJ SUBDIVISION is platted with the free consent and in accordance with the wishes and desires of the undersigned owner(s). Said owner(s) do hereby represent that they are so authorized to act.

*Joseph P. Cotruzzola* 11/04/03  
The J Group, a New Mexico Partnership  
Joseph P. Cotruzzola, a partner

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF Bernalillo

This instrument was acknowledged before me by Joseph P. Cotruzzola, partner for the J Group, a New Mexico Partnership, this 4th day of November, 2003.

By *Joseph P. Cotruzzola* My Commission expires: 10-17-06  
Notary Public

**INDEXING INFORMATION FOR COUNTY CLERK**

OWNERS The J Group, a New Mexico Partnership  
LOCATION PROJECTED SECTION 25 TOWNSHIP 11 NORTH RANGE 3 EAST  
NAME LOTS 1 THRU 7 JJ SUBDIVISION

PLAT OF  
**LOTS 1 THRU 7  
JJ SUBDIVISION**

BEING A REPLAT OF TRACT A-3-B, J GROUP ADDITION,  
TRACT 1, NEW HEART CENTER & TRACT 1, NORTHSIDE SUBDIVISION

WITHIN PROJECTED SECTION 25  
TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY  
NEW MEXICO

NOVEMBER 2003  
SHEET 1 OF 2

**DISCLOSURE STATEMENT**

The purpose of this plat is to create seven (7) lots from three (3) existing tracts



030RB-01899  
DRB NO. 1002455

**CITY APPROVALS**

*Sheron Matton* 5/19/04  
DRB Chairperson, Planning Department Date

*Joe Tish* 11-04-2003  
City Surveyor Date

N/A  
Real Property Division Date

*Theresa...* May 19, 2004  
Environmental Health Department Date

*...* 5-19-04  
Traffic Engineer, Transportation Division Date

*Rosa A. Huan* 5/20/04  
Utilities Development Date

*Christina Sandoval* 5/19/04  
Parks and Recreation Department Date

*Bradley L. Byles* 5/20/04  
A.M.A.F.C.A. Date

*Bradley L. Byles* 5/20/04  
City Engineer Date

**SURVEYOR'S CERTIFICATION**

I, Christopher J. Dehler, New Mexico Registered Land Surveyor No. 7923 hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey, shows all easements of record made known to me by the owners, utility companies and Fidelity National Title Co. (02-3007464-B-MD), meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and the Minimum Standards for Land Surveys in New Mexico and is true and correct to the best of my knowledge and belief.

*Christopher J. Dehler* 11/03/03  
Christopher J. Dehler  
N.M.R.L.S. No. 7923 Date

Job No. 1001403  
Christopher J. Dehler, PLS  
274 Menendez Road • Corrales, NM • 87048 • 488-1081



MASTER LANDFILL GAS EVALUATION AND ABATEMENT SYSTEM PLAN NOTE

"The subject property is located (near, on) a (former, existing) landfill. Due to the subject property being (on, near), a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 Feet of Landfills") shall be consulted prior to development of the site."

As a condition to this Subdivision Plat approval by the City, owner, its successors and assigns covenants and agrees to install a landfill gas monitoring well(s) and extraction system on the property, pursuant to that certain Master Landfill Gas Evaluation and Abatement System Plan for the proposed Subdivision at I-25 and San Antonio Boulevard. Lots A-3-B1 thru 7 (now known as Lots 1 thru 7, JJ Subdivision, Albuquerque, New Mexico, dated July 18, 2003 prepared by Lawrence Earth Engineering, Larry M. Coons, P.E. (the "Master Landfill Gas Evaluation and Abatement System Plan") and incorporated herein by reference. The landfill gas monitoring well (s) and extraction system shall be installed on a lot by lot basis as defined in the Master Landfill Gas Extraction and Abatement System Plan for any individual lot at the time of and as a condition to Site Development Plat approval, Design Review approval by the City's Design Review Committee or building permit approval, whichever occurs sooner.

The obligation of the owner, its successors and assigns of an individual lot to install landfill gas monitoring well (s) and extraction system shall include the obligation to monitor well(s) on a periodic basis as approved by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan on file at the City's Environmental Health Department and incorporated herein by reference and initiating the start up, operation and maintenance of the extraction system, as required by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan.

This paragraph shall in its entirety constitute a covenant running with the title to each individual lot of the property as shown on this Plat shall be binding on the owner, its successors and assigns of each individual lot for the benefit of the City until terminated.

(Above language by Assistant City Attorney, City of Albuquerque)

PLAT OF

LOTS 1 THRU 7  
JJ SUBDIVISION

BEING A REPLAT OF TRACT A-3-B, J GROUP ADDITION,  
TRACT 1, NEW HEART CENTER & TRACT 1, NORTHSIDE SUBDIVISION

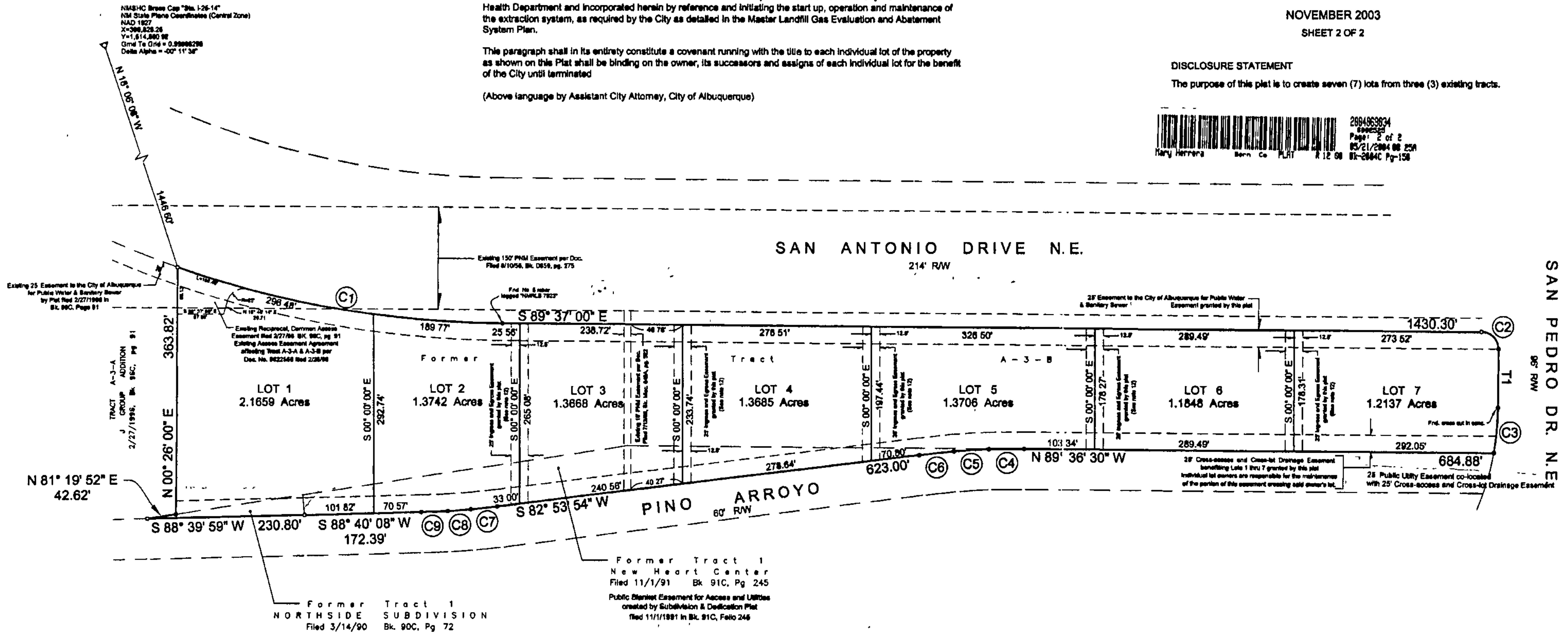
WITHIN PROJECTED SECTION 25  
TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY  
NEW MEXICO

NOVEMBER 2003  
SHEET 2 OF 2

DISCLOSURE STATEMENT

The purpose of this plat is to create seven (7) lots from three (3) existing tracts.

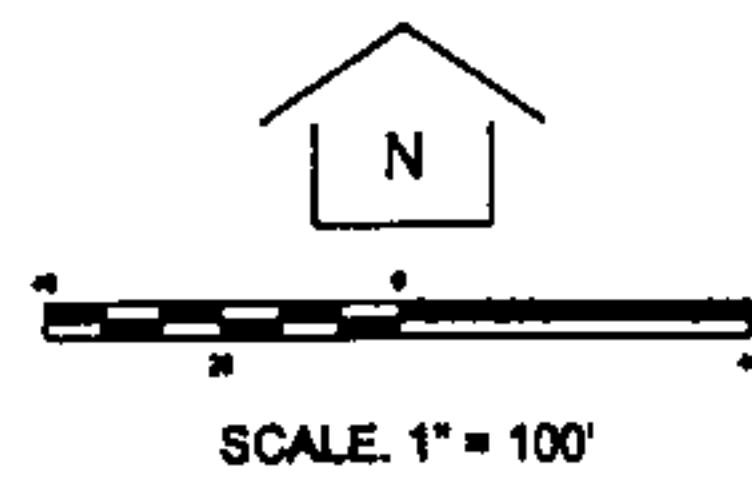


**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	CHORD DIST.
C1	486.26'	1462.00'	19° 03' 22"	484.01'
C2	39.27'	25.00'	90° 00' 00"	35.38'
C3	66.98'	398.90'	09° 37' 04"	66.87'
C4	51.23'	1537.50'	01° 54' 33"	51.23'
C5	50.51'	787.50'	03° 40' 29"	50.50'
C6	51.23'	1537.50'	01° 54' 33"	51.23'
C7	39.00'	1462.50'	01° 31' 40"	39.00'
C8	33.78'	712.50'	02° 42' 54"	33.78'
C9	39.00'	1462.50'	01° 31' 40"	39.00'

**TANGENT TABLE**

TANGENT	BEARING	DISTANCE
T1	S 00° 23' 00" W	88.71'



SURVEYOR'S CERTIFICATION

I, Christopher J. Dehler, New Mexico Registered Land Surveyor No. 7923 hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey, shows all easements of record made known to me by the owners, utility companies and Fidelity National Title Co. (02-3007484-B-MD), meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and the Minimum Standards for Land Surveys in New Mexico and is true and correct to the best of my knowledge and belief.



*[Signature]*  
Christopher J. Dehler  
N.M.R.L.S. No. 7923  
Date: 11/03/03

No. of Lots: 7  
Nearest Major Streets  
San Antonio & San Pedro

**FIGURE 12**

**SUBDIVISION IMPROVEMENTS  
AGREEMENT-PUBLIC AND/OR PRIVATE  
(Procedure B)**

**AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS**

THIS AGREEMENT is made this 18<sup>th</sup> day of May, 2004, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Joseph P. Cotruzo, a married man dealing in his sole & separate property ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] Individual, whose address is 7508 Northridge Ave NE Alb and whose telephone number is 505-833-4004, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

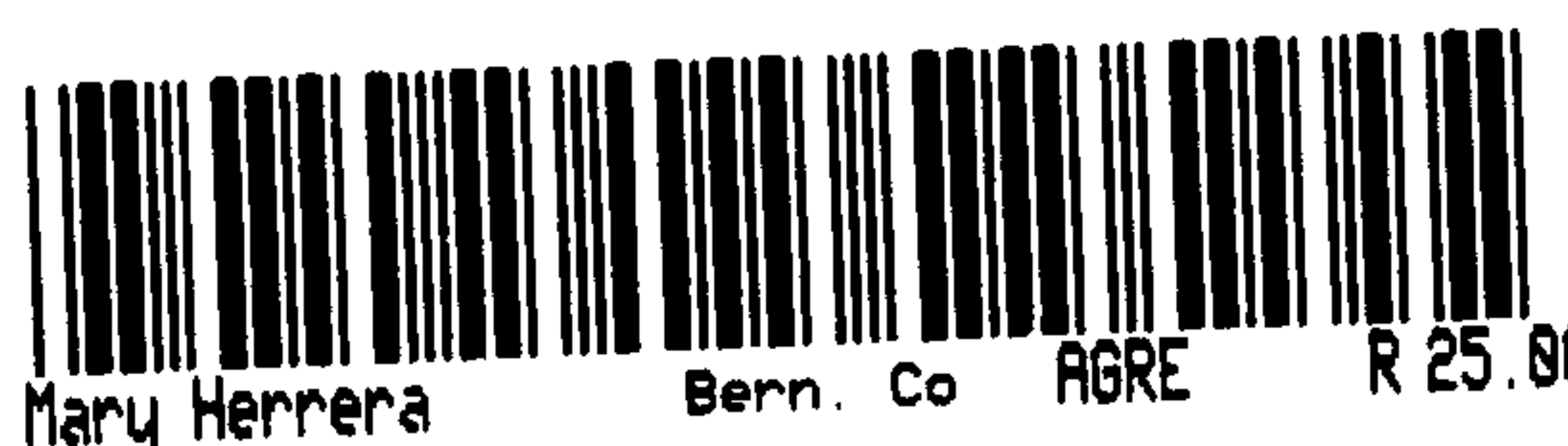
1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] J Group, recorded on 2-27-96 in the records of the Bernalillo County Clerk at Book 96C, pages 91 through — (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] J Group ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as JJ Subdivision describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 12 day of November, 2006 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 735181.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRP"), unless



the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

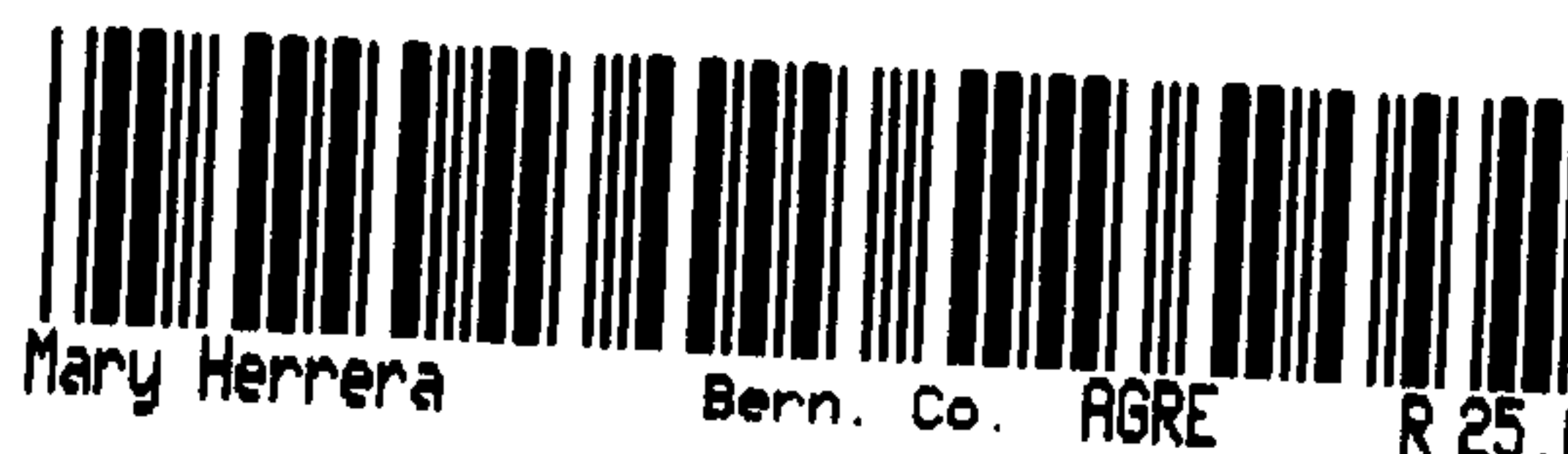
<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Chris Dehler, and construction surveying of the private Improvements shall be performed by Chris Dehler. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Jean J. Berdenave, and inspection of the private Improvements shall be performed by Jean J. Berdenave, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider



shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Geo-Test Inc, and field testing of the private Improvements shall be performed by Geo-Test Inc, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

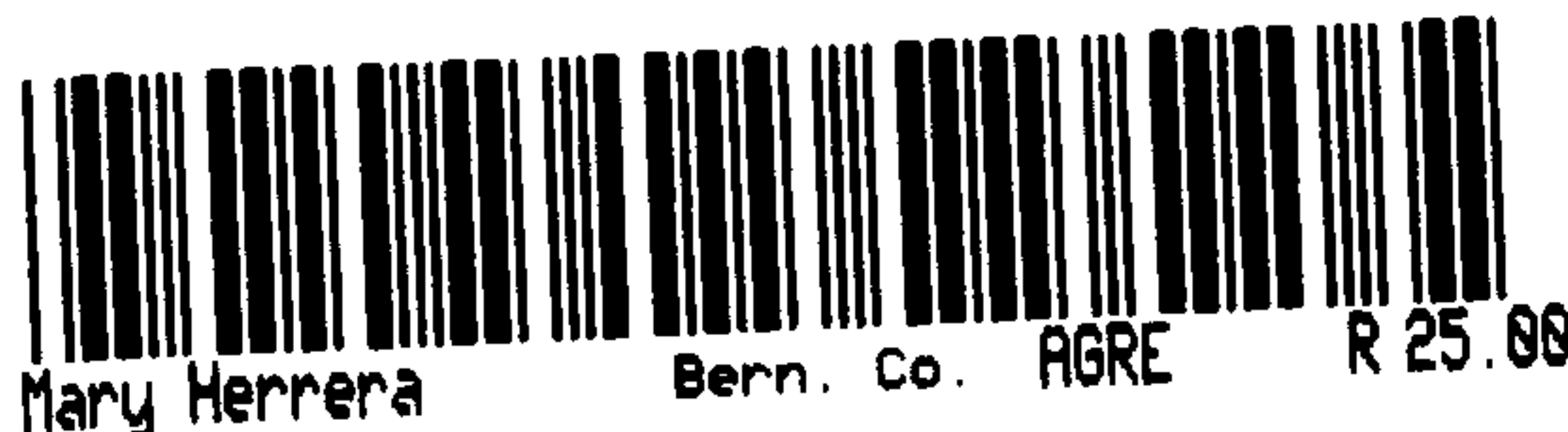
5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Los Alamos Natl Bank, LOC # 1607  
Amount: \$ 480,380.45 Name of Financial Institution or Surety  
Date City first able to call Guaranty: Nov 11, 2005  
[Construction Completion Deadline]: Nov 11, 2005 20  
If Guaranty other than a Bond, last day City able to call Guaranty is:  
January 12, 2006  
Additional information: \_\_\_\_\_

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

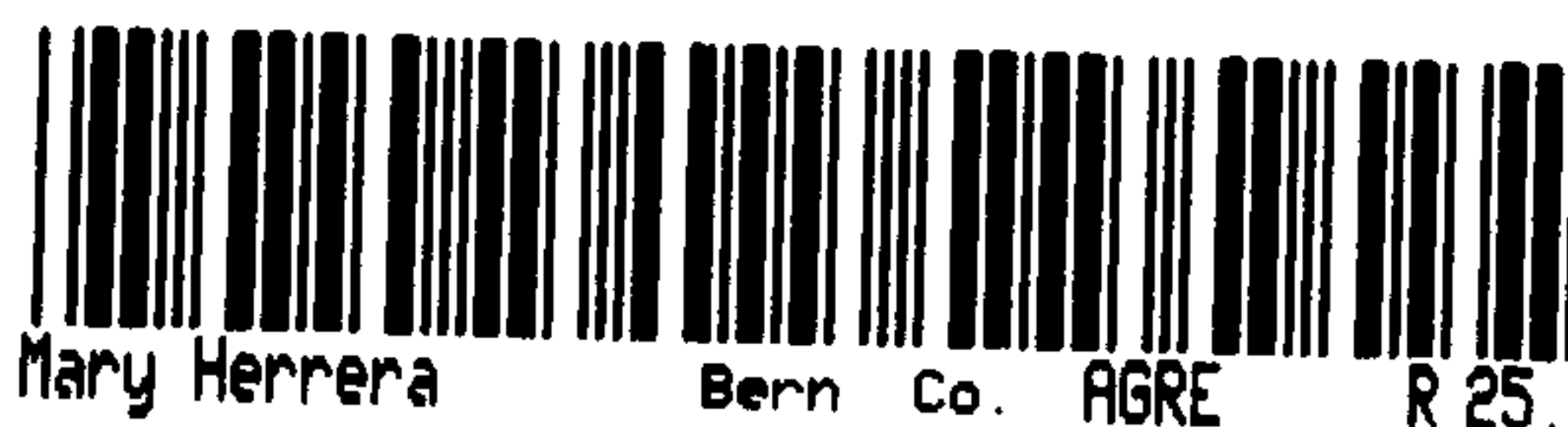
(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:  
By [Signature]: Joseph P Cotruzzola  
Name: JOSEPH P. COTRUZZOLA  
Title: PARTNER INDIVIDUAL  
Dated: MAY 17 2004

CITY OF ALBUQUERQUE  
Phil Deane  
City Engineer  
Dated: 5-18-04

9/17/04 KF Steduy

SUBDIVIDER'S NOTARY

STATE OF NEW MEXICO )  
 ) ss.  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on 17<sup>th</sup> day of MAY, 20 04 by [name of person:] JOSEPH P. COTRUZZOLA, [title or capacity, for instance, "President" or "Owner":] PARTNER INDIVIDUAL of [Subdivider:] J GROUP

OFFICIAL SEAL  
TERI L. MAYHEW  
NOTARY PUBLIC  
STATE OF NEW MEXICO  
My Commission Expires: 11-09-05

Teri L. Mayhew  
Notary Public

CITY'S NOTARY

STATE OF NEW MEXICO )  
 ) ss.  
COUNTY OF BERNALILLO)

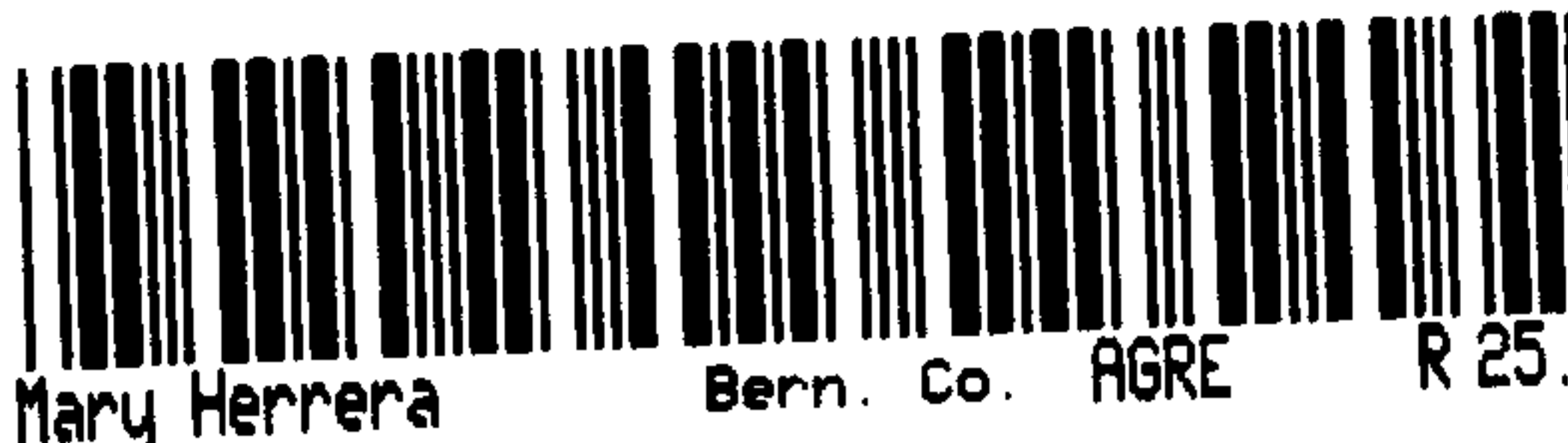
This instrument was acknowledged before me on 18<sup>th</sup> day of May, 20 04 by Richard Dente, City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

My Commission Expires:  
January 27, 2005

Katherine Jaramila  
Notary Public

OFFICIAL SEAL  
Katherine Jaramila  
NOTARY PUBLIC  
STATE OF NEW MEXICO  
January 27, 2005

EXHIBIT A AND POWER OF ATTORNEY ATTACHED



ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT 'A'

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

J GROUP ADDITION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT A-3-B, J GROUP ADDITION, TRACT 1 NEW HEART CTR, TRACT 1 NORTHSIDE SUB

EXISTING LEGAL DESCRIPTION FROM TO PLATTING ACTION

Date Preliminary File Approved: 11/12/03

Date Preliminary File Engine: 11/12/04

DRB Project No: 103455

DRB Application No: 23-21899

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that apparatus items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that apparatus or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and appraiser. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
B-1	T3581	8" PVC	Water Line 1920	South side of San Antonio Blvd	Lot A-3-B-1	San Felipe A-3-B-7	1	1	1
		8" SDR 35	Sanitary Sewer 1600 Ft	South side of San Antonio Blvd	Lot A-3-B-1	A-3-B-7	1	1	1
		1	Side inlet to Arroyo	SW Corner	Lot A-3-B-1		1	1	1
							1	1	1
							1	1	1
							1	1	1

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Page: 7 of 9  
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R 25.00 BK-A77 Pg-8641

Bern. Co. FGRE

Mary Herrera



73518/

Site is in a landfill; must address landfill requirements.

NOTES

S/A Sequence #	COA ORC Project #	Site	Type of improvement
<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		

Inspector	Inspector	Engineer
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

AGENT / OWNER

Tom OTT

NAME (print)

Agost / 1585 LCC

FORM

*[Signature]*

SIGNATURE - date

11/12/03

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

*[Signature]* *[Signature]* *[Signature]*

NAME (print)

11-12-03

TRANSPORTATION DEVELOPMENT - date

11/12/03

UTILITY DEVELOPMENT - date

11/12/03

CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

MATERIALS TIME ALLOWED TO COMPLECT THE IMPROVEMENTS WITHOUT A 608

EXTENSION

ISSUE

DATE

DATE CHAIR

USER DEPARTMENT

AGENT COMMENTS



Mary Herrera

Bern. Co. RGR

R 25.00

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Page: 8 of 9

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PAGE 2 of 2

# FINANCIAL GUARANTY AMOUNT

05/06/2004

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

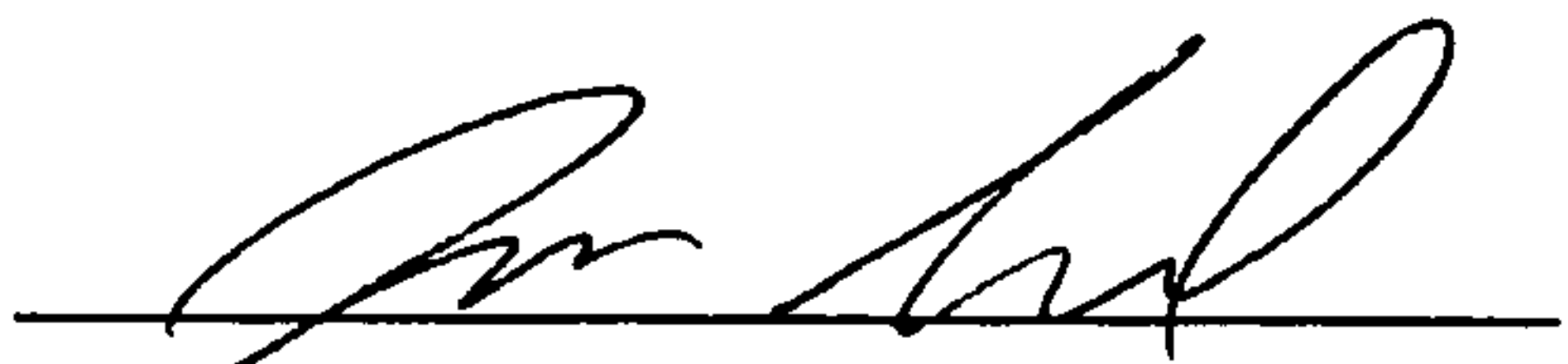
**Project ID #: 735181, J Group Retail Complex-Paving/Util.Imps., Phase/U**

Requested By: **Jake Bordenave, PE w/ Bordenave Designs**

Approved estimate amount:		\$304,029.55
Contingency Amount:	10.00%	\$30,402.96
Subtotal:		\$334,432.51
NMGRT	5.8125%	\$19,438.89
Subtotal:		\$353,871.40
Engineering Fee	6.60%	\$23,355.51
Testing Fee	2.00%	\$7,077.43
Subtotal:		\$384,304.36
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
<b>TOTAL FINANCIAL GUARANTY REQUIRED</b>		<b>\$480,380.45</b>

APPROVAL:

DATE:



5-6-2004

Notes: B-1. 10% contingency, plans not approved. This FG is for paving imp's and wtr & SAS frontage of all but the future western lot. All IL items must be accepted or FG'ed prior to final plat.

1 of 2 FG's

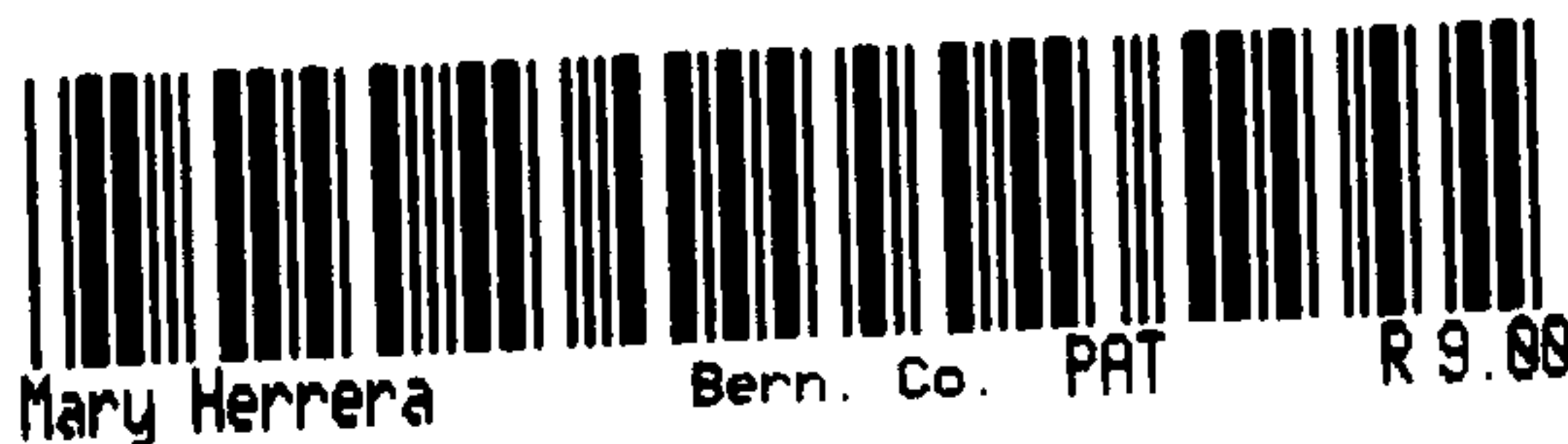


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Page: 9 of 9  
05/20/2004 01:13P  
Bk-A77 Pg-8641

**POWER OF ATTORNEY**

NOTE: Must be signed and notarized by the owner if the subdivider is not the owner of the Subdivision.

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) ss.



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Page: 1 of 1  
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[State name of present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:]

GROUP ANCHOR MEXICO PARTNERSHIP ("Owner"), of [address:] 7508 NORTH RIDGE AVENUE  
[City:] ALBUQUERQUE, [state:] NEW MEXICO [zip code:] 87109

, hereby makes, constitutes and appoints [name of subdivider:] JOSEPH P. COTRUZZOLA ("Subdivider") as my true and lawful attorney in fact, for me and in my name, place and stead, giving unto the Subdivider full power to do and perform all and every act that I may legally do through an attorney in fact, and every proper power necessary to meet the City of Albuquerque's ("City") subdivision requirements regarding the real estate owned by me and described in Section 1 of the Subdivision Improvements Agreement ("Agreement") above, including executing the Agreement and related documents required by the City, with full power of substitution and revocation, hereby ratifying and affirming what the Subdivider lawfully does or causes to be done by virtue of the power herein conferred upon the Subdivider.

This power of attorney can only be terminated: (1) by a sworn document signed and notarized by the Owner, which shall be promptly delivered to the City Planner in order to provide notice to City of the termination of this power of attorney; or (2) upon release of the Agreement by the City.

NOTE: Alternate wording may be acceptable, but must be submitted to the City Legal Department for review and approval before the final contract package is submitted to the City for review. The City may require evidence of ownership and/or authority to execute the Power of Attorney, if the Owner is not the Subdivider. If Owner is a corporation, the Power of Attorney must be signed by the president or by someone specifically empowered by the Board of Directors, in which case the corporate Secretary's certification and a copy of the Board's resolution empowering execution must accompany this document.

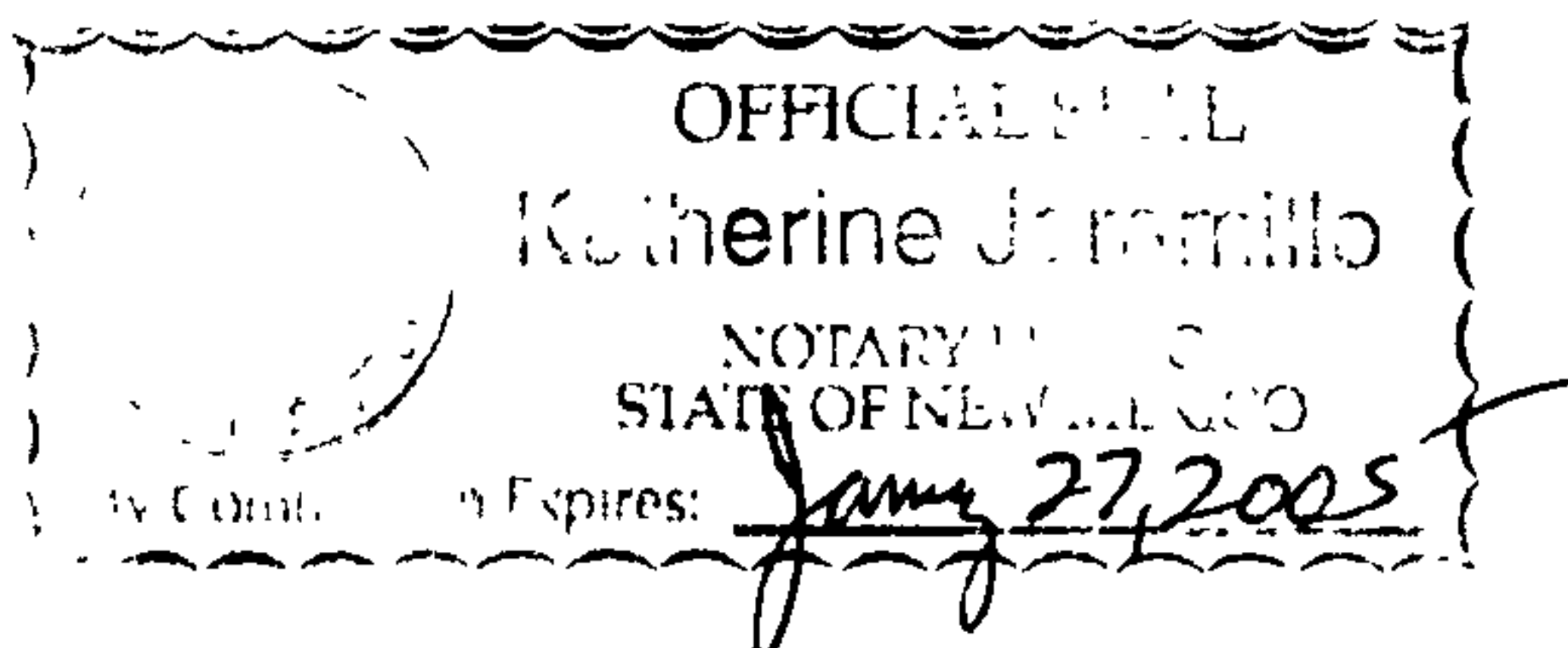
OWNER

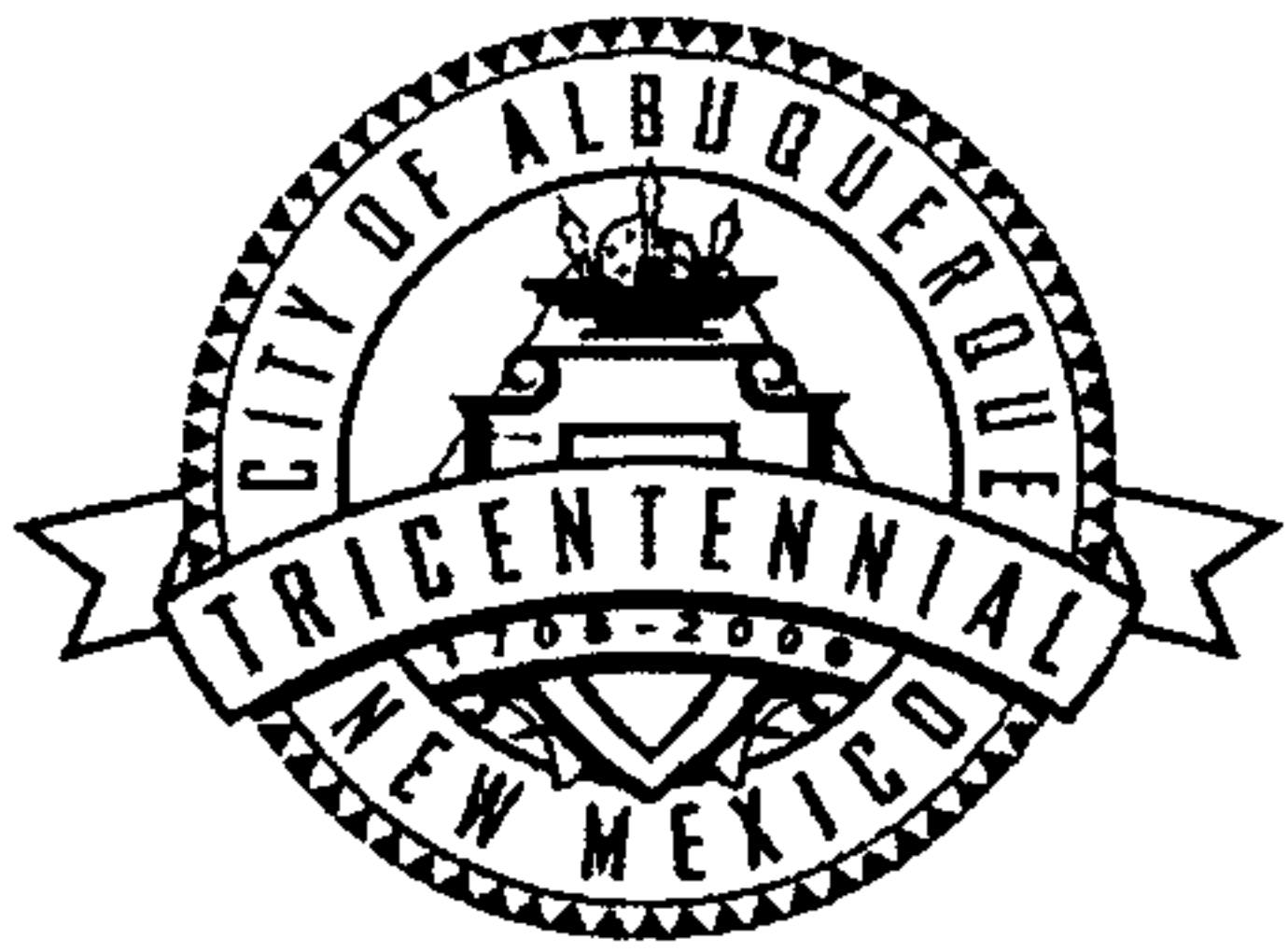
By [signature:] Joseph P. Cotruzzola  
Name: JOSEPH P. COTRUZZOLA  
Title: PARTNER  
Dated: May 18, 2004

The foregoing Power of Attorney was acknowledged before me this 18<sup>th</sup> day of May, 2004 by [name of person:] Joseph P. Cotruzzola of [title or capacity, for instance "President":] Partner of [Owner:] J Group on behalf of the Owner.

My Commission Expires: January 27, 2005

Katherine Jaramillo  
Notary Public





# DEVELOPER INQUIRY SHEET

## (To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – (505) 924-3913 - will need the following information **BEFORE** neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914. **Your request is for the following:**

**Cell Tower and Type: Free-Standing Tower [ ] -OR- Concealed Tower [ ];**

**Private Development [X]; City Project [ ]; -OR- Other [ ]**

CONTACT NAME: TIMOTHY M OTT

COMPANY NAME: \_\_\_\_\_

ADDRESS/ZIP: 5620 Venice N.E. Suite 5 ABQ 87111

PHONE: 250-4675 FAX: 268-9742

### NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS:

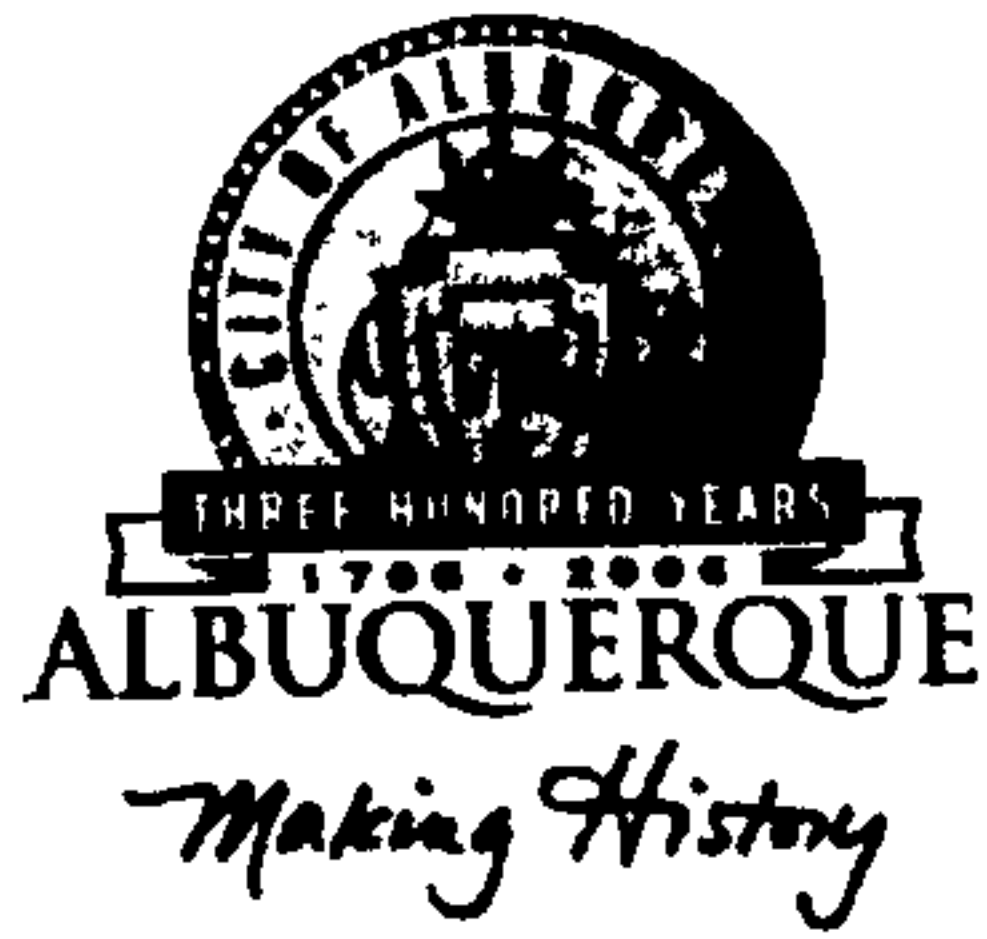
Lots 1 thru 7 JJ Subdivision  
LEGAL DESCRIPTION

LOCATED ON San Antonio  
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN San Pedro AND  
STREET NAME OR OTHER IDENTIFYING LANDMARK

I-25  
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (E-142):  
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)  
(Zone Map **MUST** be provided with request)



# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: April 28, 2006

TO CONTACT NAME: Timothy M. Ott  
COMPANY/AGENCY: \_\_\_\_\_  
ADDRESS/ZIP: 5620 Venice NE. Suite E ABQ, NM 87113  
PHONE/FAX #: 250-4675 / 268-9742 Fax

Thank you for your inquiry of 4-28-06 (date) requesting the names of **Recognized**

**Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at lots 1 through 7 JJ Subdivision, located on San Antonio between San Pedro & I-25 zone map page(s) E-18.

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Albuquerque Meadows Residents  
**Neighborhood Association** Assoc.

Contacts: Dick Schlaefer  
7112-148 Pan American Fwy. NE. 87109  
798-1797

Douglas Berry  
7112-102 Pan American Fwy. NE. 87109  
858-3286

Academy Acres North  
**Neighborhood Association**

Contacts: Frene Minke  
6504 Dungan NE 87109  
828-9810

Judy Lynch  
P.O. Box 94387 / 87199  
821-3282

**See reverse side for additional Neighborhood Association Information: YES { } NO {X}**

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

[Signature]  
OFFICE OF NEIGHBORHOOD COORDINATION

.....  
Attention: Both contacts per neighborhood association need to be notified.  
.....

Tim Ott  
5620 Venice N.E. Suite G  
Albuquerque, NM 87113

May 1, 2006

Academy Acres North  
c/o Judy Lynch  
PO Box 94387  
Albuquerque, New Mexico 87199

Dear Sir,

I am writing you in regard to an extension of the Subdivision Improvements Agreement (SIA) for lots 1-7 of the JJ Subdivision. This SIA was previously approved under DRB case no. 1002455. These improvements are for water and sewer lines on the south side of San Antonio between San Pedro and the I-25 intersection. These improvements should be completed by August 2006. The current SIA expires prior to this date so an extension is being requested.

The SIA extension would extend the SIA expiration date to January 12, 2007.

If you have any questions you may contact Tim Ott at 250-4675.

Thank you for your consideration in this matter.



T. M. Ott  
Agent for J Group Addition

Tim Ott  
5620 Venice N.E. Suite G  
Albuquerque, NM 87113

May 1, 2006

Academy Acres North  
c/o Irena Minke  
6504 Dungan N.E.  
Albuquerque, New Mexico 87109

Dear Sir,

I am writing you in regard to an extension of the Subdivision Improvements Agreement (SIA) for lots 1-7 of the JJ Subdivision. This SIA was previously approved under DRB case no. 1002455. These improvements are for water and sewer lines on the south side of San Antonio between San Pedro and the I-25 intersection. These improvements should be completed by August 2006. The current SIA expires prior to this date so an extension is being requested.

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Thank you for your consideration in this matter.



T. M. Ott  
Agent for J Group Addition

Tim Ott  
5620 Venice N.E. Suite G  
Albuquerque, NM 87113

May 1, 2006

Albuquerque Meadows Residents Assoc.  
c/o Douglas Berry  
7112-102 Pan American Frw., N.E.  
Albuquerque, New Mexico 87109

Dear Sir,

I am writing you in regard to an extension of the Subdivision Improvements Agreement (SIA) for lots 1-7 of the JJ Subdivision. This SIA was previously approved under DRB case no. 1002455. These improvements are for water and sewer lines on the south side of San Antonio between San Pedro and the I-25 intersection. These improvements should be completed by August 2006. The current SIA expires prior to this date so an extension is being requested.

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T. M. Ott  
Agent for J Group Addition



Tim Ott  
5620 Venice N.E. Suite G  
Albuquerque, NM 87113

May 1, 2006

Albuquerque Meadows Residents Assoc.  
c/o Dick Schlaefer  
7112-148 Pan American Frw., N.E.  
Albuquerque, New Mexico 87109

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The SIA extension would extend the SIA expiration date to January 12, 2007.

If you have any questions you may contact Tim Ott at 250-4675.

Thank you for your consideration in this matter.



T. M. Ott  
Agent for J Group Addition

cc: [illegible]  
[illegible]  
[illegible]  
[illegible]  
[illegible]

ACADEMY STATION  
6255 SAN ANTONIO NE  
UQUERQUE, NM 87109-4133  
05/01/06 05:03PM

Transaction Number 142  
USPS # 340128-9552

1. First Class service 4.64  
Destination: 87109  
Weight: 0 lb. 0.30 oz.  
Total Cost: 4.64  
Base Rate: .39  
Tracking #: 7113\_1791\_5300\_0101\_2628  
SERVICES  
Certified Mail 2.40  
Return Receipt 1.85

2. First Class service 4.64  
Destination: 87109  
Weight: 0 lb. 0.30 oz.  
Total Cost: 4.64  
Base Rate: .39  
Tracking #: 7113\_1791\_5300\_0101\_2635  
SERVICES  
Certified Mail 2.40  
Return Receipt 1.85

3. First Class service 4.64  
Destination: 87109  
Weight: 0 lb. 0.40 oz.  
Total Cost: 4.64  
Base Rate: .39  
Tracking-#: 7113\_1791\_5300\_0101\_2642  
SERVICES  
Certified Mail 2.40  
Return Receipt 1.85

4. First Class service 4.64  
Destination: 87109  
Weight: 0 lb. 0.40 oz.  
Total Cost: 4.64  
Base Rate: .39  
Tracking-#: 7113\_1791\_5300\_0101\_2659  
SERVICES  
Certified Mail 2.40  
Return Receipt 1.85

Subtotal 18.56  
Total Charged 18.56  
MasterCard 18.56

<23-901810069-99>

MasterCard  
ACCT. NUMBER TRANS # AUTH #  
XXXX XXXX XXXX 2153 736 005319

To check on the delivery status of your Certified Mail article, visit our Track & Confirm site at [www.usps.com](http://www.usps.com) or use this Automated Postal Center (or any Automated Postal Center at other Postal locations).

Thanks.  
It's a pleasure to serve you.

ALL SALES FINAL ON STAMPS AND POSTAGE.  
REFUNDS FOR GUARANTEED SERVICES ONLY.

