

PLAT FOR
**LOTS 4-A, 5-A, 6-A AND 7-A
 JJ SUBDIVISION**

WITHIN THE ELENA GALLEGOS GRANT
 PROJECTED SECTION 25, T11N, R3E, N.M.P.M.

CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

APRIL, 2013
 SHEET 1 OF 2

MASTER LANDFILL GAS EVALUATION AND ABATEMENT SYSTEM PLAN NOTE:
 As a condition of this subdivision plat approval by the City, owner, its successors and assigns, covenants and agrees to install a landfill gas monitoring well(s) and extraction system on the property, pursuant to that certain Master Landfill Gas Evaluation and Abatement System Plan for the proposed Subdivision at I-25 and San Antonio Boulevard, Lots A-3-B 1 thru 7 (now known as Lots 1 through 7, JJ Subdivision), Albuquerque, New Mexico, dated July 18, 2003 prepared by Lawrence Earth Engineering, Larry M. Coons, P.E. (the "Master Landfill Gas Evaluation and Abatement System Plan") and incorporated herein by reference. The landfill gas monitoring well(s) and extraction system shall be installed on a lot by lot basis as defined in the Master Landfill Gas Extraction and Abatement System Plan for any individual lot at the time of and as a condition to Site Development Plan approval, Design Review approval by the City's Design Review Committee or building permit approval, whichever occurs sooner.

The obligation of the owner, its successors and assigns, of an individual lot to install landfill gas monitoring well(s) and extraction system shall include the obligation to monitor well(s) on a periodic basis as approved by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan on file at the City's Environmental Health Department and incorporated herein by reference and initiating the start up, operation and maintenance of the extraction system, as required by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan.

This paragraph shall in its entirety constitute a covenant running with the title to each individual lot of the property as shown on this Plat shall be binding on the owner, its successors and assigns, of each individual lot for the benefit of the City until terminated. (Above language by Assistant City Attorney, City of Albuquerque)

"The subject property is located (near, on) a (former, existing) landfill. Due to the subject property being (on, near) a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 feet of Landfills") shall be consulted prior to development of the site."

PROJECT NO. _____

APPROVALS:	APPLICATION NO.
<i>David P. Acosta</i> CITY SURVEYOR	5-6-13 DATE
<i>NS</i> TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	05-08-13 DATE
<i>Sandora</i> PARKS & RECREATION DEPARTMENT	5/8/13 DATE
<i>Allen Peter</i> ALBUQUERQUE-BERNALILLO COUNTY WATER UTILITY AUTHORITY (A.B.C.W.U.A.)	05/08/13 DATE
<i>Ante Chan</i> ALBUQUERQUE METRO AREA FLOOD CONTROL AUTHORITY (A.M.A.F.C.A.)	5-8-13 DATE
<i>Ante Chan</i> CITY ENGINEER	5-8-13 DATE
<i>Paul Chou</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	5-21-13 DATE
<i>Aunanne Bush</i> ENVIRONMENTAL HEALTH DEPARTMENT	5-21-13 DATE

- PLAT NOTES:**
- BEARINGS ARE NM S.P.C.S. GRID BEARINGS. DISTANCES ARE GROUND DISTANCES.
 - ALL EASEMENTS SHOWN ON THE RECORD PLAT OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS, UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST, ARE SHOWN HEREON.
 - AREA OF SUBDIVISION IS 5.0742 ACRES.
 - NUMBER OF EXISTING LOTS = 4
NUMBER OF PROPOSED LOTS = 4

DISCLOSURE STATEMENT:
 THE PURPOSE OF THIS PLAT IS TO VACATE EXISTING EASEMENTS; GRANT ADDITIONAL EASEMENTS, AND DEDICATE ADDITIONAL RIGHT-OF-WAY FOR SAN ANTONIO DRIVE N.E. THIS PLAT DOES NOT FURTHER ALTER ORIGINAL LOT LINES.

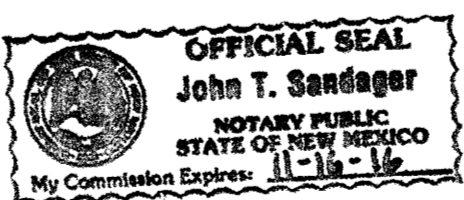
LEGAL DESCRIPTION:
 LOTS NUMBERED FOUR (4), FIVE (5), SIX (6) AND SEVEN (7) OF "JJ SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 21, 2004 IN PLAT BOOK 2004C, FOLIO 158.

UTILITY EASEMENTS:
 SEE SHEET No. 2 FOR EASEMENT NOTES.

OWNERS' FREE CONSENT STATEMENT AND ACKNOWLEDGEMENT:
 THE UNDERSIGNED OWNERS OF THE LAND SHOWN AND DESCRIBED HEREON STATE THAT THIS PLAT IS EXECUTED WITH THEIR FREE CONSENT AND IS IN ACCORDANCE WITH THEIR WISHES. SAID OWNERS DO HEREBY GRANT THE EASEMENTS SHOWN FOR THE PURPOSES STATED, AND DEDICATE THE ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER: *SAN ANTONIO*
 BROADCASTERS COMMUNIS, LLC
Larry Stroup
 LARRY STROUP, PRESIDENT, THE STROUP CO., LLC MANAGER

STATE OF NEW MEXICO }
 COUNTY OF BERNALILLO } ss
 ON THIS 6th DAY OF MAY, 2013, THIS INSTRUMENT WAS EXECUTED BEFORE ME BY LARRY STROUP AS HIS FREE ACT AND DEED.
 NOTARY PUBLIC: *[Signature]* MY COMMISSION EXPIRES: 11-16-16



BERNALILLO COUNTY TREASURER'S CERTIFICATE:
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:

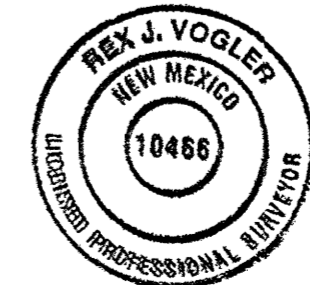
LOT NO.	UPC	PROPERTY OWNER OF RECORD
4	101806215850220143	<i>San Antonio Commons LLC</i>
5	101806218850320144	<i>San Antonio Commons LLC</i>
6	101806221950320146	<i>San Antonio Commons LLC</i>
7	101806224750220147	<i>San Antonio Commons LLC</i>

BERNALILLO COUNTY TREASURER'S OFFICE:
 By: *[Signature]* Date: 5/21/13

<i>Lernando Vigil</i> NM ELECTRIC SERVICES	5/21/13 DATE
<i>[Signature]</i> NM GAS COMPANY	5/21/2013 DATE
<i>[Signature]</i> QUEST COMMUNICATIONS d/b/o CENTURYLINK QC	5/20/13 DATE
<i>[Signature]</i> COMCAST	5/21/13 DATE

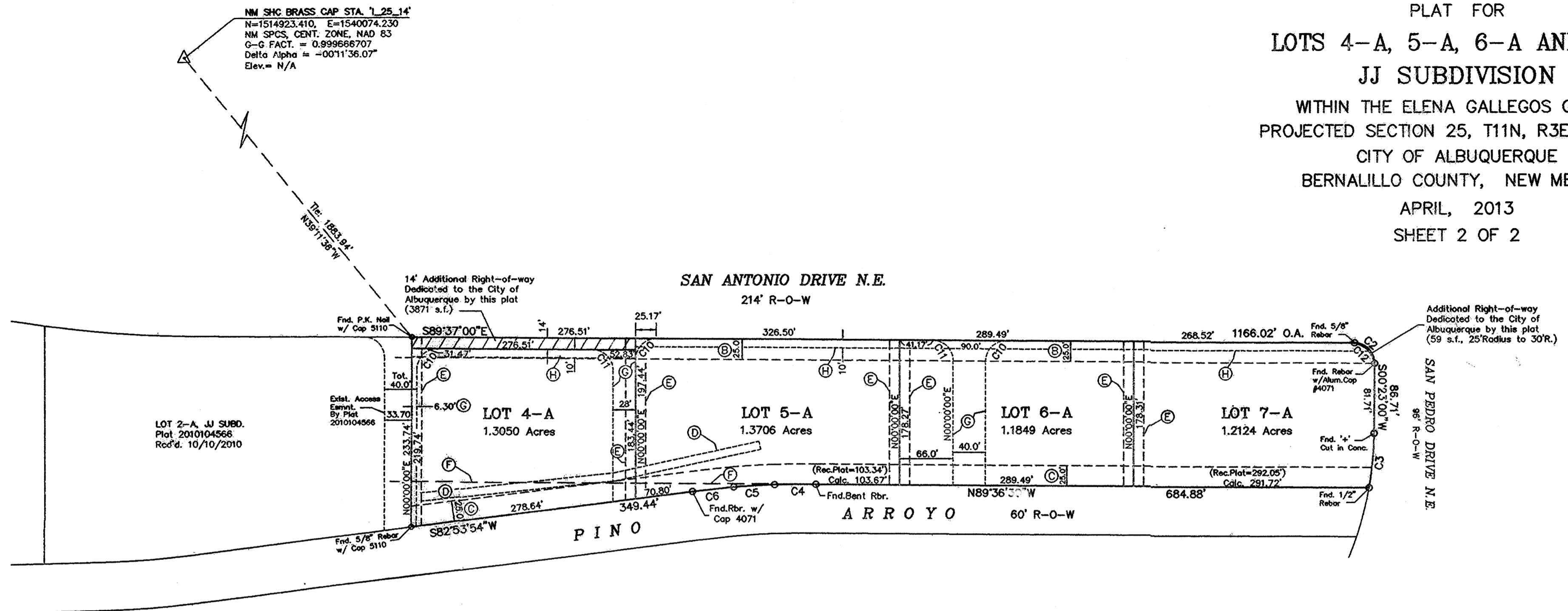
DOC# 2013056651
 05/21/2013 04:38 PM Page: 1 of 2
 PLAT R: \$25.00 B: 2013C P: 0057 R: Toulous Olivero, Bernalillo Co

SURVEYOR'S CERTIFICATION:
 I, REX J. VOGLER, A PROFESSIONAL SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, CERTIFIES THAT THIS PLAT AND THE FIELD SURVEY ON WHICH IT IS BASED WAS PREPARED BY ME AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYING IN NEW MEXICO AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
 DATE: May 6, 2013



RIO GRANDE SURVEYING CO., PC
 P.O. BOX 7155 ABO, NM 87194
 PHONE & FAX (505) 764-8891
 EMAIL: rgs360@gmail.com

PLAT FOR
LOTS 4-A, 5-A, 6-A AND 7-A
JJ SUBDIVISION
 WITHIN THE ELENA GALLEGOS GRANT
 PROJECTED SECTION 25, T11N, R3E, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2013
 SHEET 2 OF 2



PUBLIC UTILITY EASEMENTS:

Public Utility Easements shown on this plat are granted for the common and joint use of:

1. Public Service Company of New Mexico for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
2. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
3. Qwest d/b/a CenturyLink QC for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including, but not limited to, above ground pedestals and closures.
4. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structures shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to, within, or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PUBLIC UTILITY DISCLAIMER:

By approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC), Qwest d/b/a CenturyLink QC (Qwest) and Comcast Cable did not conduct a title search on the properties shown hereon. Consequently, PNM, NMGC, Qwest and Comcast Cable do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

SOLAR ACCESS NOTE:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT. THE FOREGOING SHALL BE A CONDITION OF APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

KEYED EASEMENT NOTES: ○

EXISTING EASEMENTS, NOT ALTERED BY THIS PLAT:

- A (Not Used)
- B Existing 25' C.O.A. Public Water & Sanitary Sewer Easement, granted by the record plat, 2004C-158, 05/21/04. This plat retains said easement without modification.
- C Existing 25' Cross-access, Cross-lot Drainage, and Public Utility Easement, granted by the record plat, 2004C-158, 05/21/04. This plat retains said easement without modification.
- D Existing 10' PNM Easement, granted by Doc. #2008101346, 09/12/2008, plat, 2004C-158, 05/21/04. This plat retains said easement without modification.
- F Existing remnant Blanket Easement for Access and Utilities, granted by plat 91C-245, 11/01/91. This plat retains said easement without modification.

EXISTING EASEMENTS, VACATED BY THIS PLAT:

- E Existing 12.5' Ingress and Egress Easement (private), granted by the record plat, 2004C-158, 05/21/04. Said easement is vacated by this plat.

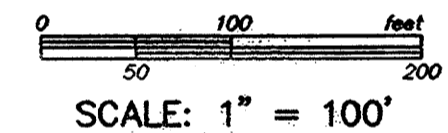
Vacation No.: _____

NEW EASEMENTS CREATED BY THIS PLAT:

- G New Ingress and Egress Easement granted by this plat, width and dimensions as shown. The new Ingress and Egress easements created and granted by this plat are for the benefit of Lot 1 and Lots 2-A through 7-A of the subject JJ Subdivision.
- H New ten foot (10') Public Utility Easement granted by this plat.

EASEMENT MAINTENANCE:

Individual lot owners are responsible for the maintenance of the portion of the easements lying within said owners individual lot.



CURVE DATA TABLE:

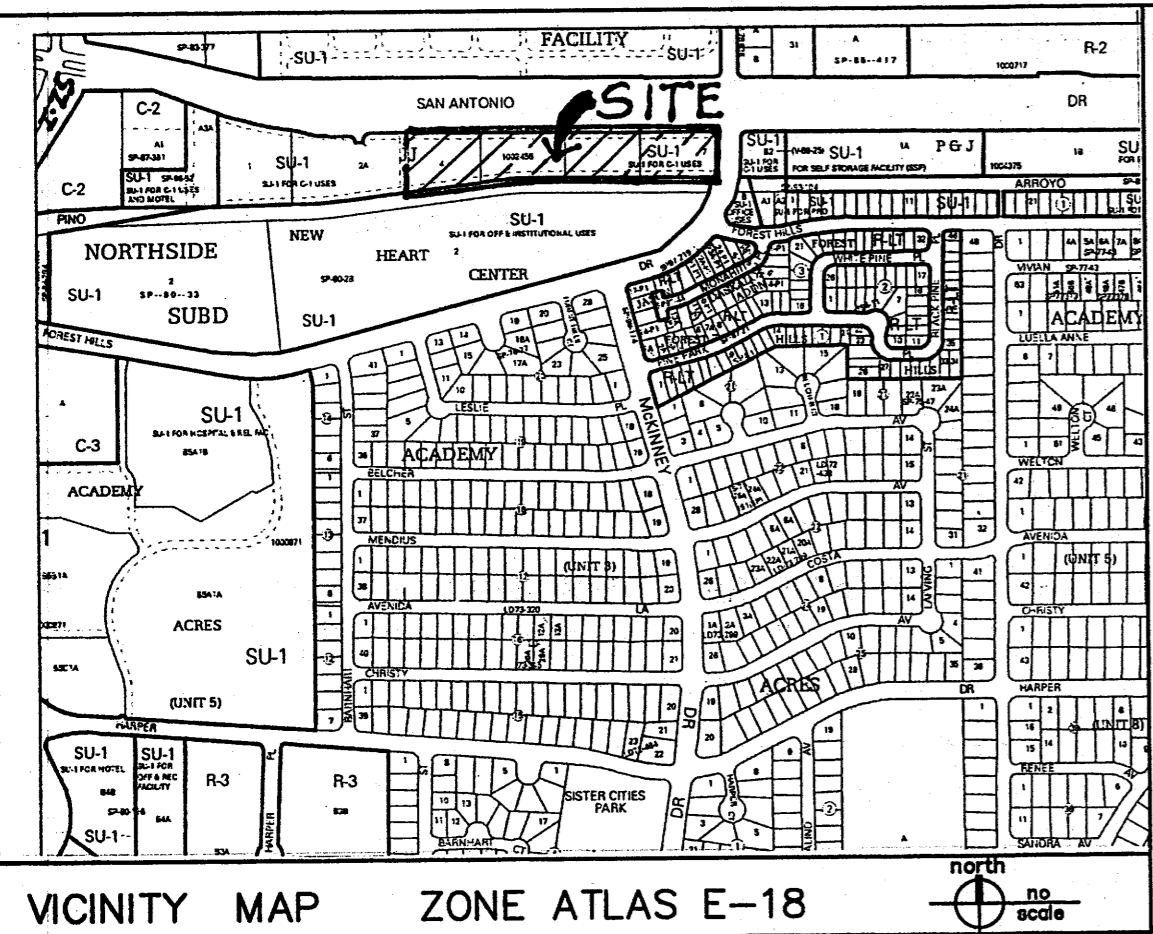
NO.	RADIUS	DELTA	ARC	CHD.	BRG.
C2	25.00'	90°00'00"	39.27'	35.36'	S44°37'00"E
C3	698.90'	09°37'04"	66.96'	66.87'	S05°11'31"W
C4	1537.50'	01°54'33"	51.23'	51.23'	S89°26'13"W
C5	787.50'	03°40'29"	50.51'	50.50'	S86°38'56"W
C6	1537.50'	01°54'33"	51.23'	51.23'	S83°51'11"W
C10	25.00'	90°23'00"	39.44'	35.47'	N45°11'30"E
C11	25.00'	89°37'00"	39.10'	35.24'	N44°48'30"W
C12	30.00'	90°00'00"	47.12'	42.43'	S44°37'00"E

DOCS 2013056651

05/21/2013 04:30 PM Page: 2 of 2
 PLAT R: \$25.00 B: 2013C P: 0057 M. Toulous Oliveira, Bernalillo Co

PROPERTY CORNERS:

Unless noted otherwise, all property corners will be marked by a 5/8" rebar with yellow plastic cap stamped 'PS 10466'.



VICINITY MAP ZONE ATLAS E-18

PLAT FOR
 LOTS 4-A, 5-A, 6-A AND 7-A
 JJ SUBDIVISION
 WITHIN THE ELENA GALLEGOS GRANT
 PROJECTED SECTION 25, T11N, R3E, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2013
 SHEET 1 OF 2

MASTER LANDFILL GAS EVALUATION AND ABATEMENT SYSTEM PLAN NOTE:
 As a condition of this subdivision plat approval by the City, owner, its successors and assigns, covenants and agrees to install a landfill gas monitoring well(s) and extraction system on the property, pursuant to that certain Master Landfill Gas Evaluation and Abatement System Plan for the proposed Subdivision at I-25 and San Antonio Boulevard, Lots A-3-B 1 thru 7 (now known as Lots 1 through 7, JJ Subdivision), Albuquerque, New Mexico, dated July 18, 2003 prepared by Lawrence Earth Engineering, Larry M. Coons, P.E. (the "Master Landfill Gas Evaluation and Abatement System Plan") and incorporated herein by reference. The landfill gas monitoring well(s) and extraction system shall be installed on a lot by lot basis as defined in the Master Landfill Gas Extraction and Abatement System Plan for any individual lot at the time of and as a condition to Site Development Plan approval, Design Review approval by the City's Design Review Committee or building permit approval, whichever occurs sooner.

The obligation of the owner, its successors and assigns, of an individual lot to install landfill gas monitoring well(s) and extraction system shall include the obligation to monitor well(s) on a periodic basis as approved by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan on file at the City's Environmental Health Department and incorporated herein by reference and initiating the start up, operation and maintenance of the extraction system, as required by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan.

This paragraph shall in its entirety constitute a covenant running with the title to each individual lot of the property as shown on this Plat shall be binding on the owner, its successors and assigns, of each individual lot for the benefit of the City until terminated.

(Above language by Assistant City Attorney, City of Albuquerque)

"The subject property is located (near, on) a (former, existing) landfill. Due to the subject property being (on, near) a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 feet of Landfills") shall be consulted prior to development of the site."

PLAT NOTES:

1. BEARINGS ARE NM S.P.C.S. GRID BEARINGS. DISTANCES ARE GROUND DISTANCES.
2. ALL EASEMENTS SHOWN ON THE RECORD PLAT OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS, UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST, ARE SHOWN HEREON.
3. AREA OF SUBDIVISION IS 5.0742 ACRES.
4. NUMBER OF EXISTING LOTS = 4
 NUMBER OF PROPOSED LOTS = 4

UTILITY EASEMENTS:
 SEE SHEET No. 2 FOR EASEMENT NOTES.

BERNALILLO COUNTY TREASURER'S CERTIFICATE:

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:

LOT NO.	UPC	PROPERTY OWNER OF RECORD
4	101806215850220143	_____
5	101806218850320144	_____
6	101806221950320146	_____
7	101806224750220147	_____

BERNALILLO COUNTY TREASURER'S OFFICE:
 By: _____ Date: _____

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO VACATE EXISTING EASEMENTS; GRANT ADDITIONAL ACCESS EASEMENTS, AND DEDICATE ADDITIONAL RIGHT-OF-WAY FOR SAN ANTONIO DRIVE N.E. THIS PLAT DOES NOT FURTHER ALTER ORIGINAL LOT LINES.

LEGAL DESCRIPTION:

LOTS NUMBERED FOUR (4), FIVE (5), SIX (6) AND SEVEN (7) OF "JJ SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 21, 2004 IN PLAT BOOK 2004C, FOLIO 158.

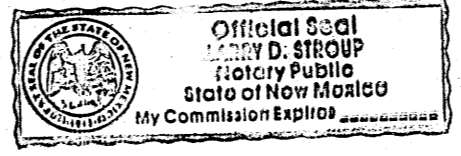
OWNERS' FREE CONSENT STATEMENT AND ACKNOWLEDGEMENT:

THE UNDERSIGNED OWNERS OF THE LAND SHOWN AND DESCRIBED HEREON STATE THAT THIS PLAT IS EXECUTED WITH THEIR FREE CONSENT AND IS IN ACCORDANCE WITH THEIR WISHES. SAID OWNERS DO HEREBY GRANT THE EASEMENTS SHOWN FOR THE PURPOSES STATED, AND DEDICATE THE ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER: _____
 JERRY L. MONK *Jerry L. Monk*

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss
 ON THIS 1st DAY OF April, 2013, THIS INSTRUMENT WAS EXECUTED BEFORE ME BY JERRY L. MONK AS HIS FREE ACT AND DEED.

NOTARY PUBLIC: *[Signature]* MY COMMISSION EXPIRES: 10/1/16



APPROVALS:	PROJECT NO. _____	APPLICATION NO. _____
<i>Daniel P. Augusta</i> CITY SURVEYOR		4-1-13 DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION		DATE
PARKS & RECREATION DEPARTMENT		DATE
ALBUQUERQUE-BERNALILLO COUNTY WATER UTILITY AUTHORITY (A.B.C.W.U.A.)		DATE
ALBUQUERQUE METRO AREA FLOOD CONTROL AUTHORITY (A.M.A.F.C.A.)		DATE
CITY ENGINEER		DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT		DATE
CITY ZONING DEPT.		DATE
ENVIRONMENTAL HEALTH DEPARTMENT		DATE
PJM ELECTRIC SERVICES		DATE
NM GAS COMPANY		DATE
QWEST COMMUNICATIONS d/b/a/ CENTURYLINK QC		DATE
COMCAST		DATE

SURVEYOR'S CERTIFICATION:

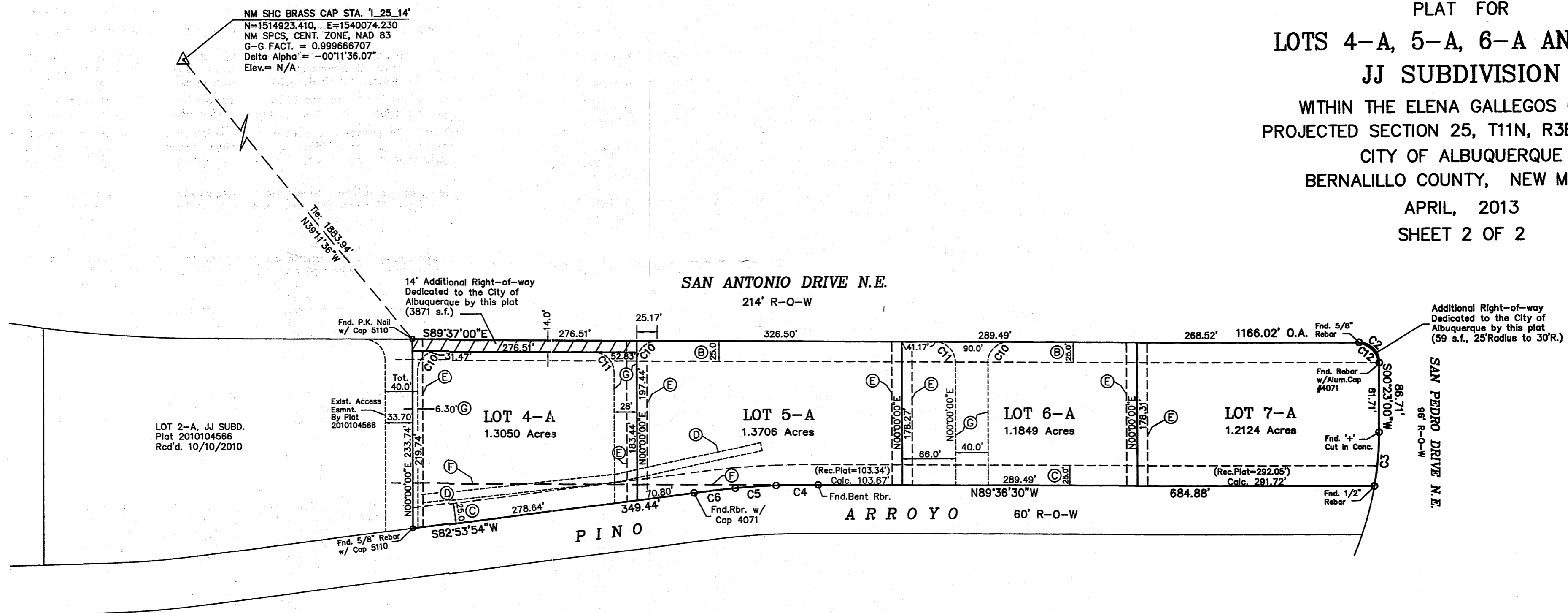
I, REX J. VOGLER, A PROFESSIONAL SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, CERTIFIES THAT THIS PLAT AND THE FIELD SURVEY ON WHICH IT IS BASED WAS PREPARED BY ME AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYING IN NEW MEXICO AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REX J. VOGLER
 NM PS #10466
 DATE Apr. 1, 2013



RIO GRANDE SURVEYING CO., PC
 P.O. BOX 7155 ABO, NM 87194
 PHONE & FAX (505) 764-8891
 EMAIL: rgsc360@gmail.com

PLAT FOR
LOTS 4-A, 5-A, 6-A AND 7-A
JJ SUBDIVISION
 WITHIN THE ELENA GALLEGOS GRANT
 PROJECTED SECTION 25, T11N, R3E, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2013
 SHEET 2 OF 2



NM SHC BRASS CAP STA. 'L_25_14'
 N=1514923.410, E=1540074.230
 NM SPCS, CENT. ZONE, NAD 83
 G-G FACT. = 0.998666707
 Delta Alpha = -00'11'36.07"
 Elev. = N/A

PUBLIC UTILITY EASEMENTS:

Public Utility Easements shown on this plat are granted for the common and joint use of:

1. PNM Electric Services for installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
3. Qwest d/b/a CenturyLink QC for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including, but not limited to, above ground pedestals and closures.
4. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structures shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

PUBLIC UTILITY DISCLAIMER:

By approving this document, PNM Electric Services, New Mexico Gas Company, Qwest d/b/a CenturyLink QC and Comcast Cable do not waive or release any easements or easement rights which may have been granted by prior plat, replat or document, except those indicated on this plat.

SOLAR ACCESS NOTE:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT. THE FOREGOING SHALL BE A CONDITION OF APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

KEYED EASEMENT NOTES: ○

EXISTING EASEMENTS, NOT ALTERED BY THIS PLAT:

- A (Not Used)
- B Existing 25' C.O.A. Public Water & Sanitary Sewer Easement, granted by the record plat, 2004C-158, 05/21/04. This plat retains said easement without modification.
- C Existing 25' Cross-access, Cross-lot Drainage, and Public Utility Easement, granted by the record plat, 2004C-158, 05/21/04. This plat retains said easement without modification.
- D Existing 10' PNM Easement, granted by Doc. #2008101346, 09/12/2008. plat, 2004C-158, 05/21/04. This plat retains said easement without modification.
- F Existing remnant Blanket Easement for Access and Utilities, granted by plat 91C-245, 11/01/91. This plat retains said easement without modification.

EXISTING EASEMENTS, VACATED BY THIS PLAT:

- E Existing 12.5' Ingress and Egress Easement (private), granted by the record plat, 2004C-158, 05/21/04. Said easement is vacated by this plat.

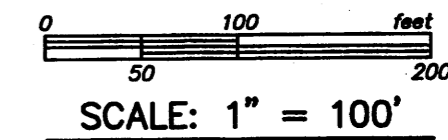
Vacation No.: _____

NEW EASEMENTS CREATED BY THIS PLAT:

- G New Ingress and Egress Easement granted by this plat, width and dimensions as shown. The new Ingress and Egress easements created and granted by this plat are for the benefit of Lot 1 and Lots 2-A through 7-A of the subject JJ Subdivision.

EASEMENT MAINTENANCE:

Individual lot owners are responsible for the maintenance of the portion of the easements lying within said owners individual lot.



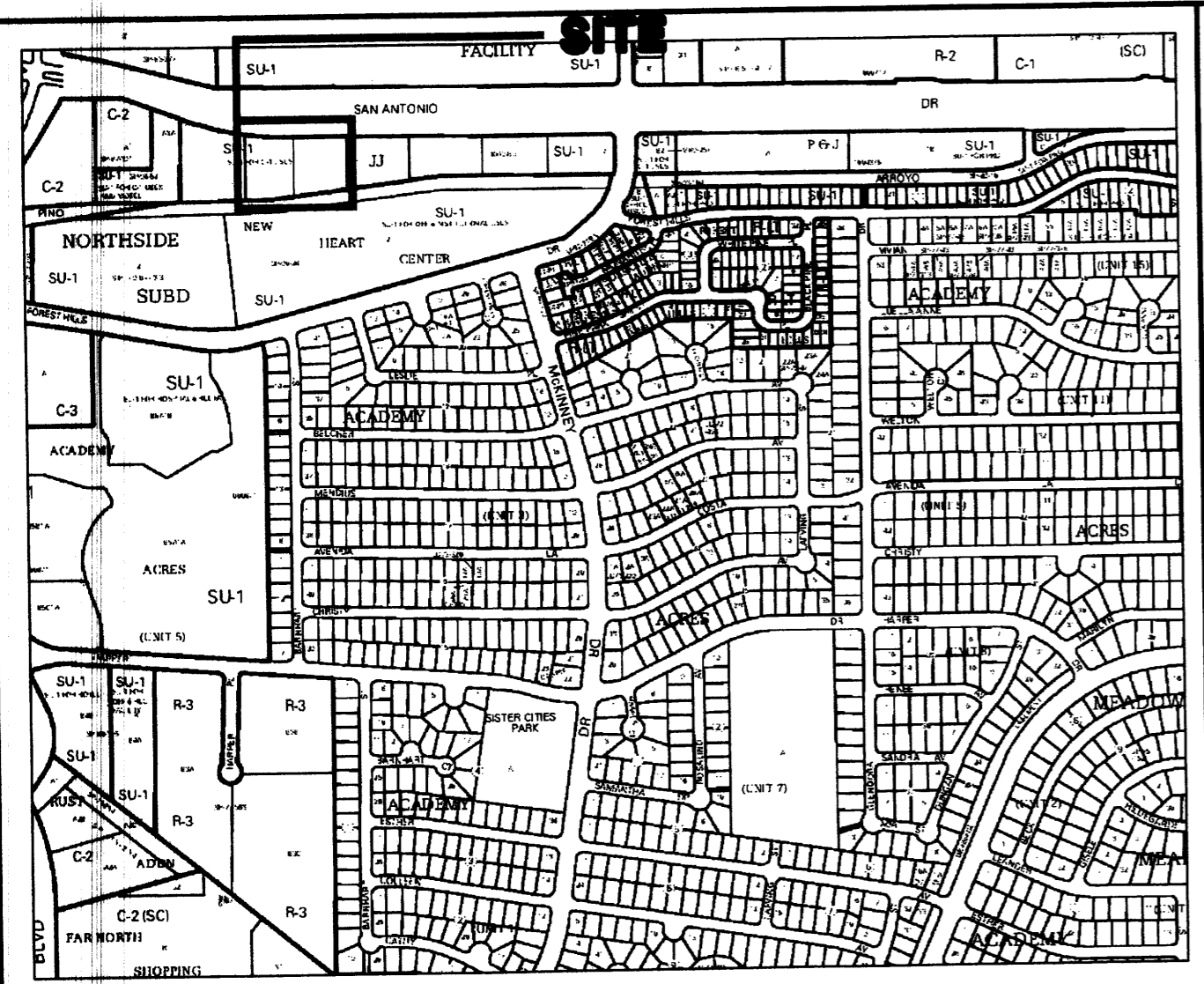
CURVE DATA TABLE:

NO.	RADIUS	DELTA	ARC	CHD.	BRG.
C2	25.00'	90°00'00"	39.27'	35.36'	S44°37'00"E
C3	698.90'	09°37'04"	66.96'	66.87'	S05°11'31"W
C4	1537.50'	01°54'33"	51.23'	51.23'	S89°26'13"W
C5	787.50'	03°40'29"	50.51'	50.50'	S86°38'56"W
C6	1537.50'	01°54'33"	51.23'	51.23'	S83°51'11"W
C10	25.00'	90°23'00"	39.44'	35.47'	N45°11'30"E
C11	25.00'	89°37'00"	39.10'	35.24'	N44°48'30"E
C12	30.00'	90°00'00"	47.12'	42.43'	S44°37'00"E

PROPERTY CORNERS:

Unless noted otherwise, all property corners will be marked by a 5/8" rebar with yellow plastic cap stamped 'PS 10466'.

PLAT OF LOT 2-A
JJ SUBDIVISION
 ALBUQUERQUE, NEW MEXICO
 OCTOBER, 2008



LOCATION MAP ZONE ATLAS SHEET E-18
 SCALE 1" = 750' +/-

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# _____
 PROPERTY OWNER OF RECORD: _____

BERNALILLO COUNTY TREASURER'S OFFICE: _____

PUBLIC UTILITY EASEMENTS

QWEST COMMUNICATIONS	DATE
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
COMCAST CABLE	DATE

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAN ARE GRANTED FOR COMMON AND JOINT USE OF:

- PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.
- QWEST COMMUNICATIONS FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS, TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATION OF THE NATIONAL ELECTRIC OR SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO, OR WITHIN, OR NEAR EASEMENTS SHOWN ON THIS PLAT.

LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN THE ELENA CALLEGOS GRANT, IN PROJECTED SECTION 25, T11N, R3E, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; SAID PARCEL BEING THE SAME AS LOTS 2 AND 3 OF "LOTS 1 THRU 7, JJ SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 21, 2004 IN BOOK 2004C, PAGE 158 AND MORE PARTICULARLY DESCRIBED USING NEW MEXICO STATE PLANE (CENTRAL ZONE, NAD 83) GRID BEARINGS AND GROUND DISTANCES AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 2A OF THE PARCEL HEREIN DESCRIBED AND ON THE SOUTHERLY RIGHT-OF-WAY OF SAN ANTONIO DRIVE NE, FROM WHENCE THE ACS MONUMENT NMDOT 1-25-14 BEARS N22°00'54"W A DISTANCE OF 1622.02 FEET; THENCE ALONG THE SOUTHERLY RIGHT-OF-WAY OF SAN ANTONIO DRIVE NE,

SOUTHEASTERLY, 189.77 FEET ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 1462.00 FEET AND A CHORD BEARING S85°53'53"E A DISTANCE OF 189.64 FEET TO A POINT; THENCE ALONG THE SOUTHERLY RIGHT-OF-WAY OF SAN ANTONIO DRIVE NE, S89°37'00"E, 264.28 FEET TO A POINT; THENCE DEPARTING THE SOUTHERLY RIGHT-OF-WAY OF SAN ANTONIO DRIVE NE, S00°00'00"E, 233.74 FEET TO A POINT, SAID POINT BEING ON THE NORTHERLY RIGHT-OF-WAY OF THE PINO ARROYO; THENCE ALONG THE NORTHERLY RIGHT-OF-WAY OF THE PINO ARROYO, S82°53'54"W, 273.56' TO A POINT; THENCE ALONG THE NORTHERLY RIGHT-OF-WAY OF THE PINO ARROYO, SOUTHWESTERLY, 39.00 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 1462.50 FEET AND A CHORD BEARING S83°39'44"W A DISTANCE OF 39.00 FEET; THENCE ALONG THE NORTHERLY RIGHT-OF-WAY OF THE PINO ARROYO, SOUTHWESTERLY, 33.76 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 712.50 FEET AND A CHORD BEARING S85°47'01"W A DISTANCE OF 33.76 FEET; THENCE ALONG THE NORTHERLY RIGHT-OF-WAY OF THE PINO ARROYO, SOUTHWESTERLY, 39.00 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 1462.50 FEET AND A CHORD BEARING S87°54'18"W A DISTANCE OF 39.00 FEET; THENCE ALONG THE NORTHERLY RIGHT-OF-WAY OF THE PINO ARROYO, S88°40'08"W, 70.57 FEET TO A POINT; THENCE DEPARTING THE NORTHERLY RIGHT-OF-WAY OF THE PINO ARROYO, N00°00'00"E, 292.74 FEET TO A POINT; SAID POINT BEING THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 2.7410 ACRES MORE OR LESS.

NOTES

- MILES OF FULL WIDTH STREETS CREATED BY THIS PLAT: 0.0000 MILES.
- CURRENT SUBDIVISION ZONING: ALL LOTS ARE SU-1.
- TOTAL NUMBER OF LOTS PROPOSED: 1
- BASIS OF BEARINGS; (MONUMENT DATA SHOWN IS NEW MEXICO STATE PLANE CENTRAL ZONE, NAD 1983 AND NAVD 1988.)
 NMDOT BRASS CAP "STA. 1-25-14"
 X = 1,540,074.230 DELTA ALPHA = -00°11'36"
 Y = 1,514,923.410 GROUND TO GRID
 ELEVATION = NA FACTOR = 0.999666707
 ACS 10-D-18
 X = 1,545,122.187 DELTA ALPHA = -0°11'01"
 Y = 1,515,749.916 GROUND TO GRID
 ELEVATION = NA FACTOR = 0.999659710
 ACS 18-E-18
 ELEVATION - 5269.408
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
- ALL BEARINGS ARE NEW MEXICO STATE PLANE (CENTRAL ZONE, NAD 83) GRID BEARINGS.
- ALL LOT CORNERS AND ANGLE POINTS ARE MONUMENTED WITH A 5/8" REBAR AND PLASTIC CAP STAMPED "BORDENAVE, LS 5110" UNLESS OTHERWISE SHOWN.
- NO STREET CENTERLINE MONUMENTATION IS INSTALLED.
- NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON THE BUILDINGS OR ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

APPROVALS

PROJECT NO: _____	APPLICATION NO: 08DRB-_____
<i>[Signature]</i>	10-6-08
CITY SURVEYOR	DATE
PARKS & RECREATION DEPT.	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
ALBUQUERQUE BERNALILLO WATER UTILITIES DEV.	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

TALOS LOG NO. 2008393535

DISCLOSURE STATEMENT

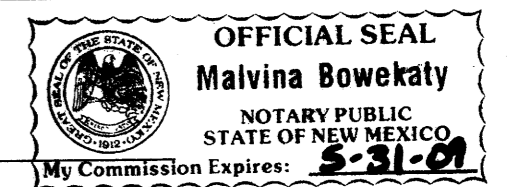
THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 2 AND 3 TO BE CALLED LOT 2-A, DEDICATE ADDITIONAL STREET RIGHT-OF-WAY ON THE SOUTH SIDE OF SAN ANTONIO AVE., GRANT AN INGRESS/EGRESS EASEMENT ON THE EAST SIDE OF LOT 2-A, GRANT A POWER EASEMENT FOR AN EXISTING POWER LINE AND VACATE EXISTING INGRESS/EGRESS EASEMENTS.

FREE CONSENT AND DEDICATION

THE SUBDIVISION OF THE LAND DESCRIBED ON THIS PLAT IS WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNER OF THE LAND. THE OWNER DOES HEREBY:

- WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE, IN FEE SIMPLE, TO THE LAND SUBDIVIDED;
- GRANT A SPECIFIC INGRESS/EGRESS EASEMENT AS DELINEATED ON THIS PLAT;
- GRANT A SPECIFIC PUBLIC UTILITY EASEMENT AS DELINEATED ON THIS PLAT;
- ACKNOWLEDGE EXISTING EASEMENTS AS SHOWN ON THIS PLAT;
- DEDICATE ADDITIONAL STREET RIGHT-OF-WAY, IN FEE SIMPLE WITH WARRANTY COVENANTS, ALONG THE SOUTH SIDE OF SAN ANTONIO DRIVE, AND
- STATE THAT THIS SUBDIVISION LIES WITHIN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF ALBUQUERQUE, NEW MEXICO.

TIMOTHY M. OTT
[Signature]
 OWNER
 STATE OF NEW MEXICO } SS
 COUNTY OF BERNALILLO }
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 10/6/08 BY
Timothy M. Ott, OWNER.

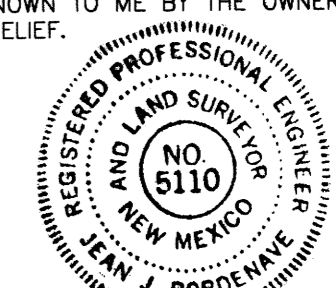


NOTARY PUBLIC: *Malvina Bowekaty*
 MY COMMISSION EXPIRES: May 31, 2009

SURVEYOR'S CERTIFICATION

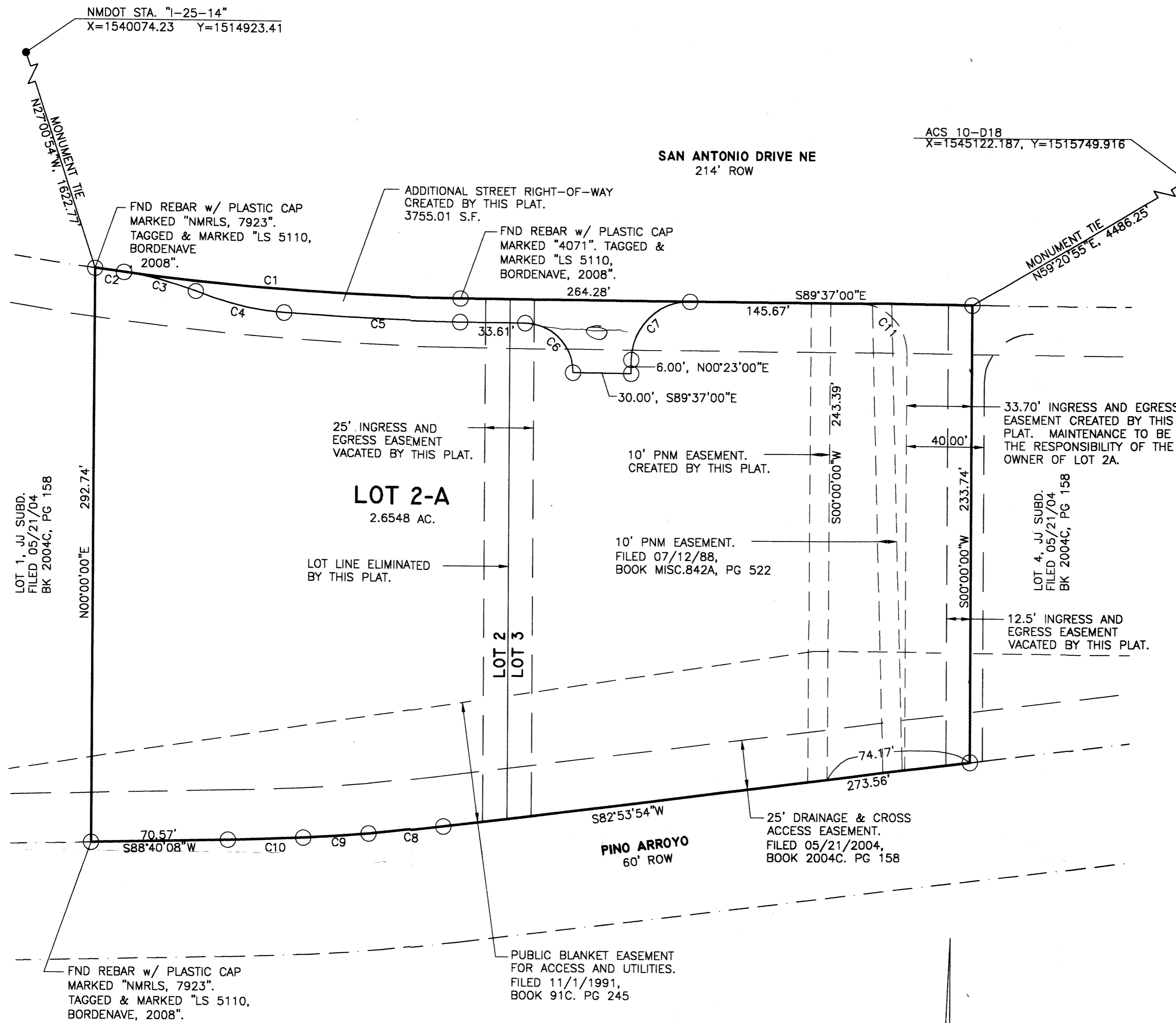
I, JEAN J. BORDENAVE, A REGISTERED PROFESSIONAL ENGINEER AND LAND SURVEYOR UNEER THE LAWS OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION; MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS OF RECORD OR MADE KNOWN TO ME BY THE OWNER; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]
 JEAN J. BORDENAVE, NMPE&LS NO. 15110



BORDENAVE DESIGNS
 P.O. BOX 91194, ALBUQUERQUE, NM 87199
 (505)823-1344 FAX (505)821-9105

PLAT OF LOT 2-A
 JJ SUBDIVISION
 ALBUQUERQUE, NEW MEXICO
 OCTOBER, 2008

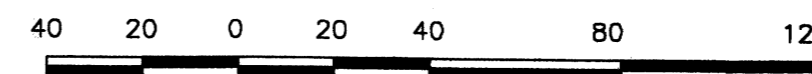


SURVEY NOTES:
 RECORD BEARINGS AND DISTANCES, IF DIFFERENT THAN FIELD, ARE SHOWN IN ().
 LOT MONUMENTS (SHOWN THUS ○), ARE 5/8" REBARS WITH PLASTIC CAPS MARKED "BORDENAVE, LS NO. 5110" UNLESS MARKED OTHERWISE.

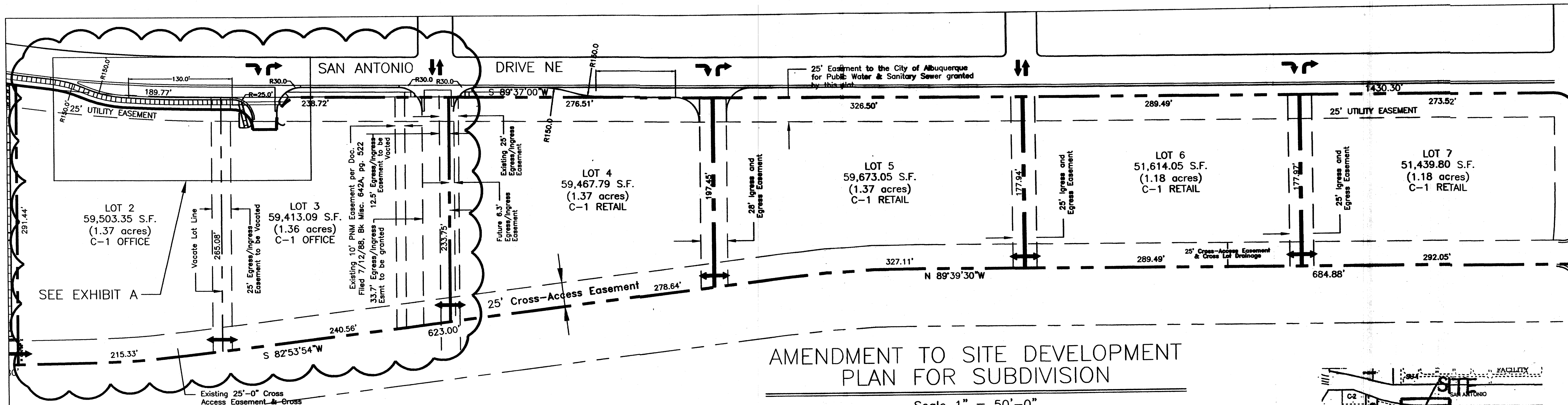
CURVE TABLE

CURVE	DELTA	RADIUS	ARC	CHORD	CHD BRG
C1	07°26'14"	1462.00'	189.77'	189.64'	S85°53'53"E
C2	00°25'24"	1462.00'	15.05'	15.05'	S82°28'28"E
C3	14°41'38"	150.00'	38.47'	38.36'	S75°25'21"E
C4	17°59'19"	150.00'	47.09'	46.90'	S77°04'12"E
C5	03°33'09"	1474.00'	91.39'	91.37'	S87°50'26"E
C6	90°00'00"	25.00'	39.27'	35.35'	S44°37'18"E
C7	90°00'00"	30.00'	47.12'	42.43'	N45°22'42"E
C8	01°31'40"	1462.50'	39.00'	39.00'	S83°39'44"W
C9	02°42'54"	712.50'	33.76'	33.76'	S85°47'01"W
C10	01°31'40"	1462.50'	39.00'	39.00'	S87°54'18"W
C11	89°37'02"	25.00'	39.10'	35.24'	S44°48'29"E

SCALE 1 INCH = 40 FEET

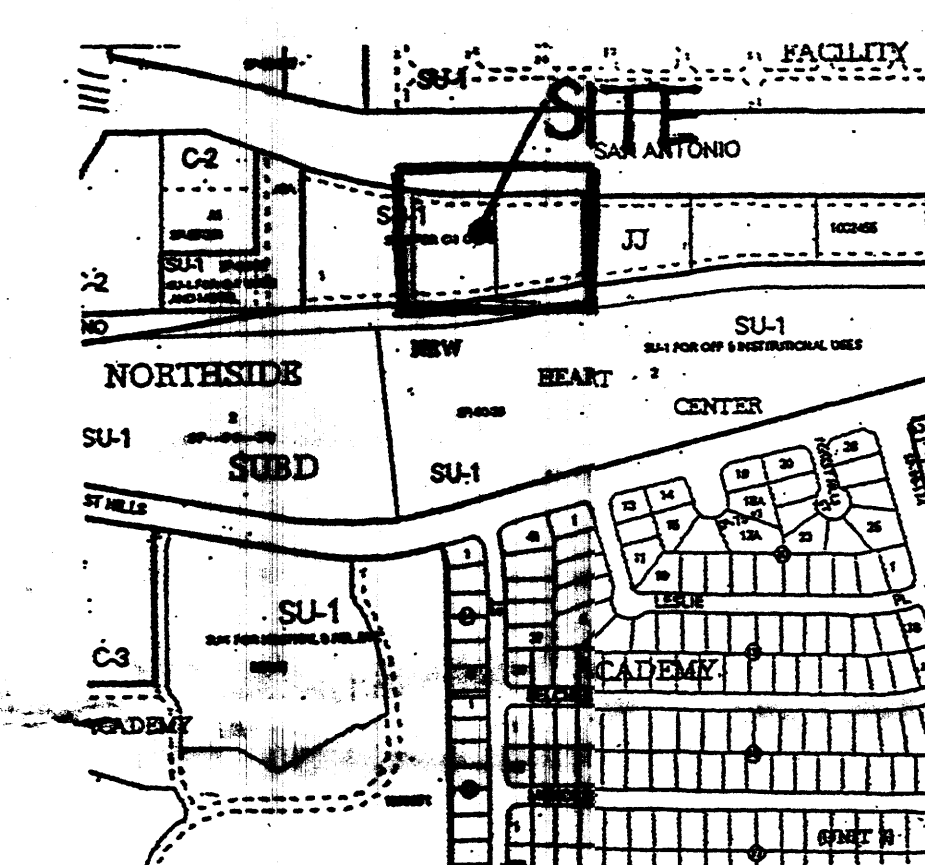


BORDENAVE DESIGNS
 P.O. BOX 91194, ALBUQUERQUE, NM 87199
 (505)823-1344 FAX (505)821-9105



AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

Scale 1" = 50'-0"



VICINITY MAP

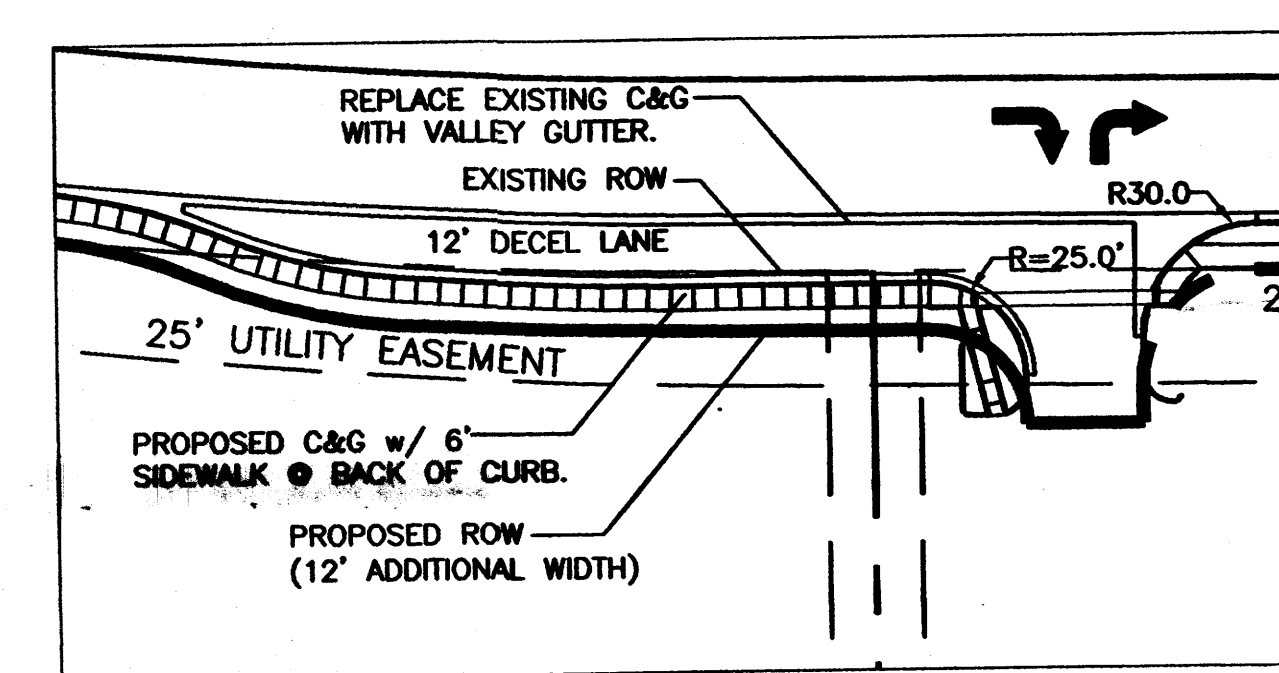


EXHIBIT A

Scale 1" = 50'-0"

LEGAL DESCRIPTION

LOTS 2 THRU 7
JJ SUBDIVISION
BEING A REPLAT OF TRACT A-3-B,
J GROUP ADDITION, TRACT 1,
NEW HEART CENTER & TRACT 1,
NORTHSIDE SUBDIVISION
WITHIN PROJECTED SECTION 25
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
ZONING: SU-1 FOR C-1 USES

CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO

NOTES: LOTS 2 & 3
BUILDING HEIGHT NOT TO EXCEED 34 FT.
MAXIMUM FLOOR-AREA RATIO: 30.0%
BUILDING MINIMUM SETBACKS:
FRONT: 25.0 FT.
SIDE: 5.0 FT.
REAR: 5.0 FT.

TRAFFIC FLOW NOTES

- ↔ - TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- ↘ - RIGHT TURN ONLY INTO LOT
- ↗ - RIGHT TURN ONLY OUT OF LOT
- ↕ - TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW

GENERAL DESIGN CRITERIA:

1. ALL STRUCTURES ON LOTS SHALL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
2. DESIGN OF BUILDING SHALL BE COMPATIBLE STYLES, MATERIALS AND COLORS THROUGHOUT LOTS 2 - 7.
3. PARKING SHALL NOT EXCEED THE REQUIRED PLUS 10%.
4. ACCESSIBLE (ADA) COMPLIANT PARKING SHALL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY. REQUIRED PARKING SHALL BE DISTRIBUTED ON AT LEAST TWO SIDES OF A BUILDING.
5. ALL SIDEWALKS SHALL HAVE A MINIMUM OF 6 FEET CLEAR WALKWAY AREA PROTECT BY PERMANENT CAR STOPS.
6. FRONT ENTRY SIDEWALK AREAS SHALL BE COVERED OR SHADED BY TREES.
7. ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS AND THRU VEHICULAR AREAS.
8. PATIO AREAS FOR EMPLOYEES SHALL BE PROVIDED AND SHADED.
9. BICYCLE RACKS SHALL BE PROVIDED PER COA CODE.
10. ALL LANDSCAPING SHALL BE PER COA CODE. NO GREATER THAN 20% OF LANDSCAPED AREA SHALL BE HIGH WATER USE AND ALL APPLICABLE WATER CONSERVATION MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION SHALL BE ADHERED TO. PLANTS SHALL BE CLUSTERED TO ALLOW WATER HARVESTING. CLUSTERING WILL CONCENTRATE GROUND COVERAGE IN PLANTED AREAS WITH DECORATIVE NON-PLANT GROUND COVER IN NON-PLANTED AREAS. ALL LANDSCAPING SHALL BE IN COMPLIANCE WITH THE LANDFILL GAS ABATEMENT PLAN.
11. PERIMETER WALLS SHALL COMPLY WITH PLANNING DEPARTMENT GUIDELINES AT TIME OF BUILDING PERMIT APPLICATION NOT TO EXCEED 3'-4" HIGH.
12. ALL ROOF TOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS SHALL MATCH STRUCTURE OR ROOF COLOR.
13. FRONT FACADES SHALL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THE ENTIRE FRONT FACADE OF THE STRUCTURE.
14. LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
15. ALL REFUSE ENCLOSURES SHALL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
16. MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN SHALL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
17. BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
18. SITE AND BUILDING LIGHTING SHALL BE FULLY SHIELDED AND COMPLY WITH SECTION 14-16-3-9 OF THE COA ZONING CODES AND WITH THE NM NIGHT SKY PROTECTION ACT. MAXIMUM LIGHTPOLE HEIGHT SHALL BE 18'-0".
19. 3'-0" HIGH BOLLARD ILLUMINATION (AT LEAST ONE) AT CURB RAMPS ENTERING A CROSSWALK, BE ONE DESIGN TYPE, FULLY SHIELDED.
20. ALL CROSSWALKS TO BE TEXTURED WITH COLORED CONCRETE OR BRICK PAVING.

"The developers of this site are required to follow the most current version of the City of Albuquerque Interim Guidelines for development within city designated landfill buffer zones. A review and approval of the Site Plan(s) is required. The proposed construction, design drawings, and a certification will be required by the Environmental Health Department (EHD), Environmental Services Division."