*This will be alright for his submittal.*  
*Stephan*  
*5/3/06*  
*ONE Planner*

**ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services**

**PAID RECEIPT**

APPLICANT NAME: J GROUP  
 AGENT: TIM OTT  
 ADDRESS: 5620 VENICE AVE NE STE G  
 PROJECT & APP #: 1002455/06 DRB:00610  
 PROJECT NAME: J GROUP SUBDIVISION

\*\*\*DUPLICATE\*\*\*  
 City of Albuquerque  
 Treasury Division

5/3/2006 1:55PM LOC: ANNEX  
 RECEIPT# 00062177 USH 007 TRANS# 0043  
 ACCOUNT: 441032 Fund 01.0  
 ACTIVITY 3424000 TRSL:05  
 TRANS AMT \$145.00  
 J24 Misc

- \$ 20.00 441032/3424000 Conflict Management Fee
- \$ 50.00 441006/4983000 DRB Actions
- \$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ 75.00 441018/4971000 Public Notification
- \$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
 ( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
 ( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
 ( ) Traffic Impact Study
- \$ 145.00 TOTAL AMOUNT DUE

**\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

TIMOTHY M. OTT  
 5620 VENICE AVE NE STE G  
 ALBUQUERQUE, NM 87113

4400

Date: May 3, 2006 95-101/1070

Pay to the Order of: City of Alb \$ 145.00

one hundred forty five & no/100 Dollars

Los Alamos NATIONAL BANK  
 Smart Banking  
 PO Box 60 Los Alamos, NM 87544 (505) 662-5171

ACCESS ACCOUNT

Security Features Details on Back

TIMOTHY M. OTT

For: \_\_\_\_\_

1070010121440000075544301

RECEIPT# 00062177 USH 007 TRANS# 0043  
 ACCOUNT: 441032 Fund 01.0  
 ACTIVITY 4471000 TRSL:05  
 TRANS AMT \$145.00  
 J24 Misc

\$75.00  
 \$145.00  
 \$20.00  
 Thank You

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


#### 4. TIME

Signs must be posted from MAY 16<sup>th</sup> 2006 To MAY 31 2006

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

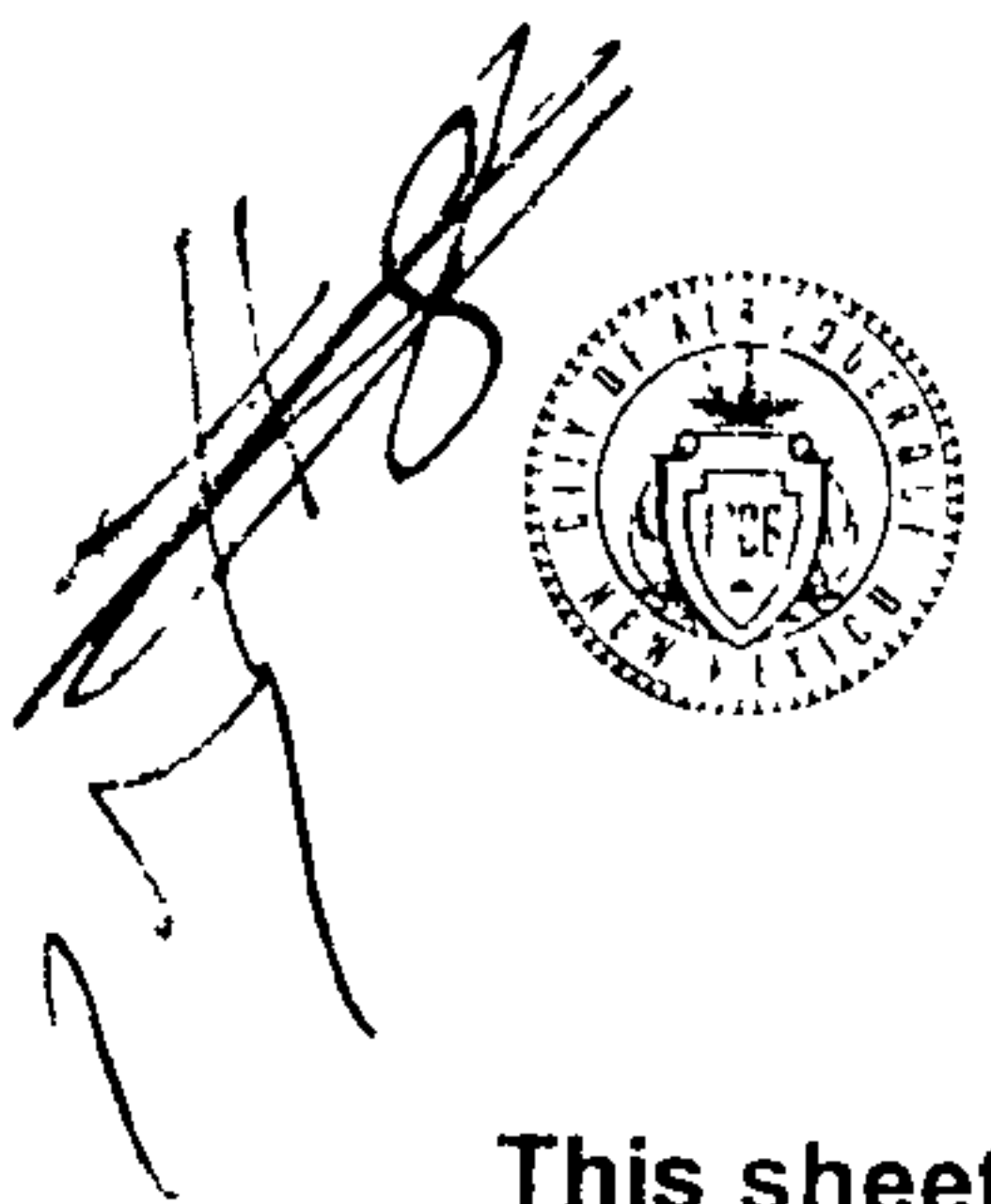
I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
\_\_\_\_\_  
(Applicant or Agent)

5/04/06  
\_\_\_\_\_  
(Date)

I issued 2 signs for this application, 05/03/06 Sandy Handley  
(Date) (Staff Member)

DRB PROJECT NUMBER: 1002455



*Sharon received SPBP*  
**DRB CASE ACTION LOG (SITE PLAN B.P.)**  
REVISED 2/5/04

*May 2006*

*AS*

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

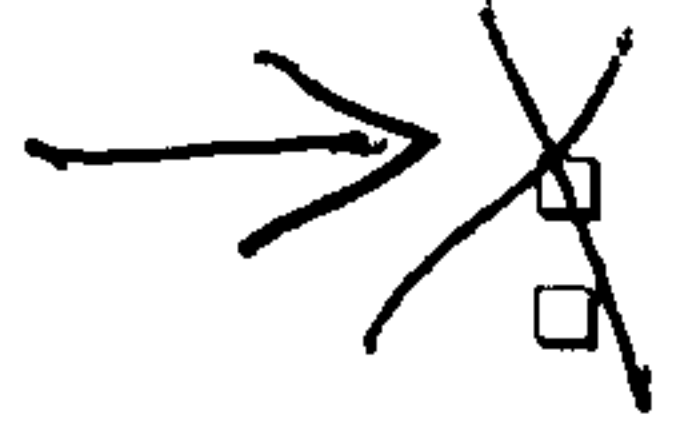
Project Number 1002455

DRB Application No.: 04DRB-00984 (SBP) Project # 1002455  
Project Name: JJ SUBDIVISION  
Agent: Timothy Ott Phone No.: 250-4675

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 7-14-04 by the DRB with delegation of signature(s) to the following departments  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

- TRANSPORTATION: ① ACCESS AGREEMENT EXTENSION
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- UTILITIES: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- PARKS / CIP: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- PLANNING (Last to sign): Blue  
D S's Initials
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE \_\_\_\_\_
  - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**





**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

July 14, 2004

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 2:25 P.M.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 1. **Project # 1000614**  
04DRB-00913 Major-Two Year SIA

TERRY O. BROWN, P.E. agent(s) for DEVELOPMENT SERVICES LTD. COMPANY request(s) the above action(s) for all or a portion of Block(s) 33 & 34, Tract(s) A UNIT B, LOTS 3-12 & 21-29, North Albuquerque Acres, (to be known as **LA CUEVA OESTE SUBDIVISION, UNIT 4**, zoned R-D, located on HOLLY AVE NE between LOUISIANA BLVD NE and SAN PEDRO NE containing approximately 37 acre(s). [REF: DRB-95-121, DRB-97-293] (C-18) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1000399**  
04DRB-00957 Major-Vacation of Public Easements  
04DRB-00952 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST, LTD agent(s) for V TAYLOR FLOYD, JR request(s) the above action(s) for all or a portion of Tract(s) A-1-B & A-1-C, **LOMAS CENTER**, zoned SU-1 special use zone, located on BROADWAY BLVD NE, between ROMA AVE NE and LOMAS BLVD NE containing approximately 1 acre(s). [REF: 04EPC00501, 00502, 00503, 00504, 04DRB00422, 00423] (J-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO PLANNING FOR THE 15-DAY APPEAL PERIOD.**

3. **Project # 1002176**  
04DRB-00960 Major-PreliminaryPlat Appr  
04DRB-00962 Major-Vacation of Public Easements  
04DRB-00969 Minor-Vacation of Private Easements  
04DRB-00961 Minor-Temp Defer SDWK

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT, request(s) the above action(s) for all or a portion of Tract(s) E-1, NORTH FOUR HILLS, **COVERED WAGON SUBDIVISION**, zoned SU-1, located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7acre(s). [REF:Z-98-113/Z98-54, 02DRB-01306, 04DRB-00526] [Deferred from 7/14/04] (L-23) **DEFERRED AT THE AGENT'S REQUEST TO 7/21/04.**

- 04DRB-01071 Minor-SiteDev Plan BldPermit/EPC  
04DRB-01072 Minor-SiteDev Plan Subd/EPC

BILL WADE, request(s) the above action(s) for all or a portion of Tract(s) E-1 and C, Block(s) 90C, Unit(s) 78, NORTH FOUR HILLS, **COVERED WAGON SUBDIVISION**, zoned SU-1, located on CENTRAL AVE SE between FOUR HILLS RD SE AND WATERFALL DR SE containing approximately 7 acre(s). [REF:04EPC-00162, 04DRB-000960, 00961, 00962, 00969, 02DRB-01306, 02DRB-00526] [Debbie Stover, EPC Case Planner] [Deferred from 7/14/04] (L-23) **DEFERRED AT THE AGENT'S REQUEST TO 7/21/04.**

4. **Project # 1003187**  
04DRB-00910 Major-Preliminary Plat  
Approval

ABQ ENGINEERING, INC. agent(s) for AMERI-  
CONTRACTORS, LLC request(s) the above action(s) for  
all or a portion of Tract(s) 5, LANDS OF UNIVERSITY OF  
NEW MEXICO, (to be known as **MARNA LYNN  
SUBDIVISION** zoned R-1, located on MARNA LYNN AVE  
NW, between PARADISE BLVD NW and PASEO DEL  
NORTE NW containing approximately 2 acre(s). [REF:  
04DRB-00037] *[Deferred from 7/14/04]* (C-12)  
**DEFERRED AT THE AGENT'S REQUEST TO 7/21/04.**

5. **Project # 1002715**  
04DRB-00964 Major-Bulk Land Variance  
04DRB-00965 Major-Vacation of Pub  
Right-of-Way  
04DRB-00966 Major-Vacation of Public  
Easements  
04DRB-00967 Minor-Prelim&Final Plat  
Approval

ISAACSON & ARFMAN PA agent(s) for BOULEVARD  
LIMITED PARTNERSHIP request(s) the above action(s)  
for all or a portion of Lot(s) 1 THRU 4, Tract(s) H, **LANDS  
OF HORIZON CORPORATION**, zoned SU-1 FOR C-1,  
located on UNSER BLVD NW, between PARADISE BLVD  
NW and LYONS BLVD NW containing approximately 30  
acre(s). [REF: 03EPC-00918, 03EPC-00919] *[Deferred  
from 7/14/04]* (B-11) **DEFERRED AT THE AGENT'S  
REQUEST TO 7/28/04.**

04DRB-01061 Minor-SiteDev Plan  
Subd/EPC

CONSENSUS PLANNING INC agent(s) for BOULEVARD  
LIMITED PARTNERSHIP request(s) the above action(s)  
for all or a portion of Lot(s) 1, 2, 3, & 4, **HORIZON  
CORPORATION REPLAT OF TRACT H**, zoned SU-1,  
located on PARADISE BLVD NW, between LYON BLVD  
NW and UNIVERSE BLVD NW containing approximately  
30 acre(s). [REF: 03EPC-00918, 03EPC-00919,  
04DRB00964, 00965, 00966, 00967] [**Juanita Vigil, EPC  
Case Planner**] *[Deferred from 7/14/04]* (B-11) **DEFERRED  
AT THE AGENT'S REQUEST TO 7/28/04.**



6. **Project # 1003226**  
04DRB-00909 Major-Vacation of Public Easements  
04DRB-00908 Minor-Prelim&Final Plat Approval
- J C ENGINEERING agent(s) for SUJAY THAKUR request(s) the above action(s) for all or a portion of Tract(s) 9, **V. E. BARRETT SUBDIVISION**, zoned C-2 community commercial zone, located on BRIDGE ST SW, between UNSER BLVD SW and COORS BLVD SW containing approximately 6 acre(s). [REF: Z-71-125, Z-72-114, Z-72-210, 04DRB-00806, 04DRB-00117] *[Deferred from 7/14/04]* (K-10) **DEFERRED AT THE AGENT'S REQUEST TO 7/21/04.**
7. **Project # 1003366**  
04DRB-00912 Major-Vacation of Pub Right-of-Way
- ADVANCED ENGINEERING AND CONSULTING LLC, agent(s) for SHARIF (FELIX) RABADI request(s) the above action(s) for all or a portion of Tract(s) T-1A-2, **TOWN OF ALAMEDA GRANT**, zoned SU-1 FOR PRD, located on GOLF COURSE RD NW, between IRVING NW and CALABACILLAS ARROYO containing approximately 9 acre(s). [REF: 04EPC-00498, 04DRB-00596, Z-80-74, AX-85-20, Z-93-131, DRB-94-146, V-96-89] *[Deferred from 7/14/04]* (B-12) **DEFERRED AT THE AGENT'S REQUEST TO 7/21/04.**
8. **Project # 1003503**  
04DRB-00950 Major-Vacation of Pub Right-of-Way  
04DRB-00951 Major-Vacation of Public Easements
- PRECISION SURVEYS, INC. agent(s) for MANZANO DAY SCHOOL request(s) the above action(s) for all or a portion of Tract(s) A, MANZANO DAY SCHOOL, Lot(s) 19, 20, Block(s) 15, **PEREA ADDITION**, zoned SU-2, SU-2 CC, located on CENTRAL NW, between LOMAS NW and RANCHO SECO NW containing approximately 6 acre(s). [REF: DRB-94-374] (J-13) **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

9. **Project # 1003369**  
04DRB-00514 Major-Drainage Plan to  
Determine the Cost Allocation for Storm  
Drainage Improvements

BOB KEERAN agent(s) for LLAVE CONSTRUCTION INC request(s) these action(s) for all or a portion of Unit(s) 3, Lot(s) 6 & 7, Tract(s) 3, Block(s) 16, NORTH ALBUQUERQUE ACRES, VINTNER COURT SUBDIVISION, zoned DETENTION POND, located on VINTNER NE, between VENTURA NE and CORONA NE containing approximately 2 acre(s). [Deferred from 5/12/04 & 5/26/04 & 6/9/04 & 6/23/04 & 7/14/04] (C-20) DEFERRED AT THE AGENT'S REQUEST TO 7/28/04.

10. **Project # 1002196**  
04DRB-00873 Major-Preliminary Plat  
Approval  
04DRB-00877 Minor-Sidewalk Waiver  
04DRB-00875 Minor-Temp Defer SDWK

WAYJOHN SURVEYING INC. agent(s) for DRAGON FLY DEVELOPMENT INC. request(s) the above action(s) for all or a portion of Tract(s) 1-B, TOWN OF ATRISCO GRANT UNIT 6, LOS ANTEPASADOS SUBDIVISION zoned SU-1 PRD, for MH 10 du/net acre special use zone, located on SUNSET GARDENS RD SW, between CORREGIDOR PL SW and SANTA CLARA CEMETERY SW containing approximately 6 acre(s). [REF: DRB-91-385, 02EPC-01356, 03EPC-02048, 04CC-00130] [Deferred from 6/30/04 & 7/14/04] (K-11) DEFERRED AT THE AGENT'S REQUEST TO 7/21/04.

04DRB-01000 Minor-SiteDev Plan  
Subd/EPC

WAYJOHN SURVEYING INC agent(s) for DRAGON FLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) 1-B, TOWN OF ATRISCO GRANT, UNIT 6, LOS ANTEPASADOS SUBDIVISION zoned SU-1 PRD, for special use zone, located on SUNSET GARDENS RD SW, between CORREGIDOR PL SW and SANTA CLARA CEMETARY SW containing approximately 6 acre(s). [REF: DRB-91-385, 02EPC01356, 03EPC02048, 04CC00130] [Elvira Lopez, EPC Case Planner] [Deferred from 7/14/04] (K-11) DEFERRED AT THE AGENT'S REQUEST TO 7/21/04.

11. **Project # 1002506**  
04DRB-00636 Major-Preliminary Plat  
Approval  
04DRB-00639 Minor-Sidewalk Waiver

TIERRA WEST LLC agent(s) for STH INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 6C, 12A&B, **PARTITION OF BLACK RANCH**, zoned RA-1, located on COORS BLVD NW, between PASEO DEL NORTE NW and WESTSIDE DR NW containing approximately 68 acre(s). [REF: 03EPC-00300, 03EPC-00301, 04DRB-00217, 04DRB-00360] [*Deferred from 5/19 & 6/9/04 & 6/23/04 & 6/30/04*] (C-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/14/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/22/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT THAT THE DEDICATION ALONG COORS BLVD BE REVISITED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

12. **Project # 1002798**  
04DRB-01008 Minor-SiteDev Plan  
Subd/EPC  
04DRB-01009 Minor-Prelim&Final Plat  
Approval

ADVANCED ENGINEERING & CONSULTING agent(s) for WILLIAM HOLLER request(s) the above action(s) for all or a portion of Tract(s) A, RIMA ADDITION and Tract(s) A-1, **LANDS OF CONRADO GARCIA**, (to be known as **RANCHO DE CANDELARIA SUBDIVISION**), zoned SU-1 FOR PRD, located on CANDELARIA RD NW, between 12<sup>th</sup> ST NW and RIO GRANDE NW containing approximately 3 acre(s). [REF: 04DRB-00572, 04DRB-00777, 03DRB-01122, 03EPC-01673, 03EPC-01674, 04DRB-00777] [**Russell Brito, EPC Case Planner for Simon Shima**] (G-13) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/14/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/9/04 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

13. **Project # 1003126**  
04DRB-01020 Minor-SiteDev Plan  
BldPermit/EPC

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for SCOTT HAUQUITZ request(s) the above action(s) for all or a portion of Tract(s) 45-B, M.R.G.C.D. MAP 29, zoned SU-1 for IP, located on EDITH BLVD NE, between OSUNA RD NE and SIN NOMBRE CT NE containing approximately 7 acre(s). [REF: Z-99-7, AX-99-1, 03EPC-02055, 03EPC-02057] [Debbie Stover, EPC Case Planner] (E-15) THE INFRASTRUCTURE LIST DATED 7/14/04 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND TRANSPORTATION DEVELOPMENT FOR PUBLIC ROADWAY EASEMENT.

14. **Project # 1000390**  
04DRB-01011 Minor-SiteDev Plan  
BldPermit/EPC

GEORGE RAINHART ARCHITECTS & ASSOCIATES agent(s) for AMERICAN SOUTHWEST DEVELOPMENT COMPANY request(s) the above action(s) for all or a portion of Tract(s) H1 ,H2, H3, AND H-4, VENTANA SQUARE @ VENTANA RANCH, zoned SU-1 FOR RESTRICTED C-2 USES, located on PARADISE BLVD NW, between PARADISE BLVD NW and PASEO DEL NORTE BLVD NW containing approximately 5 acre(s). [REF: Z-00128-00409, Z-00128-00410] [Debbie Stover, EPC Case Planner] (B-10) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR THE REMOVAL OF CROSSWALK ON PARADISE, CROSS ACCESS AGREEMENT AMONG LOTS AND SIDEWALK EASEMENTS AND TO PLANNING FOR DEBBIE STOVER'S INITIALS.

15. **Project # 1003524**  
04DRB-01012 Minor-SiteDev Plan  
BldPermit

RICK BENNETT ARCHITECTS agent(s) for WASHINGTON STREET INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 17, Tract(s) B-1-A-1, ALAMEDA BUSINESS PARK, LANDS OF SPRINGER BUILDING MATERIALS CORP., zoned SU-2, IP - EP, located on VISTA ALAMEDA NW, between PASEO ALAMEDA NW and ALAMEDA PARK DR NW containing approximately 1 acre(s). *[Deferred from 7/14/04]* (C-16) **DEFERRED AT THE AGENT'S REQUEST TO 7/28/04.**

16. **Project # 1002584**  
04DRB-01068 Minor-SiteDev Plan  
BldPermit/EPC

THE DESIGN GROUP, ERIK HAGEN, agent(s) for ARDENT HEALTH SERVICES dba SANDIA HEALTH SYSTEMS, request(s) the above action(s) for all or a portion of Tract(s) 1-A, ST JOSEPH WEST MESA HOSPITAL, PARADISE HEIGHTS, zoned SU-1 special use zone, located on GOLF COURSE RD NW, between MCMAHON BLVD NW and GOLF COURSE RD NW containing approximately 20 acre(s). [REF: Z-88-90, 03AA00579, 04EPC00696] **[Carmen Marrone, EPC Case Planner]** *[Deferred from 7/14/04]* (A-12) **DEFERRED AT THE AGENT'S REQUEST TO 7/21/04.**

17. **Project # 1002455**  
~~04DRB-00984~~ Minor-SiteDev Plan  
BldPermit/EPC

TIMOTHY M. OTT request(s) the above action(s) for all or a portion of Lot(s) 1, JJ SUBDIVISION, zoned SU-1 FOR C-1, located on SAN ANTONIO DR NE, between I-25 and SAN PEDRO NE containing approximately 3 acre(s). [REF: 03EPC00147, 00148, 03DRB01899, 03DRB00893, 03DRB1654, 1655] **[Debbie Stover, EPC Case Planner]** *[Deferred from 6/30/04]* (E-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS EASEMENT AND MINOR COMMENTS AND PLANNING FOR DEBBIE STOVER'S INITIALS.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

18. **Project # 1000908**  
04DRB-01064 Minor-Extension of Preliminary Plat
- WILSON & COMPANY agent(s) for LONGFORD @ SUNRISE RANCH SOUTH, LLC request(s) the above action(s) for all or a portion of Tract(s) 439, **TOWN OF ATRISCO GRANT, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on 94<sup>th</sup> ST SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 6 acre(s). [REF: 02DRB-00721, 02DRB-00722, 02DRB-00723, 02DRB-00724] (L-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED TO 7/17/05.**

**A LUNCH BREAK WAS TAKEN FROM NOON TO 1 P.M.**

19. **Project # 1003538**  
04DRB-01069 Minor-Prelim&Final Plat Approval
- DOUG SMITH agent(s) for THEODORE CHAVEZ request(s) the above action(s) for all or a portion of Tract(s) 218, **TOWN OF ATRISCO GRANT AIRPORT UNIT**, zoned C-2 and R-2, located on HANOVER RD NW, between 64<sup>th</sup> ST NW and 68<sup>th</sup> ST NW containing approximately 5 acre(s). (J-10) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
20. **Project # 1001717**  
04DRB-01066 Major-Final Plat Approval
- ABQ ENGINEERING INC, agent(s) for WESTLAND DEVELOPMENT CORP request(s) the above action(s) for all or a portion of Tract(s) A, **PARK & DRAINAGE MANAGEMENT AREA, EL RANCHO ATRISCO SUBDIVISION, PHASE 2**, TOWN OF ATRISCO GRANT, zoned R-D residential and related uses zone, developing area, located on 72<sup>ND</sup> ST NW, between HANOVER RD NW and PARKWOOD DR NW containing approximately 8 acre(s). [REF: 02DRB01391, DRB 95-348, DRB 97-268, 03DRB00207, 02EPC00133, 04DRB-00595] (H-10/J-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO CITY ENGINEER FOR AMAFCA SIGNATURE.**

21. **Project # 1001984**  
03DRB-01379 Minor-Prelim&Final Plat  
Approval

JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for RICH FORD request(s) the above action(s) for all or a portion of Tract(s) A & B, HYDER-MAISEL SUBDIVISION, and Tract(s) A, LANDS OF ROBERT L. JOHNSON and NMSHTD AIRSPACE PARCEL B-13-5, zoned C-2 and P, located on LOMAS BLVD NE, between WYOMING BLVD NE and INTERSTATE HIGHWAY 40 containing approximately 18 acre(s). [REF: 02DRB-01963, 01964, 02EPC-00826, 00827, 00828] (*Was Indefinitely Deferred on 8/27/03*) (J-20) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/14/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITIONS OF FINAL PLAT: THE FINAL PLAT WILL DEDICATE PUBLIC WATERLINE EASEMENTS FOR THE EXISTING LINES TO THE SATISFACTION OF UTILITIES DEVELOPMENT. THE FINAL PLAT SHALL INCLUDE THE RIGHT-OF-WAY DEDICATION REQUIRED FOR THE DECEL LANES INCLUDING THE ADA PATH. NOTE 2 SHALL BE REMOVED FROM THE PLAT.

22. **Project # 1002731**  
04DRB-01004 Minor-Prelim&Final Plat  
Approval

JEFF MORTENSEN & ASSOCIATES INC agent(s) for KAY LAMB request(s) the above action(s) for all or a portion of Lot(s) 24-27, Block(s) 12, ALBRIGHT-MOORE ADDITION, zoned S-R, located on 6<sup>TH</sup> ST NW, between BELLAMAH AVE NW and KINLEY AVE NW containing approximately 1 acre(s). [REF: 03DRB-00966, 00967] (J-14) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/14/04 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.

23. **Project # 1002960**  
04DRB-01006 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) J-2-A, WESTLAND NORTH, **SUNDORO SOUTH SUBDIVISION, UNIT 1**, zoned SU-2, RLT, located on ENDEE RD NW, between 98<sup>TH</sup> ST NW and 94<sup>TH</sup> ST NW containing approximately 33 acre(s). [REF: 03DRB-01964, 03DRB-01447, 03DRB-01449, 03DRB-01450, 03DRB-01451, 03DRB-01452, 03DRB-01453] [Listed under Project #1002935 in error] (J-8/J-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR MAINTENANCE NOTE FOR TRACTS K, J AND L AND PARK DEDICATION AGREEMENT AND TO CITY ENGINEER FOR AMAFCA SIGNATURE AND REAL PROPERTY SIGNATURE.**

- 04DRB-01007 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) J, **SUNDORO SOUTH SUBDIVISION, UNIT 3**, zoned SU-2, RLT, located on ENDEE RD NW, between 98<sup>th</sup> ST NW and 94<sup>th</sup> ST NW containing approximately 5 acre(s). [REF: 03DRB-01447, 03DRB-01449, 03DRB-01450, 01451, 01452, 03DRB-01453, 03DRB-01964] (J-8/J-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO PARKS FOR PARK DEDICATION AGREEMENT AND CITY ENGINEER FOR AMAFCA SIGNATURE.**

24. **Project # 1003112**  
04DRB-01005 Major-Final Plat Approval

COMMUNITY SCIENCES CORP agent(s) for COLLATZ INC, JACK CLIFFORD request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF COLLATZ INC, **RINCONADA TRAILS**, zoned SU-1 special use zone, located on UNSER BLVD NW, between UNSER BLVD NW and WESTERN TRAILS NW containing approximately 9 acre(s). [REF: 03DRB-01994, 04DRB-00166, 04DRB-00167, 04DRB-00168] [*Deferred from 7/14/04*] (F-11/F-12) **DEFERRED AT THE AGENT'S REQUEST TO 7/21/04.**



25. **Project # 1003487**  
04DRB-01070 Minor-Prelim&Final Plat  
Approval

COMMUNITY SCIENCES CORPORATION agent(s) for PETERSON PROPERTIES REAL ESTATE SERVICES INC request(s) the above action(s) for all or a portion of Lot(s) 8-15, **BELMONT ADDITION** and Lot(s) 10, **HARWOOD ADDITION**, zoned C-2/P community commercial zone, located on 4<sup>th</sup> ST NW, between SAN CLEMENTE AVE. NW and FREEMAN AVE. NW containing approximately 1 acre(s). [REF: 04DRB-00901] (G-14) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

26. **Project # 1003507**  
04DRB-00968 Minor-Prelim&Final Plat  
Approval

RHOMBUS PA INC. agent(s) for JOSEPH P. MCGEE request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 8, **FAIRGROUNDS ADDITION**, zoned C-3 heavy commercial zone, located on SAN PEDRO DR SE, between COCHITI RD SE and ACOMA RD SE containing approximately 1 acre(s). (*Deferred from 6/30/04*) (K-18) **WITHDRAWN AT THE AGENT'S REQUEST.**

27. **Project # 1003509**  
04DRB-00983 Minor-Prelim&Final Plat  
Approval

SURVEYING CONTROL INC agent(s) for CITY OF ALBUQUERQUE LEGAL DEPT., REAL PROPERTY request(s) the above action(s) for all or a portion of Block(s) 11, **DUKE CITY INDUSTRIAL AREA**, zoned C-3 heavy commercial zone, located on CLAREMONT AVE NE, between WELLESLEY DR NE and RICHMOND DR NE containing approximately 4 acre(s). [REF: Z-92-19] (*Deferred from 6/30/04 & 7/14/04*) (H-16) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

28. **Project # 1003469**  
04DRB-00891 Minor-Prelim&Final Plat  
Approval  
04DRB-00892 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES, LTD request(s) the above action(s) for all or a portion of Lot(s) 25, 26 & 27, Tract(s) 3, Block(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 9, (to be known as **OAKLAND HEIGHTS SUBDIVISION**) zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB-00821] (Deferred from 6/16/04 & 6/23/04 & 6/30/04) (C-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/14/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/7/04 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

29. **Project # 1002328**  
04DRB-01062 Minor-Sketch Plat or Plan

GARCIA/KRAEMER & ASSOCIATES agent(s) for DENNIS ROMERO request(s) the above action(s) for all or a portion of Lot(s) 2, Block(s) 3, ROW 1, **TOWN OF ATRISCO GRANT, UNIT B**, zoned SU-2, IP, located on CENTRAL AVE SW, between 106<sup>TH</sup> ST SW and 110<sup>TH</sup> ST SW containing approximately 5 acre(s). [REF: 02EPC-01679 & 01680, 03ZHE-00650] (L-8) **COMMENTS WERE RECEIVED BY THE AGENT.**

30. **Project # 1002017**  
04DRB-01073 Minor-Sketch Plat or Plan

DAVID MONTROYA request(s) the above action(s) for all or a portion of Tract(s) A AND 5B, **M.T. INVESTMENTS, LANDS OF THE SISTERS OF ST. DOMINIC**, zoned IP - EP, located on ALAMEDA NE, between 2<sup>ND</sup> ST NE and HORIZON NE containing approximately 10 acre(s). (C-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

31. **Project # 1003520**  
04DRB-00999 Minor-Sketch Plat or Plan
- MARK GOODWIN & ASSOC. agent(s) for WASHINGTON STREET INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, Block(s) 16, Tract(s) 1, NORTH ALBUQUERQUE ACRES, UNIT 3, **BENJAMIN PLACE**, zoned R-D residential and related uses zone, developing area, 3 DU/AC, located on GLENDALE AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 2 acre(s). (B-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
32. **Project # 1003522**  
04DRB-01002 Minor-Sketch Plat or Plan
- MARK GOODWIN & ASSOCIATES PA agent(s) for ASHWATER HOMES, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, Tract(s) B-2 & 89 LANDS OF JANE BATTEN, M.R.G.C.D. MAP 34, LANDS OF EMILIO GUTIERREZ, **INDIAN FARMS**, zoned RA-2 residential and agricultural zone, located on CANDELARIA RD NW, between INDIAN FARMS LN NW and LA PLAZA DR NW containing approximately 5 acre(s). [REF: ZA-1768] (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
33. **Project # 1003537**  
04DRB-01067 Minor-Sketch Plat or Plan
- COMMUNITY SCIENCES CORP. agent(s) for PULTE HOMES request(s) the above action(s) for all or a portion of Lot(s) 104, 105 & 106, **PINON POINTE SUBDIVISION, UNIT 5**, zoned R-LT residential zone, located on WEYMOUTH ST NW, between IRVING BLVD NW and LAS VENTANAS RD NW containing approximately 1 acre(s). [REF: 03DRB-01160, 04DRB-00354] (B-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

34. Approval of the Development Review Board Minutes for June 23, 2004. **THE DRB MINUTES FOR JUNE 23, 2004 WERE APPROVED.**

Other Matters: Project # 1002632 – Amended Plat – Sundance Estates. **NO ACTION TAKEN.**

ADJOURNED: 2:25 P.M.



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICES HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 17**

**SUBJECT:**

- |                         |                          |                              |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension           |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

No adverse comments.

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** July 14, 2004

To: Sharon Matson, DRB

July 12, 2004

#17

From: Tim Ott 

Subj: DRB comments project 1002455

In response to the comments received from the DRB, the following was done:

#### Planning Comments

Condition #8 – Landscape plan submitted removing Navajo willows and replacing them with Texas umbrella, Texas red oak.

Condition #9 – Note added to landscape plan to show 75% coverage of all areas greater than 36 sf.

Condition #10 – Note added to landscape plan indicating at least 1 tree per every 10 parking spaces and that no parking space is more than 100 feet from a tree.

Condition # 11 – 380 sf patio area shown on site plan.

Condition #12 – Colors of off white and dark tan added to plans to further define earth tones.

Condition #14 – Cedar gate added to refuse container drawing. Also color of refuse area is dark tan.

Condition #20 – Native vegetation strip added adjacent to Pino arroyo on the landscape and site plan.

#### Transportation Development

1. All radi are labeled on site plan
2. Area to be modified on the access easement indicated on site plan.
3. Decel lane is not part of this project. All work for that is to be done by adjacent property owner.
4. X-access along western drive aisle is the side walk on the north end of the parking row.
5. 5' ADA aisle added to site plan.
6. South end stalls have been redesigned to DPM standards.
7. TIS is complete and requires no additional measures be taken for this site than those already indicated.

Attached is an approval of the site plan by ABQEHD.

CITY OF ALBUQUERQUE

Planning Department

Development Services Division

# 8

**TO:** Sheran Matson, Chair, Development Review Board

**FROM:** Deborah L. Stover, Senior Planner, Development Services

**DATE:** 6-29-04



**SUBJECT: EPC CONDITIONS FOR PROJECT 1002455**

The purpose of this memo is to address the itemized letter from Timothy Ott for the above referenced case:

**Site Development Plan for Building Permit**

All EPC conditions have been met with the following exceptions:

Condition #8: The proposed Navajo willow shall be removed from the landscape plan and substituted with an assortment of Texas umbrella tree, Texas red oak, Kentucky coffee tree, Jujube, or Mexican elder.

*No landscape plan has been submitted with the packet. The applicant states that the Navajo willows have been replaced with other species, but staff cannot verify this statement without review of the landscape plan and palette.*

Condition #9 and #10:

*See comment above.*

Condition #11: An outdoor patio space that is a minimum of 300 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or a shade structure that integrates into building architecture.

*The applicant shows Note #22 as a patio area that is a minimum of 300 square feet with patio furniture. The area is approximately 20-feet wide and approximately 70 feet long. Approximately 14-feet of this area (7-feet on either side) is used for planting beds, leaving 6 feet clear for patio space. There is no patio furniture shown in this area and it is difficult to see how furniture of any kind would fit in this space. Nor is any shade structure shown. This condition has not been met.*

Condition #12: The site plan shall state the color family proposed for the building materials. The exact color and materials of the sign shall be noted.

*The applicant states that "earth tones" will be used. Earth tones are not a color. The exact color needs to be specified, i.e. red, blue, white, brown, etc.*

Condition #14: The refuse enclosure shall be compatible in design, color and material with building architecture. The gates shall be opaque and chain link gates are not allowed. A detail showing the proposed refuse enclosure shall be provided on the site plan.

*A detail of the refuse enclosure is included on the site plan. However, no colors are noted and no detail of the required gate is shown. These should be on the refuse enclosure detail.*

Condition #20: Provide a planting strip of native vegetation adjacent to the Pino Arroyo.

*This is not shown.*

Staff defers to the commenting agencies regarding Condition #16 concerning Transportation issues.



F

**DEVELOPMENT REVIEW BOARD  
TRANSPORTATION DEVELOPMENT  
Standard Comment Sheet**

DRB- 1002455                      Item No. 8                      Zone Atlas E-18

DATE ON AGENDA 6-30-04

INFRASTRUCTURE REQUIRED (X)YES ( )NO

CROSS REFERENCE: \_\_\_\_\_  
\_\_\_\_\_

**TYPE OF APPROVAL REQUESTED:**

- ( ) SKETCH PLAT ( ) PRELIMINARY PLAT ( ) FINAL PLAT
- ( ) SITE PLAN REVIEW AND COMMENT ( ) SITE PLAN FOR SUBDIVISION
- (X) SITE PLAN FOR BUILDING PERMIT

<u>No.</u>	<u>Comment</u>
------------	----------------

- 1) All radii need to be labeled.
- 2) X-access easement needs to be modified to cover entrance to western tract.
- 3) Is the decel lane a part of this work? (work order) *No*
- 4) Where is x-access along western drive aisle? *at pt. out of driveway*
- 5) Where is 5' stripped area between ADA stalls?
- 6) Stalls at the south end need to meet DPM criteria.
- 7) When will TIS for the area be completed?

**If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:**

CITY OF ALBUQUERQUE

Planning Department

Development Services Division

# 8

**TO:** Sheran Matson, Chair, Development Review Board

**FROM:** Deborah L. Stover, Senior Planner, Development Services

**DATE:** 6-29-04

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*See comment above.*

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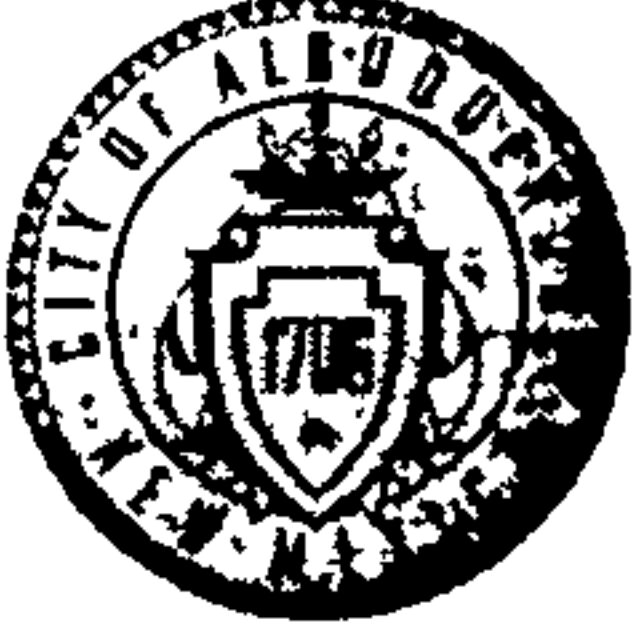
*This is not shown.*

Staff defers to the commenting agencies regarding Condition #16 concerning Transportation issues.

6/30/04

Environmental Health  
signature needed on SB BP

J. Matos,



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

June 30, 2004

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:55 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

**1. Project # 1001090**

04DRB-00863 Major-Preliminary Plat Approval

04DRB-00864 Minor-Temp Defer SDWK

04DRB-00986 Minor-SiteDev Plan

BldPermit/EPC

04DRB-00985 Minor-SiteDev Plan

BldPermit/EPC

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for NEWMAN HOMES, INC request(s) the above action(s) for all or a portion of Lot(s) 29, 30, 31 &, 32, Block 4, NORTH ALBUQUERQUE ACRES UNIT 3, TRACT 3, TIERRA MORENA SUBDIVISION, zoned SU-2 FOR O-1 & R-T, located on SIGNAL AVE NE, between BARSTOW ST NE and VENTURA AVE NE containing approximately 4 acre(s). [REF: Z-98-87, 01128-00908, 01128-00909] [Russell Brito, EPC Case Planner] (C-20) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/30/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/18/04 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.

2. **Project # 1001438**  
04DRB-00872 Major-Preliminary Plat  
Approval  
04DRB-00878 Major-Vacation of Pub  
Right-of-Way  
04DRB-00874 Minor-Sidewalk Waiver  
04DRB-00876 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for ARGUS DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 349A-1, TOWN OF ATRISCO GRANT UNIT 8, (to be known as **KENSINGTON, UNIT 5**, zoned R-D residential and related uses zone, developing area, located on LADERA DR NW, between OURAY RD NW and ZARZAMORA AVE NW containing approximately 3 acre(s). [REF: 01EPC-01233, 01EPC01557, 01EPC01234, 01EPC01558, 03DRB00079, 04EPC 00149] (H-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/30/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/29/04 THE PRELIMINARY PLAT WAS APPROVED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1002196**  
04DRB-00873 Major-Preliminary Plat  
Approval  
04DRB-00877 Minor-Sidewalk Waiver  
04DRB-00875 Minor-Temp Defer SDWK

WAYJOHN SURVEYING INC. agent(s) for DRAGON FLY DEVELOPMENT INC. request(s) the above action(s) for all or a portion of Tract(s) 1-B, **TOWN OF ATRISCO GRANT UNIT 6, LOS ANTEPASADOS SUBDIVISION** zoned SU-1 for MH 10 du/net acre special use zone, located on SUNSET GARDENS RD SW, between CORREGIDOR PL SW and SANTA CLARA CEMETERY SW containing approximately 6 acre(s). [REF: DRB-91-385, 02EPC-01356, 03EPC-02048, 04CC-00130] [*Deferred from 6/30/04*](K-11) **DEFERRED AT THE AGENT'S REQUEST TO 7/14/04.**

4. **Project # 1003235**  
04DRB-00879 Major-Preliminary Plat  
Approval  
04DRB-00880 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES, PA agent(s) for ARGUS DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) C, MARIPOSA SQUARE, (to be known as KENSINGTON, UNIT 6, zoned R-D residential and related uses zone, developing area, located on 72ND ST NW, between LADERA DR NW and MIAMI RD NW containing approximately 3 acre(s). [REF: DRB94-419, 04EPC-00146, 04EPC-00147] (H-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/30/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/28/04 THE PRELIMINARY PLAT WAS APPROVED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
5. **Project # 1003477**  
04DRB-00853 Major-SiteDev Plan  
BldPermit
- SHIVER CONSTRUCTION COMPANY agent(s) for AMERICAN GYPSUM COMPANY request(s) the above action(s) for all or a portion of Lot A, **LAND OF AMERICAN GYPSUM COMPANY**, zoned IP industrial park zone, located on PASEO DEL NORTE NE AND JEFFERSON NE, between TIBURON NE and PASEO DEL NORTE NE containing approximately 55 acre(s). [REF: AX-87-20, Z-87-113] (D-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
6. **Project # 1003483**  
04DRB-00881 Major-SiteDev Plan  
BldPermit
- SAM PATEL agent(s) for SANTOSH B. MODY request(s) the above action for all or a portion of Lots 17,18 & 19, Tract 4, Block 12, **NORTH ALBUQUERQUE ACRES UNIT B**, zoned SU-2 special neighborhood zone, IP, located on SIGNAL AVE NE, between I-25 NE and SAN PEDRO BLVD NE containing approximately 3 acre(s). [REF: ZA-95-414, DRB-98-273] [*Deferred from 6/30/04*] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/28/04.**

7. **Project # 1002506**  
04DRB-00636 Major-Preliminary Plat  
Approval  
04DRB-00639 Minor-Sidewalk Waiver

TIERRA WEST LLC agent(s) for STH INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 6C, 12A&B, **PARTITION OF BLACK RANCH**, zoned RA-1, located on COORS BLVD NW, between PASEO DEL NORTE NW and WESTSIDE DR NW containing approximately 68 acre(s). [REF: 03EPC-00300, 03EPC-00301, 04DRB-00217, 04DRB-00360] [*Deferred from 5/19 & 6/9/04 & 6/23/04 & 6/30/04*] (C-13) **DEFERRED AT THE AGENT'S REQUEST TO 7/14/04.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

- ~~8.~~ **Project # 1002455**  
04DRB-00984 Minor-SiteDev Plan  
BldPermit/EPC`

TIMOTHY M. OTT request(s) the above action(s) for all or a portion of Lot(s) 1, **JJ SUBDIVISION**, zoned SU-1 FOR C-1, located on SAN ANTONIO DR NE, between I-25 and SAN PEDRO NE containing approximately 3 acre(s). [REF:03EPC00147, 00148, 03DRB01899, 03DRB00893, 03DRB1654, 1655] [**Debbie Stover, EPC Case Planner**] [*Deferred from 6/30/04*] (E-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/14/04.**

9. **Project # 1003220**  
04DRB-00922 Minor-SiteDev Plan  
BldPermit/EPC

INNERCITY DEVELOPMENT CORP agent(s) for DESERT HILLS TREATMENT CENTER request(s) the above action(s) for all or a portion of Tract(s) 22-A, **CORONA DEL SOL**, zoned SU-1 PRD, located on SEQUOIA RD NW, between COORS RD NW and ALAMOGORDO RD NW containing approximately 3 acre(s). [REF: 04EPC00107] [**Makita Hill, EPC Case Planner**] [*Deferred from 6/23/04*](G-11) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**



10. **Project # 1003239**  
04DRB-00899 Minor-SiteDev Plan Subd/EPC  
04DRB-00900 Minor-SiteDev Plan BldPermit  
04DRB-00947 Minor-Prelim&Final Plat  
Approval

BRASHER & LORENZ, INC agent(s) for LEE SMITH request(s) the above action(s) for all or a portion of Tract(s) 264, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned SU-1 FOR C-3 USES, located on HANOVER RD NW, between 64<sup>th</sup> STREET NW and COORS BLVD NW containing approximately 5 acre(s). [REF: 04EPC00164, 04EPC00165] [Makita Hill, EPC Case Planner] (Deferred from 6/16/04 & 6/23/04) (H-10 & J-10) **SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/30/04 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

11. **Project # 1002792**  
04DRB-00896 Minor-SiteDev Plan Subd  
04DRB-00897 Minor-SiteDev Plan  
BldPermit

GEORGE RAINHART ARCHITECTS & ASSOCIATES, agent(s) for TRUST OF ALBERT & MARY BLACK (JOHN BLACK), request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, BLACK RANCH, (to be known as **COTTONWOOD CROSSING, PHASE II**, zoned SU-1 FOR C3 (Restaurant w/full service liquor) & SU-1 FOR 0-1, located on COORS BLVD NW, between SEVEN BAR LOOP NW and ALAMEDA BLVD NW containing approximately 10 acre(s). REF: 04DRB-00184, 03DRB-01945, 03DRB-1946, 03DRB-02884, 03DRB017880, 03EPC02037, 03EPC02036, 03EPC02034, 0EPC02035, 3EPC01085, 03EPC01086, 0AA00222] [Debbie Stover, EPC Case Planner] (Deferred from 6/16/04) (B-14) **SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

- 04DRB-00943 Minor-Prelim&Final Plat  
Approval

TIERRA WEST LLC, agent(s) for TRUST OF ALBERT & MARY BLACK, request(s) the above action(s) for all or a portion of Lot(s) 2-A, 2-B, 2-C and 2-D, **COTTONWOOD CROSSING, PHASE II**, zoned SU-1 for C-1 & Restaurant, located on COORS BLVD NW AND SEVEN BAR LOOP NW, containing approximately 6 acre(s). [REF: DRB-94-358, SRP5-98-37, DRB-90-361, DRB-98-61, 03EPC-01085, 03EPC-01086, 03DRB-01780, 03DRB-2084, 04DRB-00184, 04AA-00222, 04DRB-00278] (B-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA SIGNATURE.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

12. **Project # 1003031**  
04DRB-00980 Major-Final Plat Approval
- BOHANNAN HUSTON, INC agent(s) for CURB INC request(s) the above action(s) for all or a portion of **EL RANCHO GRANDE - UNIT 14**, zoned R-LT residential zone, located on GIBSON BLVD SW, between BLAKE RD SW and MESSINA DR SW containing approximately 23 acre(s). [REF: 03DRB01741, 03DRB01742, 03DRB01743, 01744/01745, 01746] (N-8) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PROPERTY MANAGEMENT'S SIGNATURE AND AGIS DXF FILE.**
13. **Project # 1000933**  
04DRB-00979 Minor-Prelim&Final Plat Approval
- BOHANNAN HUSTON INC agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Lot(s) 57, Tract(s) C, **TERRACITA SUBDIVISION**, zoned R-T residential zone, located on SOUTHERN BLVD SE, between TERRA BONITA WAY SE and TERRA BELLA LN SE containing approximately 1 acre(s). [REF: 03DRB01895] (L-21) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO CHECK FOR LISTING OF CURRENT ZONING UNDER SUBDIVISION DATA AND AGIS DXF FILE.**
14. **Project # 1002851**  
04DRB-00973 Major-Final Plat Approval
- ABQ ENGINEERING INC agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of east 1/2 of Tract(s) 4, ALVARADO GARDENS, (to be known as **LA PLAZA ACEQUIA I SUBDIVISION**, zoned R-2 residential zone, located on CANDELARIA RD NW, between DURANES LATERAL and RIO GRANDE BLVD NW containing approximately 2 acre(s). [REF: 03DRB1637, 03DRB01278] (G-12) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project # 1003026**  
04DRB-00972 Minor-Final Plat Approval

ABQ ENGINEERING INC agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, ALVARADO GARDENS, (to be known as **LA PLAZA ACEQUIA II SUBDIVISION**, zoned R-LT residential zone, located on CANDELARIA RD NW, between DURANES LATERAL and RIO GRANDE BLVD NW containing approximately 1 acre(s). [REF: 03DRB31712, 03DRB02099] [FinalPlat was Indef. Deferred on 12/31/03 for SIA] (G-12) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

16. **Project # 1003430**  
04DRB-00721 Minor-Prelim&Final Plat Approval

ALDRICH LAND SURVEYING INC agent(s) for RONALD L. & JERI J. NASCI request(s) the above action(s) for all or a portion of Lot(s) 14A, Block(s) 3, Unit(s) 1, **CRYSTAL RIDGE**, zoned R-LT, located on BARRETT AVE NW, between LOREN AVE NW and LA CANADA DR NW containing approximately 1 acre(s). [*Deferred from 5/19/04 & 6/2/04*] [REF: DRB 97-298, DRB 98-410] (*Deferred from 6/16/04*) (B-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR VACATION EXHIBIT AND FEE SIMPLE LANGUAGE ABOVE THE OWNER'S SIGNATURE ON THE PLAT.**

04DRB-00978 Minor-Vacation of Private Easements

ALDRICH LAND SURVEYING, INC. agent(s) for RONALD & JERI NASCI request(s) the above action(s) for all or a portion of Lot(s) 14-A, P-1, Block(s) 3, Unit(s) 1, **CRYSTAL RIDGE**, zoned R-LT residential zone, located on BARRETT AVE NW, between LOREN AVE. NW and LA CANADA DR. NW containing approximately 1 acre(s). [REF:04DRB-00721, DRB-97-298,S-97-88, DRB-98-410,SP-99-17] (B-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

17. **Project # 1003507**  
04DRB-00968 Minor-Prelim&Final Plat  
Approval  
RHOMBUS PA INC. agent(s) for JOSEPH P. MCGEE request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 8, **FAIRGROUNDS ADDITION**, zoned C-3 heavy commercial zone, located on SAN PEDRO DR SE, between COCHITI RD SE and ACOMA RD SE containing approximately 1 acre(s). *(Deferred from 6/30/04)* (K-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/14/04.**
18. **Project # 1003509**  
04DRB-00983 Minor-Prelim&Final Plat  
Approval  
SURVEYING CONTROL INC agent(s) for CITY OF ALBUQUERQUE LEGAL DEPT., REAL PROPERTY request(s) the above action(s) for all or a portion of Block(s) 11, **DUKE CITY INDUSTRIAL AREA**, zoned C-3 heavy commercial zone, located on CLAREMONT AVE NE, between WELLESLEY DR NE and RICHMOND DR NE containing approximately 4 acre(s). [REF: Z-92-19] *(Deferred from 6/30/04)* (H-16) **DEFERRED AT THE AGENT'S REQUEST TO 7/14/04.**
19. **Project # 1003469**  
04DRB-00891 Minor-Prelim&Final Plat  
Approval  
04DRB-00892 Minor-Temp Defer SDWK  
RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES, LTD request(s) the above action(s) for all or a portion of Lot(s) 25, 26 & 27, Tract(s) 3, Block(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 9, (to be known as **OAKLAND HEIGHTS SUBDIVISION**) zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB-00821] *(Deferred from 6/16/04 & 6/23/04 & 6/30/04)* (C-20) **DEFERRED AT AGENT'S REQUEST TO 7/14/04.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

20. **Project # 1002779**  
04DRB-00959 Minor-Sketch Plat or Plan
- ADVANCED ENGINEERING & CONSULTING agent(s) for JAMES JARAMILLO request(s) the above action(s) for all or a portion of Tract(s) C, **LANDS OF POLO CHAVEZ AND TRACT(S) A-1 & A-2, SAN JOSE TRACT**, zoned A-1 COUNTY, located on AIRPORT DR SW, between DONA BARBARA AVE SW and EDUARDO RD SW containing approximately 9 acre(s). [REF: 03EPC02049, 03EPC01061] (M-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
21. **Project # 1003497**  
04DRB-00936 Minor-Sketch Plat or Plan
- GENE & DOROTHY DYER request(s) the above action(s) for all or a portion of Lot(s) 7-12, Block(s) 20, **FAIRGROUNDS ADDITION**, zoned C-3 heavy commercial zone, located on DOMINGO RD NE, between SAN PEDRO NE and CALIFORNIA ST NE containing approximately 1 acre(s). (K-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
22. **Project # 1003505**  
04DRB-00956 Minor-Sketch Plat or Plan
- ELLIOTT SURVEYING agent(s) for ALBUQUERQUE CHRISTIAN CHILDREN'S HOME request(s) the above action(s) for all or a portion of Tract(s) A & B, **ALBUQUERQUE CHRISTIAN CHILDREN'S HOME**, zoned SU-1, located on WINTER HAVEN RD NW, between MONTANO PLAZA DR NW and MONTANO RD NW containing approximately 6 acre(s). (E-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
23. **Approval of the Development Review Board Minutes for June 9 and June 16, 2004. THE MINUTES FOR JUNE 9 AND JUNE 16, 2004 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:55 A.M.