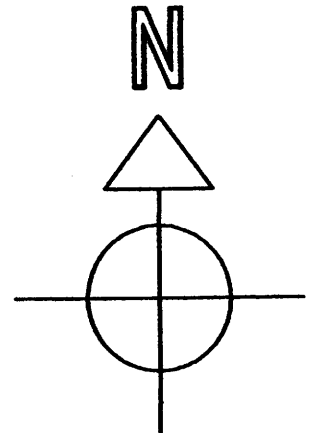
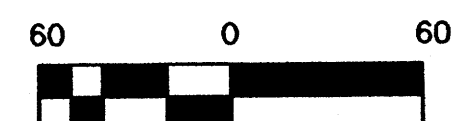
"The subject property is located on an existing landfill. Due to the subject property being on a landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within City - Designated Landfill Buffer Zones") shall be consulted prior to development of the site."

PROJECT NUMBER: 1002455
Application Number: _____

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

- Traffic Engineering, Transportation Division _____ Date _____
- Utilities Development _____ Date _____
- Parks and Recreation Department _____ Date _____
- City Engineer _____ Date _____
- Environmental Health Department _____ Date _____
- Solid Waste Management _____ Date _____
- DRB Chairperson, Planning Department _____ Date _____



JOB NO. _____
DATE: 1 MAY 2008

REVISIONS
02 JULY 2008
09 OCTOBER 2008
27 OCTOBER 2008
04 NOVEMBER 2008
10 NOVEMBER 2008

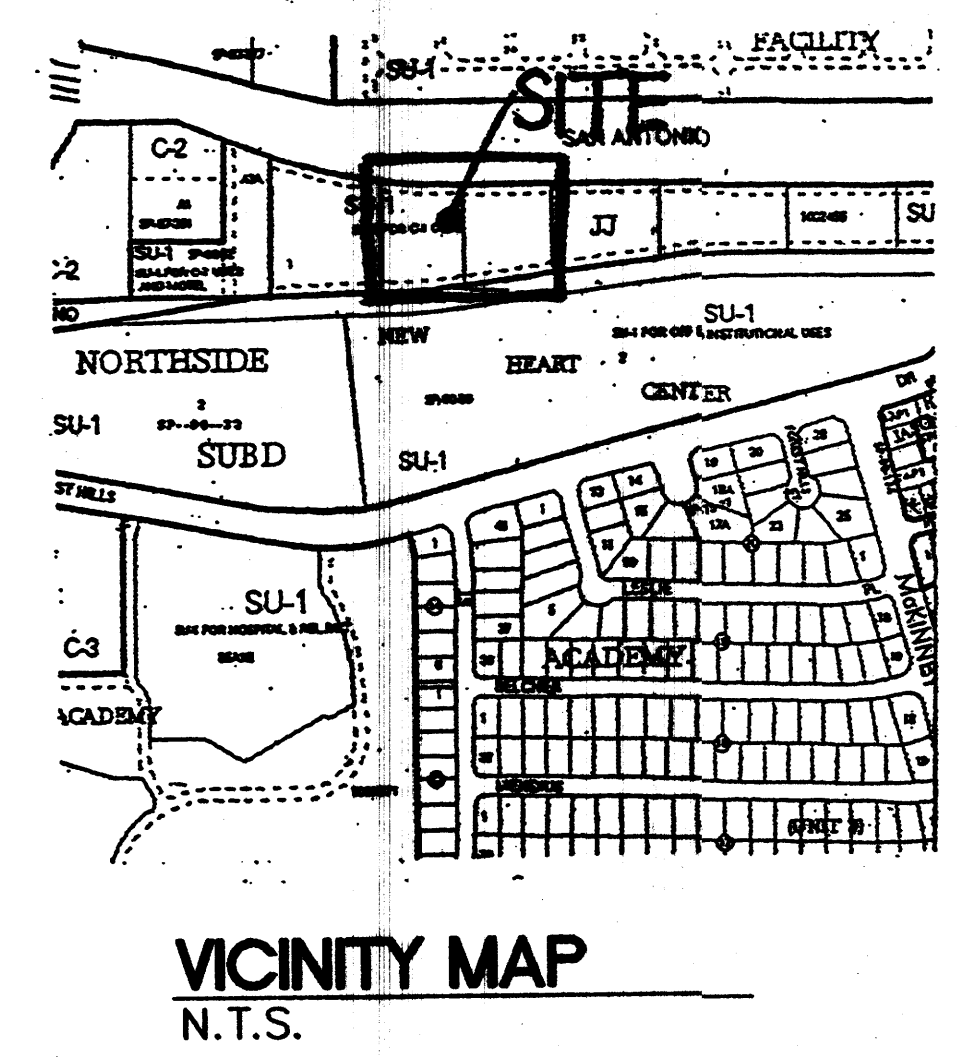
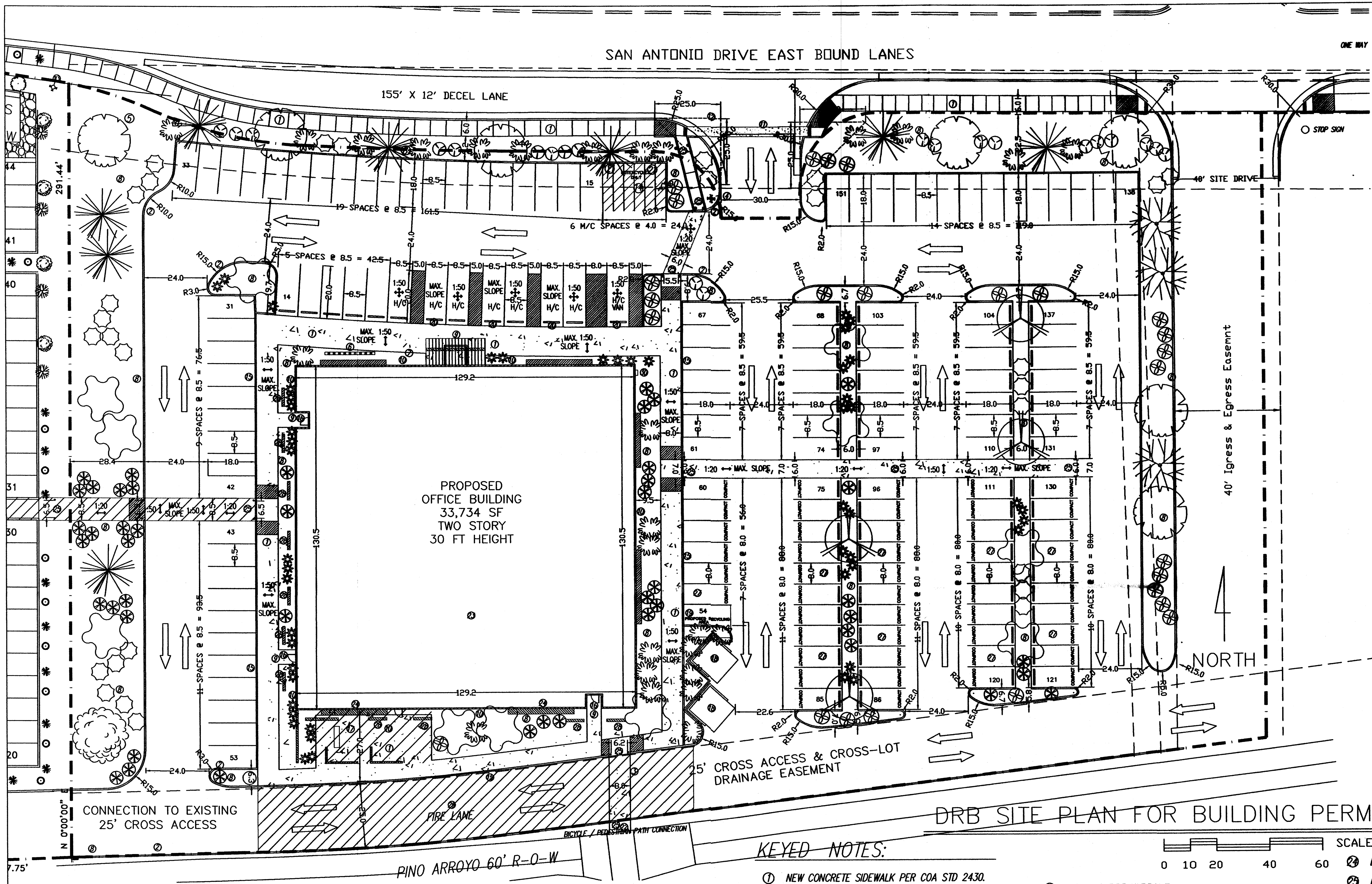
Sheet Title
AMENDED SITE PLAN FOR SUBDIVISION
Drawn By: PESLUKAI, S.A.
Checked By: T. OTT

TIM OTT / DEVELOPER
6600 VANCE AVE NE SUITE G
ALBUQUERQUE, N.M. 87116
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7000 DELWOOD RD. NE (505) 845-8600
ALBUQUERQUE, NEW MEXICO 87116

Project Name
**STATE ENGINEERING
ALBUQUERQUE BUILDING**
ALBUQUERQUE, NEW MEXICO

SHEET NO.
SDP



PROJECT NUMBER: 1002455
Application Number: _____

Is an Infrastructure List required? (X) Yes () No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, JJ SUBDIVISION, CITY OF ALBUQUERQUE, NEW MEXICO, COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING, TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES, SECOND FLOOR: 16,867 SF NET LEASABLE SF = 87 SPACES, 141 TOTAL REQ. PROVIDED: 151 TOTAL SPACES (98 REG., 44 COMPACT, 9 HANDICAP) (29% OF SPACES ARE FOR COMPACT CARS)

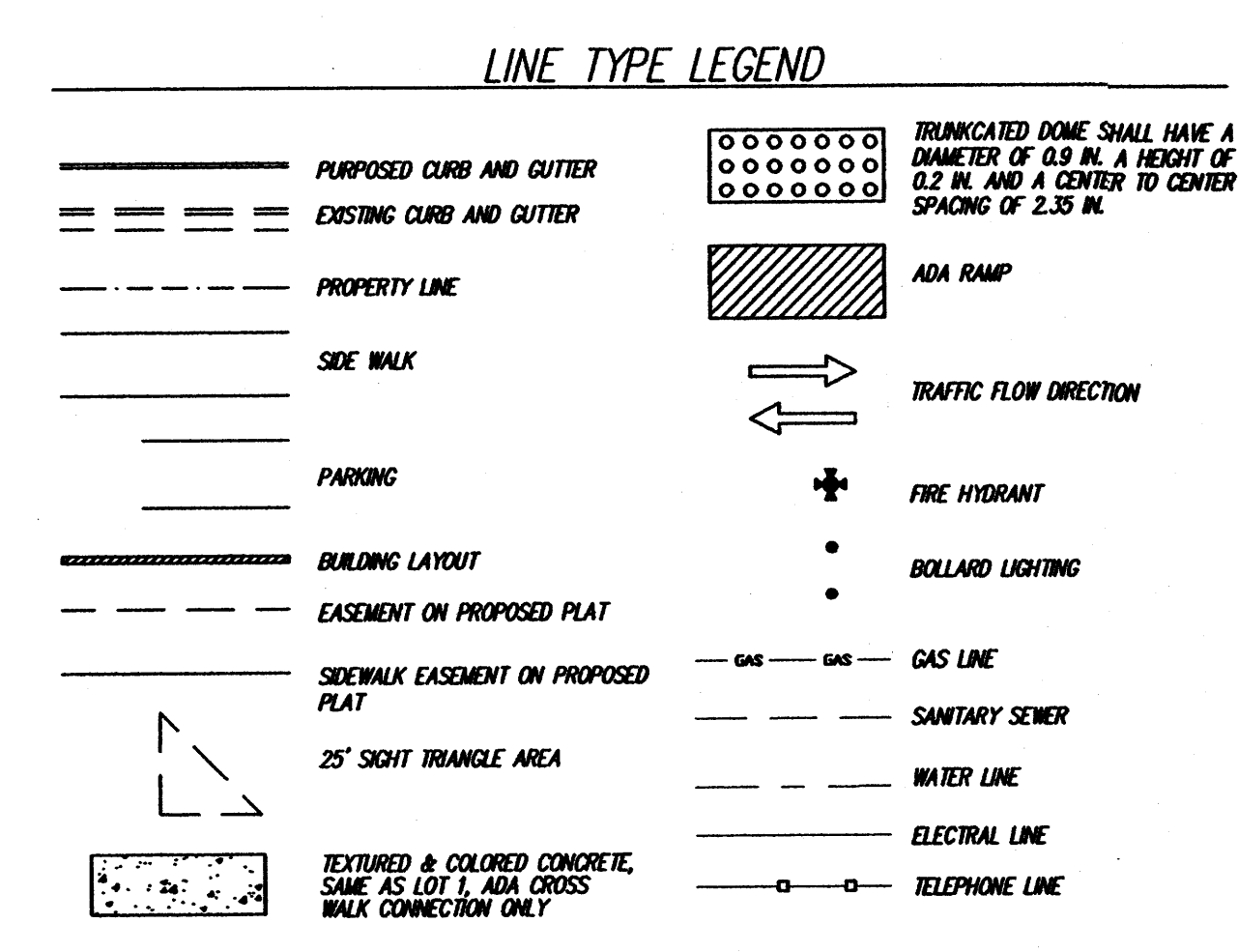
PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spca.), 8 SPACES, 1 VAN ACCESSIBLE

PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (with 101 to 300 req. parking spca.), 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spca.), 8 SPACES

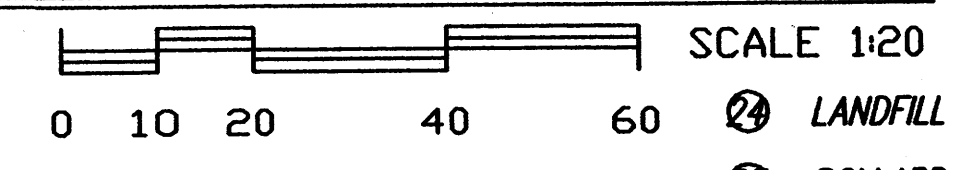
ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.



KEYED NOTES:

- NEW CONCRETE SIDEWALK PER COA STD 2430.
- NEW CONCRETE CURB & GUTTER PER COA STD 2415.
- REMOVE LOT LINE-PER PLAT.
- NEW FIRE HYDRANT LOCATION.
- AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL, SEE DRB ELEV SHEET FOR DETAIL. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
- BICYCLE RACK, MINIMUM 8 SPACES.
- FLAG POLE
- LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM.
- SECURITY LIGHTING AT ALL ENTRANCES.
- EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL.
- DRIVEWAY PER CITY OF ALBUQUERQUE STD 2426.
- EXISTING FIRE HYDRANT, TO BE RELOCATED.
- EXISTING FIRE HYDRANT.
- MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE.
- NEW TURN DOWN SIDEWALK AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING.
- CYPHER LOCK ON ENTRANCE.
- EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
- DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS.
- PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP SIGNAGE LOCATION.
- MOTORCYCLE SIGNAGE LOCATION.
- PINO ARROYO BICYCLE & PEDESTRIAN TRAIL.
- ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE.
- LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM.
- BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE.
- NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED.
- ALL COMPACT SPACES TO BE LABELED ON PAVEMENT.
- SHADING WALLS.
- STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL.
- KNOX BOX LOCATION PER FIRE MARSHALL.
- ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SDP.



JOB NO. _____

DATE: 1 MAY 2008

02 JULY 2008

09 OCTOBER 2008

27 OCTOBER 2008

04 NOVEMBER 2008

10 NOVEMBER 2008

18 NOVEMBER 2008

Sheet Title
DRB SITE PLAN FOR BUILDING PERMIT

Drawn By: PESILMAI, S.A. Checked By: T. OTT

TIM OTT / DEVELOPER
8620 VENCE AVE NE, SUITE G
ALBUQUERQUE, NM 87115
(505) 260-4675

MICHAEL DEL MASTRO / ARCHITECT
7008 DELWOOD RD. NE / SUITE 400
ALBUQUERQUE, NEW MEXICO 87110

Project Name
STATE ENGINEERING ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB SP

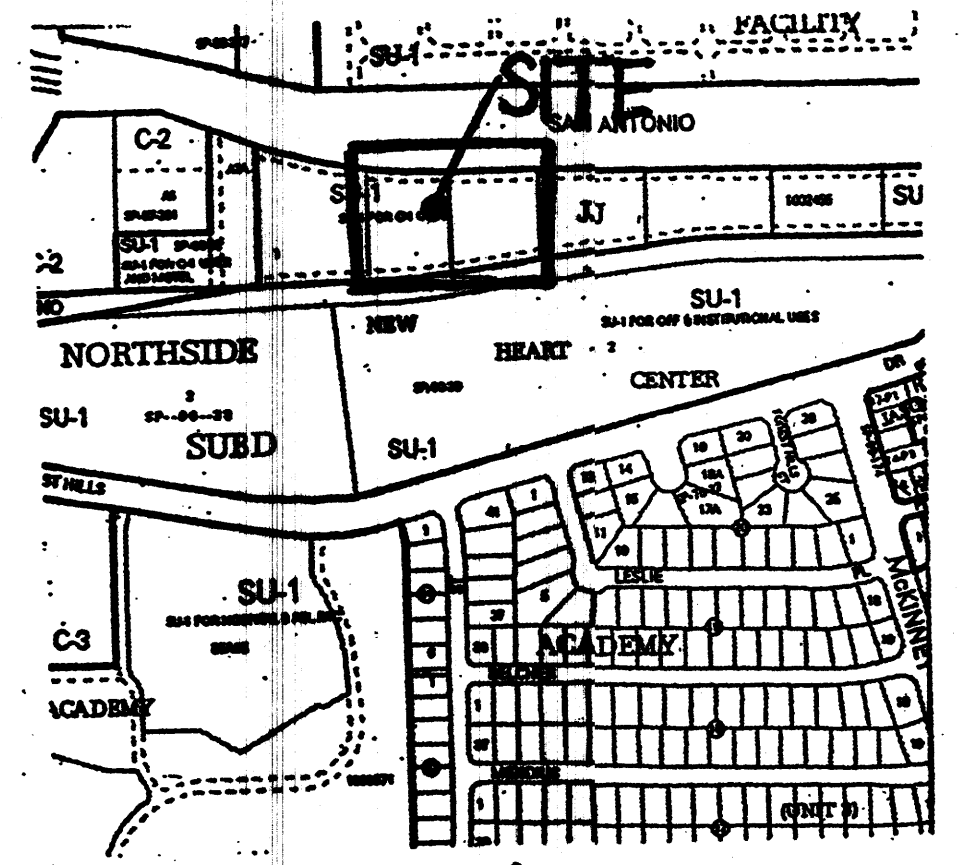
"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

SAN ANTONIO DRIVE EAST BOUND LANES

155' X 12' DECEL LANE

PROPOSED OFFICE BUILDING
33,734 SF
TWO STORY
30 FT HEIGHT

DRB SITE PLAN FOR BUILDING PERMIT



VICINITY MAP
N.T.S.

KEYED NOTES:

- 1 NEW CONCRETE SIDEWALK PER COA STD 2430.
- 2 NEW CONCRETE CURB & GUTTER PER COA STD 2415.
- 3 REMOVE LOT LINE-PER PLAT.
- 4 NEW FIRE HYDRANT LOCATION.
- 5 AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL. SEE DRB ELEV SHEET FOR DETAIL. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
- 6 BICYCLE RACK, MINIMUM 8 SPACES.
- 7 FLAG POLE
- 8 LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM.
- 9 SECURITY LIGHTING AT ALL ENTRANCES.
- 10 EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL.
- 11 DRIVEWAY PER CITY OF ALBUQUERQUE STD 2426.
- 12 EXISTING FIRE HYDRANT, TO BE RELOCATED.
- 13 EXISTING FIRE HYDRANT.
- 14 MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE.
- 15 NEW TURN DOWN SIDEWALK AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING.
- 16 CYPPER LOCK ON ENTRANCE.
- 17 EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
- 18 DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS.
- 19 PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
- 20 HANDICAP SIGNAGE LOCATION.
- 21 MOTORCYCLE SIGNAGE LOCATION.
- 22 PINO ARROYO BICYCLE & PEDESTRIAN TRAIL.
- 23 SHADING WALLS.
- 24 STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL.
- 25 KNOX BOX LOCATION PER FIRE MARSHALL.
- 26 ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SDP.

JOB NO:	
DATE:	1 MAY 2008
	02 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008
	04 NOVEMBER 2008
	10 NOVEMBER 2008
	18 NOVEMBER 2008

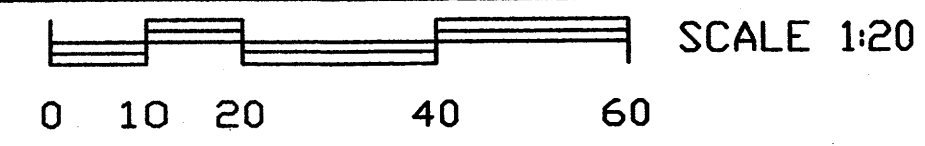
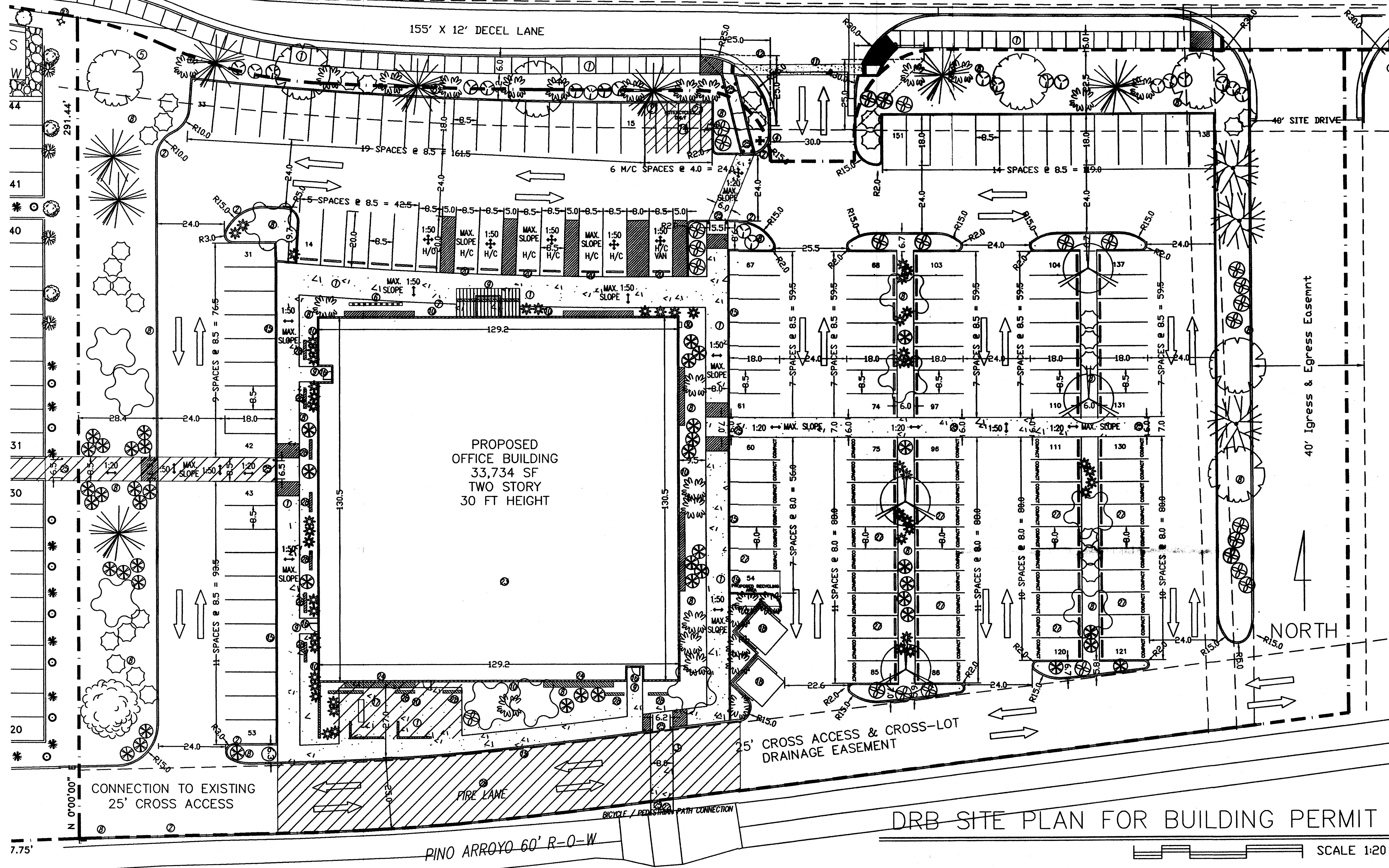
Sheet Title
DRB TRAFFIC CIRCULATION LAYOUT
FOR BUILDING PERMIT
Drawn By: RESHMAN, SA Checked By: T. OTT

TM OTT / DEVELOPER
6920 VANCE AVE NE SUITE G
ALBUQUERQUE, NM 87131
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7000 DELWOOD RD. NE / (505) 885-4829
ALBUQUERQUE, NEW MEXICO 87109

Project Name
STATE ENGINEERING
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB TCL



GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, JI SUBDIVISION
CITY OF ALBUQUERQUE, NEW MEXICO
COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING
TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES
SECOND FLOOR: 16,867 SF NET LEASABLE SF = 57 SPACES
141 TOTAL REQ.

PROVIDED: 151 TOTAL SPACES (98 REG., 44 COMPACT, 9 HANDICAP)
(29% OF SPACES ARE FOR COMPACT CARS)

PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spaces)
PROVIDED: 8 SPACES, 1 VAN ACCESSIBLE

PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (with 101 to 300 req. parking spaces)
PROVIDED: 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spaces)
PROVIDED: 8 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH WHICH ARE IN ADA PATHWAYS OR WOULD IMPAIR ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.

LINE TYPE LEGEND

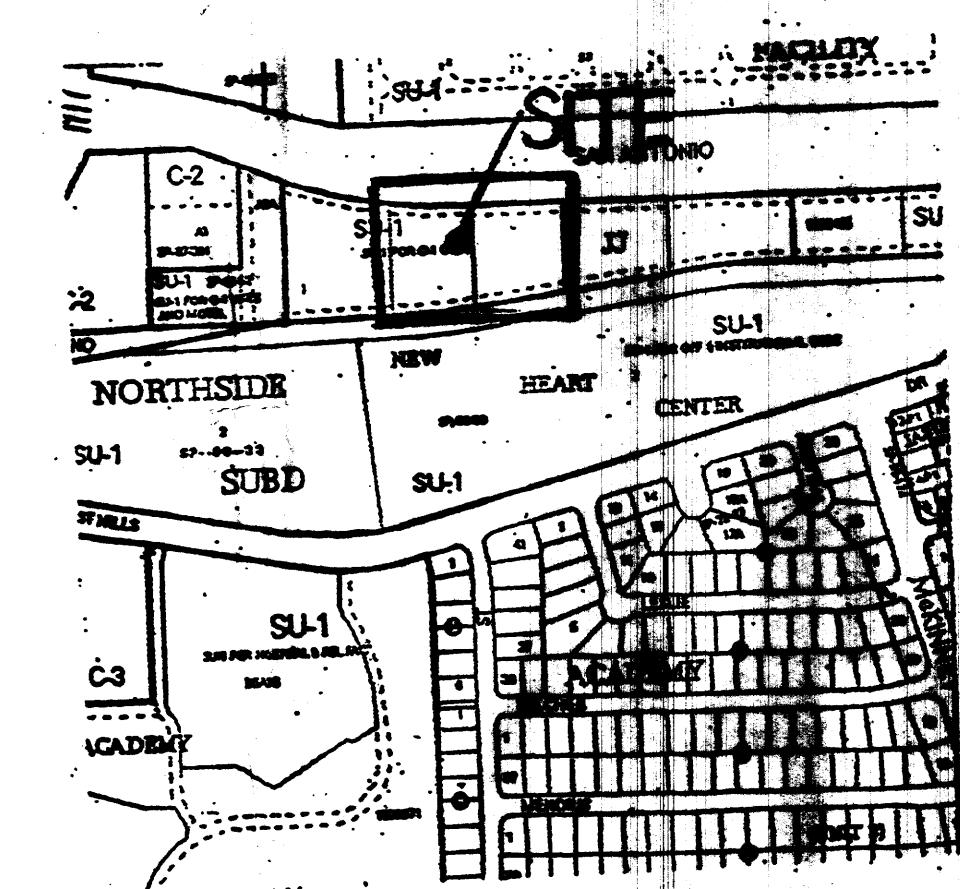
—	PURPOSED CURB AND GUTTER	○ ○ ○ ○ ○	TRUNCATED DOME SHALL HAVE A DIAMETER OF 0.9 IN. A HEIGHT OF 0.2 IN. AND A CENTER TO CENTER SPACING OF 2.35 IN.
—	EXISTING CURB AND GUTTER	—	
- - -	PROPERTY LINE	▨	ADA RAMP
—	SIDE WALK	→	TRAFFIC FLOW DIRECTION
—	PARKING	+	FIRE HYDRANT
—	BUILDING LAYOUT	•	BOLLARD LIGHTING
- - -	EASEMENT ON PROPOSED PLAT	—	GAS LINE
—	SIDEWALK EASEMENT ON PROPOSED PLAT	—	SANITARY SEWER
▨	25' SIGHT TRIANGLE AREA	—	WATER LINE
▨	TEXTURED & COLORED CONCRETE, SAME AS LOT 1, ADA CROSS WALK CONNECTION ONLY	—	ELECTRICAL LINE
		○	TELEPHONE LINE

"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

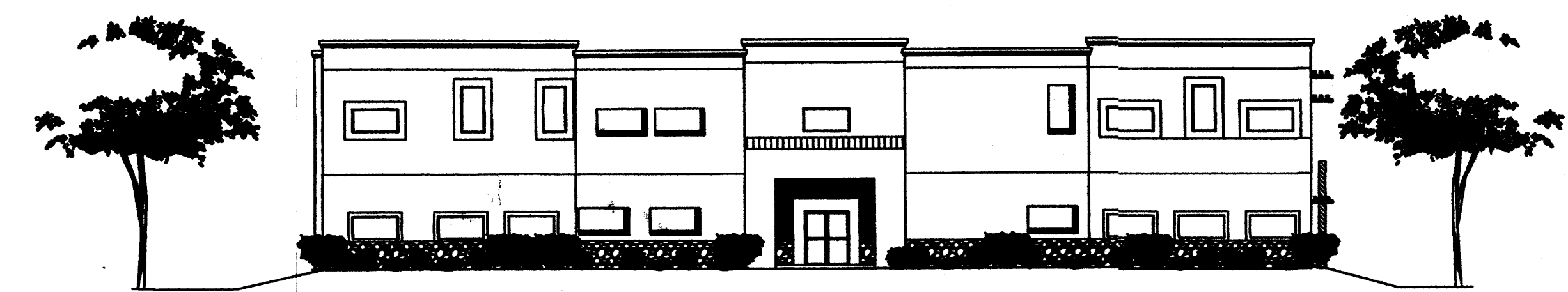
1002455

DRB - AMENDED SITE PLAN FOR SUBDIVISION LOTS 2 & 3 JJ SUBDIVISION

DRB - SITE PLAN FOR BUILDING PERMIT LOTS 2 & 3 JJ SUBDIVISION



VICINITY MAP
N.T.S.



PROJECT LOCATION:

LOT 2 JJ SUBDIVISION
SAN ANTONIO DRIVE NE
ALBUQUERQUE, NEW MEXICO

LESSOR:

TIM OTT
5620 VENICE AVE NE, SUITE J
ALBUQUERQUE, NEW MEXICO 87113

FOR:

NEW MEXICO OFFICE OF STATE ENGINEER
121 THERAS NE
ALBUQUERQUE, NEW MEXICO 87502

ARCHITECT:

MIKE DEL MASTRO
5620 VENICE AVE NE, SUITE J
ALBUQUERQUE, NEW MEXICO 87113

CONTRACTOR:

ISBS, LLC
5620 VENICE AVE NE, SUITE J
ALBUQUERQUE, NEW MEXICO 87113

INDEX TO DRAWINGS:

- CS - COVER SHEET
- SDP - AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION LOTS 2 & 3
- SD-1 - PREVIOUSLY APPROVED 08 EPC-00147-EPC SDP-S
- DRB SP - SITE PLAN FOR BUILDING PERMIT
- DRB SPDS - SITE PLAN DETAIL SHEET FOR BUILDING PERMIT
- DRB EVEL - BUILDING & STRUCTURAL ELEVATIONS
- DRB LP - LANDSCAPING PLAN
- DRB TLC - TRAFFIC CIRCULATION LAYOUT
- CON GD - CONCEPTUAL GRADING PLAN
- CON UP - CONCEPTUAL UTILITY PLAN 2
- ENV-1 - LFG ABATEMENT SYSTEM PLAN
- ENV-2 - LFG ABATEMENT SYSTEM ELEVATIONS & SECTION A
- ENV-3 - LFG ABATEMENT SYSTEM DETAILS

DESIGN CRITERIA:

- ZONING: SU-1 FOR C-1
- TYPE OF OCCUPANCY: B
- TYPE OF CONSTRUCTION: II-N
- GROSS SQUARE FOOTAGE: 33,734 SQ. FT.

JOB NO.
DATE: 1 MAY 2008
REVISIONS
04 JUNE 2008
02 JULY 2008
09 JULY 2008
09 OCTOBER 2008
27 OCTOBER 2008

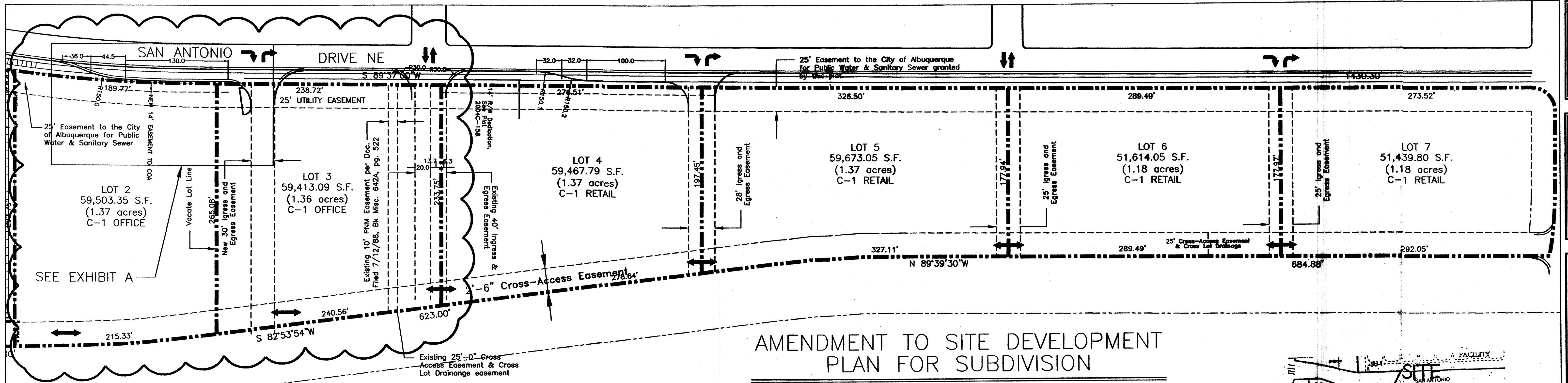
Sheet Title
DRB COVER SHEET
Drawn By: PESUJAN, SA
Checked By: T. OTT

TIM OTT / DEVELOPER
6660 VENICE AVE NE, SUITE G
ALBUQUERQUE, NM 87113
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7008 DELWOOD RD. NE / (505) 889-8829
ALBUQUERQUE, NEW MEXICO 87110

Project Name
**STATE ENGINEERING
ALBUQUERQUE BUILDING**
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB CS



AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

Scale 1" = 70'-0"

LEGAL DESCRIPTION

LOTS 2 & 3
JJ SUBDIVISION

BEING A REPLAT OF TRACT A-3-B,
J GROUP ADDITION, TRACT 1,
NEW HEART CENTER & TRACT 1,
NORTHSIDE SUBDIVISION

WITHIN PROJECTED SECTION 25
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
ZONING: SU-1 FOR C-1 USES

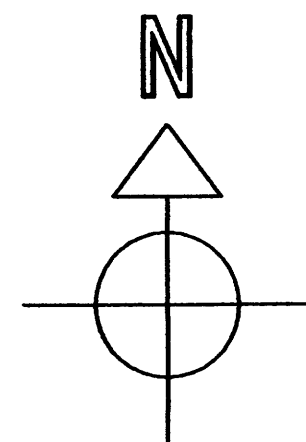
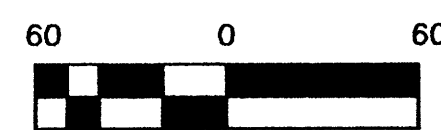
CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO

NOTES: LOTS 2 & 3

- BUILDING HEIGHT NOT TO EXCEED 34 FT.
- MAXIMUM FLOOR-AREA RATIO: 30.0%
- BUILDING MINIMUM SETBACKS:
 - FRONT: 25.0 FT.
 - SIDE: 5.0 FT.
 - REAR: 5.0 FT.

TRAFFIC FLOW NOTES

- ↕ - TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- ↘ - RIGHT TURN ONLY INTO LOT
- ↗ - RIGHT TURN ONLY OUT OF LOT
- ↕ - TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW



GENERAL DESIGN CRITERIA:

1. ALL STRUCTURES ON LOTS SHALL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
2. DESIGN OF BUILDING SHALL BE A COMPATIBLE STYLE, MATERIALS AND COLORS THROUGHOUT LOTS 2 - 7.
3. PARKING SHALL NOT EXCEED THE REQUIRED PLUS 10%.
4. ACCESSIBLE (ADA) COMPLIANT PARKING SHALL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY. REQUIRED PARKING SHALL BE DISTRIBUTED ON AT LEAST TWO SIDES OF A BUILDING.
5. ALL SIDEWALKS SHALL HAVE A MINIMUM OF 6 FEET CLEAR WALKWAY AREA PROTECT BY PERMANENT CAR STOPS.
6. FRONT ENTRY SIDEWALK AREAS SHALL BE COVERED OR SHADED BY TREES.
7. ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS AND THRU VEHICULAR AREAS.
8. PATIO AREAS FOR EMPLOYEES SHALL BE PROVIDED AND SHADED.
9. BICYCLE RACKS SHALL BE PROVIDED PER COA CODE.
10. ALL LANDSCAPING SHALL BE PER COA CODE. NO GREATER THAN 20% OF LANDSCAPED AREA SHALL BE HIGH WATER USE AND ALL APPLICABLE WATER CONSERVATION MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION SHALL BE ADHERED TO. PLANTS SHALL BE CLUSTERED TO ALLOW WATER HARVESTING. CLUSTERING WILL CONCENTRATE GROUND COVERAGE IN PLANTED AREAS WITH DECORATIVE NON-PLANT GROUND COVER IN NON-PLANTED AREAS. ALL LANDSCAPING SHALL BE IN COMPLIANCE WITH THE LANDFILL GAS ABATEMENT PLAN.
11. PERIMETER WALLS SHALL COMPLY WITH PLANNING DEPARTMENT GUIDELINES AT TIME OF BUILDING PERMIT APPLICATION NOT TO EXCEED 3'-4" HIGH.
12. ALL ROOF TOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS SHALL MATCH STRUCTURE OR ROOF COLOR.
13. FRONT FACADES SHALL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THE ENTIRE FRONT FACADE OF THE STRUCTURE.
14. LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
15. ALL REFUSE ENCLOSURES SHALL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
16. MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN SHALL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
17. BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
18. SITE AND BUILDING LIGHTING SHALL BE FULLY SHIELDED AND COMPLY WITH SECTION 14-16-3-9 OF THE COA ZONING CODES AND WITH THE NM NIGHT SKY PROTECTION ACT. MAXIMUM LIGHTPOLE HEIGHT SHALL BE 18'-0".
19. 3'-0" HIGH BOLLARD ILLUMINATION (AT LEAST ONE) AT CURB RAMPS ENTERING A CROSSWALK, BE ONE DESIGN TYPE, FULLY SHIELDED.
20. ALL CROSSWALKS TO BE TEXTURED WITH COLORED CONCRETE OR BRICK PAVING.

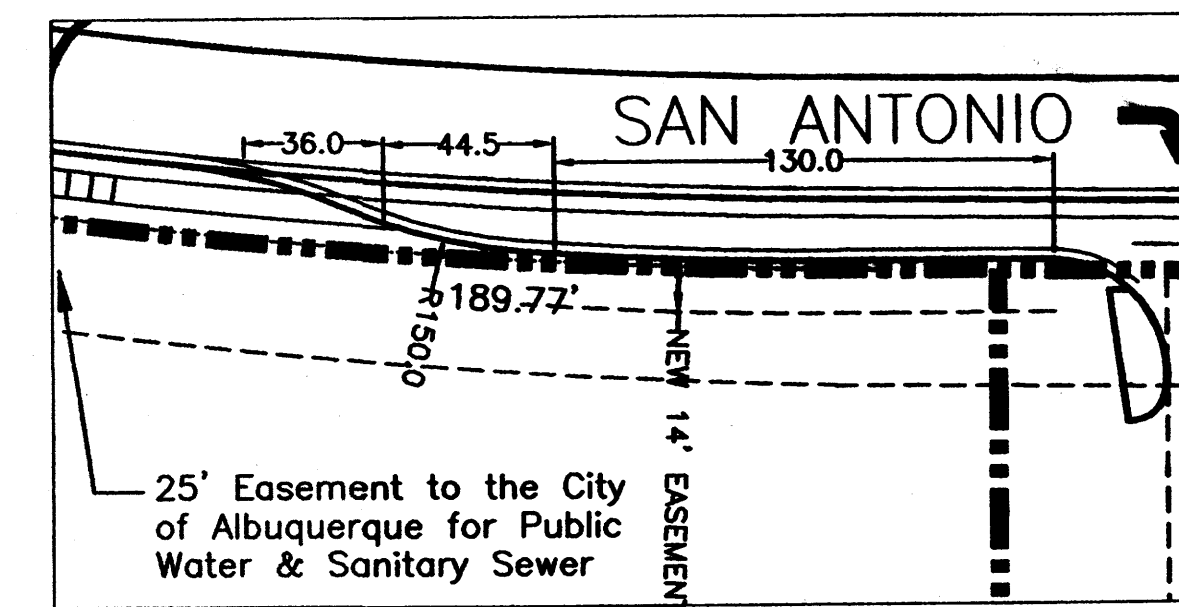
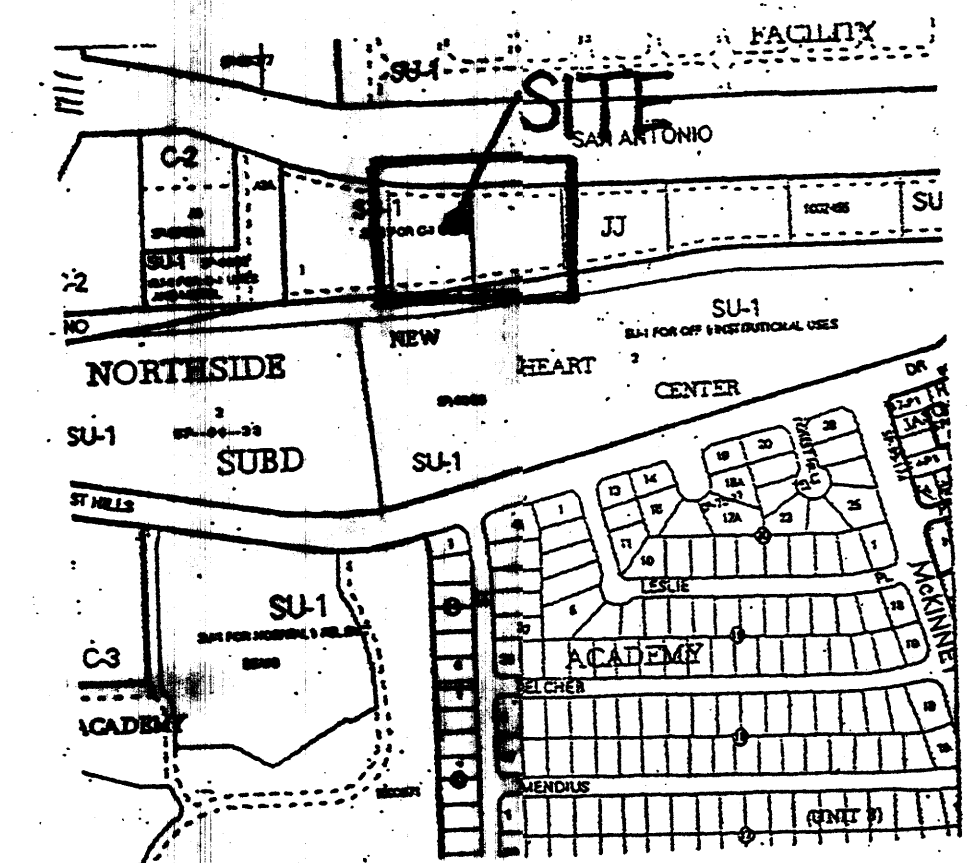


EXHIBIT A

Scale 1" = 50'-0"



VICINITY MAP

"The developers of this site are required to follow the most current version of the City of Albuquerque Interim Guidelines for development within city designated landfill buffer zones. A review and approval of the Site Plan(s) is required. The proposed construction, design drawings, and a certification will be required by the Environmental Health Department (EHD), Environmental Services Division."

"The subject property is located on an existing landfill. Due to the subject property being on a landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within City - Designated Landfill Buffer Zones") shall be consulted prior to development of the site."

PROJECT NUMBER: 1002455

Application Number: _____

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

JOB NO.	
DATE:	1 MAY 2008
REVISIONS	
	04 JUNE 2008
	02 JULY 2008
	09 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008

Sheet Title
AMENDED SITE PLAN FOR SUBDIVISION
Drawn By: RESILVA, S.A. Checked By: T. OTT

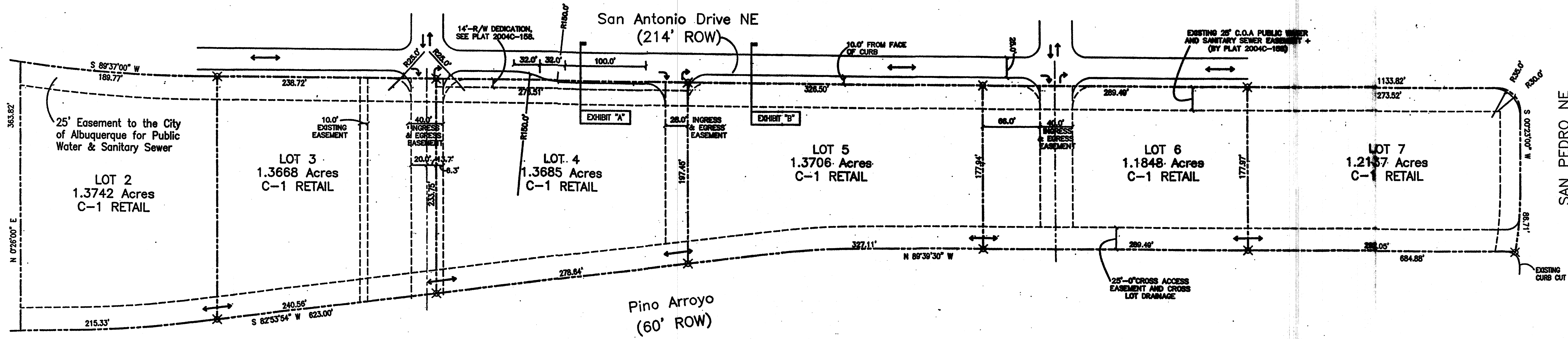
TIM OTT / DEVELOPER
6920 VANCE AVE NE, SUITE G
ALBUQUERQUE, NM 87131
(505) 251-4675

MICHAEL DEL MASTRO / ARCHITECT
7008 DELWOOD RD. NE / (505) 889-8829
ALBUQUERQUE, NEW MEXICO 87110

Project Name
STATE ENGINEERING
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO

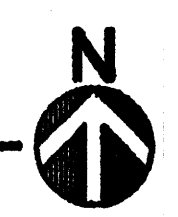
SHEET NO.
SDP

SEE APPROVED SITE PLAN FOR SUBDIVISION PROJECT NO. 1002455 CONTINUATION



AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

SCALE: 1"=60'-0"



"The subject property is located on an existing landfill. Due to the subject property being on a landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the Interim Guidelines for Development within City - Designated Landfill Buffer Zones) shall be consulted prior to development of the site."

"THE DEVELOPERS OF THIS SITE ARE REQUIRED TO FOLLOW THE MOST CURRENT VERSION OF THE CITY OF ALBUQUERQUE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES. A REVIEW AND APPROVAL OF THE SITE PLAN(S), THE PROPOSED CONSTRUCTION, DESIGN DRAWINGS, AND A CERTIFICATION OF CONSTRUCTION WILL BE REQUIRED BY THE ENVIRONMENTAL HEALTH DEPARTMENT (EHD), ENVIRONMENTAL SERVICES DIVISION."

LEGAL DESCRIPTION

LOTS 2 THRU 7
JJ SUBDIVISION
BEING A REPLAT OF TRACT A-3-B,
J GROUP ADDITION, TRACT 1,
NEW HEART CENTER & TRACT 1,
NORTHSIDE SUBDIVISION

WITHIN PROJECTED SECTION 25
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE,
BERNALILLO COUNTY
NEW MEXICO

NOTES: LOTS 2 THRU 7

BUILDING HEIGHT NOT TO EXCEED 34 FT.
MAXIMUM FLOOR-AREA RATION: 20.0%
BUILDING MINIMUM SETBACKS:
FRONT: 25.0 FT
SIDE: 5.0 FT
REAR: 5.0 FT

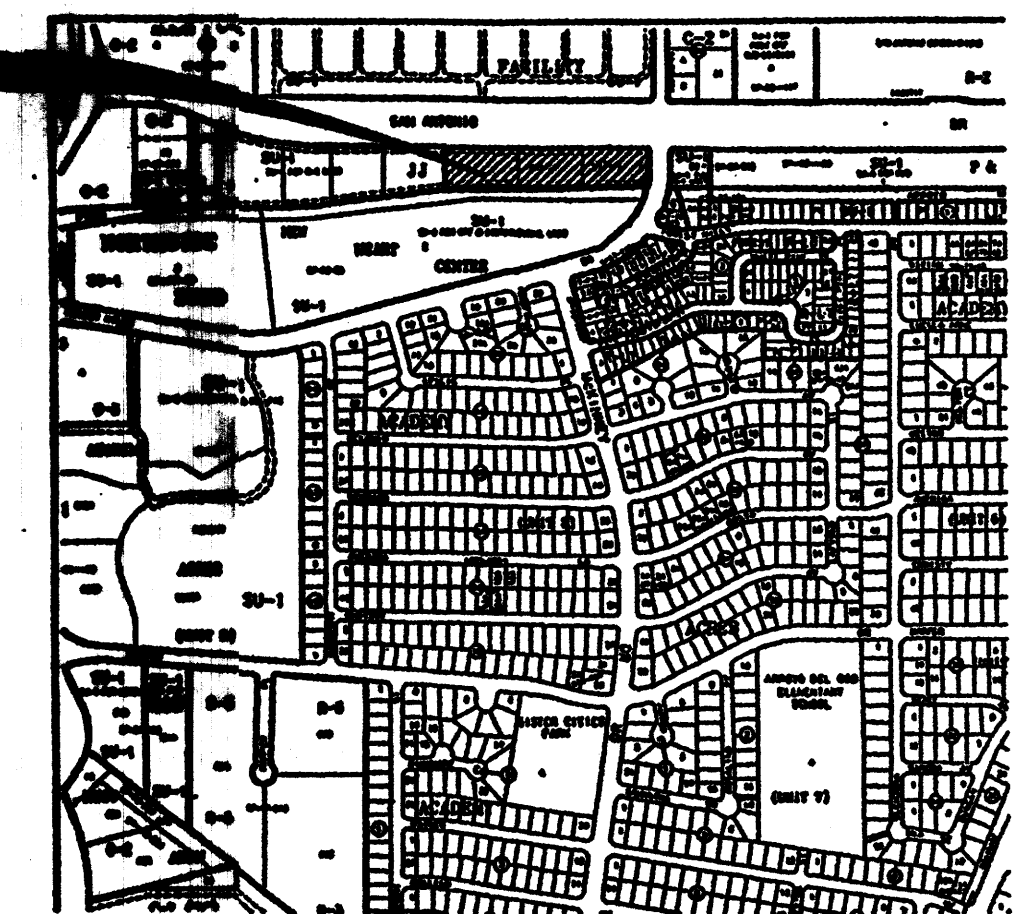
TRAFFIC FLOW NOTES

- TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- RIGHT TURN ONLY INTO LOT
- RIGHT TURN ONLY OUT OF LOT
- TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW

GENERAL DESIGN CRITERIA:

1. ALL STRUCTURES ON LOTS WILL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
2. DESIGN OF BUILDING SHALL BE A COMPATIBLE STYLE, MATERIALS AND COLORS THROUGHOUT LOTS 2-7.
3. PARKING WILL NOT EXCEED THE REQUIRED PLUS 10%.
4. ACCESSIBLE (ADA) COMPLIANT PARKING WILL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY, AND REQUIRED PARKING SHALL BE DISTRIBUTED ON AT LEAST TWO SIDES OF A BUILDING.
5. ALL SIDEWALKS WILL HAVE A MINIMUM OF 6 FEET CLEAN WALKWAY AREA PROTECTED BY PERMANENT CAR STOPS.
6. FRONT ENTRY SIDEWALK AREAS WILL BE COVERED OR SHADED BY TREES.
7. ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS AND THRU VEHICULAR AREAS.
8. PATIO AREAS FOR EMPLOYEES WILL BE PROVIDED AND SHADED.
9. BICYCLE RACKS WILL BE PROVIDED PER COA CODE.
10. ALL LANDSCAPING WILL BE PER COA CODE. NO GREATER THAT 20% OF LANDSCAPED AREA WILL BE LOW WATER USE AND ALL APPLICABLE WATER CONSERVATIONS MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION WILL BE ADHERED TO. 80% MINIMUM GROUND COVERAGE WITH LOW WATER USE OF NATIVE PLANTS.
11. SCREEN WALLS WILL NOT TO EXCEED 3'-4" HIGH, AND SHALL MATCH STUCCO COLOR OF BUILDINGS.
12. ALL ROOF TOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS WILL MATCH STRUCTURE OR ROOF COLOR.
13. FRONT FACADES WILL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TRESS PLANTED IN A MANNER TO SHADE THERE ENTIRE FRONT FACADE OF THE STRUCTURE.
14. LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
15. ALL REFUSE ENCLOSURES WILL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
16. MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN WILL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
17. BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
18. SITE AND BUILDING LIGHTING WILL COMPLY WITH COA CODES AND REGULATIONS, FULLY SHIELDED, ONE DESIGN TYPE, FOOTING SHALL MATCH STUCCO COLOR, AND 18'-0" HIGH MAXIMUM.
19. 3'-0" HIGH BOLLARD ILLUMINATION (AT LEAST ONE) AT CURB RAMPS ENTERING A CROSSWALK, BE ONE DESIGN TYPE, FULLY SHIELDED.
20. ALL CROSSWALKS TO BE TEXTURED WITH COLORED CONCRETE OR BRICK PAVING.

SITE LOCATION



LOCATION MAP
ZONE ATLAS: E-18-2

PROJECT NUMBER: 1002455
APPLICATION NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATE AND THE FINDING S AN CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	6-11-08
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
	6-11-08
UTILITIES DEVELOPMENT	DATE
	6-11-08
PARKS AND RECREATIONAL DEPARTMENT	DATE
	6-11-08
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
SOLID WASTE MANAGEMENT	DATE
	6-11-08
DRB/CHAIRPERSON, PLANNING DEPARTMENT	DATE



AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

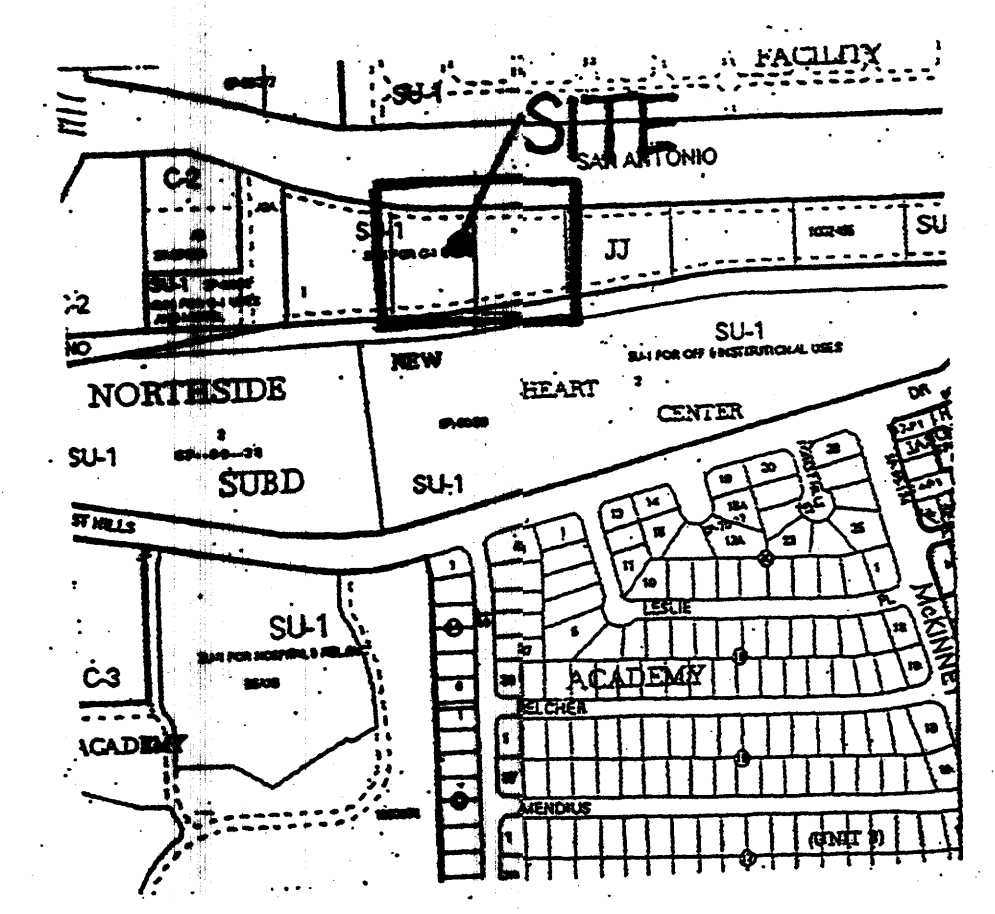
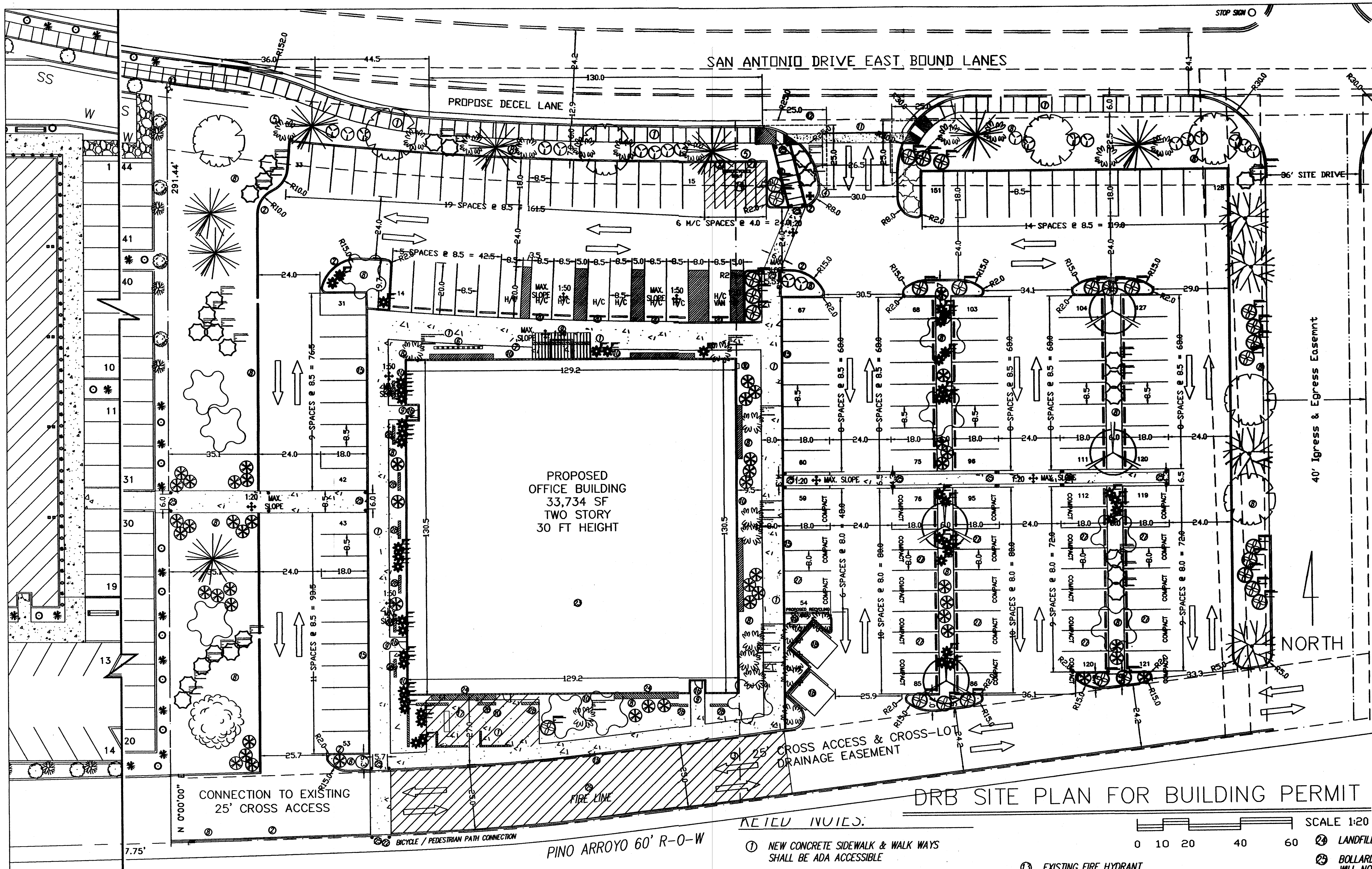
1"=60'-0"

AFRA Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.998.3128
Tel 505.998.3129

SAN ANTONIO OFFICE & RETAIL
ALBUQUERQUE, NM

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

SD-1
6.9.08



VICINITY MAP
N.T.S.

PROJECT NUMBER: 1002455
Application Number: _____

Is an Infrastructure List required? () Yes (X) No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

JOB NO. _____
DATE: 1 MAY 2008

REVISIONS

04 JUNE 2008
02 JULY 2008
09 JULY 2008
09 OCTOBER 2008

Sheet Title
DRB SITE PLAN FOR BUILDING PERMIT
Drawn By: PESHAWAR, SA Checked By: T. OTT

TM OTT / DEVELOPER
6820 VENICE AVE NE SUITE G
ALBUQUERQUE, NM 87110
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7008 DELWOOD RD. NE (505) 885-4628
ALBUQUERQUE, NEW MEXICO 87110

Project Name
**STATE ENGINEERING
ALBUQUERQUE BUILDING**
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB SP

GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, JJ SUBDIVISION CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1
ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES SECOND FLOOR: 16,867 SF NET LEASABLE SF = 57 SPACES 141 TOTAL REG.

PROVIDED: 151 TOTAL SPACES (98 REG., 44 COMPACT, 9 HANDICAP) (29% OF SPACES ARE FOR COMPACT CARS)

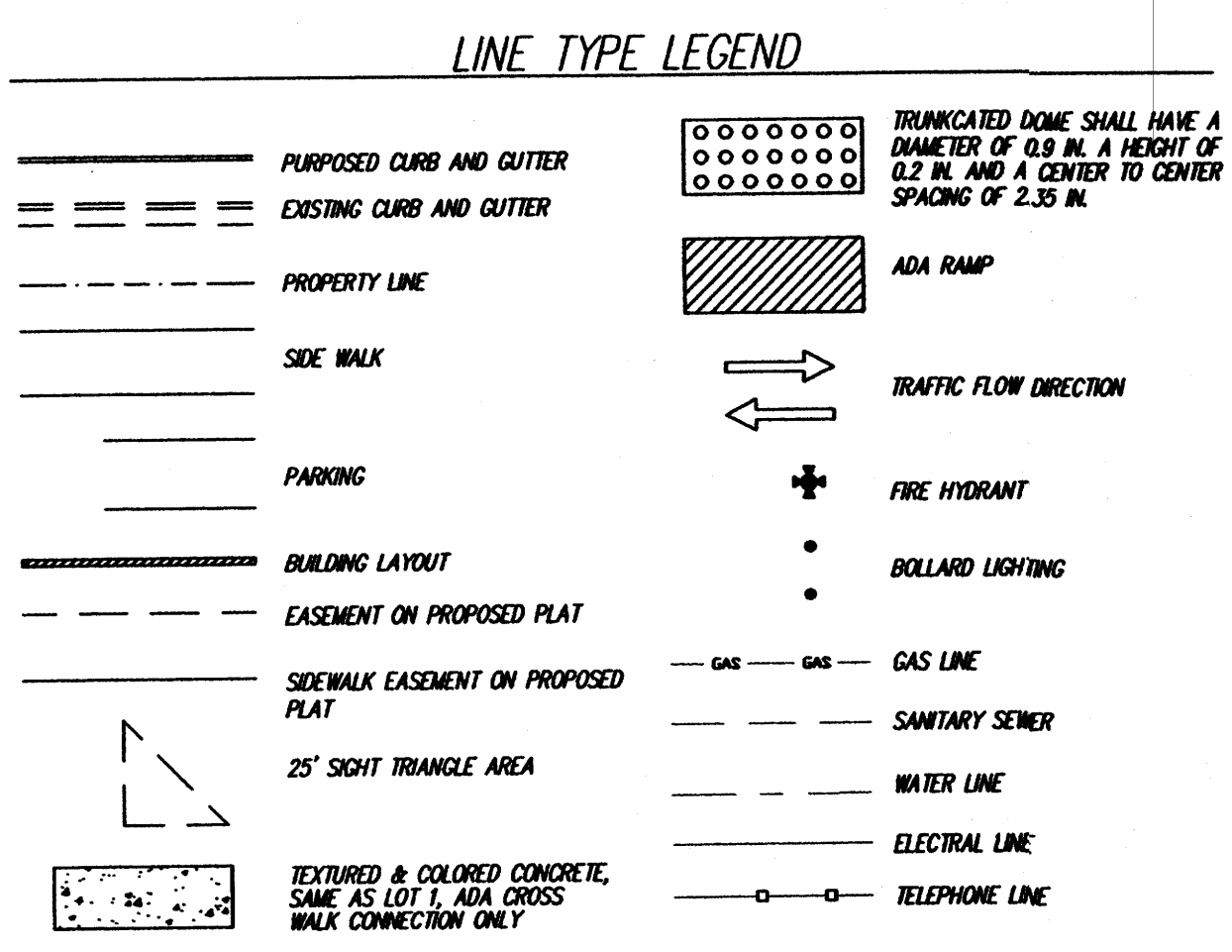
PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spcs.) PROVIDED: 8 SPACES, 1 VAN ACCESSIBLE

PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (with 101 to 300 req. parking spcs.) PROVIDED: 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spcs.) PROVIDED: 8 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.

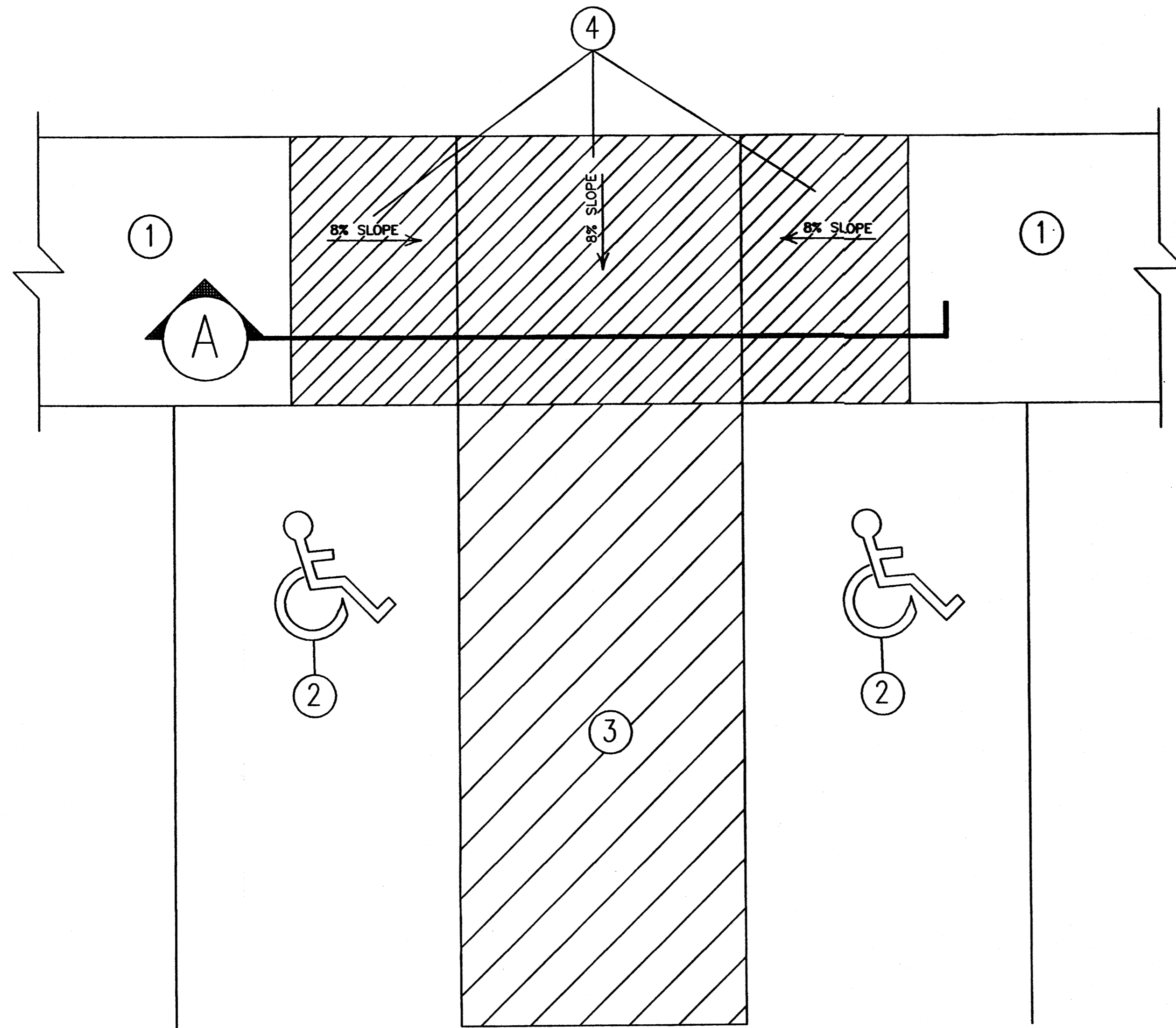


KEYED NOTES:

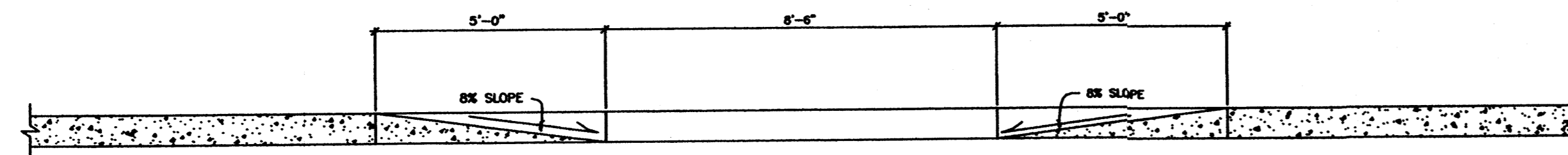
- NEW CONCRETE SIDEWALK & WALK WAYS SHALL BE ADA ACCESSIBLE
- NEW CONCRETE CURB & GUTTER
- REMOVE LOT LINE
- NEW FIRE HYDRANT LOCATION
- AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL, SEE DRB ELEV SHEET FOR DETAIL SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
- BICYCLE RACK, MINIMUM 8 SPACES
- FLAG POLE
- LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM
- SECURITY LIGHTING AT ALL ENTRANCES
- EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL
- DRIVEWAY PER CITY OF ALBUQUERQUE STANDARDS
- EXISTING FIRE HYDRANT, TO BE RELOCATED
- EXISTING FIRE HYDRANT
- MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE
- NEW CONCRETE CURB AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING
- CYPHER LOCK ON ENTRANCE
- EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
- DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS
- PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS
- HANDICAP SIGNAGE LOCATION
- MOTORCYCLE SIGNAGE LOCATION
- PINO ARROYO BICYCLE & PEDESTRIAN TRAIL
- ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE
- LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM
- BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE
- NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED
- ALL COMPACT SPACES TO BE LABELED ON PAVEMENT
- SHADING WALLS
- STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL
- KNOX BOX LOCATION PER FIRE MARSHALL
- ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 11 ON SHT. SDP

SCALE 1:20
0 10 20 40 60

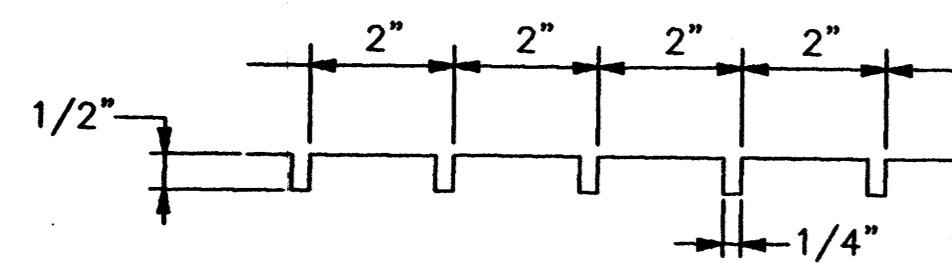
"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."



PLAN VIEW



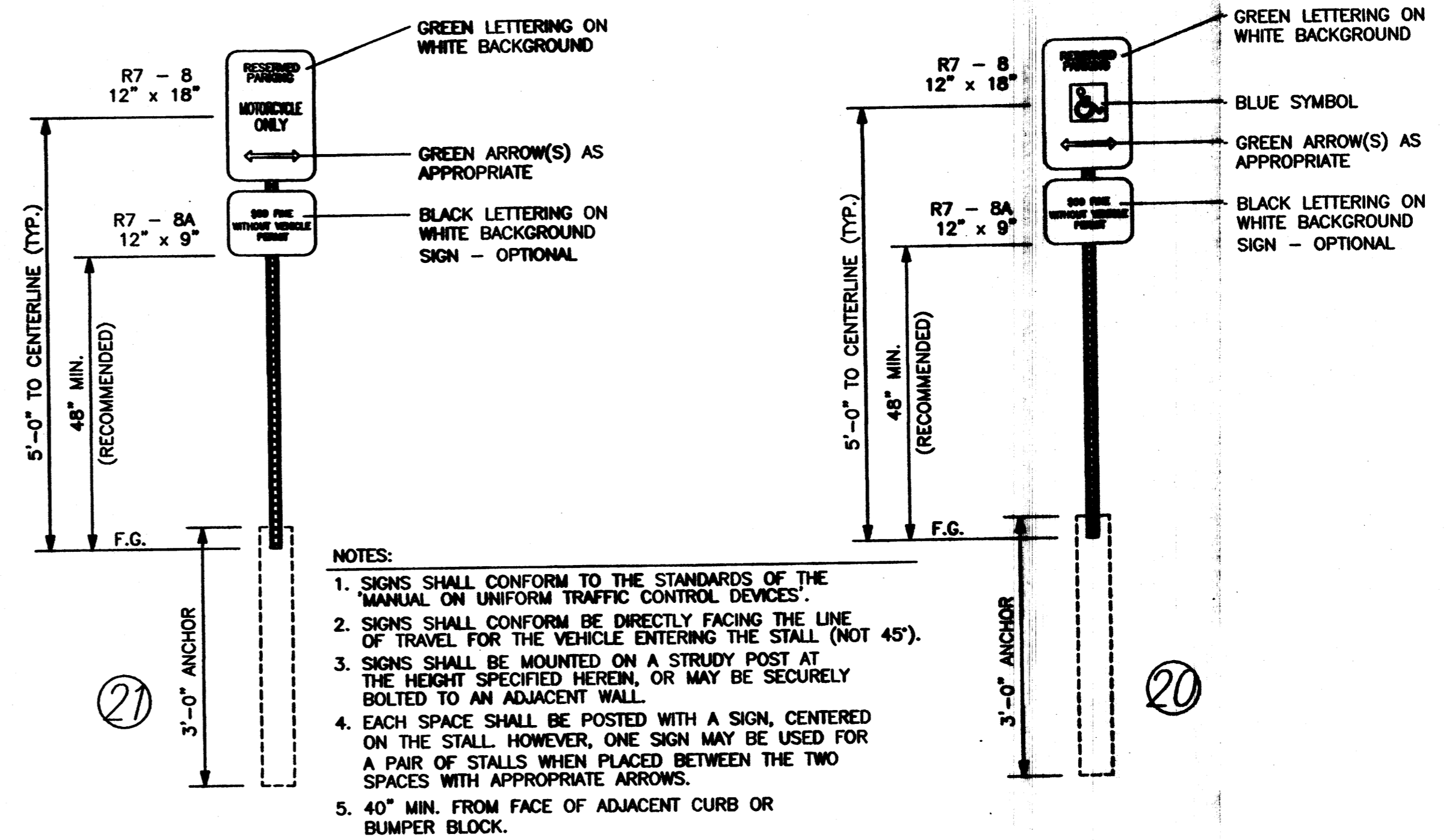
A SECTION



NOTES:
USE CONCRETE 'T' TROWEL FOR GROVES.

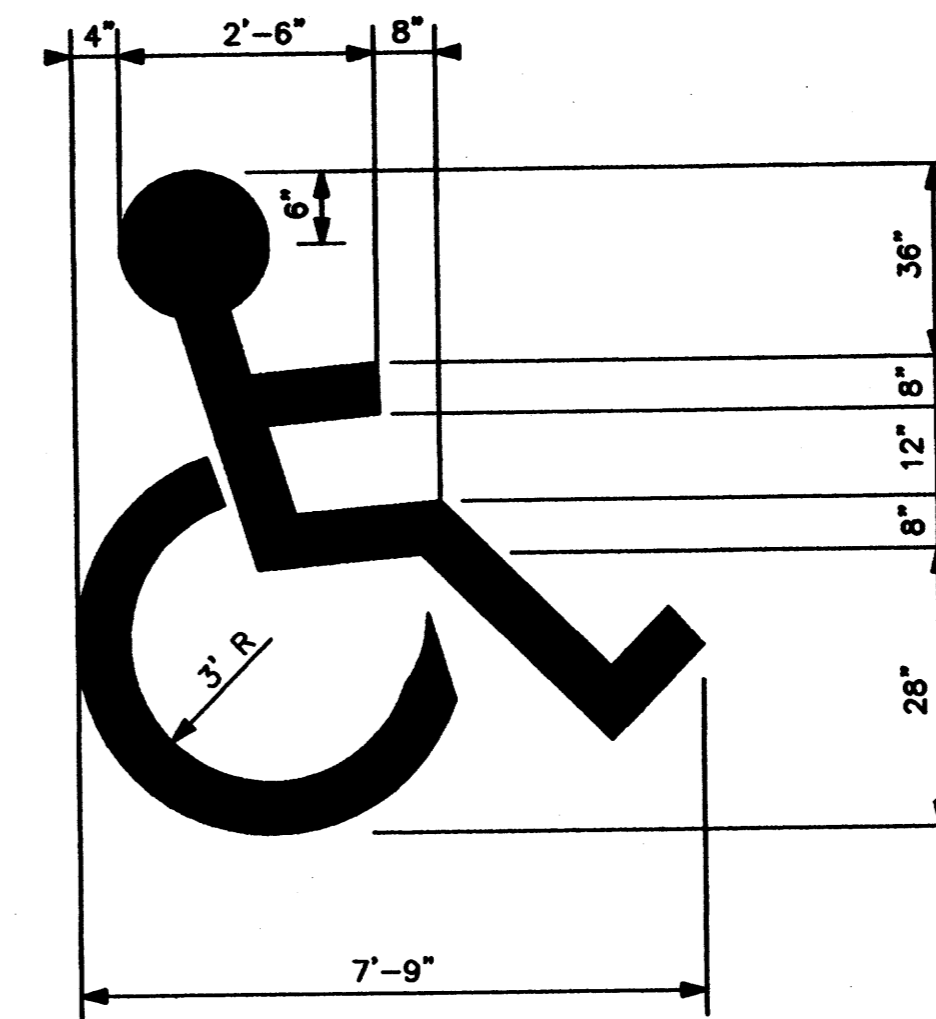
- KEYED NOTES:
- 8' SIDEWALK X 4" THK. WITH HEAVY BROOM FINISH.
 - ACCESSIBLE PARKING SYMBOL.
 - TYPICAL PAINTED PARKING SPACE LINE 4" WIDE.
 - RAMP GROVES, SEE DETAIL ON THIS SHEET.

A
SPD ENLARGED ACCESSIBLE PARKING, TYPICAL
SCALE: N.T.S.



- NOTES:
- SIGNS SHALL CONFORM TO THE STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - SIGNS SHALL CONFORM BE DIRECTLY FACING THE LINE OF TRAVEL FOR THE VEHICLE ENTERING THE STALL (NOT 45°).
 - SIGNS SHALL BE MOUNTED ON A STRUDY POST AT THE HEIGHT SPECIFIED HEREIN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
 - EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE USED FOR A PAIR OF STALLS WHEN PLACED BETWEEN THE TWO SPACES WITH APPROPRIATE ARROWS.
 - 40" MIN. FROM FACE OF ADJACENT CURB OR BUMPER BLOCK.

ACCESSIBLE SIGN
SCALE: N.T.S.



ACCESSIBLE PARKING SYMBOL
SCALE: N.T.S.

JOB NO. _____
DATE: 1 MAY 2008

REVISIONS	
04	JUNE 2008
02	JULY 2008
09	JULY 2008
09	OCTOBER 2008
27	OCTOBER 2008

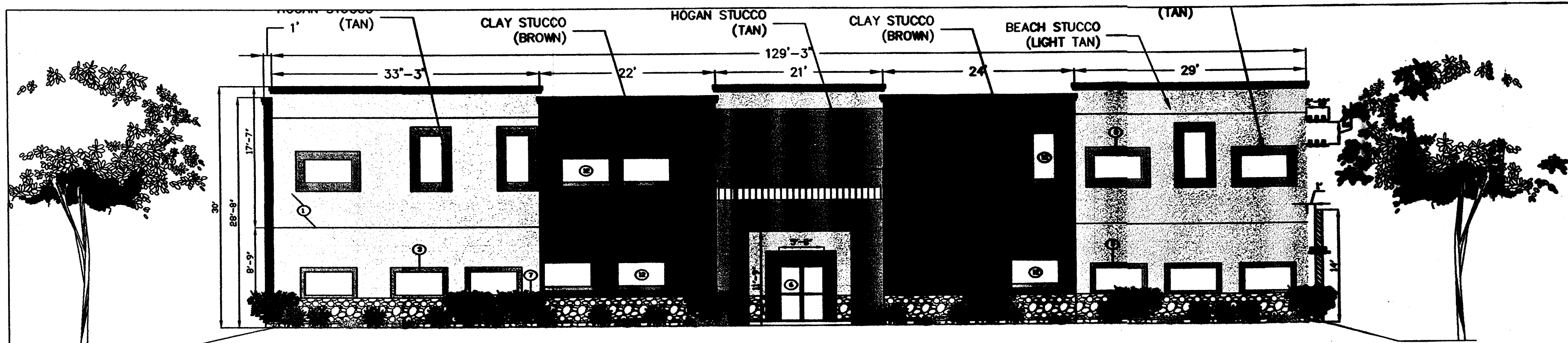
Sheet Title
DRB DETAIL SHEET FOR BUILDING PERMIT
Drawn By: PESLUKAI, S.A. Checked By: I. OTT

TIM OTT / DEVELOPER
6920 VANCE AVE NE, SUITE G
ALBUQUERQUE, NM 87115
(505) 260-4675

MICHAEL DEL MASTRO / ARCHITECT
7008 DELWOOD RD. NE / (505) 885-4828
ALBUQUERQUE, NEW MEXICO 87110

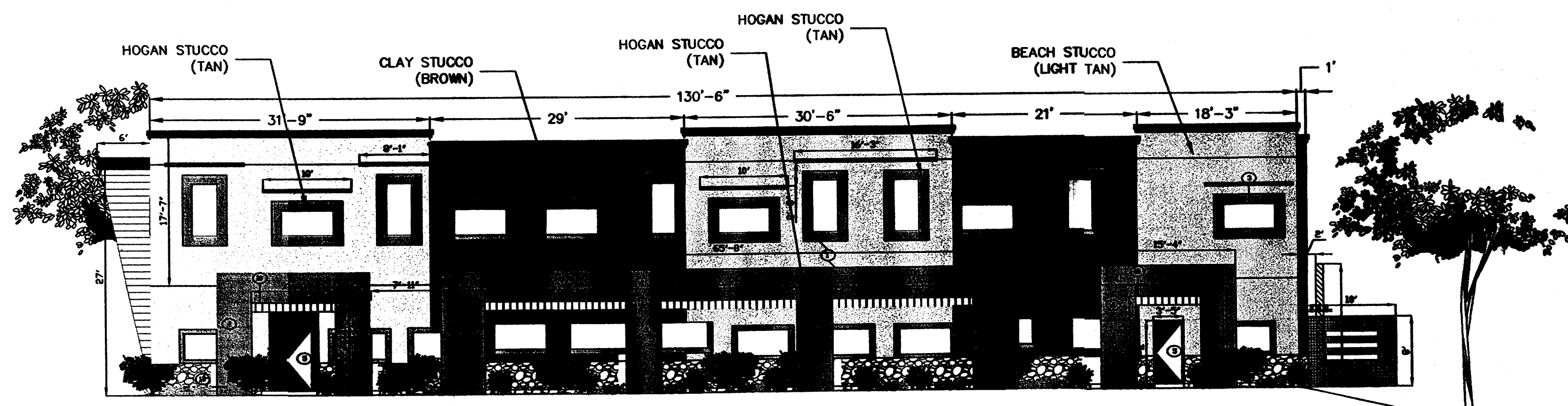
Project Name
STATE ENGINEERING ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB DS



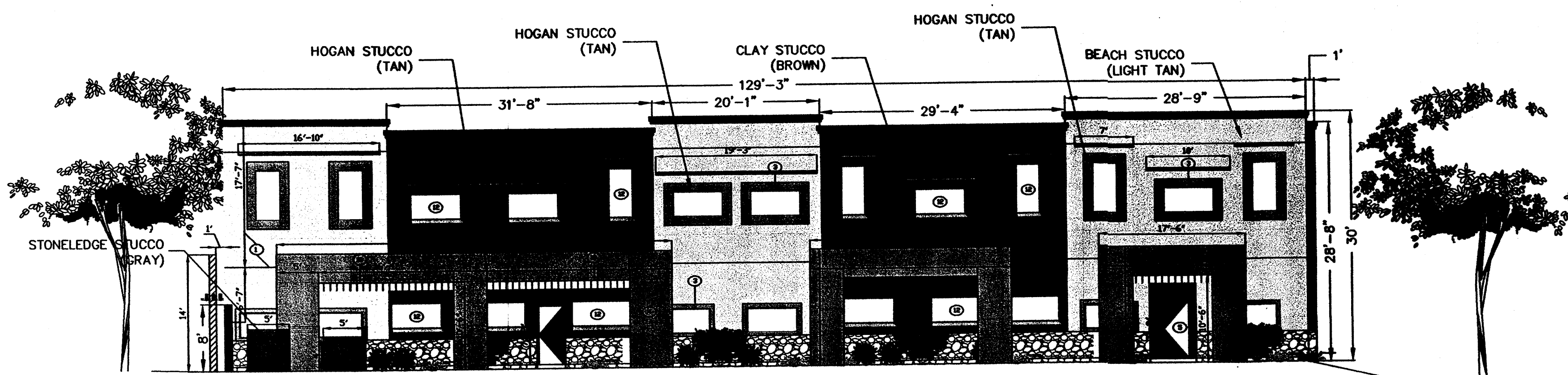
NORTH ELEVATION

Scale 3/32"=1'-0"



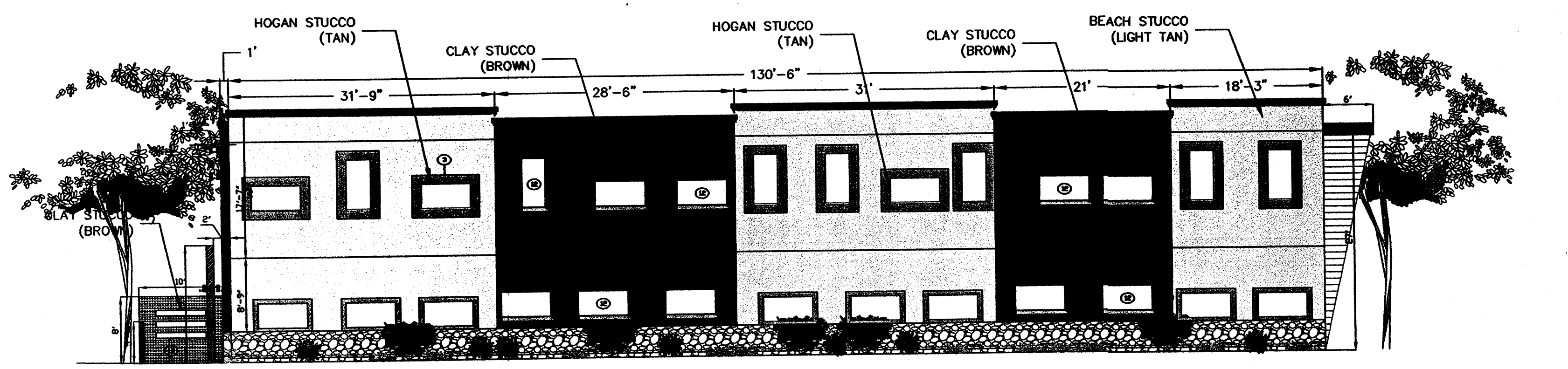
WEST ELEVATION

Scale 3/32"=1'-0"



SOUTH ELEVATION

Scale 3/32"=1'-0"



EAST ELEVATION

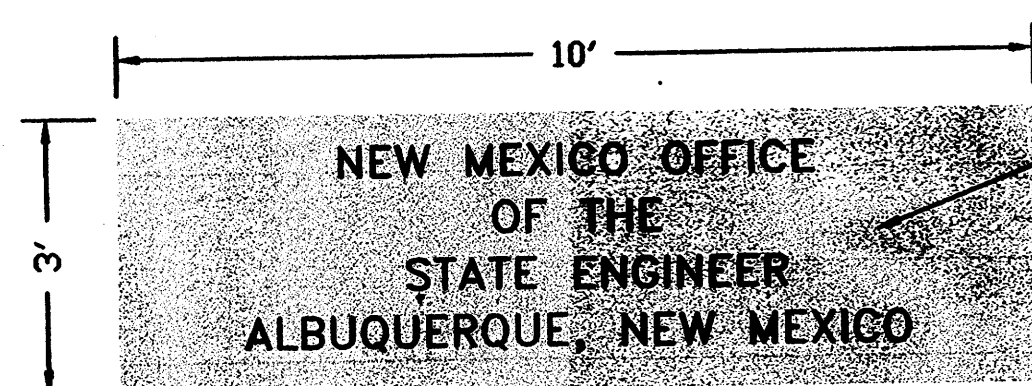
Scale 3/32"=1'-0"

KEYED NOTES

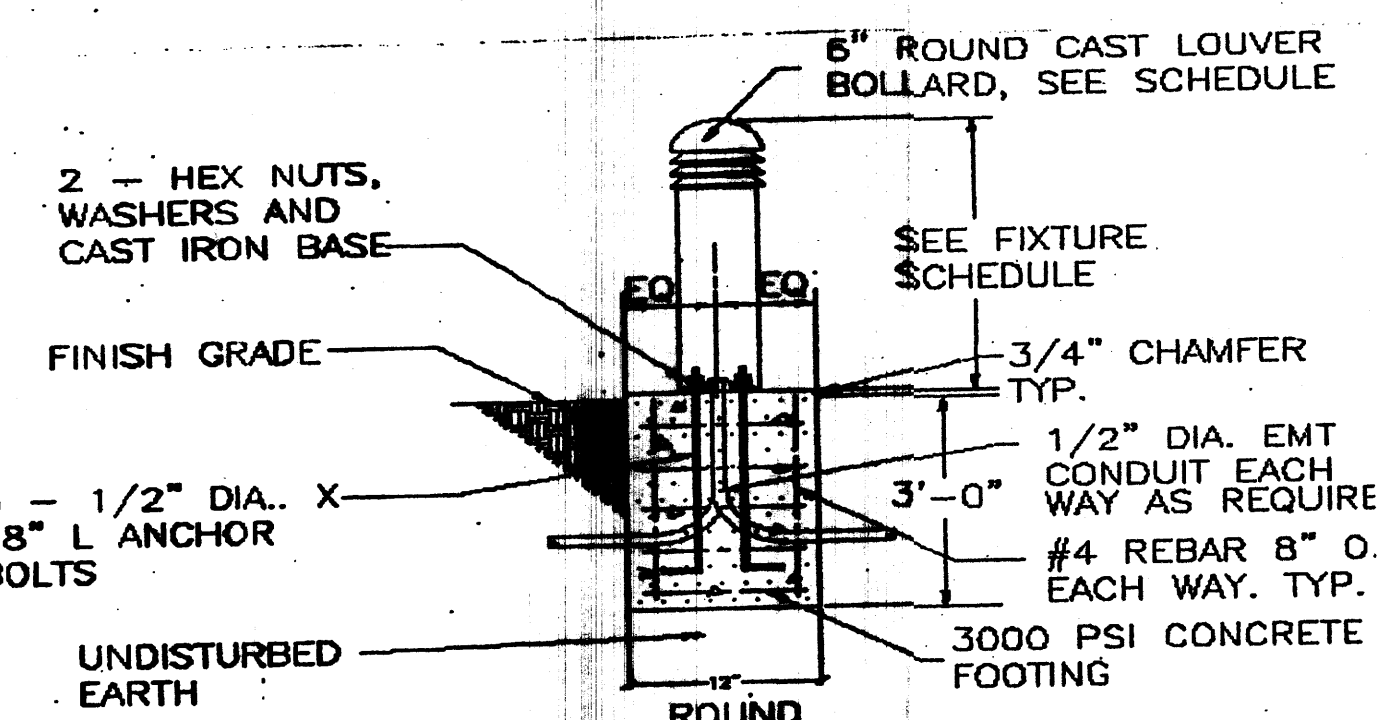
- ① 2 COAT STUCCO SYSTEM; BEACH, CLAY, & HOGAN
- ② EXPANSION JOINT, STUCCO THICKNESS
- ③ DOUBLE PANE GLAZING ALUMINUM FRAME WINDOW, WHITE
- ④ SHADING WALLS, TAN
- ⑤ HOLLOW METAL DOOR, TAN
- ⑥ 2 SETS OF ALUMINUM STORE FRONT AUTOMATIC SLIDING DOOR, WHITE
- ⑦ STONE FACE, NATURAL BROWN STONE
- ⑧ FRONT ENTRANCE CANOPY
- ⑨ WALL MOUNTED AGENCY SIGNAGE, NOT LIGHTING
- ⑩ EXTERIOR WINDOW AWNINGS, METAL, TAN
- ⑪ AGENCY SIGNAGE
- ⑫ RECESSED WINDOWS
- ⑬ PATIO SCREENING WALLS, STUCCO, STONELEDGE (GRAY)

"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

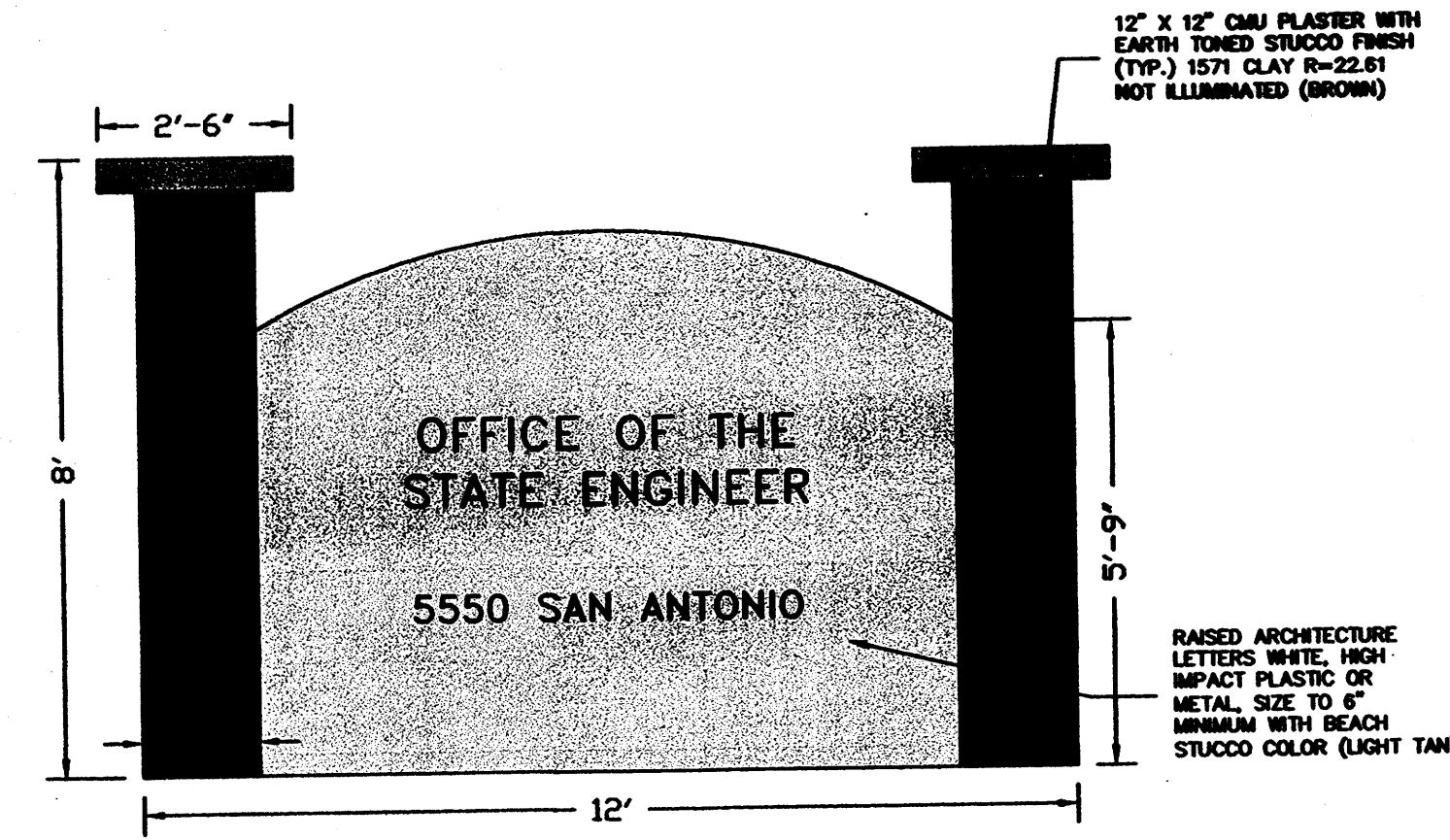
JOB NO.	
DATE:	1 MAY 2008
REVISIONS	
	04 JUNE 2008
	02 JULY 2008
	09 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008



⑨ TYPICAL WALL MOUNT SIGN

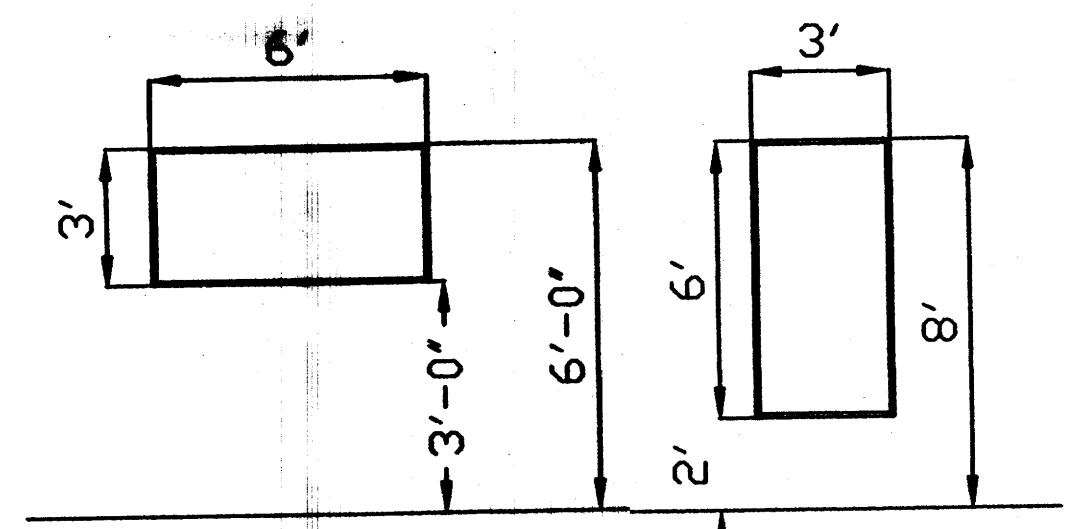


BOLLARD DETAIL



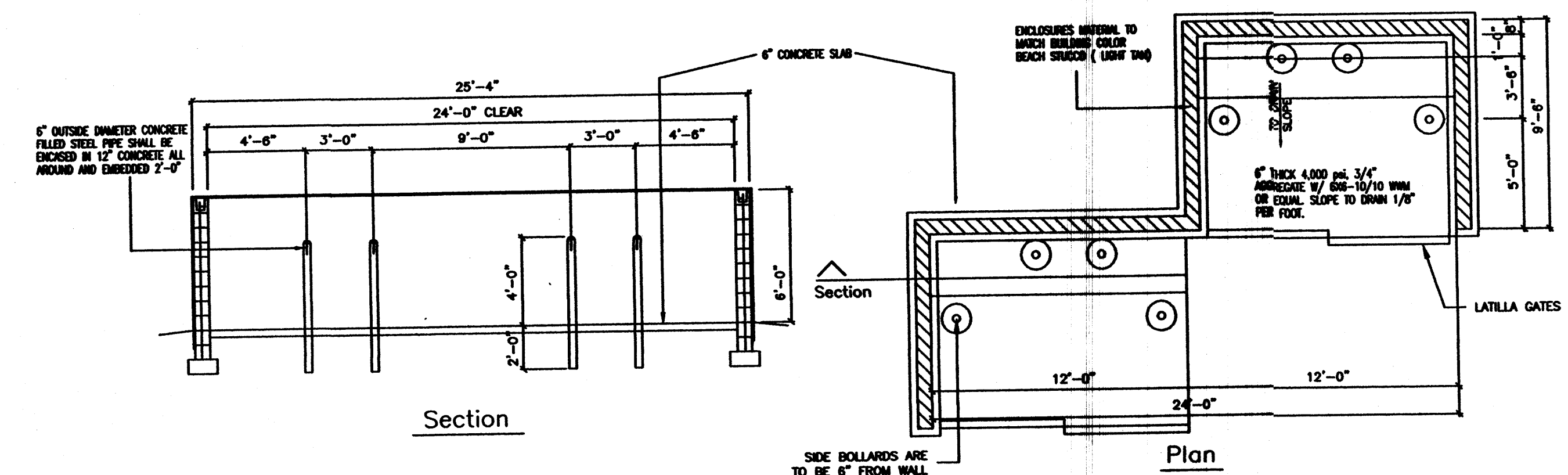
SIGN SF = 41.4 SF

⑪ SEE ECP SP NOTE 5 FOR LOCATION OF SIGNAGE. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO DR A MINIMUM OF 50% CONTRAST SHALL BE ACHIEVED BETWEEN THE GRAPHICS AND BACKGROUND.



TYPICAL - ALUMINUM STORE FRONT WINDOW WITH MULLIONS 1/2" FIXED, 1 1/2" x 5/8" FRAME GLAZED W/TINTED INSULATED DOUBLE PANE PROVIDE VENTURI BLINDS FOR ALL WINDOWS

- GENERAL NOTES:
- 1. GLAZING CONTRACTOR TO VERIFY ALL DIMENSIONS.
 - 2. U - VALUE WINTER NIGHT, U=0.49; R=2.04.
 - 3. U - VALUE SUMMER DAY, U=0.57; R=1.75.
 - 4. TOTAL SQUARE FOOT FOR EACH WINDOW IS 18.
 - 5. STUCCO: BL REV, ACRYLIC FINISH - CLASSIQUE R-VALUE CLAY 1071, LRV=22.61 R-VALUE VEGA 21.31, LRV=21.31 OR EQUIVALENT
 - 6. ALL GANTRIES TOPS AT 4'-0" BELOW PARAPET.
 - 7. AGENCY BUILDING SIGN FACE AREA NOT TO EXCEED 60 SF.



Refuse & Recycling Enclosure Details

SCALE: NTS

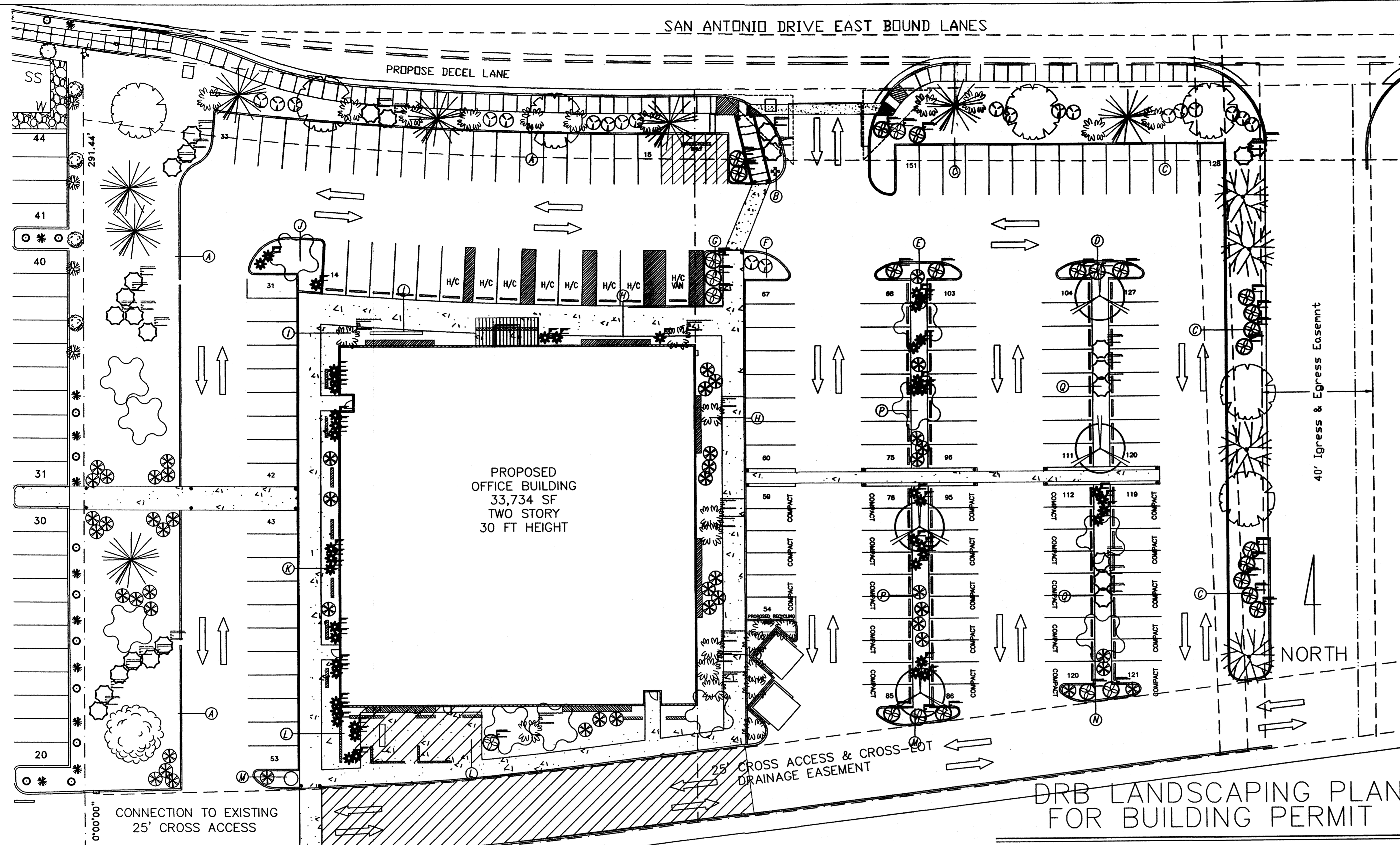
Sheet Title
DRB ELEVATIONS FOR BUILDING PERMIT
Drawn By: PESHJALAI, S.A. Checked By: T. OTT

TM OTT / DEVELOPER
6800 VANCE AVE. SUITE 0
ALBUQUERQUE, NM 87110
(505) 250-4675
MICHAEL DEL MASTRO / ARCHITECT
7008 DELWOOD RD. NE / SUITE 400
ALBUQUERQUE, NEW MEXICO 87110

Project Name
STATE ENGINEERING
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB ELEV

SAN ANTONIO DRIVE EAST BOUND LANES



GENERAL LANDSCAPE DATA:

- TOTAL SITE AREA 119,257 S.F.
- TOTAL BUILDING AREA (FOOTPRINT)..... 16,867 S.F.
- NET LOT AREA 102,390 S.F.

LANDSCAPE REQUIREMENTS:

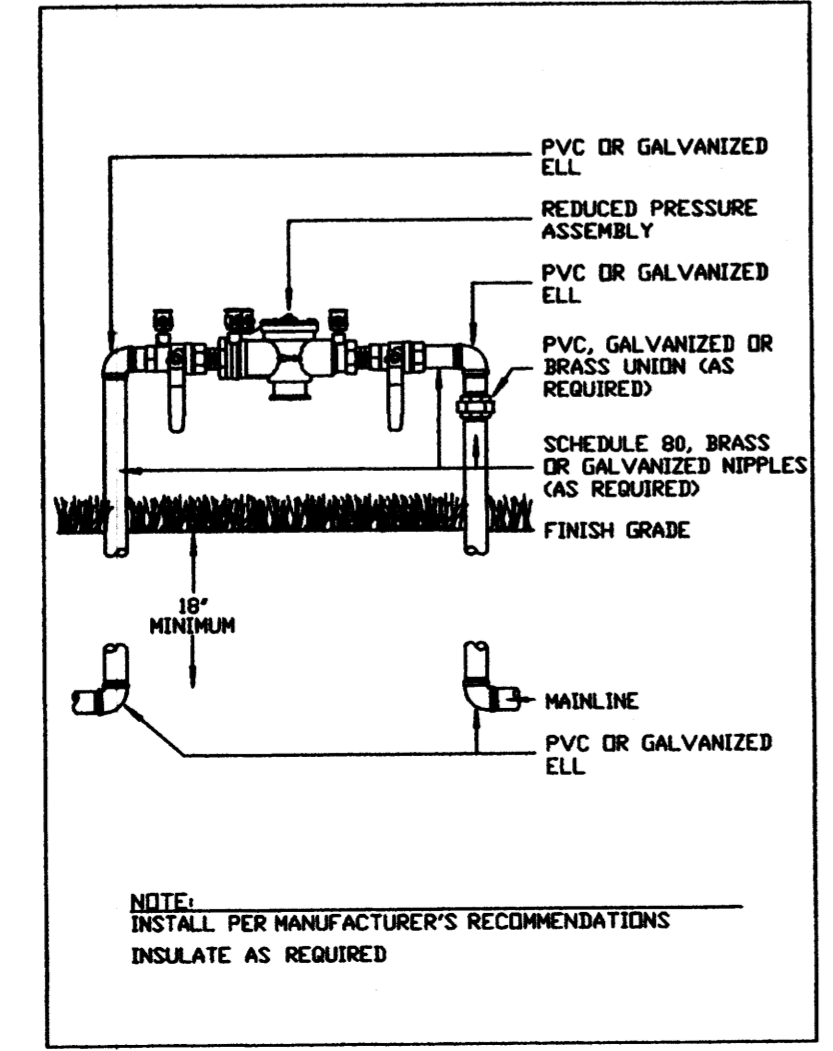
- NET LOT AREA 102,390 S.F.
 - LANDSCAPE AREA REQUIRED
NET LOT AREA X 15 % 15,358 S.F.
 - LANDSCAPE AREAS PROVIDED
 - AREA A 11,263 S.F.
 - AREA B 219 S.F.
 - AREA C 6,050 S.F.
 - AREA D 155 S.F.
 - AREA E 155 S.F.
 - AREA F 124 S.F.
 - AREA G 120 S.F.
 - AREA H 1,773 S.F.
 - AREA I 441 S.F.
 - AREA J 194 S.F.
 - AREA K 171 S.F.
 - AREA L 1,757 S.F.
 - AREA M 76 S.F.
 - AREA N 194 S.F.
 - AREA O 204 S.F.
 - AREA P 867 S.F.
 - AREA Q 918 S.F.
- TOTAL LANDSCAPE AREA PROVIDED 24,682 S.F.

- IRRIGATION SYSTEM LAYOUT BY LANDSCAPE CONTRACTOR
LOW FLOW DRIP SYSTEM
BUBBLIER SYSTEM

GENERAL NOTES:

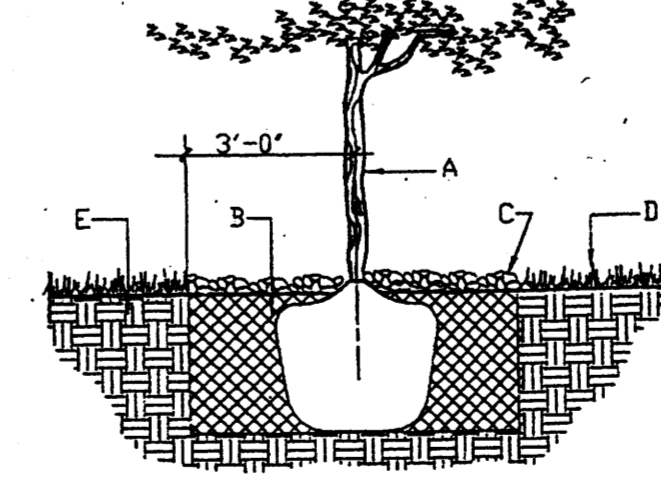
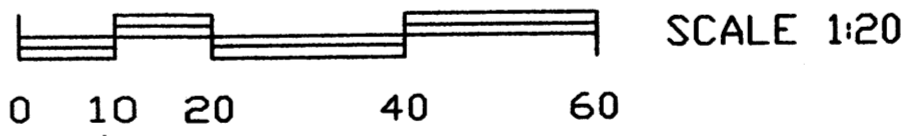
- ALL LANDSCAPING WILL BE COMPLETED WITHIN 60 DAYS OF BUILDING OCCUPANCY.
- THE LANDSCAPE CONTRACTOR SHALL DESIGN AND CONSTRUCT ANY IRRIGATION SYSTEM WHICH SHALL INCLUDE PIPING, CONTROLS, EQUIPMENT AND LABOR NECESSARY FOR A COMPLETE SYSTEM. SYSTEM SHALL INCLUDE AUTOMATIC VALVES AND TIMER.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO FIELD VERIFY THE EXACT LOCATIONS OF ALL ON-SITE UTILITIES. TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 3 FEET FROM UTILITY LINES.
- MAINTENANCE OF LANDSCAPING AND IRRIGATION SYSTEM TO BE THE RESPONSIBILITY OF THE OWNER.
- 3/4" CRUSHER GRAY GRAVEL WITH FILTER FABRIC IN LANDSCAPING AREAS, 3" IN DEPTH.
- IRRIGATION SYSTEMS SHALL BE DESIGNED TO COMPLY WITH THE PROVISIONS OF THE CITY OF ALBUQUERQUE.
- DEVELOPMENT WILL COMPLY WITH THE PROVISIONS OF THE COA ORDINANCE 6-1-1-1.
- AREA A & C IS STREET TREE AREA. AREA TO CONFORM WITH COA 6-6-2-5. TREES WILL BE SPACED A MINIMUM OF 30 FT. APART AND WILL BE A MINIMUM OF 5 FT. FROM EDGE OF SIDEWALK.
- ALL OTHER AREAS CONSIDERED GENERAL LANDSCAPING AREAS.
- THERE IS NO ON SITE PONDING DUE TO FORMER LANDFILL STATUS.
- LANDSCAPING BEDS BETWEEN EAST PARKING LOT TO BE DEPRESSED TO ALLOW STORM RUNOFF TO INFILTRATE.
- CURRENT FIELD IS A VACANT LOT WITH LOCAL VEGETATION.
- XERISCAPE SHOULD USE 5 TO 20 GALLONS OF SUPPLEMENTAL WATER PER SQUARE FOOT PER YEAR.
- MEDIUM WATER USE: SOME SUPPLEMENTAL WATER IS NEEDED. WATER AT LEAST TWICE MONTHLY ONCE PLANT IS ESTABLISHED.
- LOW WATER USE: NO SUPPLEMENTAL WATER IS NEEDED ONCE THE PLANT IS ESTABLISHED.