F

**DEVELOPMENT REVIEW BOARD  
TRANSPORTATION DEVELOPMENT  
Standard Comment Sheet**

DRB- 1002455                      Item No. 8                      Zone Atlas E-18

DATE ON AGENDA 6-30-04

INFRASTRUCTURE REQUIRED (X)YES ( )NO

CROSS REFERENCE: \_\_\_\_\_  
\_\_\_\_\_

**TYPE OF APPROVAL REQUESTED:**

- ( ) SKETCH PLAT    ( ) PRELIMINARY PLAT    ( ) FINAL PLAT
- ( ) SITE PLAN REVIEW AND COMMENT    ( ) SITE PLAN FOR SUBDIVISION
- (X) SITE PLAN FOR BUILDING PERMIT

<u>No.</u>	<u>Comment</u>
------------	----------------

- 1) All radii need to be labeled.
- 2) X-access easement needs to be modified to cover entrance to western tract.
- 3) Is the decel lane a part of this work? (work order)
- 4) Where is x-access along western drive aisle?
- 5) Where is 5' stripped area between ADA stalls?
- 6) Stalls at the south end need to meet DPM criteria.
- 7) When will TIS for the area be completed?

**If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:**



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICES HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 8**

**SUBJECT:**

- |                         |                          |                              |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension           |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

No adverse comments.

**RESOLUTION:**

7-14-04

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** June 30, 2004

#19



Completed 5/20/04  
PA

### DRB CASE ACTION LOG (FINAL PLAT) REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03DRB-01899 (FP)	Project # 1002455
Project Name: J. Group Addition	
Agent: Timothy M. Ott	Phone No.: 250-4675

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/19/04 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

- TRANSPORTATION: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- UTILITIES: remove - Public Utility from 25' easement along San Antonio and dedicate elsewhere.  
AGIS plat
- \_\_\_\_\_
- \_\_\_\_\_

- CITY ENGINEER / AMAFCA: SIA Both signatures obtained - released plat to applicant for recording - BLB 5/20/04
- \_\_\_\_\_
- \_\_\_\_\_

- PARKS / CIP: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- PLANNING (Last to sign): \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number 1002455



#19

2455

AGIS ELECTRONIC APPROVAL FORM

DRB Project Case #: 1002455

Subdivision Name: JJ Subdivision - Lots 1 thru 7

Surveyor: Christopher J. Dehler

Company/Agent: Christopher J. Dehler

Contact Person: \_\_\_\_\_ E-mail: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: 898-1061

DXF Received Date: 5/19/2004

Hard-Copy Date: 5/19/2004

Coordinate system:  NMSP Grid (NAD 83)  NMSP Grid (NAD 27)  Ground rotated to NMSP Grid  Other

*Chris J. Dehler*

5/19/04

Approved

Date

\*The dxf file cannot be accepted at this time for the following reason(s):

Mr. Dehler asked to please submit future DXFs without extraneous arcs (TIE, etc.) and to make sure easement layers are labeled correctly

AGIS Use Only

Copied cov2455 to agiscov on 5/19/2004. Contact person notified on 5/19/2004



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

May 19, 2004

9:00 A.M.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE: 1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order
  - B. Changes and/or Additions to the Agenda
  - C. New or Old Business
- Adjourned:

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000262**  
04DRB-00628 Major-Two Year SIA  
BOHANNAN HUSTON, INC. agent(s) for COSTCO WHOLESALE CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A-1, **COSTCO DEVELOPMENT**, zoned SU-1, located on EUBANK BLVD SE, between SOUTHERN BLVD SE and CENTRAL AVE SE containing approximately 18 acre(s). [REF: 02DRB-00599] (L-21)  
**A 2-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1002506**  
04DRB-00636 Major-Preliminary Plat  
Approval  
04DRB-00639 Minor-Sidewalk Waiver

TIERRA WEST LLC agent(s) for STH INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 6C, 12A & B, **PARTITION OF BLACK RANCH**, zoned RA-1, located on COORS BLVD NW, between PASEO DEL NORTE NW and WESTSIDE DR NW containing approximately 68 acre(s). [REF: 03EPC-00300, 03EPC-00301, 04DRB-00217, 04DRB-00360] (Deferred from 5/19/04) (C-13)  
**DEFERRED AT THE AGENT'S REQUEST TO 6-9-04.**

3. **Project # 1003277**  
04DRB-00629 Major-Vacation of Pub  
Right-of-Way  
04DRB-00630 Major-Vacation of Public  
Easements  
04DRB-00631 Minor-Prelim&Final Plat  
Approval

JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 11, 12, 13, Block(s) 20, Unit(s) 3, Tract(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **DESERT RIDGE OFFICE PARK**, zoned SU-2 / MIXED USE, located on HOLLY AVE NE, between VENTURA ST NE and HOLBROOK ST NE containing approximately 4 acre(s). [REF: 04EPC-00290, 04EPC-00291, AX-94-1] (C-20)

**THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR REAL PROPERTY SIGNATURE.**

- 04DRB-00677 Minor-SiteDev Plan  
Subd/EPC  
04DRB-00679 Minor-SiteDev Plan  
BldPermit/EPC

JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 11, 12, 13, Block(s) 20, Tract(s) 3, Unit 3, NORTH ALBUQUERQUE ACRES, **DESERT RIDGE OFFICE PARK** zoned SU-2 / MIXED USE, located on HOLLY AVE NE, between VENTURA ST NE and HOLBROOK ST NE containing approximately 3 acre(s). [REF: 04EPC-00290, 04EPC-00291, AX-94-1] [Carmen Marrone, EPC Case Planner] (C-20)

**THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5-19-04, THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR SIA.**

4. **Project # 1002739**  
04DRB-00641 Major-Preliminary Plat Approval  
04DRB-00642 Major-Vacation of Pub Right-of-Way  
04DRB-00645 Major-Vacation of Public Easements  
04DRB-00646 Minor-Sidewalk Waiver  
04DRB-00647 Minor-Subd Design (DPM) Variance  
04DRB-00648 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES PA agent(s) for ANDERSON HEIGHTS LLC request(s) the above action(s) for all or a portion of Tract(s) B-1, Parcel(s) 2-D and A, LANDS OF RIO BRAVO PARTNERS, ROSNER TRACTS, (to be known as **ANDERSON HEIGHTS**, zoned R-D residential and related uses zone, Developing Area, located on 118<sup>th</sup> ST SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 249 acre(s). [REF: 03DRB-00983, 04DRB-00179] (Deferred from 5/19/04) (N-8/P-8) **DEFERRED AT THE AGENT'S REQUEST TO 6-2-04.**
5. **Project # 1003403**  
04DRB-00632 Major-Preliminary Plat Approval  
04DRB-00633 Major-Vacation of Public Easements  
04DRB-00634 Minor-Sidewalk Waiver  
04DRB-00635 Minor-Temp Defer SDWK
- ISAACSON & ARFMAN, P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) F, THE TRAILS (to be known as **THE RESERVE AT THE TRAILS**, zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and TOWN OF ALAMEDA GRANT SOUTH BOUNDARY containing approximately 18 acre(s). [REF: 1002962, 03DRB-01528] (Deferred from 5/19/04) (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 6/2/04.**
6. **Project # 1002051**  
03DRB-02009 Major-Vacation of Public Easements  
03DRB-02008 Major-Preliminary Plat  
03DRB-02011 Minor-Temp Defer SDWK  
03DRB-02010 Minor-Vacation of Private Easements
- TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) these action(s) for all or a portion of Tract(s) A, **CHAMISA RIDGE UNIT 2**, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DR NW and CONEFLOWER DR NW containing approximately 18 acre(s). [REF: 02DRB-00963] [Deferred from 1/14/04 & 1/28/04 & 2/4/04 & 2/25/04 & 3/17/04 & 4/7/04, 4/28/04, 5/19/04] (B-10) **DEFERRED AT THE AGENT'S REQUEST TO 6-9-04.**

7. **Project # 1003231**  
04DRB-00261 Major-Preliminary Plat Approval  
04DRB-00263 Minor-Temp Defer SDWK
- WILSON & COMPANY INC agent(s) for LONGFORD @ ARROWWOOD LLC request(s) these action(s) for all or a portion of Tract(s) 29A & 30A1, LANDS OF SALAZAR/QUATRO/SJ HANNETT, (to be known as **LONGFORD @ ARROWWOOD SUBDIVISION**) zoned R-LT residential zone, located on 98<sup>TH</sup> ST SW, between RIO BRAVO SW and BLAKE SW containing approximately 59 acre(s). [REF: 02DRB-01621, 01622, 04DRB-00137] [Deferred from 3/24/04, 4/7/04, 4/28/04 & 5/19/04] (N-9)  
**DEFERRED AT THE AGENT'S REQUEST TO 6-9-04.**
8. **Project # 1002798**  
04DRB-00592 Major-Vacation of Pub Right-of-Way  
04DRB-00593 Minor-Vacation of Private Easements
- MARQUEZ SURVEYING agent(s) for WILLIAM HOLLER request(s) these action(s) for all or a portion of Tract(s) A, **RIMA ADDITION** and Tract(s) A, **CONRADO GARCIA ADDITION**, zoned SU-1, PRD located on CANDELARIA NW, between SAN ISIDRO NW and AVENIDA ENTRADA NW containing approximately 3 acre(s). [REF: 03EPC-01673, 03EPC-01674] [ Deferred from 5-12-04] (G-13)  
**THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
9. **Project # 1003087**  
04DRB-00553 Major-Bulk Land Variance  
04DRB-00554 Major-Vacation of Public Easements  
04DRB-00555 Major-Vacation of Public Easements  
04DRB-00556 Major-Preliminary Plat Approval  
04DRB-00557 Minor-Sidewalk Waiver  
04DRB-00558 Minor-Temp Defer SDWK
- BOHANNAN HUSTON INC agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) these action(s) for all or a portion of Tract(s) A, WESTLAND NORTH, **WATERSHED SUBDIVISION**, zoned SU-2 FOR PDA RESIDENTIAL RESORT, located on TIERRA PINTADA ST NW AND 98<sup>TH</sup> ST NW and containing approximately 531 acre(s). [REF: 03DRB-01869] [Deferred from 5/5/04, 5-12-04, 5/19/04] (H-7, 8 & 9 & J-7 & 8)  
**DEFERRED AT THE AGENT'S REQUEST TO 5-26-04.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. **Project # 1003428**  
04DRB-00716 Minor-SiteDev Plan  
BldPermit
- JOHN K. KLEE agent(s) for INTERSTATE DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 54, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP-EP, located on PASEO ALAMEDA NE and VISTA ALAMEDA NE, containing approximately 1 acre(s). [REF: DRB-98-223, 1000624 (Master Plan)] [Deferred from 5/19/04] (C-16)  
**DEFERRED AT THE AGENT'S REQUEST TO 5-26-04.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

11. **Project # 1002423**  
04DRB-00702 Minor-Extension of  
Preliminary Plat
- BOHANNAN HUSTON, INC. agent(s) for CURB, INC. request(s) the above action(s) for all or a portion of Tract(s) A-1, Rosner Tract, **EL RANCHO GRANDE, UNIT 11**, zoned R-LT, located on CARTAGENA AVE SW and MESSINA DR SW containing approximately 19 acre(s). [REF: 03DRB-00843] (N-8) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED. THIS INCLUDES APPROVAL OF THE INFRASTRUCTURE LISTED DATED 6/25/03.**
12. **Project # 1001932**  
04DRB-00681 Minor-Prelim&Final Plat  
Approval
- MARK GOODWIN & ASSOCIATES, PA agent(s) for KB HOME NEW MEXICO, INC. request(s) the above action(s) for all or a portion of Lot(s) 51, Block(s) 2, **WEST RIDGE SUBDIVISION**, zoned SU-1 special use zone / RD, located on AUSTIN AVE NW, between BURKETT AVE. NW and ANGEL DR. NW containing approximately 1 acre(s). [REF: 02DRB-00690, 02DRB-01578, 01579, 01580 & 01581, 03DRB-00220, 03DRB-00353] (H-9/H-10)  
**THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED-OFF BY THE BOARD.**

13. **Project # 1002805**  
04DRB-00712 Minor-Prelim&Final Plat  
Approval

WILSON & CO INC agent(s) for MOUNTAIN RUN PARTNERS LTD request(s) the above action(s) for all or a portion of Tract(s) D, **ST. ANTHONY'S ORPHANAGE**, zoned C-2 (SC), located on 12TH ST NW, between INDIAN SCHOOL RD NW and I-40 containing approximately 14 acre(s). [REF: 04DRB-00138, Z-72-221, Z-72-221-1, ZA-84-456, ZA-90-226] (H-13) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT FOR AGIS DXF FILE, RELABEL 20-FOOT EASEMENT AS PUBLIC SANITARY SEWER EASEMENT, ADD BLANKET EASEMENT FOR WATER, SEWER, FIRE LINE EASEMENTS AND TRANSPORTATION DEVELOPMENT FOR RADIUS AT INDIAN SCHOOL AND 12<sup>TH</sup> STREET (30-FOOT). NEED TURNOUTS.**

14. **Project # 1002315**  
04DRB-00713 Minor-Prelim&Final Plat  
Approval

BOHANNAN HUSTON agent(s) for MESA VERDE DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 1-A & 2-A UNIT 2, **WILDERNESS SUBDIVISION @ HIGH DESERT**, zoned SU-2 special neighborhood zone, HD/R-R, located on WILDERNESS PL NE, between HIGH DESERT PL NE and WILDERNESS TRAIL NE containing approximately 1 acre(s). [REF: 03DRB-00539, 03DRB-01651] (F-23)  
**THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN-OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

15. **Project # 1003430**  
04DRB-00721 Minor-Prelim&Final Plat  
Approval
- ALDRICH LAND SURVEYING INC agent(s) for RONALD L. & JERI J. NASCI request(s) the above action(s) for all or a portion of Lot(s) 14A, Block(s) 3, **CRYSTAL RIDGE, UNIT 1**, zoned R-LT, located on BARRETT AVE NW, between LOREN AVE NW and LA CANADA DR NW containing approximately 1 acre(s). [REF: DRB-97-298, DRB-98-410] (Deferred from 5-19-04) (B-13)  
**DEFERRED AT THE AGENT'S REQUEST TO 6-2-04.**
16. **Project # 1003111**  
04DRB-00715 Major-Final Plat  
Approval
- ISAACSON & ARFMAN, PA agent(s) for WINDMILL MANOR PLACE, LLC request(s) the above action(s) for all or a portion of Tract(s) B, **WINDMILL MANOR**, zoned SU-1 PRD, located on DELLYNE AVE NW, between MARIPOSA DR NW and VALLE VISTA DR NW containing approximately 4 acre(s). [REF: 04DRB-00377, Z-95-79, Z-98-57, DRB-96-355, 03DRB-01986, 03DRB-01987, 01988, 01989] (Deferred from 5-19-04) (E-11)  
**DEFERRED AT THE AGENT'S REQUEST TO 5-26-04.**
17. **Project # 1002928**  
04DRB-00718 Major-Final Plat  
Approval
- ALDRICH LAND SURVEYING agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Tract(s) D, **TAOS @ THE TRAILS**, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW south of PASEO DEL NORTE NW containing approximately 20 acre(s). [Ref: 03DRB-01532, 01534, 01536, 01429] (Deferred from 5-19-04) (C-9)  
**DEFERRED AT THE AGENT'S REQUEST TO 6-2-04.**



18. **Project # 1002929**  
04DRB-00719 Major-Final Plat  
Approval
- ALDRICH LAND SURVEYING agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Tract(s) C, **SANTA FE @ THE TRAILS**, zoned R-D, located on RAINBOW BLVD NW south of PASEO DEL NORTE NW, containing approximately 17 acre(s). [Ref: 03DRB-01531, 01533, 01535, 01432] (Deferred from 5-19-04) (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 6-2-04.**
19. **Project #\_1002455**  
03DRB-01899 Minor-Final Plat  
Approval
- TIMOTHY M. OTT agent(s) for JOE COTRUZZOLA request(s) the above action(s) for all or a portion of Lot(s) A3B, **J. GROUP ADDITION**, zoned SU -1, C-1, located on SAN ANTONIO RD NE, between I-25 and SAN PEDRO NE containing approximately 10 acre(s). [REF: Z-93-3, DRB-96-452, 03DRB-01654, 03DRB-01655] (Final Plat was indefinitely deferred 11-12-03) (E-18)  
**THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR SIA AND UTILITIES DEVELOPMENT FOR AGIS DXF FILE, FOR REMOVAL OF PUBLIC UTILITY FROM 25-FOOT EASEMENT ALONG SAN ANTONIO AND DEDICATE ELSEWHERE.**
20. **Project # 1000325**  
04DRB-00640 Minor-Ext of SIA for  
Temp Defer SDWK
- TIERRA WEST LLC agent(s) for STILLBROOKE HOMES INC request(s) this action for all or a portion of Lot(s) 1-68, **SPANISH SUN**, zoned SU-1 PRD 15 DU/AC, located on SAN MATEO AVE NE, between MONTGOMERY BLVD NE and DOUGLAS MACARTHUR RD NE. [REF: Z-84-82, Z-84-82-1, Z-84-82-2, Z-84-82-3, Z-78-1651, DRB-99-219] [Deferred from 5/5/04] (G-17)  
**A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

21. **Project # 1003291**  
04DRB-00528 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for JOSEPH & KATHLEEN COWHAM request(s) the above action(s) for all or a portion of Tract(s) 14, M.R.G.C.D. MAP 35, **LANDS OF COWHAM-BOWEN**, zoned R-LT residential zone, located on RIO GRANDE BLVD NW, between CONTRERAS PL NW and MATTHEW AVE NW containing approximately 2 acre(s). [REF: 04DRB-00322] [*Deferred from 4/14/04*] (*Indefinitely deferred on 4-21-04*) (Deferred from 5-19-04) (H-13) **DEFERRED AT THE AGENT'S REQUEST TO 5-26-04.**

**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

22. **Project # 1002520**  
04DRB-00705 Minor-Sketch Plat or Plan

RIO GRANDE ENGINEERING, agent(s) for SCACCIA, LLC request(s) the above action(s) for all or a portion of Lot(s) 15 & 16, Block(s) 4, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, TRACT 2, (to be known as **VILLA DE LA CUEVA**) zoned R-D residential and related uses zone, developing area, 7 DU / AC, located on ALAMEDA BLVD NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). [REF: 03DRB-00356, Z-87-94] (C-19)**THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. **Project # 1003429**  
04DRB-00717 Minor-Sketch Plat or Plan

ISAACSON & ARFMAN, PA, agent(s) for CURB, INC., request(s) the above action(s) for all or a portion of Lot(s) 1, RIO BRAVO PARTNERS, **EL RANCHO GRANDE, UNIT 16**, zoned R-1, located on GIBSON BLVD SW between DELGADO DR SW and BLAKE RD SW containing approximately 120 acre(s). [Ref: DRB-95-440] (N-8) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

24. Approval of the Development Review Board Minutes for May 5, 2004. **THE MAY 5, 2004 DEVELOPMENT REVIEW BOARD MINUTES WERE APPROVED.**

ADJOURNED: 11:25 A.M.

City of Albuquerque  
Development Review Board  
Hydrology Section

Speed Memo

Project no. 1002455

Agenda Item no. 19

Subject:

1. Final plat
- 2.
- 3.
- 4.
- 5.
- 6.

Comments:

SIA pending  
Comments on plat

Resolution:

del to CE & Ud

Signed: Bradley L Bingham  
City Engineer/ AMAFCA Designee

Date: 5/19/04

#19



# DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **03DRB-01899 (FP)**

Project # **1002455**

Project Name: **J. Group Addition**

Agent: Timothy M. Ott

Phone No.: 250-4675

Your request for (SDP for SUB), (SDP for BP), **(FINAL PLATS)**, (MASTER DEVELOP. PLAN), was approved on 5/19/04 by the DRB with delegation of signature(s) to the following departments  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

- TRANSPORTATION: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- UTILITIES: remove - public utility from 25' easement along San Antonio  
AG/SA/xt and dedicate elsewhere.
- \_\_\_\_\_
- \_\_\_\_\_

- CITY ENGINEER / AMAFCA: SIA
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

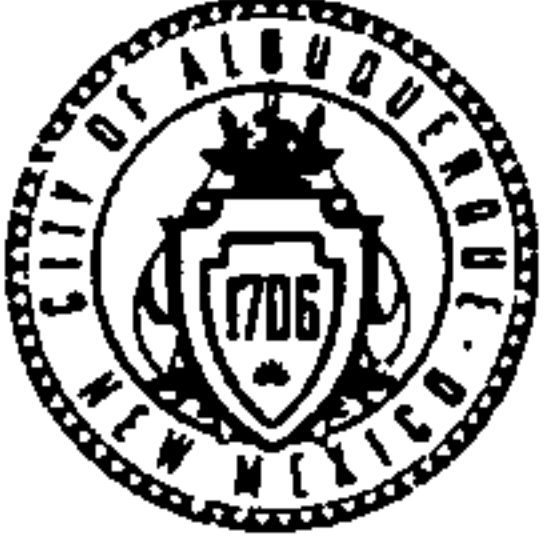
- PARKS / CIP: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- PLANNING (Last to sign): \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

**1002455**



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 12, 2003

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

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**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 12:10 P.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000029**  
03DRB-01785 Major-Preliminary Plat Approval  
03DRB-01786 Major-Vacation of Public Easements  
03DRB-01787 Minor-Sidewalk Waiver  
03DRB-01788 Minor-Temp Defer SDWK

BOHANNAN HUSTON, INC. agent(s) for SAWMILL COMMUNITY LAND & TRUST request(s) the above action(s) for all or a portion of Lot(s) C & B-1-A-1, Duke City Lumber Company Addition and Lot D-1-A of Arbolera De Vida, (to be known as **ARBOLERA DE VIDA, PHASE 2**), zoned S-M1, S-DR, located on BELLAMAH AVE. NW, between 19<sup>th</sup> ST NW and 18<sup>th</sup> ST NW containing approximately 26 acre(s). *[Deferred from 11/12/03]* (H-13) **DEFERRED AT THE AGENT'S REQUEST TO 11/19/03.**

2. **Project # 1000650**  
03DRB-01782 Major-Bulk Land  
Variance  
03DRB-01783 Minor-Prelim&Final Plat  
Approval  
03DRB-01906 Minor-SiteDev Plan  
Subd/EPC

TIERRA WEST LLC agent(s) for WAL-MART STORES INC. request(s) the above action(s) for all or a portion of Tract(s) 1A & 2A, **LANDS OF LAMONICA & WENK**, zoned SU-1,C-1 Perm. Uses, located on COORS BLVD SW, between RIO BRAVO BLVD SW and LAMONICA RD SW containing approximately 21 acre(s). [REF: 03EPC-00905, 00907, 01109 & 01110] **[Carmen Marrone, EPC Case Planner]** *[Deferred from 11/12/03]* (P-10) **DEFERRED AT THE AGENT'S REQUEST TO 11/19/03.**

3. **Project # 1001765**  
03DRB-01781 Major-Bulk Land  
Variance

PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT COMPANY INC. request(s) the above action(s) for all or a portion of Tract(s) UNPLATTED LAND WITHIN SEC 8, T9N, R2E, N.M.P.M., TOWN OF ATRISCO GRANT, (to be known as **ANDERSON HEIGHTS**, zoned C-1, R-LT, located on DENNIS CHAVEZ BLVD SW between COORS BLVD SW and 118<sup>th</sup> ST SW containing approximately 98 acre(s). [REF: 03DRB-01695, 02EPC-00315, 02EPC-00314] (P-8) **THE BULK LAND VARIANCE WAS APPROVED.**

- Project # 1001765**  
03DRB-01695 Minor-Prelim & Final  
Plat Approval

PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT COMPANY INC. request(s) the above action(s) for all or a portion of Tract(s) UNPLATTED, TOWN OF ATRISCO GRANT, zoned C-1, R-LT, located on DENNIS CHAVEZ BLVD SW between DENNIS CHAVEZ BLVD SW and 118TH ST SW containing approximately 98 acre(s). [Project # changed from 1003017 now void] *[Deferred from 10/15/03]* (P-8) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO CITY ENGINEER FOR MODIFICATION OF EASEMENT LANGUAGE AND PLANNING FOR AGIS DXF FILE.**

4. **Project # 1002194**  
03DRB-01778 Major-Preliminary Plat  
Approval

GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) 2, **SUNPORT LODGINGS ADDITION**, zoned R-2 residential zone, located on WELLESLEY DR SE, between KATHRYN AVE SE and ANDERSON AVE SE containing approximately 2 acre(s). [REF: 03DRB-00537] (L-16) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/12/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/8/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: A 20-FOOT PUBLIC DRAINAGE EASEMENT SHALL BE INCORPORATED INTO LOT 7.**

5. **Project # 1002792**  
03DRB-01780 Major-Vacation of  
Public Easements

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH**, zoned SU-1 for C-1 & Rest (ETC) & SU-1,O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s).[REF: 03EPC-01085 & 01086] [*Deferred from 11/12/03*] (B-14) **DEFERRED AT THE AGENT'S REQUEST TO 11/26/03.**



6. **Project # 1002957**  
03DRB-01784 Major-Vacation of  
Public Easements

JEFF MORTENSEN & ASSOCIATES INC. agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) 26A-1, **TAYLOR RANCH**, zoned R-T residential zone, located on TAYLOR RANCH DR NW, between MONTANO RD NW and HOMESTEAD CR NW containing approximately 14 acre(s). [REF: 03DRB-01524 & 01525] (D-11) **VACATION APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH ADDITIONAL CONDITION: PRIOR TO FINAL PLAT APPROVAL A REPLACEMENT TEMPORARY CONSTRUCTION EASEMENT ACCEPTABLE TO THE CITY'S WATER UTILITY DIVISION AND APPROVED BY THE CITY ENGINEER SHALL BE PROVIDED TO BE RECORDED WITH THE COUNTY CLERK BY THE CITY WITH THE FINAL PLAT.**

7. **Project # 1000875**  
03DRB-01747 Major-Preliminary Plat  
Approval  
03DRB-01748 Minor-Temp Defer SDWK

COMMUNITY SCIENCES CORPORATION agent(s) for FINELAND LLC & KB HOME NM request(s) the above action(s) for all or a portion of Tract(s) F & E, FINELAND DEVELOPMENT, (to be known as **CRESTVIEW SUBDIVISION**) zoned SU-1 for R-2, located on MCMAHON BLVD NW, between UNSER BLVD NW and TUSCANY DR NW containing approximately 11 acre(s). [REF: 03EPC-01095, 100875, 100898] [*Deferred from 11/5/03*] (A-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/12/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/12/03 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

8. **Project # 1001816**  
03DRB-01640 Major-Vacation of Pub  
Right-of-Way

JANE CARLTON request(s) the above action(s) for all or a portion of Lot(s) 10, 11 and 12, **NM TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-2 special neighborhood zone, HDA, located on the southside of TIJERAS AVE NW, between 9<sup>th</sup> ST NW AND 10<sup>TH</sup> St NW containing approximately 1 acre(s). [REF: 02LUC-00952, 02CC-00446 & 00950 AP, Z-94-1, LUC92-3] [*Deferred from 10/22/03 & 10/29/03*] (J-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH ADDITIONAL CONDITION: AN INFRASTRUCTURE LIST WILL BE REQUIRED TO REMOVE AND REPLACE THE SIDEWALK.**

9. **Project # 1000922**  
03DRB-01725 Major-Bulk Land Variance  
03DRB-01726 Major-Vacation of Pub  
Right-of-Way  
03DRB-01727 Major-Vacation of Public  
Easements  
03DRB-01728 Minor-Prelim&Final Plat  
Approval

WILSON & COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT, request(s) the above action(s) for all or a portion of **VOLCANO CLIFFS SUBDIVISION, UNIT 20**, LOTS 1-30, BLOCK 1, LOTS 1-38, BLOCK 2, LOTS 1-62, BLOCK 3, LOTS 1-14, BLOCK 4 AND LOTS 1-22, BLOCK 5 AND **VOLCANO CLIFFS SUBDIVISION, UNIT 21**, ALL BLOCKS AND LOTS AND **VOLCANO CLIFFS SUBDIVISION, UNIT 23**, LOTS 1-10, BLOCK 1, LOTS 1-13, BLOCK 2, LOTS 1-21, BLOCK 3, LOTS 1-51, BLOCK 4, LOTS 1-27, BLOCK 5, LOTS 1-6, BLOCK 6, LOTS 1-28, BLOCK 7 AND LOTS 1-7, BLOCK 8 AND **VOLCANO CLIFFS SUBDIVISION, UNIT 27**, LOTS 16-18 AND 22, BLOCK 2, LOTS 1-8, BLOCK 4 AND LOTS 1-7, BLOCK 5, (to be known as **LA CUENTISTA SUBDIVISION**) zoned R-1, located on the east and west sides of Unser Blvd NW (Kimmick) between Urraca NW and Calle Norteña NW, containing approximately 237 acres. [REF: DRB-97-78, V-97-116, 02DRB-01783, 02DRB-01785] (C-10/11 & D-10/11) **THE BULK LAND VARIANCE WAS APPROVED. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT DELEGATED TO PLANNING FOR AGIS DXF FILE AND THE 15-DAY APPEAL PERIOD.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

10. **Project # 1000694**  
03DRB-01897 Minor-SiteDev Plan  
BldPermit/EPC  
03DRB-01898 Minor-Prelim&Final Plat  
Approval
- JCG & ASSOCIATES agent(s) for FAMILY WORSHIP CENTER request(s) the above action(s) for all or a portion of Lot(s) 226-230, **TOWN OF ATRISCO GRANT-AIRPORT UNIT**, zoned SU-1 for Church, located on GLENRIO RD NW, between I-40 and 72<sup>nd</sup> ST NW containing approximately 8 acre(s). [REF: DRB-96-415, DRB-96-313] **[Mary Piscitelli, EPC Case Planner]** *[Deferred from 11/12/03]* (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 11/26/03.**
11. **Project # 1003057**  
03DRB-01902 Minor-Amnd SiteDev Plan  
Subd  
03DRB-01903 Minor-Prelim&Final Plat  
Approval  
03DRB-01904 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES agent(s) for GRAYLAND, INC. request(s) the above action(s) for all or a portion of Tract(s) A-2, **CLIFFORD WEST BUSINESS PARK, UNIT 3**, zoned SU-1 IP, located on UNSER BLVD NW, between LOS VOLCANES RD NW and SAUL BELL RD NW containing approximately 13 acre(s). [REF: 1000918, AA-98-54, Z-97-11, DRB-97-138, S-98-54] *[Deferred from 11/12/03]* (K-9/K-10) **DEFERRED AT THE AGENT'S REQUEST TO 11/19/03.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS

12. **Project # 1002565**  
03DRB-01905 Minor- Minor-Subd Design  
(DPM) Variance
- MARK GOODWIN & ASSOCIATES agent(s) for LOS GRIEGOS DEVELOPMENT, LLC. request(s) the above action(s) for Lots 161A, 161B1, 161B2, 162A, 162B, 163A, 166A, 166B, 167A, MRGCD MAP 31, **VILLA DE LA CAPILLA**, zoned RA-2, located on GRIEGOS RD NW, between SAN ISIDRO ST NW and the GRIEGOS DRAIN containing approximately 5 acre(s). (F-13) **A SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
13. **Project # 1000933**  
03DRB-01895 Minor-Final Plat  
Approval
- BOHANNAN HUSTON, INC. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) B-5, MANZANO MESA, **TERRACITA SUBDIVISION**, zoned R-T residential zone, located on SOUTHERN BLVD SE, between JUAN TABO BLVD SE and SHIRLEY ST SE containing approximately 13 acre(s). [REF: 03DRB-00515, 00516, 00517 & 00518] [Deferred from 11/12/03] (L-21) **DEFERRED AT THE AGENT'S REQUEST TO 11/19/03.**
14. **Project # -1002455**  
03DRB-01899 Minor-Prelim&Final Plat  
Approval
- TIMOTHY M. OTT agent(s) for JOE COTRUZZOLA request(s) the above action(s) for all or a portion of Lot(s) A3B, **J. GROUP ADDITION**, zoned SU -1, C-1, located on SAN ANTONIO RD NE, between I-25 and SAN PEDRO NE containing approximately 10 acre(s). [REF: Z-93-3, DRB-96-452, 03DRB-01654, 03DRB-01655] (E-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/12/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/16/03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

15. **Project # 1002638**  
03DRB-01896 Minor-Prelim&Final Plat  
Approval
- SURVEYS SOUTHWEST, LTD agent(s) for KIET & NGA NGUYEN request(s) the above action(s) for all or a portion of Lot(s) 13, Block(s) 31, **BUENA VENTURA**, zoned R-1 residential zone, located on ALTEZ ST NE, between COPPER AVE. NE and ERBBE ST. NE containing approximately 1 acre(s). [REF: 03DRB-00714] (K-20) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING FOR REAL PROPERTY AND AMAFCA SIGNATURES.**
16. **Project # 1003095**  
03DRB-01900 Minor-Prelim&Final Plat  
Approval
- WAYJOHN SURVEYING INC., agent(s) for PREFERRED BUILDINGS SYSTEMS request(s) the above action(s) for all or a portion of Tract(s) 2-A, **LA MIRADA ADDITION.**, zoned O-1/P, office and institution zone, parking, located on LA MIRADA PL NE, between WYOMING BLVD NE and PENNSYLVANIA ST NE containing approximately 3 acre(s). (G-19) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE.**
17. **Project # 101655**  
03DRB-01887 Minor-Prelim&Final Plat  
Approval
- SURVEYS SOUTHWEST LTD agent(s) for ROSS VANWASSENHOVE request(s) the above action(s) for all or a portion of Lot(s) 23A-1-A-1, Block(s) 14, **PALISADES ADDITION**, zoned R-1, located on GRANDE VISTA NW N, between VISTA GRANDE NW and WARD DR NW containing approximately 2 acre(s). [REF: 01DRB-01840, 02DRB00250, 03-00940] [*Deferred from 11/2/03*] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 11/19/03.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

18. **Project # 1003096**  
03DRB-01901 Minor-Sketch Plat or Plan
- EILEEN DEVEREOX request(s) the above action(s) for all or a portion of Lot(s) 53 - 58, **J. M. MOORE REALTY CO., NO. 1**, zoned SU-2 special neighborhood zone, SMRN / SR, located on the northwest corner of Mountain Rd NW and 8<sup>th</sup> ST NW containing approximately .2662 acre(s). (J-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
19. Approval of the Development Review Board Minutes for October 29, 2003. **THE MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 12:10 P.M.



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

October 29, 2003

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

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**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 2:25 P.M.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000875**  
03DRB-01682 Major- Amended SiteDev Plan Subd  
03DRB-01683 Major-Bulk Land Variance  
03DRB-01684 Minor-Prelim&Final Plat Approval  
03DRB-01686 Major-Vacation of Public Easements  
03DRB-01687 Major-Vacation of Public Easements  
03DRB-01688 Major-Vacation of Public Easements  
03DRB-01689 Minor-Vac of Private Easements
- COMMUNITY SCIENCES CORP agent(s) for FINELAND LLC request(s) the above action(s) for all or a portion of Tract(s) A, B, D, E & F, FINELAND DEVELOPMENT, **CRESTVIEW SUBDIVISION**, zoned SU-1 FOR C-1, SU-1 FOR R-2, located on MCMAHON BLVD NW, between UNSER BLVD NW and STONEBRIDGE DR NW containing approximately 41 acre(s). [REF: 1000875, 01EPC-00503, 01EPC-00504] **[Makita Hill, EPC Case Planner] (A-11/A-12) THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD AND NMUI SIGNATURE. BULK LAND VARIANCE WAS APPROVED. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND 15-DAY APPEAL PERIOD. VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
- 03DRB-01691 Major-SiteDev Plan Subd
- COMMUNITY SCIENCES CORP agent(s) for FINELAND LLC AND KB HOME NM request(s) the above action(s) for all or a portion of Tract(s) E and F, FINELAND DEVELOPMENT, **CRESTVIEW SUBDIVISION**, zoned SU-1 FOR R-2, located on MCMAHON BLVD NW, between UNSER BLVD NW and STONEBRIDGE DR NW containing approximately 11 acre(s). [REF: 1000875, 03EPC-01095 & 1002793] **[Makita Hill, EPC Case Planner] (A-11/A-12) SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CORRECTIONS TO MATCH THE GRADING AND DRAINAGE PLAN.**



2. **Project # 1001279**  
03DRB-01693 Major-SiteDev Plan Subd

COMMUNITY SCIENCES CORP agent(s) for MARK GONZALES request(s) the above action(s) for all or a portion of Tract(s) 16-A-1, **PARADISE NORTH SUBDIVISION**, zoned SU-1 FOR C-1, located on UNSER BLVD NW, between BANDELIER DR NW and MCMAHON BLVD NW, containing approximately 10 acre(s). [REF: 1001279, 03EPC-01155, 03EPC-01093] **[Makita Hill, EPC Case Planner] (A-11) SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CONCEPTUAL GRADING AND DRAINAGE PLAN AND PLANNING FOR SIGNAGE ISSUES WITH REGARD TO THE SITE PLAN AND REMOVAL OF PARAGRAPH 3-SHEET 2 OF ROADWAY LAYOUT.**

3. **Project # 1003014**  
03DRB-01679 Major-Bulk Land Variance  
03DRB-01680 Minor-Prelim&Final Plat  
Approval

COMMUNITY SCIENCES CORP. agent(s) for CURB INC., SALAZAR FAMILY TRUST, SALAZAR QUATTRO TRUST, JSJ INVESTMENT CO AND FALBA HANNETT, request(s) the above action(s) for all or a portion of Tract(s) 4A; E2&3 Tr. 31A-1, 32H-1, 33C-1 & 34D-1 of the Vacation & Bulk Land Plat for **THE SALAZAR FAMILY TRUST, SALAZAR QUATTRO TRUST, JSJ INVESTMENT CO. & FALBA HANNETT, SALAZAR- DAVIS TRACTS; ALBUQUERQUE SOUTH, UNIT 3**, zoned R-LT residential zone, RIO BRAVO SECTOR PLAN, located on GIBSON BLVD SW, between 98<sup>TH</sup> ST SW and 118<sup>TH</sup> ST SW containing approximately 129 acre(s). [REF: 1001896, 02 – 00607 & 608, 1001594 / 02DRB-01621 BLV, 02DRB-01623 & 01622, Z-99-58, SPR-95-2-2] (N-8/N-9) **BULK LAND VARIANCE WAS APPROVED. PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND 15-DAY APPEAL PERIOD.**

4. **Project # 1001626**  
03DRB-01659 Major-Bulk Land Variance  
03DRB-01660 Minor-Prelim&Final Plat  
Approval
- SURVEYS SOUTHWEST LTD. agent(s) for JOHN BLOOMFIELD request(s) the above action(s) for East portion of Tract 111, Unit(s) 6, **TOWN OF ATRISCO GRANT**, zoned SU-1, PRD (20 DU/AC), located on DELIA RD SW, between BATAAN DR SW and 69<sup>TH</sup> ST SW containing approximately 4 acre(s). [REF:Z-79-20, 03DRB 00053, 02DRB 00498 & 1002421] (K-10) **BULK LAND VARIANCE WAS APPROVED. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD AND AGIS DXF FILE.**
5. **Project # 1003016**  
03DRB-01690 Major-Vacation of Pub  
Right-of-Way
- SURVEYS SOUTHWEST, LTD. agent(s) for ROBERT DAVIS request(s) the above action(s) for all or a portion of Block(s) A, Tract(s) A, **DEL MAR TERRACE**, zoned C-1 neighborhood commercial zone, located on COMANCHE RD NE, between WYOMING BLVD NE and GENERAL BRADLEY ST NE containing approximately 3 acre(s). [REF: ZA-96-98] [Deferred from 10/29/03] (G-20) **DEFERRED AT THE AGENT'S REQUEST TO 12/10/03.**
6. **Project # 1002321**  
03DRB-01662 Major-SiteDev Plan  
BldPermit
- BOHANNAN HUSTON, INC. agent(s) for OPUS WEST CORPORATION, request(s) the above action(s) for all or a portion of Lot(s) 11, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on WASHINGTON ST NE, between MASTHEAD ST NE and RUTLEDGE RD NE containing approximately 10 acre(s). [REF: 02DRB-01663 SK, 02DRB-01722 PP, 02DRB-01726, 03DRB-00478] (D-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PEDESTRIAN ACCESS ON WASHINGTON AND WOLCOTT.**

7. **Project # 1002851**  
03DRB-01637 Major-Preliminary Plat  
Approval

ABQ ENGINEERING INC. agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of East ½ Tract(s) 4, ALVARADO GARDENS, (TO BE KNOWN AS LA PLAZA ACEQUIA SUBDIVISION) zoned R-2, located on CANDELARIA NW, between GLENWOOD RD NW and the DURANES LATERAL containing approximately 2 acre(s). (G-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/29/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/16/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: THE EASEMENT ALONG CANDELARIA BETWEEN CANDELARIA AND THE PROPERTY BE IDENTIFIED. AS A RESULT, EITHER A 24-FOOT DRIVEWAY ACCESS EASEMENT ACROSS THE UNIDENTIFIED EASEMENTS BE SHOWN ON THE FINAL PLAT OR THE PROPOSED UNIDENTIFIED EASEMENT BE VACATED.**

8. **Project # 1001816**  
03DRB-01640 Major-Vacation of Pub  
Right-of-Way

JANE CARLTON request(s) the above action(s) for all or a portion of Lot(s) 10, 11 and 12, **NM TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-2 special neighborhood zone, HDA, located on the southside of TIJERAS AVE NW, between 9<sup>th</sup> ST NW AND 10<sup>TH</sup> St NW containing approximately 1 acre(s). [REF: 02LUC-00952, 02CC-00446 & 00950 AP, Z-94-1, LUC92-3] *[Deferred from 10/22/03 & 10/29/03]* (J-13) **DEFERRED AT THE AGENT'S REQUEST TO 11/12/03.**

9. **Project # 1000965**  
03DRB-01559 Major-Bulk Land Variance  
03DRB-01560 Major-Vacation of Pub  
Right-of-Way  
03DRB-01561 Major-Vacation of Public  
Easements  
03DRB-01562 Minor-Vacation of Private  
Easements  
03DRB-01565 Major-Preliminary Plat  
Approval  
03DRB-01563 Minor-Temp Defer SDWK  
03DRB-01564 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO., INC. request(s) the above action(s) for all or a portion of Tract(s) 1, LANDS OF RAY GRAHAM III (to be known as **ANDALUCIA @ LA LUZ**) zoned SU-1-PRD 10 DU/A & Grazing, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 85 acre(s). [REF: 03EPC-01105] [Deferred from 10/15/03] (F-11) **THE BULK LAND VARIANCE WAS APPROVED. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/29/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/28/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: INCLUDE PUBLIC STORM DRAIN EASEMENTS TO THE CITY OF ALBUQUERQUE WHERE APPLICANT IS CONSTRUCTING STORM DRAINS. APPROVAL OF DESIGN ELEVATIONS AND CROSS SECTIONS OF PERIMETER WALLS BY THE DRB CHAIR. INDIVIDUAL LOTS SIZES NEED TO BE SHOWN ON THE FINAL PLAT. THE CUL-DE-SAC ON LA BIENVENIDA WILL BE MOVED TO THE EAST END OF THE EXISTING STREET. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE WAS APPROVED AS SHOWN ON EXHIBIT C FOR WAIVER OF SIDEWALKS.**

- 03DRB-01714 Minor-SiteDev Plan  
BldPermit/EPC  
03DRB-01715 Minor-SiteDev Plan  
Subd/EPC

CONSENSUS PLANNING INC. agent(s) for ASW REALTY PARTNERS request(s) the above action(s) for TRACTS 1, 2, 3, 4, 5, 6A, 6B, A, LANDS OF RAY A GRAHAM III, OVENWEST AND CITY OF ALBUQUERQUE, (to be known as **ANDALUCIA @ LA LUZ**) zoned SU-1 PRD, C-2, O-1, located on COORS BLVD NW between MONTANO RD NW and NAMASTE RD NW, containing approximately 230 acre(s). [REF: 1000965, 03EPC-01103, 03EPC-01105] [Juanita Vigil, EPC Case Planner] *Deferred from 10/15/03* (E-12/F-11 & 12) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD. SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

10. **Project # 1001939**  
03DRB-00753 Major-Vacation of  
Public Easements  
03DRB-00752 Major-Preliminary Plat  
Approval  
03DRB-00788 Minor-Temp Defer  
SDWK

WILSON & COMPANY INC agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) A1B, **The Crossing - Unit 3**, Tract A, **CIELO OESTE**, zoned R-D, located on GUNNISON PL NW, between UNSER BLVD NW and 98TH ST NW containing approximately 15 acre(s). [REF: 1000150, 1000207, 1000515, 1001939] [*Deferred from 6/4/03, 6/18/03 AND 6/25/03 and 10/29/03*] (H-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/29/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/23/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: THE AMAFCA EASEMENTS SHALL BE VACATED THROUGH THE AMAFCA BOARD PRIOR TO FINAL PLAT APPROVAL. PUBLIC ROADWAY EASEMENTS THROUGH LOT 2A SHALL BE OBTAINED PRIOR TO FINAL PLAT APPROVAL. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

11. **Project # 1001523**  
03DRB-00899 Minor-Amnd SiteDev Plan  
Subd

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH STREET PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for Light Industrial, located on UNSER BLVD NW between 98TH ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: 01EPC-01405, 02DRB-00518, 03DRB-00755] [*Deferred from 6/11/03, 7/9/03 & 7/30/03*] (H-10) **WITHDRAWN AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

12. **Project # 1002459**  
03DRB-01758 Minor-SiteDev Plan  
Subd/EPC  
03DRB-01759 Minor-SiteDev Plan  
BldPermit/EPC  
03DRB-01760 Minor – Prelim & Final Plat  
Approval
- TIERRA WEST LLC agent(s) for SCM PROPERTY COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) 358 & 359 and A21, W H BRUNELL ADDITION & UNIT 8 ATRISCO GRANT, (to be known as QUAIL RIDGE) zoned SU-1 COMM DEV C-2 USES & TRUCK TERMINAL, located COORS BLVD NW, between OURAY RD NW and QUAIL RD NW containing approximately 8 acre(s). [REF: Z-71-204, Z-77-155, 03EPC-00159, 03EPC-00160, 1002459] [Juanita Vigil, EPC Case Planner] [Deferred from 10/22/03] (H-11) THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR SIGN ISSUES. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR SIGN ISSUES. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/29/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/26/03 THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR COVENANTS AND TO PLANNING FOR AGIS DXF FILE.
13. **Project # ~~1002455~~**  
03DRB-01654 Minor-SiteDev Plan  
Subd/EPC  
03DRB-01655 Minor-Sketch Plat or Plan
- TIMOTHY M. OTT agent(s) for JOE COTRUZZOLA request(s) the above action(s) for all or a portion of Lot(s) A3B, J GROUP ADDITION, zoned SU-1, C-1, located on SAN ANTONIO NE, between I-25 and SAN PEDRO NE containing approximately 10 acre(s). [DEBBIE STOVER, EPC CASE PLANNER] [Deferred from 10/8/03 & 10/22/03] (E-18) SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.