"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

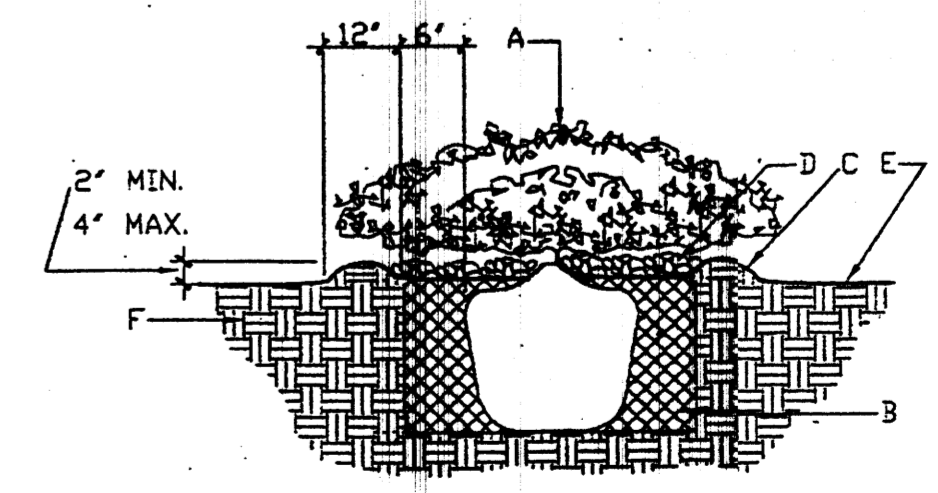


REDUCED PRESSURE & BACKFLOW PREVENTER ASSEMBLY

PLANT SCHEDULE												
SYMBOL	KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED	MATURE	CONDITION	USAGE	WATER USE	AREA COVERAGE		
DECIDUOUS TREES												
NM	NEW MEXICO LOCUST	ROBINIA MEXICANANA	2	5' - 7' HT.	20' HT. & SPD.	15 GAL. MULTI-TRUNK	SHADING	MEDIUM		688		
WR	WESTERN REDBUD	CERCIS OCCIDENTALIS	11	6" CAL. 12" - 14" HT.	20' HT. & SPD.	30" BOX	SCREENING	MEDIUM		3456		
HB	HACKBERRY	CELTIS OCCIDENTALIS	5	5' - 10' HT.	35' HT. & SPD.	30" BOX	SHADING	MEDIUM		2356		
EVERGREEN TREES												
SP	SCOTCH PINE	PINUS SYLVESTRIS	7	5' - 10' HT.	30' HT. & 20' SPD.	30" BOX	SCREENING	MEDIUM		3699		
PP	PINON PINE	PINUS EDULIS	4	7' - 10' HT.	30' HT. & 20' SPD.	30" BOX	SHADING	MEDIUM		2199		
CR	COAST REDWOOD	SEQUOIA SEMPERVIRENS	8	5' - 10' HT.	30' HT. & 30' SPD.	30" BOX	SHADING	MEDIUM		4398		
SHRUBS												
APP	APACHE PLUME	FALLUGIA PARADOXA	31	MIN 24" HT.	4' HT. & SPD.	5 - GAL.	SCREENING / ORNAMENTAL	LOW		389		
SC	SHRUBBY CINDAROTIL	POTENTILLA FRUTICOSA	38	MIN 24" HT.	3' HT. & SPD.	5 - GAL.	SCREENING	MEDIUM		546		
BB	BUTTERFLY BUSH	Buddleia DAVIDII	54	MIN 18" HT.	5' HT. & SPD.	5 - GAL.	ORNAMENTAL	LOW		534		
CL	CLIFFROSE	COVANIA MEXICANA	12	MIN 12" HT.	5'-8" HT. & 6 SPD.	5 - GAL.	SCREENING	LOW		864		
TL3	THREELAF SUMAC	Rhus TRILOBATA	30	MIN 8" SPD.	4' HT. & SPD.	5 - GAL.	SCREENING / ORNAMENTAL	LOW		377		
DY	BATH YUCCA	YUCCA BACCATA	44	MIN 12" SPD.	3' HT. & 4' SPD.	5 - GAL.	SCREENING	LOW		553		
										TOTAL	246	
											COVERAGE	18999



- GENERAL NOTES:
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 - TREE ROOT COLLAR SHALL BE AT GRADE. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED, THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL THE PLANTING HOLE SHALL BE 3-3 TIMES AS WIDE AS THE ROOTBALL DEPENDING ON SUBORDINATING SOIL COMPOSITION.
 - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING HOLE.
 - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:
- TREE
 - BACKFILL WITH EXISTING SOIL
 - 4" DEPTH OF BARK MULCH
 - TURF AT FINISH GRADE
 - UNDISTURBED SOIL



- GENERAL NOTES:
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:
- SHRUB
 - BACKFILL WITH EXISTING SOIL
 - EARTH BERM AROUND WATER RETENTION BASIN
 - 4" DEPTH OF BARK MULCH
 - FINISH GRADE
 - UNDISTURBED SOIL

JOB NO:

DATE: 1 MAY 2008

REVISIONS

04 JUNE 2008
02 JULY 2008
09 JULY 2008
09 OCTOBER 2008

DRB LANDSCAPING PLAN FOR BUILDING PERMIT

Checked By: I. OTT

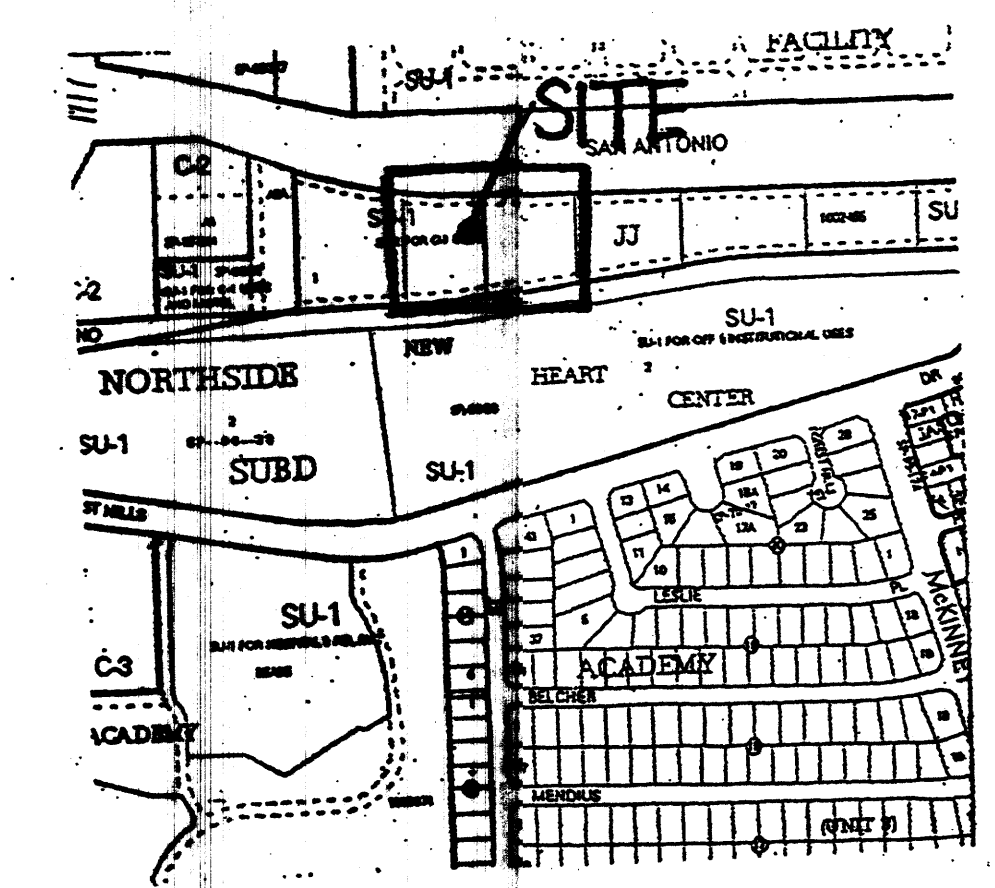
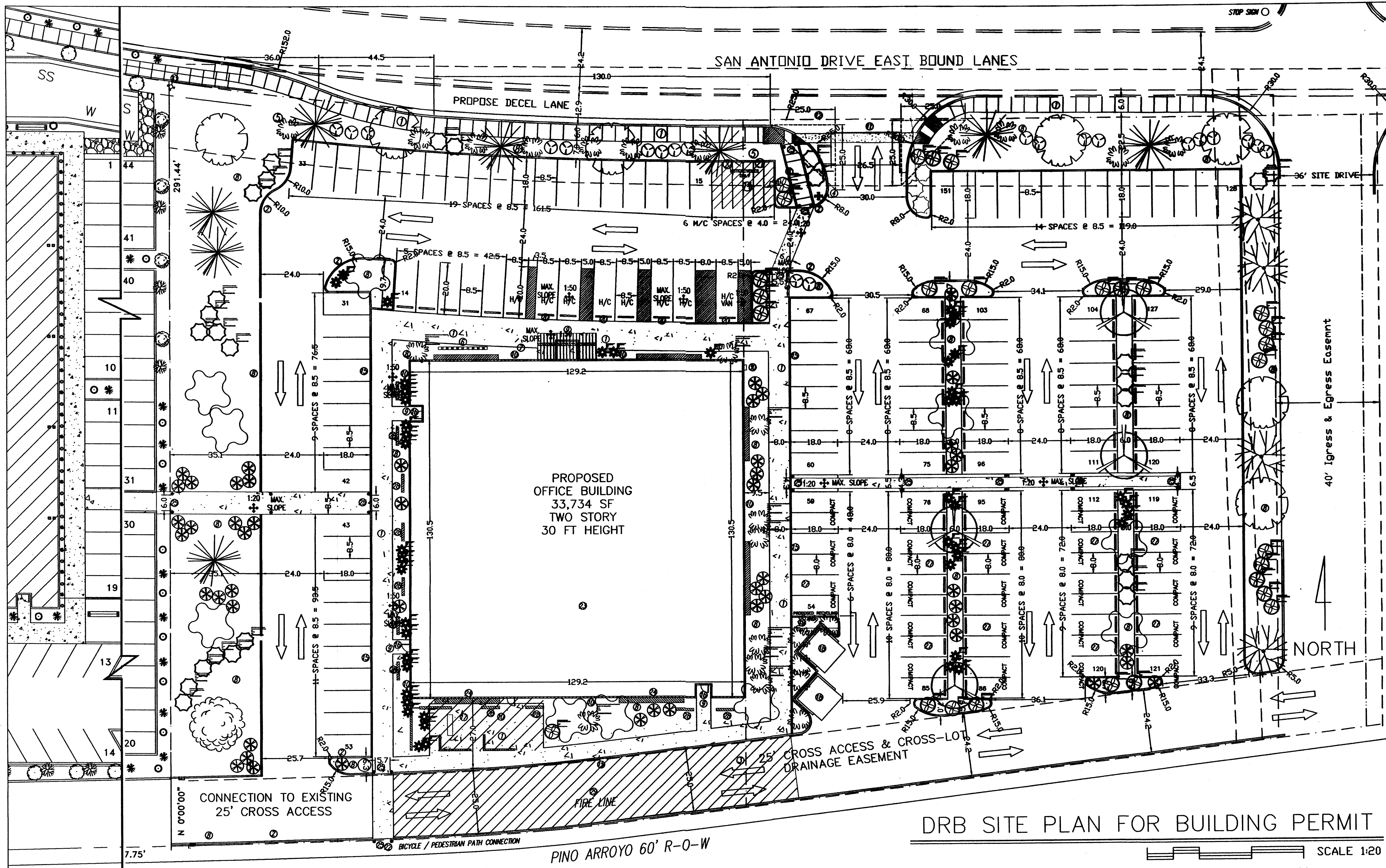
Drawn By: PESTILKAL, S.A.

TM OTT / DEVELOPER
6800 VANCE AVE. SUITE G
ALBUQUERQUE, NM 87115
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7808 DELWOOD RD. NE
ALBUQUERQUE, NEW MEXICO 87110

STATE ENGINEERING
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB LP



VICINITY MAP
N.T.S.

KEYED NOTES:

- 1 NEW CONCRETE SIDEWALK & WALK WAYS SHALL BE ADA ACCESSIBLE
- 2 NEW CONCRETE CURB & GUTTER
- 3 REMOVE LOT LINE
- 4 NEW FIRE HYDRANT LOCATION
- 5 AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL, SEE DRB ELEV SHEET FOR DETAIL SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
- 6 BICYCLE RACK, MINIMUM 8 SPACES
- 7 FLAG POLE
- 8 LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM
- 9 SECURITY LIGHTING AT ALL ENTRANCES
- 10 EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL
- 11 DRIVEWAY PER CITY OF ALBUQUERQUE STANDARDS
- 12 EXISTING FIRE HYDRANT, TO BE RELOCATED
- 13 EXISTING FIRE HYDRANT
- 14 MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE
- 15 NEW CONCRETE CURB AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING
- 16 CYPHER LOCK ON ENTRANCE
- 17 EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
- 18 DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS
- 19 PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS
- 20 HANDICAP SIGNAGE LOCATION
- 21 MOTORCYCLE SIGNAGE LOCATION
- 22 PINO ARROYO BICYCLE & PEDESTRIAN TRAIL
- 23 ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE
- 24 LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM
- 25 BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE
- 26 NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED
- 27 ALL COMPACT SPACES TO BE LABELED ON PAVEMENT
- 28 SHADING WALLS
- 29 STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL
- 30 KNOX BOX LOCATION PER FIRE MARSHALL
- 31 ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 11 ON SHT. SDP

GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, JJ SUBDIVISION
CITY OF ALBUQUERQUE, NEW MEXICO
COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING
TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES
SECOND FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES
141 TOTAL REQ.

PROVIDED: 151 TOTAL SPACES (80 REG., 44 COMPACT, 9 HANDICAP)
(28% OF SPACES ARE FOR COMPACT CARS)

PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spaces)
PROVIDED: 8 SPACES, 1 VAN ACCESSIBLE

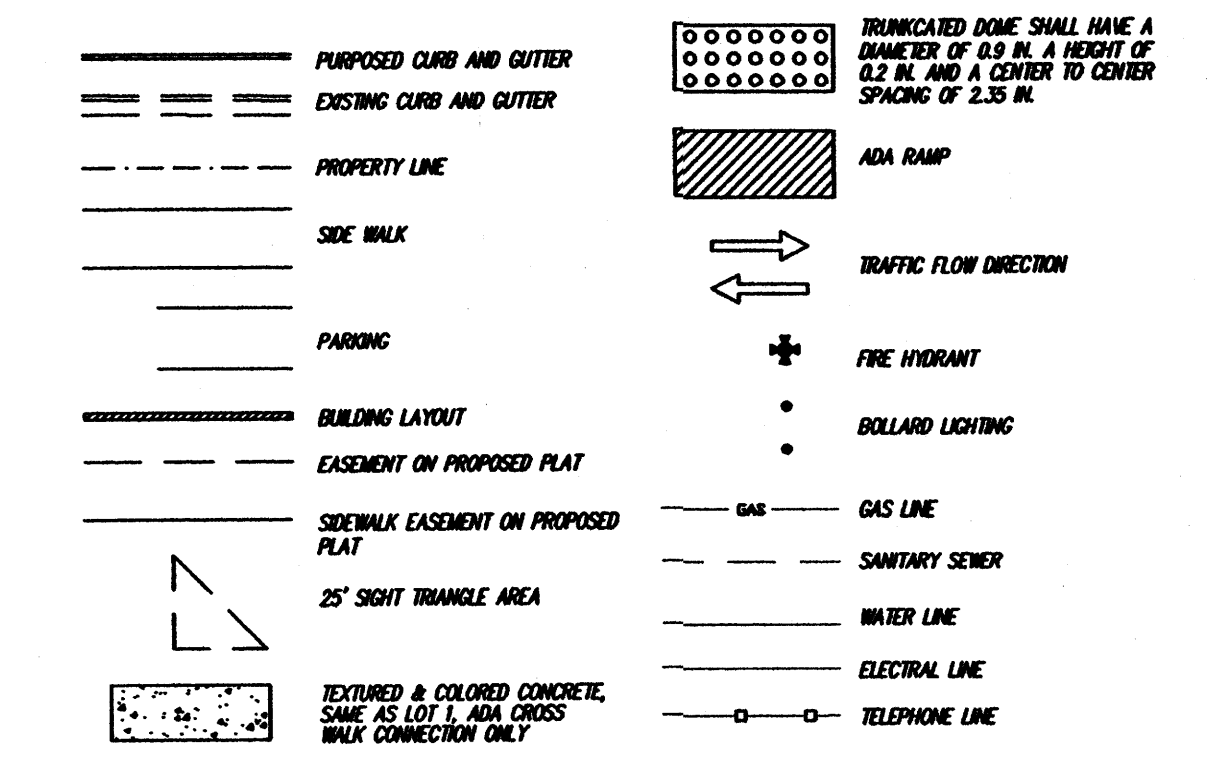
PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (with 101 to 300 req. parking spaces)
PROVIDED: 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spaces)
PROVIDED: 8 SPACES

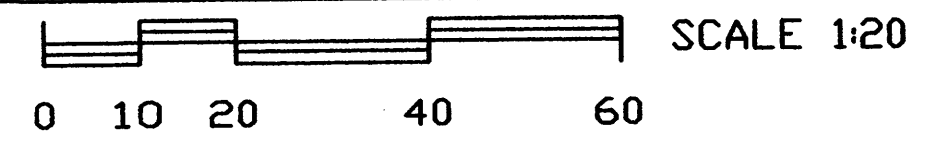
ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.

LINE TYPE LEGEND



DRB SITE PLAN FOR BUILDING PERMIT



"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

JOB NO:	
DATE:	1 MAY 2008
REVISIONS	
	04 JUNE 2008
	02 JULY 2008
	09 JULY 2008
	09 OCTOBER 2008

Sheet Title
DRB TRAFFIC CIRCULATION LAYOUT
FOR BUILDING PERMIT

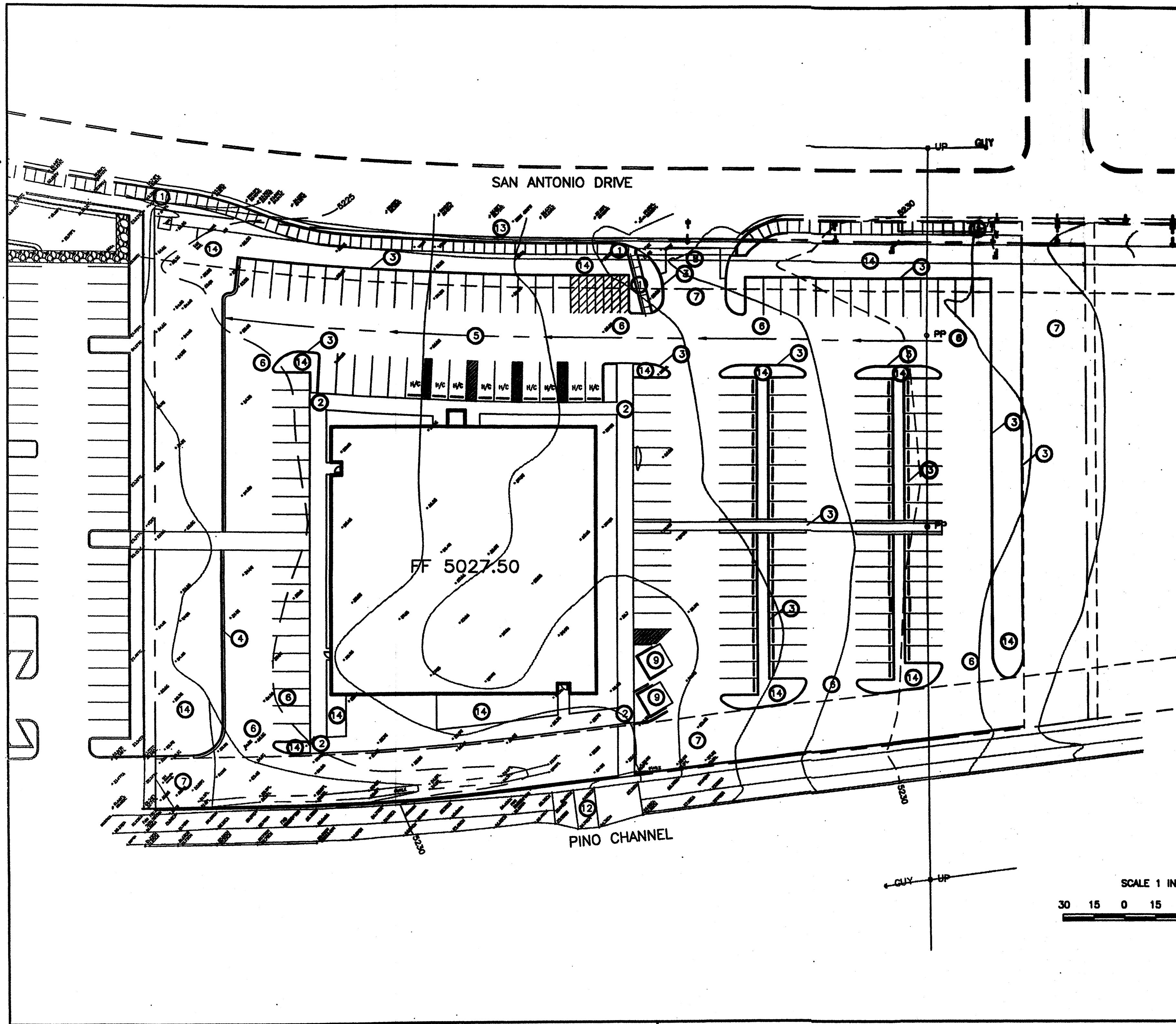
Drawn By: RESHMA, S.A. Checked By: T. OTT

TIM OTT / DEVELOPER
6920 VENICE AVE. SUITE G
ALBUQUERQUE, NM 87113
(505) 251-4675

MICHAEL DEL MASTRO / ARCHITECT
7900 DELWOOD RD. NE / SUITE 400
ALBUQUERQUE, NEW MEXICO 87110

Project Name
STATE ENGINEERING
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB TCL



LEGAL DESCRIPTION

LOTS 2 & 3, J SUBDIVISION

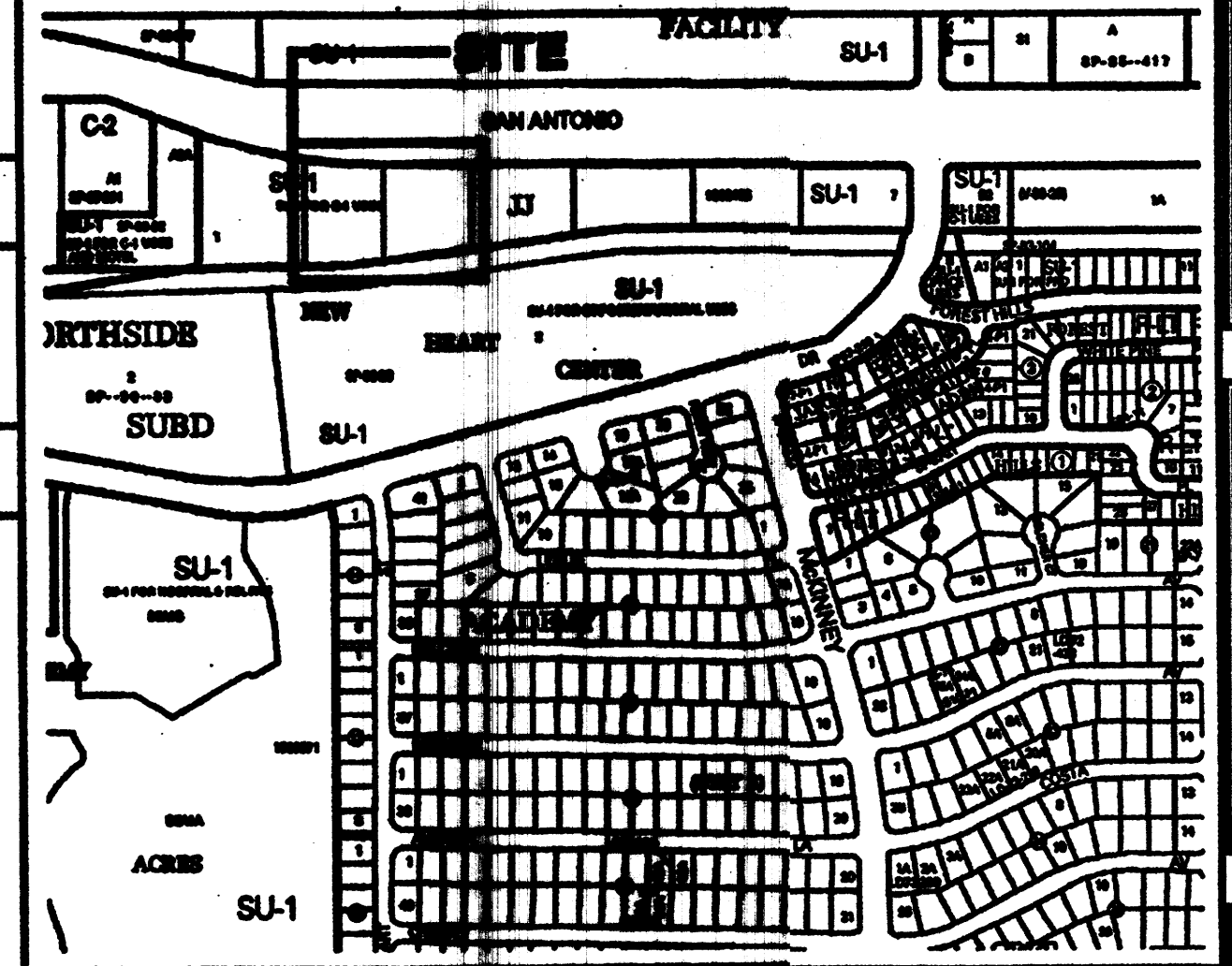
PERMANENT BENCHMARK

ACS 18-E18 ELEVATION 5058.880 (NGVD 1929)

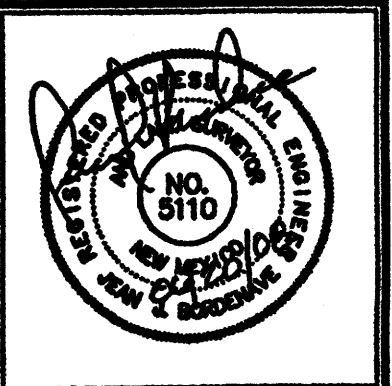
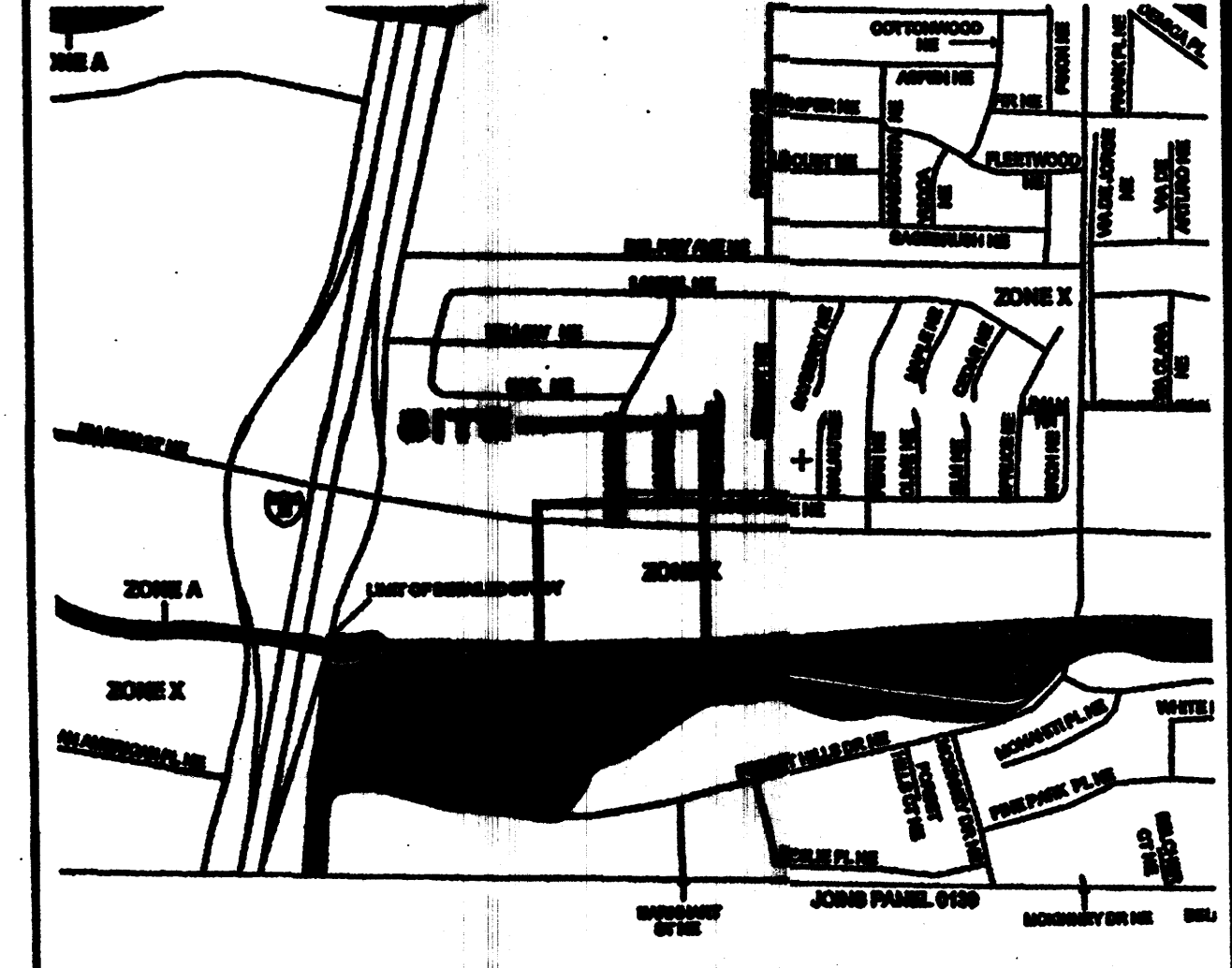
KEYED NOTES

1. SIDEWALK. SEE DETAIL SHEET CD.
2. TURNDOWN SIDEWALK. SEE DETAIL SHEET CD.
3. HEADER CURB. SEE DETAIL SHEET CD.
4. CURB AND GUTTER. SEE DETAIL SHEET CD.
5. ASPHALT SWALE.
6. ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET CD.
7. ASPHALT PAVEMENT - HEAVY DUTY (HATCHED AREA). SEE DETAIL SHEET CD.
8. 30 FOOT WIDE PRIVATE ENTRANCE DETAIL. SEE COA STD. DWG. 2426.
9. REFUSE ENCLOSURE.
10. DELETE
11. DELETE
12. EXISTING SIDE INLET TO PINO CHANNEL. EXTEND CONCRETE TO PROPERTY LINE. SEE DETAIL SHEET CD.
13. NEW DECELERATION LANE, CURB & GUTTER AND SIDEWALK PER CITY PROJECT NO. XXXX.
14. LANDSCAPE

VICINITY MAP NO. E-18



FEMA FIRM PANEL NO. 130



JOB NO:

DATE: 20 JUNE, 2008

REVISIONS:

Sheet Title

CONCEPTUAL GRADING PLAN

Drawn By: ETL

Checked By: JB

LEGEND

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT
- - - - -	FEMA FLOODPLAIN BOUNDARY
- - - - -	DRAINAGE BASIN BOUNDARY
- - - - -	EROSION SETBACK LINE
- - - - -	EXISTING CONTOUR
- - - - -	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
●XX.XX	PROPOSED SPOT ELEVATION
-XX.XX-	RECORD SPOT ELEVATION

DRAINAGE NOTES

1. THE SITE IS LOCATED IN CITY OF ALBUQUERQUE RAINFALL ZONE 3.
2. OFFSITE FLOWS WILL BE INTERCEPTED BY THE ACCESS DRIVE AT THE EAST PROPERTY LINE AND ROUTED SOUTH AND WEST VIA A PARKING LOT SWALE IN AN EXISTING DRAINAGE EASEMENT TO AN EXISTING SIDE INLET IN THE PINO CHANNEL NEAR THE SOUTHWEST CORNER OF THE PROPOSED BUILDING.
3. ONSITE FLOWS GENERATED EAST OF THE MAIN ENTRY DRIVE WILL BE DIRECTED TO THE PINO CHANNEL VIA THE EXISTING SIDE INLET DESCRIBED ABOVE. ONSITE FLOWS GENERATED WEST OF THE MAIN ENTRY DRIVE WILL BE DIRECTED TO THE PINO CHANNEL VIA A NEW SIDE INLET AT THE SOUTHWEST CORNER OF LOT 1.
4. THE NEW SIDE INLET TO THE PINO CHANNEL AT THE SOUTHWEST CORNER OF LOT 1 SHALL BE CONSTRUCTED WITH THIS PROJECT.
5. THE PROJECT IS IN EXCESS OF ONE ACRE AND A SWPPP WILL BE REQUIRED.

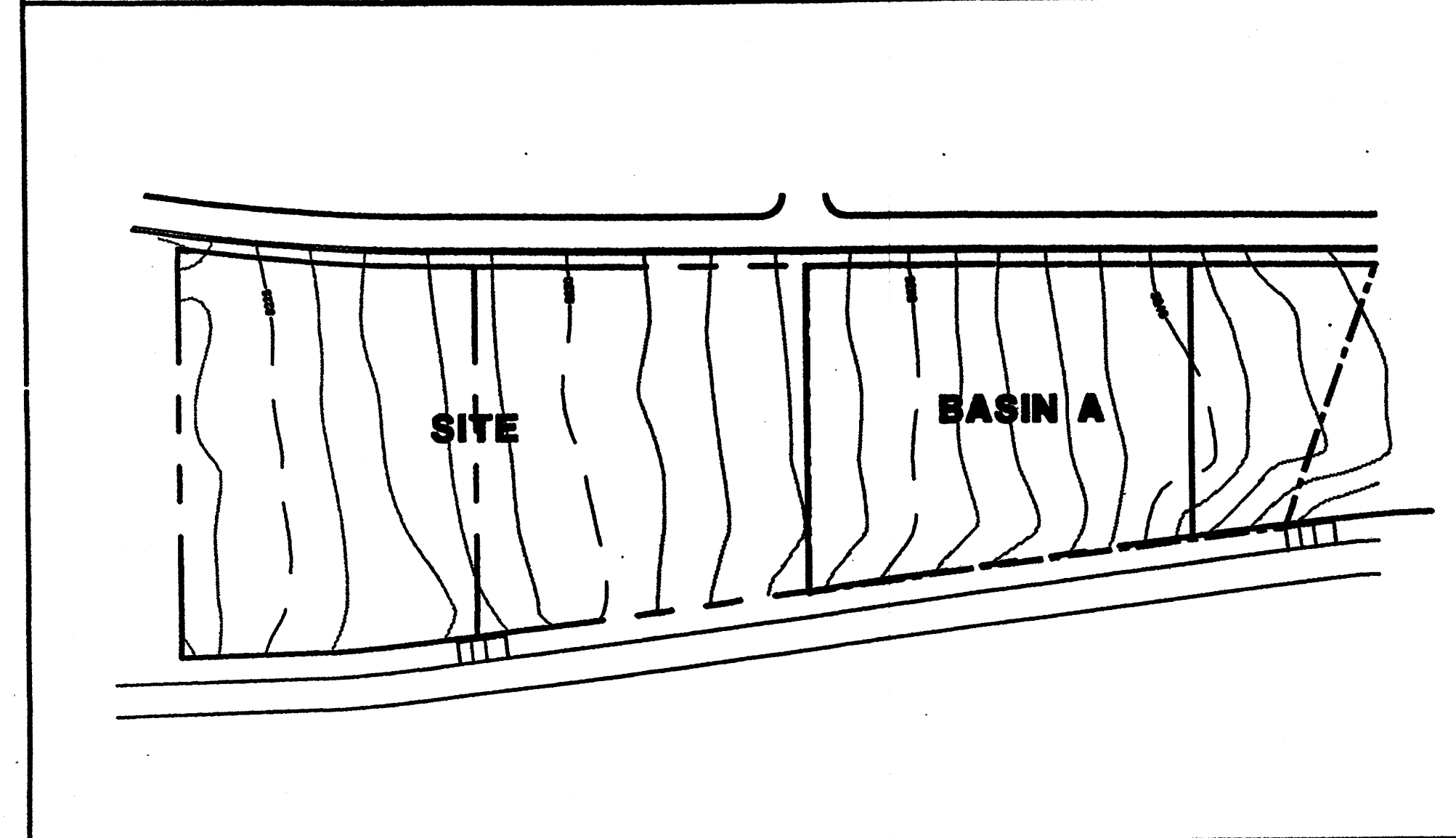
GRADING NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 280-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

OFFSITE DRAINAGE MAP SCALE 1" = 100'



DRAINAGE DATA

CONDITION	STORM RETURN PERIOD (yr)	TREATMENT TYPE	TREATMENT AREA (sq. ft.)	EXCESS PRECIPITATION		PEAK RUNOFF		RUNOFF VOLUME	
				(in.)	(table 8)	(cfs/acre)	(table 9)	(cu. ft.)	(cfs)
EXISTING	10	A	0	0.19	0.58	0	0.00	0	0.00
		B	123285	0.38	1.19	3699	3.37	0	0.00
		C	0	0.62	2	0	0.00	0	0.00
		D	0	1.5	3.39	0	0.00	0	0.00
		TOTAL	123285			3699	3.37		
DEVELOPED	100	A	0	0.66	1.97	0	0.00	0	0.00
		B	123285	0.92	2.9	9482	7.36	0	0.00
		C	0	1.29	3.45	0	0.00	0	0.00
		D	100690	2.38	6.02	12574	7.83	0	0.00
		TOTAL	123285			9482	7.36		
EXISTING	100	A	0	0.66	1.97	0	0.00	0	0.00
		B	123285	0.92	2.9	1740	1.35	0	0.00
		C	0	1.29	3.45	0	0.00	0	0.00
		D	100690	2.38	6.02	16783	11.59	0	0.00
		TOTAL	123285			21623	12.95		
A	100	A	0	0.66	1.97	0	0.00	0	0.00
		B(10%)	7363	0.92	2.9	584	0.44	0	0.00
		C	0	1.29	3.45	0	0.00	0	0.00
		D(90%)	86271	2.38	6.02	13033	7.64	0	0.00
		TOTAL	73634			13596	8.08		

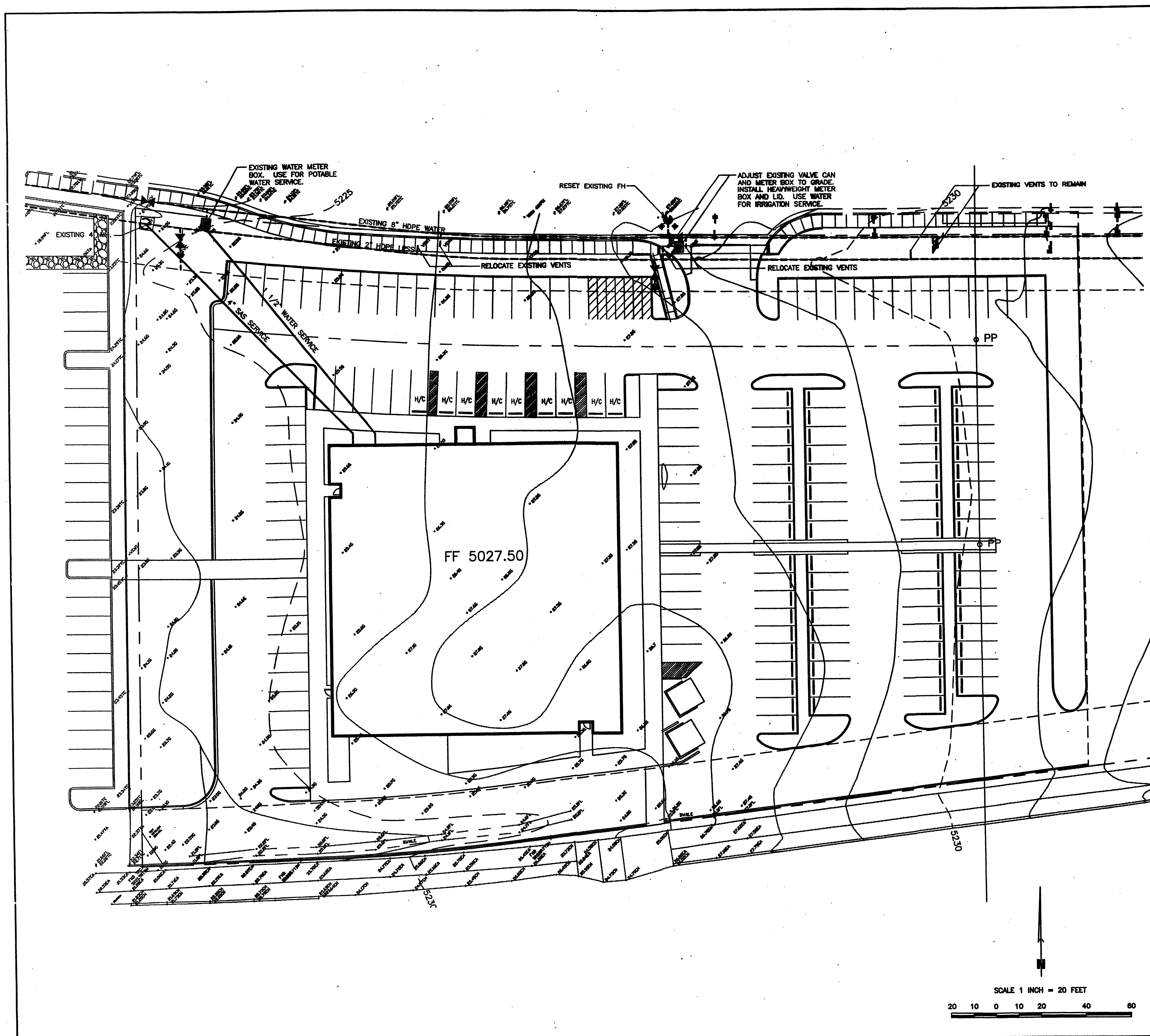
TM OTT / DEVELOPER
6800 VANCE AVE NE, SUITE G
ALBUQUERQUE, NM 87109
(505) 880-4676

BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505) 823-1544 FAX (505) 821-9105

Project Name

NEW MEXICO OFFICE OF THE STATE ENGINEER
THE STRATCO BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.



VICINITY MAP NO. E-18

LEGAL DESCRIPTION
LOTS 2 & 3, J SUBDIVISION

PERMANENT BENCHMARK
ACS 18-E18 ELEVATION 5066.689 (NGVD 1929)

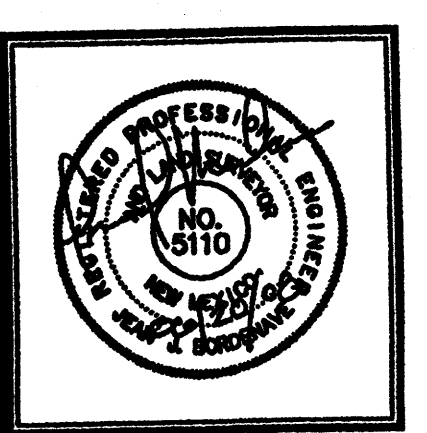
UTILITY NOTES

1. WATER, SANITARY SEWER, STORM DRAIN, POWER, GAS AND COMMUNICATIONS ARE AVAILABLE TO THE SITE AT ITS BOUNDARY OR IN A SHORT DISTANCE WITHIN THE SUBDIVISION BOUNDARY. NO OFFSITE (OUTSIDE THE SUBDIVISION BOUNDARY) CONSTRUCTION WILL BE REQUIRED.
2. COORDINATION OF FACILITY CONSTRUCTION MAY BE MADE THROUGH THE FOLLOWING:
WATER AND SANITARY SEWER - ABOQUIVA
POWER AND GAS - PUBLIC SERVICE CO. OF NEW MEXICO
TELEPHONE - QWEST
CABLE - COMCAST

LEGEND

TM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
(Dashed line)	FEMA FLOODPLAIN BOUNDARY
(Dotted line)	DRAINAGE BASIN BOUNDARY
(Solid line)	EROSION SETBACK LINE
(Thin solid line)	EXISTING CONTOUR
(Thick solid line)	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
● XX.XX	PROPOSED SPOT ELEVATION
— XX.XX	RECORD SPOT ELEVATION

SCALE 1 INCH = 20 FEET



JOB NO.
DATE: 18 JUNE, 2008
REVISIONS

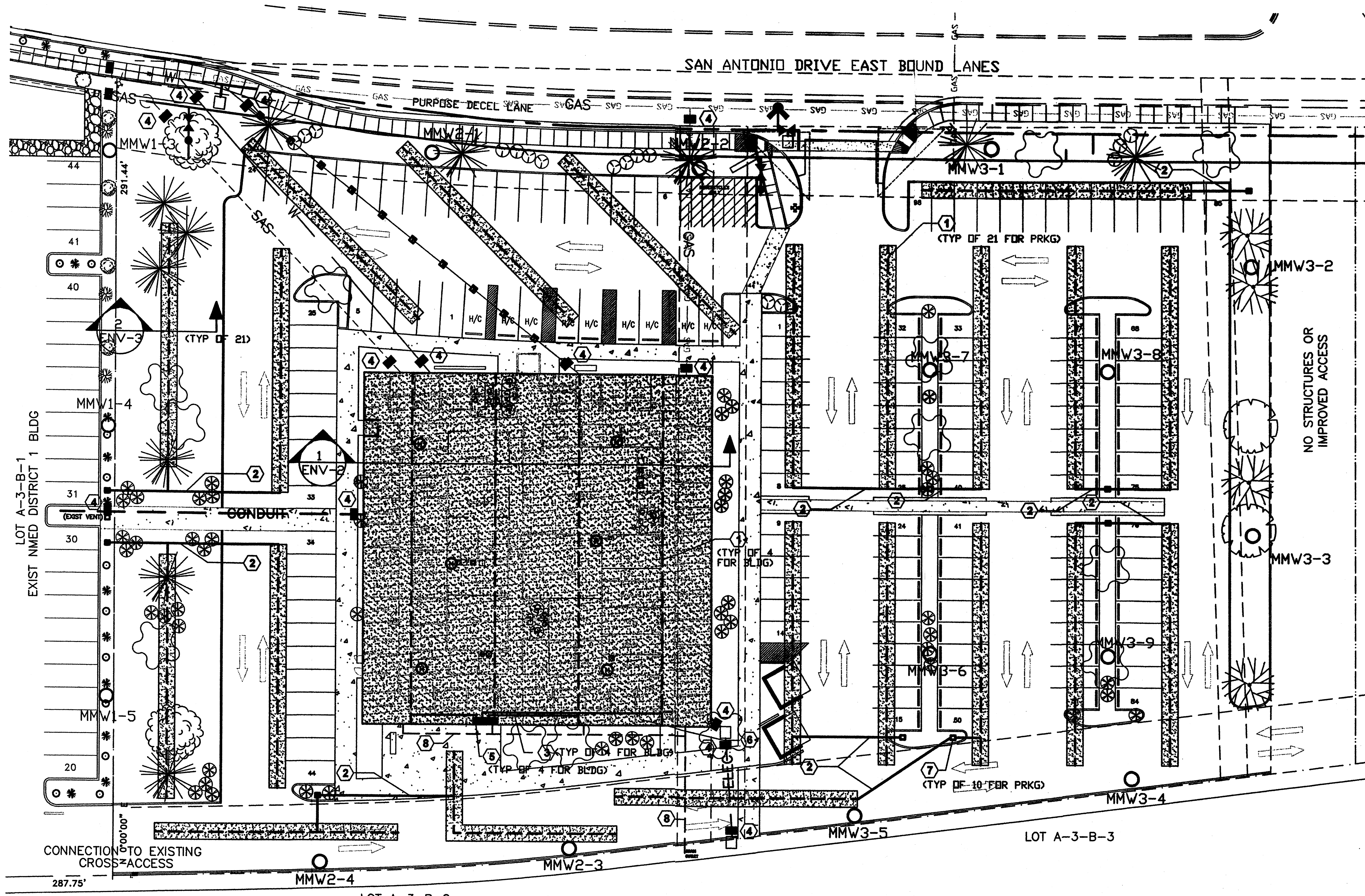
Sheet Title
CONCEPTUAL UTILITY PLAN
Checked By: JB
Drawn By: KEM

TM/DTI / DEVELOPER
6800 VANCE AVE. SUITE G
ALBUQUERQUE, NM 87105
(505) 253-4676

BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505) 823-1344 FAX (505) 821-9105

Project Name
**NEW MEXICO OFFICE OF THE STATE ENGINEER
ALBUQUERQUE BUILDING**
ALBUQUERQUE, NEW MEXICO

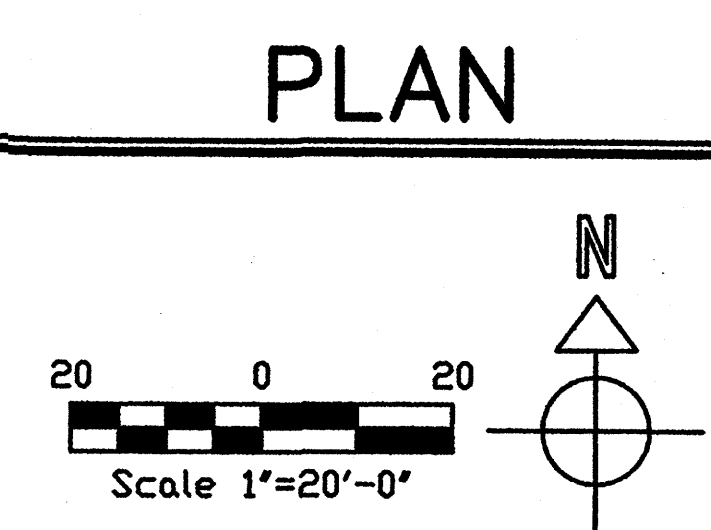
SHEET NO.



- GENERAL NOTES**
1. BASE SITE PLAN BY 1888 LLC - OWNER.
 2. BASE FLOOR PLAN OF BUILDING PROVIDED BY OWNER.
 3. LOCATIONS OF UTILITIES PROVIDED BY OWNER.
 4. ALL PENETRATIONS THROUGH THE BASE LEVEL CONCRETE SHALL BE PER (1).
 5. THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.
 6. ALL PIPING AND FITTINGS FOR PARKING AND BUILDING VENT SYSTEMS TO BE GLUED AT CONNECTIONS.
 7. IN AREAS UNDERLAIN BY REFUSE (INCLUDES ALL AREAS WITHIN THE SITE BOUNDARIES), ONLY NATIVE, DROUGHT-TOLERANT PLANT SPECIES THAT DO NOT REQUIRE IRRIGATION SHALL BE PLANTED DIRECTLY IN TO THE GROUND. LAWNS REQUIRING IRRIGATION SHALL NOT BE USED. SHADE TREES SHALL BE PLACED IN SEALED-BOTTOM PLANTERS PER (1) OR (2).
 8. SANITARY SEWER (SAS), WATER, AND GAS UTILITY LINES OVERLYING BURIED WASTE SHALL INCORPORATE FLEXIBLE COUPLINGS AT JOINTS; COUPLINGS TO BE APPROVED BY LFG ENGINEER.

- KEYED NOTES**
1. 6" DIA PERFORATED SCH 40 PVC LFG VENT PIPE.
 2. 6" DIA SOLID SCH 40 PVC LFG VENT PIPR FOR PARKING AREA VENT SYSTEM. USE FITTINGS AS NECESSARY TO CONNECT PERFORATED PIPE TO SOLID PIPE AND TURBINE VENT.
 3. 6" DIA SOLID SCH 40 PVC LFG VENT PIPE FOR BUILDING VENT SYSTEM. USE FITTINGS AS NECESSARY TO CONNECT PERFORATED PIPE TO SOLID PIPE. VENT PIPE RISERS TO BE INSTALLED INSIDE THICKENED SECTION OF EXTERIOR WALL TO TURBINE VENTS MOUNTED ON THE ROOF.
 4. UTILITY TRENCH BENTONITE PLUG AND VENT (SEE (1)).
 5. TURBINE VENTILATION FAN (SEE SHEET ENV.2, SECTION A, KEYED NOTE 4).
 6. VENTING LAYER TO EXTEND BENEATH ENTIRE BUILDING FOOTPRINT (SEE (1) FOR TYPICAL SECTION).
 7. LFG VENTING LAYER OUTLET FOR PARKING AREAS (SEE (1)). NOTE: UP TO 3 OUTLETS FOR INDIVIDUAL VENTING LAYERS FOR PARKING AREAS MAY BE MANFOLDED INTO A SINGLE OUTLET AT THE DISCRETION OF THE OWNER.
 8. BURIED DRAINAGE PIPE FROM ROOF DRAINS

- LEGEND**
- TURBINE VENTILATION FAN MODEL BEB-12 OR BEB-12 (LOMANCO INC. 1-800-643-5596) OR APPROVED ALTERNATE SEE SHEET ENV-2 FOR DETAIL
 - Ⓜ METHANE SENSORS (S) BY CEA INSTRUMENTS, INC. (1-201-967-5960), SERIES "U", OR APPROVED ALTERNATE. SENSORS TO BE PLACED ALONG BASEBOARD APPROXIMATELY AT LOCATION SHOWN ON DRAWING. SENSOR RESPONSE SHALL BE AS DESCRIBED IN OPERATIONS, MAINTENANCE AND MONITORING PLAN (OMMP). SENSORS SHALL BE LINKED DIRECTLY TO ALARMED DATA LOGGER AS DESCRIBED IN OMMP.
 - MMW2-4 PROPOSED PERMITTER METHANE MONITORING WELL AND NUMBER. MONITORING WELL LOCATIONS MAY BE ADJUSTED SLIGHTLY TO ACCOMMODATE SITE FEATURES. (SEE (1) FOR TYPICAL SECTION).
 - MMW1-5 EXISTING PERMITTER METHANE MONITORING WELL AND NUMBER FOR ADJACENT NIMED BUILDING WEST OF STATE ENGINEER BUILDING.