14. **Project # 1001864**  
03DRB-01229 Minor-SiteDev Plan  
BldPermit/EPC

JUNIPER DESIGN agent(s) for S. G. PROPERTIES request(s) the above action(s) for all or a portion of Tract(s) F-1, Block(s) 1, **COUNTRY CLUB SUBDIVISION**, zoned SU-2 special neighborhood zone, MD-1, located on DR MARTIN LUTHER KING JR AVE NE, between MULBERRY ST NE and CEDAR ST NE containing approximately 1 acre(s). [REF: 02EPC-01120] [**DEBBIE STOVER, EPC CASE PLANNER**] (*Was Indefinitely Deferred 7/30/03 & 10/15/03*) (K-15) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR PARK DEDICATION AND PLANNING FOR COMPARISON TO EPC PLAN AND CONDITIONS.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

15. **Project # 1000131**  
03DRB-01807 Minor-Ext of SIA for Temp  
Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for BROADWAY DEVELOPMENT CORPORATION, request(s) the above action(s) for **BROADWAY INDUSTRIAL CENTER, UNIT 1**, zoned SU-2 HM, located on SAN JOSE AVE SE, between BROADWAY BLVD SE and I-25 SE containing approximately 60 acre(s). [REF: 03DRB-01513, 02DRB-01897, 02DRB-01898, DRB-97-271] (M-14) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

16. **Project # 1001205**  
03DRB-01779 Minor-Prelim&Final Plat  
Approval

ISAACSON & ARFMAN, P. A. agent(s) for FULLER HOMES, INC. request(s) the above action(s) for all or a portion of Lot(s) 32 & 33, Block(s) B, **PARADISE RIDGE**, zoned R-LT residential zone, located on MANSFIELD PL NW, between BRUNSWICK PL NW and PRESTIGE CT NW containing approximately 0.3412 acre(s). [REF: 03DRB-00019, 02DRB-00182, 02DRB-00341, 01138-00555, 01110-00554, DRB-96-350] (B-11) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

17. **Project # 1002511**  
03DRB-01805 Minor-Final Plat Approval
- ISAACSON & ARFMAN, P.A. agent(s) for KB HOMES request(s) the above action(s) for all or a portion of Lot(s) 2-A, **UNSER DIVERSION CHANNEL CORRIDOR**, zoned RLT, located on BLUEWATER RD NW, between UNSER BLVD NW and 90<sup>th</sup> ST NW containing approximately 29 acre(s). [REF: 03DRB-01578, 03DRB-01580, 03DRB-00858, 59, 60& 61, 03EPC-00316] (K-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CLEAN UP OF EASEMENT NOTES AND PLANNING FOR AGIS DXF FILE AND APPROVAL OF DESIGN ELEVATIONS AND CROSS SECTIONS FOR PERIMETER WALLS BY THE DRB CHAIR AND FOR PARK DEDICATION FEE.**
18. **Project # 1001825**  
03DRB-01809 Minor-Prelim&Final Plat Approval
- PRECISION SURVEYS INC. agent(s) for YOUTH DEVELOPMENT INC., request(s) the above action(s) for all or a portion of Lot(s) 1-4 and north portion of Lot(s) 15, Block(s) 15, **FRANCISCO ARMIJO Y OTERO ADDITION**, zoned SU-3, located on 1<sup>st</sup> St NW between ROMA NW AND GRAND NW, containing approximately .5998 acre(s). [Listed under Project #1003056 in error] [REF: ZA-85-81, V-86-121, 02400-00448, 02DRB-01557] [*Deferred from 10/29/03*] (J-14) **DEFERRED AT THE AGENT'S REQUEST TO 11/5/03.**
19. **Project # 1000150**  
03DRB-01767 Major-Final Plat Approval
- BOHANNAN HUSTON, INC. agent(s) for WESTLAND DEVELOPMENT CO., INC. request(s) the above action(s) for all or a portion of Tract(s) A, **THE CROSSING, UNIT 2B**, zoned RD, located on GUNNISON PL NW, between CASA VERDE AVE. NW and GALATIN CT. NW containing approximately 13 acre(s). [REF: 03DRB 00284, DRB 95-537] [*Deferred from 10/22/03*] (H-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR REVIEW OF PUE RELEASE AND RECORDING PRIOR TO PLAT SIGN OFF.**



20. **Project # 1001222**  
03DRB-01769 Minor-Prelim&Final Plat  
Approval

WAYJOHN SURVEYING INC. agent(s) for TOM NICKOLSON (NICKOLSON FAMILY PARTNERSHIP) request(s) the above action(s) for all or a portion of Tract(s) 3-A, **SHELL SUBDIVISION, NO. 2**, zoned C-2 community commercial zone, located on COORS BLVD NW, between ILIFF RD NW and HANOVER NW containing approximately 3 acre(s). [REF: 01DRB-00587] *Deferred from 10/22/03* (H-11) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

21. **Project # 1003054**  
03DRB-01804 Minor-Sketch Plat or Plan

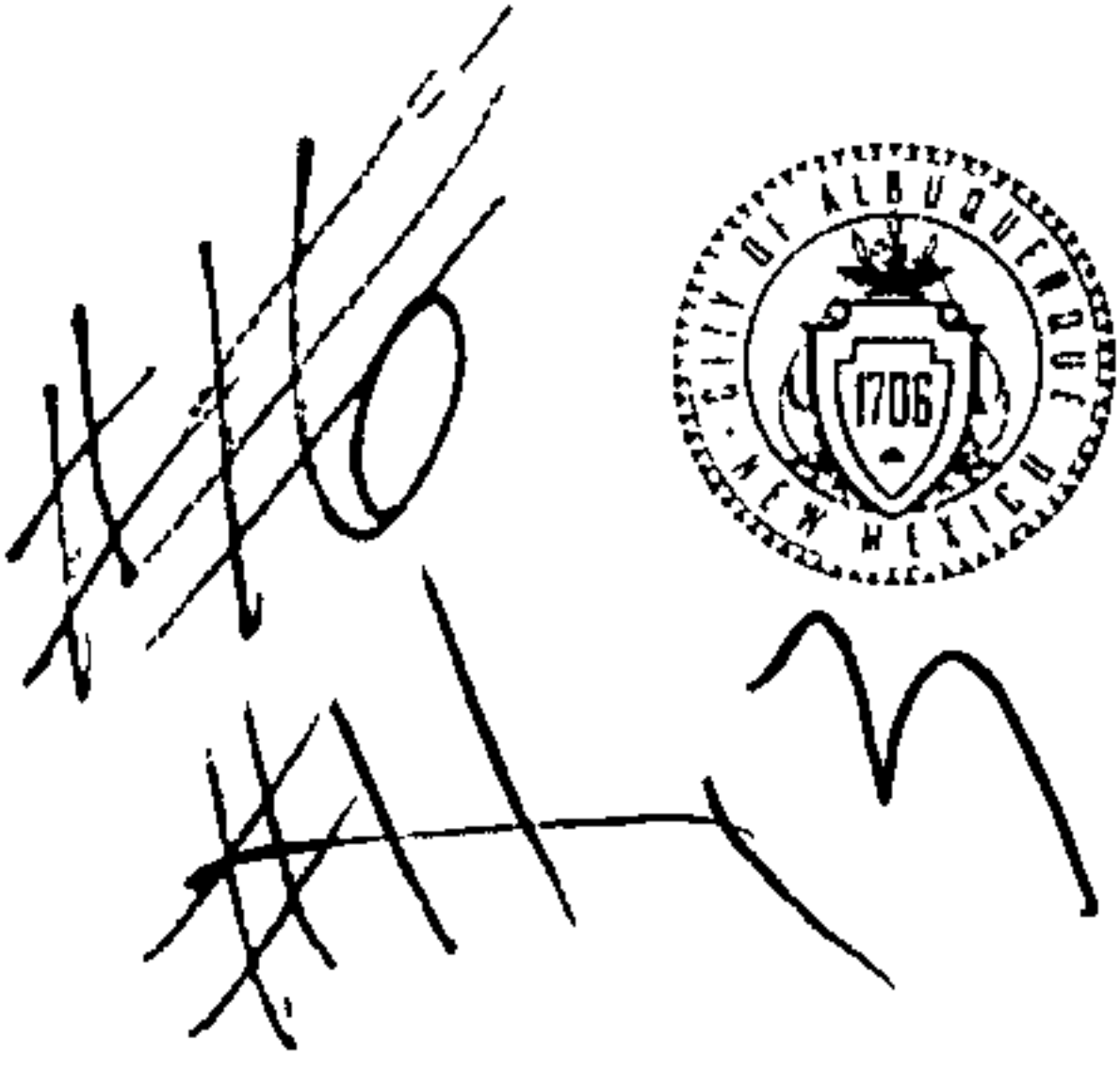
FORSTBAUER SURVEYING LLC agent(s) for AMERICUS, LLC request(s) the above action(s) for all or a portion of Lot(s) 36 & 37, **RICHFIELD PARK**, zoned IP industrial park zone, located on WASHINGTON ST NE and ADAMS ST NE, between JEFFERSON ST NE and the NORTH DIVERSION CHANNEL containing approximately 2 acre(s). [REF:DRB-94-339, Z-82-86] (C-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1003057**  
03DRB-01810 Minor-Sketch Plat or Plan

MARK GOODWIN & ASSOCIATES agent(s) for GRAYLAND INC. request(s) the above action(s) for all or a portion of Lot(s) A-2, **CLIFFORD WEST BUSINESS PARK**, zoned SU-1, IP, located on UNSER BLVD NW, between LOS VOLCANES NW and SAUL BELL RD NW containing approximately 13 acre(s). [REF: DRB-97-138, S-98-54] (K-9/K-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. **Project # 1002794**  
03DRB-01777 Minor-Sketch Plat or Plan
- WILSON & COMPANY, INC. agent(s) for LONGFORD HOMES OF NM, INC. request(s) the above action(s) for all or a portion of Tract(s) 1, **TOWN OF ATRISCO GRANT**, zoned C-2 community commercial zone, located on DEVARGAS RD NW, between 98<sup>th</sup> ST SW and the SNOW VISTA DIVERSION CHANNEL containing approximately 13 acre(s). [REF: 03EPC-01096, 03EPC-01097] (M-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
24. **Project # 1003051**  
03DRB-01801 Minor-Sketch Plat or Plan
- RAY BACA agent(s) for COSME OLGUIN request(s) the above action(s) for all or a portion of Tract(s) 106 D5, **MRGCD MAP #31**, zoned RA-2 residential and agricultural zone, located on RIO GRANDE BLVD NW AND ELFEGO RD NW between GRIEGOS RD NW and CANDELARIA RD NW containing approximately .5339 acre(s). (F-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
25. Approval of the Development Review Board Minutes for October 15, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 2:25 P.M.



## DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-01654 (SPS)

Project # 1002455

Project Name: J GROUP ADDITION

EPC Application No.:

Agent: Timothy Ott

Phone No.:

Your request for (SDP for SUB) (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/29/03 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

- TRANSPORTATION: \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
- UTILITIES: \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
- PARKS / CIP: \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
- PLANNING (Last to sign): \_\_\_\_\_
  - Planning must record this plat. Please submit the following items:**
    - The original plat and a mylar copy for the County Clerk.
    - Tax certificate from the County Treasurer.
    - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
    - Tax printout from the County Assessor.
  - Include 3 copies of the approved site plan along with the originals.**
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
  - Property Management's signature must be obtained prior to Planning Department's signature.**
  - Copy of final plat AND a DXF File for AGIS is required.**
  - Copy of recorded plat for Planning.**

Project Number

1002455

13



# DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <b>03-01769 (P&amp;F)</b>	Project # <b>1001222</b>
Project Name: <b>SHELL SUBDIVISION NO. 2</b>	EPC Application No.:
Agent: <b>Wayjohn Surveying Inc.</b>	Phone No.:

Your request for (SDP for SUB), (SDP for BP), **(FINAL PLATS)**, (MASTER DEVELOP. PLAN), was approved on 10/22/03 by the DRB with delegation of signature(s) to the following departments  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): \_\_\_\_\_  
 **Planning must record this plat. Please submit the following items:**  
 -The original plat and a mylar copy for the County Clerk.  
 -Tax certificate from the County Treasurer.  
 -Recording fee (checks payable to the County Clerk). RECORDED DATE. \_\_\_\_\_  
 -Tax printout from the County Assessor.  
 **Include 3 copies of the approved site plan along with the originals.**  
 **County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**  
 **Property Management's signature must be obtained prior to Planning Department's signature.**  
 **Copy of final plat AND a DXF File for AGIS is required.** *Approved*  
 **Copy of recorded plat for Planning.**

X

Project Number

1001222



**City of Albuquerque**  
**CITY OF ALBUQUERQUE**  
P.O. BOX 1299 ALBUQUERQUE, NEW MEXICO 87103  
**PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT SERVICE**  
**HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 13**

**SUBJECT:**

- |                                |                                 |                                     |
|--------------------------------|---------------------------------|-------------------------------------|
| <b>(01)</b> Sketch Plat/Plan   | <b>(05)</b> Site Plan for Subd  | <b>(10)</b> Sector Dev Plan         |
| <b>(02)</b> Bulk Land Variance | <b>(06)</b> Site Plan for BP    | <b>(11)</b> Grading Plan            |
| <b>(03)</b> Sidewalk Variance  | <b>(07)</b> Vacation            | <b>(12)</b> SIA Extension           |
| <b>(03a)</b> Sidewalk Deferral | <b>(08)</b> Final Plat          | <b>(13)</b> Master Development Plan |
| <b>(04)</b> Preliminary Plat   | <b>(09)</b> Infrastructure List | <b>(14)</b> Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

No adverse comments.

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

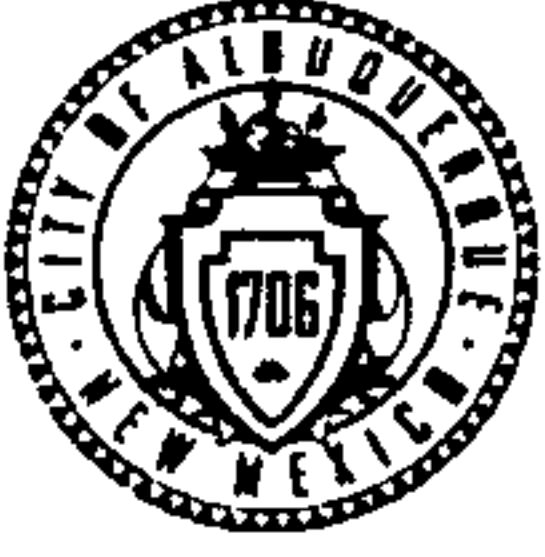
SIGNED-OFF: (SEC-PLN) **(SP-SUB)** (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** October 29, 2003



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

October 22, 2003

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.**

**NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.**

**NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.**

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:20 P.M.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1002640**  
03DRB-01574 Minor-Amnd Prelim Plat Approval  
03DRB-00724 Major-SiteDev Plan Subd  
03DRB-00725 Minor-Subd Design (DPM) Variance  
03DRB-00726 Minor-Sidewalk Variance  
03DRB-00728 Minor-Temp Defer SDWK
- ISAACSON & ARFMAN agent(s) for BOYHAHN, LLC request(s) the above action(s) for all or a portion of Block(s) 3, Lot(s) 22-32, Tract(s) 2, NORTH ALBUQUERQUE ACRES, VISTA DEL AGUILA SUBDIVISION, UNIT 3, zoned RD (7 DU/AC), located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE, containing approximately 11 acre(s). [REF: 03DRB-00723, AP-03EPC-01242] [REMAND FROM EPC] [Deferred from 10/15/03] (C-19) THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH CONDITION OF FINAL PLAT: DISPOSITION OF THE PEDESTRIAN RIGHT-OF-WAY BE ADDRESSED AT FINAL PLAT BY EITHER AN EASEMENT ON THE ADJACENT LOT OR A TRACT DESIGNATED TO A HOMEOWNERS ASSOCIATION FOR MAINTENANCE. THE AMENDED INFRASTRUCTURE LIST DATED 10/22/03 WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO PLANNING FOR DESIGNATED TREES AND APPROVAL OF DESIGN ELEVATIONS AND CROSS SECTIONS OF PERIMETER WALLS BY THE DRB CHAIR. A SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS INDICATED IN EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

2. **Project # 1001656**  
03DRB-01591 Major-Bulk Land Variance  
03DRB-01592 Minor-Prelim&Final Plat  
Approval

SANTIAGO ROMERO JR. agent(s) for CITY OF ALBUQUERQUE, LINDA ADAMSKO request(s) the above action(s) for all or a portion of Tract(s) O & N, **DOUBLE EAGLE AIRPORT II**, zoned SU-1 special use zone, AIRPORT & RELATED FACILITIES, located NORTHWEST OF DOUBLE EAGLE AIRPORT NW, containing approximately 591 acre(s). [REF: 01EPC-01875, 03EPC-00915 & 16] *[Deferred from 10/22/03]* (C-4 & D-4) **DEFERRED AT THE AGENT'S REQUEST TO 11/5/03.**
  
3. **Project # 1001816**  
03DRB-01640 Major-Vacation of Pub  
Right-of-Way

JANE CARLTON request(s) the above action(s) for all or a portion of Lot(s) 10, 11 and 12, **NM TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-2 special neighborhood zone, HDA, located on the southside of TIJERAS AVE NW, between 9<sup>th</sup> ST NW AND 10<sup>TH</sup> St NW containing approximately 1 acre(s). [REF: 02LUC-00952, 02CC-00446 & 00950 AP, Z-94-1, LUC92-3] *[Deferred from 10/22/03]* (J-13) **DEFERRED AT THE AGENT'S REQUEST TO 10/29/03.**
  
4. **Project # 1002714**  
03DRB-01634 Major-Vacation of Pub  
Right-of-Way

TIERRA WEST LLC agent(s) for ZANGARA DODGE request(s) the above action(s) for all or a portion of **EAST END ADDITION**, zoned C-2 community commercial zone, located on VIRGINIA ST NE, between LOMAS BLVD NE and MARBLE ST NE containing approximately ¼ acre(s). [REF: 03EPC-00917] (J-19) **WITHDRAWN AT THE AGENT'S REQUEST.**



5. **Project # 1003002**  
03DRB-01635 Major-Vacation of Pub  
Right-of-Way
- SURVEYS SOUTHWEST, LTD. agent(s) for DON HANOSH request(s) the above action(s) for all or a portion of Lot(s) 9-12, Block(s) 23, **CANADA VILLAGE, FIRST UNIT**, zoned C-2 community commercial zone, (SC) located south of CENTRAL AVE SE, and west of DORADO PL SE containing approximately 0.11 acre(s). [REF: ZA-76-273] (L-22) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
6. **Project # 1002962**  
03DRB-01527 Major-Bulk Land Variance  
03DRB-01528 Minor-Prelim&Final Plat  
Approval  
03DRB-01529 Major-Vacation of Public  
Easements  
03DRB-01530 Major-SiteDev Plan Subd
- BOHANNAN HUSTON INC & DENISH-KLINE ASSOCIATES, agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 4 (to be known as **TRACT 4, BLACK RANCH**, zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 100 acre(s). [REF: 03DRB-01432 (SK), 03DRB-01429 (SK)] [*Deferred from 10/8/03*] (C-9) **THE BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**
7. **Project # 1002960**  
03DRB-01537 Major-Preliminary Plat  
Approval  
03DRB-01538 Major-Vacation of Pub  
Right-of-Way  
03DRB-01539 Major-Vacation of Public  
Easements  
03DRB-01540 Minor-Temp Defer SDWK  
03DRB-01541 Minor-Sidewalk Waiver
- MARK GOODWIN & ASSOCIATES, agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Tract(s) J-2-A (to be known as **SUNDORO SOUTH, UNITS 1, 2 & 3**) WESTLAND NORTH SUBDIVISION, zoned SU-2 / R-LT, located on 98<sup>TH</sup> ST NW, between I-40 NW and LADERA DR NW containing approximately 35 acre(s). [*Deferred from 10/8/03 & 10/22/03*] (J-8) **DEFERRED AT THE AGENT'S REQUEST TO 11/5/03.**

8. **Project # 1002949**  
03DRB-01492 Minor-Preliminary Plat Approval  
03DRB-01493 Major-Vacation of Pub Right-of-Way  
03DRB-01494 Minor-Sidewalk Waiver  
03DRB-01496 Minor-Temp Defer SDWK

ISAACSON AND ARFMAN, P.A. agent(s) for JAMES CRABTREE request(s) the above action(s) for all or a portion of Tract(s) 1, Block(s) 10A, Unit(s) 3, VOLCANO CLIFFS SUBDIVISION, (to be known as PETROGLYPH PARK) zoned O-1 office and institution zone, located on SANTO DOMINGO NW, between UNSER BLVD NW and PIMA AVE NW containing approximately 2 acre(s). [Deferred from 10/1/03 & 10/8/03] (E-10) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/22/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/3/03 THE PRELIMINARY PLAT WAS APPROVED. THE VACATION OF RIGHT-OF-WAY WAS WITHDRAWN AT THE AGENT'S REQUEST. THE SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

9. **Project # 1002635**  
03DRB-01755 Minor-SiteDev Plan  
BldPermit/EPC

CONSENSUS PLANNING INC agent(s) for TRICOR SOUTHWEST CORPORATION, request(s) the above action(s) for all or a portion of Tract(s) 1 (to be known as LANDS OF CANDELARIA & TRAMWAY NE), SECTION 3 T10N R4E, zoned SU1-Neighborhood Commercial, located on CANDELARIA RD NE, between TRAMWAY BLVD NE and MOUNTAINSIDE PARKWAY NE containing approximately 3 acre(s). [REF: 03EPC-00702] [Juanita Vigil, EPC Case Planner] (H-22) THE AMENDED INFRASTRUCTURE LIST DATED 10/22/03 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PEDESTRIAN WALKWAY, HOME OWNER'S ASSOCIATION APPROVAL AND THE APPEAL DEADLINE OF 10/29/03.

10. **Project # 1002459**  
03DRB-01758 Minor-SiteDev Plan  
Subd/EPC  
03DRB-01759 Minor-SiteDev Plan  
BldPermit/EPC  
03DRB-01760 Minor – Prelim & Final Plat  
Approval

TIERRA WEST LLC agent(s) for SCM PROPERTY COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) 358 & 359 and A21, W H BRUNELL ADDITION & UNIT 8 ATRISCO GRANT, (to be known as **QUAIL RIDGE**) zoned SU-1 COMM DEV C-2 USES & TRUCK TERMINAL, located COORS BLVD NW, between OURAY RD NW and QUAIL RD NW containing approximately 8 acre(s). [REF: Z-71-204, Z-77-155, 03EPC-00159, 03EPC-00160, 1002459] [**Juanita Vigil, EPC Case Planner**] [*Deferred from 10/22/03*] (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 10/29/03.**

11. ~~**Project # 1002455**~~  
03DRB-01654 Minor-SiteDev Plan  
Subd/EPC  
03DRB-01655 Minor-Sketch Plat or Plan

TIMOTHY M. OTT agent(s) for JOE COTRUZZOLA request(s) the above action(s) for all or a portion of Lot(s) A3B, **J GROUP ADDITION**, zoned SU-1, C-1, located on SAN ANTONIO NE, between I-25 and SAN PEDRO NE containing approximately 10 acre(s). [**DEBBIE STOVER, EPC CASE PLANNER**] [*Deferred from 10/8/03 & 10/22/03*] (E-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/29/03.**

#### MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS

12. **Project # 1000150**  
03DRB-01767 Major-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for WESTLAND DEVELOPMENT CO., INC. request(s) the above action(s) for all or a portion of Tract(s) A, **THE CROSSING, UNIT 2B**, zoned RD, located on GUNNISON PL NW, between CASA VERDE AVE. NW and GALATIN CT. NW containing approximately 13 acre(s). [REF: 03DRB 00284, DRB 95-537] [*Deferred from 10/22/03*] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/29/03.**

13. **Project # 1001222**  
03DRB-01769 Minor-Prelim&Final Plat  
Approval

WAYJOHN SURVEYING INC. agent(s) for TOM NICKOLSON (NICKOLSON FAMILY PARTNERSHIP) request(s) the above action(s) for all or a portion of Tract(s) 3-A, **SHELL SUBDIVISION, NO. 2**, zoned C-2 community commercial zone, located on COORS BLVD NW, between ILIFF RD NW and HANOVER NW containing approximately 3 acre(s). [REF: 01DRB-00587] *Deferred from 10/22/03* (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 10/29/03.**

14. **Project # 1001875**  
03DRB-01762 Minor-Extension of  
Preliminary Plat

TIERRA WEST LLC agent(s) for ARGUS DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 2, **KINSCHERFF & UNPLATTED LAND IN PRESLEY COMPANY OF NEW MEXICO**, zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAIL NW and the SAN ANTONIO ARROYO containing approximately 22 acre(s). [REF: Z-71-124, 02DRB-00570, 02EPC-00837, 02EPC-00838, 02DRB-01493, 1001875] (F-11) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

15. **Project # 1003036**  
03DRB-01765 Minor-Prelim&Final Plat  
Approval

ADVANCED ENGINEERING & CONSULTING, LLC agent(s) for CARMEN M. ALCANTAR request(s) the above action(s) for all or a portion of Lot(s) 14-A & 14-B, Block(s) 1, **LA MARIPOSA SOUTH**, zoned R-1 residential zone, located on VISTA DE LUZ NW, between DELLYNE AVE NW and CAMINO VIENTO, NW containing approximately 0.4431 acre(s). [REF: DRB-95-259] (F-11) **THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

16. **Project # 1003027**  
03DRB-01721 Minor-Sketch Plat or Plan
- THOMPSON ENGINEERING CONSULTANTS INC., agent(s) for INTERFIRST PROPERTIES INC request(s) the above action(s) for all or a portion of Lot(s) 3, 4 & 5, Block(s) 4, Tract(s) 2, Unit(s) 3, **NORTH ALBUQUERQUE ACRES, TRACT 2**, zoned R-D residential and related uses zone, developing area, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 3 acre(s). (C-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
17. **Project # 1003034**  
03DRB-01761 Minor-Sketch Plat or Plan
- SURVEYS SOUTHWEST, LTD. agent(s) for JOHN MAHONEY request(s) the above action(s) for all or a portion of Lot(s) 11A & 11B, Block(s) 20, **BROWNEWELL & LAIL'S HIGHLAND ADDITION**, zoned SU-2 special neighborhood zone, MD-1, located on COPPER AVE NE, between CEDAR ST NE and SPRUCE ST NE containing approximately 0.1630 acre(s). [REF: DRB-96-163] (K-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
18. **Project # 1003037**  
03DRB-01768 Minor-Sketch Plat or Plan
- RUTH SARA ROSENSTEIN request(s) the above action(s) for all or a portion of Lot(s) 17-20, Block(s) 39, **PEREA ADDITION**, zoned SU-2 TH, located on 12<sup>th</sup> ST NW, between GRANITE NW and MARBLE NW containing approximately 1 acre(s). [REF: DRB-96-451] (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1003038**  
03DRB-01770 Minor-Sketch Plat or Plan

LARRY READ & ASSOCIATES, INC agent(s) for EAGLE ROCK DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 2, Tract(s) 3, **NORTH ALBUQUERQUE ACRES - UNIT 3**, zoned RD (3DU/A), located on EAGLE ROCK AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). (C-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1003039**  
03DRB-01771 Minor-Sketch Plat or Plan

LARRY READ & ASSOCIATES, INC agent(s) for HACIENDAS BY THE CARLISLES, request(s) the above action(s) for all or a portion of Lot(s) 1-3, Tract(s) 3, Block(s) 16, **NORTH ALBUQUERQUE ACRES - UNIT 3**, zoned RD (5 DU/A) located on WILSHIRE AVE NE, between VENTURA NE and HOLBROOK NE containing approximately 3 acre(s). (C-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. Approval of the Development Review Board Minutes for October 8, 2003. **THE MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 12:20 P.M.



**City of Albuquerque**  
**CITY OF ALBUQUERQUE**  
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
**PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT SERVICE**  
**HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 11**

**SUBJECT:**

- |                                |                                 |                                     |
|--------------------------------|---------------------------------|-------------------------------------|
| <b>(01)</b> Sketch Plat/Plan   | <b>(05)</b> Site Plan for Subd  | <b>(10)</b> Sector Dev Plan         |
| <b>(02)</b> Bulk Land Variance | <b>(06)</b> Site Plan for BP    | <b>(11)</b> Grading Plan            |
| <b>(03)</b> Sidewalk Variance  | <b>(07)</b> Vacation            | <b>(12)</b> SIA Extension           |
| <b>(03a)</b> Sidewalk Deferral | <b>(08)</b> Final Plat          | <b>(13)</b> Master Development Plan |
| <b>(04)</b> Preliminary Plat   | <b>(09)</b> Infrastructure List | <b>(14)</b> Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

See DRB minutes/speed memo dated 10-8-03.

**RESOLUTION:**

*10-29-03*

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
 City Engineer/AMAFCA Designee

**DATE:** October 22, 2003



**City of Albuquerque**  
**CITY OF ALBUQUERQUE**  
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
**PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT SERVICE**  
**HYDROLOGY DEVELOPMENT SECTION**

10/29/03

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 11**

**SUBJECT:**

- |                                |                                 |                                     |
|--------------------------------|---------------------------------|-------------------------------------|
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| <b>(03a)</b> Sidewalk Deferral | <b>(08)</b> Final Plat          | <b>(13)</b> Master Development Plan |
| <b>(04)</b> Preliminary Plat   | <b>(09)</b> Infrastructure List | <b>(14)</b> Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

See DRB minutes/speed memo dated 10-8-03.

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** October 22, 2003






**Intera Incorporated**  
One Park Square  
6501 Americas Parkway NE  
Suite 820  
Albuquerque, NM 87110  
Telephone: 505 246 1600  
Fax: 505 246 2600

## MEMORANDUM

DATE: July 12, 2004

TO: Sheran Matson, Planning Department (DRB)

COPY: Marcia A. Pincus, Environmental Health Department  
Kevin Curran, Legal Department  
Timothy M. Ott

FROM: Joseph Tracy, INTERA Inc. 

SUBJECT: 04DRB-00984 Minor-SiteDev Plan BldPermit/EPC, **JJ Subdivision**, Project No. 1002455 (DRB Agenda for July 14, 2004)

---

There is the potential for above named project to be impacted by the presence of landfill gas generated by a former City owned/operated landfill (San Antonio Landfill). The developers of this site are required to follow the most current version of the "Interim Guidelines for Development Within One Thousand Feet of a Landfill." A review of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division, Groundwater and Landfill Section.




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C1002455 (DRB Agenda for July 14, 2004)

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City of Albuquerque  
Environmental Health Department



Alfredo R. Santistevan, Director

Martin J. Chávez, Mayor

June 25, 2004

To: Building Permit and Plan Review Section, Planning Department  
From: Marcia A. Pincus, Environmental Health Department  
Subject: NMED Building Located at 5100 San Antonio Drive NE

Albuquerque Environmental Health Department (AEHD) has received the **FOUNDATION ONLY** plans for the above referenced site. Although some structural conditions have not been met at this time, AEHD's understanding is that they will be addressed when the main set of building plans are submitted to AEHD. The developer of the property may proceed through the Planning Department process for **FOUNDATION ONLY** permit assuming all other Planning Department requirements have been addressed.

Certifications by a professional engineer that the construction of a landfill gas system was installed as design shall be required in order for the certificate of occupancy to be issued. A certificate of occupancy should **NOT** be issued for this facility until AEHD has reviewed the engineer's certification and the above structural conditions have been met.

If you have any questions/comments concerning the above information, please contact me at 768-2618.

cc: Kevin Curran, Legal Department  
Tim Ott, Owner/Developer  
File



Supplemental form

<b>SUBDIVISION</b>	<b>S Z</b>	<b>ZONING &amp; PLANNING</b>
___ Major Subdivision action	___	___ Annexation
___ Minor Subdivision action	___	___ County Submittal
___ Vacation	<b>V</b>	___ EPC Submittal
___ Variance (Non-Zoning)	___	___ Zone Map Amendment (Establish or Change Zoning)
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	___ Sector Plan (Phase I, II, III)
___ for Subdivision Purposes	___	___ Amendment to Sector, Area, Facility or Comprehensive Plan
<b>X</b> for Building Permit	___	___ Text Amendment (Zoning Code/Sub Regs)
___ IP Master Development Plan	___	___ Street Name Change (Local & Collector)
___ Cert. of Appropriateness (LUCC)	<b>L A</b>	<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE</b>	<b>D</b>	___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
___ Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: TIMOTHY MOTT PHONE: 250-4675  
 ADDRESS: PO Box 35981 FAX: 268-9751  
 CITY: Alb STATE NM ZIP 87176 E-MAIL: timott@qmail.com  
 Proprietary interest in site: Owner List all owners: TIMOTT  
 AGENT (if any): \_\_\_\_\_ PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: Site plan for building permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? \_\_\_ Yes. **X** No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lot 1 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Adn. JJ subdivision  
 Current Zoning: SK1 C-1 Proposed zoning: same  
 Zone Atlas page(s): E-18-2 No. of existing lots: 1 No. of proposed lots: \_\_\_\_\_  
 Total area of site (acres): 2.16 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits? **X** Yes. No \_\_\_, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. \_\_\_\_\_ MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: San Antonio Dr NE  
 Between: I-25 and San Pedro

CASE HISTORY: Debbie Stoner EPC Case Planner  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): EPC

03 EPC 00147 / 00148 / DRB 03 DRB-01899 / 1002455  
03 DRB 00893 / 03 DRB 16541655  
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE June 22, 2004  
 (Print) TIMOTT **X** Applicant \_\_\_ Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>04 DRB 00984</u>	<u>SBP</u>	<u>(P3)</u>	<u>\$ 0</u>
<input type="checkbox"/> All fees have been collected	_____	<u>GMF</u>	_____	<u>\$ 20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>6-30-04</u>	_____	_____	Total <u>\$ 20.00</u>

[Signature] 6-22-04  
 Planner signature / date

Project # 1002455

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**


- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**


I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Tim Ott  
 Applicant name (print)  
  
 Applicant signature / date



Form revised September 2001

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
04DRB - -00984  
 \_\_\_\_\_  
 \_\_\_\_\_

  
 Planner signature / date  
**Project # 1002455**



City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: March 21, 2003

## OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002455 \***  
03EPC-00147 EPC Site Development Plan-Subdivision  
03EPC-00148 EPC Site Development Plan-Building  
Permit

Joe Cotruzzola  
7508 Northridge Ave. NE  
Albuq. NM 871

**LEGAL DESCRIPTION:** for all or a portion of Lot(s) A3B, J Group Addition, and Tract 1 of New Heart Center Addition, and Tract 1 of Northside Subdivision, zoned SU-1 C-1, located on SAN ANTONIO NE, between I-25 and SAN PEDRO NE, containing approximately 10 acre(s). (E-18)  
Deborah Stover, Staff Planner

On March 20, 2003 the Environmental Planning Commission voted to approve Project 1001455/03EPC 00147, a request for site development plan for subdivision, for Tract A3B, J Group Addition, zoned SU-1 C-1, based on the following Findings and subject to the following Conditions:

### FINDINGS:

1. This is a request for a site development plan for subdivision for a 10.03-acre tract of land into 7 separate lots. The 10-acre tract is currently known as Tract A3B, J Group Addition, located on San Antonio Drive between Interstate-25 and San Pedro Drive NE, and will be replatted into Lots A-3-B-1 through A-3-B-7.
2. The submitted site plan for subdivision meets the requirements of the *Zoning Code* for site development plan for subdivision.
3. The site development plan for subdivision furthers the applicable goals and policies of the *Comprehensive Plan*. It proposes a quality urban environment with new growth accommodated on vacant land, contiguous to existing urban facilities and with a design that is appropriate to the plan area (*Established Urban Policies d, e, 1*).

5



4. This site is located on the old San Antonio Landfill. Development of this site is dependant on the applicant's cooperation with the Environmental Health Department's requirements regarding developing on a landfill site. Environmental Health has submitted a letter concerning this issue and the applicant is required to work with this department to submit mitigation measures if necessary.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The solid line weight on the site plan for subdivision depicting the 25-foot cross-access agreement shall be changed to a dashed line.
3. The cross-access agreement that is in effect for the entrance to the site as well as to the hotel site to the west shall be noted on the site plan for subdivision.
4. The developer shall follow the most current version of the "Interim Guidelines for Development Within 1000 Feet of a Landfill". A review of the site plans, the proposed construction, design drawings, and a certification of construction shall be required by the Environmental Health Department.
5. A re-plat of the property shall be submitted to DRB for concurrent approval of this request.
6. The developer shall obtain an approved master plan for land gas remediation for the entire 10.03 acre site prior to development.

---

On March 20, 2003 the Environmental Planning Commission voted to approve Project 1002455/03EPC 00148, a site development plan for building permit, for Tract A-3-B-1, J Group Addition, zoned SU-1 C-1 based on the following Findings and subject to the following Conditions:

**FINDINGS:**

OFFICIAL NOTICE OF DECISION  
MARCH 20, 2003  
PROJECT #1002455  
PAGE 3

1. This is a request for a site development plan for building permit for Lot A-3-B-1, J Group Addition, located on San Antonio Drive between Interstate-25 and San Pedro Drive NE. The site plan proposes a 15,500 square foot office building.
2. This request is generally in conformance with the goals and polices of the *Comprehensive Plan*, specifically, by locating a commercial use within an existing commercially zoned area and by improving the quality of the visual environment. Site landscaping and building façade treatments will blend with the surrounding area (*Established Urban Policies j and m*).
3. This request is in conformance with Policy i of the *Comprehensive Pian* by locating employment and service uses to complement residential areas and by placing them to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.
4. This request is in conformance with Established Urban Policy j of the *Comprehensive Plan* by proposing a location, intensity, and design of new development that shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.
5. The request is for new growth in an area where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured (*Established Urban Policy e*).
6. The subject site is located on land adjacent to arterial streets and has been planned to minimize harmful effects of traffic. In this way, the livability and safety of established residential neighborhoods is protected by transportation planning and operations (*Established Urban Policy k*).
7. Development of this site is dependant on the applicant's cooperation with the Environmental Health Department's requirements regarding developing on a landfill site. Environmental Health has submitted a letter concerning this issue and the applicant is required to work with this department to submit mitigation measures if necessary. Because the site is located on an old landfill, this proposal presents the opportunity to mitigate the effects of the environmental concerns about the landfill site and ultimately create a safer environment for the community.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION  
MARCH 20, 2003  
PROJECT #1002455  
PAGE 4

2. The solid line weight on the site plan for building permit depicting the 25-foot cross-access agreement shall be changed to a dashed line.
3. The cross-access agreement that is in effect for the entrance to the site as well as to the hotel site to the west shall be noted on the site plan for subdivision.
4. The developer shall follow the most current version of the "Interim Guidelines for Development Within 1000 Feet of a Landfill". A review of the site plans, the proposed construction, design drawings, and a certification of construction shall be required by the Environmental Health Department.
5. All pedestrian crossings shall be raised and/or textured and of material other than asphalt. The crosswalks on the site plan appear to be stone, but this material shall be clearly stated on the site plan.
6. The site plan should show an ADA accessible paved connection from the south end of the site to the Pino Arroyo. This connection shall be similar in width and style to other pedestrian connections within the site.
7. A minimum of 6 bicycle parking spaces shall be provided.
8. The proposed Navajo willow shall be removed from the landscape plan and substituted with an assortment of Texas umbrella tree, Texas red oak, Kentucky coffee tree, Jujube, or Mexican Elder.
9. Landscape regulations require that 75% of landscape areas over 36 square feet in size must be covered with living, vegetative material. Planting beds shall obtain 75% coverage of living vegetation at time of maturity. Additional low water use shrubs, groundcovers and flowers shall be added to the planting beds to ensure this coverage.
10. The site plan shall provide shade trees in all of the parking lot areas. Trees should be provided at a rate of 1 for every 10 parking spaces to provide shade. No parking space shall be more than 100 feet from a tree trunk
11. An outdoor patio space that is a minimum of 300 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or a shade structure that integrates with building architecture.
12. The site plan shall state the color family proposed for the building materials. The exact color and materials of the sign shall be noted.

13. The type, height, material and color of the fencing proposed for the site shall be noted on the site plan. No chainlink, razor wire or plastic/vinyl fencing is permitted.
14. The refuse enclosure shall be compatible in design, color and material with building architecture. The gates shall be opaque and chain link gates are not allowed. A detail showing the proposed refuse enclosure shall be provided on the site plan.
15. The location of light poles, if any, shall be included on the site plan. Light fixtures shall be a maximum of 20-feet high, with and maximum of 16-feet high if within 50-feet of a residentially zoned site. The light fixtures shall be fully shielded horizontal lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cut-off type to prevent fugitive light. No light source shall be visible from the site perimeter.
16. Transportation Planning/Public Works Conditions:
  - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for.
  - c. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site.
  - d. Site shall comply and be designed per DPM Standards and current COA Zoning Code.
  - e. Provide cross access agreement between Lot A-3-B-1 and public access road to Hawthorne Suites Property.
  - f. The Traffic Engineer, based on development of the remaining parcels, may modify access points.
  - g. The submittal does not include a conceptual utility plan. Development will require extension of public water and sanitary sewer lines on Tract A3A, east along San Antonio to San Pedro. Financial guarantees will be require as a condition of plat approval. A water and sanitary sewer availability statement must be requested and completed prior to any DRB approval(s).
  - h. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required prior to placement on DRB agenda.
  - i. Platting should be a concurrent DRB action.
17. The proposed building has two principle facades north and south, Both shall have a minimum 8 ft. wide sidewalk along the entire length of the façade.
18. The parking spaces smaller then 8 ft. 6 by 20 feet shall be designated as compact only and the parking calculations shall note the number of full size and compact spaces. The total mix shall meet the standard city requirements for such.

OFFICIAL NOTICE OF DECISION  
MARCH 20, 2003  
PROJECT #1002455  
PAGE 6


19. Provide 8 linear feet of fixed seating at each of the two principal entry ways to the building.
20. Provide a planting strip of native vegetation adjacent to the Pino Arroyo.

**IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 4, 2003 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

**YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).**

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,  
  
FOR Victor J. Chavez  
Planning Director

VJC/DS/ac

cc: Timothy Ott, 40 Chaco, Los Alamos, NM 87544  
Irene Minke, Academy Acres North NA, 6504 Dungan NE, Albuquerque, NM 87109  
Roberta Lipman, Academy Acres North NA, 6503 Mendius NE, Albuquerque, NM 87109

From: Tim Ott

June 22, 2004

To: Development Review Board

Subj: EPC comments on Site Plan for Building permit for Lot A-3-B-1

Below are listed the responses to conditions of approval required by the EPC, case # 03EPC00148. Please note the lot designation has changed to Lot 1, JJ Subdivision.

1. All changes in the site plan for building permit were made to comply with EPC conditions.
2. The 25 ft cross access easement has been noted as a dashed line vis a solid line.
3. The cross access easement for the northwest entrance has been noted on the site plan for building permit.
4. A separate set of plans has been submitted to ABQ/EHD for review and approval.
5. Cross walk material will be colored concrete with a textured concrete finish to simulate stone. This has been noted on the site plan for building permit.
6. An ADA connection to the Pino Arroyo is shown on the site plan for building permit.
7. A minimum of 6 bike spaces has been provided on the site plan for building permit.
8. Navajo willow has be replaced on the landscape plan with an assortment of Texas umbrella tree, Texas red oak and Mexican elder.
9. A note has been added to the landscape plan to indicate that all areas greater than 36 sf will have a 75% vegetative cover.
10. Trees are provided at a minimum rate of 1 per 10 parking spaces and no parking space is more than 100 feet from a tree.
11. It has been noted on the site plan for building permit that there is a 300 sf minimum patio with furniture and shade structure that integrates with the building structure.
12. The site plan for building permit notes the building color will be earth tones with green awnings. The architectural building sign will be white plastic approximately 8" in height.
13. Proposed fence will be 6' high made of black wrought iron.
14. Refuse enclosure has been depicted on site plan for building permit.

15. There are no pole lights on the project. All building wall pack lights will be full-cut-off type fixtures. This is noted on the site plan for building permit.
16. All Transportation Planning/Public works issues were addressed in the site plan for subdivision process.
17. Both facades have been shown with 8 ft sidewalks on the site plan for building permit.
18. There are no compact parking spaces.
19. At both principal entry ways to the building an 8' bench has been added to the site plan for building permit.
20. A planting strip has been added near Pino Arroyo.

*T. M. Ott*

T.M. Ott

FROM : WALKER ENGINEERING

PHONE NO. : 505 820 3539

Aug. 26 2003 03:57PM P1

02-224

Tim 6617041



**City of Albuquerque**  
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 22, 2003

Morey Walker, PE  
Walker Engineering  
905 Camino Sierra Vista  
Santa Fe, NM 87505

**Re: NM Regulation & Licensing Office Bldg Grading and Drainage Plan  
Engineer's Stamp dated 7-16-03 (E18/D57A)**

Dear Mr. Walker,

Based on information contained in your submittal dated 7-16-03, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. Prior to Building Permit approval, please address the following comments.

- Please provide existing grades in San Antonio in order to make there is an adequate waterblock at the drive.
- 2-foot contour intervals are fine for conceptual plans but for a truly constructible plan, spot elevations should be provided at all critical locations such as curb corners, culverts, ends of pavement, etc.
- Please show the side inlet and any sidewalk culverts in plan.

If you have any questions, you can contact me at 924-3986.

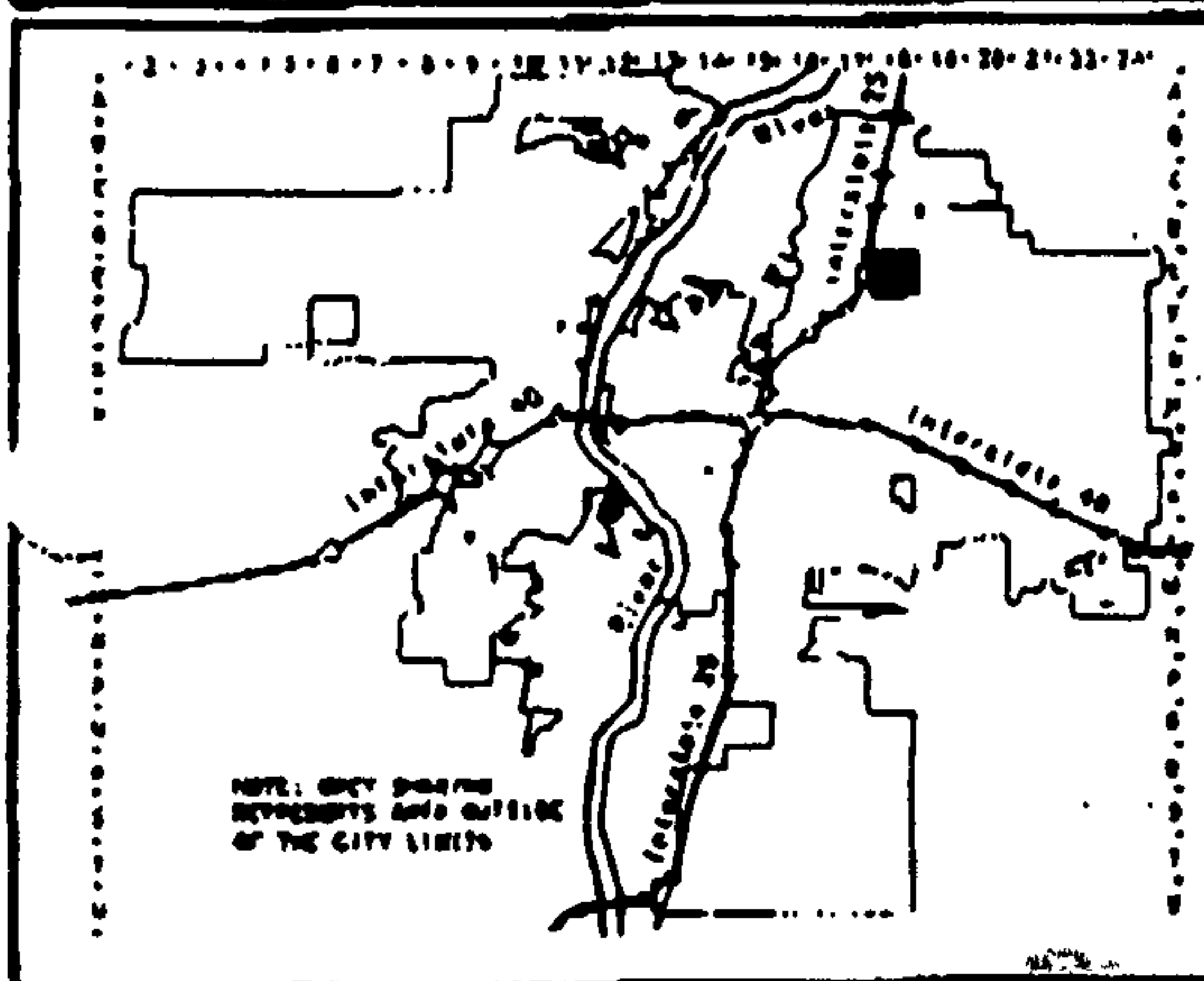
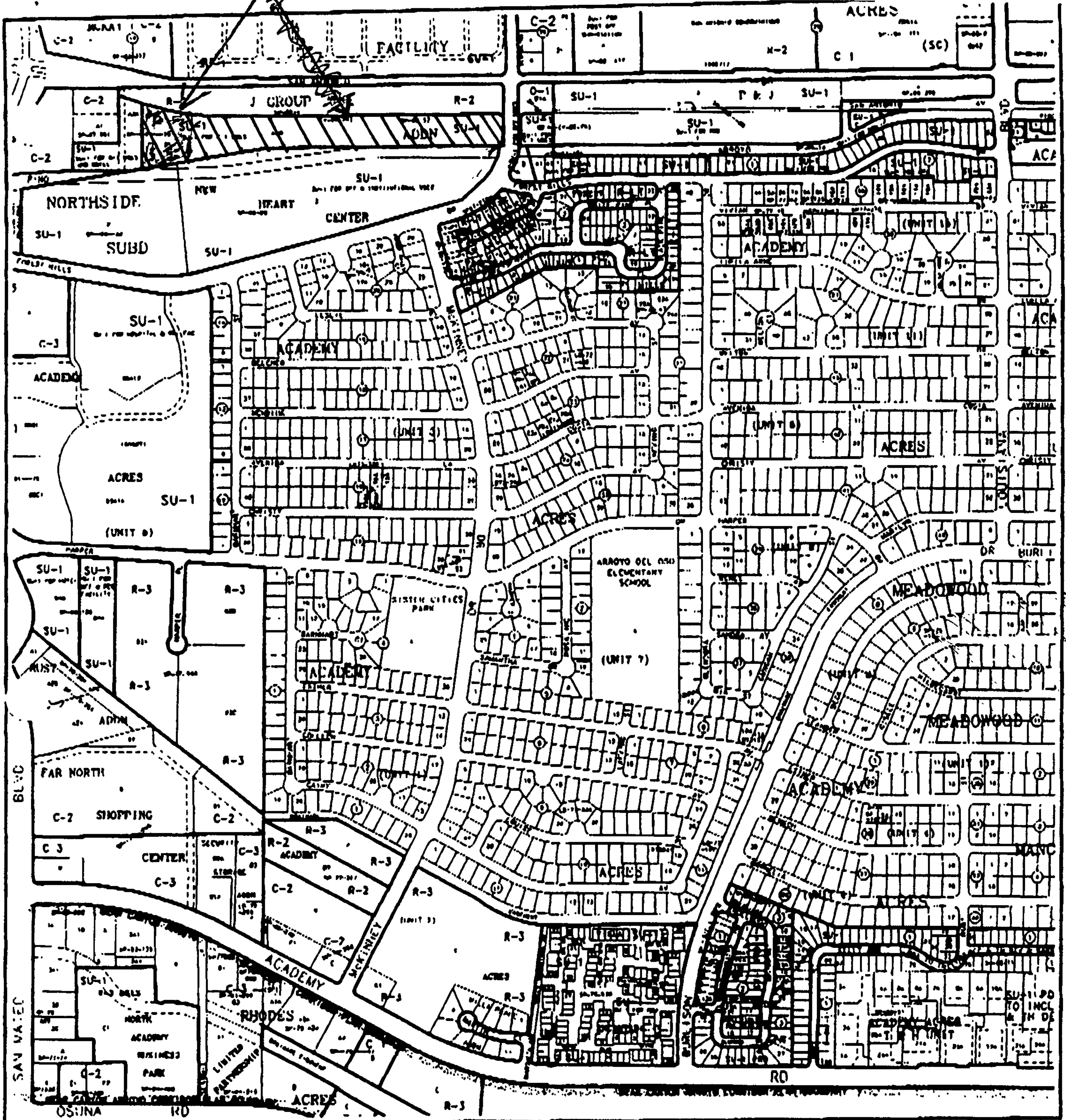
Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

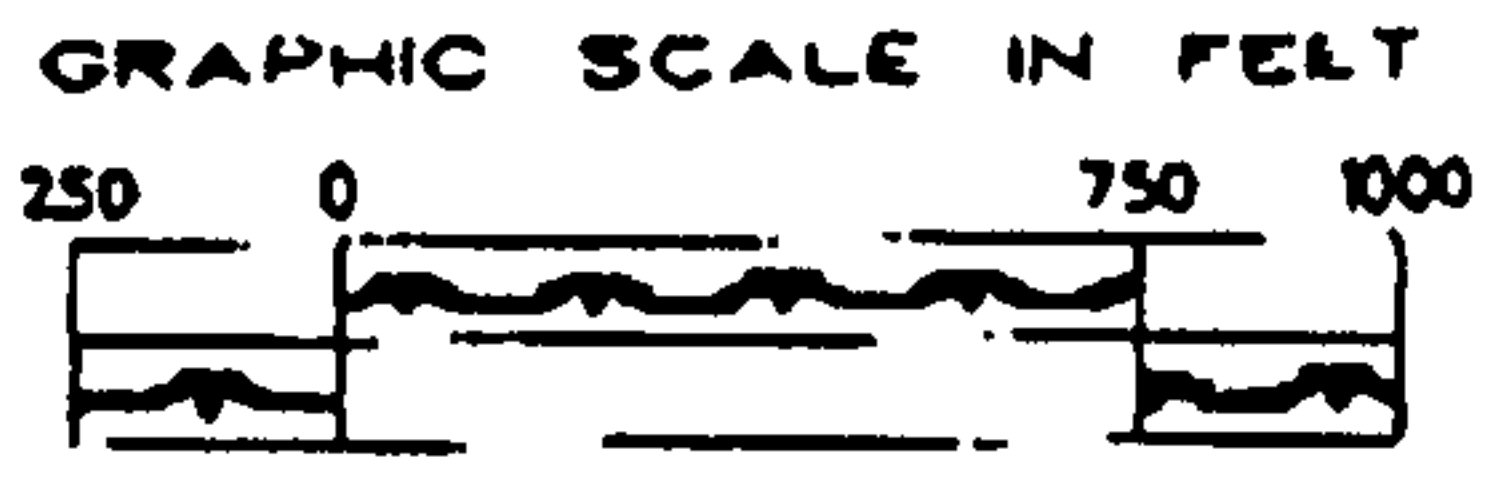
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SITE