JOB NO.	07-18
DATE	08 Aug 08
REVISIONS	
1	

TM OTT / DEVELOPER
 PO BOX 8888
 ALBUQUERQUE, NM 87108
 (505) 263-4975

MICHAEL DEL MASTRO / ARCHITECT
 708 DEL MONTE RD. NE
 ALBUQUERQUE, NEW MEXICO 87110
 (505) 263-4975

OFFICE OF THE STATE ENGINEER BUILDING

ENV-1 LFG ABATEMENT SYSTEM PLAN

ISBS LLC

Lawrence Earth Engineering
 4500 Glenwood Hills NE
 Albuquerque, NM 87111
 Phone: 505-264-7227 Fax: 505-264-7712



JOB NO:	07-18
DATE:	08 Aug 08
REVISIONS	
1	

TM OTT / DEVELOPER
 PO BOX 50881
 ALBUQUERQUE, NM 87776
 (505) 250-4676
MICHAEL DEL NASTRO / ARCHITECT
 708 DELWOOD RD. NE / SUITE 200-2000
 ALBUQUERQUE, NEW MEXICO 87110

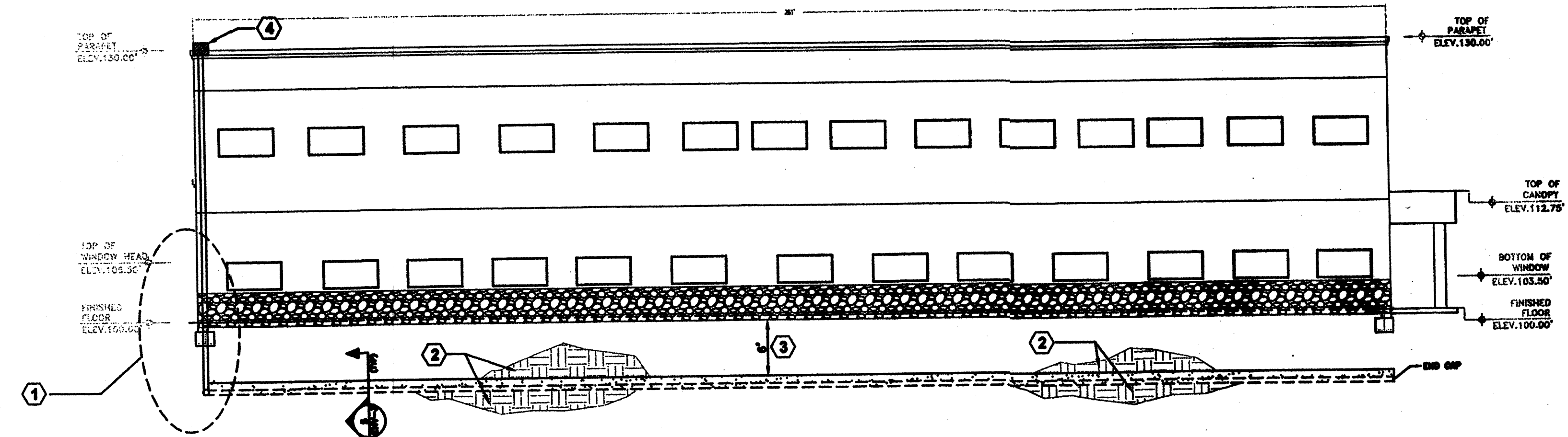
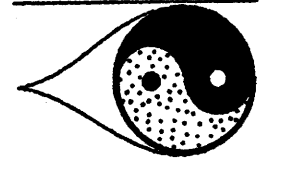


OFFICE OF THE STATE ENGINEER BUILDING
ENV-2 LFG ABATEMENT SYSTEM ELEVATIONS AND SECTION A

ISBS LLC

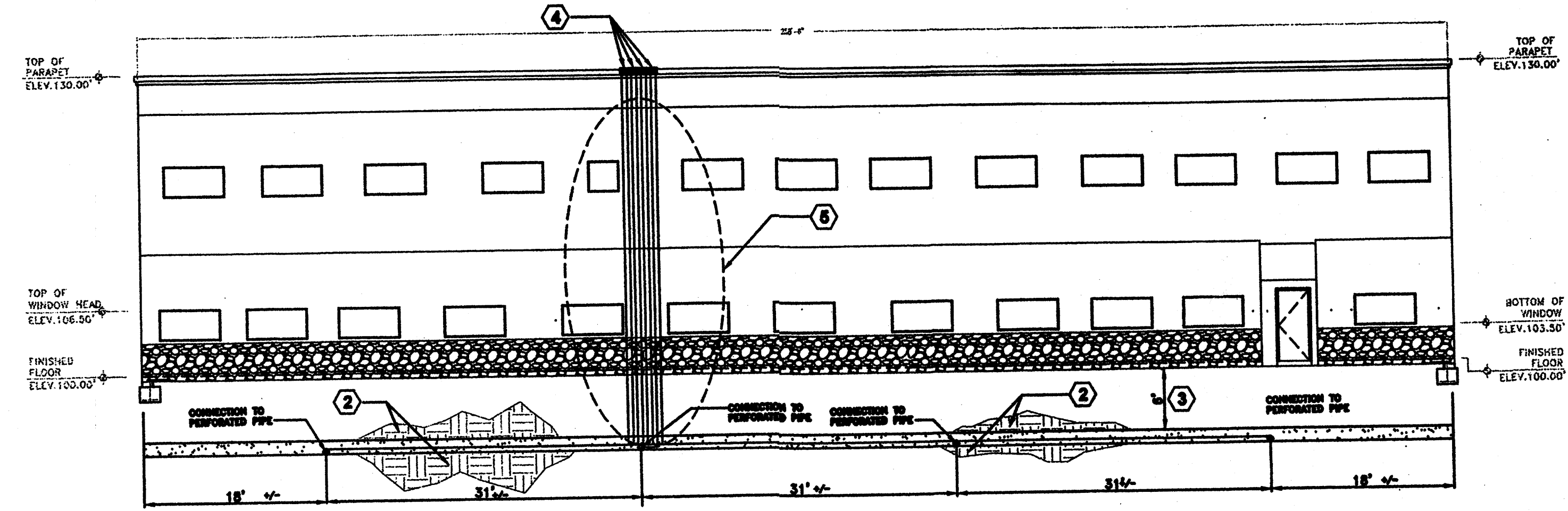
Drawing File: C:\Program Files\ISBS\CONSTRUC\A.dwg
 Date: 08 AUG 08
 Drawn By: LMC
 Design By: LMC

LAWRENCE EARTH ENGINEERING
 4500 Glenwood Hills NE
 Albuquerque, NM 87111
 Phone 505-294-7227 Fax 505-294-7712



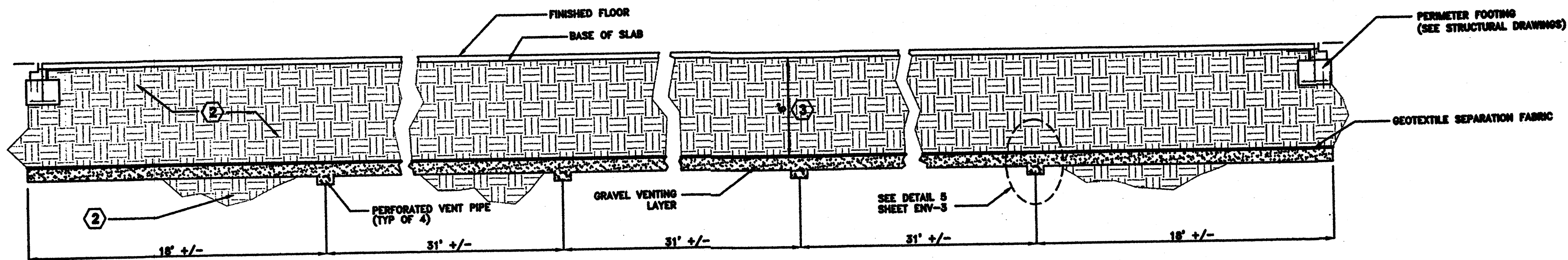
EAST ELEVATION

Scale 1" = 10'



SOUTH ELEVATION

Scale 1" = 10'



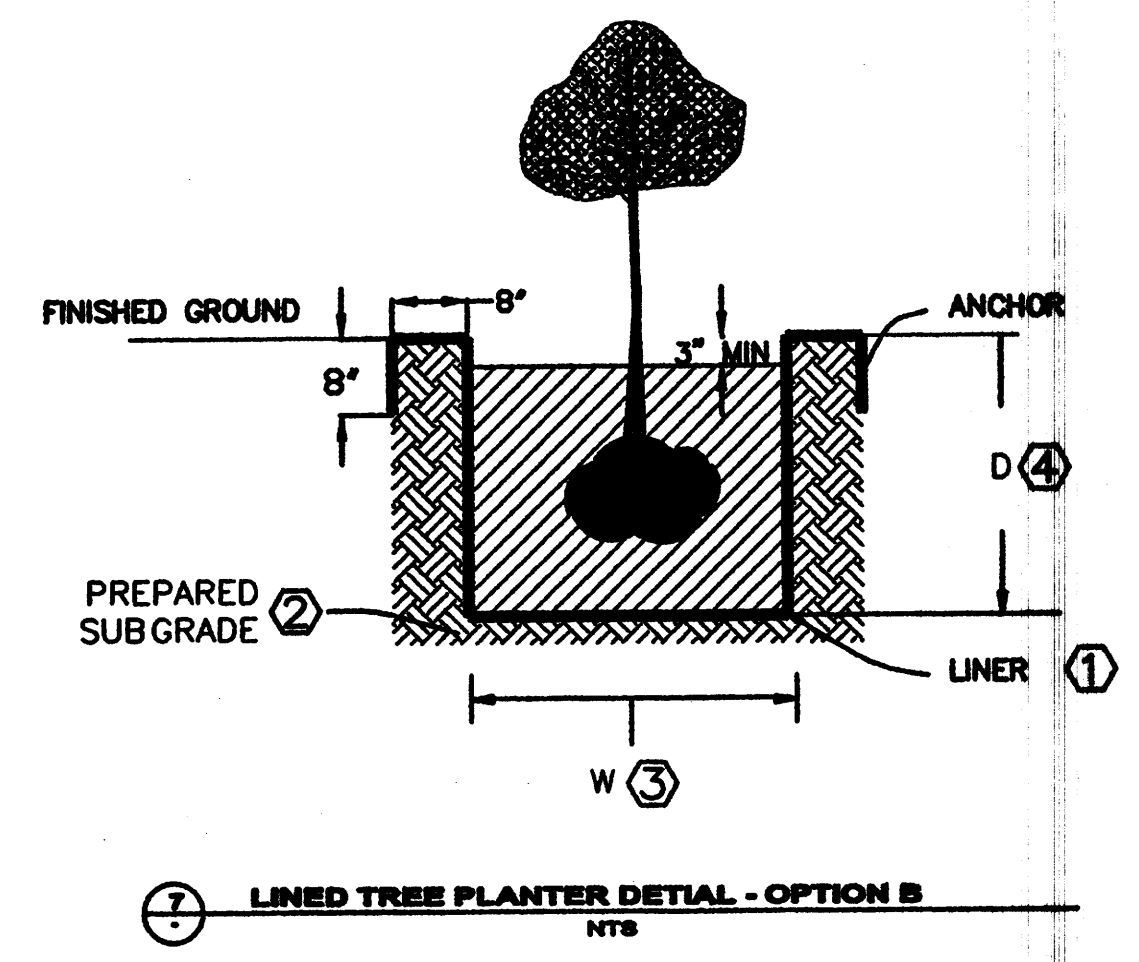
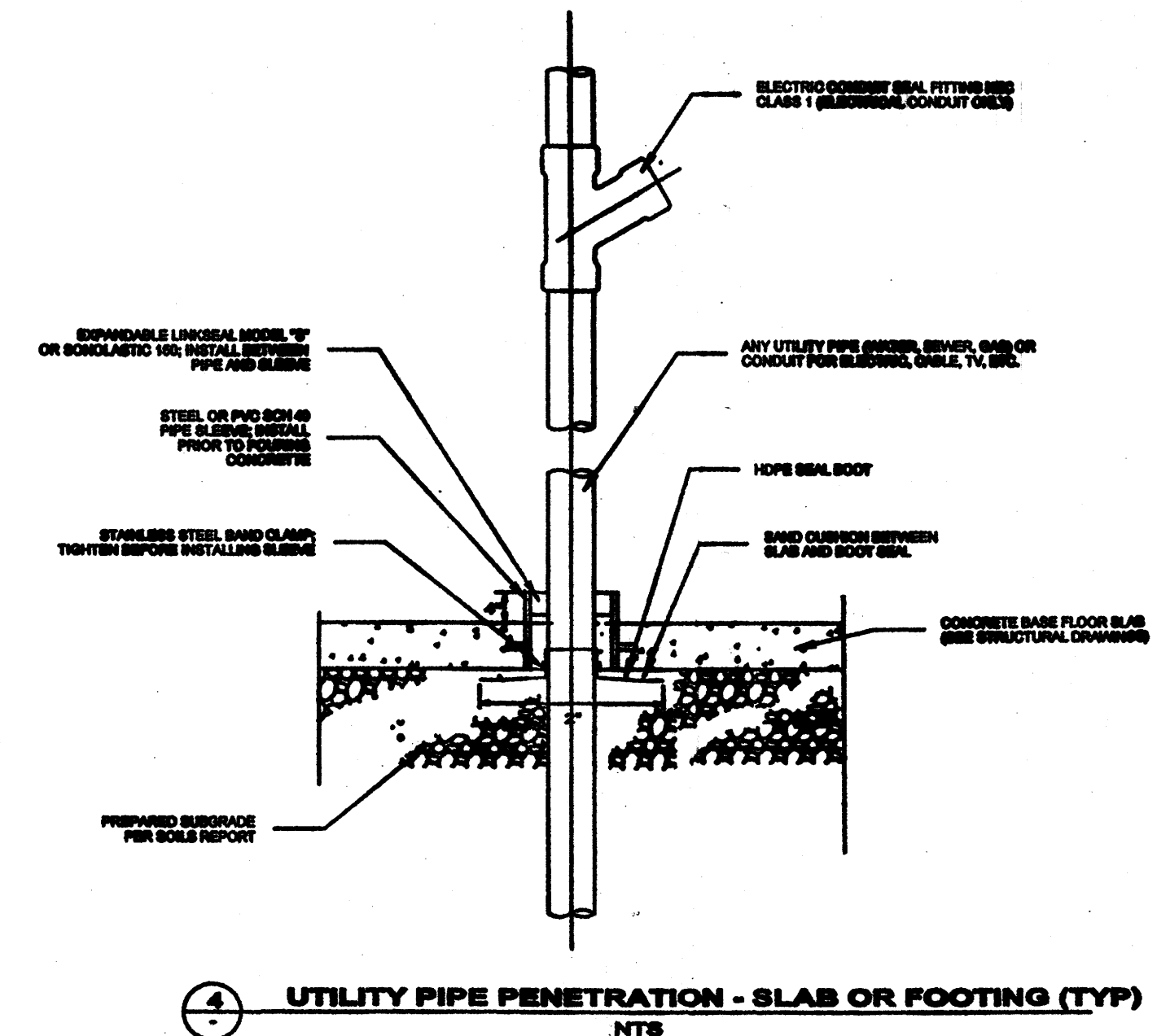
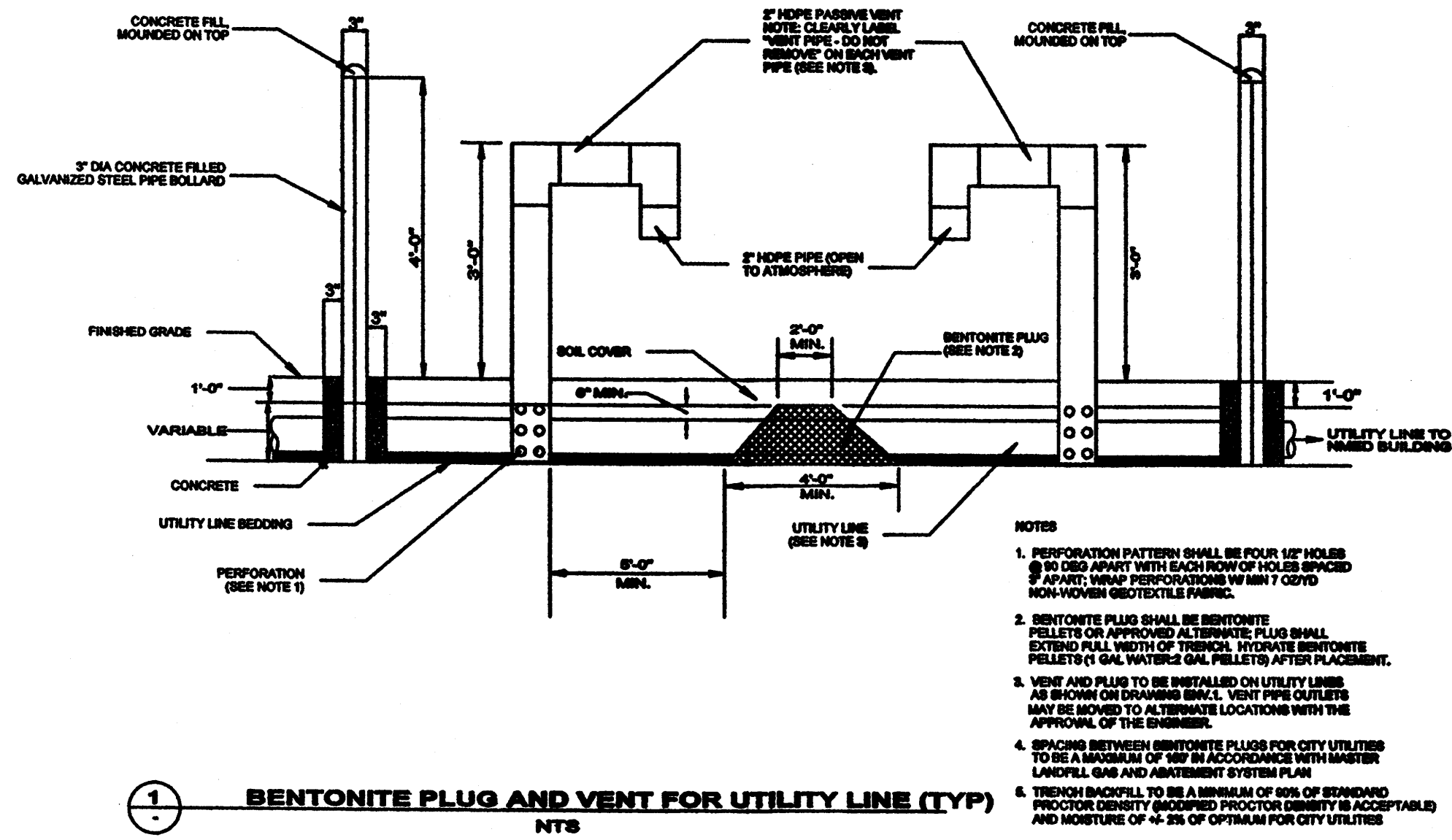
SECTION A
Scale 1" = 5'

GENERAL NOTES

- ELEVATION BASE BY ISBS LLC - OWNER.
- ALL PENETRATIONS THROUGH THE BASE LEVEL CONCRETE SHALL BE PER (1).
- ALL PIPING AND FITTINGS FOR PARKING AND BUILDING VENT SYSTEM TO BE GLUED AT CONNECTIONS.

KEYED NOTES

- USE FITTINGS AS REQUIRED TO CONNECT 6" PVC RISER PIPES TO 6" PVC PERFORATED VENT PIPES. RISERS TO PENETRATE CONCRETE FOOTING AND STEMWALL. PENETRATIONS THROUGH FOOTINGS AND STEMWALL SHALL BE SEALED SIMILAR TO (1). STRUCTURAL ENGINEER TO VERIFY INTEGRITY OF FOOTING AND STEMWALL AT PENETRATIONS.
- PLACE AND COMPACT FILL IN ACCORDANCE WITH SOILS REPORT. SOILS TO BE COMPACTED TO REQUIRED DENSITY AT 0 TO 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT BETWEEN BASE OF WASTE EXCAVATION AND BASE OF VENTING LAYER, AND BETWEEN TOP OF VENTING LAYER AND BASE OF SLAB.
- 6" SEPARATION DISTANCE BETWEEN BASE OF SLAB AND TOP OF GRAVEL VENTING LAYER (GEOTEXTILE SEPARATION FABRIC).
- TURBINE VENTILATION FAN MODEL BEB-12 OR BIB-12 (LOMANCO INC. 1-800-643-5598) OR APPROVED ALTERNATE. TOP OF VENTILATION FANS TO STICK UP MINIMUM OF 6 INCHES ABOVE TOP OF PARAPET. VENTILATION FANS TO BE SPACED MINIMUM OF 6 INCHES APART (EDGE TO EDGE). SEE SHEET A-18 FOR ROOF VENT DETAILS.
- RISER PIPES INSIDE CHASE OR WALL SHALL BE PROTECTED FROM PUNCTURE BY NAILS OR SCREWS BY COVERING RISERS WITH MINIMUM 12 GAGE GALVANIZED METAL SHEETING. ALSO REFER TO (1). SEE SHEET A-18 FOR ROOF VENT DETAILS.



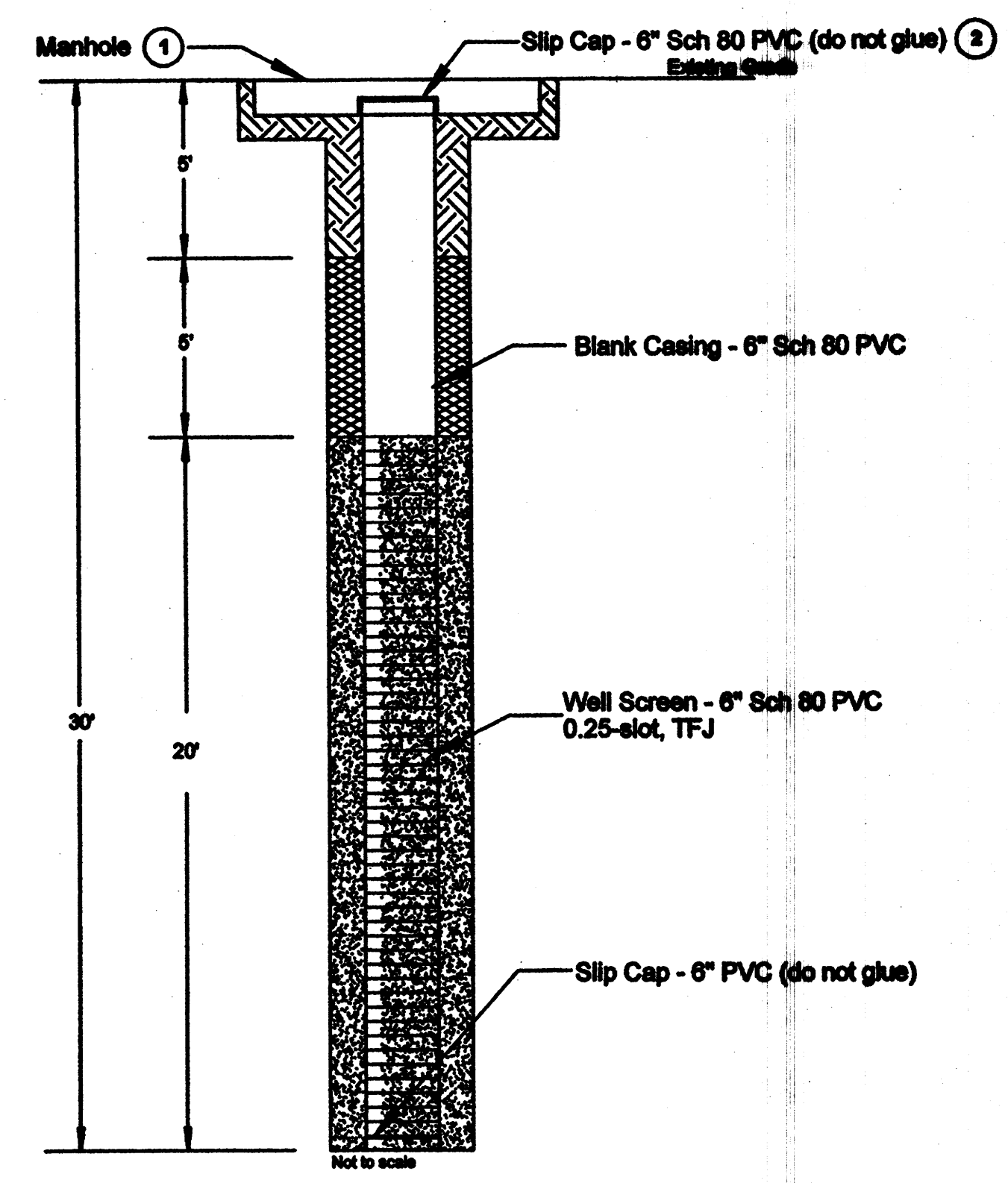
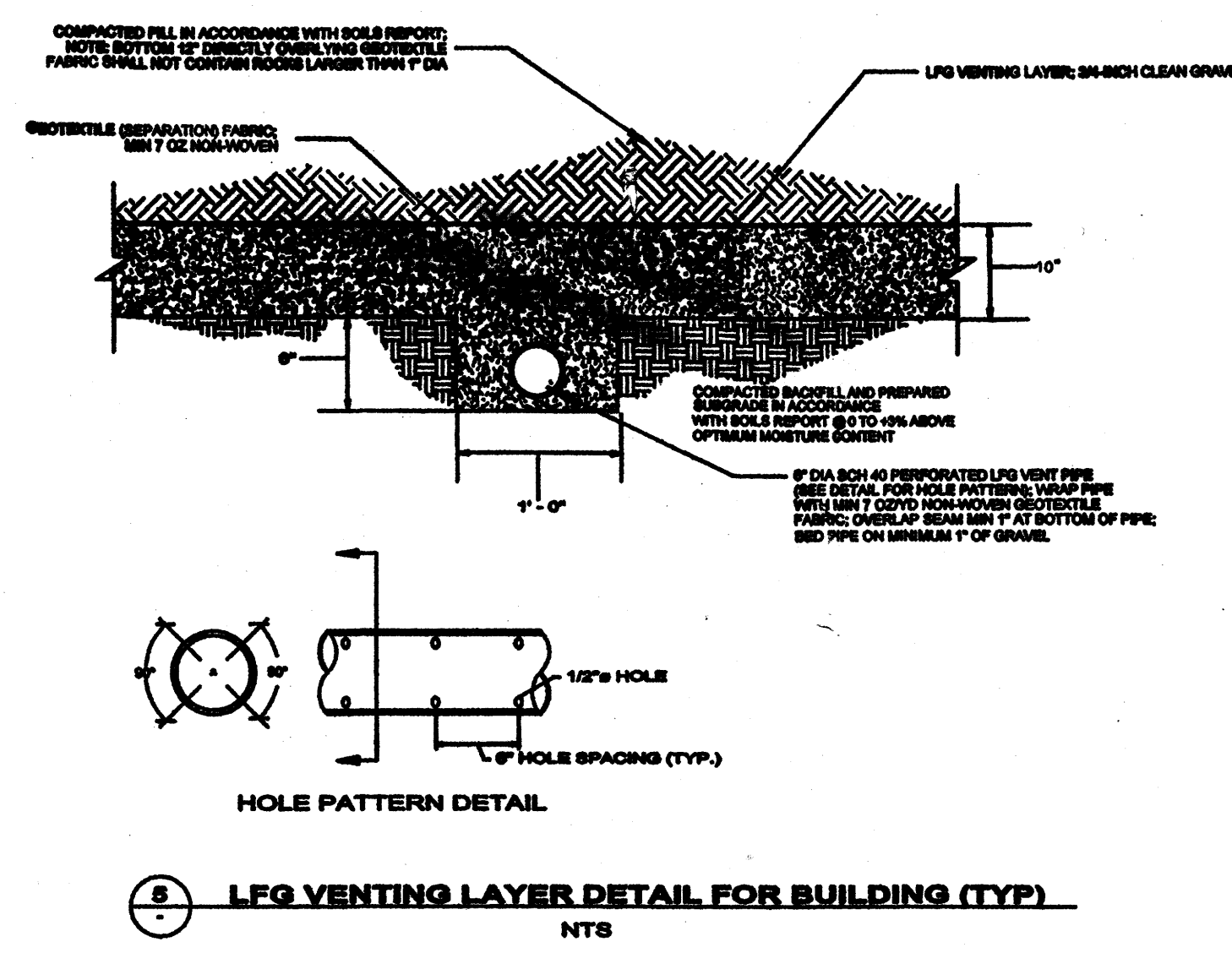
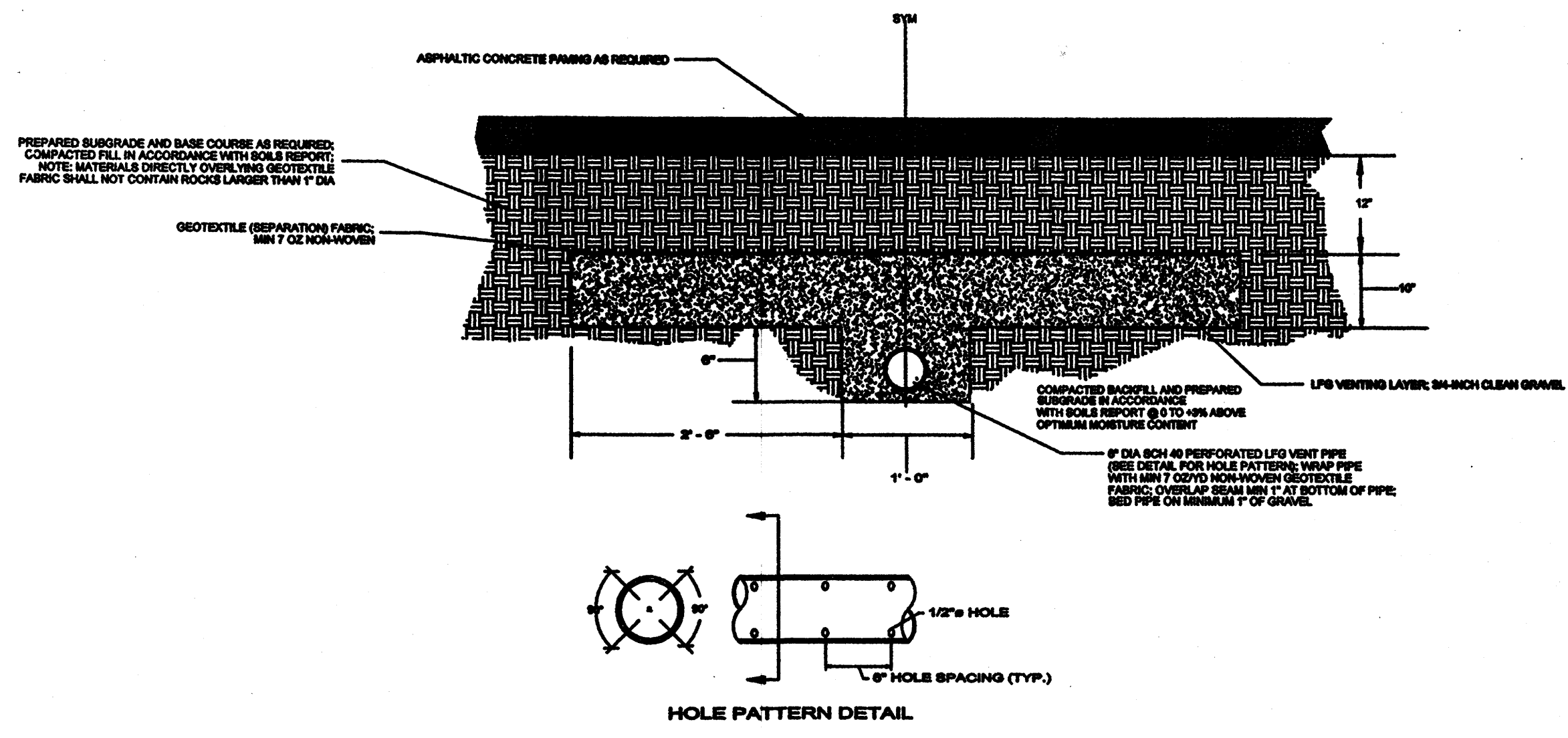
KEYED NOTES:

① - PLANTER LINER: 45-mil THICK EPDM. NO SEAMS INSIDE PLANTER. PREPARE SIDES OF EXCAVATION PRIOR TO PLACEMENT OF LINER BY REMOVING ALL SHARP OR PROTRUDING OBJECTS SUCH AS ROCKS, ROOTS, STICKS, DEBRIS, OR OTHER OBJECTS THAT COULD PUNCTURE LINER.

② - PREPARE SUBGRADE BENEATH LINER BY COMPACTING UPPER 12\"/>

③ - PLANTER WIDTH IS DETERMINED BY LANDSCAPE CONTRACTOR/PROFESSIONAL, BUT NOT TO EXCEED 72 INCHES.

④ - PLANTER DEPTH AS DETERMINED BY LANDSCAPE CONTRACTOR/PROFESSIONAL, BUT NOT TO EXCEED 36 INCHES.



LEGEND

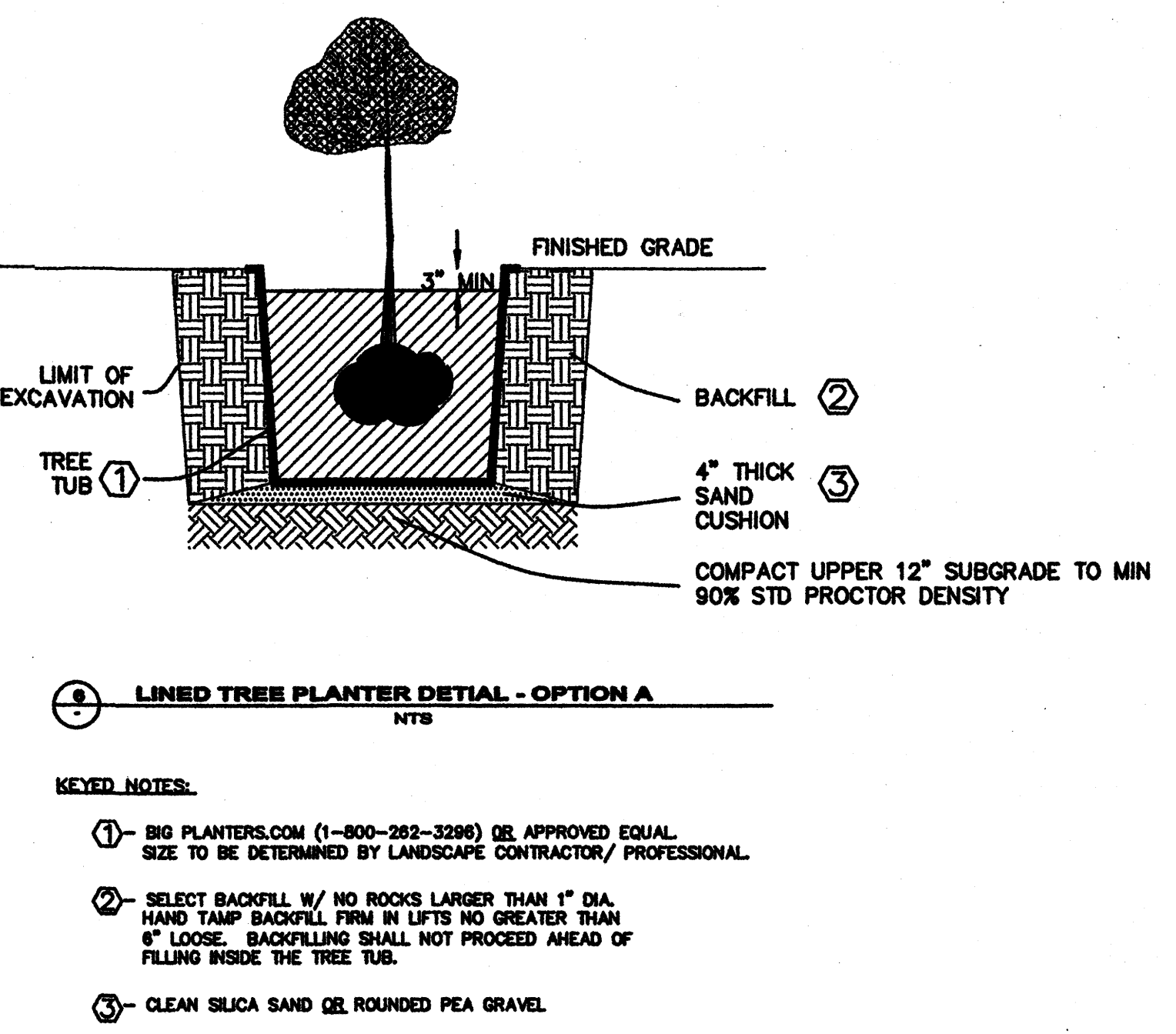
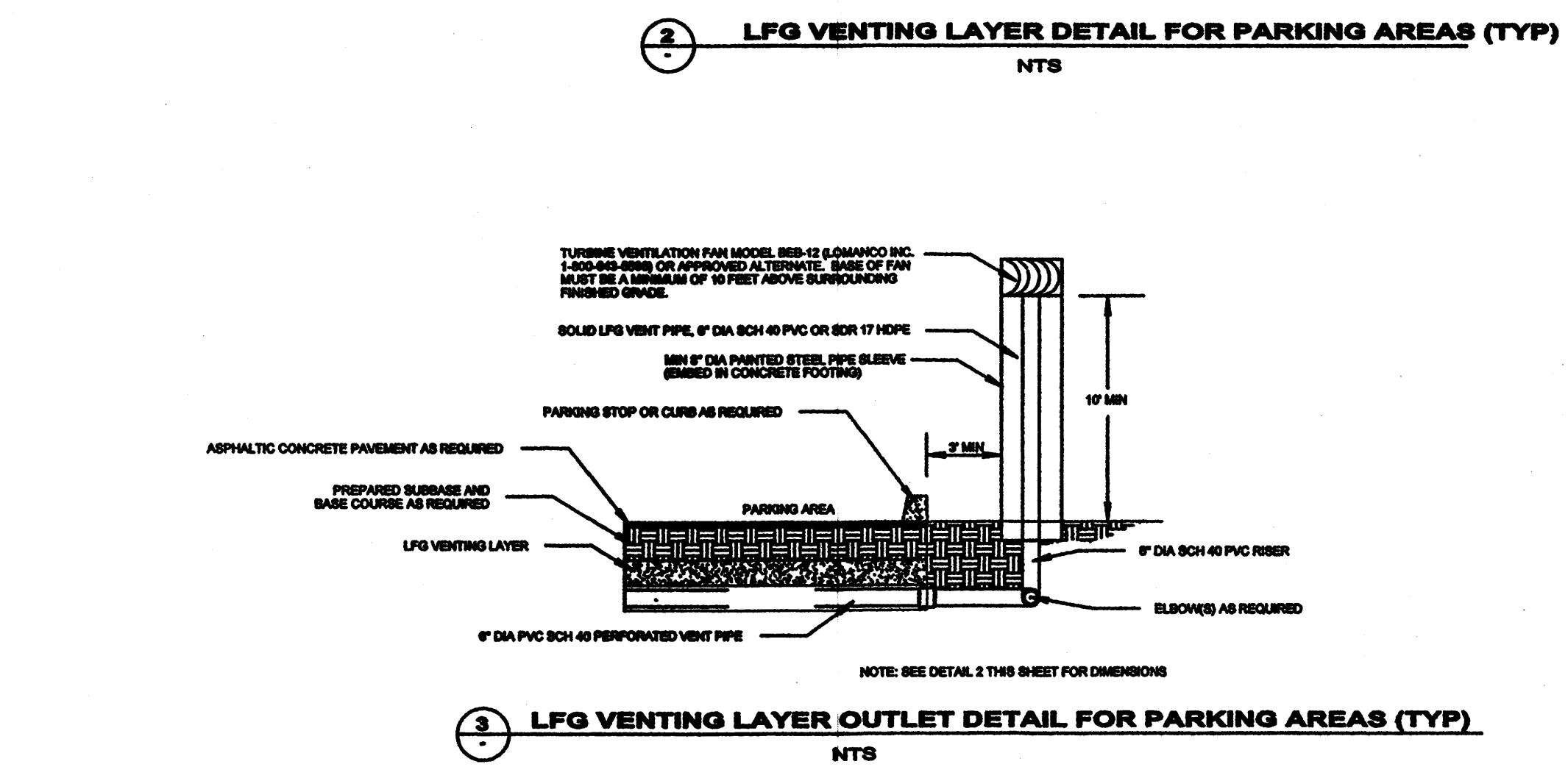
- Clean soil backfill
- 1/4\"/>
- 1\"/>

NOTES

① Morrison MM418XA12X12 (12\"/>

② Owner to equip cap with quick-disconnect adapter - Cole Parmer cat no. A-6369-81

Blank well casing shall be 6\"/>



KEYED NOTES:

① - BIG PLANTERS.COM (1-800-262-3296) OR APPROVED EQUAL SIZE TO BE DETERMINED BY LANDSCAPE CONTRACTOR/PROFESSIONAL.

② - SELECT BACKFILL W/ NO ROCKS LARGER THAN 1\"/>

③ - CLEAN SILICA SAND OR ROUNDED PEA GRAVEL.



JOB NO.	
DATE:	08 Aug 08
REVISIONS	
1	

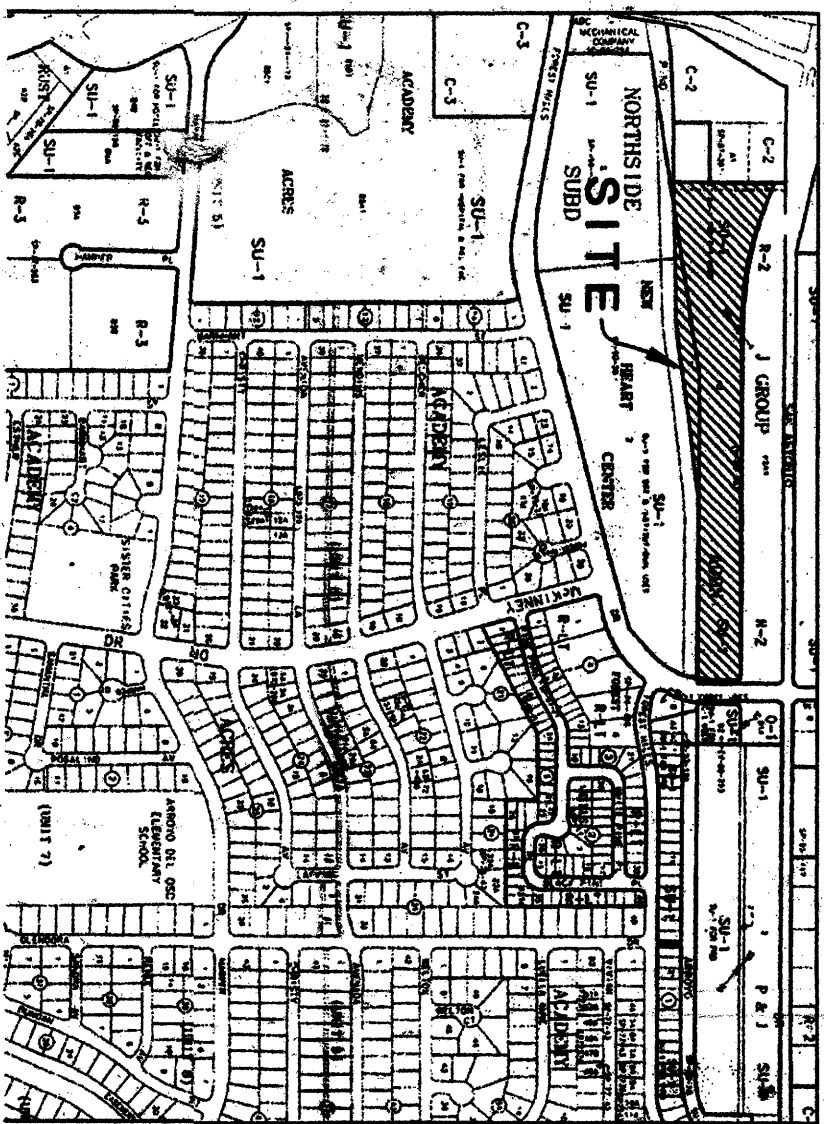
TM OTT / DEVELOPER
 PO BOX 8888
 ALBUQUERQUE, NM 87108
 (505) 263-4675

MICHAEL DEL MARISTO / ARCHITECT
 7008 DELWOOD RD. NE / (505) 889-6889
 ALBUQUERQUE, NEW MEXICO 87109

LAWRENCE EARTH ENGINEERING
 4500 Glenwood Hills NE
 Albuquerque, NM 87111
 Phone: 505-294-7227 Fax: 505-294-7227

OFFICE OF THE STATE ENGINEER BUILDING
 ENV-3 LFG ABATEMENT SYSTEM DETAILS

ISSS, LLC
 Design by: LMC
 Date: 08 AUG 08
 Scale: AS SHOWN



NOTES

- 1) The purpose of this plat is to create seven (7) commercial lots from three (3) existing tracts.
- 2) Bearings shown hereon are New Mexico State Plane Grid bearings, Central Zone (NAD 1927).
- 3) All distances shown are ground.
- 4) Gross acreage = 10.0445 acres.
- 5) Existing tracks:
 1. Proposed tracks: 7.
 2. Unless otherwise indicated, all property corners are monumented by a found rebar with cap stamped "LS 4071". Corners established by this plat are No. 5 rebar with cap stamped "N.M.R.L.S. 7923".
 - 3) City of Albuquerque water and sewer service is currently available to this property. Where applicable, availability should be coordinated with the Public Works Department.
 - 4) This survey shows any easements apparent on the ground, as indicated by the plat of record, those disclosed by owners whose disclosures in a Title Binder prepared for this property by Fidelity National Title Co. (02-3007464-B-MD) dated 12/22/2002. No Title Search was performed by the surveyor.
 - 5) Any underground structures not shown are not a part of this survey.
 - 6) There are no new rights of way created by this plat.
 - 7) Matters of zoning, property covenants and restrictions are not a part of this survey.
 - 8) Tapes Log No. 2003980827.
 - 9) See Master Landfill Gas Evaluation and Abatement System Plan note on sheet 2 regarding gas monitoring wells(s).
 - 10) The twenty-five (25) foot ingress and egress easements as shown hereon are granted for the collective benefit of all owners of Lots 1 thru 7. Individual lot owner(s) are responsible for the maintenance of the portion of said easement lying within said owner(s) individual lot(s).
 - 11) Current zoning is SU-1 B-C-1

UTILITY APPROVALS

Fuel Oil. West 5-10-04
Date

PNM Electric Services 5-10-04
Date

PNM Gas Services 5-10-04
Date

David R. Muller 5-13-04
Date

Rita S. Nichols 5/16/04
Date

PUBLIC UTILITY EASEMENTS

The Public Utility Services for this subdivision, maintenance and service of overhead and underground utility lines, including but not limited to power, gas, water, telephone, cable television, and other utility lines, shall be provided to the property owners by the utility companies. The utility companies shall be responsible for the maintenance and service of these utility lines. The utility companies shall be responsible for the maintenance and service of these utility lines. The utility companies shall be responsible for the maintenance and service of these utility lines.

LEGAL DESCRIPTION

A certain tract of land situate within Projected Section 25, Township 11 North, Range 3 East, N.M.P.M., in the Elsie Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract A-3-B, J GROUP ADDITION, filed in the Office of the Bernalillo County Clerk on 2/27/1998 in Plat Book 98C, Page 51; NEW HEART CENTER, filed in the Office of the Bernalillo County Clerk on 11/11/1991 in Plat Book 91C, Page 246; and Tract 1, NORTHSIDE SUBDIVISION, filed in the Office of the Bernalillo County Clerk on 3/14/1980 in Plat Book 90C, Page 72 and being more particularly described as follows:

BEGINNING at the Northwest corner of the Tract herein described, being the northwest corner of said Tract A-3-B, from whence the N.M.S.H.C. Brass Cap monument STA 1-25-14° bears N 18° 00' 38" W, a distance of 1446.80 feet; Thence, from said point of beginning,

Easterly, 498.25 feet along the arc of a curve bearing to the left having a radius of 1482.00 feet, a central angle of 18° 03' 22" and a chord which bears S 80° 05' 18" E, a distance of 484.01 feet along the southerly line of San Antonio Drive, N.E.; to a point of tangency; Thence,

S 89° 37' 00" E, a distance of 1430.30 feet along said southerly line of San Antonio Drive N.E. to a point of curvature; Thence,

Southeasterly, a distance of 39.27 feet along the arc of a curve bearing to the right having a radius of 26.00 feet, a central angle of 90° 00' 00" and a chord which bears S 44° 37' 00" E, a distance of 35.36 feet to a point of tangency on the westerly line of San Pedro Drive, N.E.; Thence,

S 00° 23' 00" W, a distance of 86.71 feet along said westerly line of San Pedro Drive, N.E., to a point of curvature; Thence,

Southeasterly, a distance of 66.98 feet along the arc of a curve bearing to the right having a radius of 366.80 feet, a central angle of 09° 37' 04" and a chord which bears S 00° 11' 32" W, a distance of 66.87 feet to a non-tangent point on the north line of the right-of-way line for the Pino Arroyo; Thence,

N 89° 39' 30" W, a distance of 694.88 feet along said north line of the Pino Arroyo to a point of curvature; Thence,

Westerly, a distance of 51.23 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 1537.50 feet, a central angle of 01° 54' 33" and a chord which bears S 89° 29' 13" W, a distance of 51.23 feet to a point of compound curvature; Thence,

Westerly, a distance of 50.51 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 797.50 feet, a central angle of 03° 40' 29" and a chord which bears S 89° 38' 41" W, a distance of 50.50 feet to a point of compound curvature; Thence,

Westerly, a distance of 51.23 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 1537.50 feet, a central angle of 01° 54' 33" and a chord which bears S 89° 29' 13" W, a distance of 51.23 feet to a point of tangency; Thence,

S 82° 53' 54" W, a distance of 623.00 feet along said north line of the Pino Arroyo to a point of curvature; Thence,

Westerly, a distance of 39.00 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 1482.50 feet, a central angle of 01° 31' 40" and a chord which bears S 83° 39' 44" W, a distance of 39.00 feet to a point of compound curvature; Thence,

Westerly, a distance of 33.78 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 712.50 feet, a central angle of 02° 42' 54" and a chord which bears S 85° 47' 01" W, a distance of 33.78 feet to a point of compound curvature; Thence,

Westerly, a distance of 39.00 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 1482.50 feet, a central angle of 01° 31' 40" and a chord which bears S 87° 54' 18" W, a distance of 39.00 feet to a point of tangency; Thence,

N 81° 19' 52" E, a distance of 42.62 feet along said north line of said Tract 1, Northside Subdivision, to a point on the westerly line of said Tract A-3-B; Thence,

N 00° 26' 00" E, a distance of 363.82 feet along said westerly line of Tract A-3-B to the northwest corner and point of beginning of the tract herein described and containing 10.0445 acres, more or less.

TREASURER'S CERTIFICATION

This is to certify that taxes are current & paid on UPC # 02160207845420119
Property owners of record: The J Group, a New Mexico Partnership & Corraliza, Sosa & P.
Bernalillo County Treasurer's Office: Melissa M. ... 2/19/04

FREE CONSENT

The land described hereon, identified as LOTS 1 THRU 7, JJ SUBDIVISION is platted with the free consent and in accordance with the wishes and desires of the undersigned owner(s). Said owner(s) do hereby request that they are so authorized to act.

Joseph P. Corraliza 11/04/03
Date

Joseph P. Corraliza 11/04/03
Date

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me by Joseph P. Corraliza, partner for the J Group, a New Mexico Partnership, this 4th day of NOVEMBER, 2003.

By Joseph P. Corraliza Notary Public
My Comm. Expiration: 10-11-06

INDEXING INFORMATION FOR COUNTY CLERK

OWNERS: The J Group, a New Mexico Partnership
LOCATION: PROJECTED SECTION 25 TOWNSHIP 11 NORTH RANGE 3 EAST
NAME: LOTS 1 THRU 7 JJ SUBDIVISION

PLAT OF

LOTS 1 THRU 7 JJ SUBDIVISION

BEING A REPLAT OF TRACT A-3-B, J GROUP ADDITION, TRACT 1, NEW HEART CENTER & TRACT 1, NORTHSIDE SUBDIVISION

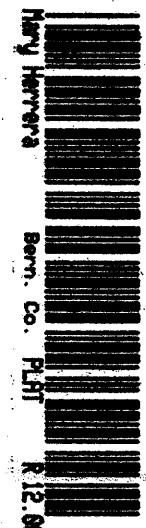
WITHIN PROJECTED SECTION 25 TOWNSHIP 11 NORTH, RANGE 3 EAST NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO

NOVEMBER 2003 SHEET 1 OF 2

DISCLOSURE STATEMENT

The purpose of this plat is to create seven (7) lots from three (3) existing tracts.



CITY APPROVALS

Steven M. ... 5/19/04
DRB Chairperson, Planning Department

... 11-04-2003
Date

... 5-19-04
Date

... 5-19-04
Date

... 5/20/04
Date

... 5/19/04
Date

... 5/20/04
Date

... 5/20/04
Date

SURVEYOR'S CERTIFICATION

I, Christopher J. Dahler, New Mexico Registered Land Surveyor No. 7923 hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey, shows all easements of record made known to me by the owners, utility companies and Fidelity National Title Co. (02-3007464-B-MD), meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and the Minimum Standards for Land Surveys in New Mexico and is true and correct to the best of my knowledge and belief.

Christopher J. Dahler 11/03/03
Date

MASTER LANDFILL GAS EVALUATION AND ABATEMENT SYSTEM PLAN NOTE

As a condition to this Subdivision Plat approval by the City, owner, its successors and assigns covenants and agrees to install a landfill gas monitoring well(s) and extraction system on the property, pursuant to that certain Master Landfill Gas Evaluation and Abatement System Plan for the proposed Subdivision at I-35 and San Antonio Boulevard. Lots A-3-B1 thru 7 (now known as Lots 1 thru 7, JJ Subdivision, Albuquerque, New Mexico, dated July 16, 2003 prepared by Lawrence Earth Engineering, Larry M. Coons, P.E. (the "Master Landfill Gas Evaluation and Abatement System Plan") and incorporated herein by reference. The landfill gas monitoring well (s) and extraction system shall be installed on a lot by lot basis as defined in the Master Landfill Gas Evaluation and Abatement System Plan for any individual lot at the time of and as a condition to Site Development Plat approval, Design Review approval by the City's Design Review Committee or building permit approval, whichever occurs sooner.

The obligation of the owner, its successors and assigns of an individual lot to install landfill gas monitoring well (s) and extraction system shall include the obligation to monitor well(s) on a periodic basis as approved by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan on file at the City's Environmental Health Department and incorporated herein by reference and initiating the start up, operation and maintenance of the extraction system, as required by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan.

This paragraph shall in its entirety constitute a covenant running with the title to each individual lot of the property as shown on this Plat shall be binding on the owner, its successors and assigns of each individual lot for the benefit of the City until terminated.

(Above language by Assistant City Attorney, City of Albuquerque)

PLAT OF

LOTS 1 THRU 7
JJ SUBDIVISION

BEING A REPLAT OF TRACT A-3-B, J GROUP ADDITION,
TRACT 1, NEW HEART CENTER & TRACT 1, NORTHSIDE SUBDIVISION

WITHIN PROJECTED SECTION 25
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN

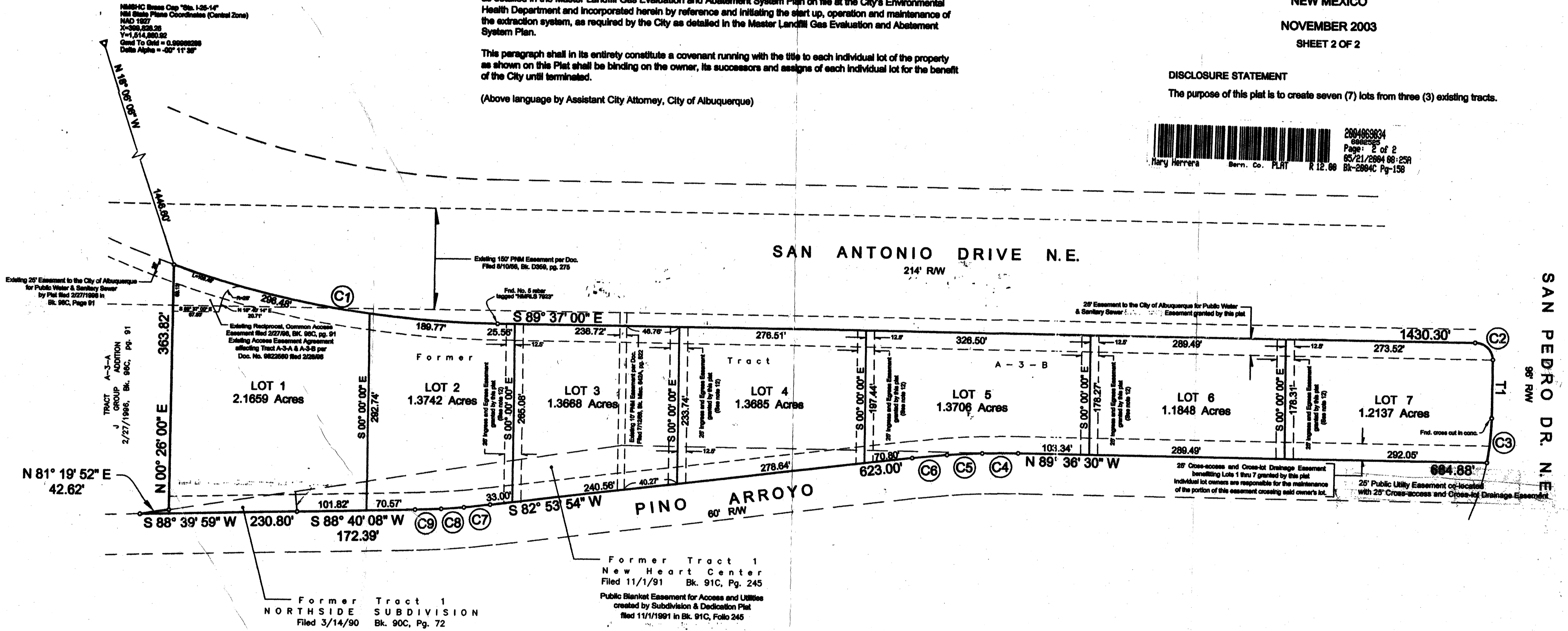
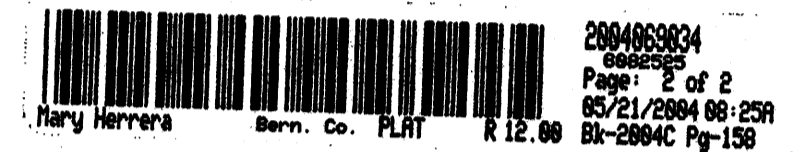
CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO

NOVEMBER 2003

SHEET 2 OF 2

DISCLOSURE STATEMENT

The purpose of this plat is to create seven (7) lots from three (3) existing tracts.



CURVE	LENGTH	RADIUS	DELTA	CHORD DIST.
C1	486.25'	1462.00'	19° 03' 22"	484.01'
C2	39.27'	25.00'	90° 00' 00"	35.36'
C3	66.96'	398.90'	09° 37' 04"	66.87'
C4	51.23'	1537.50'	01° 54' 33"	51.23'
C5	50.51'	787.50'	03° 40' 29"	50.50'
C6	51.23'	1537.50'	01° 54' 33"	51.23'
C7	39.00'	1462.50'	01° 31' 40"	39.00'
C8	33.76'	712.50'	02° 42' 54"	33.76'
C9	39.00'	1462.50'	01° 31' 40"	39.00'

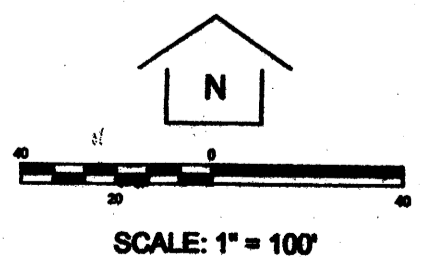
TANGENT	BEARING	DISTANCE
T1	S 00° 23' 00" W	86.71'

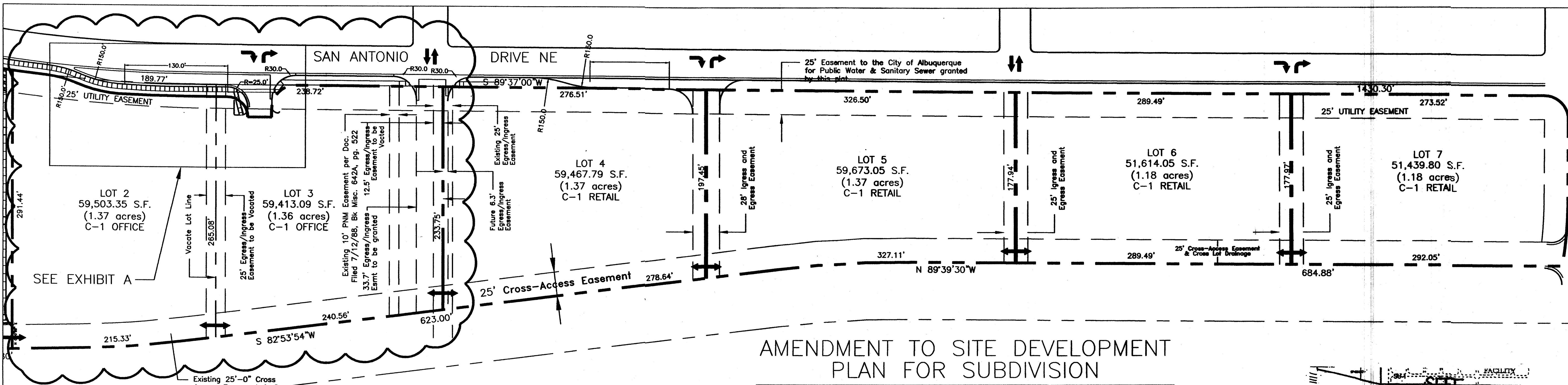


SURVEYOR'S CERTIFICATION

I, Christopher J. Dehler, New Mexico Registered Land Surveyor No. 7923 hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey, shows all easements of record made known to me by the owners, utility companies and Fidelity National Title Co. (02-3007464-B-MD), meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and the Minimum Standards for Land Surveys in New Mexico and is true and correct to the best of my knowledge and belief.

Christopher J. Dehler
N.M.R.L.S. No. 7923
Date: 11/03/03





AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

Scale 1" = 50'-0"

LEGAL DESCRIPTION

LOTS 2 THRU 7
JJ SUBDIVISION

BEING A REPLAT OF TRACT A-3-B,
J GROUP ADDITION, TRACT 1,
NEW HEART CENTER & TRACT 1,
NORTHSIDE SUBDIVISION

WITHIN PROJECTED SECTION 25
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
ZONING: SU-1 FOR C-1 USES

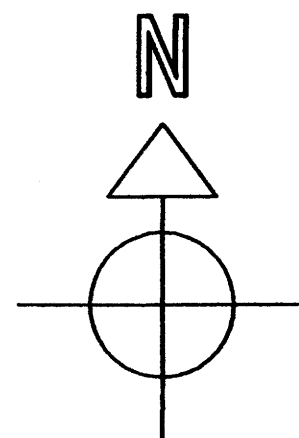
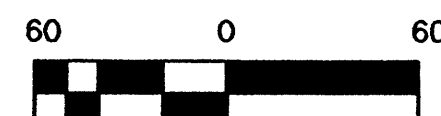
CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO

NOTES: LOTS 2 & 3

BUILDING HEIGHT NOT TO EXCEED 34 FT.
MAXIMUM FLOOR-AREA RATIO: 30.0%
BUILDING MINIMUM SETBACKS:
FRONT: 25.0 FT.
SIDE: 5.0 FT.
REAR: 5.0 FT.

TRAFFIC FLOW NOTES

- TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- RIGHT TURN ONLY INTO LOT
- RIGHT TURN ONLY OUT OF LOT
- TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW



GENERAL DESIGN CRITERIA:

1. ALL STRUCTURES ON LOTS SHALL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
2. DESIGN OF BUILDING SHALL BE COMPATIBLE STYLES, MATERIALS AND COLORS THROUGHOUT LOTS 2 - 7.
3. PARKING SHALL NOT EXCEED THE REQUIRED PLUS 10%.
4. ACCESSIBLE (ADA) COMPLIANT PARKING SHALL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY. REQUIRED PARKING SHALL BE DISTRIBUTED ON AT LEAST TWO SIDES OF A BUILDING.
5. ALL SIDEWALKS SHALL HAVE A MINIMUM OF 6 FEET CLEAR WALKWAY AREA PROTECT BY PERMANENT CAR STOPS.
6. FRONT ENTRY SIDEWALK AREAS SHALL BE COVERED OR SHADED BY TREES.
7. ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS AND THRU VEHICULAR AREAS.
8. PATIO AREAS FOR EMPLOYEES SHALL BE PROVIDED AND SHADED.
9. BICYCLE RACKS SHALL BE PROVIDED PER COA CODE.
10. ALL LANDSCAPING SHALL BE PER COA CODE. NO GREATER THAN 20% OF LANDSCAPED AREA SHALL BE HIGH WATER USE AND ALL APPLICABLE WATER CONSERVATION MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION SHALL BE ADHERED TO. PLANTS SHALL BE CLUSTERED TO ALLOW WATER HARVESTING. CLUSTERING WILL CONCENTRATE GROUND COVERAGE IN PLANTED AREAS WITH DECORATIVE NON-PLANT GROUND COVER IN NON-PLANTED AREAS. ALL LANDSCAPING SHALL BE IN COMPLIANCE WITH THE LANDFILL GAS ABATEMENT PLAN.
11. PERIMETER WALLS SHALL COMPLY WITH PLANNING DEPARTMENT GUIDELINES AT TIME OF BUILDING PERMIT APPLICATION NOT TO EXCEED 3'-4" HIGH.
12. ALL ROOF TOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS SHALL MATCH STRUCTURE OR ROOF COLOR.
13. FRONT FACADES SHALL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THE ENTIRE FRONT FACADE OF THE STRUCTURE.
14. LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
15. ALL REFUSE ENCLOSURES SHALL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
16. MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN SHALL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
17. BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
18. SITE AND BUILDING LIGHTING SHALL BE FULLY SHIELDED AND COMPLY WITH SECTION 14-16-3-9 OF THE COA ZONING CODES AND WITH THE NM NIGHT SKY PROTECTION ACT. MAXIMUM LIGHTPOLE HEIGHT SHALL BE 18'-0".
19. 3'-0" HIGH BOLLARD ILLUMINATION (AT LEAST ONE) AT CURB RAMPS ENTERING A CROSSWALK, BE ONE DESIGN TYPE, FULLY SHIELDED.
20. ALL CROSSWALKS TO BE TEXTURED WITH COLORED CONCRETE OR BRICK PAVING.

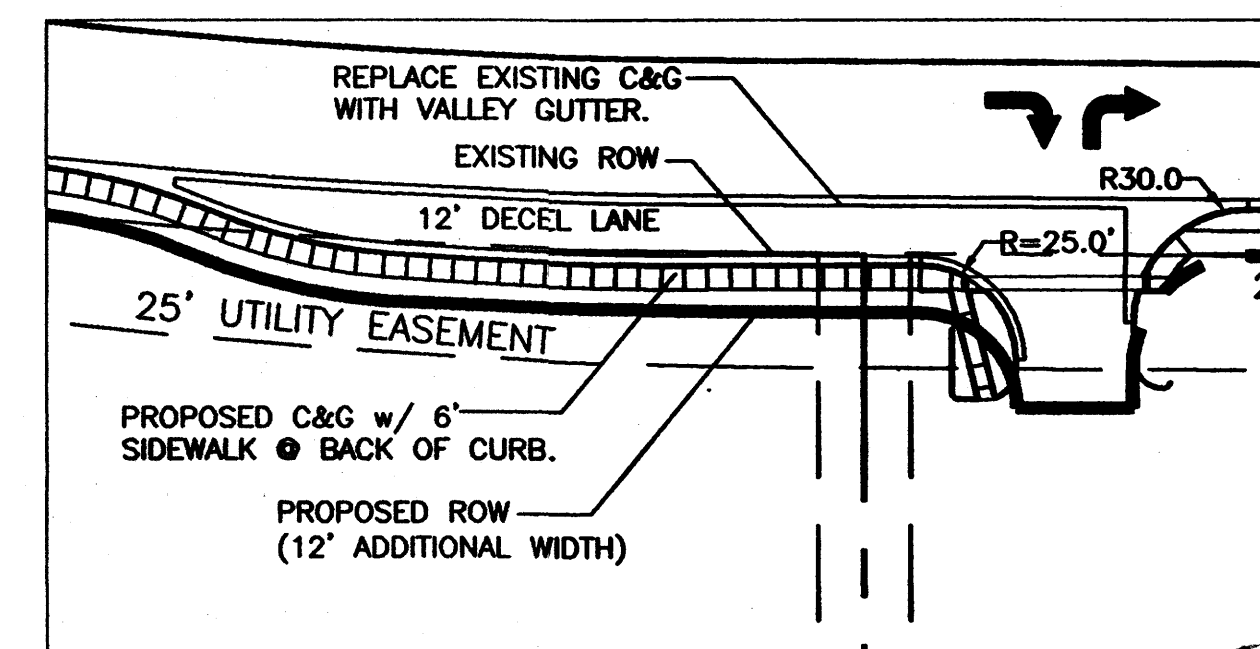
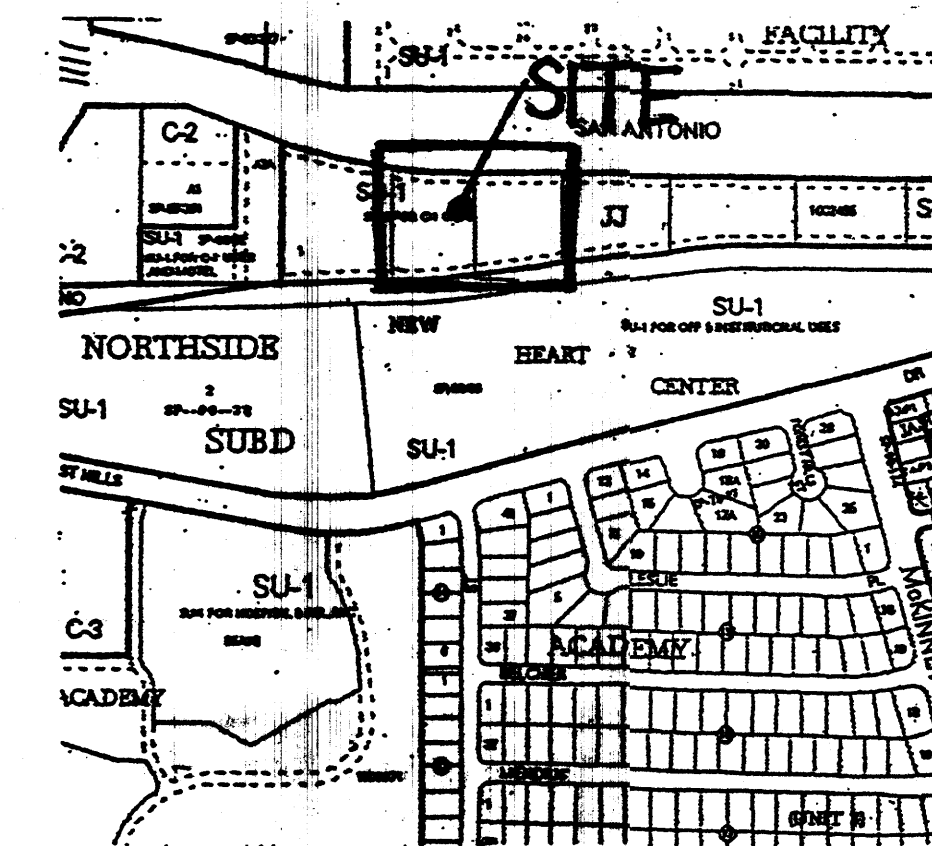


EXHIBIT A

Scale 1" = 50'-0"



VICINITY MAP

"The developers of this site are required to follow the most current version of the City of Albuquerque Interim Guidelines for development within city designated landfill buffer zones. A review and approval of the Site Plan(s) is required. The proposed construction, design drawings, and a certification will be required by the Environmental Health Department (EHD), Environmental Services Division."

"The subject property is located on an existing landfill. Due to the subject property being on a landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within City - Designated Landfill Buffer Zones") shall be consulted prior to development of the site."

PROJECT NUMBER: 1002455
Application Number: _____

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	_____	Date
Utilities Development	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date

JOB NO.	
DATE:	1 MAY 2008
REVISIONS	
	02 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008
	04 NOVEMBER 2008
	10 NOVEMBER 2008

Sheet Title
**AMENDED SITE PLAN
FOR SUBDIVISION**
 Drawn By: PESUMA, S.A. Checked By: T. OTT

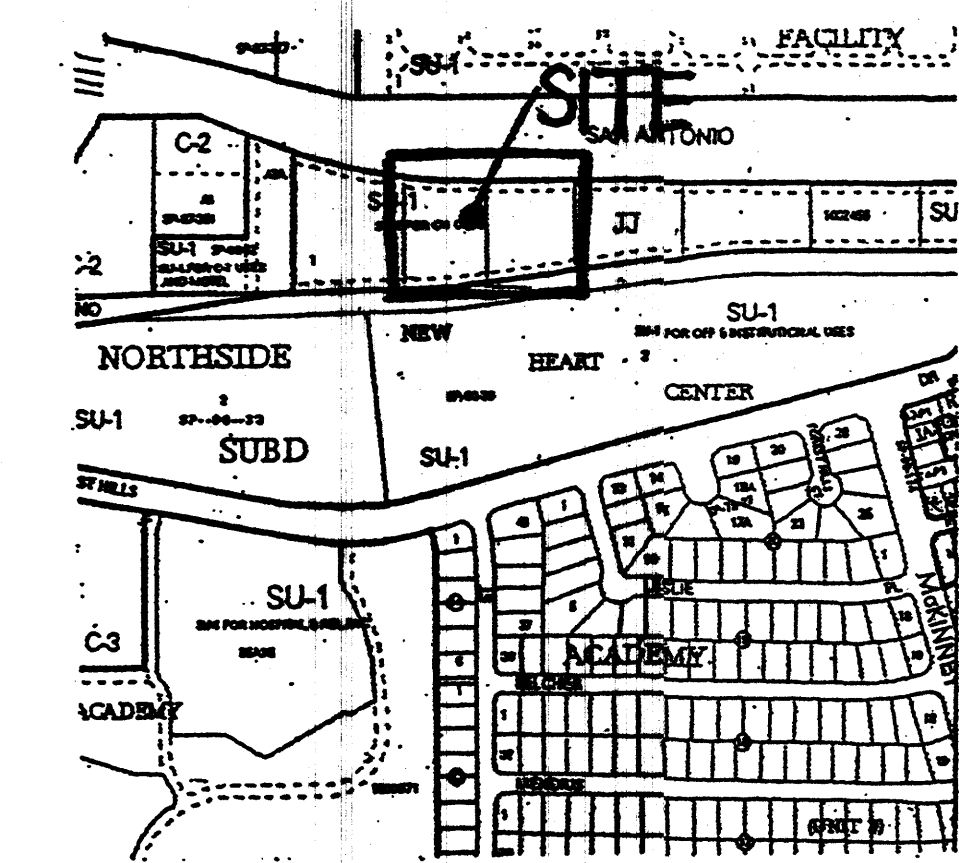
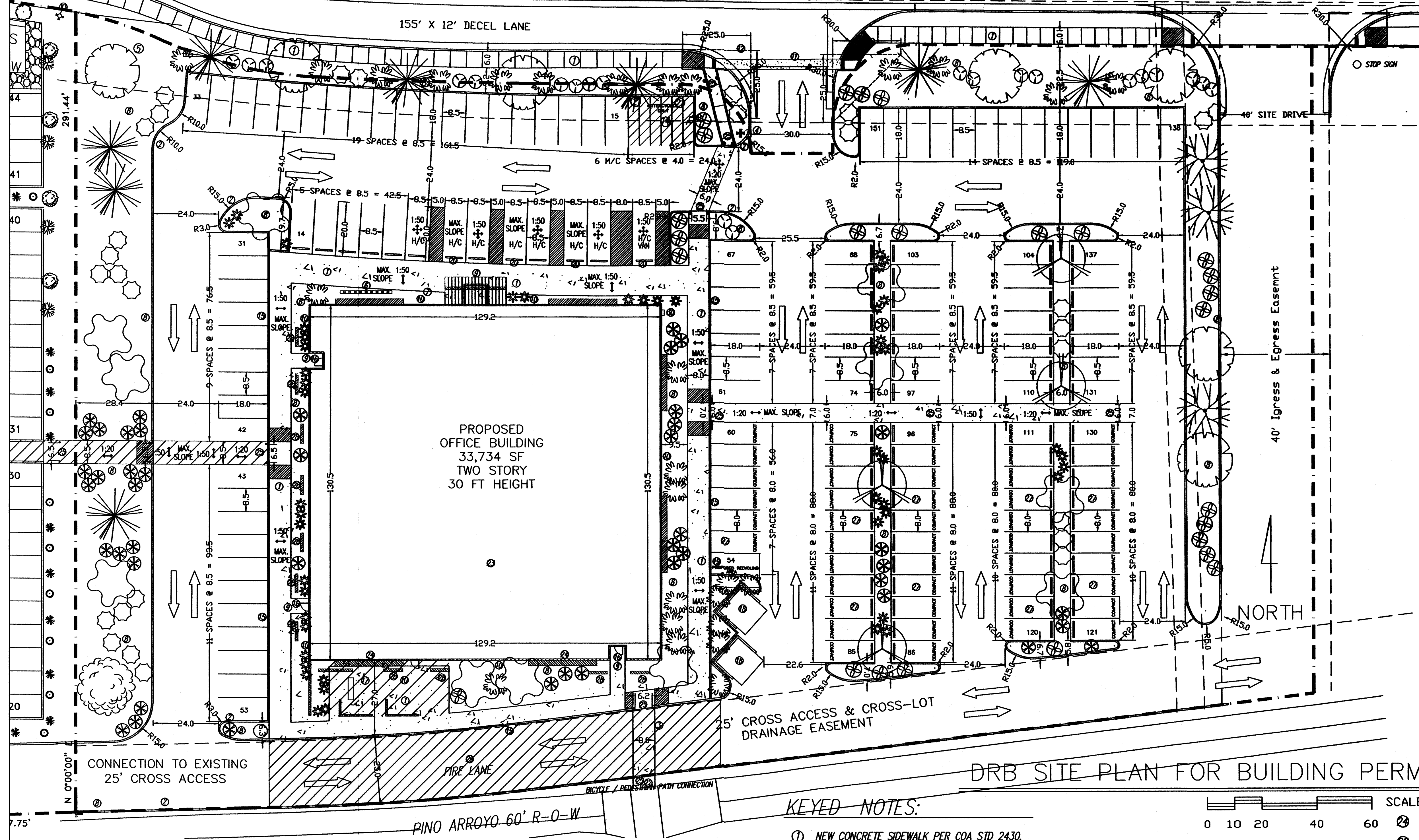
TIM OTT / DEVELOPER
 6620 VENICE AVE NE SUITE G
 ALBUQUERQUE, NM 87118
 (505) 250-4675
MICHAEL DEL MASTRO / ARCHITECT
 7509 DELWOOD RD. NE (505) 888-8829
 ALBUQUERQUE, NEW MEXICO 87118

Project Name
**STATE ENGINEERING
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO**

SHEET NO.
SDP

SAN ANTONIO DRIVE EAST BOUND LANES

ONE WAY



VICINITY MAP
N.T.S.

PROJECT NUMBER: 1002455
Application Number: _____

Is an Infrastructure List required? (X) Yes () No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

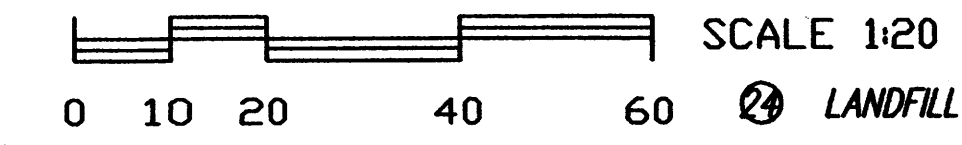
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

DRB SITE PLAN FOR BUILDING PERMIT

KEYED NOTES:

- NEW CONCRETE SIDEWALK PER COA STD 2430.
- NEW CONCRETE CURB & GUTTER PER COA STD 2415.
- REMOVE LOT LINE-PER PLAT.
- NEW FIRE HYDRANT LOCATION.
- AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL. SEE DRB ELEV SHEET FOR DETAIL. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
- BICYCLE RACK, MINIMUM 8 SPACES.
- FLAG POLE
- LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM.
- SECURITY LIGHTING AT ALL ENTRANCES.
- EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL.
- DRIVEWAY PER CITY OF ALBUQUERQUE STD 2426.
- EXISTING FIRE HYDRANT, TO BE RELOCATED.
- EXISTING FIRE HYDRANT.
- MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE.
- NEW TURN DOWN SIDEWALK AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING.
- CYPHER LOCK ON ENTRANCE.
- EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
- DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS.
- PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP SIGNAGE LOCATION.
- MOTORCYCLE SIGNAGE LOCATION.
- PINO ARROYO BICYCLE & PEDESTRIAN TRAIL.
- ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE.
- LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM.
- BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE.
- NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED.
- ALL COMPACT SPACES TO BE LABELED ON PAVEMENT.
- SHADING WALLS.
- STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL.
- KNOX BOX LOCATION PER FIRE MARSHALL.
- ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SDP.



GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, JJ SUBDIVISION CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES SECOND FLOOR: 16,867 SF NET LEASABLE SF = 57 SPACES PROVIDED: 151 TOTAL SPACES (98 REG., 44 COMPACT, 9 HANDICAP) (29% OF SPACES ARE FOR COMPACT CARS)

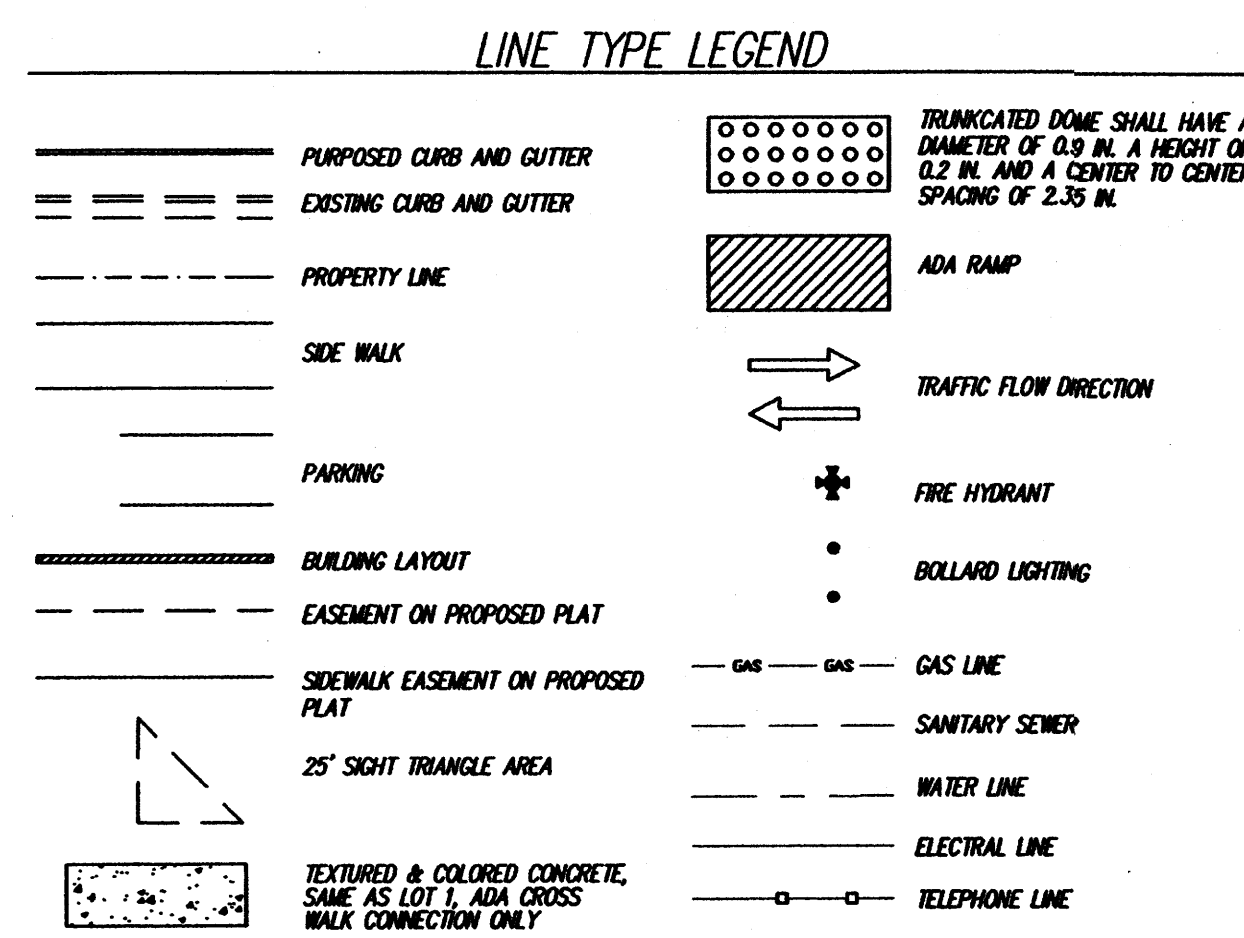
PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spcs.) PROVIDED: 8 SPACES, 1 VAN ACCESSIBLE

PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (with 101 to 300 req. parking spcs.) PROVIDED: 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spcs.) PROVIDED: 8 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPED EADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.



JOB NO. _____

DATE: 1 MAY 2008

02 JULY 2008

09 OCTOBER 2008

27 OCTOBER 2008

04 NOVEMBER 2008

10 NOVEMBER 2008

18 NOVEMBER 2008

Sheet Title
DRB SITE PLAN FOR BUILDING PERMIT
Drawn By: PESUMAKI, S.A. Checked By: T. OTT

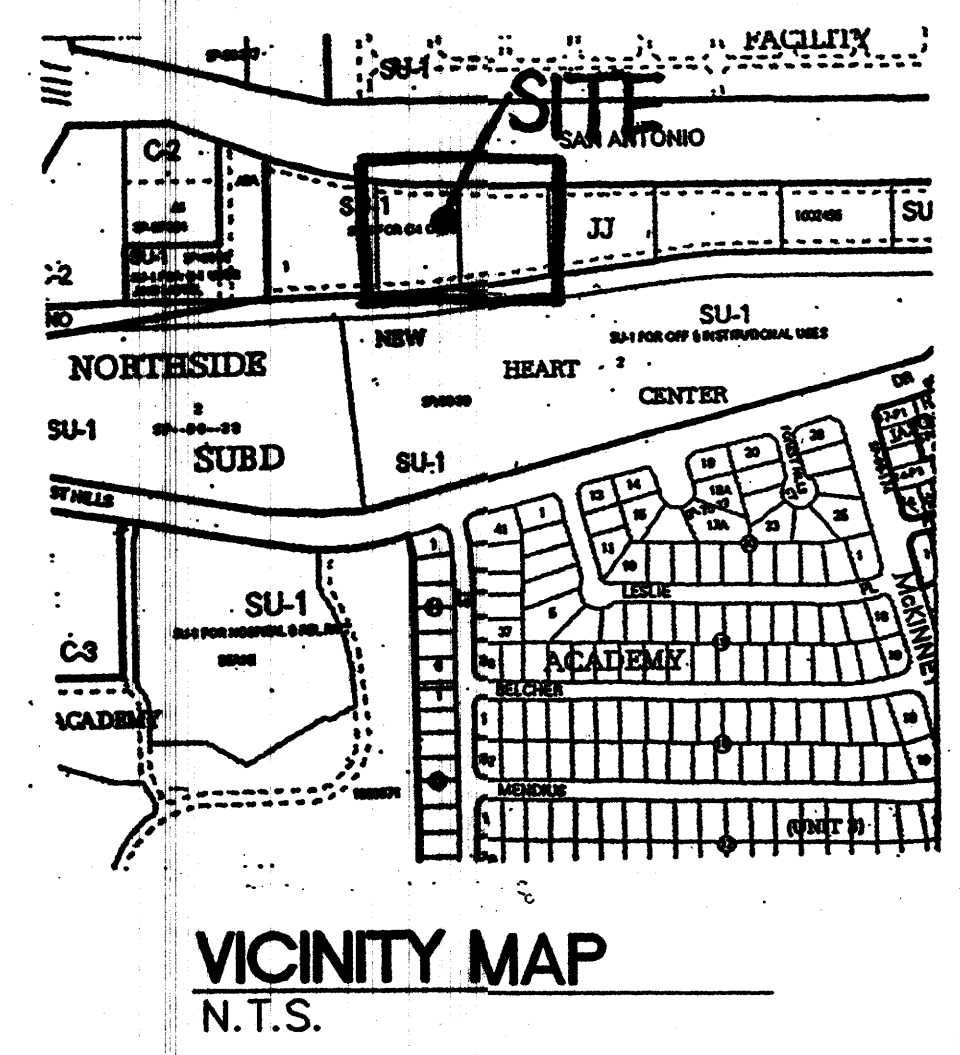
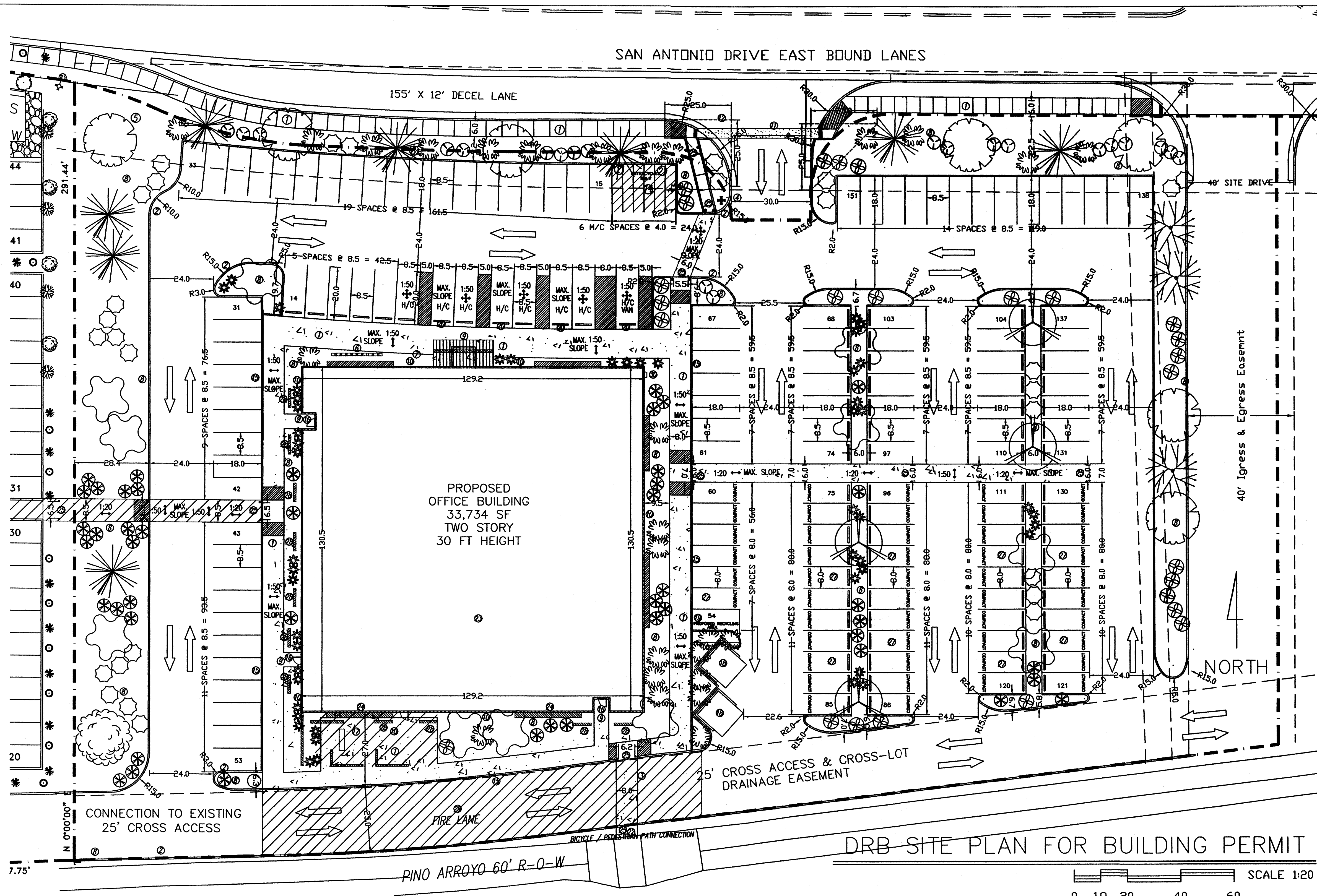
TM OTT / DEVELOPER
6600 VANCE AVE NE, SUITE G
ALBUQUERQUE, NM 87118
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7908 DELWOOD RD. NE (505) 885-8859
ALBUQUERQUE, NEW MEXICO 87110

Project Name
**STATE ENGINEERING
ALBUQUERQUE BUILDING**
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB SP

"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."



KEYED NOTES:

- 1 NEW CONCRETE SIDEWALK PER COA STD 24.30.
- 2 NEW CONCRETE CURB & GUTTER PER COA STD 24.15.
- 3 REMOVE LOT LINE—PER PLAT.
- 4 NEW FIRE HYDRANT LOCATION.
- 5 AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL, SEE DRB ELEV SHEET FOR DETAIL. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
- 6 BICYCLE RACK, MINIMUM 8 SPACES.
- 7 FLAG POLE
- 8 LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM.
- 9 SECURITY LIGHTING AT ALL ENTRANCES.
- 10 EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL.
- 11 DRIVEWAY PER CITY OF ALBUQUERQUE STD 24.26.
- 12 EXISTING FIRE HYDRANT, TO BE RELOCATED.
- 13 EXISTING FIRE HYDRANT.
- 14 MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE.
- 15 NEW TURN DOWN SIDEWALK AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING.
- 16 CYPHER LOCK ON ENTRANCE.
- 17 EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNING PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
- 18 DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS.
- 19 PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
- 20 HANDICAP SIGNAGE LOCATION.
- 21 MOTORCYCLE SIGNAGE LOCATION.
- 22 PINO ARROYO BICYCLE & PEDESTRIAN TRAIL.
- 23 ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE.
- 24 LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM.
- 25 BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE.
- 26 NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED.
- 27 ALL COMPACT SPACES TO BE LABELED ON PAVEMENT.
- 28 SHADING WALLS.
- 29 STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL.
- 30 KNOX BOX LOCATION PER FIRE MARSHALL.
- 31 ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SDP.

GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, JJ SUBDIVISION, CITY OF ALBUQUERQUE, NEW MEXICO, COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING, TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES, SECOND FLOOR: 16,867 SF NET LEASABLE SF = 57 SPACES, 141 TOTAL REG.

PROVIDED: 151 TOTAL SPACES (98 REG., 44 COMPACT, 9 HANDICAP) (20% OF SPACES ARE FOR COMPACT CARS)

PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (WITH 101 TO 300 REQ. PRKING. SPACES), PROVIDED: 8 SPACES, 1 VAN ACCESSIBLE

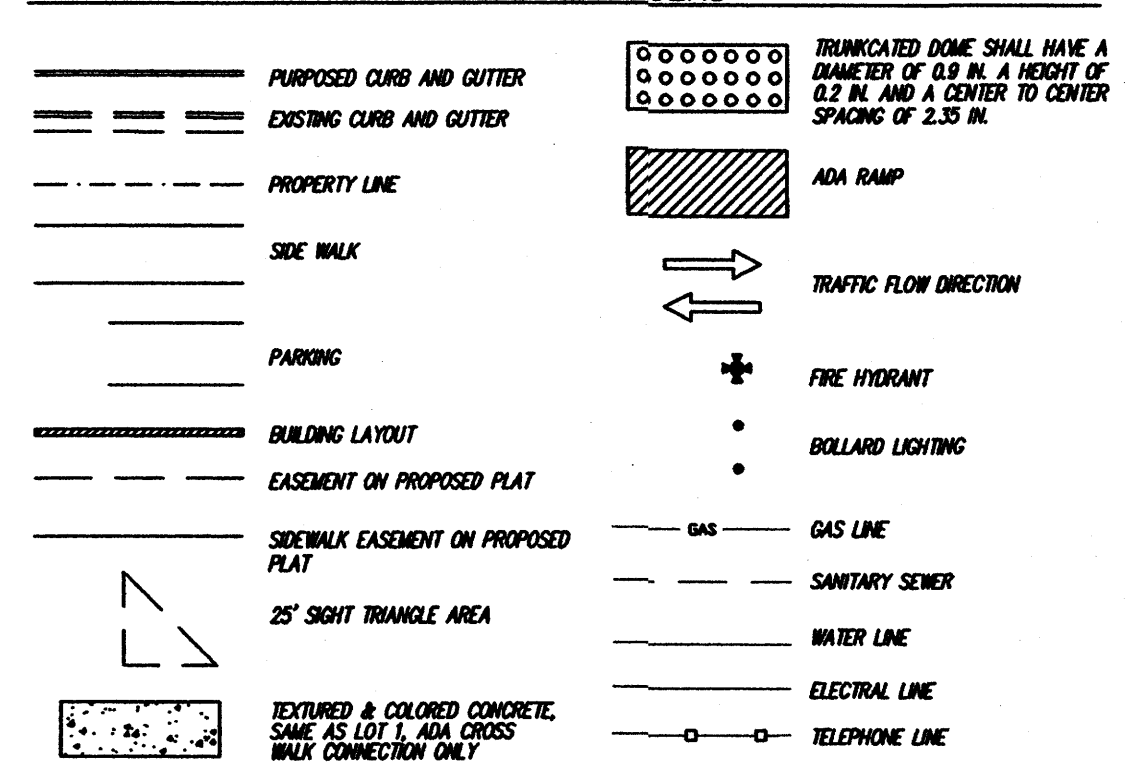
PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (WITH 101 TO 300 REQ. PRKING. SPACES), PROVIDED: 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (WITH 101 TO 300 REQ. PRKING. SPACES), PROVIDED: 8 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH WOULD BE IN ADA PATHWAYS OR WOULD IMPERE ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.

LINE TYPE LEGEND



"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

Job No. _____

Date: 1 MAY 2008

02 JULY 2008

09 OCTOBER 2008

27 OCTOBER 2008

04 NOVEMBER 2008

10 NOVEMBER 2008

18 NOVEMBER 2008

Sheet Title: DRB TRAFFIC CIRCULATION LAYOUT FOR BUILDING PERMIT

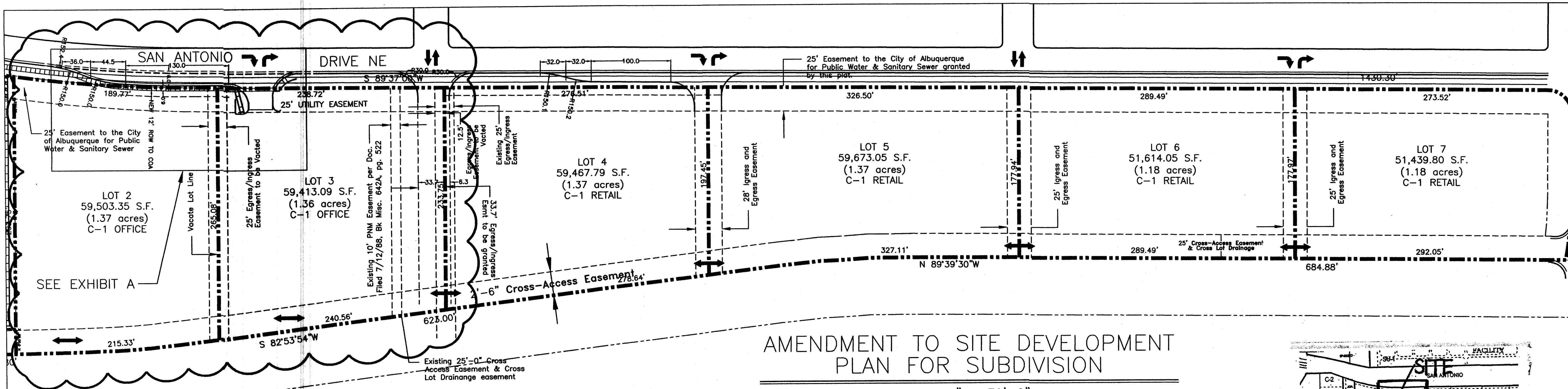
Drawn By: PESHUMA, S.A. Checked By: T. OTT

TM OTT / DEVELOPER
6630 VENANCE AVE NE, SUITE G
ALBUQUERQUE, NM 87118
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7908 DELWOOD RD. NE (240) 888-8929
ALBUQUERQUE, NEW MEXICO 87110

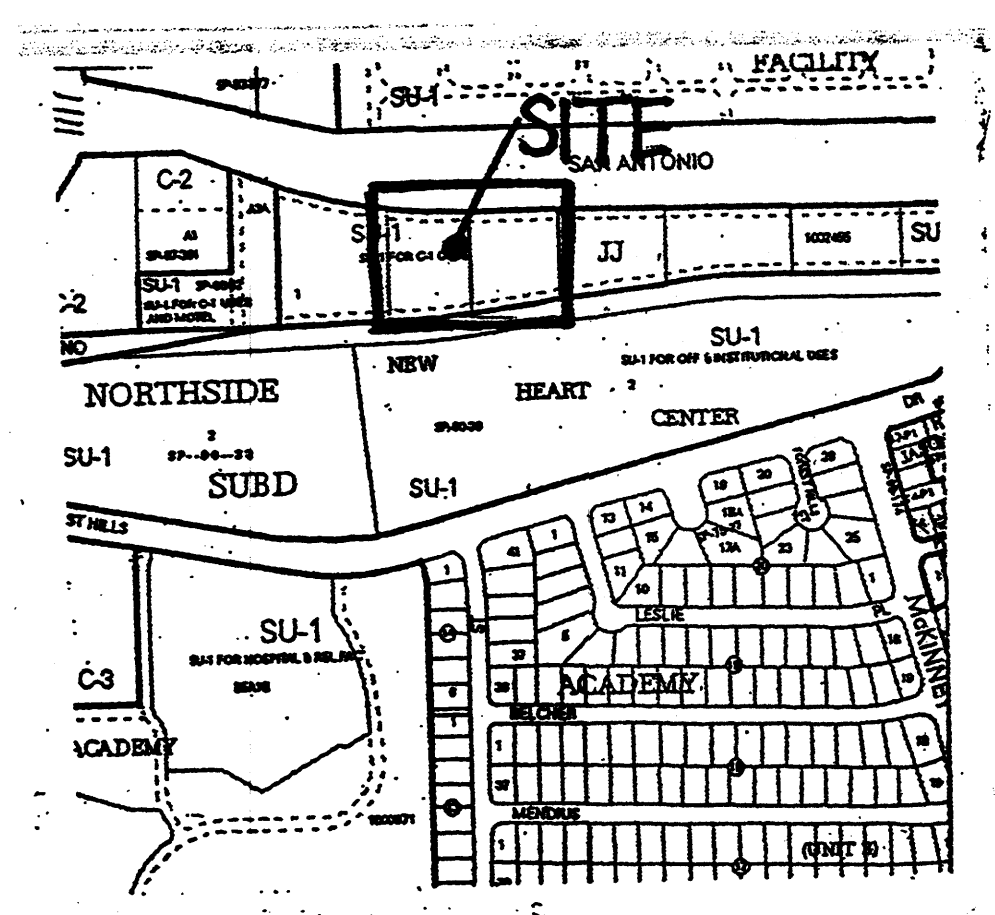
Project Name: STATE ENGINEERING ALBUQUERQUE BUILDING ALBUQUERQUE, NEW MEXICO

SHEET NO. DRB TCL



AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

Scale 1" = 70'-0"



VICINITY MAP

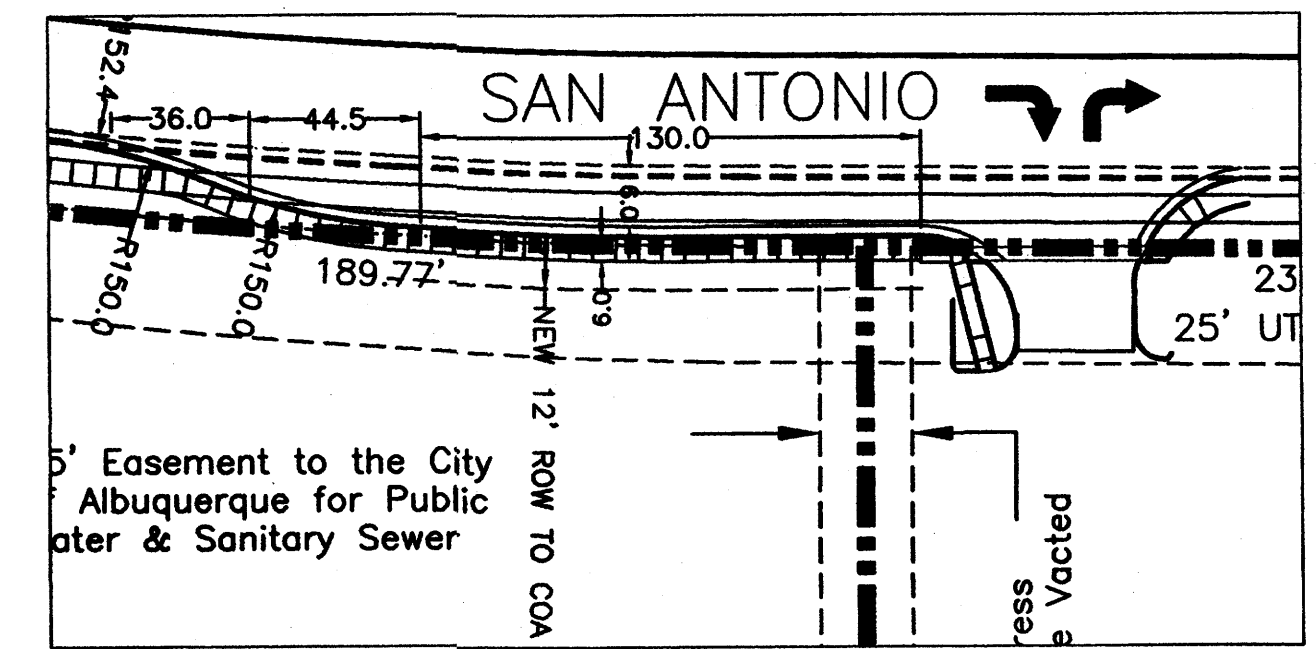


EXHIBIT A

Scale 1" = 50'-0"

LEGAL DESCRIPTION

LOTS 2 & 3
 JJ SUBDIVISION
 BEING A REPLAT OF TRACT A-3-B,
 J GROUP ADDITION, TRACT 1,
 NEW HEART CENTER & TRACT 1,
 NORTHSIDE SUBDIVISION
 WITHIN PROJECTED SECTION 25
 TOWNSHIP 11 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 ZONING: SU-1 FOR C-1 USES

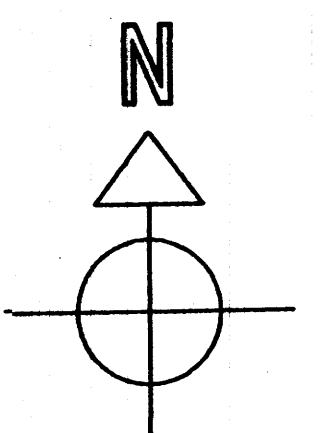
CITY OF ALBUQUERQUE
 BERNALILLO COUNTY
 NEW MEXICO

NOTES: LOTS 2 & 3

BUILDING HEIGHT NOT TO EXCEED 34 FT.
 MAXIMUM FLOOR-AREA RATIO: 30.0%
 BUILDING MINIMUM SETBACKS:
 FRONT: 25.0 FT.
 SIDE: 5.0 FT.
 REAR: 5.0 FT.

TRAFFIC FLOW NOTES

- ↕ - TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- ↘ - RIGHT TURN ONLY INTO LOT
- ↗ - RIGHT TURN ONLY OUT OF LOT
- ↕ - TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW



GENERAL DESIGN CRITERIA:

1. ALL STRUCTURES ON LOTS SHALL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
2. DESIGN OF BUILDING SHALL BE A COMPATIBLE STYLE, MATERIALS AND COLORS THROUGHOUT LOTS 2 - 7.
3. PARKING SHALL NOT EXCEED THE REQUIRED PLUS 10%.
4. ACCESSIBLE (ADA) COMPLIANT PARKING SHALL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY. REQUIRED PARKING SHALL BE DISTRIBUTED ON AT LEAST TWO SIDES OF A BUILDING.
5. ALL SIDEWALKS SHALL HAVE A MINIMUM OF 6 FEET CLEAR WALKWAY AREA PROTECT BY PERMANENT CAR STOPS.
6. FRONT ENTRY SIDEWALK AREAS SHALL BE COVERED OR SHADED BY TREES.
7. ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS AND THRU VEHICULAR AREAS.
8. PATIO AREAS FOR EMPLOYEES SHALL BE PROVIDED AND SHADED.
9. BICYCLE RACKS SHALL BE PROVIDED PER COA CODE.
10. ALL LANDSCAPING SHALL BE PER COA CODE. NO GREATER THAN 20% OF LANDSCAPED AREA SHALL BE HIGH WATER USE AND ALL APPLICABLE WATER CONSERVATION MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION SHALL BE ADHERED TO. PLANTS SHALL BE CLUSTERED TO ALLOW WATER HARVESTING. CLUSTERING WILL CONCENTRATE GROUND COVERAGE IN PLANTED AREAS WITH DECORATIVE NON-PLANT GROUND COVER IN NON-PLANTED AREAS. ALL LANDSCAPING SHALL BE IN COMPLIANCE WITH THE LANDFILL GAS ABATEMENT PLAN.
11. PERIMETER WALLS SHALL COMPLY WITH PLANNING DEPARTMENT GUIDELINES AT TIME OF BUILDING PERMIT APPLICATION NOT TO EXCEED 3'-4" HIGH.
12. ALL ROOF TOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS SHALL MATCH STRUCTURE OR ROOF COLOR.
13. FRONT FACADES SHALL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THE ENTIRE FRONT FACADE OF THE STRUCTURE.
14. LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
15. ALL REFUSE ENCLOSURES SHALL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
16. MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN SHALL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
17. BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
18. SITE AND BUILDING LIGHTING SHALL BE FULLY SHIELDED AND COMPLY WITH SECTION 14-16-3-9 OF THE COA ZONING CODES AND WITH THE NM NIGHT SKY PROTECTION ACT. MAXIMUM LIGHTPOLE HEIGHT SHALL BE 18'-0".
19. 3'-0" HIGH BOLLARD ILLUMINATION (AT LEAST ONE) AT CURB RAMPS ENTERING A CROSSWALK, BE ONE DESIGN TYPE, FULLY SHIELDED.
20. ALL CROSSWALKS TO BE TEXTURED WITH COLORED CONCRETE OR BRICK PAVING.

"The developers of this site are required to follow the most current version of the City of Albuquerque Interim Guidelines for development within city designated landfill buffer zones. A review and approval of the Site Plan(s) is required. The proposed construction, design drawings, and a certification will be required by the Environmental Health Department (EHD), Environmental Services Division."

"The subject property is located on an existing landfill. Due to the subject property being on a landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within City - Designated Landfill Buffer Zones") shall be consulted prior to development of the site."

PROJECT NUMBER: 1002455
 Application Number: _____

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	_____	Date
Utilities Development	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date

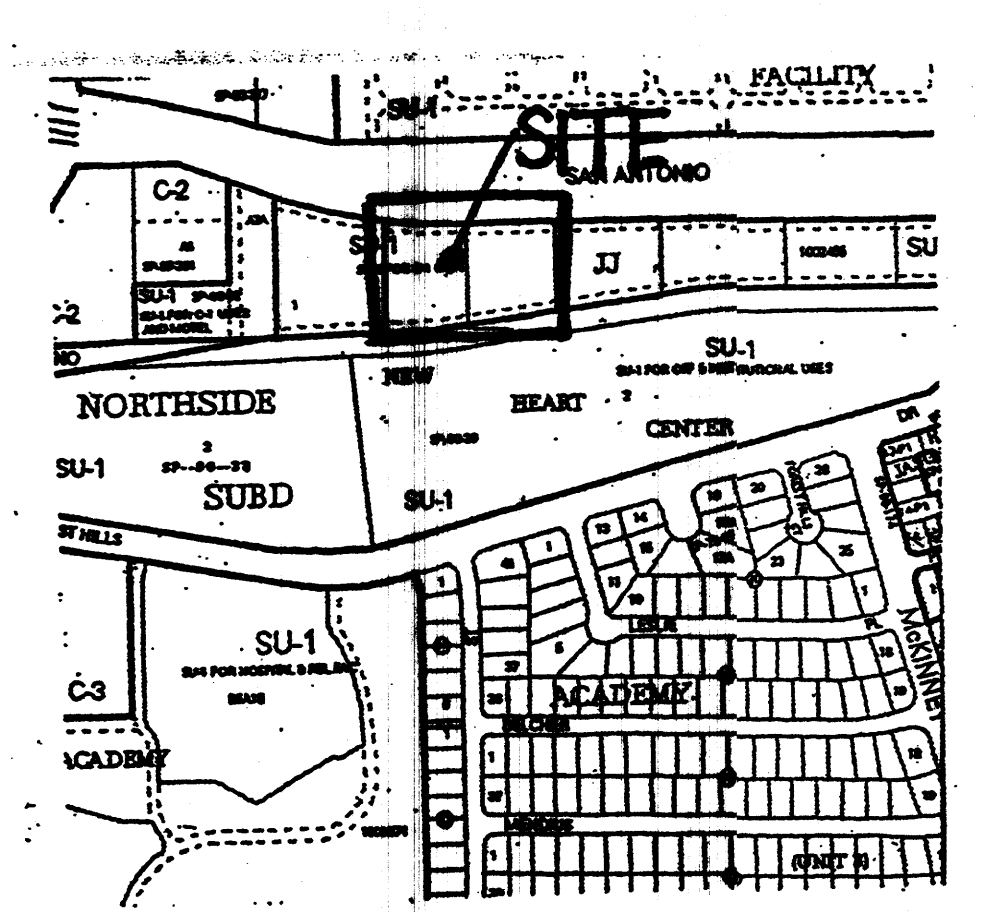
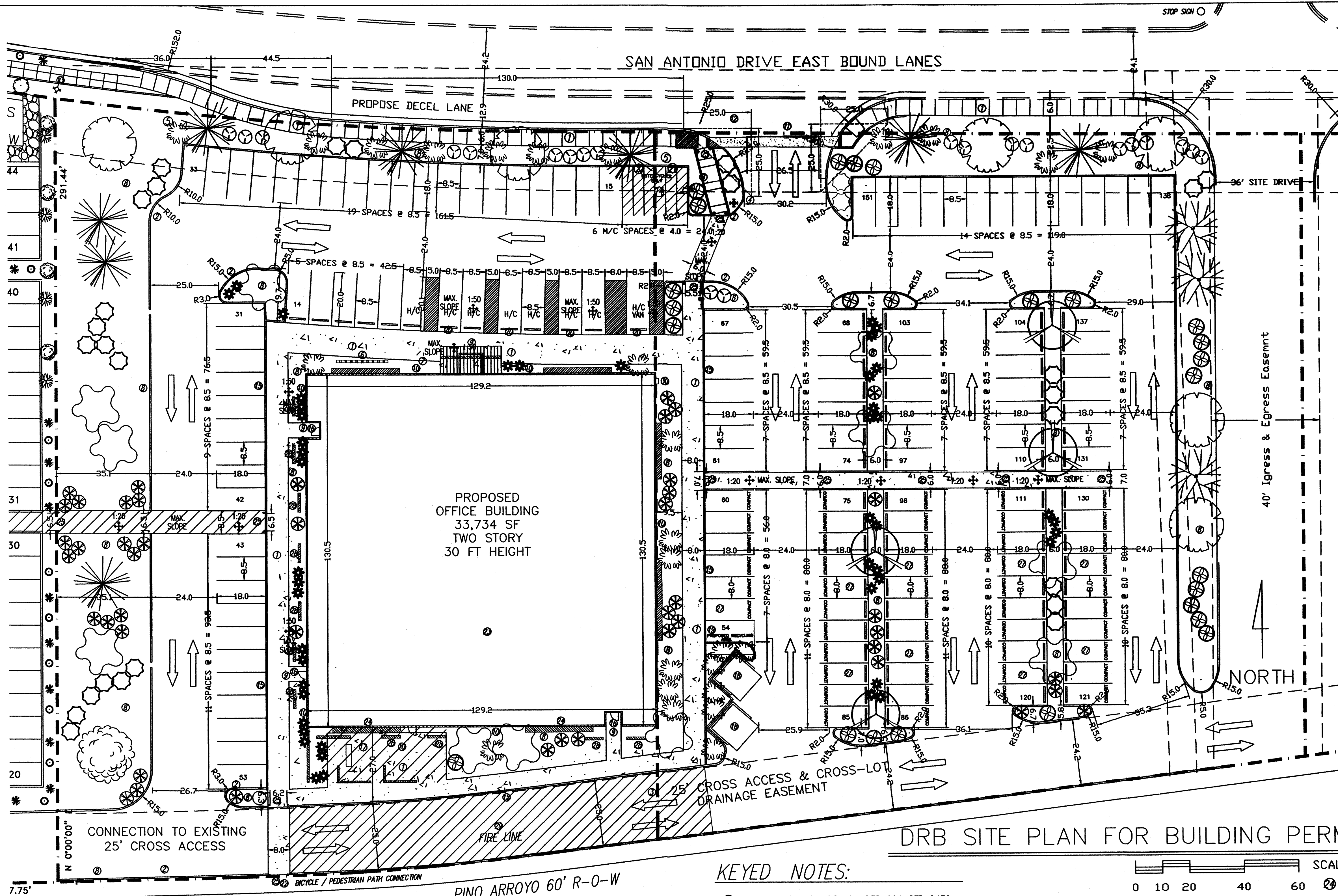
JOB NO.	
DATE:	1 MAY 2008
REVISIONS	
	02 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008
	04 NOVEMBER 2008
	10 NOVEMBER 2008

Sheet Title
AMENDED SITE PLAN FOR SUBDIVISION
 Drawn By: PESHAKH, S.A. Checked By: T. OTT

TIM OTT / DEVELOPER
 6600 VANCE AVE NE SUITE 0
 ALBUQUERQUE, NM 87115
 (505) 250-4675
MICHAEL DEL MASTRO / ARCHITECT
 7008 DELWOOD RD. NE (505) 885-8628
 ALBUQUERQUE, NEW MEXICO 87110

Project Name
STATE ENGINEERING
ALBUQUERQUE BUILDING
 ALBUQUERQUE, NEW MEXICO

SHEET NO.
SDP



VICINITY MAP
N.T.S.

PROJECT NUMBER: 1002455
Application Number: _____

Is an Infrastructure List required? () Yes (X) No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

JOB NO:
DATE: 1 MAY 2008

REVISIONS

04 JUNE 2008
02 JULY 2008
09 JULY 2008
09 OCTOBER 2008

revised

Sheet Title
DRB SITE PLAN FOR BUILDING PERMIT
Drawn By: PESHAWAR, SA
Checked By: T. OTT

Project Name
**STATE ENGINEERING
ALBUQUERQUE BUILDING**
ALBUQUERQUE, NEW MEXICO

Project Engineer
MICHAEL DEL MASTRO / ARCHITECT
7808 DELWOOD RD. NE / (505) 885-4829
ALBUQUERQUE, NEW MEXICO 87110

Project Name
**STATE ENGINEERING
ALBUQUERQUE BUILDING**
ALBUQUERQUE, NEW MEXICO

Project Engineer
MICHAEL DEL MASTRO / ARCHITECT
7808 DELWOOD RD. NE / (505) 885-4829
ALBUQUERQUE, NEW MEXICO 87110

Project Name
**STATE ENGINEERING
ALBUQUERQUE BUILDING**
ALBUQUERQUE, NEW MEXICO

Project Engineer
MICHAEL DEL MASTRO / ARCHITECT
7808 DELWOOD RD. NE / (505) 885-4829
ALBUQUERQUE, NEW MEXICO 87110

GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, JJ SUBDIVISION CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES SECOND FLOOR: 16,867 SF NET LEASABLE SF = 87 SPACES 141 TOTAL REQ.