CITY OF  
Albuquerque  
Antonio Garcia Interim Mayor  
PLANNING DEPARTMENT  
(© Copyright 2002)



**Zone Atlas Page**  
**E-18-Z**  
Map Amended through April 03, 2002

No. of Lots: 1  
Nearest Major Streets  
San Antonio + San Pedro

**FIGURE 12**

**SUBDIVISION IMPROVEMENTS  
AGREEMENT-PUBLIC AND/OR PRIVATE  
(Procedure B)**

**AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS**

THIS AGREEMENT is made this 18<sup>th</sup> day of May, 2004, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Timothy M. OIT, A single man ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] individual, whose address is 40 Chaco Los Alamos NM and whose telephone number is 250-4675, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] J Group, recorded on 2-27-96 in the records of the Bernalillo County Clerk at Book 96C, pages 81 through — (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] J Group ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as JT Subdivision describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 12 day of Nov, 2005 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 735181.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless

Mary Herrera  
Bern. Co. AGRE R 25.00  
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Page: 1 of 9  
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the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

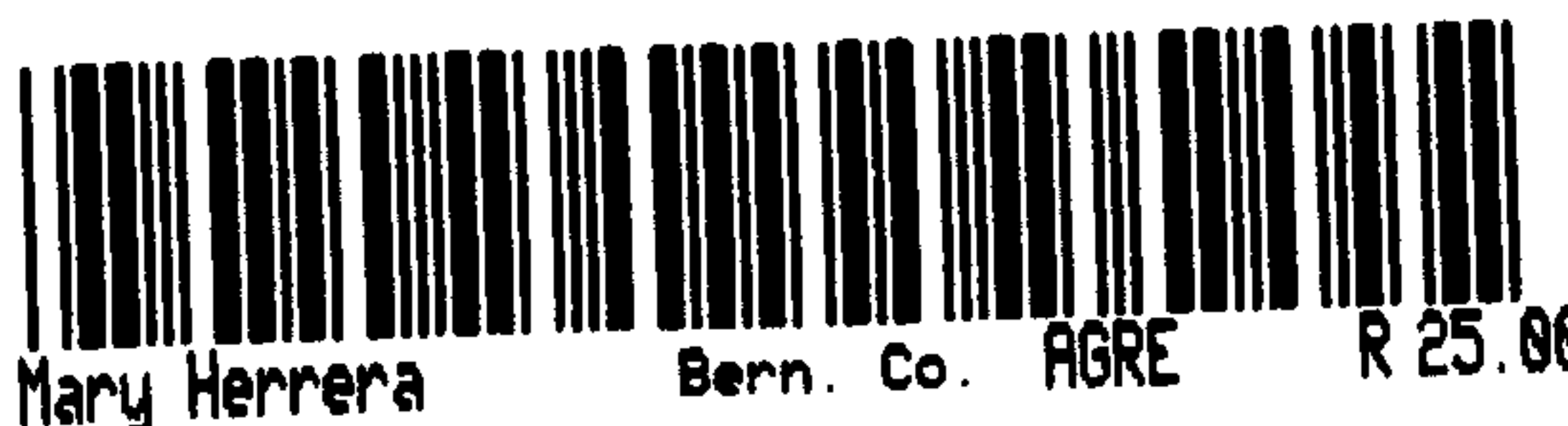
<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Chris Debler, and construction surveying of the private Improvements shall be performed by Chris Debler. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Jean J. Bordenave, and inspection of the private Improvements shall be performed by Jean J. Bordenave, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider



shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Geo - Test, and field testing of the private Improvements shall be performed by Geo - Test, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

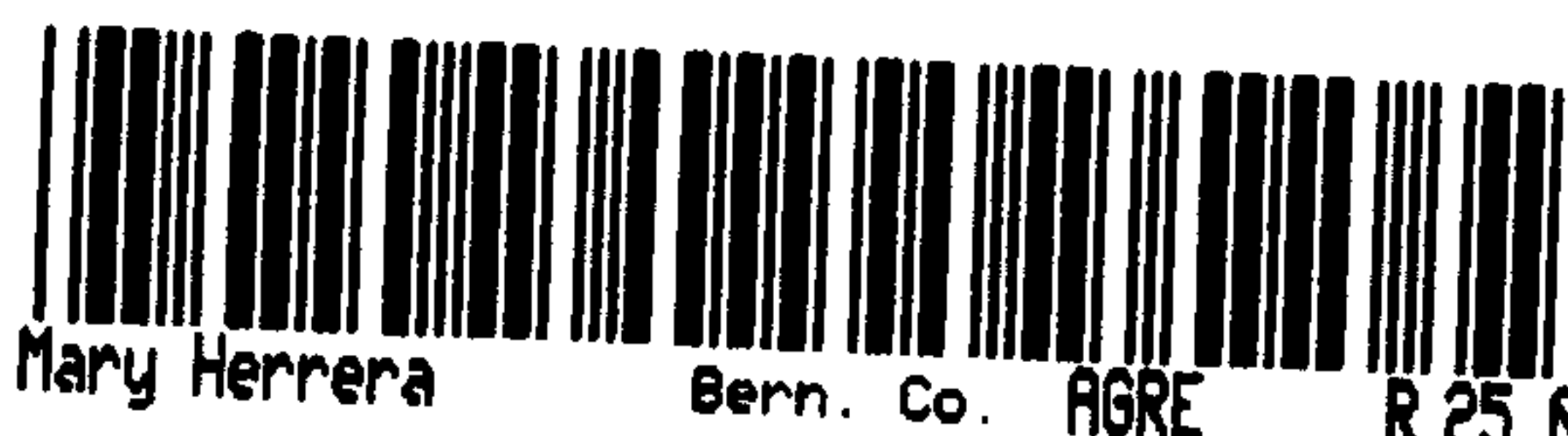
5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Los Alamos Natl Bank, LOC #1606  
Amount: \$ 110,155.19 Name of Financial Institution or Surety  
Date City first able to call Guaranty: Nov 11, 2005  
[Construction Completion Deadline]: Nov 11, 2005 20\_\_\_\_  
If Guaranty other than a Bond, last day City able to call Guaranty is:  
January 12, 2006  
Additional information: \_\_\_\_\_

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

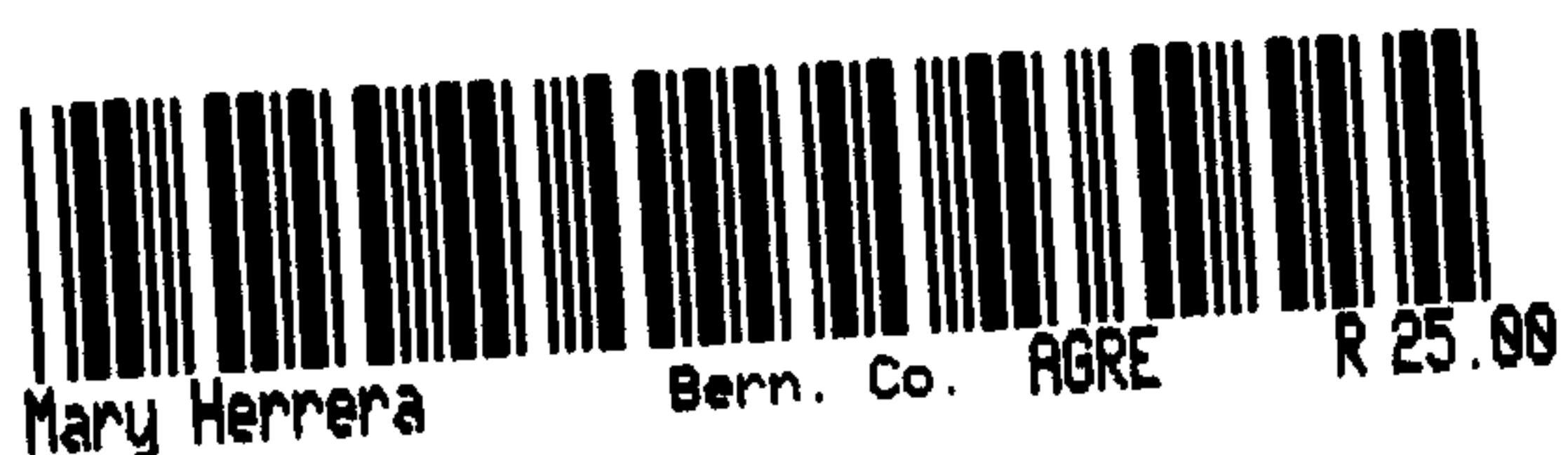
(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

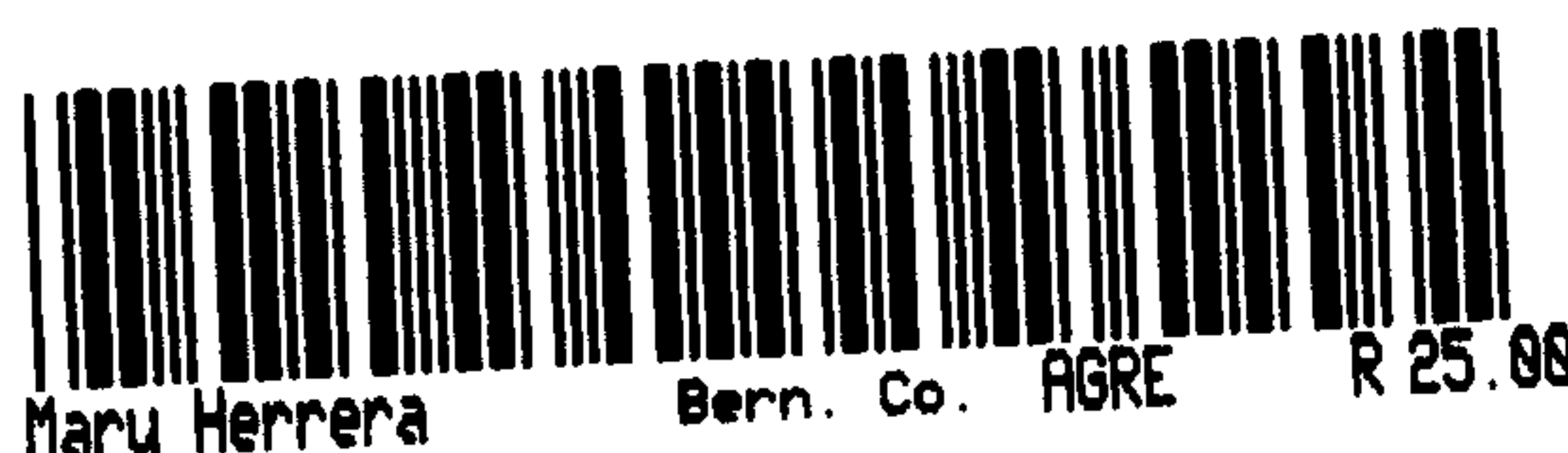
17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:

By [Signature]: [Signature]  
Name: TIMOTHY M. OTT  
Title: Developer - Individual T.O.  
Dated: May 17, 2004

CITY OF ALBUQUERQUE  
[Signature]  
City Engineer  
Dated: 5-18-04

9/18/04 [Signature]

SUBDIVIDER'S NOTARY

STATE OF New Mexico  
COUNTY OF Bernalillo ss.

This instrument was acknowledged before me on 17 day of May, 2004 by [name of person:] Timothy m. ott, [title or capacity, for instance, "President" or "Owner":] Developer Individual of [Subdivider:] J.J. Subdivision

[Signature]  
Notary Public



OFFICIAL SEAL  
JULIE A. GUITARD  
NOTARY PUBLIC-STATE OF NEW MEXICO  
My commission expires 6-5-2004

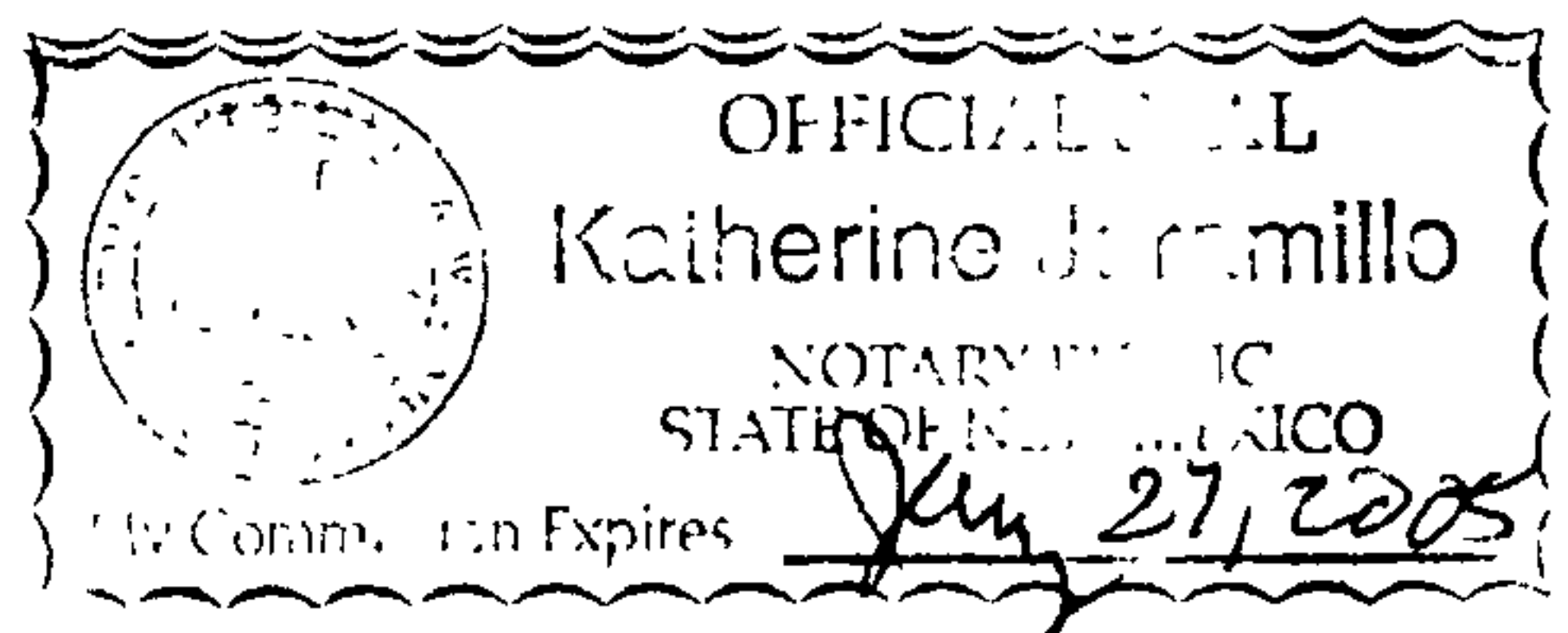
My Commission Expires:  
\_\_\_\_\_

CITY'S NOTARY

STATE OF NEW MEXICO )  
                                  ) ss.  
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 18th day of May, 2004 by [Signature], City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

[Signature]  
Notary Public



My Commission Expires:  
January 27, 2005

EXHIBIT A AND POWER OF ATTORNEY ATTACHED

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

J GROUP ADDITION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT A-3-B, J GROUP ADDITION, TRACT 1, NEW HEART CTR, TRACT 1, NORTHSIDE SUB.  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Preliminary Plat Approved: 11/12/10  
Date Preliminary Plat Expires: 11/12/10  
DRB Project No.: 1002455  
DRB Application No.: 23-21899

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRAC Chair determines that apparatus items and/or unforeseen items have not been included in the infrastructure listing, the DRAC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRAC Chair determines that apparatus or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRAC Chair, the User Department and sponsor/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRG Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crmt Engineer
1	73581	8" PVC	Water line 1920	South side of San Antonio Blvd	Lot A-3-B-1	San Felipe A-3-B-7	1	1	1
		8" SDA 35	Sanitary Sewer 1600 Ft	South side of San Antonio Blvd	Lot A-3-B-1	A-3-B-7	1	1	1
		1	Side inlet to Arroyo	SW Corner lot A-3-B-1			1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1

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Bern. Co. AGRE R 25.00

Mary Herrera

ORIGINAL



S/A	COA DMC	Project #
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

b-1 735181 SITS is in a landfill; most address landfill requirements.

NOTE

STUDY OR IMPROVEMENTS	Inspector	Inspector	Engineer

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Tim OTI  
NAME (print)

*William P. Petersen*  
DMS CHAIR - date 11-2-03  
PARTS & GENERAL SERVICES - date  
*Christina Dunderal* 11/2/03  
Permit

Agnt / 1585 LLC  
FROM

*W. Petersen*  
TRANSPORTATION/DEVELOPMENT - date 11-2-03

AM/FCA - date

*Tim OTI*  
SIGNATURE - date 11/12/03

*William P. Petersen*  
UTILITY DEVELOPMENT - date 11/12/03

- date

MINIMUM TIME ALLOWED TO COMPLECT THE APPROVALS WITHOUT A GAS ENGINEER

*Beck Hill*  
CITY ENGINEER - date 11/12/03

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DWG OWNER	USER DEPARTMENT	AGENT / OWNER

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Bar. Co RGR R 25.08

Mary Herrera

# FINANCIAL GUARANTY AMOUNT

05/06/2004

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

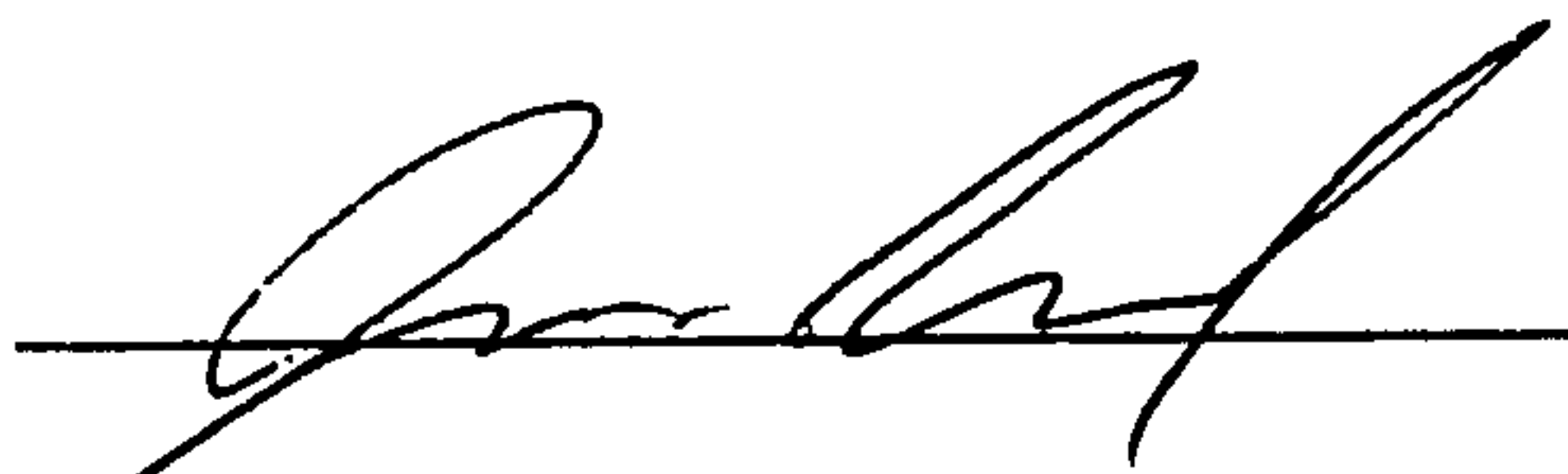
Project ID #: 735181, J Group Retail Complex-Paving/Util.Imps., Phase/U

Requested By: Jake Bordenave, PE w/ Bordenave Designs

Approved estimate amount:		\$69,716.48
Contingency Amount:	10.00%	\$6,971.65
Subtotal:		\$76,688.13
NMGRT	5.8125%	\$4,457.50
Subtotal:		\$81,145.63
Engineering Fee	6.60%	\$5,355.61
Testing Fee	2.00%	\$1,622.91
Subtotal:		\$88,124.15
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
<b>TOTAL FINANCIAL GUARANTY REQUIRED</b>		<b>\$110,155.19</b>

APPROVAL:

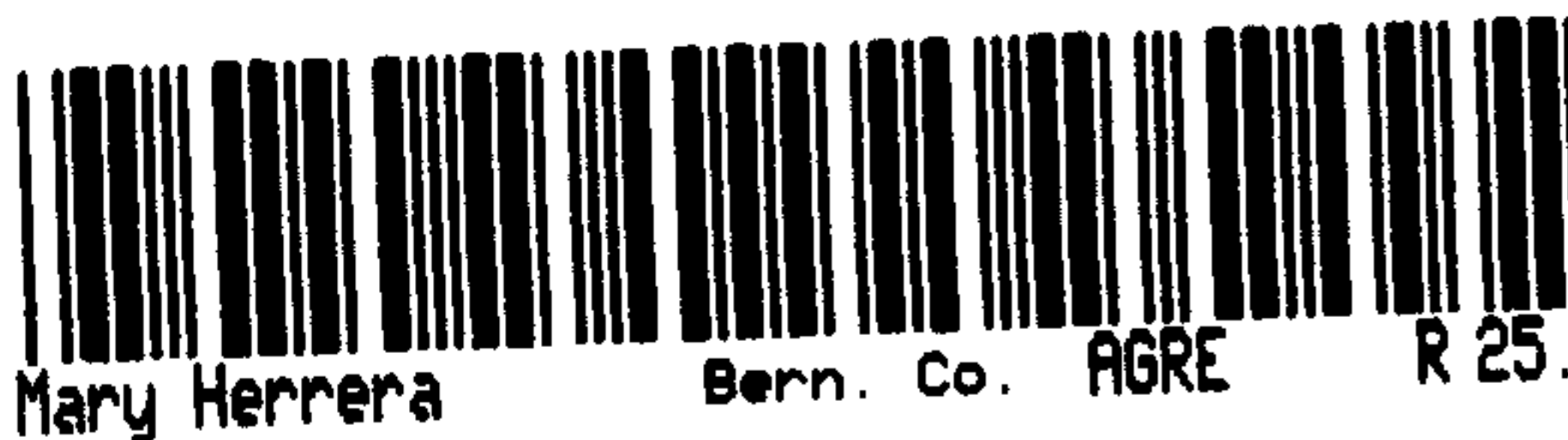
DATE:



5-6-2004

Notes: B-2. 10% contingency plans not approved. This FG is for the SD and wtr & SAS fronting the future western lot. All items on IL must be accepted or FG'ed prior to final plat.

2 of 2 FG's



Mary Herrera

Bern. Co.

AGRE

R 25.00

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900

POWER OF ATTORNEY

NOTE: Must be signed and notarized by the owner if the subdivider is not the owner of the Subdivision.

STATE OF NEW MEXICO )  
 ) ss.  
COUNTY OF BERNALILLO )

J Group, A New Mexico Partnership, ("Owner"), of 7508 Northridge Ave., NE [City:] Albuquerque, [State:] NM [zip code:] 87109, hereby makes, constitutes and appoints [name of subdivider:] Timothy M. Ott ("Subdivider") as my true and lawful attorney in fact, for me and in my name, place and stead, giving unto the Subdivider full power to do and perform all and every act that I may legally do through an attorney in fact, and every proper power necessary to meet the City of Albuquerque's ("City") subdivision requirements regarding the real estate owned by me and described in Section 1 of the Subdivision Improvements Agreement ("Agreement") above, including executing the Agreement and related documents required by the City, with full power of substitution and revocation, hereby ratifying and affirming what the Subdivider lawfully does or causes to be done by virtue of the power herein conferred upon the Subdivider.

This power of attorney can only be terminated: (1) by a sworn document signed and notarized by the Owner, which shall be promptly delivered to the City Planner in order to provide notice to City of the termination of this power of attorney; or (2) upon release of the Agreement by the City.

NOTE: Alternate wording may be acceptable, but must be submitted to the City Legal Department for review and approval before the final contract package is submitted to the City for review. The City may require evidence of ownership and /or authority to execute the Power of Attorney, if the Owner is not the Subdivider. If Owner is a corporation, the Power of Attorney must be signed by the president or by someone specifically empowered by the Board of Directors, in which case the corporate Secretary's certification and a copy of the Board's resolution empowering execution must accompany this document.

OWNER:

By:

Name

Title:

Dated:

Joseph P Cotruzzola  
JOSEPH P COTRUZZOLA  
PARTNER - OWNER  
MAY 17 2004

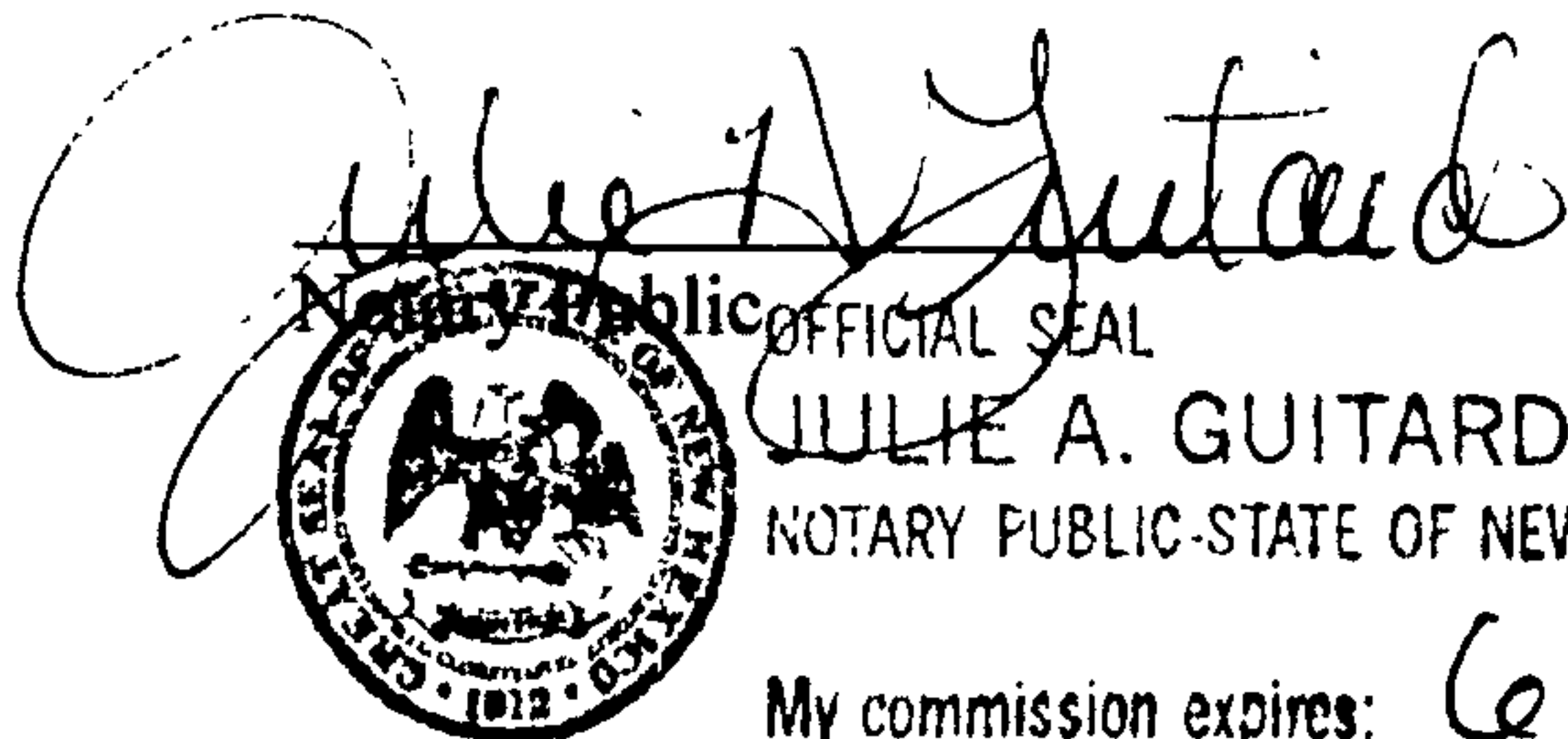


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The foregoing Power of Attorney was acknowledged before me this 17 day of May, 2004 by [name of person:] Joseph Cotruzzola, [Owner] Joseph Cotruzzola on behalf of the Owner.

My Commission Expires:

6-5-2004



My commission expires: 6-5-2004

# LOS ALAMOS NATIONAL BANK

Post Office Box 60, Los Alamos, New Mexico 87544 / Telephone (505) 662-5171

**Irrevocable Letter of Credit      No. 1606**

FIGURE 14

LETTER OF CREDIT

IRREVOCABLE LETTER OF CREDIT AND AGREEMENT NO.1606

**AMOUNT: \$ 110,155.19**

Jay Czar  
Chief Administrative Officer  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: **Letter of Credit for Timothy M. Ott**  
City of Albuquerque Project No: **735181**  
Project Name: **JJ Subdivision**

Dear Jay Czar:

This letter is to advise the City of Albuquerque that, at the request of **Timothy M. Ott, Los Alamos National Bank in Los Alamos, New Mexico**, has established an Irrevocable Letter of Credit in the sum of **One Hundred Ten Thousand , One Hundred Fifty Five Dollars and 19/100.00 (\$110,155.19)** for the exclusive purpose of providing the financial guarantee which the City requires **Timothy M. Ott** to provide for the installation of the improvements which must be constructed at **JJ Subdivision** Project No **735181**. The amount of the Letter of Credit is 125% of the City's estimated cost of construction of improvements as required by the City's subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider which was recorded on 5/20/04 ..2004 in the records of the Clerk of Bernalillo County, New Mexico in Book Misc. A 77 .. at pages 8634 to .. as amended

A Draft or Drafts for any amount up to, but not in excess of **One Hundred Ten Thousand , One Hundred Fifty Five Dollars and 19/100.00 (\$110,155.19)** is/are available at **Los Alamos National Bank , 1200 Trinity Drive, Los Alamos, New Mexico** between **November 11, 2005 and January 12, 2006**.

When presented for negotiation, the Drafts(s) is/are to be accompanied by the City's notarized certification stating: "1) **Timothy M. Ott**, has failed to comply with the terms of the Agreement; 2) the undersigned is the Chief Administrative Officer of the City of Albuquerque and is authorized to sign this certification; and 3) the amount of the Draft does not exceed 125% of the City's estimated cost of completing the improvements specified in the Agreements."

We hereby agree with the drawer of Drafts(s) drawn under and in compliance with the terms of this credit that such Draft(s) will be duly honored upon presentation to the drawee if negotiated between: **November 12, 2005 and January 12, 2006**

The Draft(s) drawn under this credit must contain the clause: "Drawn under Letter of Credit **Agreement No. 1606** of **Los Alamos National Bank, 1200 Trinity Drive, Los Alamos, New Mexico** dated **May 17, 2004** and the original Letter of Credit must be endorsed on the reverse side with the amount of each draft. This Letter of Credit must accompany each draft and be attached to the draft which exhausts this credit.

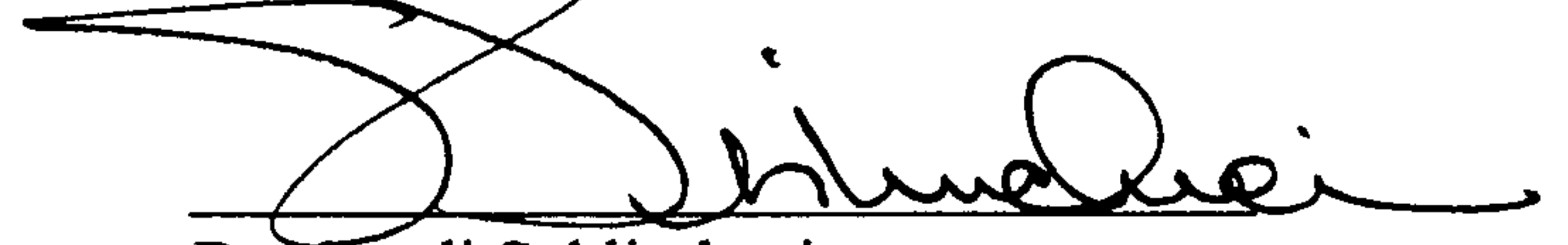
This Letter of Credit for the benefit of the City of Albuquerque shall be irrevocable until:

1. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
2. City notification of **Timothy M. Ott** failure to comply with the terms of the Agreement, and payment by Certified Check from **Los Alamos National Bank** to the City of Albuquerque of 125% of the City's estimated costs of completing the improvements specified in the Agreement; or
3. Expiration of the date **January 12, 2006** or;
4. Written termination of this Letter of Credit by the City of Albuquerque, signed by its Chief Administrative Officer.

This Letter of Credit will terminate at **5:00o'clock p.m.**, New Mexico time, **January 12, 2006**

This credit is subject to the Uniform Customs and Practice for Documentary Credits (1993 Revision), International Chamber of Commerce Publication No. 500.

Very truly yours,  
Los Alamos National Bank



By: Syndi Schlindwein  
Commercial Loan Officer

ACCEPTED:

CITY OF ALBUQUERQUE

By: \_\_\_\_\_  
Chief Administrative Officer

Dated: \_\_\_\_\_

No. of Lots: 1  
Nearest Major Streets  
Sun Antonio + Sun Pedro

**FIGURE 12**

**SUBDIVISION IMPROVEMENTS  
AGREEMENT-PUBLIC AND/OR PRIVATE  
(Procedure B)**

**AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS**

THIS AGREEMENT is made this 18<sup>th</sup> day of May, 2004, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Timothy M. OTT, A single man ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] individual, whose address is 40 Chaco Los Alamos NM and whose telephone number is 250-4675, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

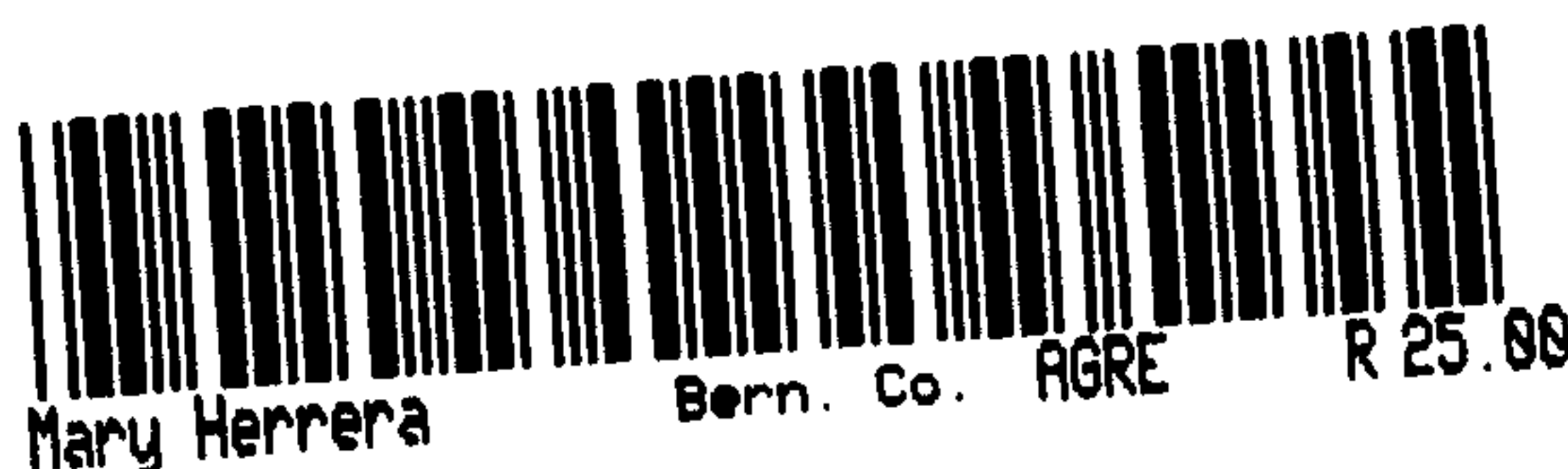
1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] J Group, recorded on 2-27-96 in the records of the Bernalillo County Clerk at Book 96C, pages 81 through — (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] J Group ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as JT Subdivision describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 12 day of Nov, 2005 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 735181.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



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the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Chris Deble, and construction surveying of the private Improvements shall be performed by Chris Deble. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Jean S. Bordenave, and inspection of the private Improvements shall be performed by Jean S. Bordenave, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider





shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Geo-Test, and field testing of the private Improvements shall be performed by Geo-Test, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

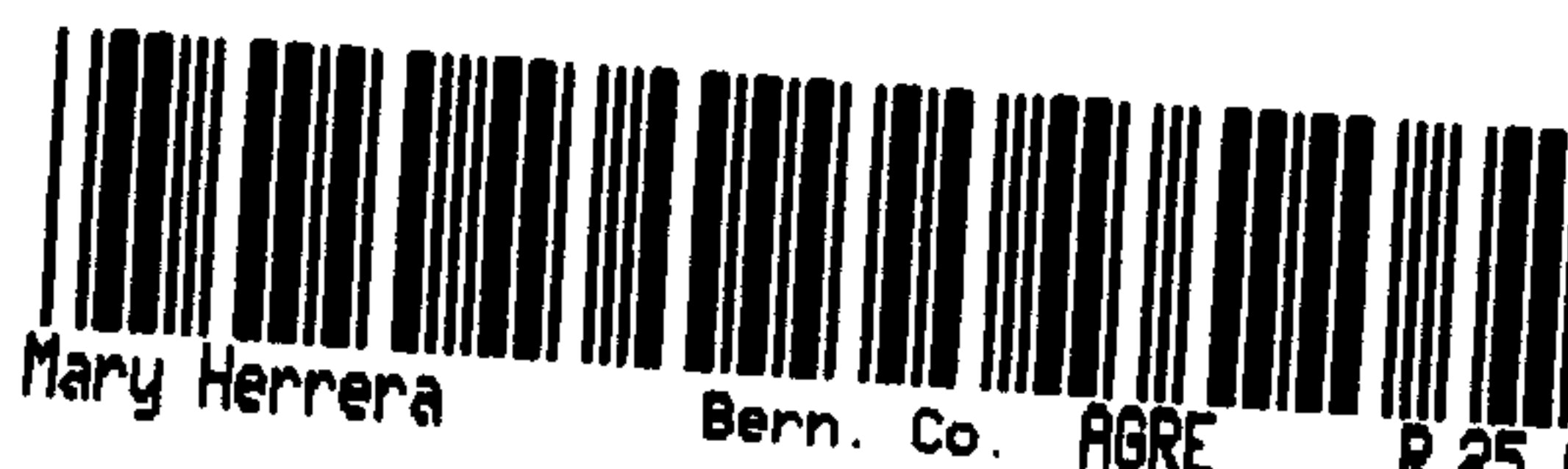
5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Los Alamos Natl Bank LOC #1606  
Amount: \$ 110,155.19 Name of Financial Institution or Surety  
Date City first able to call Guaranty: Nov 11, 2005  
[Construction Completion Deadline]: Nov 11, 2005 20\_\_\_\_\_  
If Guaranty other than a Bond, last day City able to call Guaranty is:  
January 12, 2006  
Additional information: \_\_\_\_\_

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

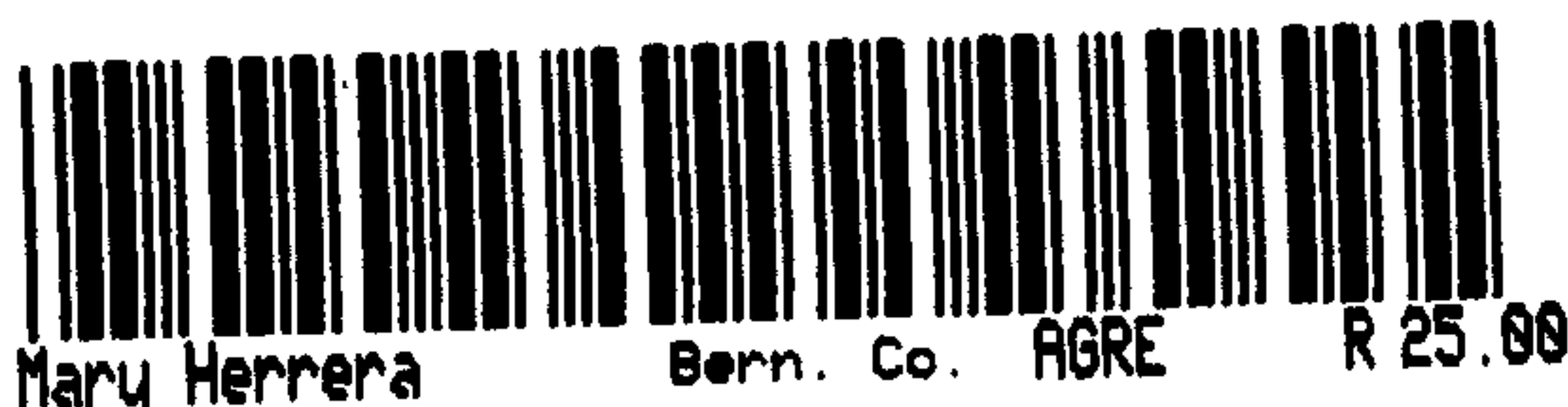
(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

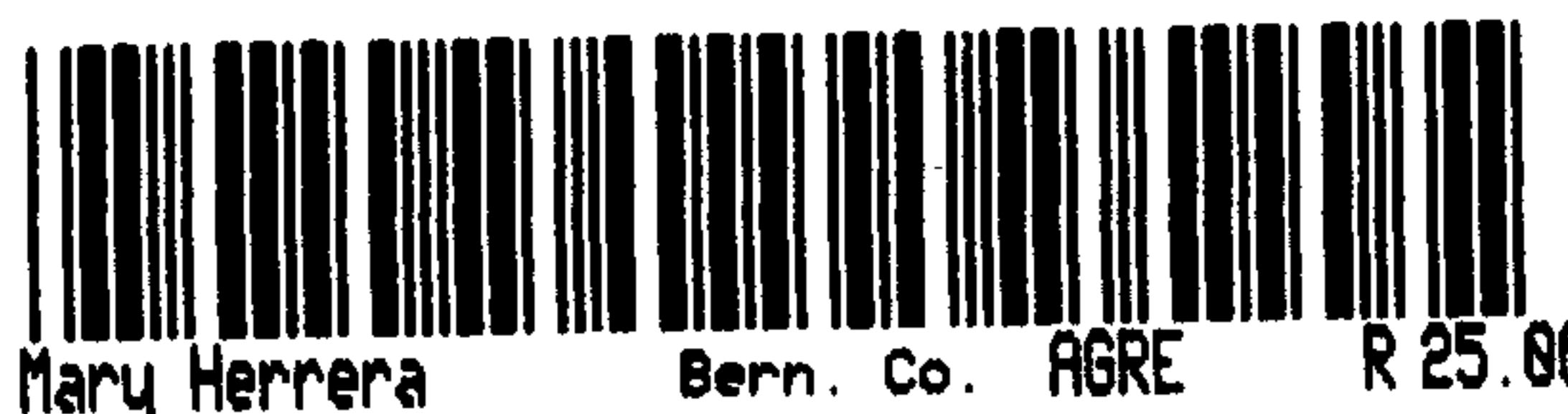
17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:

By [Signature]:

Name: TIMOTHY M. OTT  
Title: Developer - Individual T.O.  
Dated: May 17, 2004

CITY OF ALBUQUERQUE

[Signature]  
City Engineer

Dated: 5-18-04

9/18/04

H.R. Stealy

SUBDIVIDER'S NOTARY

STATE OF New Mexico  
COUNTY OF Bernalillo ss.

This instrument was acknowledged before me on 17 day of May, 2004 by [name of person:] Timothy M. Ott, [title or capacity, for instance, "President" or "Owner":] Developer Individual of [Subdivider:] J.J. Subdivision.

My Commission Expires: \_\_\_\_\_

[Signature]  
Notary Public



OFFICIAL SEAL  
JULIE A. GUITARD  
NOTARY PUBLIC-STATE OF NEW MEXICO

My commission expires 6-5-2004

CITY'S NOTARY

STATE OF NEW MEXICO )  
  ) ss.  
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 18th day of May, 2004 by Richard Dault, City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

My Commission Expires: January 27, 2005

[Signature]  
Notary Public



EXHIBIT A AND POWER OF ATTORNEY ATTACHED

Mary Herrera  
Bern. Co. AGRE R 25 00  
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05/28/2004 01:10p

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

J GROUP ADDITION

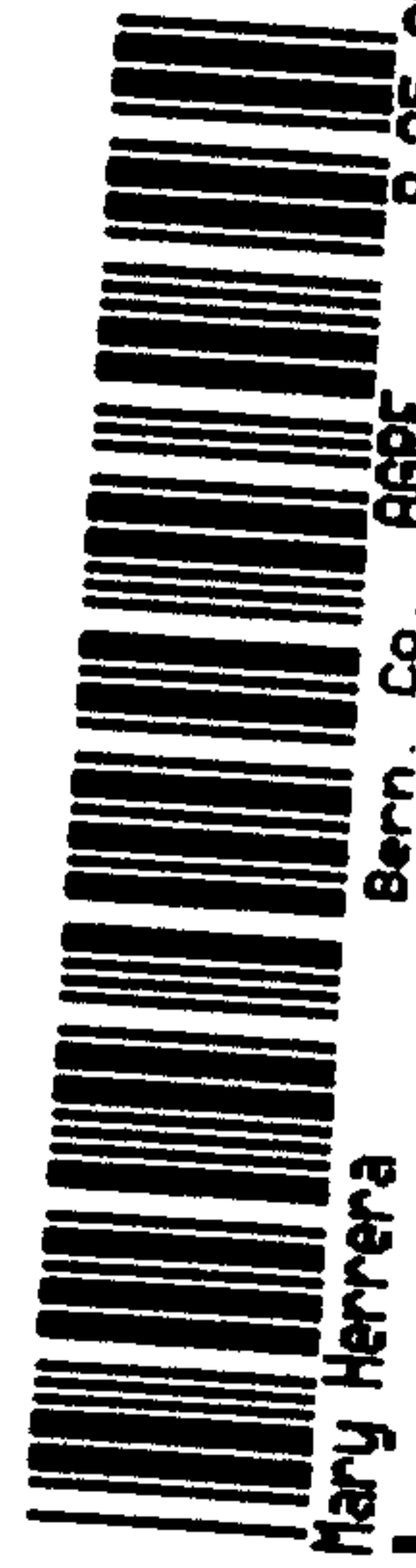
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT A-3-B, J GROUP ADDITION, TRACT 1, NEW HEART CTR, TRACT 1, NORTHSIDE SUB.  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Preliminary Plan Approved: 11/12/03  
Date Preliminary Plan Expires: 11/12/04  
DRB Project No.: 1002455  
DRB Application No.: 03-01899

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SUA process and/or in the review of the construction drawings, if the DRAC Chair determines that apparatus items and/or unforeseen items have not been included in the infrastructure listing, the DRAC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRAC Chair determines that apparatus or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantee. All such revisions require approval by the DRAC Chair, the User Department and sponsor/owner. If such approvals are obtained, those revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivisor's responsibility will be required as a condition of project acceptance and close out by the City.

SUA Sequence #	COA DRG Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crst Engineer
1	73581	8" PVC	Water line 1920 1873 Ft	South side of San Antonio Blvd	Lot A-3-B-1	San - Lake A-3-B-7	1	1	1
2		8" SDR 35	Sanitary Sewer 1600 Ft	South side of San Antonio Blvd	Lot A-3-B-1	A-3-B-7	1	1	1
3		1	Side inlet to Arroyo	SW Corner lot A-3-B-1			1	1	1
4							1	1	1
5							1	1	1
6							1	1	1
7							1	1	1
8							1	1	1
9							1	1	1
10							1	1	1



Mary Herrera  
Bern. Co. AGRE R 25.00

ORIGINAL

S/A	COA DMC	Project #
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

b-1 73518/ Site is in a landfill; must address landfill requirements.