PROVIDED: 151 TOTAL SPACES (98 REG., 44 COMPACT, 9 HANDICAP) (25% OF SPACES ARE FOR COMPACT CARS)

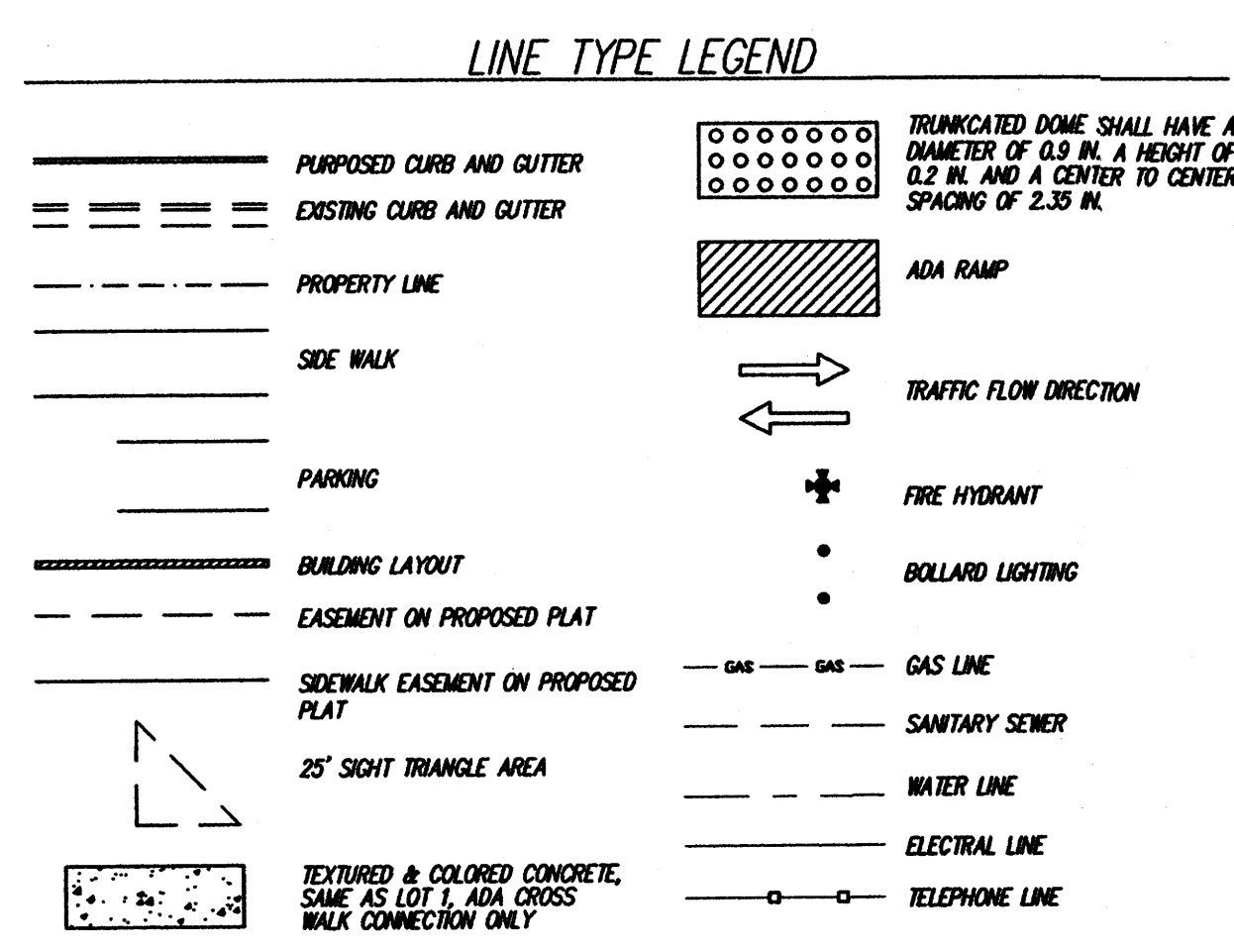
PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking space.) PROVIDED: 8 SPACES, 1 VAN ACCESSIBLE

PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (with 101 to 300 req. parking space.) PROVIDED: 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking space.) PROVIDED: 8 SPACES

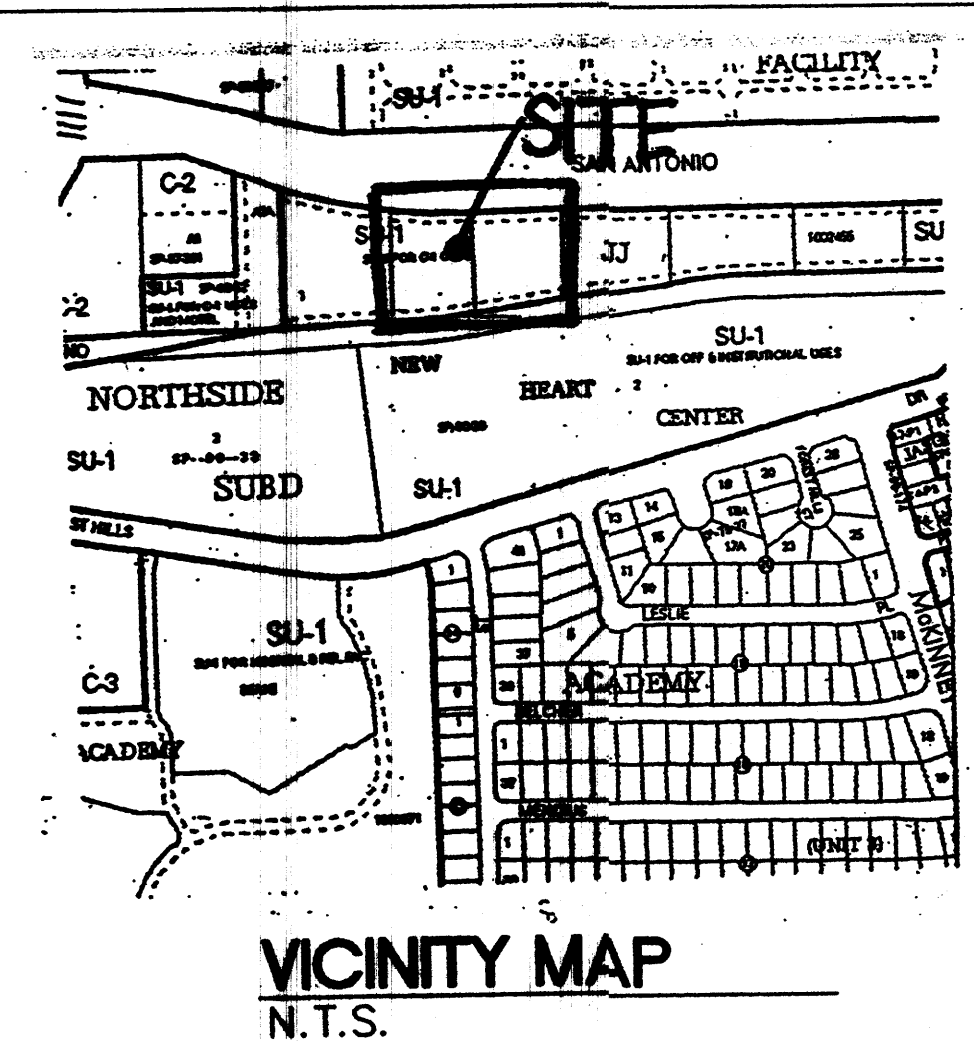
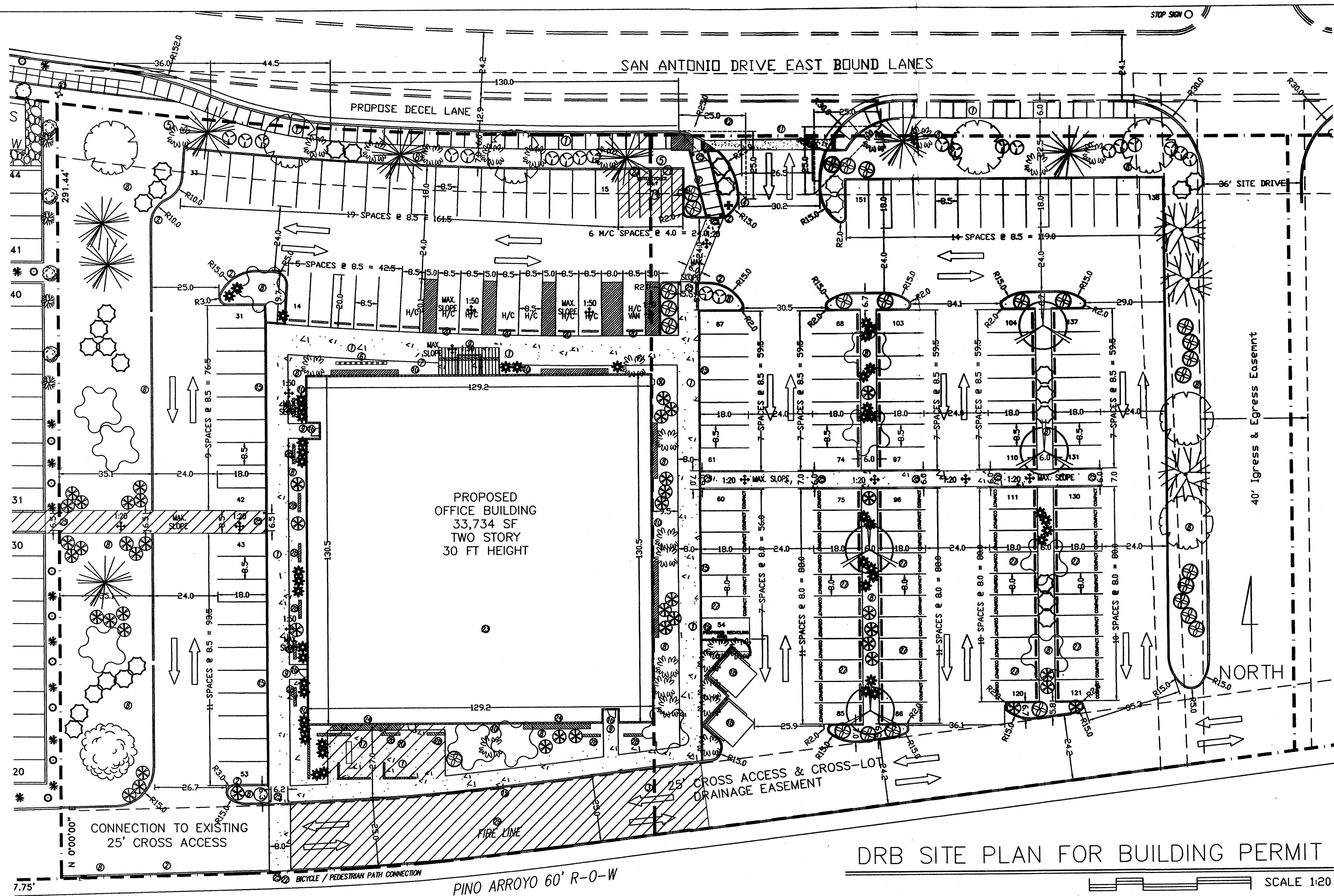
ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.



- KEYED NOTES:**
- NEW CONCRETE SIDEWALK PER COA STD 2430
 - NEW CONCRETE CURB & GUTTER PER COA STD 2415
 - REMOVE LOT LINE-PER PLAT
 - NEW FIRE HYDRANT LOCATION
 - AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL, SEE DRB ELEV SHEET FOR DETAIL. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
 - BICYCLE RACK, MINIMUM 8 SPACES
 - FLAG POLE
 - LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM
 - SECURITY LIGHTING AT ALL ENTRANCES
 - EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL
 - DRIVEWAY PER CITY OF ALBUQUERQUE STANDARDS
 - EXISTING FIRE HYDRANT, TO BE RELOCATED
 - EXISTING FIRE HYDRANT
 - MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE
 - NEW CONCRETE CURB AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING
 - CYPHER LOCK ON ENTRANCE
 - EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
 - DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS
 - PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS
 - HANDICAP SIGNAGE LOCATION
 - MOTORCYCLE SIGNAGE LOCATION
 - PINO ARROYO BICYCLE & PEDESTRIAN TRAIL
 - ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE
 - LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM
 - BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE
 - NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED
 - ALL COMPACT SPACES TO BE LABELED ON PAVEMENT
 - SHADING WALLS
 - STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL
 - KNOX BOX LOCATION PER FIRE MARSHALL
 - ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SDP
- SCALE 1:20
- 0 10 20 40 60

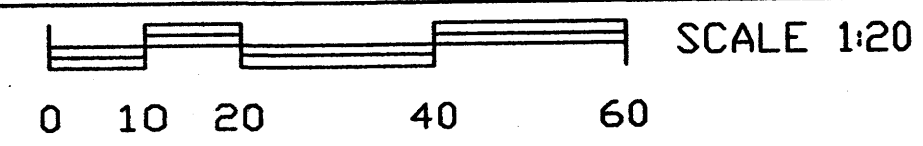
"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."



KEYED NOTES:

- ① NEW CONCRETE SIDEWALK PER COA STD 2430
- ② NEW CONCRETE CURB & GUTTER PER COA STD 2415
- ③ REMOVE LOT LINE—PER PLAT
- ④ NEW FIRE HYDRANT LOCATION
- ⑤ AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL, SEE DRB ELEV SHEET FOR DETAIL SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
- ⑥ BICYCLE RACK, MINIMUM 8 SPACES
- ⑦ FLAG POLE
- ⑧ LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM
- ⑨ SECURITY LIGHTING AT ALL ENTRANCES
- ⑩ EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL
- ⑪ DRIVEWAY PER CITY OF ALBUQUERQUE STANDARDS
- ⑫ EXISTING FIRE HYDRANT, TO BE RELOCATED
- ⑬ EXISTING FIRE HYDRANT
- ⑭ MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE
- ⑮ NEW CONCRETE CURB AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING
- ⑯ CYPHER LOCK ON ENTRANCE
- ⑰ EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
- ⑱ DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS
- ⑲ PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS
- ⑳ HANDICAP SIGNAGE LOCATION
- ㉑ MOTORCYCLE SIGNAGE LOCATION
- ㉒ PINO ARROYO BICYCLE & PEDESTRIAN TRAIL
- ㉓ ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE
- ㉔ LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM
- ㉕ BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE
- ㉖ NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED
- ㉗ ALL COMPACT SPACES TO BE LABELED ON PAVEMENT
- ㉘ SHADING WALLS
- ㉙ STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL
- ㉚ KNOX BOX LOCATION PER FIRE MARSHALL
- ㉛ ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SDP

DRB SITE PLAN FOR BUILDING PERMIT



GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, JJ SUBDIVISION, CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES SECOND FLOOR: 16,867 SF NET LEASABLE SF = 57 SPACES 141 TOTAL REG.

PROVIDED: 151 TOTAL SPACES (98 REG., 44 COMPACT, 9 HANDICAP) (25% OF SPACES ARE FOR COMPACT CARS)

PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (WITH 101 TO 300 REQ. PRKING SPACES) PROVIDED: 8 SPACES, 1 VAN ACCESSIBLE

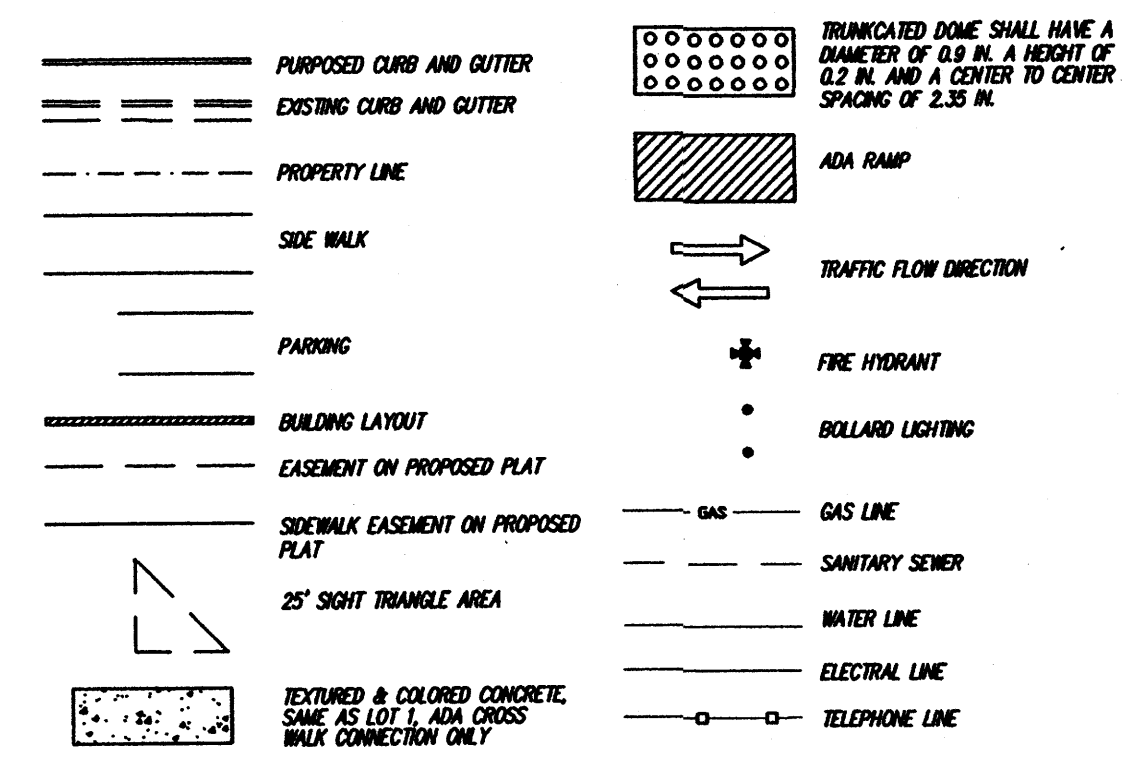
PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (WITH 101 TO 300 REQ. PRKING SPACES) PROVIDED: 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (WITH 101 TO 300 REQ. PRKING SPACES) PROVIDED: 8 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.

LINE TYPE LEGEND



"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

JOB NO.	
DATE:	1 MAY 2008
REVISIONS	
	04 JUNE 2008
	02 JULY 2008
	09 JULY 2008
	09 OCTOBER 2008

Sheet Title
DRB TRAFFIC CIRCULATION LAYOUT FOR BUILDING PERMIT

Drawn By: PESHAWAL, S.A. Checked By: L. OTT

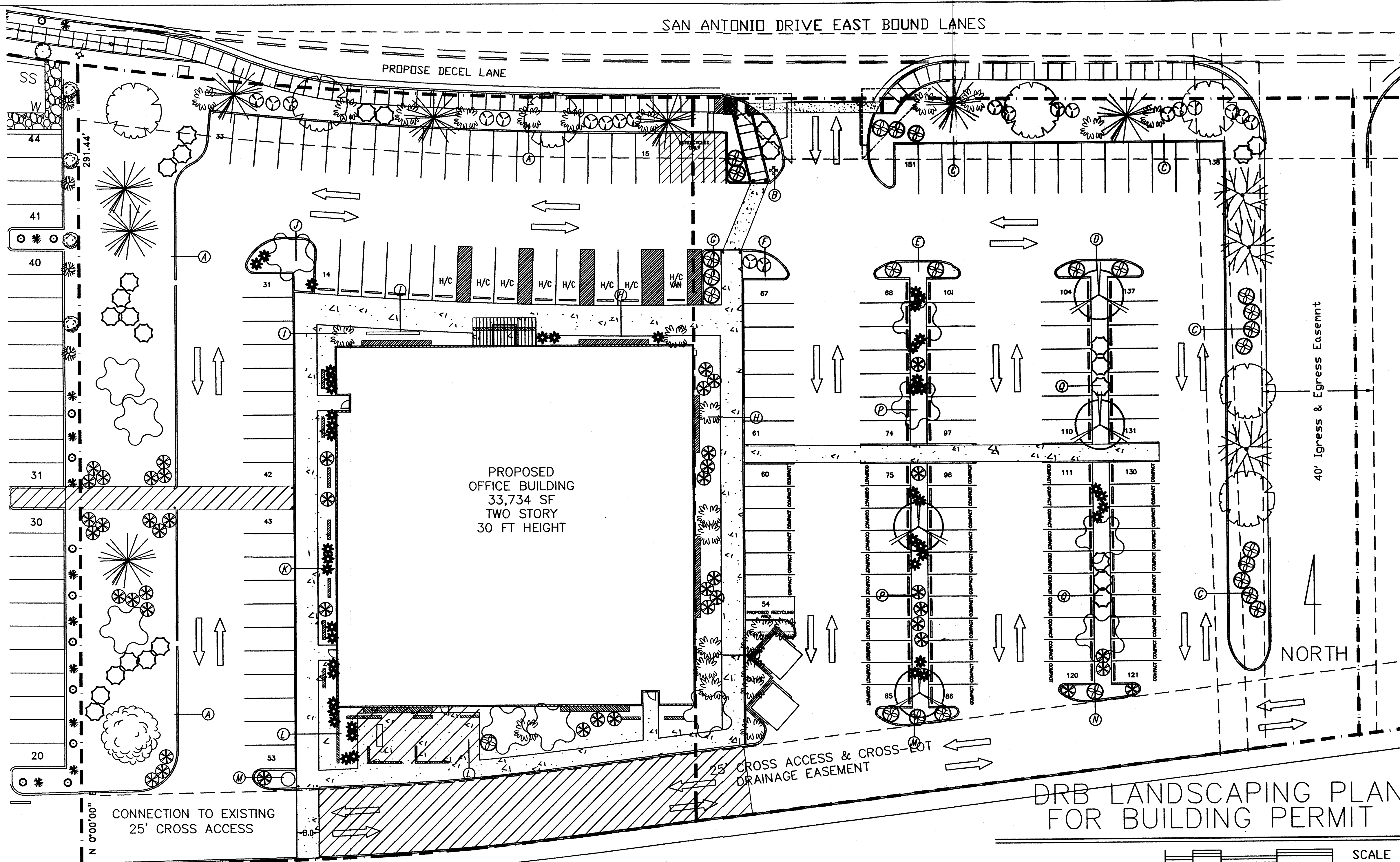
Project Name
STATE ENGINEERING BUILDING ALBUQUERQUE, NEW MEXICO

Project No.
DRB TCL

Project Name
STATE ENGINEERING BUILDING ALBUQUERQUE, NEW MEXICO

Project No.
DRB TCL

SAN ANTONIO DRIVE EAST BOUND LANES



GENERAL LANDSCAPE DATA:

- TOTAL SITE AREA 119,257 S.F.
- TOTAL BUILDING AREA (FOOTPRINT)..... 16,867 S.F.
- NET LOT AREA 102,390 S.F.

LANDSCAPE REQUIREMENTS:

- NET LOT AREA 102,390 S.F.
 - LANDSCAPE AREA REQUIRED
NET LOT AREA X 15% 15,358 S.F.
 - LANDSCAPE AREAS PROVIDED

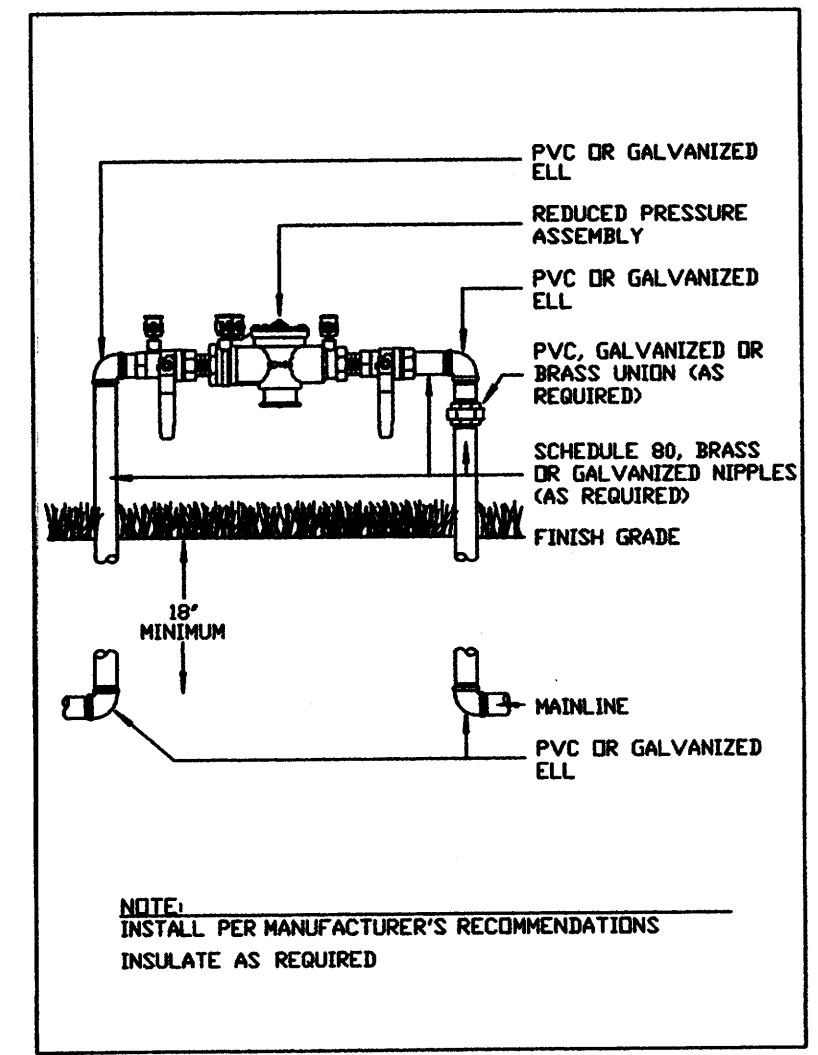
AREA A	11,263 S.F.
AREA B	219 S.F.
AREA C	6,050 S.F.
AREA D	155 S.F.
AREA E	155 S.F.
AREA F	124 S.F.
AREA G	120 S.F.
AREA H	1,773 S.F.
AREA I	441 S.F.
AREA J	194 S.F.
AREA K	171 S.F.
AREA L	1,757 S.F.
AREA M	76 S.F.
AREA N	194 S.F.
AREA O	204 S.F.
AREA P	867 S.F.
AREA Q	918 S.F.
- TOTAL LANDSCAPE AREA PROVIDED 24,682 S.F.

- IRRIGATION SYSTEM LAYOUT BY LANDSCAPE CONTRACTOR
LOW FLOW DRIP SYSTEM
BUBBLIER SYSTEM

GENERAL NOTES:

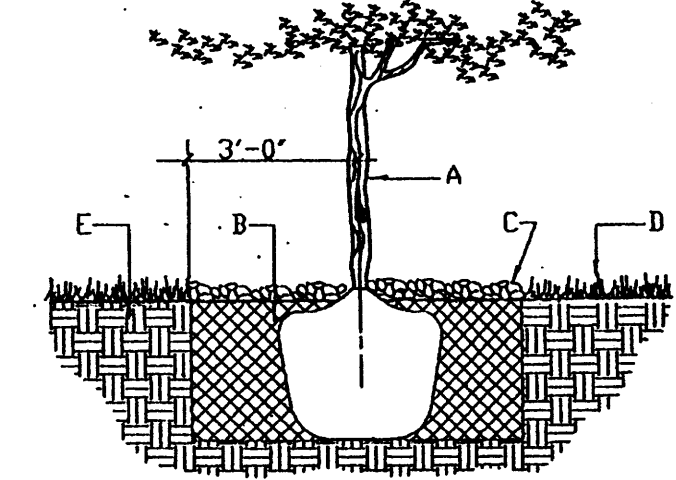
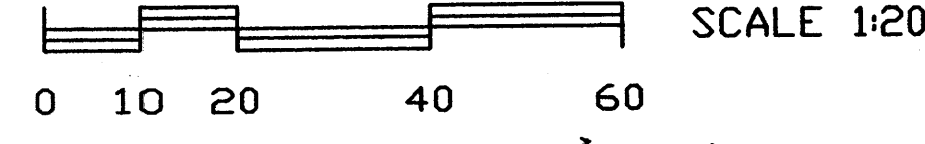
- ALL LANDSCAPING WILL BE COMPLETED WITHIN 60 DAYS OF BUILDING OCCUPANCY.
- THE LANDSCAPE CONTRACTOR SHALL DESIGN AND CONSTRUCT ANY IRRIGATION SYSTEM WHICH SHALL INCLUDE PIPING, CONTROLS, EQUIPMENT AND LABOR NECESSARY FOR A COMPLETE SYSTEM. SYSTEM SHALL INCLUDE AUTOMATIC VALVES AND TIMER.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO FIELD VERIFY THE EXACT LOCATIONS OF ALL ON-SITE UTILITIES, TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 3 FEET FROM UTILITY LINES.
- MAINTENANCE OF LANDSCAPING AND IRRIGATION SYSTEM TO BE THE RESPONSIBILITY OF THE OWNER.
- 3/4" CRUSHER GRAY GRAVEL WITH FILTER FABRIC IN LANDSCAPING AREAS; 3" IN DEPTH.
- IRRIGATION SYSTEMS SHALL BE DESIGNED TO COMPLY WITH THE PROVISIONS OF THE CITY OF ALBUQUERQUE.
- DEVELOPMENT WILL COMPLY WITH THE PROVISIONS OF THE COA ORDINANCE 6-1-1-1.
- AREA A & C IS STREET TREE AREA. AREA TO CONFORM WITH COA 6-6-2-5. TREES WILL BE SPACED A MINIMUM OF 30 FT. APART AND WILL BE A MINIMUM OF 5 FT. FROM EDGE OF SIDEWALK.
- ALL OTHER AREAS CONSIDERED GENERAL LANDSCAPING AREAS.
- THERE IS NO ON SITE PONDING DUE TO FORMER LANDFILL STATUS.
- LANDSCAPING BEDS BETWEEN EAST PARKING LOT TO BE DEPRESSED TO ALLOW STORM RUNOFF TO INFILTRATE.
- CURRENT FIELD IS A VACANT LOT WITH LOCAL VEGETATION.
- XERISCAPE SHOULD USE 5 TO 20 GALLONS OF SUPPLEMENTAL WATER PER SQUARE FOOT PER YEAR.
- 5 GALLONS @ 2 GPA EMITTER FOR EACH SHRUB AND 2 MICROBUBBLES 6 GPA FOR EACH TREE WITH A RUNTIME OF AN HOUR.
- IN AREA UNDERLAIN BY BURIED REFUSE, ONLY NATIVE, DROUGHT-TOLERANT PLAN SPECIES THAT DO NOT REQUIRE IRRIGATION SHALL BE PLANTED DIRECTLY INTO THE GROUND.

"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

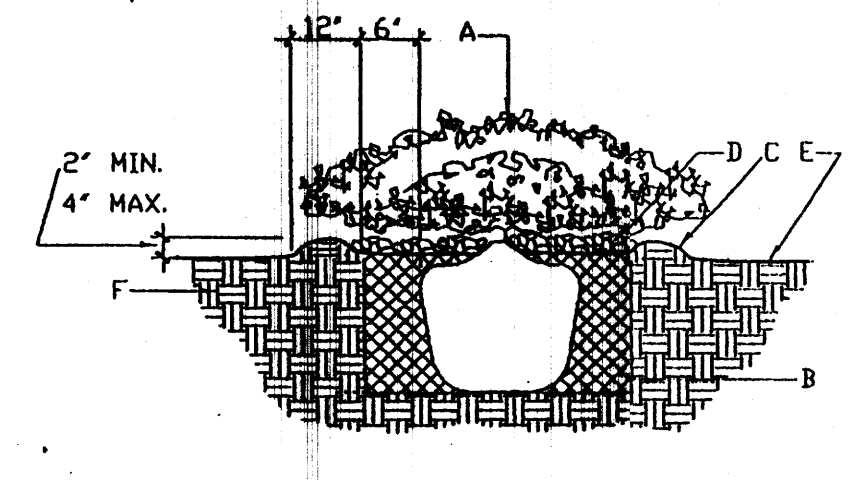


REDUCED PRESSURE & BACKFLOW PREVENTER ASSEMBLY

PLANT SCHEDULE										
SYMBOL	KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED	MATURE	CONDITION	USAGE	WATER USE	AREA COVERAGE
DECIDUOUS TREES										
NR		NEW MEXICO LOCUST	ROBINIA MEXICANA	2	5' - 7' HT.	30' HT. & SPD.	15 GAL. MULTI-TRUNK	SHADING	MEDIUM	688
WR		WESTERN REDBUD	CERCIS OCCIDENTALIS	11	2 1/2" CAL. 12' - 14' HT.	30' HT. & SPD.	30" BOX	SCREENING	MEDIUM	3456
HB		HACKBERRY	CETIS OCCIDENTALIS	5	5' - 10' HT.	35' HT. & SPD.	30" BOX	SHADING	MEDIUM	2256
EVERGREEN TREES										
SP		SCOTCH PINE	PINUS SYLVESTRIS	7	5' - 10' HT.	30' HT. & 25' SPD.	30" BOX	SCREENING	MEDIUM	3899
PP		PINUS PINE	PINUS EDLIS	4	7' - 10' HT.	30' HT. & 20' SPD.	30" BOX	SHADING	MEDIUM	2199
CR		COAST REDWOOD	SEQUOIA SEMPERVIRENS	8	5' - 10' HT.	40' HT. & 30' SPD.	30" BOX	SHADING	MEDIUM	4398
SHRUBS										
APP		APACHE PLUME	FALLUGIA PARADOXA	31	MIN. 24" HT.	4' HT. & SPD.	5 - GAL.	SCREENING / ORNAMENTAL	LDV	389
SC		SHRUBBY CINQUEFOIL	POTENTILLA FRUTICOSA	38	MIN. 24" HT.	3' HT. & SPD.	5 - GAL.	SCREENING	MEDIUM	346
BB		BUTTERFLY BUSH	BURBULEIA DAVIDII	24	MIN. 18" HT.	5' HT. & SPD.	5 - GAL.	ORNAMENTAL	LDV	534
CL		CLIFF ROSE	COEWANIA MEXICANA	12	MIN. 12" HT.	5" HT. & 6 SPD.	5 - GAL.	SCREENING	LDV	264
TL		TIG SAGE	ARTEMISIA TRIDENTATA	30	MIN. 8" SPD.	4' HT. & SPD.	5 - GAL.	SCREENING / ORNAMENTAL	LDV	377
DY		DWARF YUCCA	YUCCA BACCATA	44	MIN. 12" SPD.	3' HT. & 4' SPD.	5 - GAL.	SCREENING	LDV	953
				TOTAL	246			COVERAGE		18999



- GENERAL NOTES:
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 - TREE ROOT COLLAR SHALL BE AT GRADE. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED. THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL. THE PLANTING HOLE SHALL BE 2-5 TIMES AS WIDE AS THE ROOTBALL DEPENDING ON SURROUNDING SOIL COMPOSITION.
 - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:
- TREE.
 - BACKFILL WITH EXISTING SOIL.
 - EARTH BERM AROUND WATER RETENTION BASIN.
 - 4" DEPTH OF BARK MULCH.
 - FINISH GRADE.
 - UNDISTURBED SOIL.



- GENERAL NOTES:
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:
- SHRUB.
 - BACKFILL WITH EXISTING SOIL.
 - EARTH BERM AROUND WATER RETENTION BASIN.
 - 4" DEPTH OF BARK MULCH.
 - FINISH GRADE.
 - UNDISTURBED SOIL.

JOB NO. _____

DATE: 1 MAY 2008

REVISIONS

04 JUNE 2008
02 JULY 2008
09 JULY 2008
09 OCTOBER 2008

Sheet Title
DRB LANDSCAPING PLAN FOR BUILDING PERMIT

Drawn By: T. OTT
Checked By: T. OTT
From By: PESLUNA, S.A.

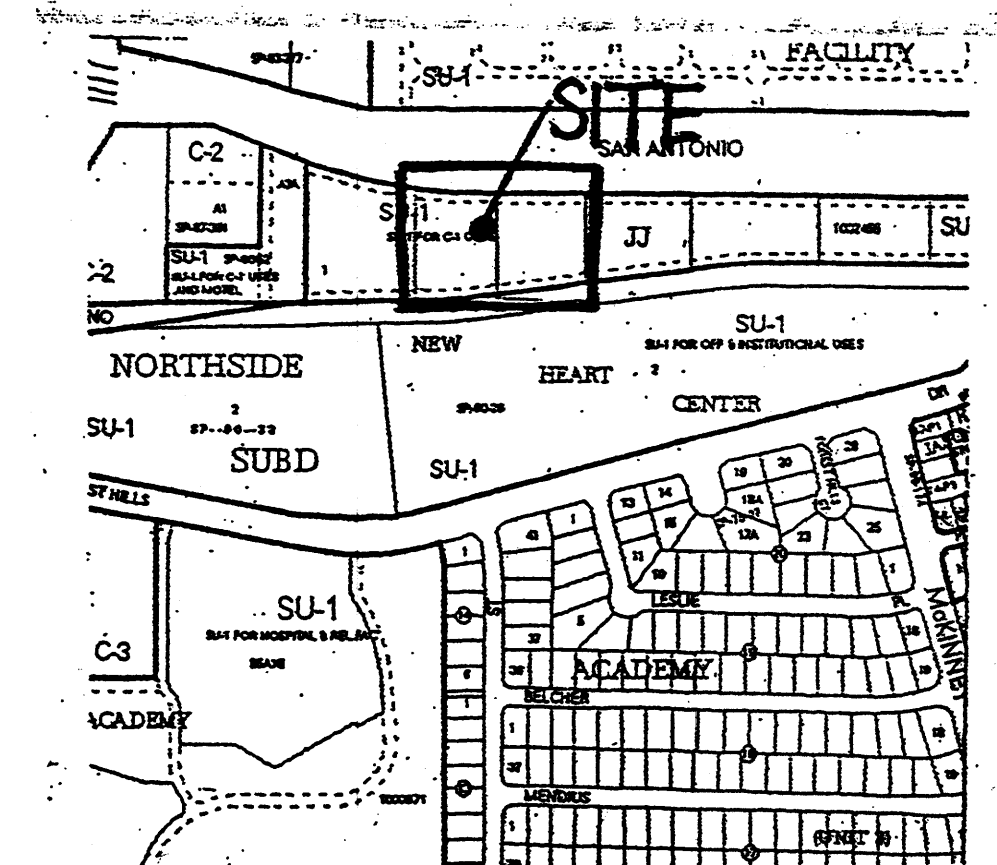
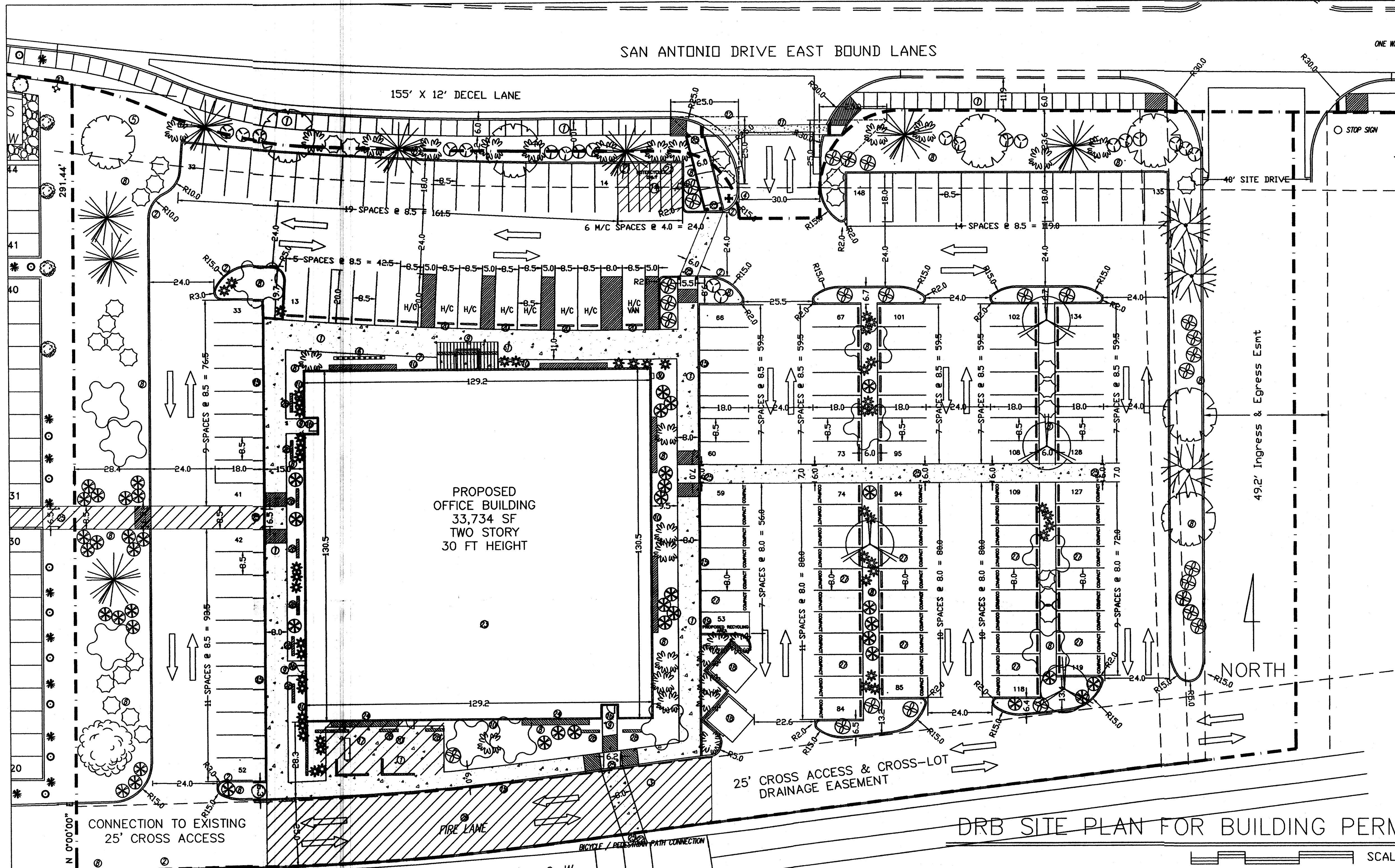
TM OTT / DEVELOPER
6620 VANCE AVE NE, SUITE G
ALBUQUERQUE, NM 87113
(505) 251-4675

MICHAEL DEL MASTRO / ARCHITECT
7008 DELWOOD RD. NE / (505) 885-4629
ALBUQUERQUE, NEW MEXICO 87110

Project Name
STATE ENGINEERING ALBUQUERQUE BUILDING ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB LP

SAN ANTONIO DRIVE EAST BOUND LANES



VICINITY MAP
N.T.S.

PROJECT NUMBER: 1002455
Application Number: 70446

Is an Infrastructure List required? (X) Yes () No
If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

JOB NO:
DATE:

1 MAY 2008
02 JULY 2008
09 OCTOBER 2008
27 OCTOBER 2008
04 NOVEMBER 2008
10 NOVEMBER 2008
24 NOVEMBER 2008

Sheet Title
DRB SITE PLAN FOR BUILDING PERMIT
 (Drawn By: PESUKWA, SA. Checked By: T. OTT)

TIM OTT / DEVELOPER
6620 VANCE AVE NE, SUITE G
ALBUQUERQUE, NM 87110
(505) 220-4675

MICHAEL DEL MASTRO / ARCHITECT
7008 DELWOOD RD. NE. (505) 886-4028
ALBUQUERQUE, NEW MEXICO 87110

Project Name
**STATE ENGINEERING
ALBUQUERQUE BUILDING**
 ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB SP

GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, JJ SUBDIVISION CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES SECOND FLOOR: 16,867 SF NET LEASABLE SF = 87 SPACES 141 TOTAL REG.

PROVIDED: 151 TOTAL SPACES (83 REG., 47 COMPACT, 8 HANDICAP) (29% OF SPACES ARE FOR COMPACT CARS)

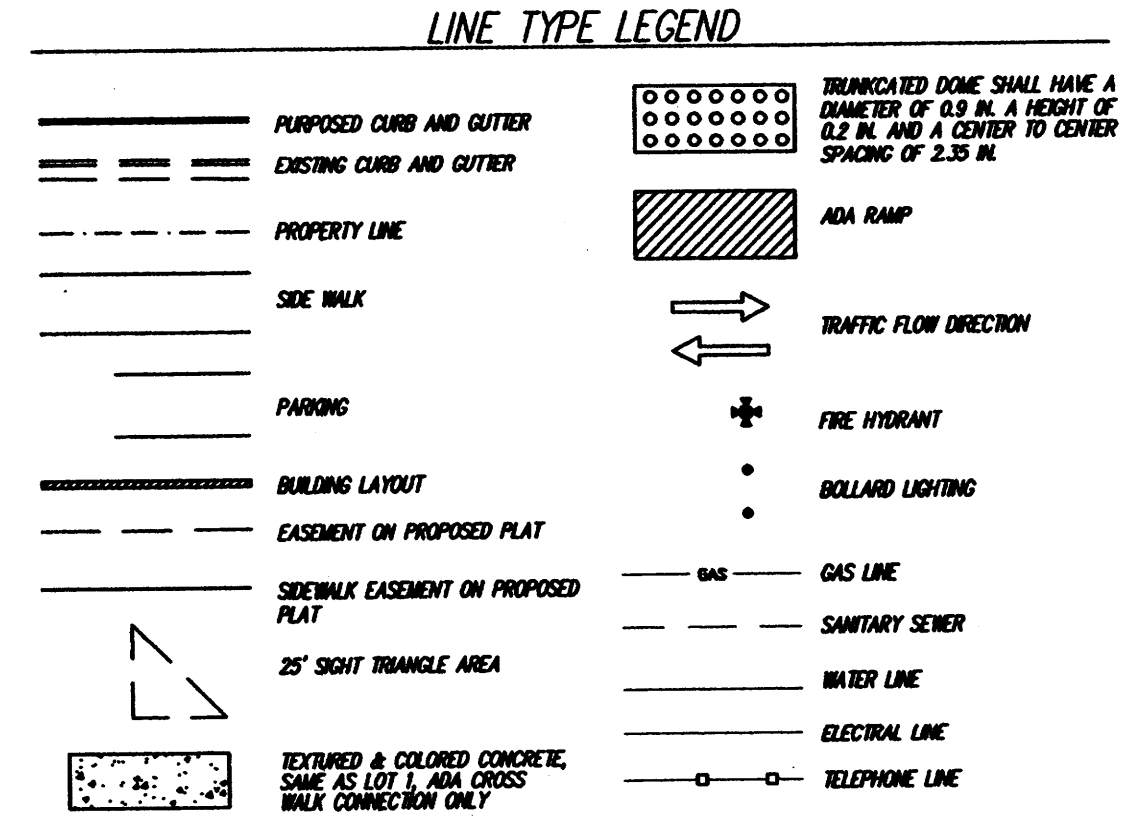
PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking space.) PROVIDED: 7 SPACES, 1 VAN ACCESSIBLE

PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (with 101 to 300 req. parking space.) PROVIDED: 7 SPACES

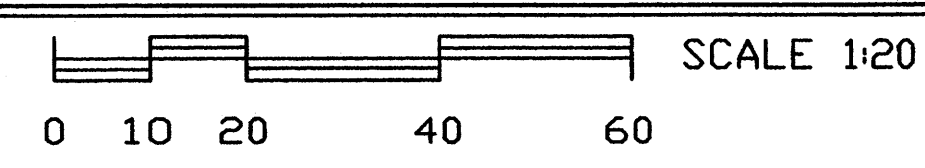
BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking space.) PROVIDED: 8 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPED E ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.



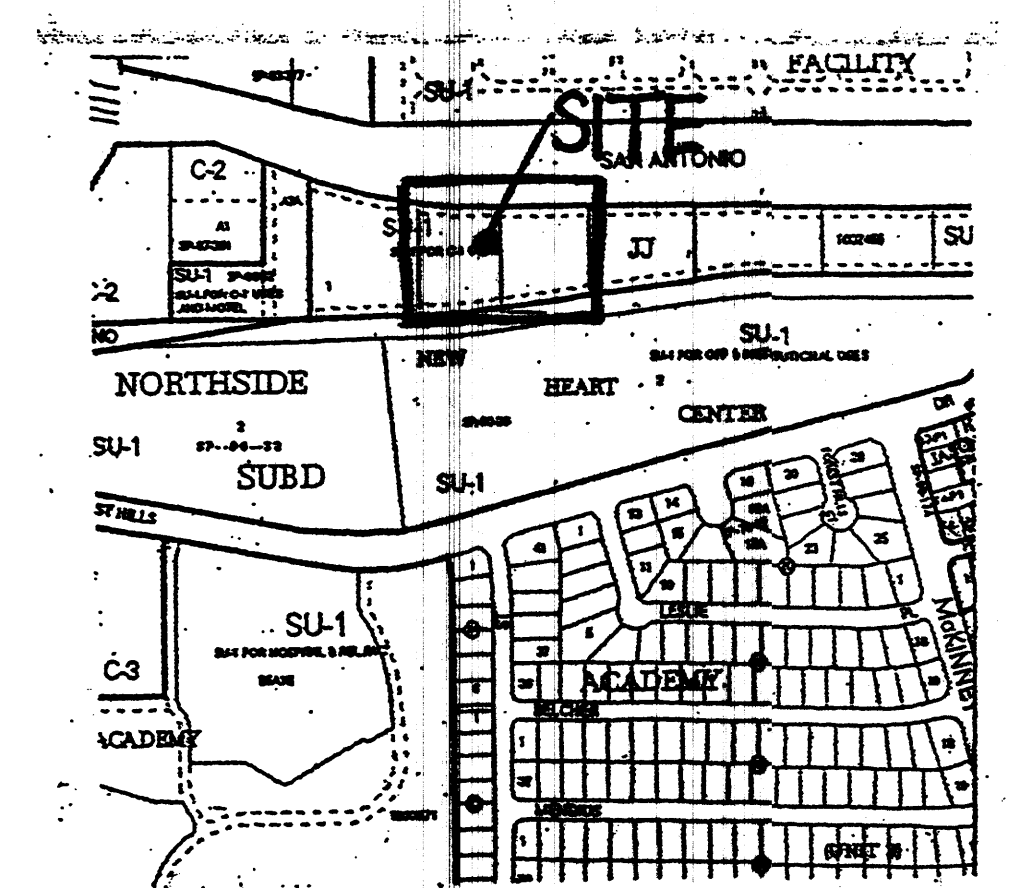
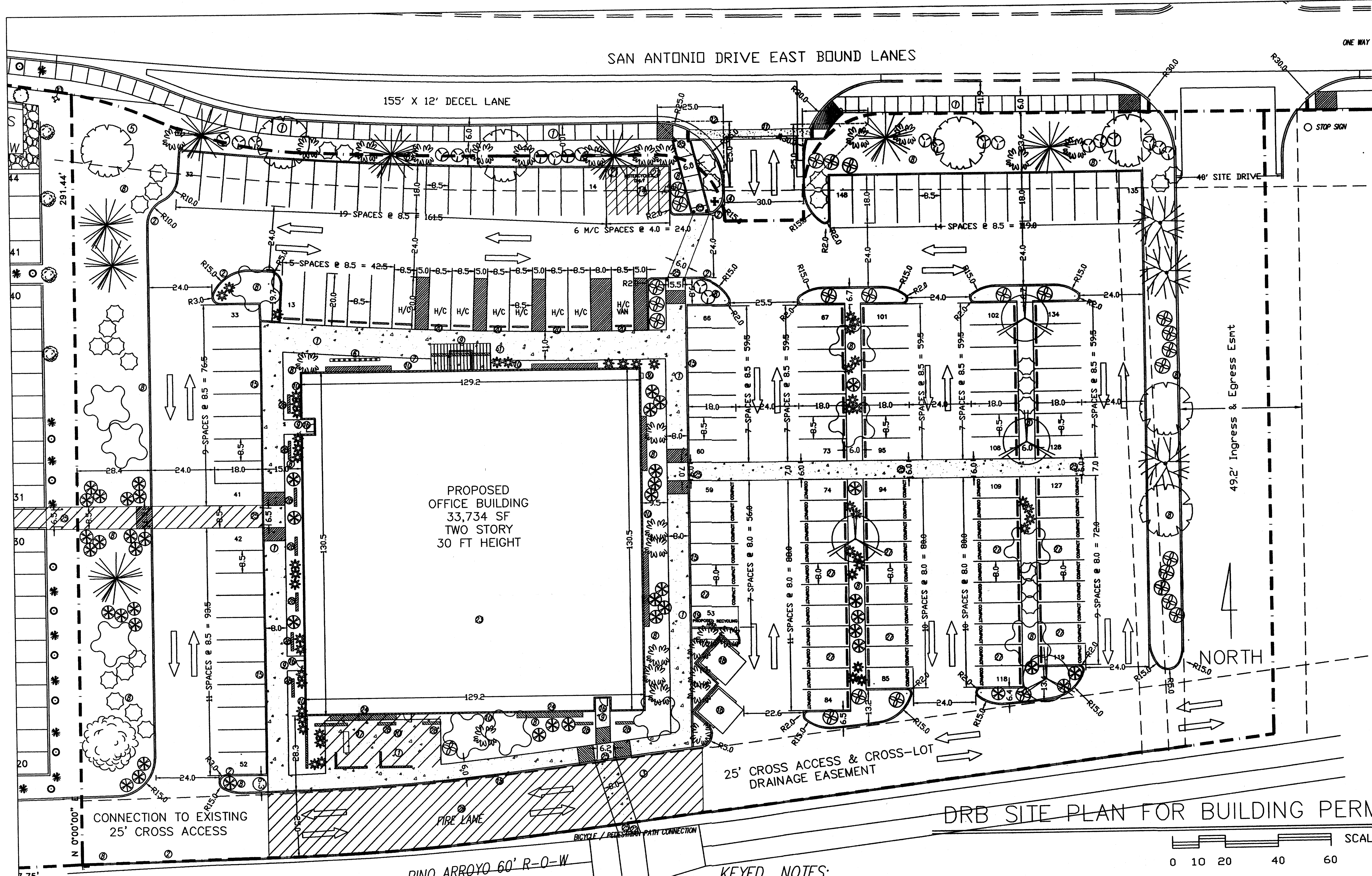
- KEYED NOTES:**
- NEW CONCRETE SIDEWALK PER COA STD 2430.
 - NEW CONCRETE CURB & GUTTER PER COA STD 2415.
 - REMOVE LOT LINE—PER PLAT.
 - NEW FIRE HYDRANT LOCATION.
 - AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL. SEE DRB ELEV SHEET FOR DETAIL. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
 - BICYCLE RACK, MINIMUM 8 SPACES.
 - FLAG POLE
 - LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM.
 - SECURITY LIGHTING AT ALL ENTRANCES.
 - EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL.
 - DRIVEWAY PER CITY OF ALBUQUERQUE STD 2426.
 - EXISTING FIRE HYDRANT, TO BE RELOCATED.
 - EXISTING FIRE HYDRANT.
 - MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE.
 - NEW TURN DOWN SIDEWALK AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUND THE BUILDING.
 - CYPHER LOCK ON ENTRANCE.
 - EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
 - DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS.
 - PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
 - HANDICAP SIGNAGE LOCATION.
 - MOTORCYCLE SIGNAGE LOCATION.
 - PINO ARROYO BICYCLE & PEDESTRIAN TRAIL.
 - ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE.
 - LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM.
 - BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE.
 - NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED.
 - ALL COMPACT SPACES TO BE LABELED ON PAVEMENT.
 - SHADING WALLS.
 - STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL.
 - KNOX BOX LOCATION PER FIRE MARSHALL.
 - ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SDP.



NOTE:
1. ALL RAMPS WITHIN THE SITE HAVE A MAX. SLOPE OF 1:12
2. ALL ITEMS IN CITY ROW TO BE COMPLETED UNDER SEPARATE WORK ORDER.

Proj# 1002455
Angela

"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."



VICINITY MAP
N.T.S.

PROJECT NUMBER: 1002455
Application Number: 70446

Is an Infrastructure List required? (X) Yes () No
If yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

DRB SITE PLAN FOR BUILDING PERMIT

- NOTE:
1. ALL RAMPS WITHIN THE SITE HAVE A MAX. SLOPE OF 1:12
 2. ALL ITEMS IN CITY ROW TO BE COMPLETED UNDER SEPARATE WORK ORDER.

Proj#1002455

Jack

GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, JJ SUBDIVISION, CITY OF ALBUQUERQUE, NEW MEXICO, COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING, TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES (83 REG., 1 VAN ACCESSIBLE); SECOND FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES (83 REG., 1 VAN ACCESSIBLE); 141 TOTAL REQ.

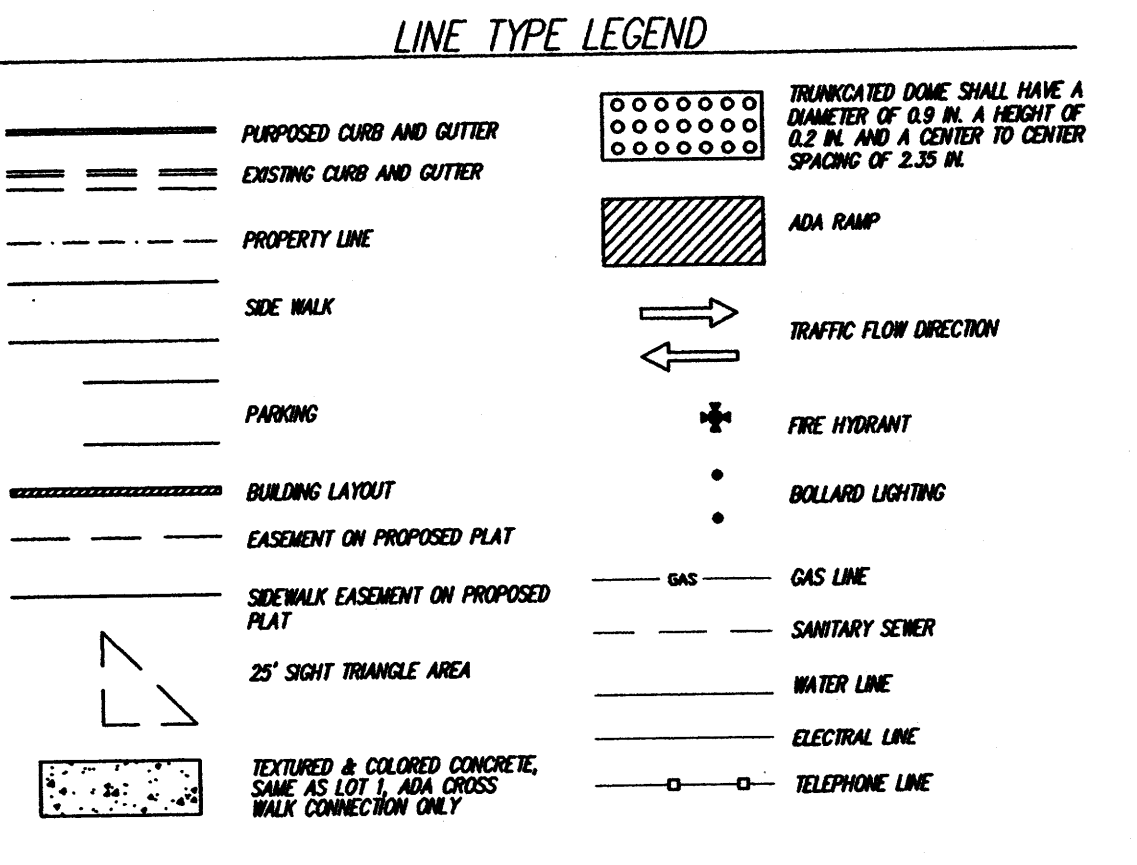
PROVIDED: 151 TOTAL SPACES (83 REG., 47 COMPACT, 8 HANDICAP)

PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (WITH 101 TO 300 REQ. PRKING SPACES); PROVIDED: 7 SPACES, 1 VAN ACCESSIBLE

PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (WITH 101 TO 300 REQ. PRKING SPACES); PROVIDED: 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (WITH 101 TO 300 REQ. PRKING SPACES); PROVIDED: 8 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS. THERE WILL BE NO PHASING PLAN IN THIS PROJECT.



KEYED NOTES:

1. NEW CONCRETE SIDEWALK PER COA STD 2430.
2. NEW CONCRETE CURB & GUTTER PER COA STD 2415.
3. REMOVE LOT LINE - PER PLAT.
4. NEW FIRE HYDRANT LOCATION.
5. AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL. SEE DRB ELEV SHEET FOR DETAIL. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
6. BICYCLE RACK, MINIMUM 8 SPACES.
7. FLAG POLE
8. LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM.
9. SECURITY LIGHTING AT ALL ENTRANCES.
10. EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL.
11. DRIVEWAY PER CITY OF ALBUQUERQUE STD 2426.
12. EXISTING FIRE HYDRANT, TO BE RELOCATED.
13. EXISTING FIRE HYDRANT.
14. MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE.
15. NEW TURN DOWN SIDEWALK AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING.
16. CYPPER LOCK ON ENTRANCE.
17. EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
18. DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS.
19. PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
20. HANDICAP SIGNAGE LOCATION.
21. MOTORCYCLE SIGNAGE LOCATION.
22. PINO ARROYO BICYCLE & PEDESTRIAN TRAIL.
23. ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE.
24. LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM.
25. BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE.
26. NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED.
27. ALL COMPACT SPACES TO BE LABELED ON PAVEMENT.
28. SHADING WALLS.
29. STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL.
30. KNOX BOX LOCATION PER FIRE MARSHALL.
31. ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SDP.

"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

JOB NO:

DATE: 1 MAY 2008

02 JULY 2008

09 OCTOBER 2008

27 OCTOBER 2008

04 NOVEMBER 2008

10 NOVEMBER 2008

24 NOVEMBER 2008

Sheet Title
DRB SITE PLAN FOR BUILDING PERMIT

Drawn By: PESHKAW, S.A. Checked By: T. OTT

TIM OTT / DEVELOPER
6800 VANCE AVE. SUITE G
ALBUQUERQUE, NM 87110
(505) 250-4675

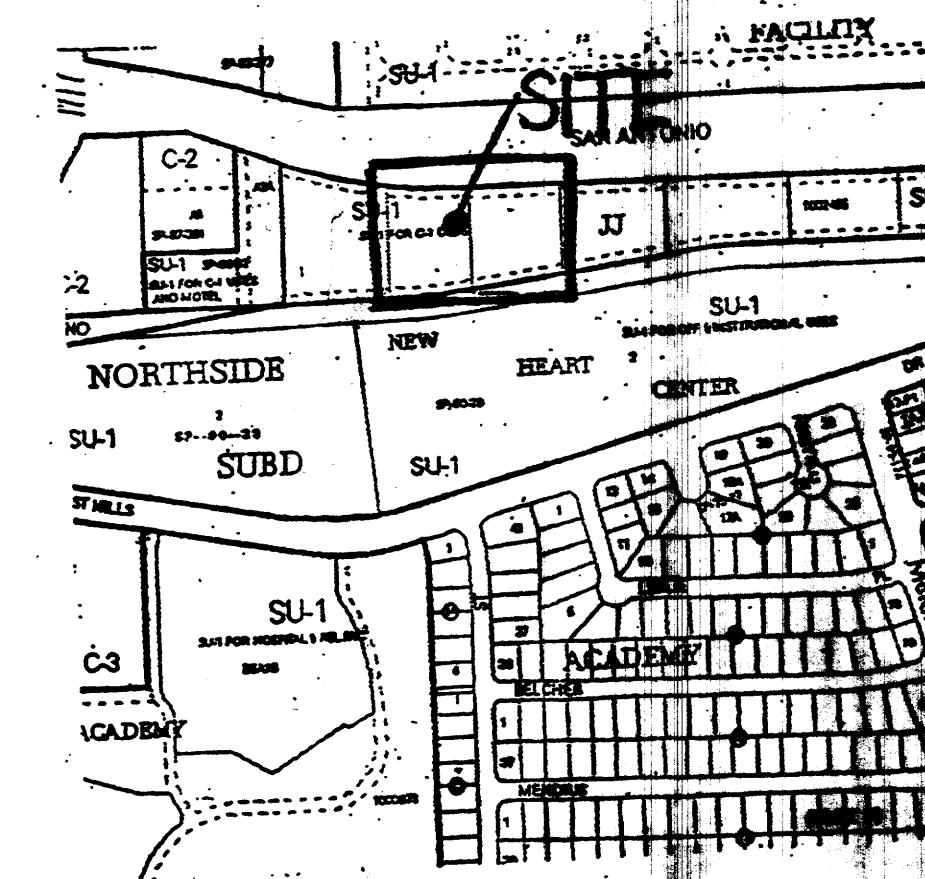
MICHAEL DEL MASTRO / ARCHITECT
7008 DELWOOD RD. NE / SUITE 400
ALBUQUERQUE, NEW MEXICO 87110
(505) 250-4675

Project Name
**STATE ENGINEERING
ALBUQUERQUE BUILDING**
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB SP

DRB - AMENDED SITE PLAN FOR SUBDIVISION LOTS 2 & 3 JJ SUBDIVISION

DRB - SITE PLAN FOR BUILDING PERMIT LOTS 2 & 3 JJ SUBDIVISION



VICINITY MAP
N.T.S.