NOTES

Inspector	Inspector	Engineer
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

AGENT / OWNER

Tim OTT

NAME (print)

Agent / 1585 LLC

FROM

*[Signature]*

SIGNATURE - date

11/12/03

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

*[Signature]* 11-12-03  
 TRANSPORTATION/DEVELOPMENT - date  
*[Signature]* 11/12/03  
 UTILITY DEVELOPMENT - date  
*[Signature]* 11/12/03  
 CITY ENGINEER - date

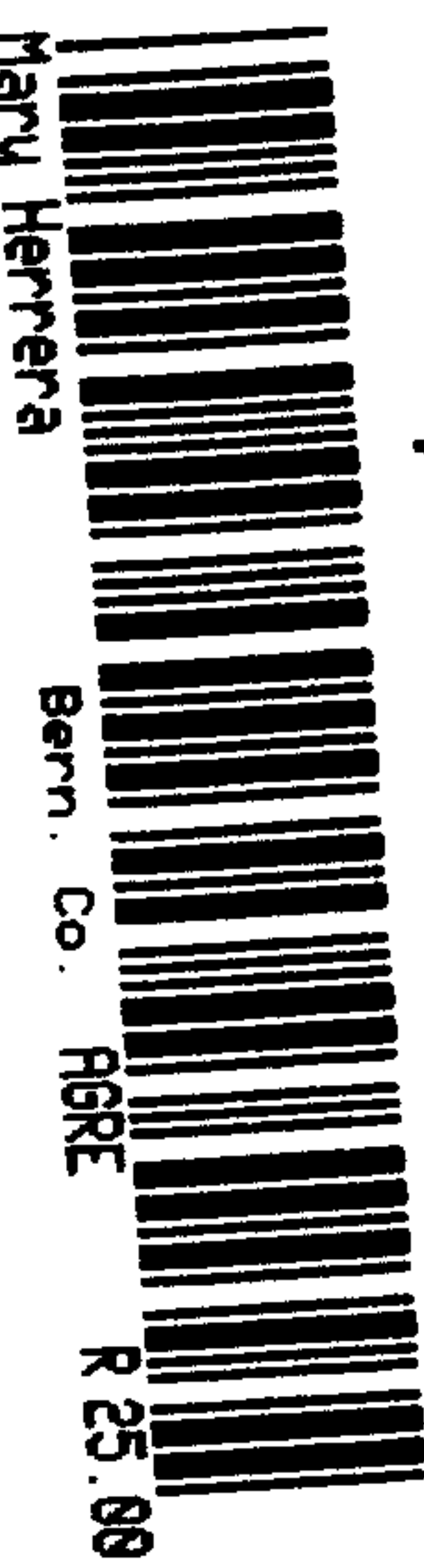
PARKS & RECREATION SERVICES - date

AMPCA - date

STATEMENT THE ALLOWED TO CONSTRUCT THE APPROVED WITHOUT A GMS EXTENSION

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	BY	REASON	AGENT / OWNER



Mary Herrera

Bern. Co. RGR

R 25.00

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 BK-A77 Pg-8639

PAGE 2 OF 2

# FINANCIAL GUARANTY AMOUNT

05/06/2004

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

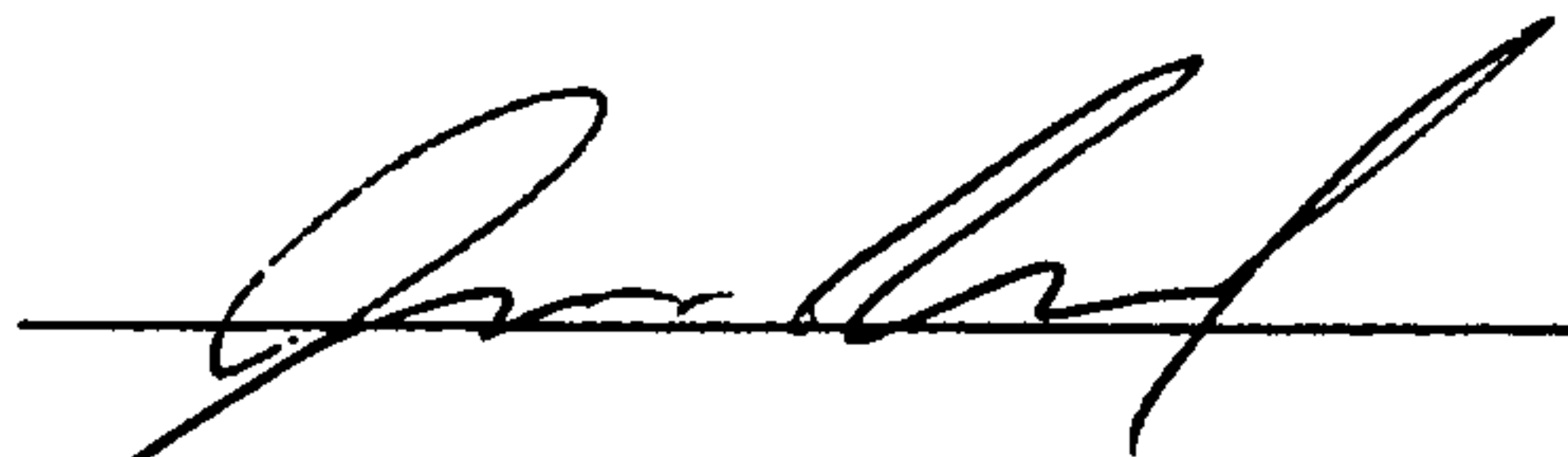
Project ID #: 735181, J Group Retail Complex-Paving/Util.Imps., Phase/U

Requested By: Jake Bordenave, PE w/ Bordenave Designs

Approved estimate amount:		\$69,716.48
Contingency Amount:	10.00%	\$6,971.65
Subtotal:		\$76,688.13
NMGRT	5.8125%	\$4,457.50
Subtotal:		\$81,145.63
Engineering Fee	6.60%	\$5,355.61
Testing Fee	2.00%	\$1,622.91
Subtotal:		\$88,124.15
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
<b>TOTAL FINANCIAL GUARANTY REQUIRED</b>		<b>\$110,155.19</b>

APPROVAL:

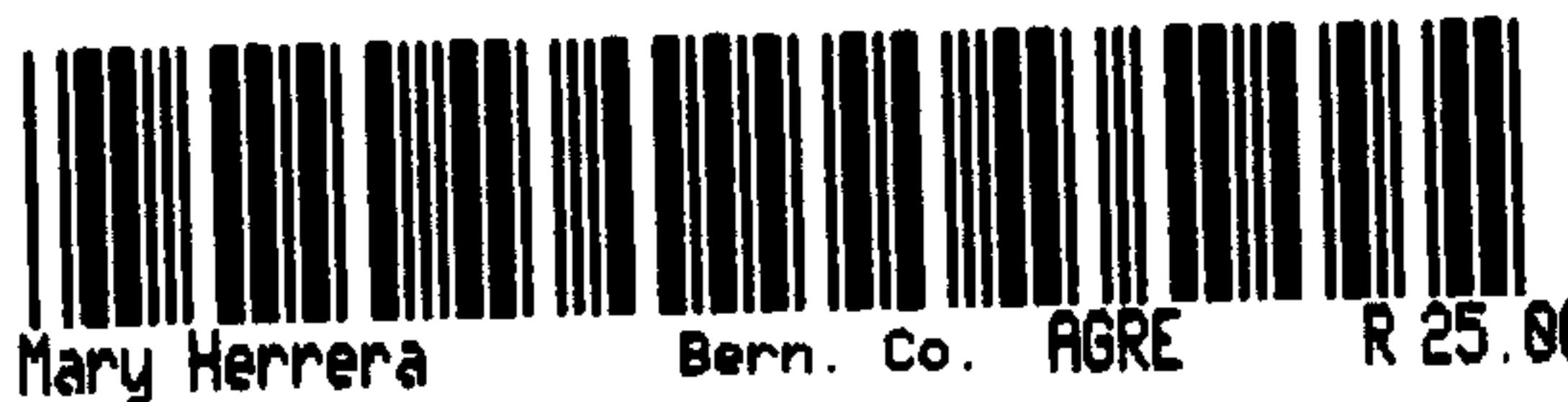
DATE:



5-6-2004

Notes: B-2. 10% contingency plans not approved. This FG is for the SD and wtr & SAS fronting the future western lot. All items on IL must be accepted or FG'ed prior to final plat.

2 of 2 FG's



Mary Herrera

Bern. Co. AGRE

R 25.00

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6882318  
Page: 9 of 9  
05/20/2004 01:13P  
Bk-A77 Pg-8639

900

POWER OF ATTORNEY

NOTE: Must be signed and notarized by the owner if the subdivider is not the owner of the Subdivision.

STATE OF NEW MEXICO )  
 ) ss.  
COUNTY OF BERNALILLO )

J Group, A New Mexico Partnership, ("Owner"), of 7508 Northridge Ave., NE [City:] Albuquerque, [State:] NM [zip code:] 87109, hereby makes, constitutes and appoints [name of subdivider:] Timothy M. Ott ("Subdivider") as my true and lawful attorney in fact, for me and in my name, place and stead, giving unto the Subdivider full power to do and perform all and every act that I may legally do through an attorney in fact, and every proper power necessary to meet the City of Albuquerque's ("City") subdivision requirements regarding the real estate owned by me and described in Section 1 of the Subdivision Improvements Agreement ("Agreement") above, including executing the Agreement and related documents required by the City, with full power of substitution and revocation, hereby ratifying and affirming what the Subdivider lawfully does or causes to be done by virtue of the power herein conferred upon the Subdivider.

This power of attorney can only be terminated: (1) by a sworn document signed and notarized by the Owner, which shall be promptly delivered to the City Planner in order to provide notice to City of the termination of this power of attorney; or (2) upon release of the Agreement by the City.

NOTE: Alternate wording may be acceptable, but must be submitted to the City Legal Department for review and approval before the final contract package is submitted to the City for review. The City may require evidence of ownership and /or authority to execute the Power of Attorney, if the Owner is not the Subdivider. If Owner is a corporation, the Power of Attorney must be signed by the president or by someone specifically empowered by the Board of Directors, in which case the corporate Secretary's certification and a copy of the Board's resolution empowering execution must accompany this document.

OWNER:

By: Joseph P Cotruzzola

Name: JOSEPH P COTRUZZOLA

Title: PARTNER - Owner

Dated: May 17 2004

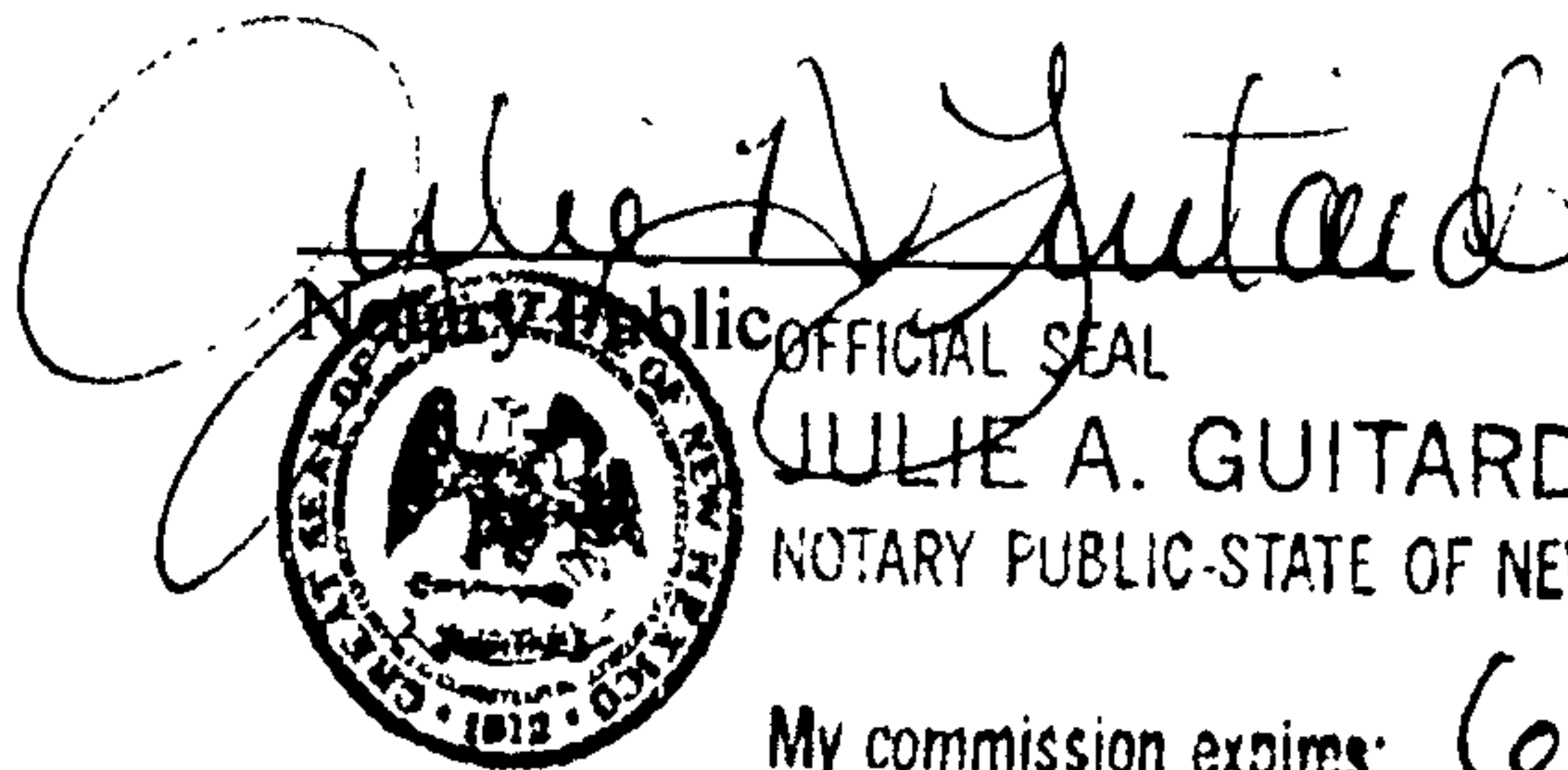


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Bk-A77 Pg-8640

The foregoing Power of Attorney was acknowledged before me this 17 day of May, 2004 by [name of person:] Joseph Cotruzzola, [Owner] Joseph Cotruzzola on behalf of the Owner.

My Commission Expires:

6-5-2004



My commission expires: 6-5-2004



# LOS ALAMOS NATIONAL BANK

Post Office Box 60, Los Alamos, New Mexico 87544 / Telephone (505) 662-5171

**Irrevocable Letter of Credit      No. 1606**

FIGURE 14

LETTER OF CREDIT

IRREVOCABLE LETTER OF CREDIT AND AGREEMENT NO.1606

**AMOUNT: \$ 110,155.19**

Jay Czar  
Chief Administrative Officer  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: **Letter of Credit for Timothy M. Ott**  
City of Albuquerque Project No: **735181**  
Project Name: **JJ Subdivision**

Dear Jay Czar,

This letter is to advise the City of Albuquerque that, at the request of **Timothy M. Ott, Los Alamos National Bank in Los Alamos, New Mexico**, has established an Irrevocable Letter of Credit in the sum of **One Hundred Ten Thousand , One Hundred Fifty Five Dollars and 19/100.00 (\$110,155.19)** for the exclusive purpose of providing the financial guarantee which the City requires **Timothy M. Ott** to provide for the installation of the improvements which must be constructed at **JJ Subdivision Project No.735181**. The amount of the Letter of Credit is 125% of the City's estimated cost of construction of improvements as required by the City's subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 5/20/04 2004 in the records of the Clerk of Bernalillo County, New Mexico in Book Misc. A 77 at pages 8634 to \_\_\_\_\_ as amended.

A Draft or Drafts for any amount up to, but not in excess of **One Hundred Ten Thousand , One Hundred Fifty Five Dollars and 19/100.00 (\$110,155.19)** is/are available at **Los Alamos National Bank , 1200 Trinity Drive, Los Alamos, New Mexico** between **November 11, 2005 and January 12, 2006**.

When presented for negotiation, the Drafts(s) is/are to be accompanied by the City's notarized certification stating: "1) **Timothy M. Ott**, has failed to comply with the terms of the Agreement; 2) the undersigned is the Chief Administrative Officer of the City of Albuquerque and is authorized to sign this certification; and 3) the amount of the Draft does not exceed 125% of the City's estimated cost of completing the improvements specified in the Agreements."

We hereby agree with the drawer of Drafts(s) drawn under and in compliance with the terms of this credit that such Draft(s) will be duly honored upon presentation to the drawee if negotiated between: **November 12, 2005 and January 12, 2006**

The Draft(s) drawn under this credit must contain the clause: "Drawn under Letter of Credit **Agreement No. 1606 of Los Alamos National Bank, 1200 Trinity Drive, Los Alamos, New Mexico** dated **May 17, 2004** and the original Letter of Credit must be endorsed on the reverse side with the amount of each draft. This Letter of Credit must accompany each draft and be attached to the draft which exhausts this credit.

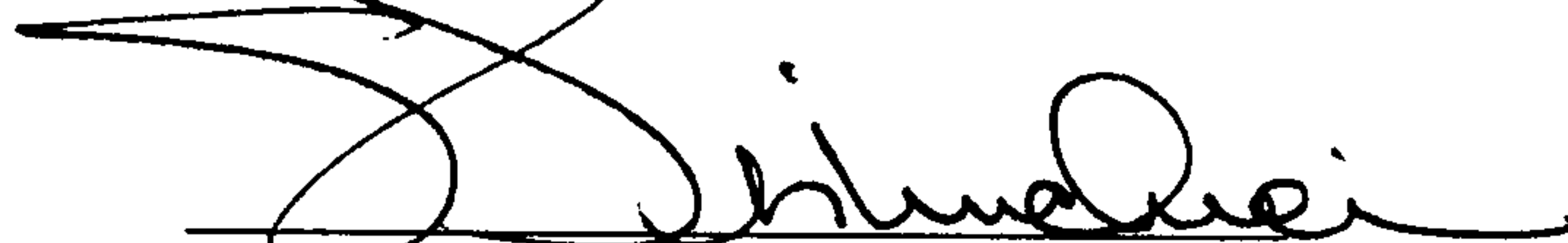
This Letter of Credit for the benefit of the City of Albuquerque shall be irrevocable until:

1. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
2. City notification of **Timothy M. Ott** failure to comply with the terms of the Agreement, and payment by Certified Check from **Los Alamos National Bank** to the City of Albuquerque of 125% of the City's estimated costs of completing the improvements specified in the Agreement; or
3. Expiration of the date **January 12, 2006** or;
4. Written termination of this Letter of Credit by the City of Albuquerque, signed by its Chief Administrative Officer.

This Letter of Credit will terminate at **5:00o'clock p.m.**, New Mexico time, **January 12, 2006**

This credit is subject to the Uniform Customs and Practice for Documentary Credits (1993 Revision), International Chamber of Commerce Publication No. 500.

Very truly yours,  
Los Alamos National Bank



By: Syndi Schlindwein  
Commercial Loan Officer

ACCEPTED:

CITY OF ALBUQUERQUE

By: \_\_\_\_\_  
Chief Administrative Officer

Dated: \_\_\_\_\_

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME Timothy MOTT  
AGENT Same  
ADDRESS P O Box 35981 87176  
PROJECT & APP # 1002455/04 DRB00984  
PROJECT NAME JJ Subd.

\$ 20.00 441032/3424000 Conflict Management Fee

\$ \_\_\_\_\_ 441006/4983000 DRB Actions

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ \_\_\_\_\_ 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

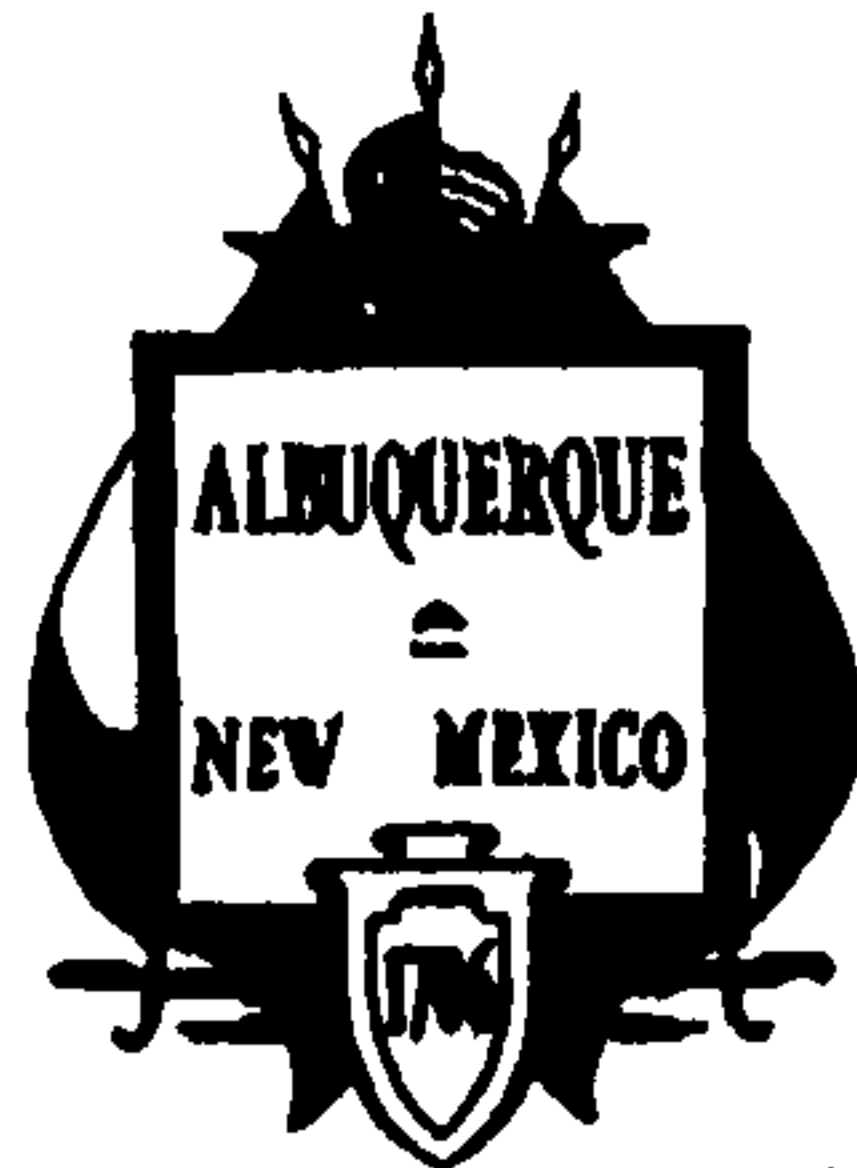
\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

\*\*\*DUPLICATE\*\*\*  
City Of Albuquerque  
Treasury Division

06/22/2004 12:00PM LOC: ANN  
X  
RECEIPT# 00027532 WS# 007 TRANSH 0011  
Account 441032 Fund 0110  
Activity 3424000 TRSLJS  
Trans Amt \$20.00  
J24 Misc \$20.00  
CK \$20.00  
CHANGE \$0.00

02-224

Tim 661 7041



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 22, 2003

Morey Walker, PE  
Walker Engineering  
905 Camino Sierra Vista  
Santa Fe, NM 87505

**Re: NM Regulation & Licensing Office Bldg Grading and Drainage Plan  
Engineer's Stamp dated 7-16-03 (E18/D57A)**

Dear Mr. Walker,

Based on information contained in your submittal dated 7-16-03, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. Prior to Building Permit approval, please address the following comments.

- Please provide existing grades in San Antonio in order to make there is an adequate waterblock at the drive.
- 2-foot contour intervals are fine for conceptual plans but for a truly constructible plan, spot elevations should be provided at all critical locations such as curb corners, culverts, ends of pavement, etc.
- Please show the side inlet and any sidewalk culverts in plan.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: file

SIA Sequence #	COA ORC Project #	Size	Type of Improvement	Location	From	TO	Private Inspector	City Inspector	City Engineer
							1	1	1
							1	1	1
							1	1	1
							1	1	1

NOTES  
 Site is in a landfill; must address landfill requirements.

AGENT / OWNER

NAME (print) Tim OTT  
 FIRM Agrest / 1585 LLC  
 DRB CHAIR - date 11-12-03  
 TRANSPORTATION/DEVELOPMENT - date 11-12-03  
 UTILITY DEVELOPMENT - date 11/12/03  
 CITY ENGINEER - date 11/12/03

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

William W. Peterson 11/12/03  
 Parks & General Services - date 11/12/03  
Christina Sandoval  
 Recreation

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT / OWNER

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION:

**INFRASTRUCTURE LIST**

*Claire*

Date Site Plan Approved: 11/12/03  
 Date Preliminary Plat Approved: 11/12/03  
 Date Preliminary Plat Expires: 11/12/04  
 DRB Project No.: 1002455  
 DRB Application No.: 03-01899

14

**ORIGINAL**

**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**J GROUP ADDITION**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

TRACT A-3-B, J GROUP ADDITION, TRACT 1, NEW HEART CTR, TRACT 1, NORTHSIDE SUB.  
**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		8" PVC	Water line 1873 ft	South side of San Antonio Blvd	Lot A-3-B-1	San Pedro A-3-B-7	1	1	1
		8" SDR 35	Sanitary Sewer 1600 ft	South side of San Antonio Blvd	Lot A-3-B-1	A-3-B-7	1	1	1
		1	Side inlet to Arroyo	SW Corner lot A-3-B-1			1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1

11/12/03

Final Plat Deflected until  
SIA in place

Easement filed 11/1/91

cannot be vacated w/out  
vacation action.





**DEVELOPMENT REVIEW BOARD (DRB)  
CITY OF ALBUQUERQUE**

**REVIEW COMMENTS**

By the

**UTILITY DEVELOPMENT SECTION (WATER & SEWER)**

**DEVELOPMENT & BUILDING SERVICES DIVISION  
PUBLIC WORKS DEPARTMENT**

**PHONE 924-3989 Roger Green  
PHONE 924-3988 Nancy Musinski**

14

D.R.B. CASE NO.: 1002455      DATE: 11/12/03      ITEM NO.: 14

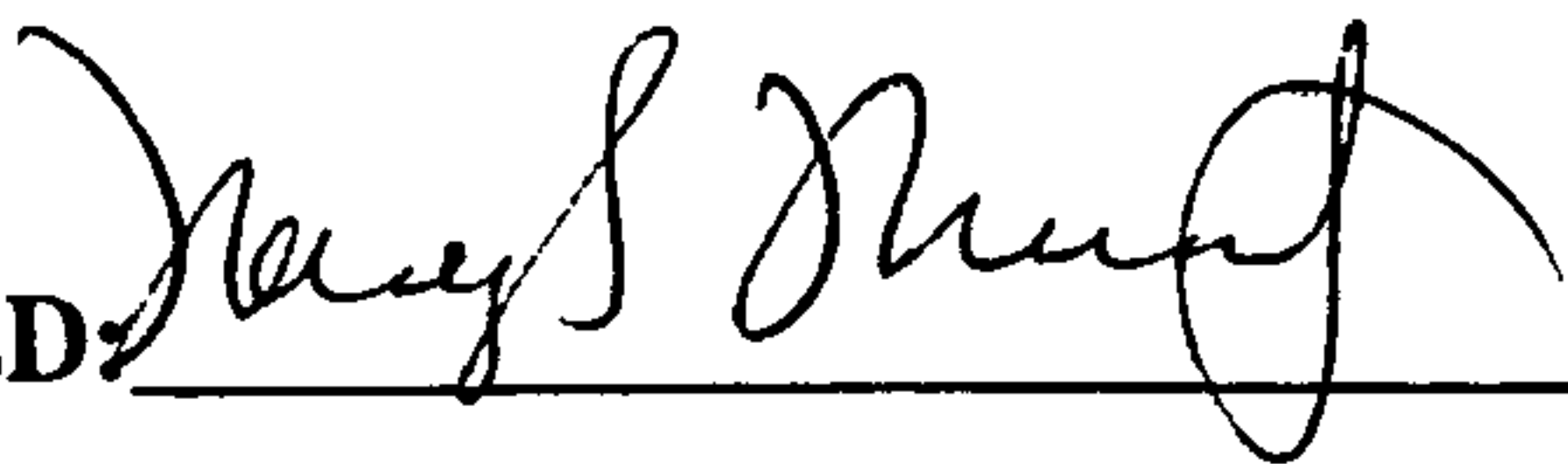
ZONE ATLAS PAGE: E-18      LOCATION: SAN PEDRO / SAN ANTONIO = SW cor

REQUEST FOR: Prelim + Final Plat

**COMMENTS:**

- 1.) May NOT include Public Utility easement within Public Water + Sanitary Sewer easement
- 2.) If no public hearing was conducted for requested vacation action of former Tract 1, then needs hearing.

SIGNED:



DATE: 11/10/03

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
Development Review Board  
November 12, 2003 Comments**

**ITEM # 14**

**PROJECT # 1002455      APPLICATION # 03DRB-0189~~19~~**

**RE: J Group Addition, Lot A3B/prelim & final**

The required covenant language related to the landfill is on the plat as required.

AGIS dxf approval is needed prior to Planning signing the final plat. Also, three signed copies of the DRB approved site plan for subdivision are needed before Planning signs the plat.

No objection to the requested actions once the above conditions are completed.



Sheran Matson, AICP DRB Chair  
924-3880 Fax 924-3864 smatson@cabq.gov



**City of Albuquerque**  
**CITY OF ALBUQUERQUE**  
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
**PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT SERVICE**  
**HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 14**

**SUBJECT:**

- |                         |                          |                              |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension           |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

An approved drainage plan dated 7-16-03 is on file for Preliminary Plat approval.  
 An executed Subdivision Improvements Agreement with financial guarantees is required for Final Plat sign-off.

**RESOLUTION:**

*signed I.L.*

APPROVED X; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
 City Engineer/AMAFCA Designee

**DATE:** November 12, 2003

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
<b>SUBDIVISION</b>	<b>S</b>	<b>ZONING &amp; PLANNING</b>	<b>Z</b>
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	<b>V</b>	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>		
		<b>APPEAL / PROTEST of...</b>	<b>A</b>
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Joe Cotruzzola PHONE: 505-883-4004  
 ADDRESS: 7508 Northridge Ave NE FAX: Same  
 CITY: Alb. STATE NM ZIP 87109 E-MAIL: www.teconline.com  
 Proprietary interest in site: Owner  
 AGENT (if any): Timothy M OTT PHONE: 505-250-4675  
 ADDRESS: 40 Chaco FAX: 505-661-7041  
 CITY: Los Alamos STATE NM ZIP 87544 E-MAIL: timott@nmia.org

DESCRIPTION OF REQUEST: Minor Subdivision Action - Prel. Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. A3B Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. J Group Addition  
 Current Zoning: SU C-1 Proposed zoning: SU C-1  
 Zone Atlas page(s): E-18-2 No. of existing lots: 3 No. of proposed lots: 7  
 Total area of site (acres): 10 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? Yes  
 UPC No. 101 806 215 05 27 20140 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: San Antonio  
 Between: I-25 and San Pedro

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 2-93-3  
DRB 96-452

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: Oct 29

SIGNATURE Timothy M Ott DATE 11/4/03  
 (Print) TIMOTHY M OTT Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>03DRB -</u>	<u>-01899</u>	<u>P+2</u>	<u>s(3) \$ 635<sup>00</sup></u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date	<u>Nov. 12, 2003</u>		Total
				<u>\$ 635<sup>00</sup></u>

Paul Lardet 11/4/03  
 Planner signature / date

Project # 1002455

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED, OR INTERNAL ROUTING)**

**SKETCH PLAT REVIEW AND COMMENT**

**YOUR ATTENDANCE IS REQUIRED.**

- \_\_\_ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- \_\_\_ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Any original and/or related file numbers are listed on the cover application

**MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT**

**Your attendance is required.**

- \_\_\_ Preliminary Plat reduced to 8.5" x 11"
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Copy of previous D.R.B. approved infrastructure list
- \_\_\_ Copy of the Official D.R.B. Notice of approval
- \_\_\_ Any original and/or related file numbers are listed on the cover application

**Extensions are not reviewed through internal routing.**

Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL**

**Your attendance is required.**

- \_\_\_ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- \_\_\_ Design elevations & cross sections of perimeter walls
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- \_\_\_ Property owner's and City Surveyor's signatures on the Mylar drawing
- \_\_\_ SIA financial guaranty verification
- \_\_\_ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- \_\_\_ Any original and/or related file numbers are listed on the cover application
- \_\_\_ **DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.

- N/A* \_\_\_ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- \_\_\_ Property owner's and City Surveyor's signatures on the Mylar drawing
- \_\_\_ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- \_\_\_ Fee (see schedule)
- \_\_\_ Any original and/or related file numbers are listed on the cover application
- \_\_\_ Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**
- \_\_\_ **DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

*to map  
has note on plat*

**AMENDMENT TO PRELIMINARY PLAT (with minor changes)**

**Your attendance is required.**

**AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**

**AMENDMENT TO GRADING PLAN (with minor changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- \_\_\_ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
  - \_\_\_ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
  - \_\_\_ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Timothy M Ott Applicant name (print)  
*[Signature]* Applicant signature / date 11/4/03



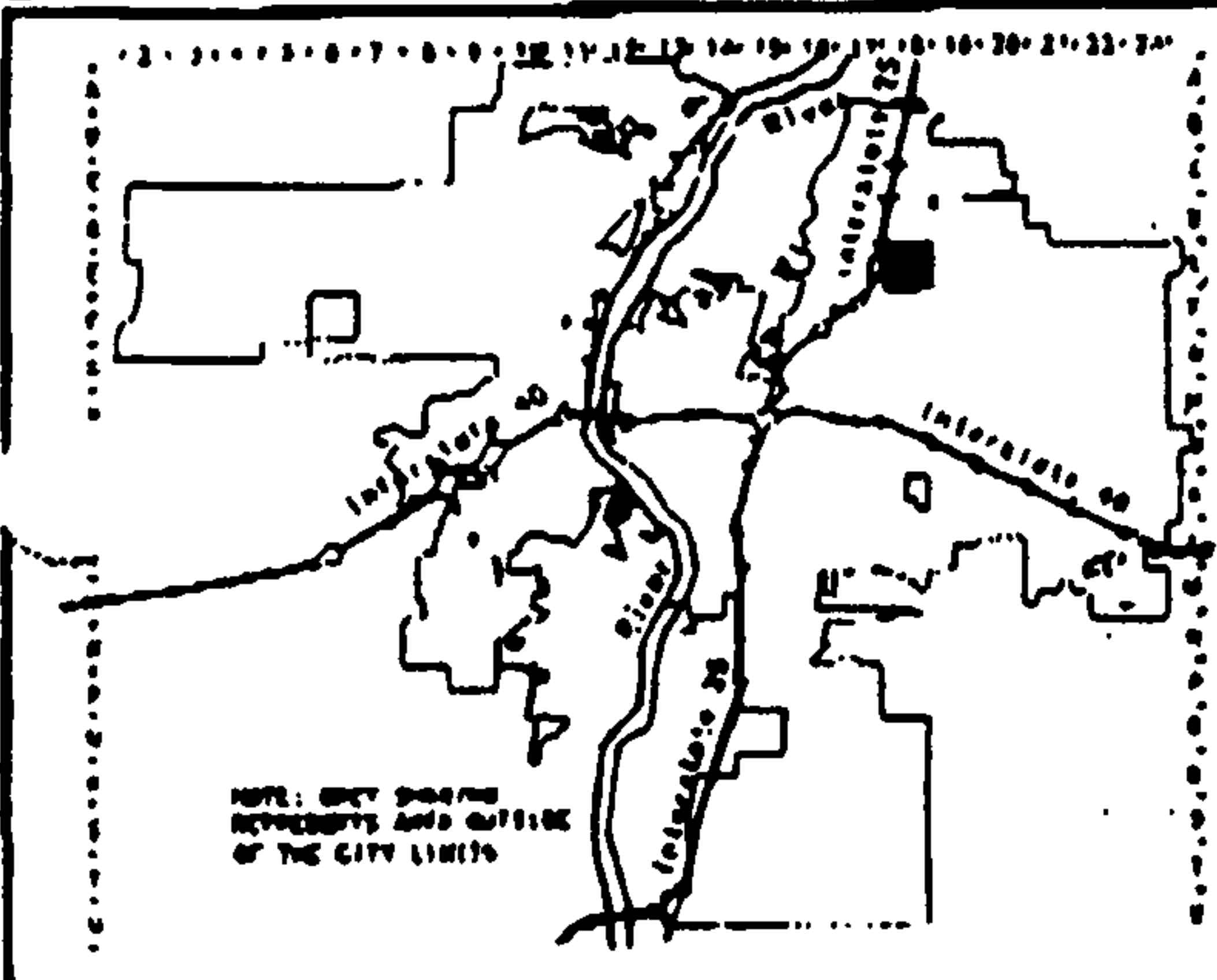
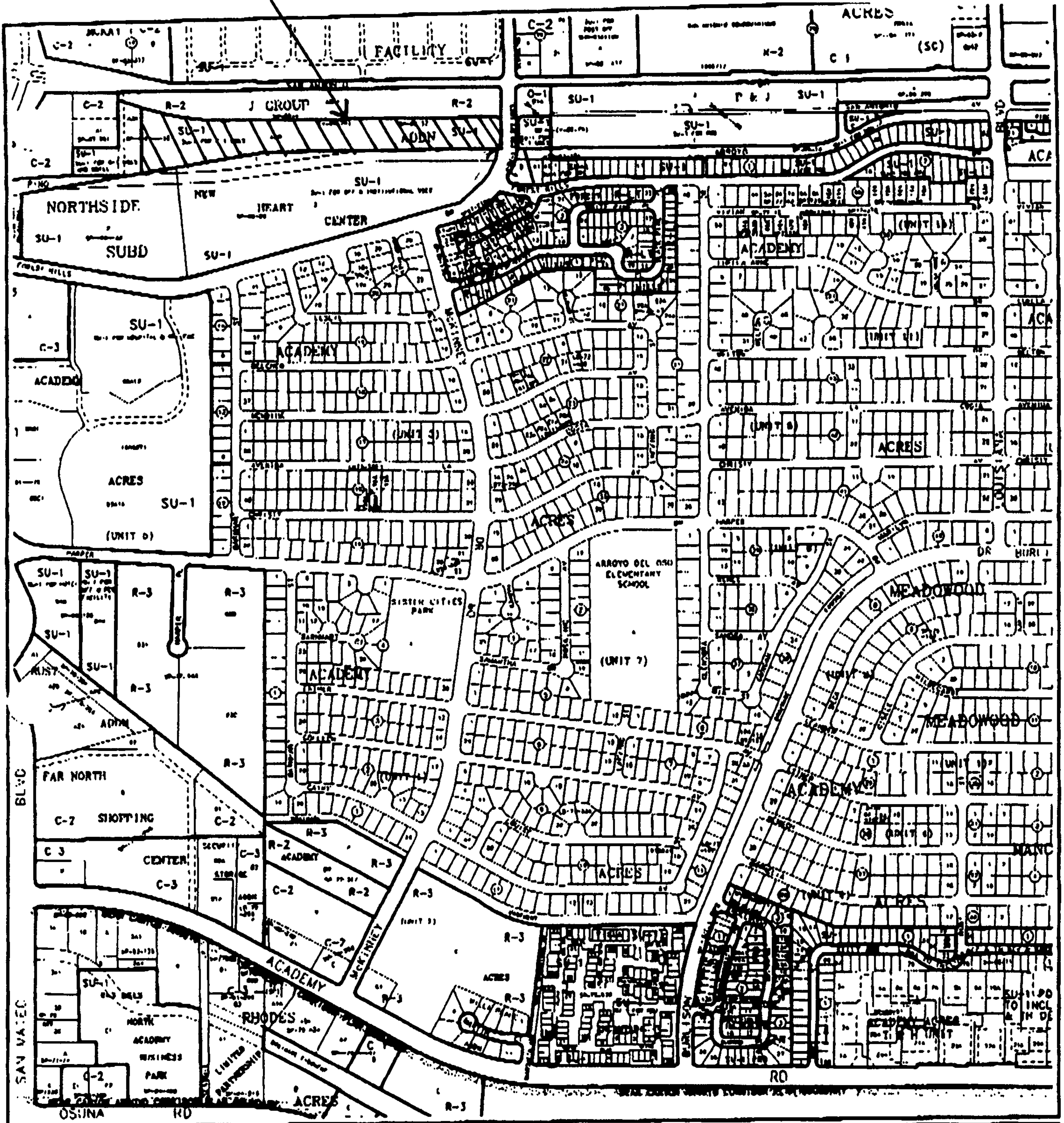
Form revised 3/03 and 8/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

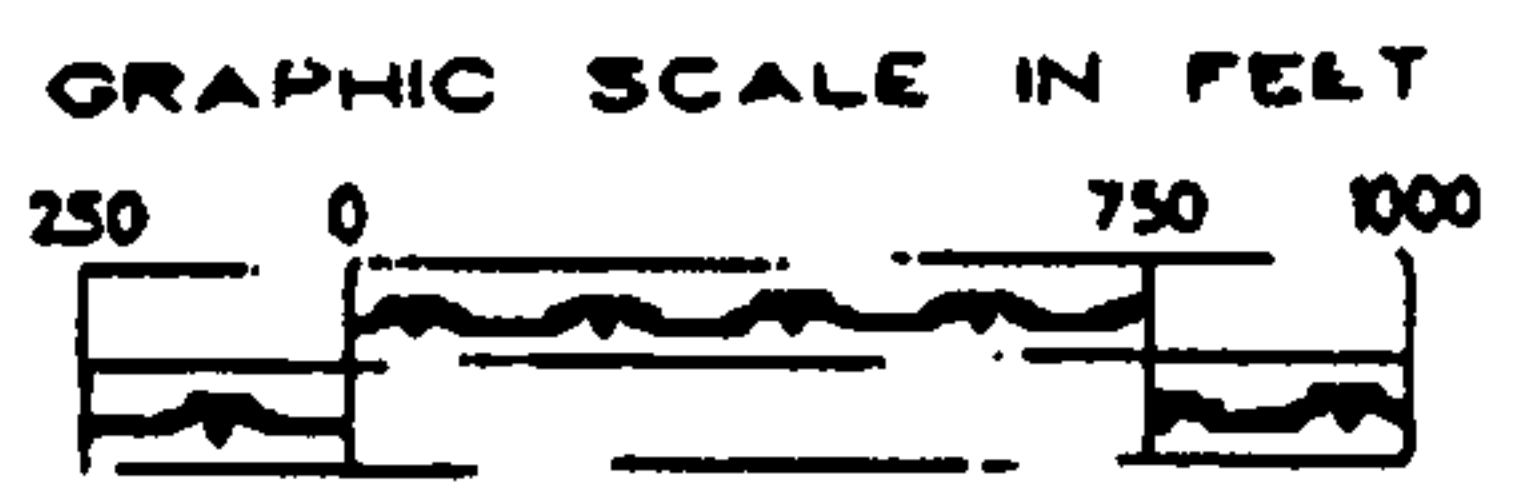
Application case numbers  
03DRB-01899

*[Signature]* 11/4/03  
 Planner signature / date  
**Project #** 1002455

**SITE**



**CITY OF Albuquerque**  
**Albuquerque Growth Initiative Study**  
**PLANNING DEPARTMENT**  
 © Copyright 2002



**Zone Atlas Page**

**E-18-Z**

Map Amended through April 03, 2002

From: Tim Ott, Agent for Joe Cotruzzola

To: DRB

Subj: Preliminary and Final Plat review for Project 1002455

This is the final plat submission for project 1002455, which is the subdivision of 3 existing lots into 7 lots. The plan for subdivision was approved by the DRB at a previous meeting.



T.M. Ott



ONE STOP SHOP . . . FRONT COUNTER  
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)  
LAND DEVELOPMENT COORDINATION SECTION (LDC)  
Plaza Del Sol - 2nd & 4<sup>th</sup> Floor West - 600 2nd St NW 87102  
Front Counter Main Number (505) 924-3858 or 924-3895  
Main Fax (505) 924-3864

**PAID RECEIPT**

APPLICANT NAME

Joe Cotruzzola

AGENT

Timothy Ott

ADDRESS

40 Chaco

PROJECT NO.

1002455

APPLICATION NO.

03DRB 01899

\$ 635<sup>00</sup> 441006 / 4983000 (DRB Cases)

\$ \_\_\_\_\_ 441006 / 4971000 (EPC & AA / LUCC / Appeals)

\$ \_\_\_\_\_ 441018 / 4971000 (Notification)

\$ 635<sup>00</sup> Total amount due

\*\*\*DUPLICATE\*\*\*  
City Of Albuquerque  
Treasury Division

11/04/2003 11:00AM LOC: ANN  
X  
RECEIPT# 00015331 WSH 007 TRANSH 0015  
Account 441006 Fund 0110  
Activity 4983000 TRSLJS  
Trans Amt \$635.00  
J24 Misc \$635.00  
CK 10/28/02 \$635.00  
CHANGE \$0.00

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
Development Review Board  
October 8, 2003 Comments**

**ITEM # 16**

**PROJECT # 1002455**

**APPLICATION # 03DRB-01654**

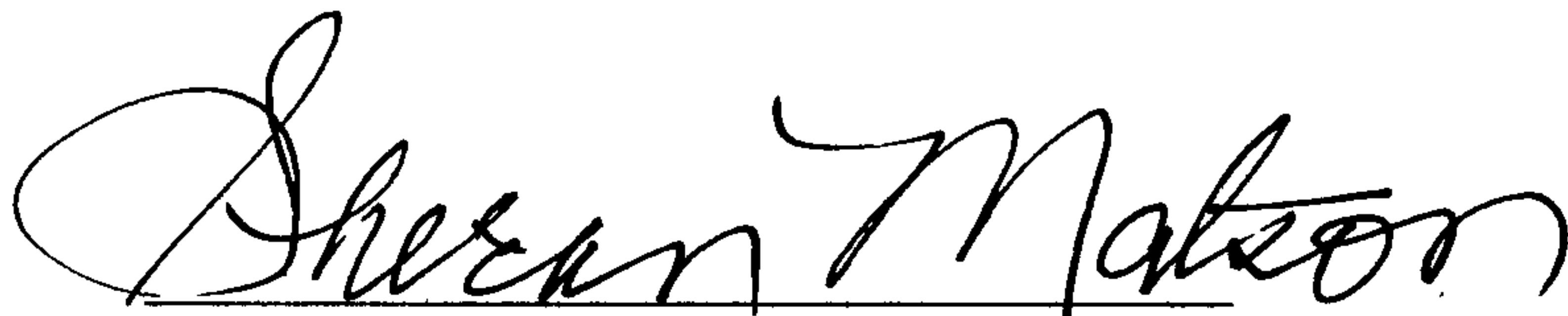
**RE: J Group Addition**

DRB needs to hear these two site plans together. We will defer this site plan until the site plan for building permit is submitted. ← *He said may change this*

In addition, one of EPC's conditions is that the re-plat be submitted with the two site plans to DRB. This is another reason for deferral.

Also, has AEHD approved your master plan for the landfill gas issues?

*Yes  
Covenant language  
on plat*



Sheran Matson, DRB Chair

914-3880 Fax 914-3864 smatson@cabq.gov



**City of Albuquerque**  
**CITY OF ALBUQUERQUE**  
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
**PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT SERVICE**  
**HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 16**

**SUBJECT:**

- |                         |                          |                              |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension           |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

No adverse comments on Site Plan.  
 An approved drainage report is on file for Preliminary Plat approval.  
 An approved infrastructure list is required for Preliminary Plat approval.

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X<sup>10/22/03</sup>; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN  
 SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)  
 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)  
 FOR:

**SIGNED:** Bradley L. Bingham  
 City Engineer/AMAFCA Designee

**DATE:** October 8, 2003



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

October 8, 2003

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:05 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 1:20 p.m.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000131**  
03DRB-01513 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, agent(s) for BROADWAY DEVELOPMENT CORPORATION, request(s) the above action(s) for all or a portion of various parcels comprising, **BROADWAY INDUSTRIAL PARK - UNIT 1**, zoned SU-2 HM, located on SAN JOSE AVE SE, between BROADWAY BLVD SE and I-25 SE containing approximately 61 acre(s). [REF: 01DRB-01559] (M-14) A **TWO-YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

2. **Project # 1002855**  
03DRB-01511 Major-Vacation of Pub  
Right-of-Way

JOHN A. MYERS, ESQ. agent(s) for ETG PROPERTIES, LLC request(s) the above action(s) for all or a portion of **EAST END ADDITION**, located on VERMONT ST NE, between LOMAS BLVD NE and MARBLE AVE NE containing approximately 1 acre(s). [REF: Z-98-115 A& B, 03EPC-00979 & 981, 02EPC-01676 & 77 (J-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH TWO ADDITIONAL CONDITIONS.**

3. **Project # 1002928**  
03DRB-01532 Major-Preliminary Plat  
Approval  
03DRB-01534 Minor-Temp Defer SDWK  
03DRB-01536 Minor-Sidewalk Waiver

BOHANNAN HUSTON, INC. & DENISH-KLINE ASSOCIATES, agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **Tract(s) D** (to be known as **TAOS @ THE TRAILS**, The Trails (a portion of Tract 4, Black Ranch) zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). REF: 03DRB-01429 (SK) *[Deferred from 10/8/03]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/5/03.**

4. **Project # 1002929**  
03DRB-01531 Major-Preliminary Plat  
Approval  
03DRB-01533 Minor-Temp Defer SDWK  
03DRB-01535 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC. & DENISH - KLINE ASSOCIATES, agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of **Tract(s) C** (to be known as **SANTA FE @ THE TRAILS**) **The Trails (portion of Tract 4, Black Ranch)** zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 17 acre(s). *[Deferred from 10/8/03]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/5/03.**

5. **Project # 1002962**  
03DRB-01527 Major-Bulk Land Variance  
03DRB-01528 Minor-Prelim&Final Plat Approval  
03DRB-01529 Major-Vacation of Public Easements  
03DRB-01530 Major-SiteDev Plan Subd
- BOHANNAN HUSTON INC & DENISH-KLINE ASSOCIATES, agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 4 (to be known as **TRACT 4, BLACK RANCH**, zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 100 acre(s). [REF: 03DRB-01432 (SK), 03DRB-01429 (SK)] *[Deferred from 10/8/03]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/22/03.**
6. **Project # 1002957**  
03DRB-01524 Major-Vacation of Public Easements  
03DRB-01525 Minor-Prelim&Final Plat Approval
- JEFF MORTENSEN & ASSOCIATES, INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) 26A-1, **TAYLOR RANCH**, zoned R-T, located on TAYLOR RANCH DR NW, between MONTANO RD NW and HOMESTEAD CIRCLE NW containing approximately 14 acre(s). [REF: DRB-91-133] (D-11) **THE VACATION OF THE PUBLIC WATER LINE EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO CHECK FOR REMOVAL OF VACATION (1) ON SHEETS 2 OF 3 OF THE PLAT AND TO PLANNING FOR AGIS DXF FILE.**
7. **Project # 1002960**  
03DRB-01537 Major-Preliminary Plat Approval  
03DRB-01538 Major-Vacation of Pub Right-of-Way  
03DRB-01539 Major-Vacation of Public Easements  
03DRB-01540 Minor-Temp Defer SDWK  
03DRB-01541 Minor-Sidewalk Waiver
- MARK GOODWIN & ASSOCIATES, agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Tract(s) J-2-A (to be known as **SUNDORO SOUTH, UNITS 1, 2 & 3**) WESTLAND NORTH SUBDIVISION, zoned SU-2 / R-LT, located on 98<sup>TH</sup> ST NW, between I-40 NW and LADERA DR NW containing approximately 35 acre(s). *[Deferred from 10/8/03]* (J-8) **DEFERRED AT THE AGENT'S REQUEST TO 10/22/03.**

8. **Project # 1002934**  
03DRB-01445 Major-Vacation of Pub  
Right-of-Way
- DE LA TORRE ARCHITECTS, agent(s) for FOURTH STREET & MENAUL INC., request(s) the above action(s) for all or a portion of Block(s) O, Tract(s) 1A, **WALGREEN ADDITION**, zoned C-2 (SC), containing approximately 11 acre(s). *[Deferred from 9/24/03 & 10/8/03]* (H-14) **DEFERRED AT THE AGENT'S REQUEST TO 10/15/03.**
9. **Project # 1002645**  
03DRB-01440 Major-Preliminary Plat  
Approval  
03DRB-01441 Minor-Temp Defer  
SDWK
- TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Tract(s) 1-1-A (to be known as **SEVILLE UNIT 8**, zoned R-LT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and KAYENTA PL NW containing approximately 27 acre(s). [REF: 03DRB-00741] *[Deferred from 10/1/03]* (A-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/3/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION OF FINAL PLAT: SUBMITTAL OF CROSS SECTIONS OF PERIMETER WALLS AND THEIR APPROVAL BY PLANNING. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

10. **Project # 1002864**  
03DRB-01487 Major-Preliminary Plat Approval  
03DRB-01488 Major-Vacation of Public Easements  
03DRB-01490 Minor-Temp Defer SDWK  
03DRB-01491 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LTD PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) B, Ventana Ranch, Lands of Massachusetts General Hospital (to be known as **CANTA CIELO SUBDIVISION**) zoned R-LT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 20 acre(s). [REF:03DRB-01302] *[Deferred from 10/1/03]* (A-9/A-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/4/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: SUBMITTAL OF CROSS SECTIONS OF PERIMETER WALLS AND THEIR APPROVAL BY PLANNING. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

11. **Project # 1002948**  
03DRB-01485 Major-Preliminary Plat Approval  
03DRB-01486 Minor-Sidewalk Waiver  
03DRB-01497 Minor-Temp Defer SDWK

ISAACSON AND ARFMAN, P.A. agent(s) for MS DEV ONE, LLC request(s) the above action(s) for all or a portion of Tract(s) A-1, Lot(s) 1 & 2, Tract(s) 171a1b2, **LANDS OF JACK CULLY**, zoned RA-2 residential and agricultural zone, located on ADOBE RD NW, between MONTANO RD NW and GUADALUPE TR NW containing approximately 6 acre(s). *[Deferred from 10/1/03]* (F-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/5/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: AN ADEQUATE EASEMENT FOR THE LATERAL SHALL BE PROVIDED AND M.R.G.C.D. SHALL SIGN THE PLAT. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**



12. **Project #1002201**  
03DRB-01270 Major-Preliminary Plat  
Approval

TIERRA WEST LLC agent(s) for P J DEVELOPMENT COMMERCIAL CONSTRUCTION, request(s) the above action(s) for all or a portion of Tract(s) A & B, **AMERICAN TOYOTA**, zoned SU-2 special neighborhood zone, SU-1 AUTO SALES, located on ALAMEDA BLVD NE, between PAN AMERICAN FWY. NE and SAN PEDRO DR NE containing approximately 7 acre(s). [REF: Z-86-8, DRB-95-74, 02DRB-01367 (VRW) 02DRB-01270 (PP)] *[Deferred from 8/20/03, 8/27/03, 9/10/03, 9/24/03, 10-1/03]* (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 THE PRELIMINARY PLAT WAS APPROVED.**

**Project #1002201**  
03DRB-01150 Minor-Prelim&Final Plat  
Approval

TIERRA WEST LLC agent(s) for OMEGA AUTOMOTIVE REAL ESTATE LTD request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (Vac), 03ZHE-00655] [Listed as Project #1002613 in error] *[Deferred from 7/23/03, 8/13/03, 8/27/03, 9/10/03, 9/24/03, 10/1/03]* (C-18) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CROSS LOT DRAINAGE EASEMENTS AND UTILITY DEVELOPMENT TO ADD PRIVATE SANITARY SEWER EASEMENTS FOR PRIVATE ACCESS AND TO ADD A 30-FOOT PUBLIC WATERLINE EASEMENT TO VACATED OAKLAND.**

**Project #1002201**  
03DRB-01382 Minor-SiteDev Plan  
BldPermit

TIERRA WEST, LLC agent(s) for OMEGA AUTOMOTIVE, REAL ESTATE LTD. request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, Block(s) 10, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 special neighborhood zone, IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (VRW) 03ZHE-00655] *[Deferred from 8/27/03, 9/10/03, 9/24/03, 10/1/03]* (C-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA.**

13. **Project # 1002949**  
03DRB-01492 Minor-Preliminary Plat  
Approval  
03DRB-01493 Major-Vacation of Pub  
Right-of-Way  
03DRB-01494 Minor-Sidewalk Waiver  
03DRB-01496 Minor-Temp Defer  
SDWK

ISAACSON AND ARFMAN, P.A. agent(s) for JAMES CRABTREE request(s) the above action(s) for all or a portion of Tract(s) 1, Block(s) 10A, Unit(s) 3, VOLCANO CLIFFS SUBDIVISION, (to be known as PETROGLYPH PARK) zoned O-1 office and institution zone, located on SANTO DOMINGO NW, between UNSER BLVD NW and PIMA AVE NW containing approximately 2 acre(s). [Deferred from 10/1/03 & 10/8/03] (E-10) DEFERRED AT THE AGENT'S REQUEST TO 10/22/03.

14. **Project # 1001523**  
03DRB-01361 Major-Vacation of Public  
Easements  
03DRB-01360 Major-Preliminary Plat  
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, LADERA INDUSTRIAL CENTER, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98<sup>th</sup> ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [Deferred from 9/10/03, 9/17/03, 9/24/03, 10-1-03] (H-10) THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/21/02 THE PRELIMINARY PLAT WAS APPROVED.

- Project # 1001523**  
03DRB-01458 Minor-SiteDev Plan  
Subd/EPC

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, LADERA INDUSTRIAL CENTER, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98<sup>th</sup> ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [Deferred from 9/10/03, 9/17/03, 9/24/03, 10/1/03] [RUSSELL BRITO, EPC CASE PLANNER] (H-10) THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PERIMETER WALL SUBMITTAL.

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

15. **Project # 1002197**  
03DRB-01648 Minor-SiteDev Plan  
BldPermit/EPC
- MOLZEN CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT - WATER UTILITY DIVISION, request(s) the above action(s) for SEC. 28 T11N R2E , **WEST MESA OPEN SPACE**, zoned RO-20, located on ATRISCO NW and 81<sup>ST</sup> ST NW BETWEEN DOUBLE EAGLE AIRPORT AND I-40 WEST. [CHRIS HYER, EPC CASE PLANNER] (E-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
16. **Project # 1002455**  
~~03DRB-01654 Minor-SiteDev Plan  
Subd/EPC  
03DRB-01655 Minor-Sketch Plat or  
Plan~~
- TIMOTHY M. OTT agent(s) for JOE COTRUZZOLA request(s) the above action(s) for all or a portion of Lot(s) A3B, **J GROUP ADDITION**, zoned SU-1, C-1, located on SAN ANTONIO NE, between I-25 and SAN PEDRO NE containing approximately 10 acre(s). [DEBBIE STOVER, EPC CASE PLANNER] [Deferred from 10/8/03] ~~(E-18) THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE GIVEN. DEFERRED AT THE AGENT'S REQUEST TO 10/22/03.~~

17. **Project # 1001104**  
03DRB-00289 Minor- Final Plat  
Approval

RHOMBUS PA agent(s) for TOR & RAQUEL RASMUSSEN request(s) the above action(s) for all or a portion of Lot(s) 31 and 32, Block(s) 2, Tract(s) 3, Unit 3, NORTH ALBUQUERQUE ACRES (to be known as **OAKLAND MEADOWS SUBDIVISION**) zoned R-D, located on BARSTOW ST NE, between OAKLAND AVE NE and the NORTHEAST CORNER OF THE INTERSECTION, containing approximately 2 acre(s). [REF: 01DRB-00312] [Deferred from 3/5/03, 3/26/03 & 4/9/03, the final plat was indefinitely deferred on 4/16/03] (C-20) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMENDMENTS TO THE SITE PLAN.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS**

18. **Project # 1000162**  
03DRB-01636 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD. agent(s) for TIM WHITE - DESERT CREEK APARTMENTS request(s) the above action(s) for all or a portion of Tract(s) A, **LUECKING PARK COMPLEX**, zoned R-3, located on BRYN MAWR AVE NE, between AMAFCA NORTH DIVERSION and I-25 FRONTAGE ROAD containing approximately 16 acre(s). [REF: 1000162, 01DRB-01697, 00440-00097, 01460-00821, 03DRB-00823] (G-16) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ACCESS TO BOTH LOTS OF ADJOINING PARCEL AND UPDATES AND TO PLANNING FOR PNM ELECTRIC'S SIGNATURE AND FOR A TRAIL EASEMENT ON SOUTH END OF PROPERTY.**

19. **Project # 1000621**  
03DRB-01649 Minor-Prelim&Final Plat  
Approval

BOHANNAN HUSTON, INC. agent(s) for JOHN Q. HAMMONS REVOCABLE TRUST request(s) the above action(s) for all or a portion of Tract(s) B & C, **GATEWAY SUBDIVISION**, zoned SU-2 special neighborhood zone, C-3, located on WOODWARD PL NE, between INTERSTATE 25 and LOMAS BLVD NE containing approximately 10 acre(s). [REF: DRB-97-466, 00DRB-00849 SK, 03DRB-01353] (J-15) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR 35-FOOT BY 35-FOOT WATER METER EASEMENT AND PLANNING FOR AGIS DXF FILE.**

20. **Project # 1001991**  
03DRB-01650 Minor-Prelim&Final Plat  
Approval

WAYJOHN SURVEYING INC. agent(s) for GEORGE EK request(s) the above action(s) for all or a portion of Lot(s) 9, Block(s) B, **DAVIDSON ADDITION**, zoned R-2, located on CANDELARIA ROAD NW, between 4<sup>th</sup> ST NW and 7<sup>th</sup> ST NW containing approximately 1 acre(s). [REF: Listed under Project #1002135 in error. Correct Project # is #1001991, 02ZHE 01209/01210/01211] (G-14) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

21. **Project # 1002315**  
03DRB-01651 Minor-Final Plat  
Approval

BOHANNAN HUSTON, INC. agent(s) for HIGH DESERT INVESTMENT CORP. request(s) the above action(s) for all or a portion of Tract(s) 13-B, **WILDERNESS VILLAGE & WILDERNESS COMPOUND @ HIGH DESERT**, zoned SU-2 HD/R-R, located on CITY OF ALBUQUERQUE OPEN SPACE, containing approximately 34 acre(s). (F-23) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO COORDINATE WITH FINAL CONSTRUCTION PLANS AND ACCESS LANGUAGE FOR SANITARY SEWER AND PLANNING FOR PERIMETER WALLS SUBMITTAL AND AGIS DXF FILE.**

22. **Project # 1002635**  
03DRB-01652 Minor-Prelim&Final Plat  
Approval

BOHANNAN HUSTON, INC. agent(s) for CANDELARIA & TRAMWAY SW, LTD. PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) A (REPLAT OF TRACT 1) **LANDS OF CANDELARIA & AND TRAMWAY SW**, zoned SU-1 special use zone, Neighborhood Commercial, located on TRAMWAY BLVD NE AND CANDELARIA RD NE and containing approximately 3 acre(s). [REF: 03EPC-00702 ZMA, 03EPC-00703 SPS, 03EPC-0704 SBP] (H-22) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/8/03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

23. **Project # 1002992**  
03DRB-01623 Minor-Subd Design  
(DPM) Variance

TIERRA WEST, LLC agent(s) for SOUTHWEST CONTRACTORS INC. request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 5, **ORIGINAL TOWNSITE OF WESTLAND**, zoned C-2 community commercial zone, located on 86<sup>TH</sup> ST SW, between BRIDGE BLVD SW and CENTRAL AVE SW. [Deferred from 10/8/03] (K-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/15/03.**

24. **Project # 1003006**  
03DRB-01653 Minor-Prelim&Final Plat  
Approval

ALBUQUERQUE SURVEYING COMPANY, INC.  
agent(s) for RICHARD & NASHAUN GALLEGOS  
request(s) the above action(s) for all or a portion of  
Lot(s) 17 & 18, Block(s) 3, **BELMONT PLACE**  
**ADDITION**, zoned R-1, located on 5<sup>th</sup> ST NW,  
between BELLROSE AVE NW and GRIEGOS RD  
NW containing approximately 1 acre(s). [REF: ZA-93-  
227] (G-14) **INDEFINITELY DEFERRED AT THE**  
**AGENT'S REQUEST.**

**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

**THERE ARE NO SKETCH PLAT THIS WEEK**

25. Approval of the Development Review Board Minutes September 24, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 1:20 P.M.

CITY OF ALBUQUERQUE

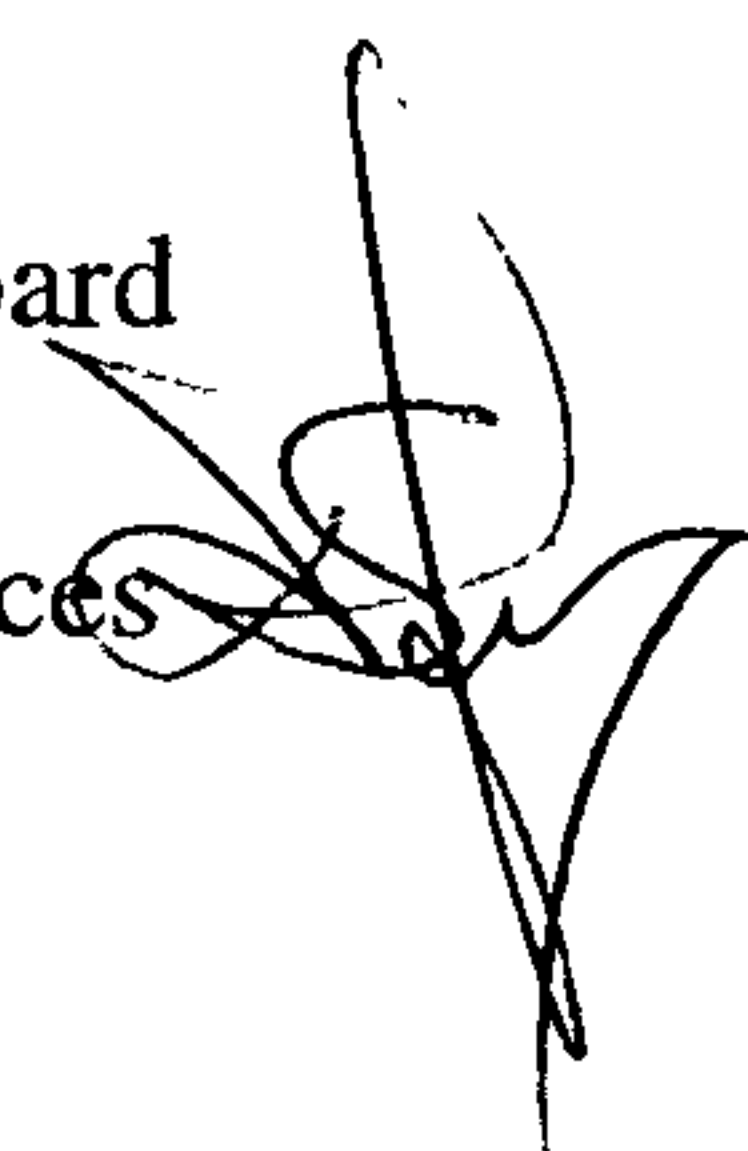
#16

Planning Department

Development Services Division

TO: Sheran Matson, Chair, Development Review Board

FROM: Deborah L. Stover, Planner, Development Services



DATE: 10-6-03

SUBJECT: EPC CONDITIONS FOR PROJECT 1002455

The purpose of this memo is to address the itemized letter from Timothy Ott for the above referenced case:

**Site Development Plan for Subdivision**

All conditions of approval have been met.

Staff defers to Transportation Development Services regarding conditions related to traffic and transportation issues.

\* **Site Development Plan for Building Permit**

The applicant and/or agent did not submit comments as to how the Site Plan for Building Permit conditions of approval have been met. Nor did the applicant request approval of site plan for building permit from the DRB. It should be noted that the applicant will be required to come back before the Development Review Board to have the Site Plan for Building Permit approved.

*needed before plan application as per meeting*





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1002455

Item No. <sup>16</sup>~~18~~ 16

Zone Atlas E-18

DATE ON AGENDA 6-11-03

INFRASTRUCTURE REQUIRED (?) YES ( ) NO

CROSS REFERENCE: \_\_\_\_\_  
\_\_\_\_\_

### TYPE OF APPROVAL REQUESTED:

- SKETCH PLAT ( ) PRELIMINARY PLAT ( ) FINAL PLAT
- ( ) SITE PLAN REVIEW AND COMMENT ( ) SITE PLAN FOR SUBDIVISION
- ( ) SITE PLAN FOR BUILDING PERMIT

No.	Comment
-----	---------

- A traffic impact study appears to be needed.
- The parking layout needs to be in accordance with the DPM.
- Decel lanes at the entrances are likely to be required.
- Delivery vehicles and their routes need to be shown.
- Why so many access points on San Antonio? Cross access easements will be needed.

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

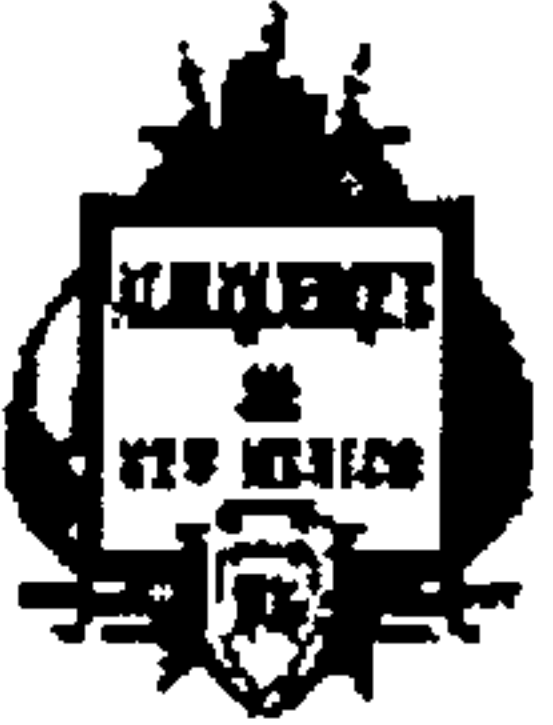


**Marcia A. Pincus**  
06/10/03 08:53 AM

To: Roger A. Green/PWD/CABQ@COA, Claire A. Senova/PLN/CABQ@COA  
CC:  
Subject: DRB Cases

#18

----- Forwarded by Marcia A. Pincus/EHD/CABQ on 06/10/03 08:53 AM -----



**Marcia A. Pincus**  
06/09/03 08:53 AM

To: Sheran A. Matson/PLN/CABQ@COA  
CC:  
Subject: DRB Cases

Hi Sheran: These two cases are within 1000 feet of a landfill:

1. 03DRB-00783. The developer may not know this because he is near a unpermitted private landfill (not city owned or operated). I hope to be at hearing. Either way, he needs to call me, so I can speak to him.

2. 03DRB-00893. I have been working with the developer on this project. He has submitted a Master Plan for the landfill gas issues. He needs to address my comments. He can't submit to Building Permit section for a building permit without my approval.

As I said I hope to be at the meeting on Wed. See you then!

Thanks, Marcy

have a great day!

Proj 1002455

**CITY OF ALBUQUERQUE**  
**Planning Department**  
**Development Review Board**  
**June 11, 2003 Comments**

#18

**Item # 18**

**Project # 1002455**

**Application # 03DRB-00893**

**Subject : J Group Addition**

1. Applicant will be required to provide items listed on Form P(3) for DRB final sign-off.

*Sheran Matson for*

---

Sheran Matson, AICP DRB Chairperson  
924-3880 Fax 924-3864



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1002455

Item No. <sup>18</sup>~~16~~

Zone Atlas E-18

DATE ON AGENDA 6-11-03

INFRASTRUCTURE REQUIRED (?)YES ( )NO

CROSS REFERENCE: \_\_\_\_\_  
\_\_\_\_\_

### TYPE OF APPROVAL REQUESTED:

- SKETCH PLAT ( ) PRELIMINARY PLAT ( ) FINAL PLAT
- ( ) SITE PLAN REVIEW AND COMMENT ( ) SITE PLAN FOR SUBDIVISION
- ( ) SITE PLAN FOR BUILDING PERMIT

No.	Comment
-----	---------

- A traffic impact study appears to be needed.
- The parking layout needs to be in accordance with the DPM.
- Decel lanes at the entrances are likely to be required.
- Delivery vehicles and their routes need to be shown.
- Why so many access points on San Antonio? Cross access easements will be needed.

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DEVELOPMENT REVIEW BOARD (DRB)  
CITY OF ALBUQUERQUE

REVIEW COMMENTS

By the

UTILITY DEVELOPMENT SECTION (WATER & SEWER)

DEVELOPMENT & BUILDING SERVICES DIVISION  
PUBLIC WORKS DEPARTMENT  
PHONE 924-3989

D.R.B. CASE NO.: 1002455 DATE: 6/11/03 ITEM NO.: # 18

ZONE ATLAS PAGE: E-18 LOCATION: San Antonio DR  
SAN PEDRO

REQUEST FOR: Sketch Plat/ PLAN

COMMENTS:

① Subdivision Plat

- will need infrastructure list, need water and  
sanitary sewer line extensions all the way  
to San Pedro.

② Site Plat

- need Fire flow calculations from Fire Marshall  
and their approval on Site Plan showing number  
and location of Fire hydrants.

SIGNED:

Roger A. Hree

DATE:

6/11/03



**City of Albuquerque**  
**CITY OF ALBUQUERQUE**  
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
**PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT SERVICE**  
**HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1002455**

**AGENDA ITEM NO: 18**

**SUBJECT:**

- |                                |                                 |                                     |
|--------------------------------|---------------------------------|-------------------------------------|
| <b>(01)</b> Sketch Plat/Plan   | <b>(05)</b> Site Plan for Subd  | <b>(10)</b> Sector Dev Plan         |
| <b>(02)</b> Bulk Land Variance | <b>(06)</b> Site Plan for BP    | <b>(11)</b> Grading Plan            |
| <b>(03)</b> Sidewalk Variance  | <b>(07)</b> Vacation            | <b>(12)</b> SIA Extension           |
| <b>(03a)</b> Sidewalk Deferral | <b>(08)</b> Final Plat          | <b>(13)</b> Master Development Plan |
| <b>(04)</b> Preliminary Plat   | <b>(09)</b> Infrastructure List | <b>(14)</b> Other                   |

**ACTION REQUESTED:**

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

An approved drainage report is required for Preliminary Plat approval.  
 An approved infrastructure list is required for Preliminary Plat approval.

**RESOLUTION:**

*discussed*

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED X; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
 City Engineer/AMAFCA Designee

**DATE:** June 11, 2003

**LEGAL DEPARTMENT**  
**(505) 768-4500**  
**FAX 768-4525**

**INTER-OFFICE CORRESPONDENCE**

**October 1, 2003**

**TO:** Marcia Pincus, Environmental Health Dept.  
**FROM:** Kevin J. Curran, Assistant City Attorney  
**SUBJECT:** San Antonio Property – Language for Covenant

Here is my suggested language for the covenant to be placed on the Subdivision Plat for the development of the San Antonio Property. Please call with your comments 924-3995.

1. As a condition to this Subdivision Plat approval by the City, owner, its successors and assigns covenants and agrees to install a landfill gas monitoring well(s) and extraction system on the property, pursuant to that certain Master Landfill Gas Evaluation and Abatement System Plan for the proposed Subdivision at I-25 and San Antonio Boulevard. Lots A-3-B1 through 7, Albuquerque, New Mexico, dated July 18, 2003 prepared by Lawrence Earth Engineering, Larry M. Coons, P.E. (the "Master Landfill Gas Evaluation and Abatement System Plan") and incorporated herein by reference. The landfill gas monitoring well (s) and extraction system shall be installed on a lot by lot basis as defined in the Master Landfill Gas Evaluation and Abatement System Plan for any individual lot at the time of and as a condition to Site Development Plan approval, Design Review approval by the City's Design Review Committee or building permit approval, whichever occurs sooner.

The obligation of the owner, its successors and assigns of an individual lot to install landfill gas monitoring well (s) and extraction system shall include the obligation to monitor the well(s) on a periodic basis as approved by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan on file at the City's Environmental Health Department and incorporated herein by

reference and initiating the start up, operation and maintenance of the extraction system, as required by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan.

This paragraph Number 1 shall in its entirety constitute a covenant running with the title to each individual lot of the property as shown on this Plat and shall be binding on the owner, its successors and assigns of each individual lot for the benefit of the City until terminated.

KJC/cf



To: Sheran Matson, AICP, DRB Chair

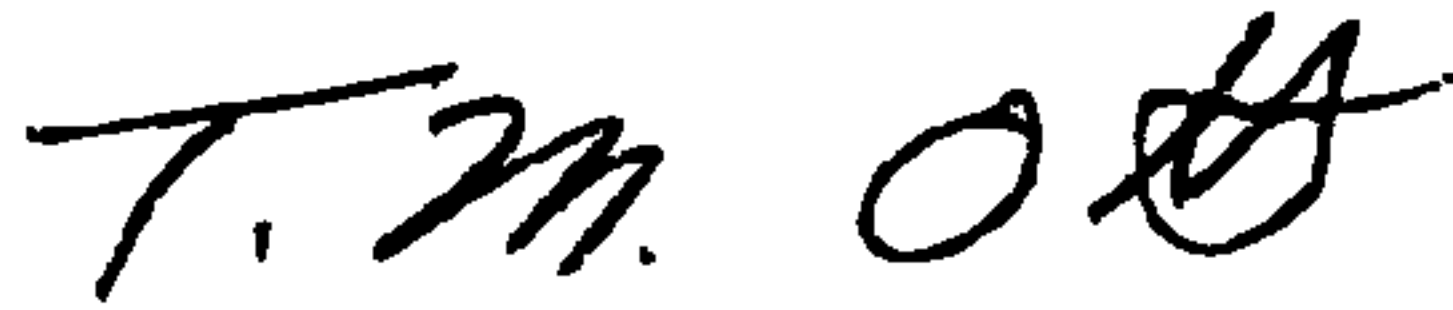
October 20, 2003

From: Tim Ott, Agent for Joe Cotruzzola

Subj: Extension of Deferral on Case #1002455

Due to illness of one of my design team members, I was unable to meet the Oct 20, 2003 cut off time for the hearing on Oct. 22, 2003.

Please extend my deferral to Oct 29, 2003.



T.M. Ott

\*\*\*\*\*  
\*\*\* RX REPORT \*\*\*  
\*\*\*\*\*

RECEPTION OK

TX/RX NO	7428	
CONNECTION TEL		505 268 9751
SUBADDRESS		
CONNECTION ID		
ST. TIME	10/20 12:38	
USAGE T	00'23	
PGS.	1	
RESULT	OK	

**INFRASTRUCTURE LIST**

Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: \_\_\_\_\_  
DRB Application No.: \_\_\_\_\_

**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

J GROUP ADDITION

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

TRACT A-3-B, J GROUP ADDITION, TRACT 1, NEW HEART CTR, TRACT 1, NORTHSIDE SUB.  
**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		8" PVC	Water line 1873 ft	South side of San Antonio Blvd	Lot A-3-B-1	A-3-B-7	1	1	1
		8" SDR 35	Sanitary Sewer 1600 ft	South side of San Antonio Blvd	Lot A-3-B-1	A-3-B-7	1	1	1
		1	Side inlet to Arroyo	SW Corner lot A-3-B-1			1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1

SIA Sequence #	COA DRC Project #
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

Size

Type of Improvement

Location

From

To

Private  
Inspector

City  
Inspector

City Cnst  
Engineer

/	/	/
/	/	/
/	/	/
/	/	/

NOTES

1 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

2 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

3 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Tim OTT  
 NAME (print)

Agent / ISBS LLC  
 FIRM

[Signature]  
 SIGNATURE - date

\_\_\_\_\_  
 DRB CHAIR - date

\_\_\_\_\_  
 TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_  
 UTILITY DEVELOPMENT - date

\_\_\_\_\_  
 CITY ENGINEER - date

\_\_\_\_\_  
 PARKS & GENERAL SERVICES - date

\_\_\_\_\_  
 AMAFCA - date

\_\_\_\_\_  
 - date

\_\_\_\_\_  
 - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
 THE IMPROVEMENTS WITHOUT A DRB  
 EXTENSION: \_\_\_\_\_

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
<b>SUBDIVISION</b>	<b>S</b>	<b>ZONING &amp; PLANNING</b>	<b>Z</b>
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	<b>V</b>	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input checked="" type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>		
		<b>APPEAL / PROTEST of...</b>	<b>A</b>
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Joe Cotruzzola PHONE: 505-883-4004  
 ADDRESS: 7508 Northridge Ave NE FAX: Same  
 CITY: Abq STATE NM ZIP 87109 E-MAIL: www.teconline.com  
 Proprietary interest in site: Owner  
 AGENT (if any): Timothy M Ott PHONE: 505-250-4675  
 ADDRESS: 40 Chaco FAX: 505-661-7041  
 CITY: Los Alamos STATE NM ZIP 87544 E-MAIL: timott@nmia.com

DESCRIPTION OF REQUEST: Minor Subdivision Action + Site Develop. Plan for Subdivision, Per EPC comments

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. A3B Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. J Group Add  
 Current Zoning: SU C-1 Proposed zoning: SU C-1  
 Zone Atlas page(s): E-18-2 No. of existing lots: 3 No. of proposed lots: 87  
 Total area of site (acres): 10 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? Yes  
 UPC No. 101 806 215 05 27 20140 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: On San Antonio  
 Between: 1-25 and San Pedro

CASE HISTORY: Debbie Storer EPC Case Planner  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 2-93-3  
DRB 96-452

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 2003  
 SIGNATURE [Signature] DATE Sept 30, 2003  
 (Print) Timothy M Ott  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers <u>03005</u> - <u>01654</u> <u>2515</u> <u>03005</u> - <u>01655</u> <u>SK</u> _____ _____ _____ _____	Action <u>2515</u> <u>SK</u> _____ _____ _____ _____	S.F. <u>R(3)</u> <u>SR</u> _____ _____ _____ _____	Fees <u>\$ 0</u> <u>\$ 0</u> \$ _____ \$ _____ \$ _____ \$ _____ Total <u>\$ 0</u>
<input type="checkbox"/> All checklists are complete				
<input type="checkbox"/> All fees have been collected				
<input type="checkbox"/> All case #s are assigned				
<input type="checkbox"/> AGIS copy has been sent				
<input type="checkbox"/> Case history #s are listed				
<input type="checkbox"/> Site is within 1000ft of a landfill				
<input type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>Oct 8, 2003</u>			
<input type="checkbox"/> F.H.D.P. fee rebate				

[Signature] 9/3/03  
 Planner signature / date

Project # 1002455

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Timothy M Ott  
Applicant name (print)

[Signature]  
Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
03003 - 01654  
 - -  
 - -

[Signature] 9/30/03  
 Planner signature / date

**Project # 1002455**

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED, OR INTERNAL ROUTING)**

**SKETCH PLAT REVIEW AND COMMENT**

**YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

**MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT**

**Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

**Extensions are not reviewed through internal routing.**

Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

**DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**

**DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**AMENDMENT TO PRELIMINARY PLAT (with minor changes)**

**Your attendance is required.**

**AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**

**AMENDMENT TO GRADING PLAN (with minor changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Tim Ott  
Applicant name (print)

[Signature]  
Applicant signature / date



Form revised 3/03 and 8/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
03003 - 01655  
 \_\_\_\_\_ - \_\_\_\_\_  
 \_\_\_\_\_ - \_\_\_\_\_

[Signature] 9/30/03  
 Planner signature / date

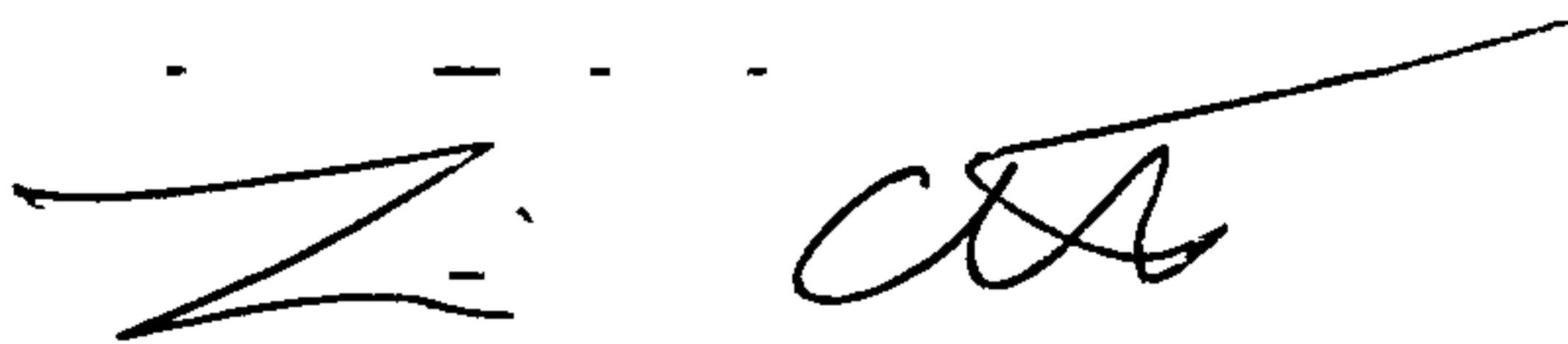
**Project #** 1002455

TO: DRB

FROM: Tim OTT

Request sketch plat review of  
proposed subdivision to determine  
requirements for vacation of a  
blanket easement on a

isolated parcel bordering the  
major parcel being subdivided.

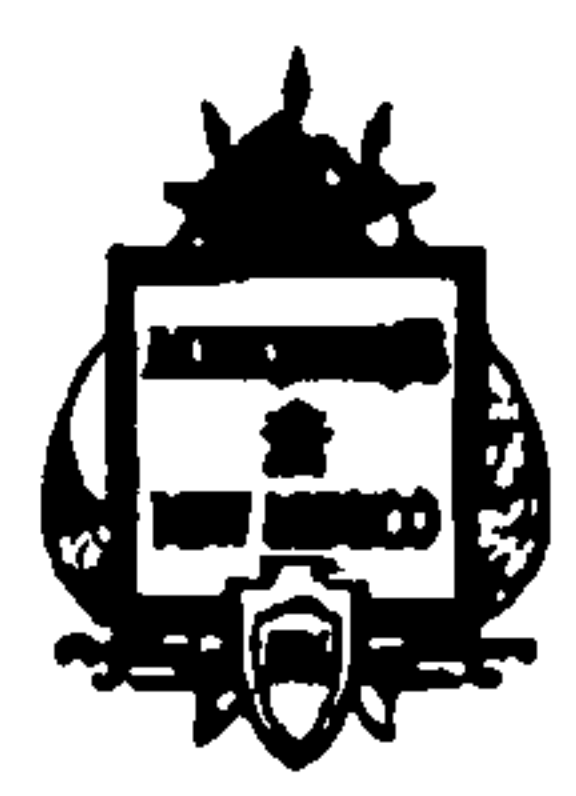
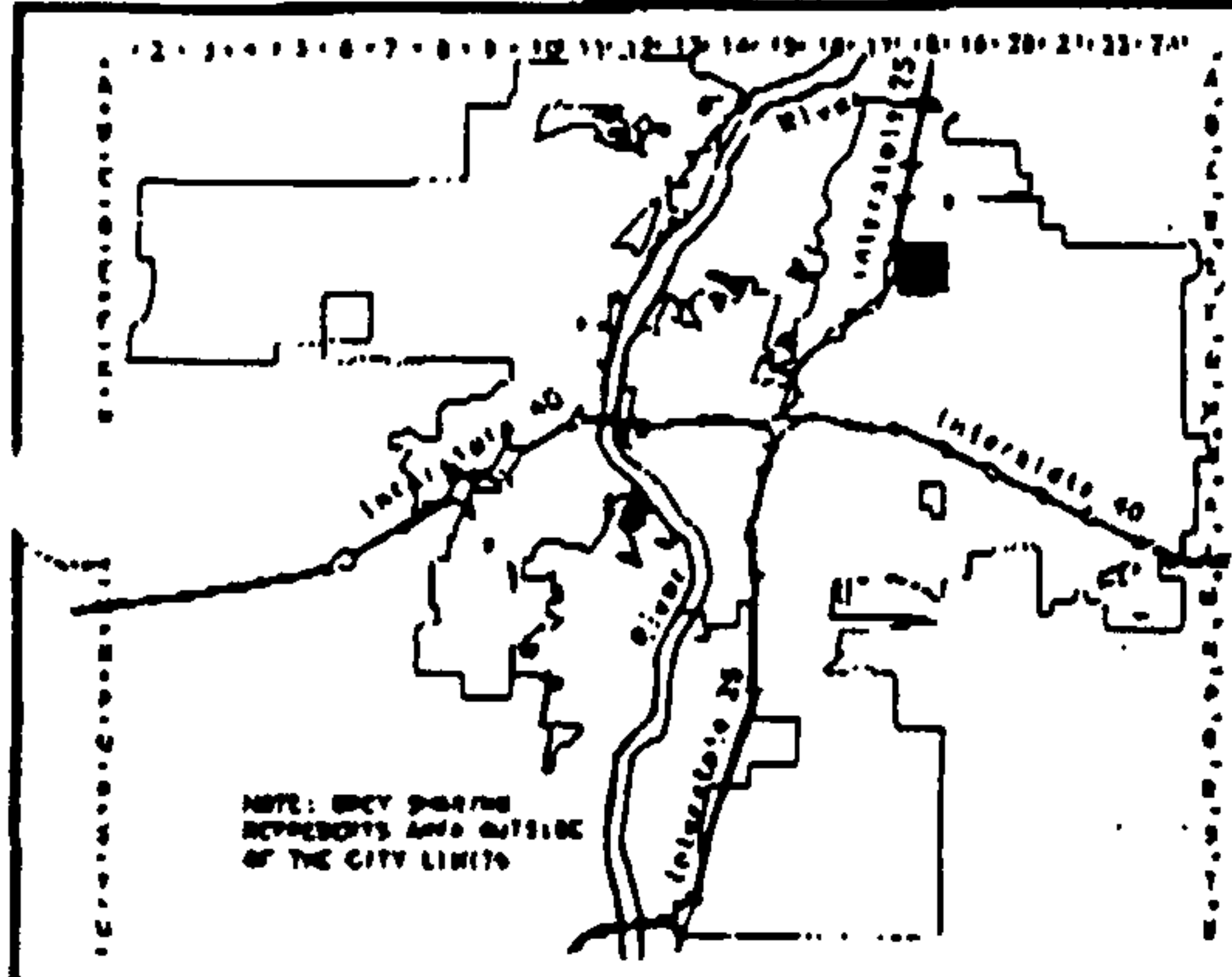
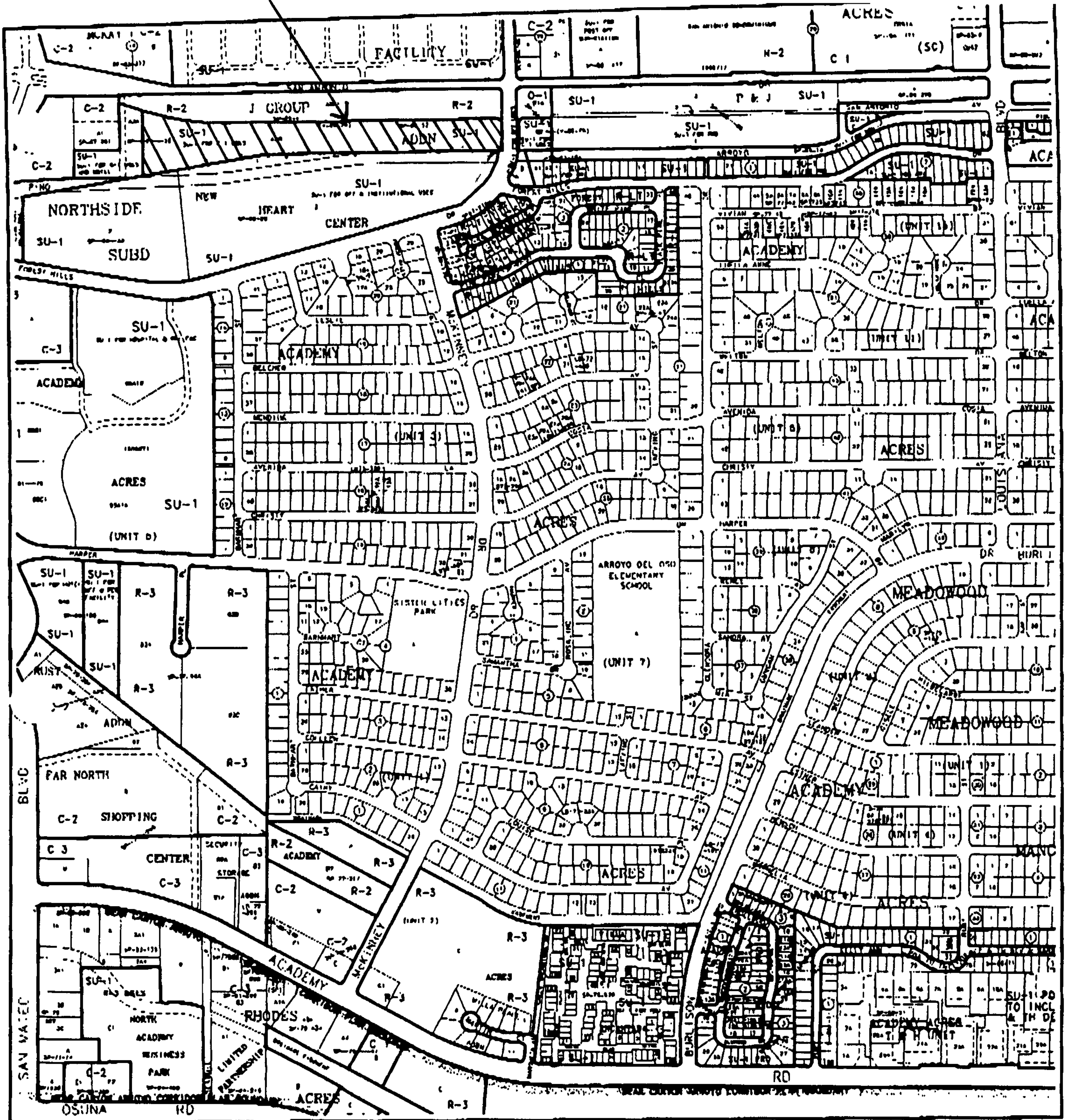
 Tim Ott

Tim Ott

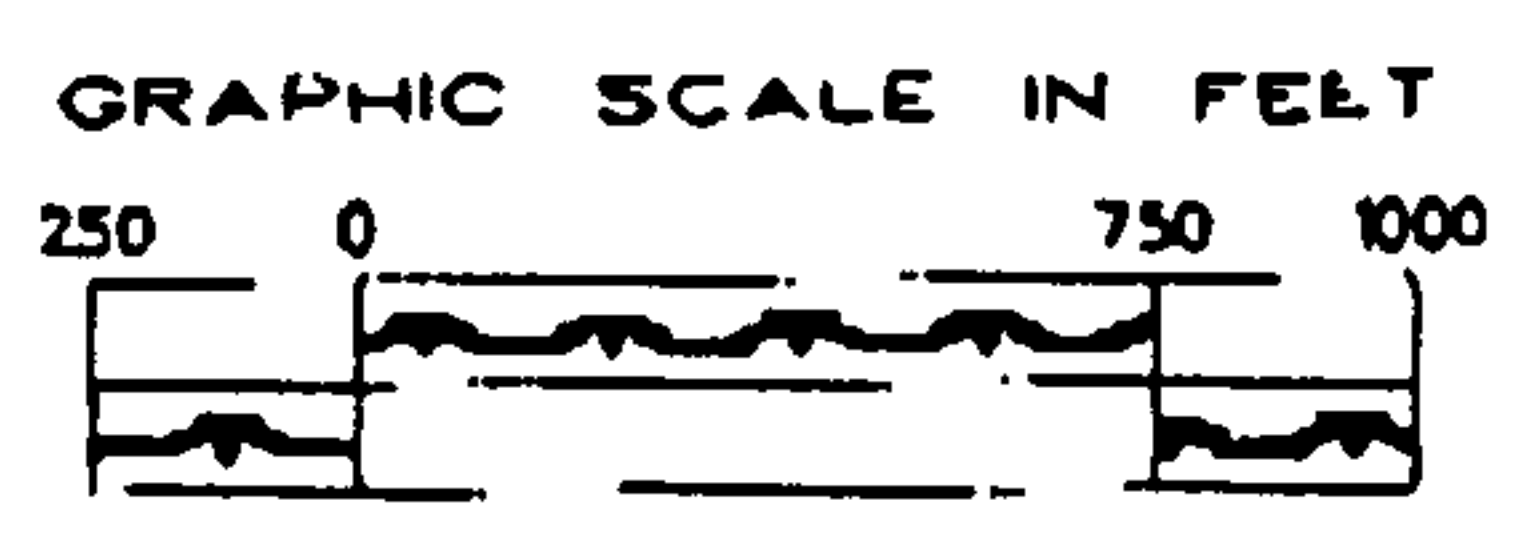
Agent for J Group.



**SITE**



**CITY OF Albuquerque**  
**Advanced Geographic Information Systems**  
**PLANNING DEPARTMENT**  
 © Copyright 2002



**Zone Atlas Page**

**E-18-Z**

Map Amended through April 03, 2002

To: Development Review Board

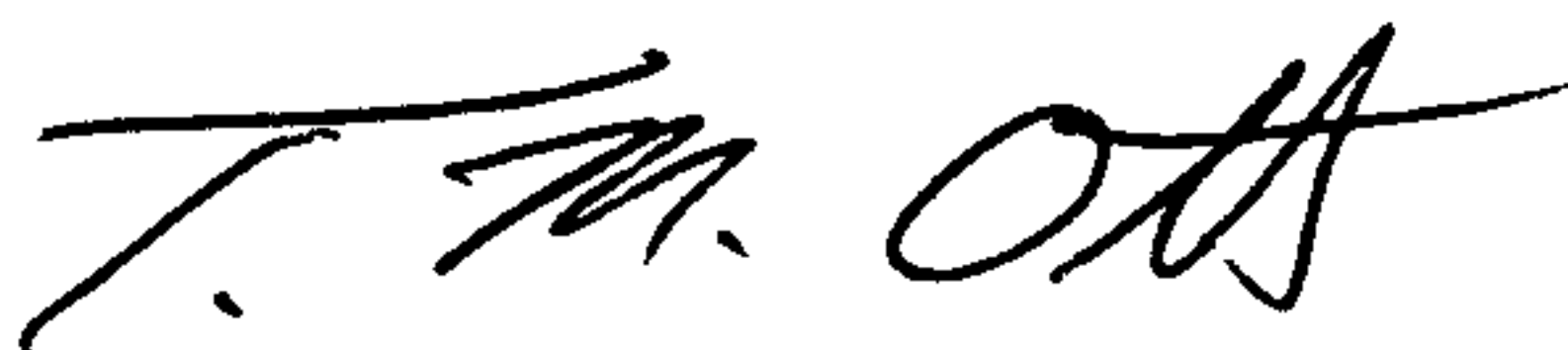
September 30, 2003

From: Tim Ott, agent for Joseph Cotruzzola

Subj: Letter concerning EPC conditions of approval Project #1002455

Listed below are the responses to the six (6) conditions of EPC approval of project #1002455.

1. Letter is supplied concerning EPC conditions. No modifications to the site plan for subdivision have been made other than those requested in the conditions of EPC approval.
2. Cross-access easement line has be changed from a solid line to a dashed line.
3. Cross-access easement for hotel site and adjoining lot to the east has been noted on the site plan for subdivision.
4. Environmental Health Department has reviewed Master Gas Management Plan and approved the plan and approved the site plan for subdivision with additional detailed remediation plan for each lot will be determined at the time of development. A covenant to cover this condition will be added to the final plat for subdivision prior to recording of same. This covenant will be approved by the owner and the Environmental Health Department.
5. A replat of the property is attached.
6. A master plan for land gas remediation has be submitted to and approved by the Environmental Health Department. See attached approval memorandum.



T.M. Ott, agent for Joseph Cotruzzola



City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: March 21, 2003

## OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002455 \***  
03EPC-00147 EPC Site Development Plan-Subdivision  
03EPC-00148 EPC Site Development Plan-Building  
Permit

Joe Cotruzzola  
7508 Northridge Ave. NE  
Albuq. NM 871

LEGAL DESCRIPTION: for all or a portion of Lot(s) A3B, J Group Addition, and Tract 1 of New Heart Center Addition, and Tract 1 of Northside Subdivision, zoned SU-1 C-1, located on SAN ANTONIO NE, between I-25 and SAN PEDRO NE, containing approximately 10 acre(s). (E-18)  
Deborah Stover, Staff Planner

On March 20, 2003 the Environmental Planning Commission voted to approve Project 1001455/03EPC 00147, a request for site development plan for subdivision, for Tract A3B, J Group Addition, zoned SU-1 C-1, based on the following Findings and subject to the following Conditions:

### FINDINGS:

1. This is a request for a site development plan for subdivision for a 10.03-acre tract of land into 7 separate lots. The 10-acre tract is currently known as Tract A3B, J Group Addition, located on San Antonio Drive between Interstate-25 and San Pedro Drive NE, and will be replatted into Lots A-3-B-1 through A-3-B-7.
2. The submitted site plan for subdivision meets the requirements of the *Zoning Code* for site development plan for subdivision.
3. The site development plan for subdivision furthers the applicable goals and policies of the *Comprehensive Plan*. It proposes a quality urban environment with new growth accommodated on vacant land, contiguous to existing urban facilities and with a design that is appropriate to the plan area (*Established Urban Policies d, e, 1*).

4. This site is located on the old San Antonio Landfill. Development of this site is dependant on the applicant's cooperation with the Environmental Health Department's requirements regarding developing on a landfill site. Environmental Health has submitted a letter concerning this issue and the applicant is required to work with this department to submit mitigation measures if necessary.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The solid line weight on the site plan for subdivision depicting the 25-foot cross-access agreement shall be changed to a dashed line.
3. The cross-access agreement that is in effect for the entrance to the site as well as to the hotel site to the west shall be noted on the site plan for subdivision.
4. The developer shall follow the most current version of the "Interim Guidelines for Development Within 1000 Feet of a Landfill". A review of the site plans, the proposed construction, design drawings, and a certification of construction shall be required by the Environmental Health Department.
5. A re-plat of the property shall be submitted to DRB for concurrent approval of this request.
6. The developer shall obtain an approved master plan for land gas remediation for the entire 10.03 acre site prior to development.

---

On March 20, 2003 the Environmental Planning Commission voted to approve Project 1002455/03EPC 00148, a site development plan for building permit, for Tract A-3-B-1, J Group Addition, zoned SU-1 C-1 based on the following Findings and subject to the following Conditions:

**FINDINGS:**

OFFICIAL NOTICE OF DECISION  
MARCH 20, 2003  
PROJECT #1002455  
PAGE 3

1. This is a request for a site development plan for building permit for Lot A-3-B-1, J Group Addition, located on San Antonio Drive between Interstate-25 and San Pedro Drive NE. The site plan proposes a 15,500 square foot office building.
2. This request is generally in conformance with the goals and polices of the *Comprehensive Plan*, specifically, by locating a commercial use within an existing commercially zoned area and by improving the quality of the visual environment. Site landscaping and building façade treatments will blend with the surrounding area (*Established Urban Policies j and m*).
3. This request is in conformance with Policy i of the *Comprehensive Plan* by locating employment and service uses to complement residential areas and by placing them to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.
4. This request is in conformance with Established Urban Policy j of the *Comprehensive Plan* by proposing a location, intensity, and design of new development that shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.
5. The request is for new growth in an area where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured (*Established Urban Policy e*).
6. The subject site is located on land adjacent to arterial streets and has been planned to minimize harmful effects of traffic. In this way, the livability and safety of established residential neighborhoods is protected by transportation planning and operations (*Established Urban Policy k*).
7. Development of this site is dependant on the applicant's cooperation with the Environmental Health Department's requirements regarding developing on a landfill site. Environmental Health has submitted a letter concerning this issue and the applicant is required to work with this department to submit mitigation measures if necessary. Because the site is located on an old landfill, this proposal presents the opportunity to mitigate the effects of the environmental concerns about the landfill site and ultimately create a safer environment for the community.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION  
MARCH 20, 2003  
PROJECT #1002455  
PAGE 4

2. The solid line weight on the site plan for building permit depicting the 25-foot cross-access agreement shall be changed to a dashed line.
3. The cross-access agreement that is in effect for the entrance to the site as well as to the hotel site to the west shall be noted on the site plan for subdivision.
4. The developer shall follow the most current version of the "Interim Guidelines for Development Within 1000 Feet of a Landfill". A review of the site plans, the proposed construction, design drawings, and a certification of construction shall be required by the Environmental Health Department.
5. All pedestrian crossings shall be raised and/or textured and of material other than asphalt. The crosswalks on the site plan appear to be stone, but this material shall be clearly stated on the site plan.
6. The site plan should show an ADA accessible paved connection from the south end of the site to the Pino Arroyo. This connection shall be similar in width and style to other pedestrian connections within the site.
7. A minimum of 6 bicycle parking spaces shall be provided.
8. The proposed Navajo willow shall be removed from the landscape plan and substituted with an assortment of Texas umbrella tree, Texas red oak, Kentucky coffee tree, Jujube, or Mexican Elder.
9. Landscape regulations require that 75% of landscape areas over 36 square feet in size must be covered with living, vegetative material. Planting beds shall obtain 75% coverage of living vegetation at time of maturity. Additional low water use shrubs, groundcovers and flowers shall be added to the planting beds to ensure this coverage.
10. The site plan shall provide shade trees in all of the parking lot areas. Trees should be provided at a rate of 1 for every 10 parking spaces to provide shade. No parking space shall be more than 100 feet from a tree trunk
11. An outdoor patio space that is a minimum of 300 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or a shade structure that integrates with building architecture.
12. The site plan shall state the color family proposed for the building materials. The exact color and materials of the sign shall be noted.

13. The type, height, material and color of the fencing proposed for the site shall be noted on the site plan. No chainlink, razor wire or plastic/vinyl fencing is permitted.
14. The refuse enclosure shall be compatible in design, color and material with building architecture. The gates shall be opaque and chain link gates are not allowed. A detail showing the proposed refuse enclosure shall be provided on the site plan.
15. The location of light poles, if any, shall be included on the site plan. Light fixtures shall be a maximum of 20-feet high, with and maximum of 16-feet high if within 50-feet of a residentially zoned site. The light fixtures shall be fully shielded horizontal lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cut-off type to prevent fugitive light. No light source shall be visible from the site perimeter.
16. Transportation Planning/Public Works Conditions:
  - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for.
  - c. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site.
  - d. Site shall comply and be designed per DPM Standards and current COA Zoning Code.
  - e. Provide cross access agreement between Lot A-3-B-1 and public access road to Hawthorne Suites Property.
  - f. The Traffic Engineer, based on development of the remaining parcels, may modify access points.
  - g. The submittal does not include a conceptual utility plan. Development will require extension of public water and sanitary sewer lines on Tract A3A, east along San Antonio to San Pedro. Financial guarantees will be require as a condition of plat approval. A water and sanitary sewer availability statement must be requested and completed prior to any DRB approval(s).
  - h. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required prior to placement on DRB agenda.
  - i. Platting should be a concurrent DRB action.
17. The proposed building has two principle facades north and south, Both shall have a minimum 8 ft. wide sidewalk along the entire length of the façade.
18. The parking spaces smaller then 8 ft. 6 by 20 feet shall be designated as compact only and the parking calculations shall note the number of full size and compact spaces. The total mix shall meet the standard city requirements for such.

OFFICIAL NOTICE OF DECISION  
MARCH 20, 2003  
PROJECT #1002455  
PAGE 6

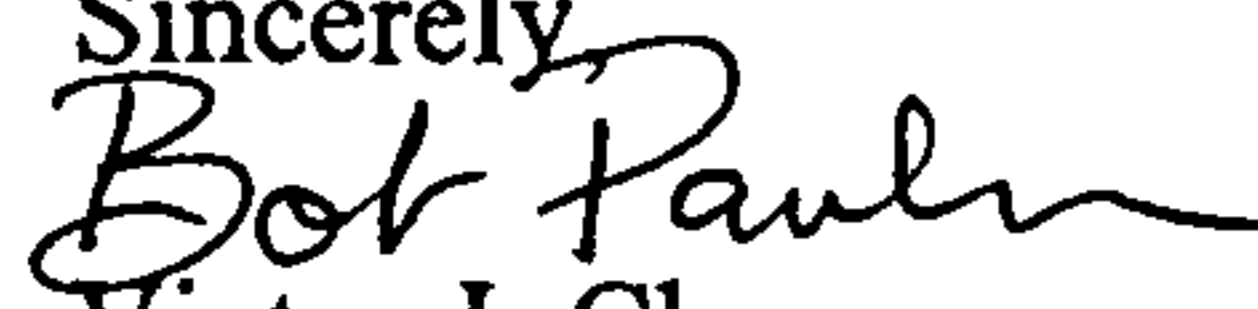
19. Provide 8 linear feet of fixed seating at each of the two principal entry ways to the building.
20. Provide a planting strip of native vegetation adjacent to the Pino Arroyo.

**IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 4, 2003 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,  
  
FOR Victor J. Chavez  
Planning Director

VJC/DS/ac

cc: Timothy Ott, 40 Chaco, Los Alamos, NM 87544  
Irene Minke, Academy Acres North NA, 6504 Dungan NE, Albuquerque, NM 87109  
Roberta Lipman, Academy Acres North NA, 6503 Mendius NE, Albuquerque, NM 87109





# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 21, 2003

Morey Walker, PE  
Walker Engineering  
905 Camino Sierra Vista  
Santa Fe, NM 87501

**Re: Tract A-3-B J Group Add'n Master Drainage Plan  
Engineer's Stamp dated 7-16-03 (E18/D57)**

Dear Mr. Walker,

Based on information contained in your submittal dated 7-16-03, the above referenced plan report is approved for Site Development Plan for Subdivision and Preliminary Plat action by the DRB.

If you have any questions, you can contact me at 924-3986.

Sincerely,

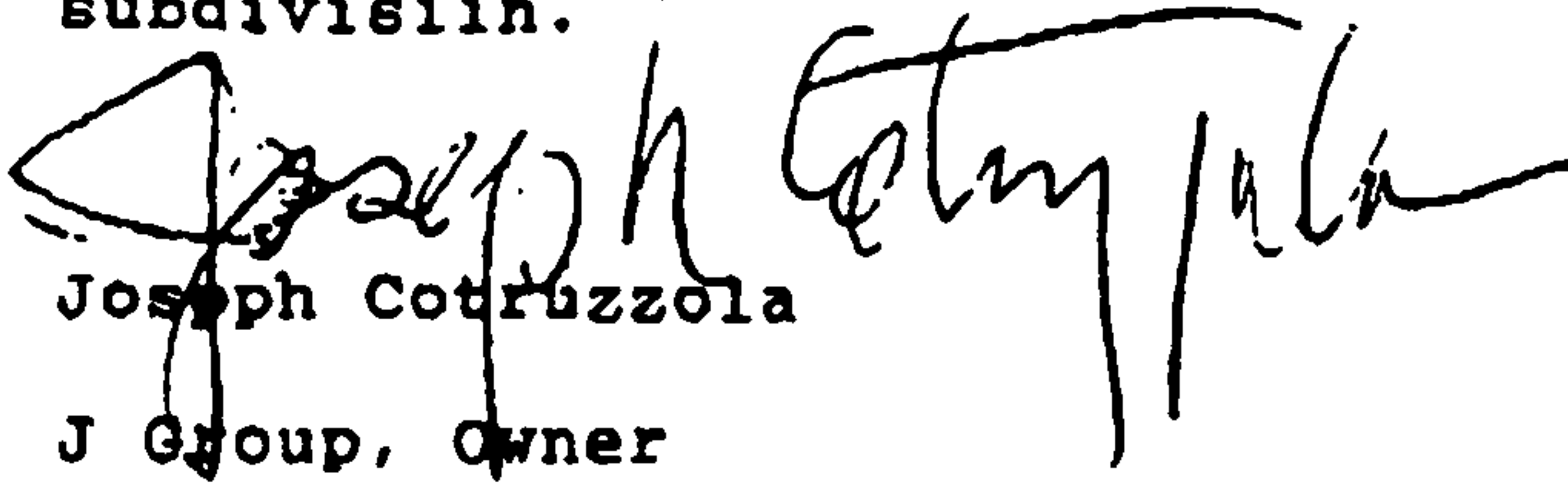
Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: file

January 30, 2003

To whom it may concern:

Timothy Ott is hereby authorized to act as my agent for all EPC & DRB document submissions relating to Tract A-3-B subdivisiin.

  
Joseph Cotruzzola  
J Group, Owner

JUL-24-2003 THU 07:36 AM

ENVIRON ACCOUNTING

FAX NO.

682668

P. 01/01



# City of Albuquerque

## Environmental Health Department

Martin J. Chavez, Mayor  
**Interoffice Memorandum**

---

**DATE:** July 24, 2003  
**TO:** Fred Aguirre, City Engineer, Planning Department  
**FROM:** *MJA* Marcia A. Pincus, Environmental Engineer, Environmental Health Department  
**SUBJECT:** Proposed Subdivision at I-25 and San Antonio Boulevard Lots A-3-B-1 through 7, Albuquerque, NM

The recommendations made by Lawrence Earth Engineering in its report dated July 18, 2003 entitled: "Master Landfill Gas Evaluation and Abatement System Plan", follow-up revisions to page 18 received via fax July 21, were accepted by Mr. Joseph Cotruzzola in a letter dated July 23, 2003, which was revised, dated and initialed on July 24, 2003. The acceptance letter includes:

- 1) Mr. Cotruzzola's agreement implement Lawrence Earth Engineering recommendations, and
- 2) Mr. Cotruzzola's acknowledgement that implementation of Lawrence Earth Engineering recommendations is a condition of approval for the proposed subdivision.

The above satisfies Albuquerque Environmental Health Department's concern that associated potential risk, both present and future from landfill gases has been addressed.

Albuquerque Environmental Health Department recommends that the Proposed Subdivision at I-25 and San Antonio Boulevard Lots A-3-B-1 through 7, Albuquerque, NM proceed through the DRB process; but **NOT** the building permit process until the Landfill Gas Migration Plan (LGMP) and design plans for the proposed development have been submitted and approved by Albuquerque Environmental Health Department.

cc: Kevin Curran, Legal Department  
 Charles Kolberg, Legal Department  
 Sheran Matson, Planning Department  
 Joseph Cotruzzola, Partner and Partner Representative (fax 505.883.4004)  
 Tim Ott, Developer of Subdivision (fax 505.661.7041)  
 Lawrence Coons, Lawrence Earth Engineering (fax 505.294.7712)  
 File

filenummempsanantonioaccp.doc



Supplemental form

**SUBDIVISION** S

- Major Subdivision action
- Minor Subdivision action SK
- Vacation V
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN** P

- for Subdivision Purposes SK
- for Building Permit SK
- IP Master Development Plan
- Cert. of Appropriateness (LUCC) L

**ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Subdivision Regulations)

**APPEAL / PROTEST of...** A

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: J Group, Joe Cotruzzola PHONE: 505-250-4675  
 ADDRESS: c/o PO Box 35981 FAX: 505-661-7041  
 CITY: Alb STATE NM ZIP 87176 E-MAIL: \_\_\_\_\_

Proprietary interest in site: \_\_\_\_\_  
 AGENT (if any): Timothy MOTT PHONE: 505-250-4675  
 ADDRESS: PO Box 35981 FAX: 505-661-7041  
 CITY: ALB STATE NM ZIP 87176 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: Sketch & Plan Review + Comment for Site Plan for Subdivision & Bldg Permit. ~~and Plat~~

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Plot C / Tract A-3-B Block: — Unit: —  
 Subdiv. / Addn. J Group Addition  
 Current Zoning: SU-1-fer C-1 Proposed zoning: N/A  
 Zone Atlas page(s): E-18-2 No. of existing lots: 1 No. of proposed lots: 7  
 Total area of site (acres): Approx 10 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? Yes  
 UPC No. \_\_\_\_\_ MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: San Antonio Blvd  
 Between: 1-25 and San Pedro

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 03 EPC -00147.53  
2-93-3 DRB-95-529 DRB-96-452 -00148 bp

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE J Group - [Signature] DATE 4/16/03  
 (Print) J GROUP - J.P. COTRUZZOLA Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	03 DRB - 00893	SK	13	\$ 0
<input checked="" type="checkbox"/> All fees have been collected				\$
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				\$
<input type="checkbox"/> F.H.D.P. fee rebate				\$
				Total \$ 0

Hearing date JUNE 11 2003

[Signature] 6/3/03  
 Planner signature / date

Project # 100-2455

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

J Group - J.P. Corruzzola  
 Applicant name (print)  
J Group - J.P. Corruzzola 4/16/03  
 Applicant signature / date



Form revised September 2001

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
03DRB- -00893

JM 6/3/03  
 Planner signature / date  
**Project #** 1002455

From: Tim Ott, Agent for J. Cotruzzola

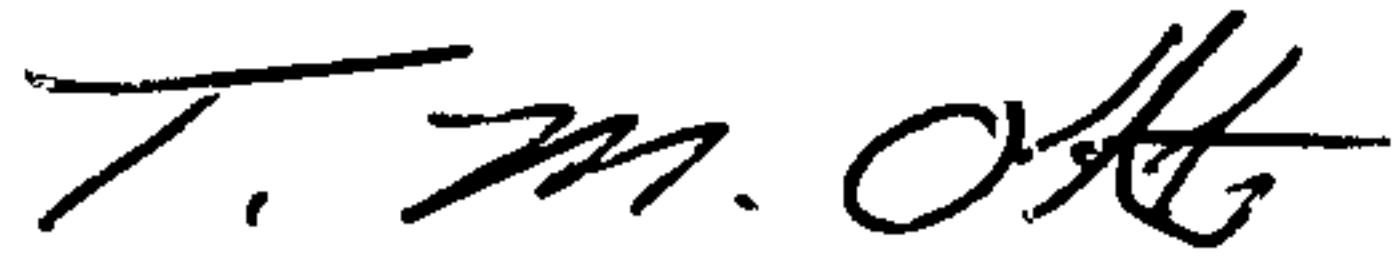
~~May~~ June 3, 2003

To: City Of Albuquerque, DRB, *chair, Ms. Sheran Matson*

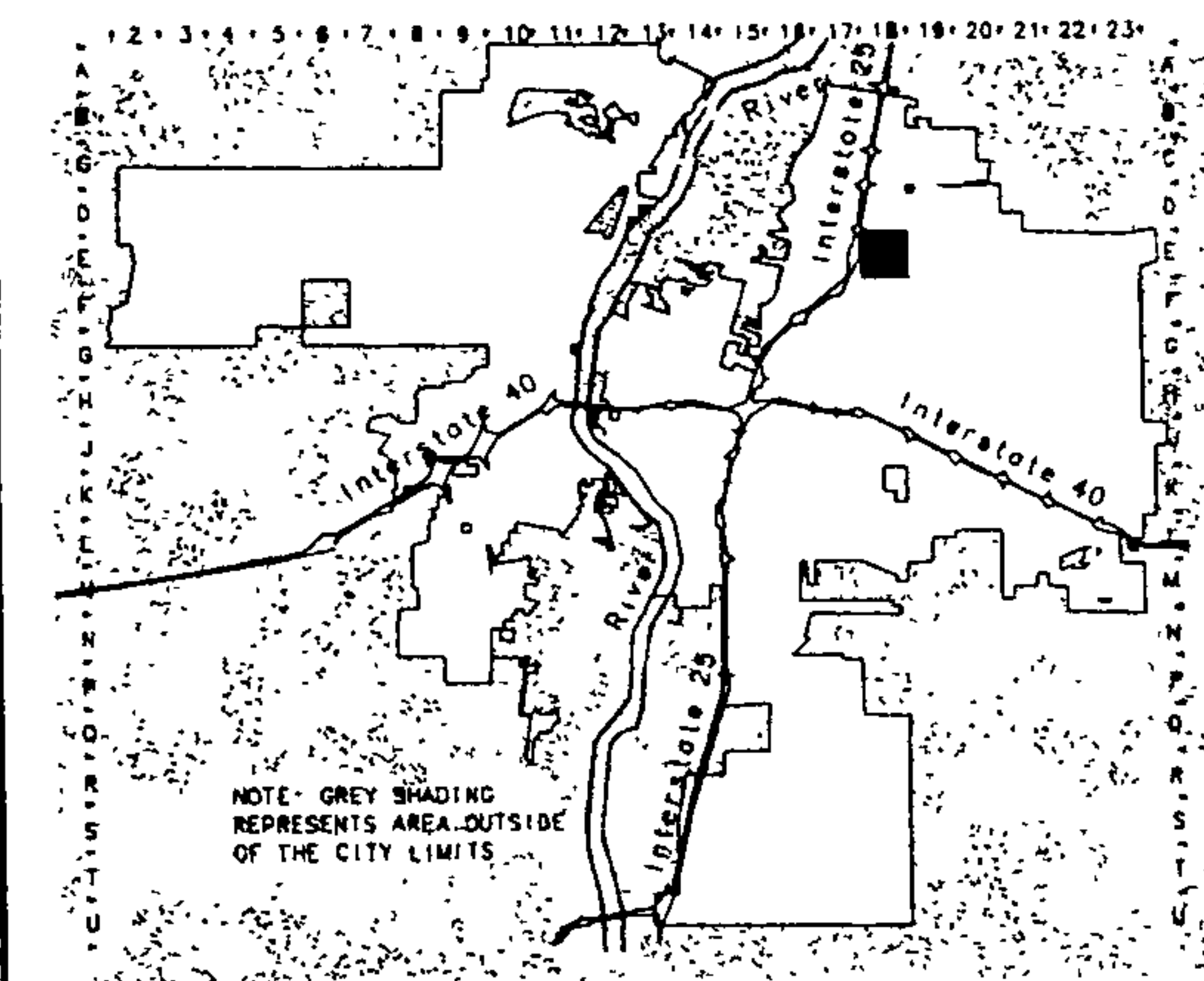
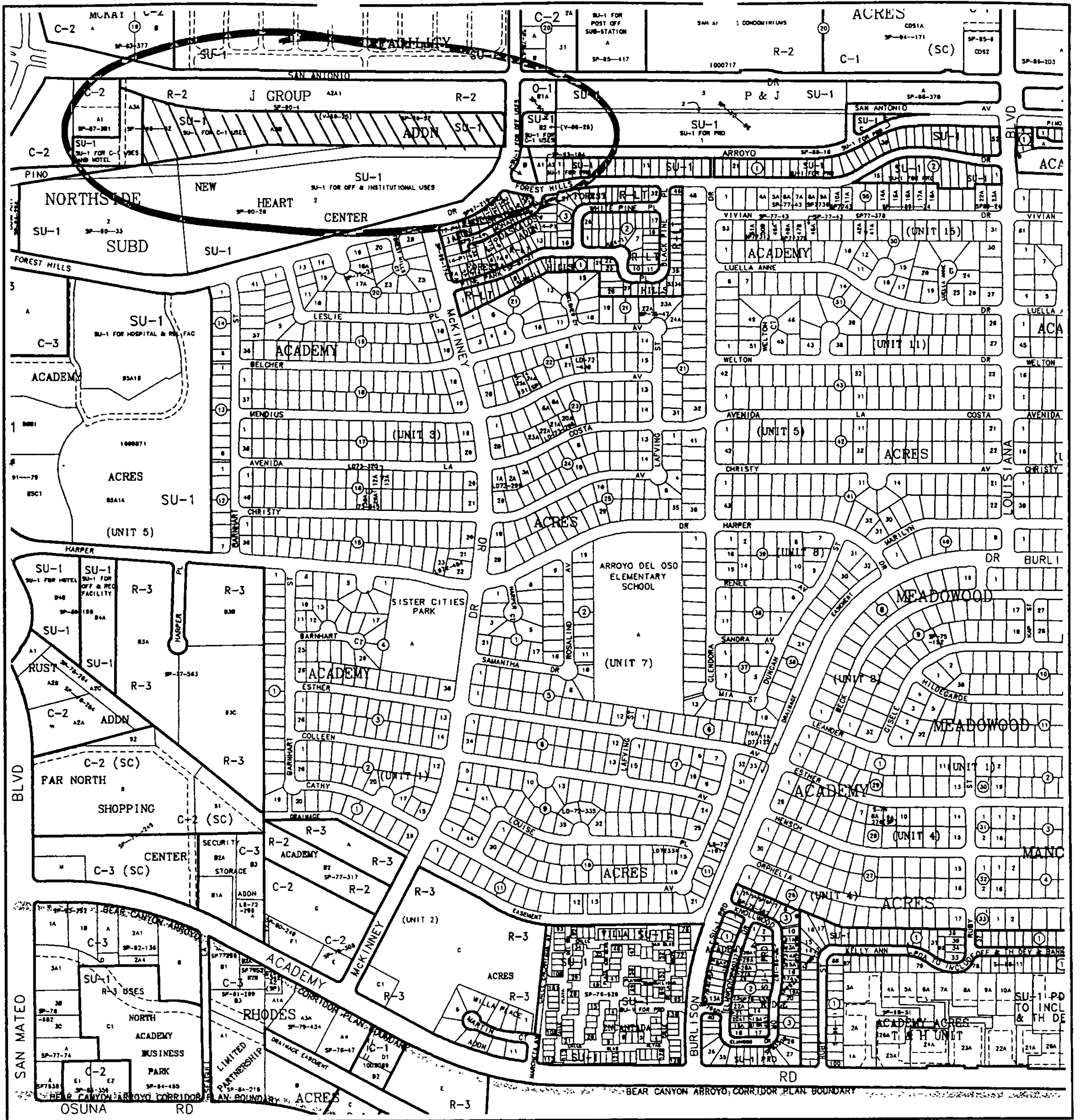
Subj: Site Plan for Subdivision and Site Plan for Building Permit on Tract A-3-B of the J group addition.

Attached documents are for your review for a project recently approved by the EPC.

The project involves both a lot split of an existing 10 acre parcel and the building of an office building on one of the newly created lots. The office building will be occupied by the State of New Mexico, Regulation and Licensing Department. The submitted plans have the actual details of the project.



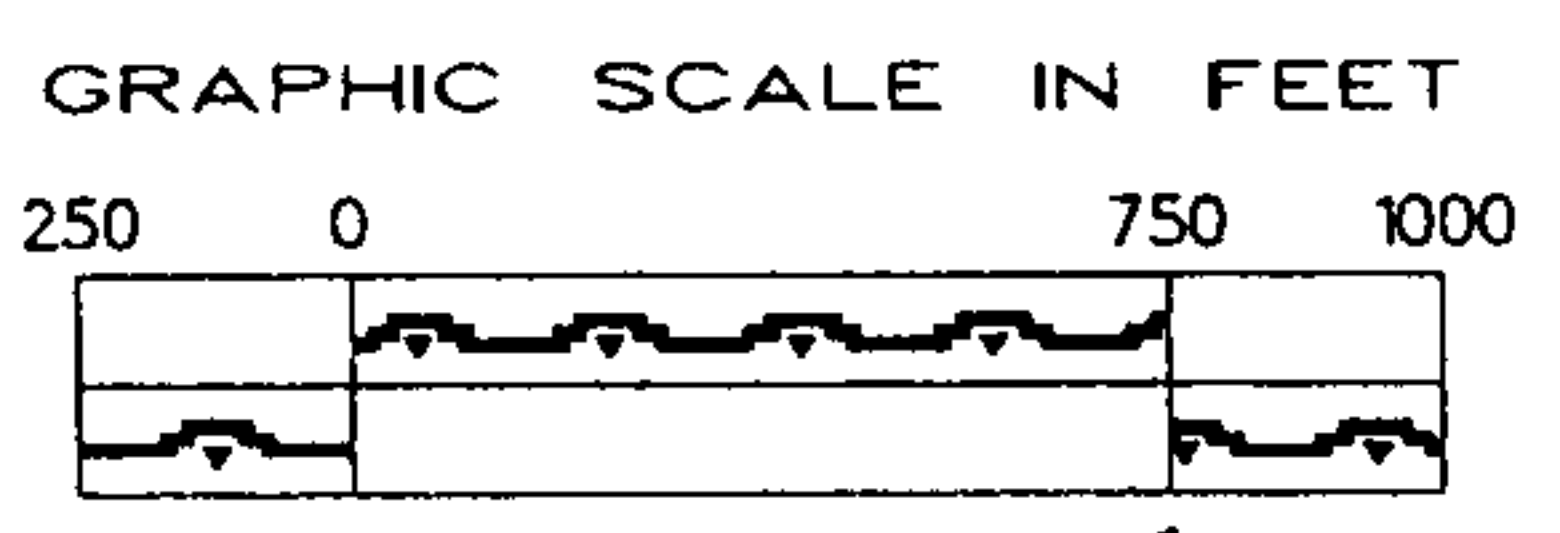
T.M. Ott



CITY OF  
Albuquerque

Albuquerque Geographic Information System  
**PLANNING DEPARTMENT**

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**Zone Atlas Page**

**E-18-Z**

Map Amended through January 21, 2003



**DEVELOPMENT REVIEW BOARD  
FAX FORM**

**TO:** Marcia Pincus

**FAX NUMBER:** 768-2657 # **PAGES** 1 attached

**SENT BY:** Sheran Matson, DRB Chair **DATE:** 7/29/03

**PHONE NUMBER:** 924-3880 **FAX #** 924-3864

**PROJECT NO:** \_\_\_\_\_ **APPLICATION NO:** \_\_\_\_\_

\*\*\*\*\*

San Antonio Subdivision



*Add to Infrastructure List*



**City of Albuquerque**  
**Environmental Health Department**

**Martin J. Chavez, Mayor**  
**Interoffice Memorandum**

---

**DATE:** July 24, 2003

**TO:** Fred Aguirre, City Engineer, Planning Department

**FROM:** *MJA/for MA* Marcia A. Pincus, Environmental Engineer, Environmental Health Department *Proj. # 1002455*

**SUBJECT:** Proposed Subdivision at I-25 and San Antonio Boulevard Lots A-3-B-1 through 7, Albuquerque, NM *prelim & Final* *J Group Adh.*

The recommendations made by Lawrence Earth Engineering in its report dated July 18, 2003 entitled: "Master Landfill Gas Evaluation and Abatement System Plan", follow-up revisions to page 18 received via fax July 21, were accepted by Mr. Joseph Cotruzzola in a letter dated July 23, 2003, which was revised, dated and initialed on July 24, 2003. The acceptance letter includes:

- 1) Mr. Cotruzzola's agreement implement Lawrence Earth Engineering recommendations, and
- 2) Mr. Cotruzzola's acknowledgement that implementation of Lawrence Earth Engineering recommendations is a condition of approval for the proposed subdivision.

The above satisfies Albuquerque Environmental Health Department's concern that associated potential risk, both present and future from landfill gases has been addressed.

Albuquerque Environmental Health Department recommends that the Proposed Subdivision at I-25 and San Antonio Boulevard Lots A-3-B-1 through 7, Albuquerque, NM proceed through the DRB process; but **NOT the building permit process until the Landfill Gas Migration Plan (LGMP) and design plans for the proposed development have been submitted and approved by Albuquerque Environmental Health Department.**

cc: Kevin Curran, Legal Department  
Charles Kolberg, Legal Department  
Sheran Matson, Planning Department  
Joseph Cotruzzola, Partner and Partner Representative (fax 505.883.4004)  
Tim Ott, Developer of Subdivision (fax 505.661.7041)  
Lawrence Coons, Lawrence Earth Engineering (fax 505.294.7712)  
File

filenamempsanantonioaccp.doc

Mary Lou Leonard..

268-2600



**Marcia A. Pincus**

07/29/03 10:17 AM

To: Sheran A. Matson/PLN/CABQ@COA  
cc: Mary Lou Leonard/EHD/CABQ@COA, Fred J.  
Aguirre/PWD/CABQ@COA  
Subject: DRB Cases

1. The language for the San Antonio case that Fred came up with should be modified to:

The recommendations outlined in the "Master Landfill Gas and Abatement System Plan" dated July 18, 2003 and the "Landfill Gas Migration Plan" to be submitted to AEHD at a future date, must be incorporated in the design of the infrastructure. These recommendations will become part of the infrastructure list. Prior to DRC and/or Site Plan approval the landfill gas mitigation design must be submitted and approved by AEHD.

The second sentence Fred wrote has already been addressed in the "Master Landfill Gas and Abatement System Plan" dated July 18, 2003. I don't think it is needed given the first paragraph of this memo.

Sheran, I found my file. I don't know if this case has a DRB number yet, but the EPC # is 1002455.

2. Case #2 Project #1000072, the site is OUTSIDE the landfill buffer of the Holly Avenue landfill. AEHD does not need to comment on this case.

3. Case #5, Project # 1002324, AEHD has no objection to the vacation. This site is within the buffer of the Coronado Landfill.

4. Case #13, Project #1002832, Lot 53 is in the Alameda Business Park; however, it is outside the landfill buffer and may proceed through the development process. AEHD has no further comment concerning this site.

Have a great day!

768-2617



**Fred J. Aguirre**  
07/28/03 08:37 AM

To: Kevin P. Broderick/PWD/CABQ@COA, Richard H. Dourte/PWD/CABQ@COA, Roger A. Green/PWD/CABQ@COA, Brad L. Bingham/PWD/CABQ@COA, Sheran A. Matson/PLN/CABQ@COA

cc:  
Subject: Re: Acceptance letter for San Antonio Subdivison

The mitigation requirements required for the public infrastructures must be included on the infrastructure list.


Here is some recommended language to be placed on the infrastructure list.

- **A Gas Mitigation Measure Report must be submitted and approved by AEHD prior to DRC and/or Site Plan approval.**
- **Landfill material within the City's R/W and/or easement must be removed as part of the City's Work Order.**

----- Forwarded by Fred J. Aguirre/PWD/CABQ on 07/28/03 08:11 AM -----



**Mary Lou Leonard**  
07/28/03 07:28 AM


To: Fred J. Aguirre/PWD/CABQ@COA  
cc: Marcia A. Pincus/EHD/CABQ@COA, Sheran A. Matson/PLN/CABQ@COA  
Subject: Re: Acceptance letter for San Antonio Subdivison 

Hi Fred,  
I need to defer to Marcy on that issue. She will be back in the office on Tuesday.  
MLL

Mary Lou Leonard  
Environmental Services Division Manager  
Albuquerque Environmental Health Department




**Fred J. Aguirre**  
07/24/2003 04:30 PM

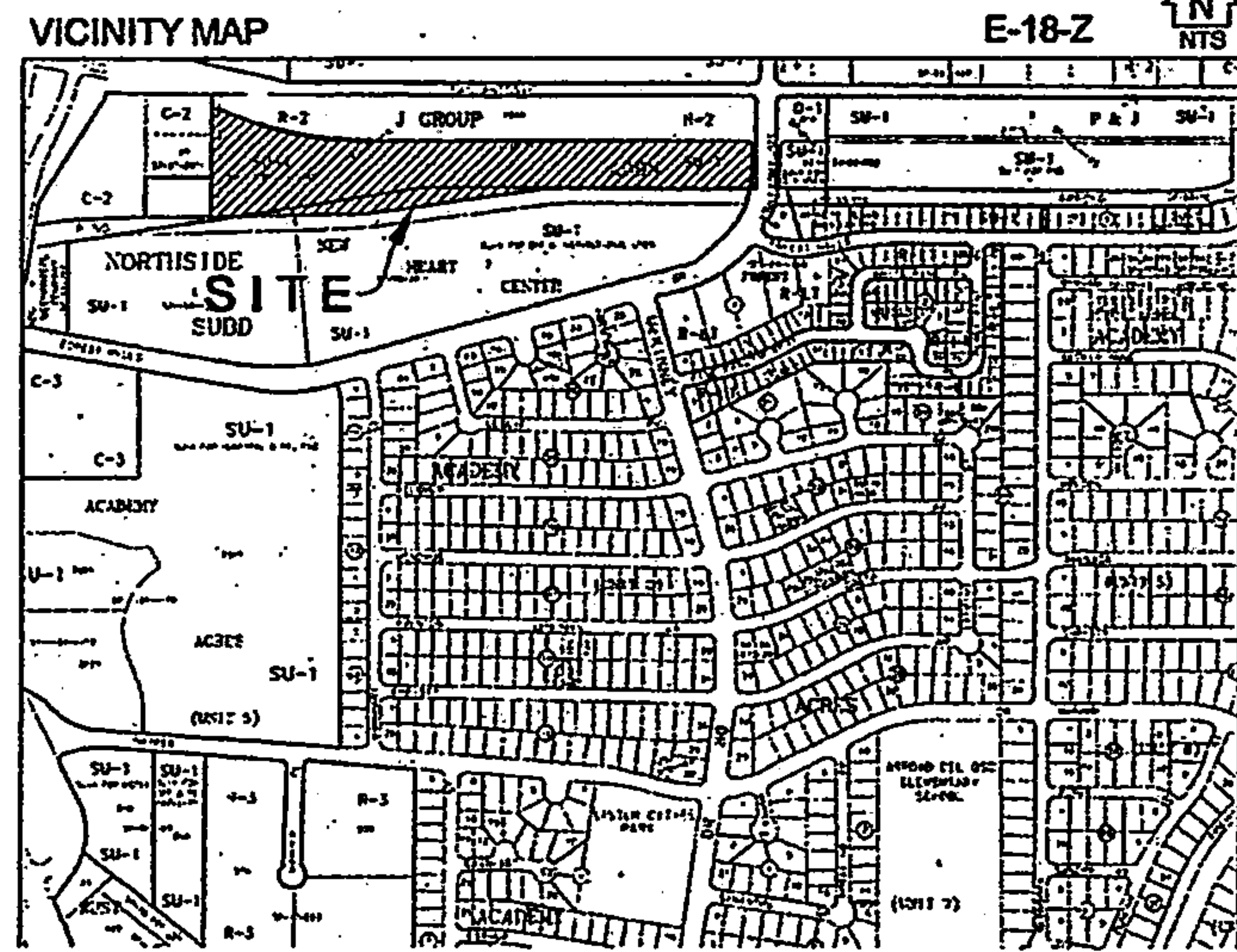
To: Mary Lou Leonard/EHD/CABQ@COA  
cc: Marcia A. Pincus/EHD/CABQ@COA, Sheran A. Matson/PLN/CABQ@COA  
Subject: Re: Acceptance letter for San Antonio Subdivison 

Mary Lou, you did not address the DRC process, given that this project has public infrastructures which will more than likely need some mitigation measures.



**Mary Lou Leonard**  
07/24/03 07:56 AM

To: Sheran A. Matson/PLN/CABQ@COA  
cc: Fred J. Aguirre/PWD/CABQ@COA, Marcia A. Pincus/EHD/CABQ@COA  
Subject: Re: Acceptance letter for San Antonio Subdivison 



**NOTES**

- 1) The purpose of this plat is to create seven (7) commercial lots from three (3) existing tracts.
- 2) Bearings shown hereon are New Mexico State Plane Grid bearings, Central Zone (NAD 1927). All distances shown are ground.
- 3) Gross acreage = 10.0445 acres.  
Existing tracts.....3.  
Proposed tracts.....7.
- 4) Unless otherwise indicated, all property corners are monumented by a found rebar with cap stamped "LS 4071". Corners established by this plat are No. 5 rebar with cap stamped "NMRLS 7923".
- 5) City of Albuquerque water and sewer service is currently available to this property. Where applicable, availability should be coordinated with the Public Works Department.
- 6) This survey shows any easements apparent on the ground, as indicated by the plat of record, those disclosed by owners and those disclosed in a Title Binder prepared for this property by Fidelity National Title Co. (02-3007464-B-MD) dated 12/2/2002. No Title Search was performed by the surveyor.
- 7) Any underground structures not shown are not a part of this survey.
- 8) There are no new rights of way created by this plat.
- 9) Matters of zoning, property covenants and restrictions are not a part of this survey.
- 10) Talos Log No. 2003380827.
- 11) See Master Landfill Gas Evaluation and Abatement System Plan note on sheet 2 regarding gas monitoring well(s).
- 12) The twenty-five (25) foot ingress and egress easements as shown hereon are granted for the collective benefit of all owners of Lots 1 thru 7. Individual lot owner(s) are responsible for the maintenance of the portion of said easement lying within said owner(s) individual lot(s).
- 13) Current zoning is SU-1 for C-1

**UTILITY APPROVALS**

Leah D. Marts PNM Electric Services	5-10-04 Date
Leah D. Marts PNM Gas Services	5-10-04 Date
David R. Muller QWEST	5-13-04 Date
Rita Encinas Comcast	5/16/04 Date

**PUBLIC UTILITY EASEMENTS**

Public Utility Easements shown on this plat are for the common and joint use of:

The PNM Electric Services for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.

The PNM Gas Services for the installation, maintenance and service of natural gas lines, valves and other equipment and related facilities reasonably necessary to provide natural gas.

Consent for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities necessary to provide communication services, including, but not limited to, above ground pedestals and closures.

Consent for the installation, maintenance and service of such lines, cables and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included in the right to locate, rebuild, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with line access to, from and over said easements, including sufficient working area access for electric transformers, with the right and privilege to site and remove lines, poles or towers which interfere with the purpose set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pole, decking or any structures adjacent to, within or near easements shown on this plat.

**PNM DISCLAIMER**  
By approving this document, PNM does NOT warrant or release any easements or easement rights which may have been created by prior plat, map or document, except those indicated on this plat.

**LEGAL DESCRIPTION**

A certain tract of land situated within Projected Section 25, Township 11 North, Range 3 East, N.M.P.M., in the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract A-3-B, J GROUP ADDITION, filed in the Office of the Bernalillo County Clerk on 2/27/1998 in Plat Book 98C, Page 91, Tract 1, NEW HEART CENTER, filed in the Office of the Bernalillo County Clerk on 11/11/1991 in Plat Book 81C, Page 245, and Tract 1, NORTHSIDE SUBDIVISION, filed in the Office of the Bernalillo County Clerk on 3/14/1990 in Plat Book 90C, Page 72 and being more particularly described as follows:  
BEGINNING at the Northwest corner of the Tract herein described, being the northwest corner of said Tract A-3-B, from whence the NMSHC Brass Cap monument "STA 1-25-14" bears N 18° 06' 08" W, a distance of 1446.60 feet; Thence, from said point of beginning,  
Easterly, 486.25 feet along the arc of a curve bearing to the left having a radius of 1462.00 feet, a central angle of 19° 03' 22", and a chord which bears S 80° 05' 18" E, a distance of 484.01 feet along the southerly line of San Antonio Drive, N.E. to a point of tangency; Thence,  
S 89° 37' 00" E, a distance of 1430.30 feet along said southerly line of San Antonio Drive N.E. to a point of curvature; Thence,  
Southeasterly, a distance of 39.27 feet along the arc of a curve bearing to the right having a radius of 25.00 feet, a central angle of 80° 00' 00" and a chord which bears S 44° 37' 00" E, a distance of 35.36 feet to a point of tangency on the westerly line of San Pedro Drive, N.E.; Thence,  
S 00° 23' 00" W, a distance of 88.71 feet along said westerly line of San Pedro Drive, N.E., to a point of curvature; Thence,  
Southwesterly, a distance of 66.86 feet along the arc of a curve bearing to the right having a radius of 398.90 feet, a central angle of 09° 37' 04" and a chord which bears S 05° 11' 32" W, a distance of 66.87 feet to a non-tangency point on the north line of the right-of-way line for the Pino Arroyo; Thence,  
Westerly, a distance of 51.23 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 1537.50 feet, a central angle of 01° 54' 33" and a chord which bears S 89° 28' 13" W, a distance of 51.23 feet to a point of compound curvature; Thence,  
Westerly, a distance of 50.51 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 787.50 feet, a central angle of 03° 40' 29" and a chord which bears S 88° 38' 41" W, a distance of 50.50 feet to a point of compound curvature; Thence,  
Westerly, a distance of 51.23 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 1537.50 feet, a central angle of 01° 54' 33" and a chord which bears S 89° 28' 13" W, a distance of 51.23 feet to a point of tangency; Thence,  
S 82° 53' 54" W, a distance of 623.00 feet along said north line of the Pino Arroyo to a point of curvature; Thence,  
Westerly, a distance of 39.00 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 1462.50 feet, a central angle of 01° 31' 40" and a chord which bears S 83° 39' 44" W, a distance of 39.00 feet to a point of compound curvature; Thence,  
Westerly, a distance of 33.76 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 712.50 feet, a central angle of 02° 42' 54" and a chord which bears S 85° 47' 01" W, a distance of 33.76 feet to a point of compound curvature; Thence,  
Westerly, a distance of 39.00 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 1462.50 feet, a central angle of 01° 31' 40" and a chord which bears S 87° 54' 48" W, a distance of 39.00 feet to a point of tangency; Thence,  
S 88° 40' 08" W, a distance of 172.39 feet along said north line of the Pino Arroyo to an angle point; Thence,  
S 88° 39' 59" W, a distance of 230.80 feet along said north line of the Pino Arroyo to the southwest corner of the tract herein described; Thence,  
N 81° 19' 52" E, a distance of 42.62 feet along said north line of said Tract 1, Northside Subdivision, to a point on the westerly line of said Tract A-3-B; Thence,  
N 00° 26' 00" E, a distance of 363.82 feet along said westerly line of Tract A-3-B to the northwest corner and point of beginning of the tract herein described and containing 10.0445 acres, more or less.

**TREASURER'S CERTIFICATION**

101906215052720140  
101906213446620110  
10190620748620119  
This is to certify that taxes are current & paid on UPC #  
Property owners of record: The J Group, a New Mexico partnership & CORAZZOLA Joseph P.  
Bernalillo County Treasurer's Office: Michael Hall 21 May 04

**FREE CONSENT**

The land described hereon, identified as LOTS 1 THRU 7, JJ SUBDIVISION is platted with the free consent and in accordance with the wishes and desires of the undersigned owner(s). Said owner(s) do hereby represent that they are so authorized to act.

Joseph P. Coluzzola 11/04/03  
The J Group, a New Mexico Partnership  
Joseph P. Coluzzola, a partner

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF Bernalillo  
This instrument was acknowledged before me by Joseph P. Coluzzola, partner for the J Group, a New Mexico Partnership, this 4th day of November, 2003.

By Joseph P. Coluzzola My Commission Expires: 10-17-07  
Notary Public

**INDEXING INFORMATION FOR COUNTY CLERK**

OWNERS: The J Group, a New Mexico partnership  
LOCATION: PROJECTED SECTION 25 TOWNSHIP 11 NORTH RANGE 3 EAST  
NAME: LOTS 1 THRU 7 JJ SUBDIVISION

**PLAT OF LOTS 1 THRU 7 JJ SUBDIVISION**

BEING A REPLAT OF TRACT A-3-B, J GROUP ADDITION, TRACT 1, NEW HEART CENTER & TRACT 1, NORTHSIDE SUBDIVISION

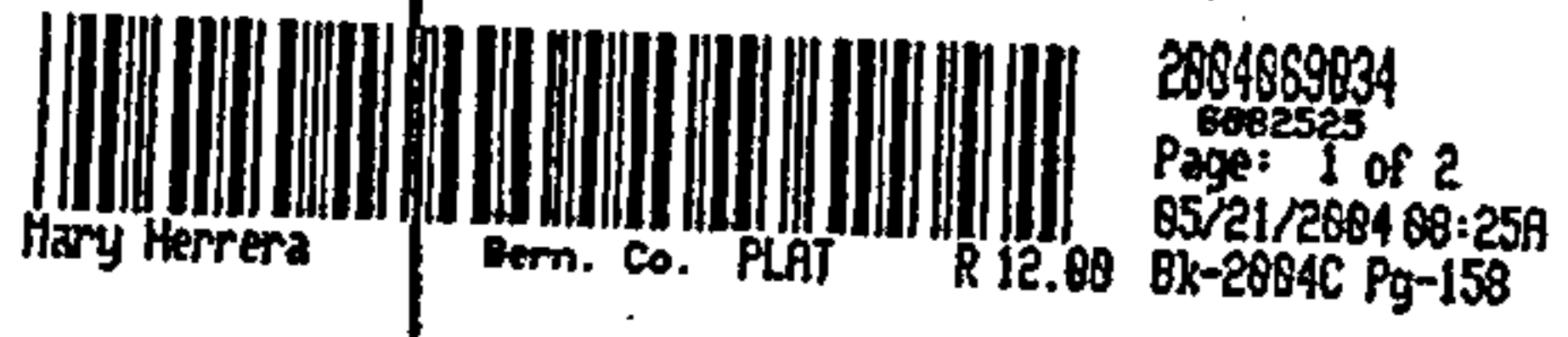
WITHIN PROJECTED SECTION 25 TOWNSHIP 11 NORTH, RANGE 3 EAST NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO

NOVEMBER 2003 SHEET 1 OF 2

**DISCLOSURE STATEMENT**

The purpose of this plat is to create seven (7) lots from three (3) existing tracts.



030RB-01899  
DRB NO. 1002455

**CITY APPROVALS**

<u>Sheron Malton</u> DRB Chairperson, Planning Department	5/19/04 Date
<u>Jim Tich</u> City Surveyor	11-04-2003 Date
N/A Real Property Division	Date
<u>Christina Sandoval</u> Environmental Health Department	May 19, 2004 Date
<u>John S.</u> Traffic Engineer, Transportation Division	5-19-04 Date
<u>Rose A. Green</u> Utilities Development	5/20/04 Date
<u>Christina Sandoval</u> Parks and Recreation Department	5/19/04 Date
<u>Bradley L. Blyler</u> A.M.A.F.C.A.	5/20/04 Date
<u>Bradley L. Blyler</u> City Engineer	5/20/04 Date

**SURVEYOR'S CERTIFICATION**

I, Christopher J. Dahler, New Mexico Registered Land Surveyor No. 7923 hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey, shows all easements of record made known to me by the owners, utility companies and Fidelity National Title Co. (02-3007464-B-MD), meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and the Minimum Standards for Land Surveys in New Mexico and is true and correct to the best of my knowledge and belief.

Christopher J. Dahler  
N.M.R.L.S. No. 7923  
11/03/03  
Date



Record Plat  
Showing Esmnts.  
to be vacated

**MASTER LANDFILL GAS EVALUATION AND ABATEMENT SYSTEM PLAN NOTE**

"The subject property is located (near, on) a (former, existing) landfill. Due to the subject property being (on, near), a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfill and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 Feet of Landfills") shall be consulted prior to development of the site."

As a condition to this Subdivision Plat approval by the City, owner, its successors and assigns covenants and agrees to install a landfill gas monitoring well(s) and extraction system on the property, pursuant to that certain Master Landfill Gas Evaluation and Abatement System Plan for the proposed Subdivision at I-25 and San Antonio Boulevard. Lots A-3-B1 thru 7 (now known as Lots 1 thru 7, JJ Subdivision, Albuquerque, New Mexico, dated July 18, 2003 prepared by Lawrence Earth Engineering, Larry M. Coons, P.E. (the "Master Landfill Gas Evaluation and Abatement System Plan") and incorporated herein by reference. The landfill gas monitoring well (s) and extraction system shall be installed on a lot by lot basis as defined in the Master Landfill Gas Extraction and Abatement System Plan for any individual lot at the time of and as a condition to Site Development Plat approval, Design Review approval by the City's Design Review Committee or building permit approval, whichever occurs sooner.

The obligation of the owner, its successors and assigns of an individual lot to install landfill gas monitoring well(s) and extraction system shall include the obligation to monitor well(s) on a periodic basis as approved by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan on file at the City's Environmental Health Department and incorporated herein by reference and initiating the start up, operation and maintenance of the extraction system, as required by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan.

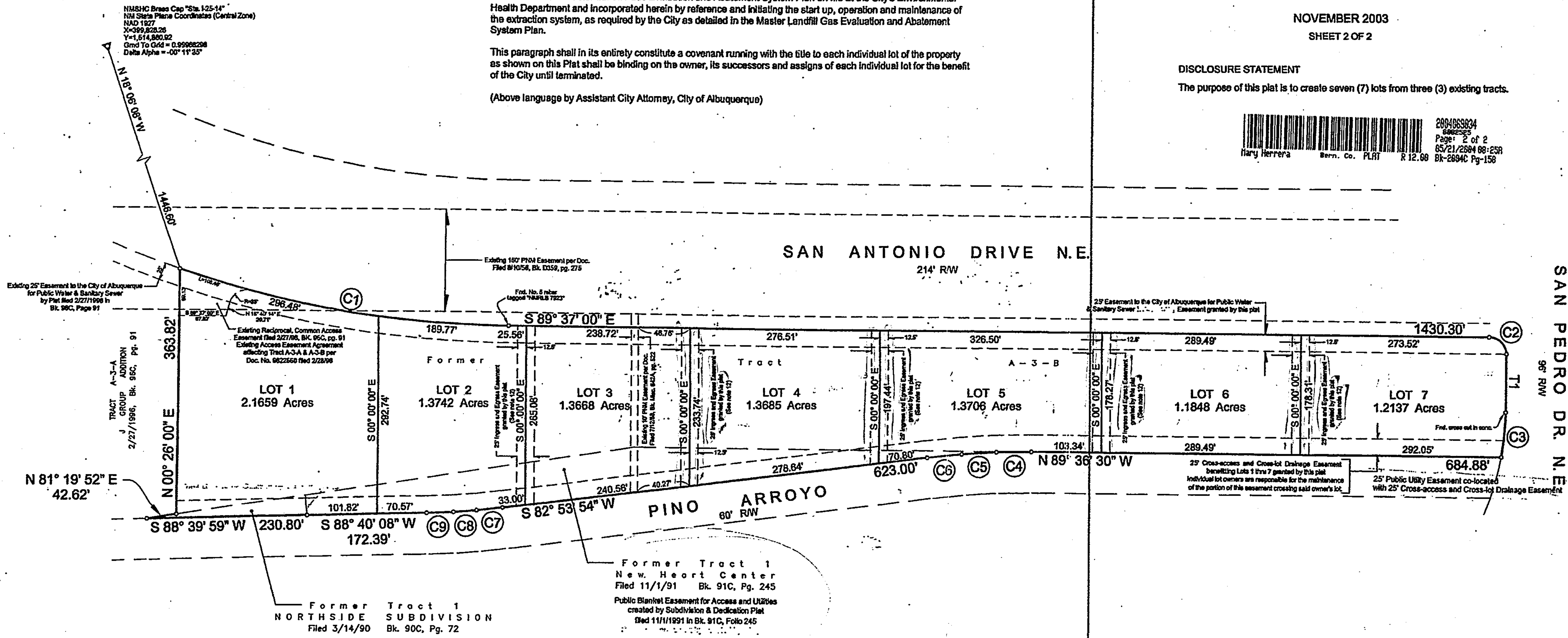
This paragraph shall in its entirety constitute a covenant running with the title to each individual lot of the property as shown on this Plat shall be binding on the owner, its successors and assigns of each individual lot for the benefit of the City until terminated.

(Above language by Assistant City Attorney, City of Albuquerque)

PLAT OF  
**LOTS 1 THRU 7  
JJ SUBDIVISION**  
BEING A REPLAT OF TRACT A-3-B, J GROUP ADDITION,  
TRACT 1, NEW HEART CENTER & TRACT 1, NORTHSIDE SUBDIVISION  
WITHIN PROJECTED SECTION 25  
TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY  
NEW MEXICO  
NOVEMBER 2003  
SHEET 2 OF 2

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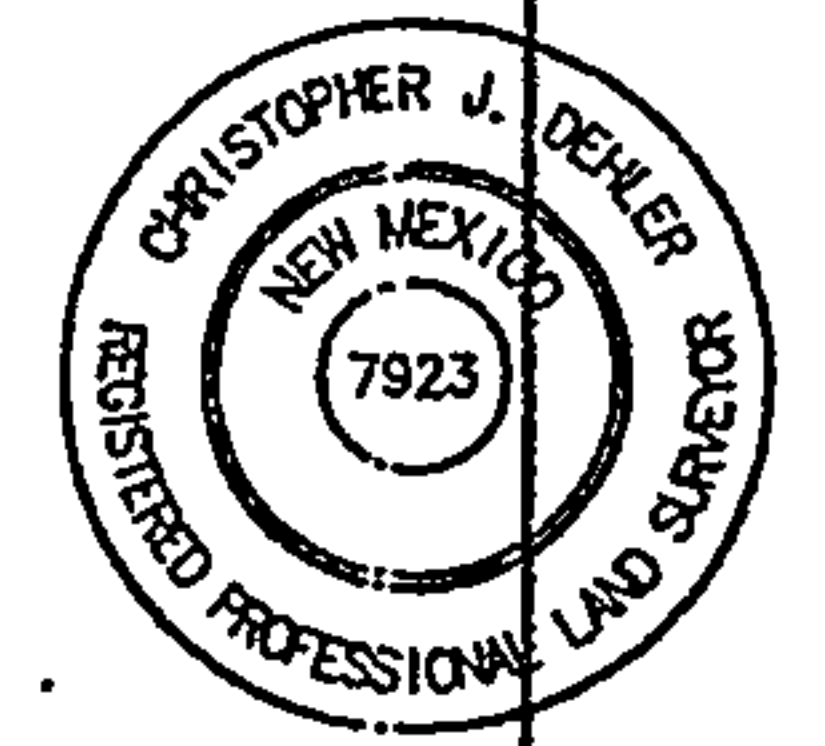


**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	CHORD DIST.
C1	486.25'	1462.00'	18° 03' 22"	484.01'
C2	39.27'	25.00'	90° 00' 00"	35.38'
C3	66.96'	398.90'	09° 37' 04"	66.87'
C4	51.23'	1537.50'	01° 54' 33"	51.23'
C5	50.51'	787.50'	03° 40' 29"	50.50'
C6	51.23'	1537.50'	01° 54' 33"	51.23'
C7	39.00'	1462.50'	01° 31' 40"	39.00'
C8	33.78'	712.50'	02° 42' 54"	33.78'
C9	39.00'	1462.50'	01° 31' 40"	39.00'

**TANGENT TABLE**

TANGENT	BEARING	DISTANCE
T1	S 00° 23' 00" W	88.71'



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Date: 11/03/03  
Christopher J. Dehler  
N.M.R.L.S. No. 7923