INDEX TO DRAWINGS:

- CS - COVER SHEET
- SDP - AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION LOTS 2 & 3
- SD-1 - PREVIOUSLY APPROVED 08 EPC-00147-EPC SDP-S
- DRB SP - SITE PLAN FOR BUILDING PERMIT
- DRB SPDS - SITE PLAN DETAIL SHEET FOR BUILDING PERMIT
- DRB EVEL - BUILDING & STRUCTURAL ELEVATIONS
- DRB LP - LANDSCAPING PLAN
- DRB TLC - TRAFFIC CIRCULATION LAYOUT
- CON GD - CONCEPTUAL GRADING PLAN
- CON UP - CONCEPTUAL UTILITY PLAN 2
- ENV-1 - LFG ABATEMENT SYSTEM PLAN
- ENV-2 - LFG ABATEMENT SYSTEM ELEVATIONS & SECTION A
- ENV-3 - LFG ABATEMENT SYSTEM DETAILS

DESIGN CRITERIA:

- ZONING: SU-1 FOR C-1
- TYPE OF OCCUPANCY: B
- TYPE OF CONSTRUCTION: II-N
- GROSS SQUARE FOOTAGE: 33,734 SQ. FT.

PROJECT LOCATION:

LOT 2 JJ SUBDIVISION
SAN ANTONIO DRIVE NE
ALBUQUERQUE, NEW MEXICO

ARCHITECT:

MIKE DEL MASTRO
5620 VENICE AVE NE, SUITE J
ALBUQUERQUE, NEW MEXICO 87113

LESSOR:

TIM OTT
5620 VENICE AVE NE, SUITE J
ALBUQUERQUE, NEW MEXICO 87113

CONTRACTOR:

ISBS, LLC
5620 VENICE AVE NE, SUITE J
ALBUQUERQUE, NEW MEXICO 87113

FOR:

NEW MEXICO OFFICE OF STATE ENGINEER
121 TIJERAS NE
ALBUQUERQUE, NEW MEXICO 87502

JOB NO.	
DATE:	1 MAY 2008
REVISIONS	
	04 JUNE 2008
	02 JULY 2008
	09 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008

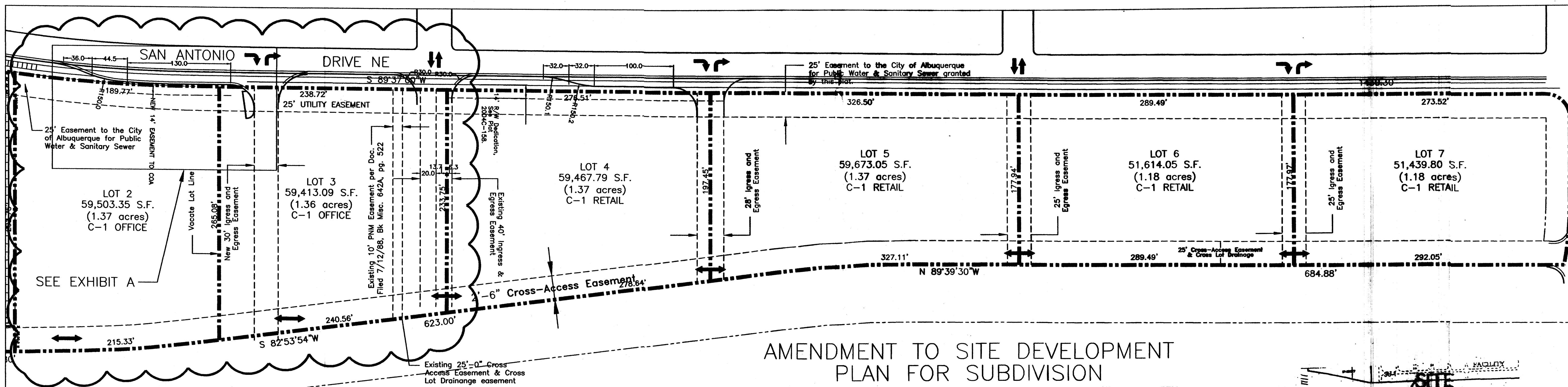
Sheet Title
DRB COVER SHEET
Drawn By: PESHMAL, S.A. Checked By: T. OTT

TIM OTT / DEVELOPER
5620 VENICE AVE NE, SUITE G
ALBUQUERQUE, NM 87113
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7908 DELWOOD RD. NE / (505) 885-4929
ALBUQUERQUE, NEW MEXICO 87110

Project Name
**STATE ENGINEERING
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO**

SHEET NO.
DRB CS



AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

Scale 1" = 70'-0"

LEGAL DESCRIPTION

LOTS 2 & 3
JJ SUBDIVISION
BEING A REPLAT OF TRACT A-3-B,
J GROUP ADDITION, TRACT 1,
NEW HEART CENTER & TRACT 1,
NORTHSIDE SUBDIVISION
WITHIN PROJECTED SECTION 25
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
ZONING: SU-1 FOR C-1 USES

CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO

NOTES: LOTS 2 & 3
BUILDING HEIGHT NOT TO EXCEED 34 FT.
MAXIMUM FLOOR-AREA RATIO: 30.0%
BUILDING MINIMUM SETBACKS:
FRONT: 25.0 FT.
SIDE: 5.0 FT.
REAR: 5.0 FT.

TRAFFIC FLOW NOTES

- ↔ - TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- ↘ - RIGHT TURN ONLY INTO LOT
- ↗ - RIGHT TURN ONLY OUT OF LOT
- ↕ - TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW

GENERAL DESIGN CRITERIA:

1. ALL STRUCTURES ON LOTS SHALL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
2. DESIGN OF BUILDING SHALL BE A COMPATIBLE STYLE, MATERIALS AND COLORS THROUGHOUT LOTS 2 - 7.
3. PARKING SHALL NOT EXCEED THE REQUIRED PLUS 10%.
4. ACCESSIBLE (ADA) COMPLIANT PARKING SHALL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY. REQUIRED PARKING SHALL BE DISTRIBUTED ON AT LEAST TWO SIDES OF A BUILDING.
5. ALL SIDEWALKS SHALL HAVE A MINIMUM OF 6 FEET CLEAR WALKWAY AREA PROTECT BY PERMANENT CAR STOPS.
6. FRONT ENTRY SIDEWALK AREAS SHALL BE COVERED OR SHADED BY TREES.
7. ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS AND THRU VEHICULAR AREAS.
8. PATIO AREAS FOR EMPLOYEES SHALL BE PROVIDED AND SHADED.
9. BICYCLE RACKS SHALL BE PROVIDED PER COA CODE.
10. ALL LANDSCAPING SHALL BE PER COA CODE. NO GREATER THAN 20% OF LANDSCAPED AREA SHALL BE HIGH WATER USE AND ALL APPLICABLE WATER CONSERVATION MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION SHALL BE ADHERED TO. PLANTS SHALL BE CLUSTERED TO ALLOW WATER HARVESTING. CLUSTERING WILL CONCENTRATE GROUND COVERAGE IN PLANTED AREAS WITH DECORATIVE NON-PLANT GROUND COVER IN NON-PLANTED AREAS. ALL LANDSCAPING SHALL BE IN COMPLIANCE WITH THE LANDFILL GAS ABATEMENT PLAN.
11. PERIMETER WALLS SHALL COMPLY WITH PLANNING DEPARTMENT GUIDELINES AT TIME OF BUILDING PERMIT APPLICATION NOT TO EXCEED 3'-4" HIGH.
12. ALL ROOF TOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS SHALL MATCH STRUCTURE OR ROOF COLOR.
13. FRONT FACADES SHALL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THE ENTIRE FRONT FACADE OF THE STRUCTURE.
14. LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
15. ALL REFUSE ENCLOSURES SHALL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
16. MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN SHALL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
17. BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
18. SITE AND BUILDING LIGHTING SHALL BE FULLY SHIELDED AND COMPLY WITH SECTION 14-16-3-9 OF THE COA ZONING CODES AND WITH THE NM NIGHT SKY PROTECTION ACT. MAXIMUM LIGHTPOLE HEIGHT SHALL BE 18'-0".
19. 3'-0" HIGH BOLLARD ILLUMINATION (AT LEAST ONE) AT CURB RAMPS ENTERING A CROSSWALK, BE ONE DESIGN TYPE, FULLY SHIELDED.
20. ALL CROSSWALKS TO BE TEXTURED WITH COLORED CONCRETE OR BRICK PAVING.

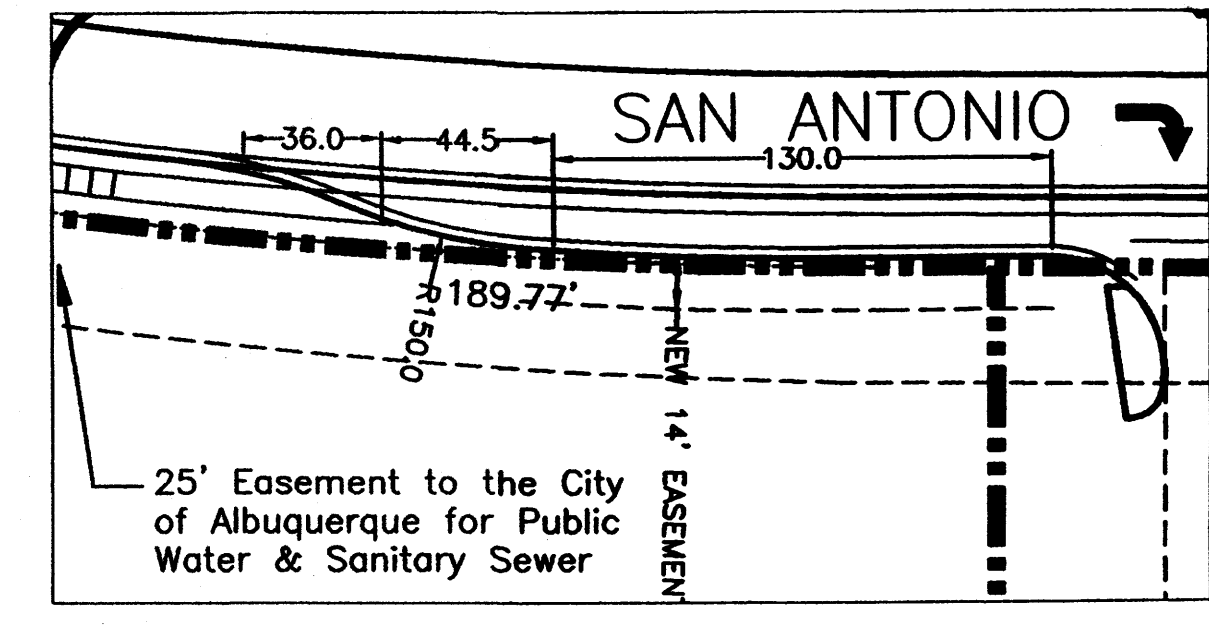
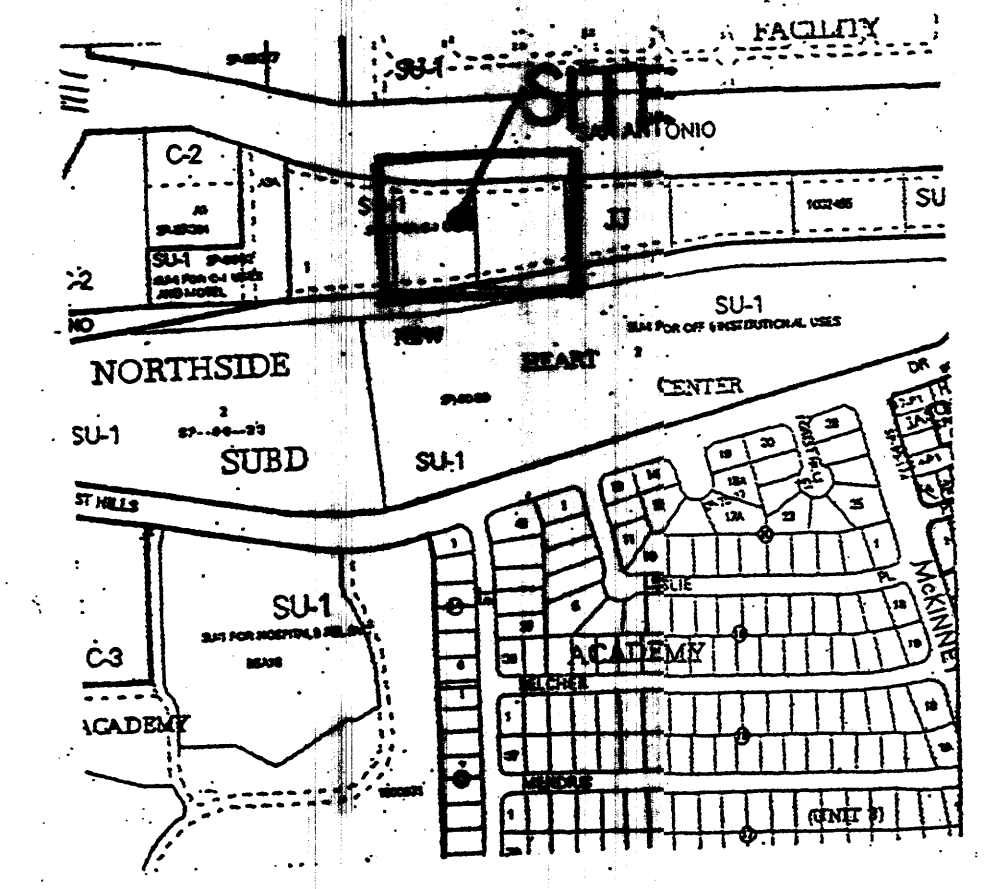


EXHIBIT A

Scale 1" = 50'-0"



VICINITY MAP

"The developers of this site are required to follow the most current version of the City of Albuquerque Interim Guidelines for development within city designated landfill buffer zones. A review and approval of the Site Plan(s) is required. The proposed construction, design drawings, and a certification will be required by the Environmental Health Department (EHD), Environmental Services Division."

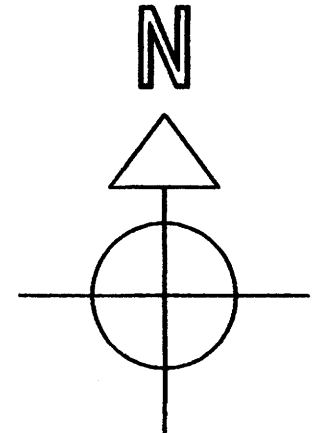
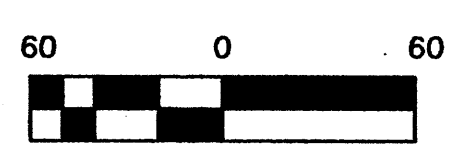
"The subject property is located on an existing landfill. Due to the subject property being on a landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within City - Designated Landfill Buffer Zones") shall be consulted prior to development of the site."

PROJECT NUMBER: 1002455
Application Number: _____

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	_____	Date
Utilities Development	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date



JOB NO.	
DATE	1 MAY 2008
REVISIONS	
	04 JUNE 2008
	02 JULY 2008
	09 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008

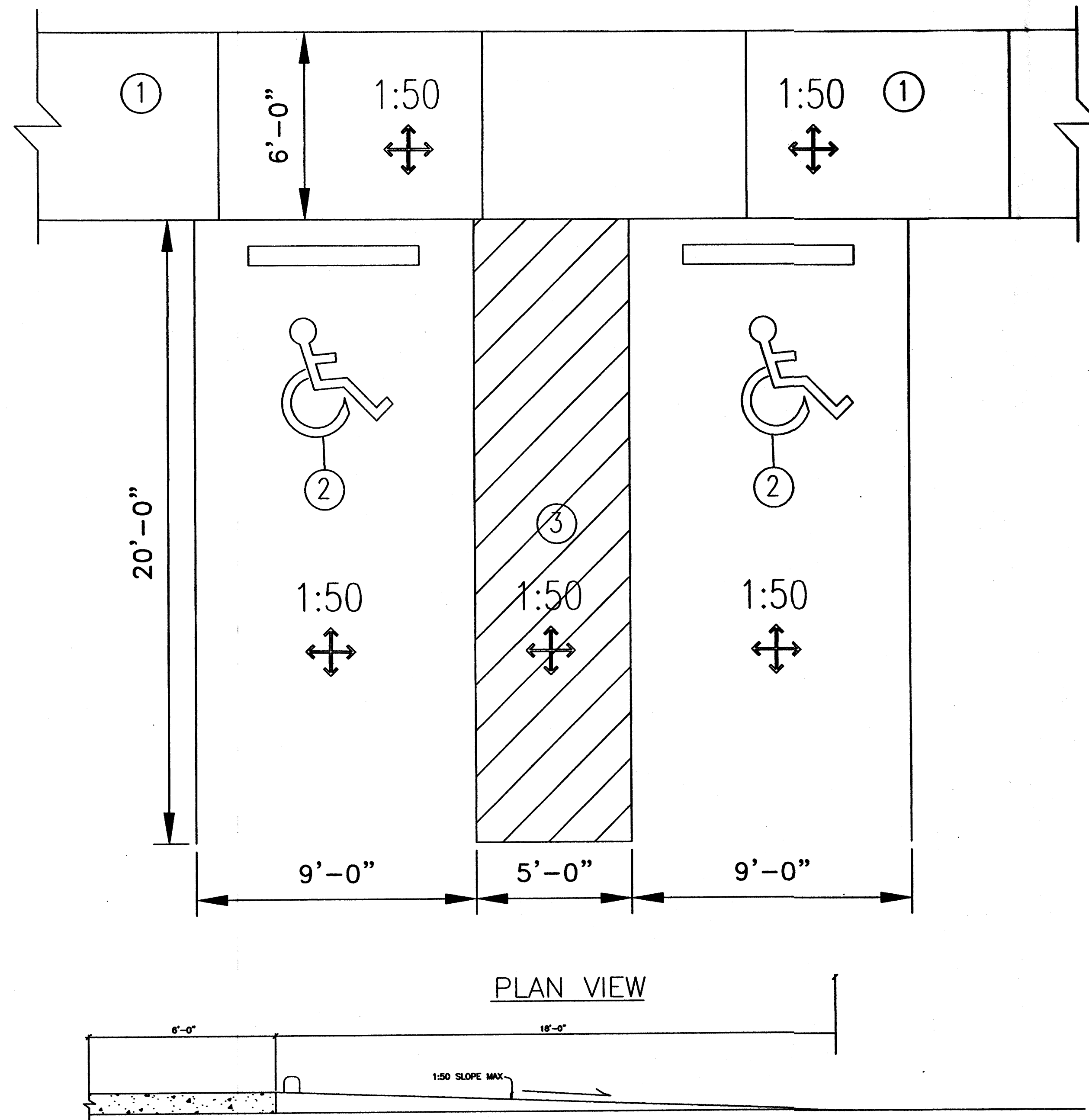
Sheet Title
AMENDED SITE PLAN FOR SUBDIVISION
Drawn By: PESHUKAI, S.A. Checked By: T. OTT

TIM OTT / DEVELOPER
5820 VANCE AVE NE SUITE 9
ALBUQUERQUE, NM 87118
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7008 DELWOOD RD. NE / (505) 869-4629
ALBUQUERQUE, NEW MEXICO 87110

Project Name
**STATE ENGINEERING
ALBUQUERQUE BUILDING**
ALBUQUERQUE, NEW MEXICO

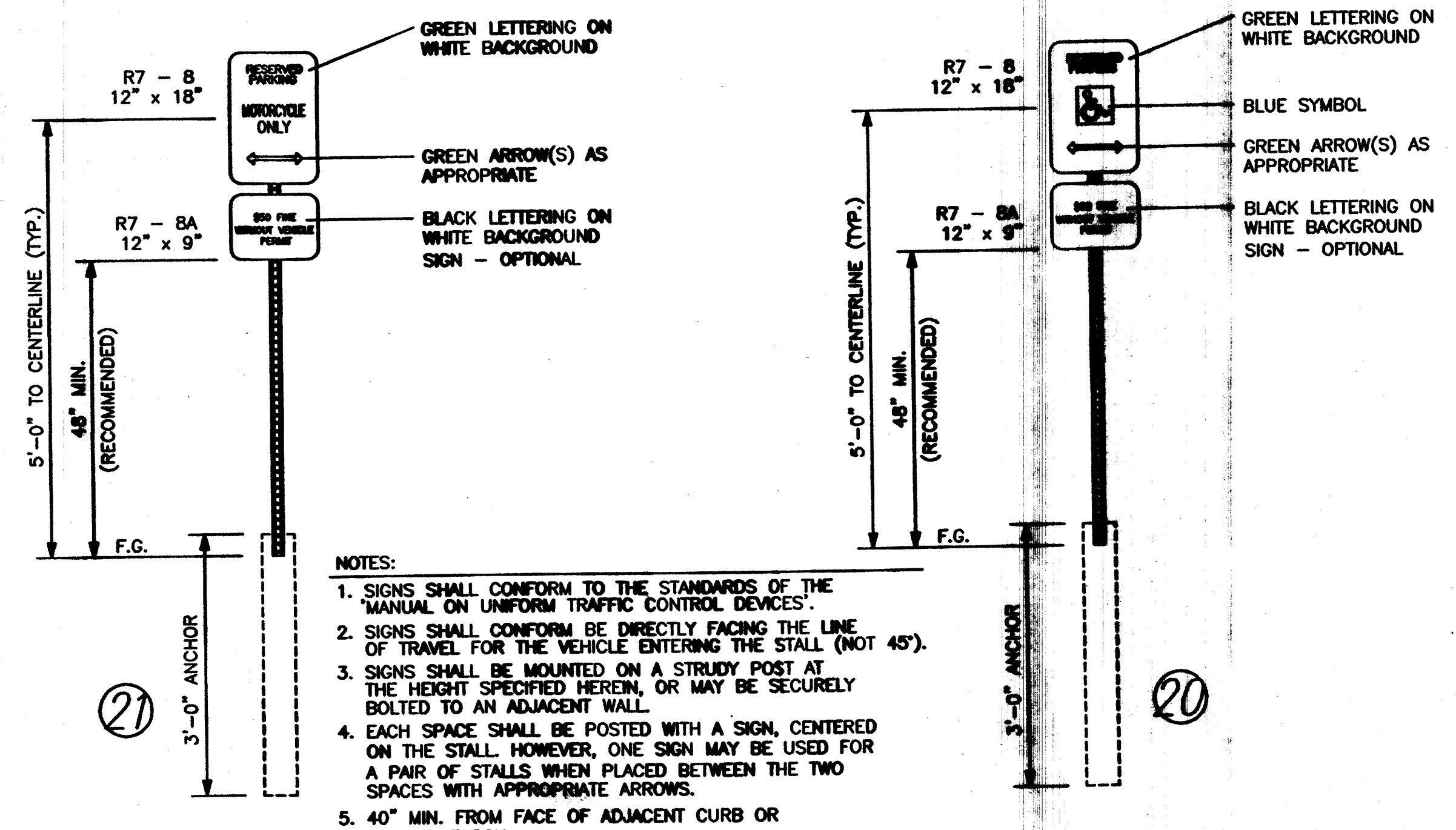
SHEET NO.
SDP



PLAN VIEW

- KEYED NOTES:
1. 6" SIDEWALK X 4" THK. WITH HEAVY BROOM FINISH.
 2. ACCESSIBLE PARKING SYMBOL.
 3. TYPICAL PAINTED PARKING SPACE LINE 4" WIDE.

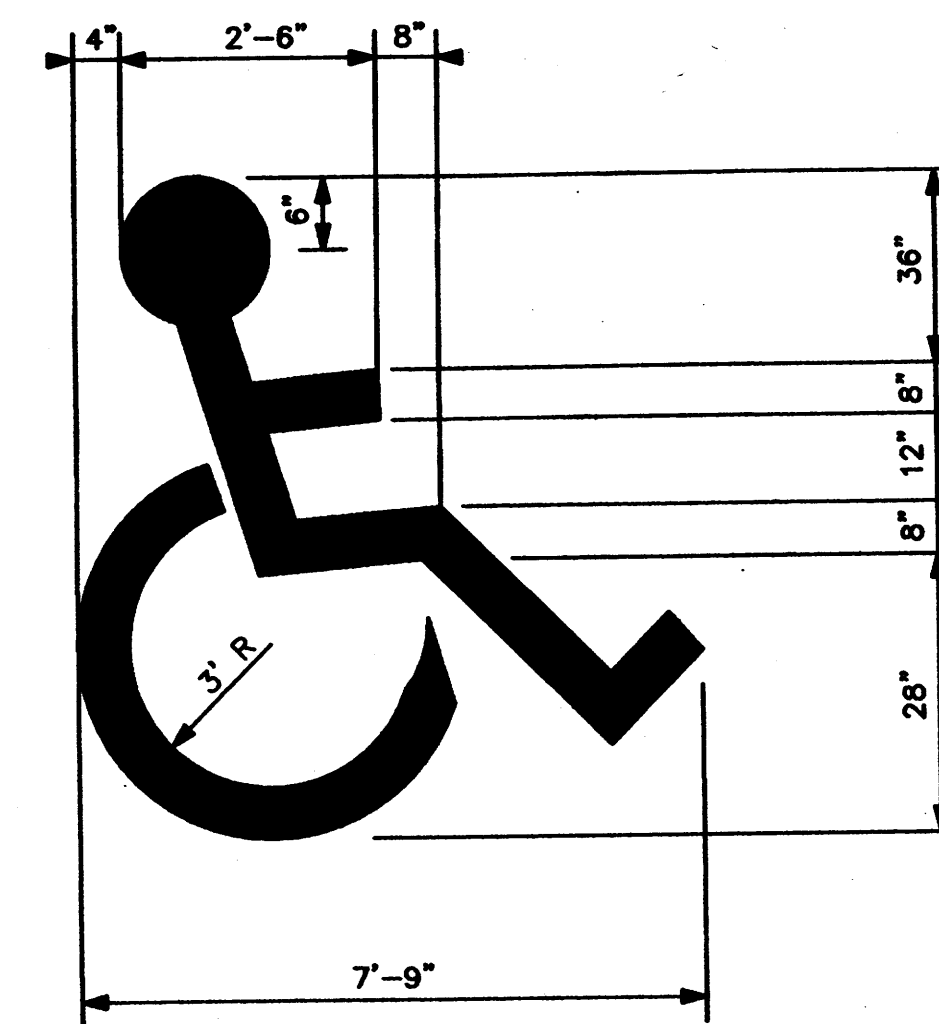
ENLARGED ACCESSIBLE PARKING, TYPICAL
SCALE: N.T.S.



NOTES:

1. SIGNS SHALL CONFORM TO THE STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. SIGNS SHALL CONFORM BE DIRECTLY FACING THE LINE OF TRAVEL FOR THE VEHICLE ENTERING THE STALL (NOT 45°).
3. SIGNS SHALL BE MOUNTED ON A STRUDY POST AT THE HEIGHT SPECIFIED HEREIN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
4. EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE USED FOR A PAIR OF STALLS WHEN PLACED BETWEEN THE TWO SPACES WITH APPROPRIATE ARROWS.
5. 40" MIN. FROM FACE OF ADJACENT CURB OR

ACCESSIBLE SIGN
SCALE: N.T.S.



ACCESSIBLE PARKING SYMBOL
SCALE: N.T.S.

JOB NO.	
DATE:	1 MAY 2008
REVISIONS	
	04 JUNE 2008
	02 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008
	04 NOVEMBER 2008

Sheet Title
SITE PLAN DETAILS
Drawn By: PESHANA, S.A. Checked By: T. OTT

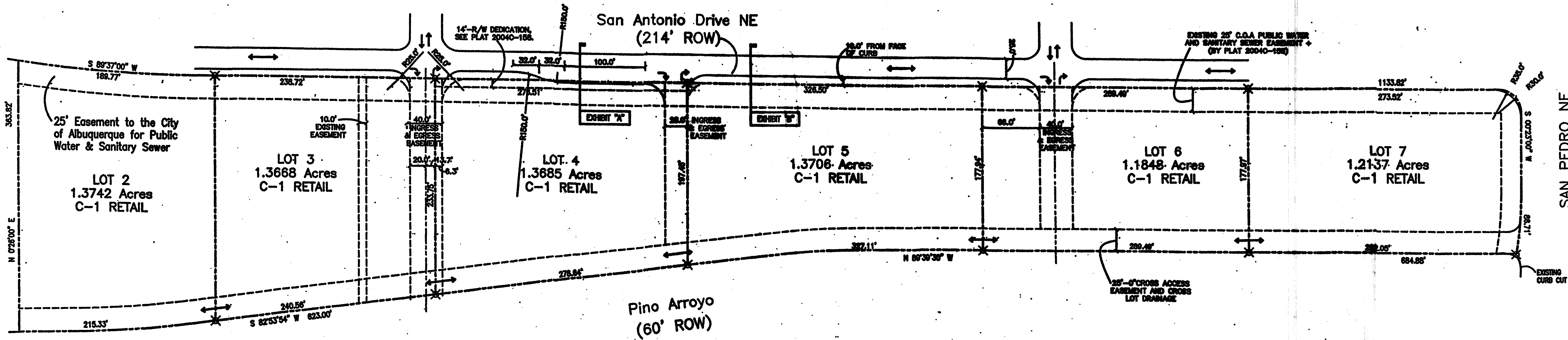
TIM OTT / DEVELOPER
6600 VENCE AVE NE SUITE 0
ALBUQUERQUE, NM 87118
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7008 DELWOOD RD. NE / (505) 885-8629
ALBUQUERQUE, NEW MEXICO 87110

Project Name
**STATE ENGINEERING
ALBUQUERQUE BUILDING**
ALBUQUERQUE, NEW MEXICO

SHEET NO.
SPD

SEE APPROVED SITE PLAN FOR SUBDIVISION PROJECT NO. 1002455 CONTINUATION



AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

SCALE: 1"=60'-0"



"The subject property is located on an existing landfill. Due to the subject property being on a landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within City - Designated Landfill Buffer Zones") shall be consulted prior to development of the site."

"THE DEVELOPERS OF THIS SITE ARE REQUIRED TO FOLLOW THE MOST CURRENT VERSION OF THE CITY OF ALBUQUERQUE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES. A REVIEW AND APPROVAL OF THE SITE PLAN(S), THE PROPOSED CONSTRUCTION, DESIGN DRAWINGS, AND A CERTIFICATION OF CONSTRUCTION WILL BE REQUIRED BY THE ENVIRONMENTAL HEALTH DEPARTMENT (EHD), ENVIRONMENTAL SERVICES DIVISION."

LEGAL DESCRIPTION

LOTS 2 THRU 7
J SUBDIVISION
BEING A REPLAT OF TRACT A-3-B,
J GROUP ADDITION, TRACT 1,
NEW HEART CENTER & TRACT 1,
NORTHSIDE SUBDIVISION

WITHIN PROJECTED SECTION 25
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE,
BERNALILLO COUNTY
NEW MEXICO

NOTES: LOTS 2 THRU 7

BUILDING HEIGHT NOT TO EXCEED 34 FT.
MAXIMUM FLOOR-AREA RATION: 20.0%
BUILDING MINIMUM SETBACKS:
FRONT: 25.0 FT
SIDE: 5.0 FT
REAR: 5.0 FT

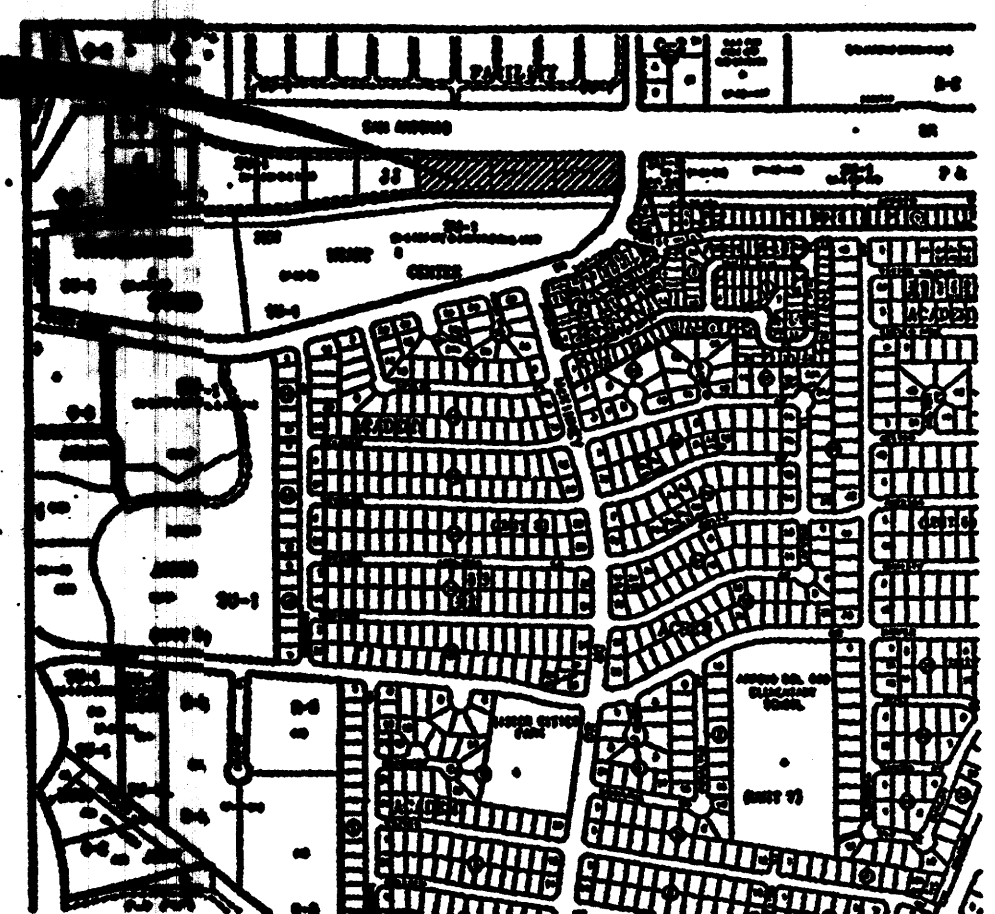
TRAFFIC FLOW NOTES

- TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- RIGHT TURN ONLY INTO LOT
- RIGHT TURN ONLY OUT OF LOT
- TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW

GENERAL DESIGN CRITERIA:

1. ALL STRUCTURES ON LOTS WILL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
2. DESIGN OF BUILDING SHALL BE A COMPATIBLE STYLE, MATERIALS AND COLORS THROUGHOUT LOTS 2-7.
3. PARKING WILL NOT EXCEED THE REQUIRED PLUS 10%.
4. ACCESSIBLE (ADA) COMPLIANT PARKING WILL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY, AND REQUIRED PARKING SHALL BE DISTRIBUTED ON AT LEAST TWO SIDES OF A BUILDING.
5. ALL SIDEWALKS WILL HAVE A MINIMUM OF 6 FEET CLEAN WALKWAY AREA PROTECTED BY PERMANENT CAR STOPS.
6. FRONT ENTRY SIDEWALK AREAS WILL BE COVERED OR SHADED BY TREES.
7. ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS AND THRU VEHICULAR AREAS.
8. PATIO AREAS FOR EMPLOYEES WILL BE PROVIDED AND SHADED.
9. BICYCLE RACKS WILL BE PROVIDED PER COA CODE.
10. ALL LANDSCAPING WILL BE PER COA CODE. NO GREATER THAN 20% OF LANDSCAPED AREA WILL BE LOW WATER USE AND ALL APPLICABLE WATER CONSERVATIONS MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION WILL BE ADHERED TO. 80% MINIMUM GROUND COVERAGE WITH LOW WATER USE OF NATIVE PLANTS.
11. SCREEN WALLS WILL NOT TO EXCEED 3'-4" HIGH, AND SHALL MATCH STUCCO COLOR OF BUILDINGS.
12. ALL ROOF TOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS WILL MATCH STRUCTURE OR ROOF COLOR.
13. FRONT FACADES WILL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TRESS PLANTED IN A MANNER TO SHADE THERE ENTIRE FRONT FACADE OF THE STRUCTURE.
14. LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
15. ALL REFUSE ENCLOSURES WILL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
16. MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN WILL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
17. BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
18. SITE AND BUILDING LIGHTING WILL COMPLY WITH COA CODES AND REGULATIONS, FULLY SHIELDED, ONE DESIGN TYPE, FOOTING SHALL MATCH STUCCO COLOR, AND 18'-0" HIGH MAXIMUM.
19. 3'-0" HIGH BOLLARD ILLUMINATION (AT LEAST ONE) AT CURB RAMPS ENTERING A CROSSWALK, BE ONE DESIGN TYPE, FULLY SHIELDED.
20. ALL CROSSWALKS TO BE TEXTURED WITH COLORED CONCRETE OR BRICK PAVING.

SITE LOCATION



LOCATION MAP
ZONE ATLAS: E-18-2

PROJECT NUMBER: 1002455
APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATE _____ AND THE FINDING S AN CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	6-11-08
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
	6-11-08
UTILITIES DEVELOPMENT	DATE
	6-11-08
PARKS AND RECREATIONAL DEPARTMENT	DATE
	6-11-08
CITY ENGINEER	DATE
	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
	6-11-08
SOLID WASTE MANAGEMENT	DATE
	DATE
DRB/CHAIRPERSON, PLANNING DEPARTMENT	DATE

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

1"=60'-0"

AFRA Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87109
Tel 505.268.3128
Tel 505.268.3129

SAN ANTONIO OFFICE & RETAIL
ALBUQUERQUE, NM

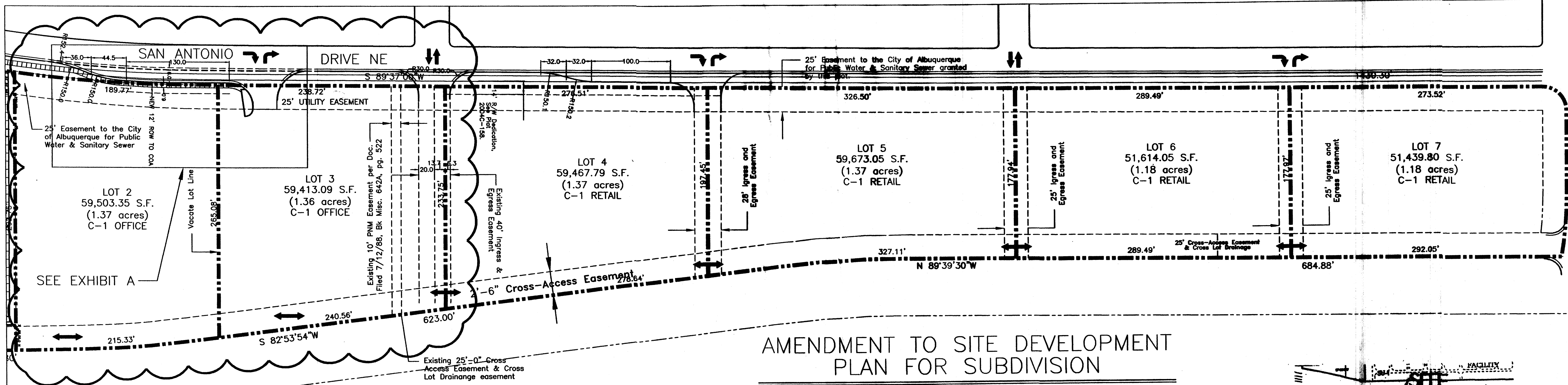
REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

GRAPHIC SCALE



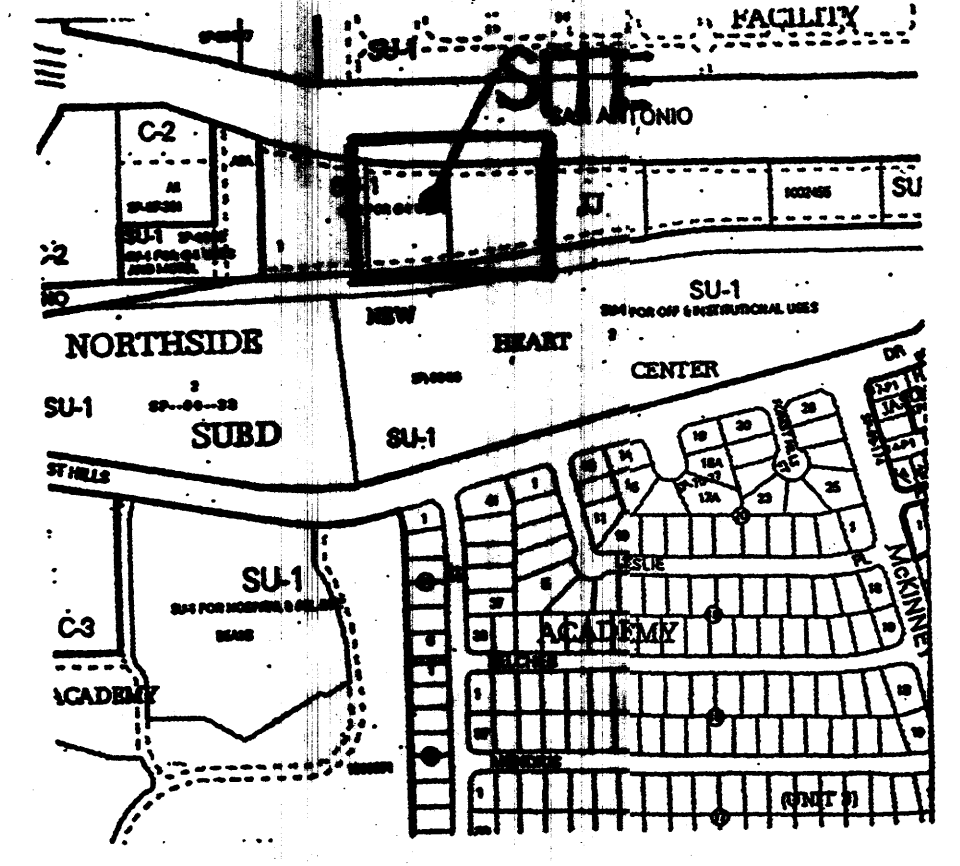
SD-1

6.9.08



AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

Scale 1" = 70'-0"



VICINITY MAP

LEGAL DESCRIPTION

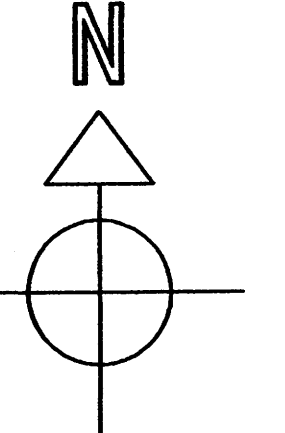
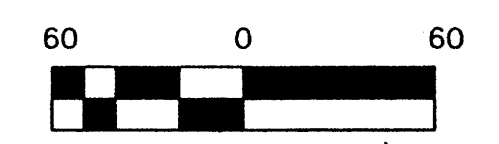
LOTS 2 & 3
JJ SUBDIVISION
BEING A REPLAT OF TRACT A-3-B, J GROUP ADDITION, TRACT 1, NEW HEART CENTER & TRACT 1, NORTHSIDE SUBDIVISION
WITHIN PROJECTED SECTION 25 TOWNSHIP 11 NORTH, RANGE 3 EAST NEW MEXICO PRINCIPAL MERIDIAN ZONING: SU-1 FOR C-1 USES

CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO

NOTES: LOTS 2 & 3
BUILDING HEIGHT NOT TO EXCEED 34 FT.
MAXIMUM FLOOR-AREA RATIO: 30.0%
BUILDING MINIMUM SETBACKS:
FRONT: 25.0 FT.
SIDE: 5.0 FT.
REAR: 5.0 FT.

TRAFFIC FLOW NOTES

- ↕ - TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- ↘ - RIGHT TURN ONLY INTO LOT
- ↙ - RIGHT TURN ONLY OUT OF LOT
- ↕ - TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW



GENERAL DESIGN CRITERIA:

1. ALL STRUCTURES ON LOTS SHALL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
2. DESIGN OF BUILDING SHALL BE A COMPATIBLE STYLE, MATERIALS AND COLORS THROUGHOUT LOTS 2 - 7.
3. PARKING SHALL NOT EXCEED THE REQUIRED PLUS 10%.
4. ACCESSIBLE (ADA) COMPLIANT PARKING SHALL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY. REQUIRED PARKING SHALL BE DISTRIBUTED ON AT LEAST TWO SIDES OF A BUILDING.
5. ALL SIDEWALKS SHALL HAVE A MINIMUM OF 6 FEET CLEAR WALKWAY AREA PROTECT BY PERMANENT CAR STOPS.
6. FRONT ENTRY SIDEWALK AREAS SHALL BE COVERED OR SHADED BY TREES.
7. ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS AND THRU VEHICULAR AREAS.
8. PATIO AREAS FOR EMPLOYEES SHALL BE PROVIDED AND SHADED.
9. BICYCLE RACKS SHALL BE PROVIDED PER COA CODE.
10. ALL LANDSCAPING SHALL BE PER COA CODE. NO GREATER THAN 20% OF LANDSCAPED AREA SHALL BE HIGH WATER USE AND ALL APPLICABLE WATER CONSERVATION MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION SHALL BE ADHERED TO. PLANTS SHALL BE CLUSTERED TO ALLOW WATER HARVESTING. CLUSTERING WILL CONCENTRATE GROUND COVER IN PLANTED AREAS WITH DECORATIVE NON-PLANT GROUND COVER IN NON-PLANTED AREAS. ALL LANDSCAPING SHALL BE IN COMPLIANCE WITH THE LANDFILL GAS ABATEMENT PLAN.
11. PERIMETER WALLS SHALL COMPLY WITH PLANNING DEPARTMENT GUIDELINES AT TIME OF BUILDING PERMIT APPLICATION NOT TO EXCEED 3'-4" HIGH.
12. ALL ROOF TOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS SHALL MATCH STRUCTURE OR ROOF COLOR.
13. FRONT FACADES SHALL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THE ENTIRE FRONT FACADE OF THE STRUCTURE.
14. LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
15. ALL REFUSE ENCLOSURES SHALL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
16. MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN SHALL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
17. BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
18. SITE AND BUILDING LIGHTING SHALL BE FULLY SHIELDED AND COMPLY WITH SECTION 14-16-3-9 OF THE COA ZONING CODES AND WITH THE NM NIGHT SKY PROTECTION ACT. MAXIMUM LIGHTPOLE HEIGHT SHALL BE 18'-0".
19. 3'-0" HIGH BOLLARD ILLUMINATION (AT LEAST ONE) AT CURB RAMPS ENTERING A CROSSWALK, BE ONE DESIGN TYPE, FULLY SHIELDED.
20. ALL CROSSWALKS TO BE TEXTURED WITH COLORED CONCRETE OR BRICK PAVING.

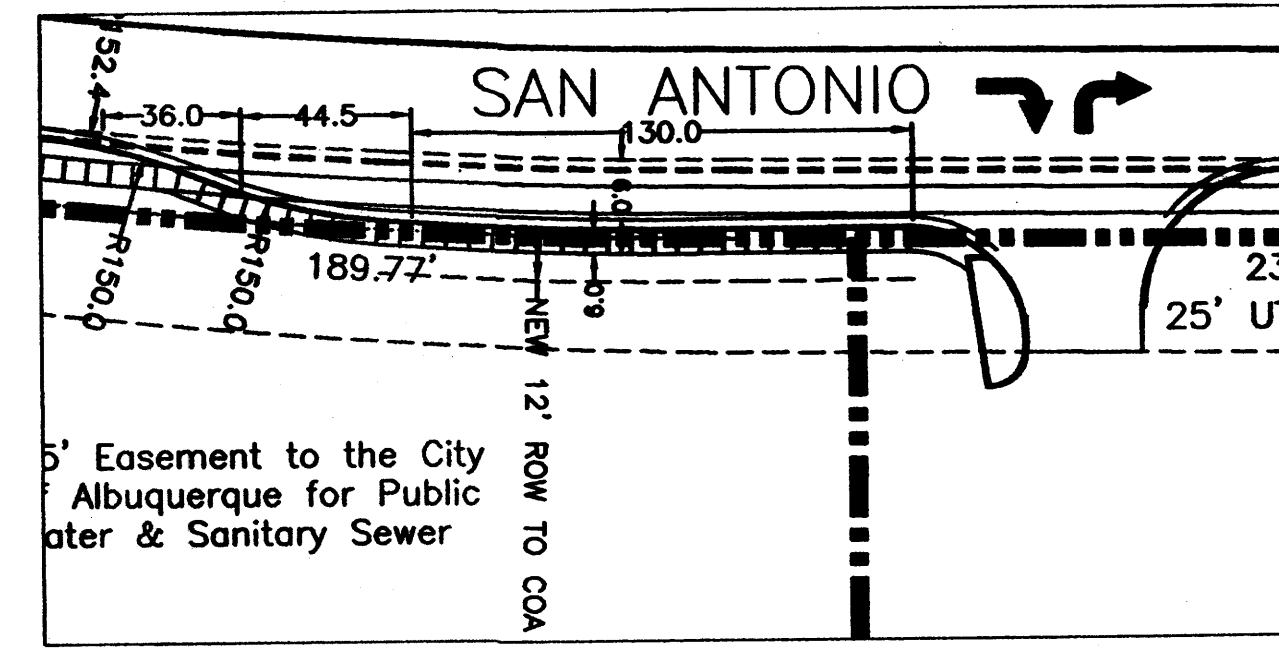


EXHIBIT A

Scale 1" = 50'-0"

"The developers of this site are required to follow the most current version of the City of Albuquerque Interim Guidelines for development within city designated landfill buffer zones. A review and approval of the Site Plan(s) is required. The proposed construction, design drawings, and a certification will be required by the Environmental Health Department (EHD), Environmental Services Division."

"The subject property is located on an existing landfill. Due to the subject property being on a landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within City - Designated Landfill Buffer Zones") shall be consulted prior to development of the site.

PROJECT NUMBER: 1002455
Application Number: _____

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	_____	Date
Utilities Development	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date

JOB NO:

DATE: 1 MAY 2008

REVISIONS

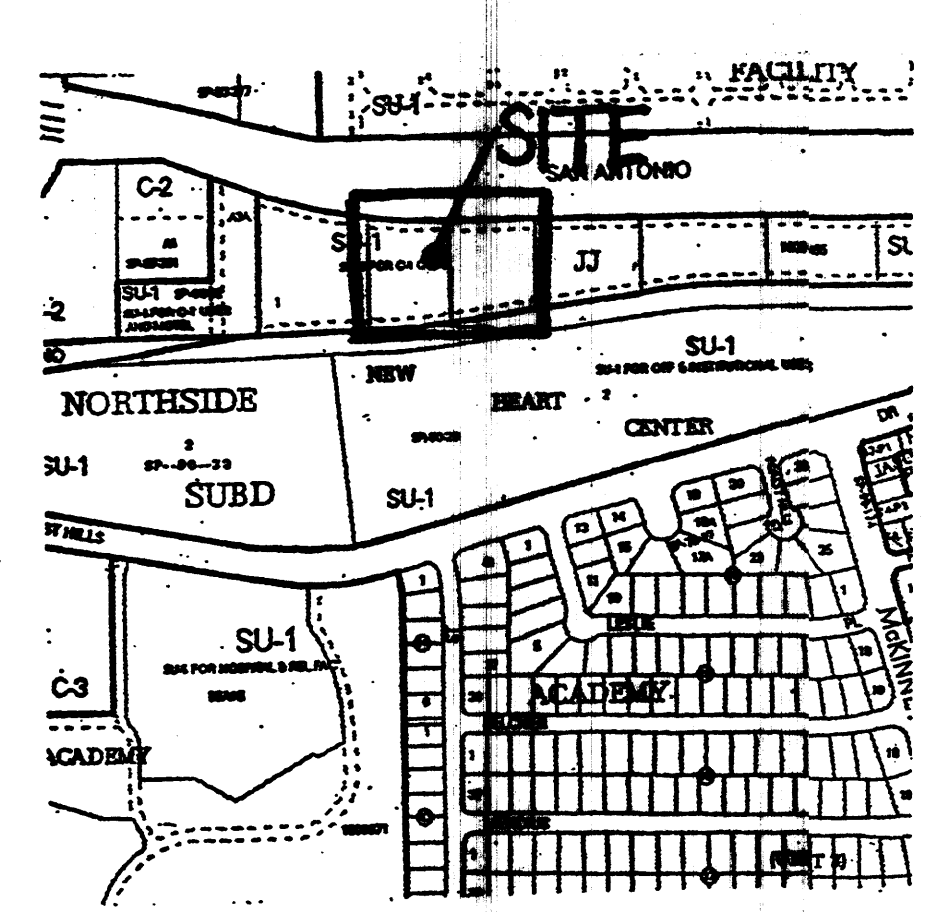
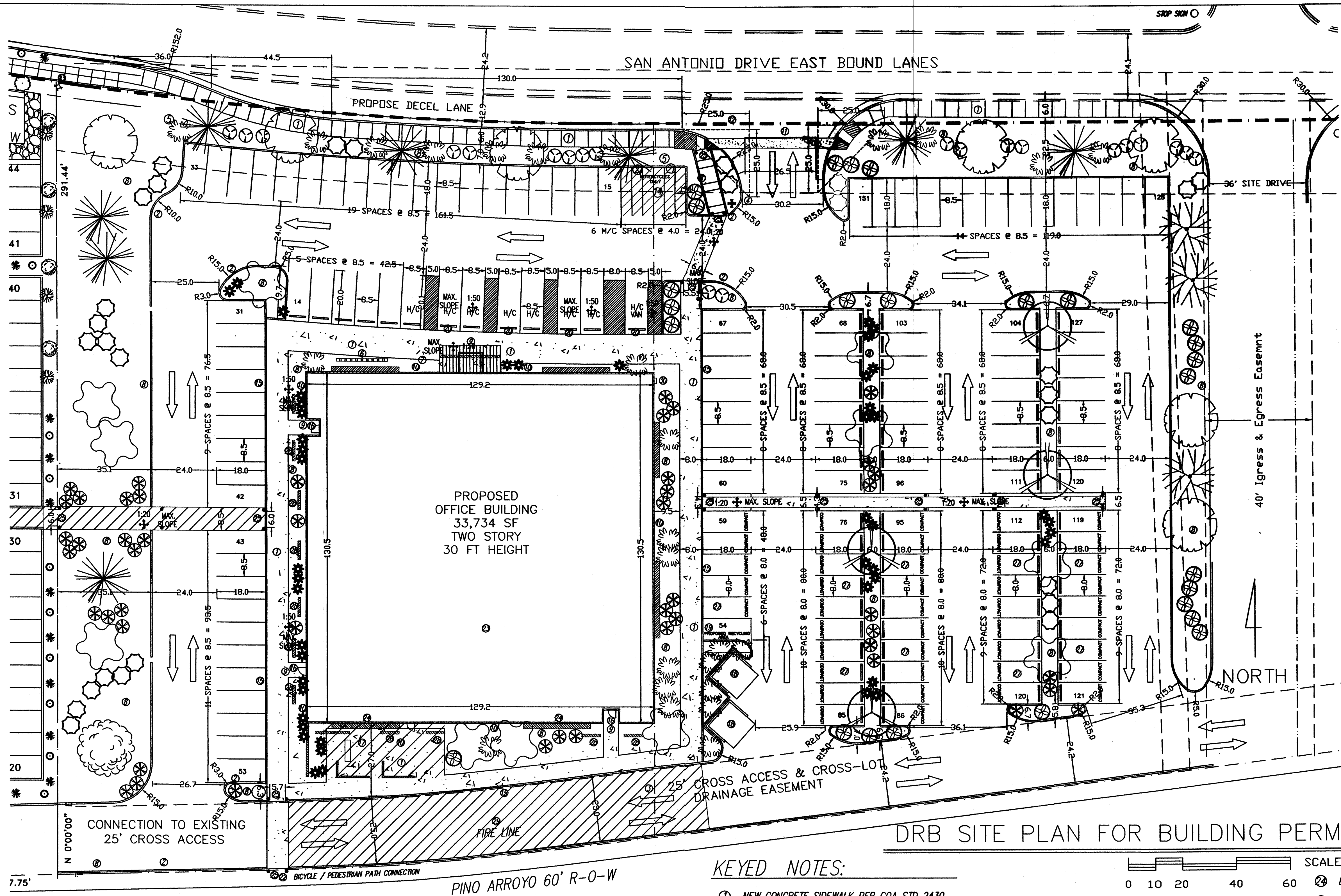
04 JUNE 2008
02 JULY 2008
09 JULY 2008
09 OCTOBER 2008
27 OCTOBER 2008

Sheet Title
AMENDED SITE PLAN FOR SUBDIVISION
 Drawn By: PESHMAL, S.A. Checked By: T. OTT

TIM OTT / DEVELOPER
 6820 VANCE AVE NE, SUITE G
 ALBUQUERQUE, N.M. 87113
 (505) 252-4675
MICHAEL DEL MASTRO / ARCHITECT
 700 DELWOOD RD. NE / 6000 985-4889
 ALBUQUERQUE, NEW MEXICO 87110

Project Name
STATE ENGINEERING
ALBUQUERQUE BUILDING
 ALBUQUERQUE, NEW MEXICO

SHEET NO.
SDP



VICINITY MAP
N.T.S.

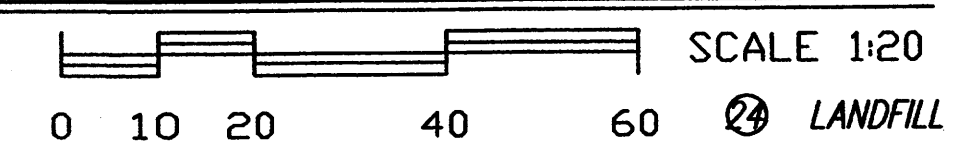
PROJECT NUMBER: 1002455
Application Number: _____

Is an Infrastructure List required? () Yes (X) No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

DRB SITE PLAN FOR BUILDING PERMIT



GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, JJ SUBDIVISION CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES SECOND FLOOR: 16,867 SF NET LEASABLE SF = 57 SPACES 141 TOTAL REG.

PROVIDED: 151 TOTAL SPACES (98 REG., 44 COMPACT, 9 HANDICAP) (29% OF SPACES ARE FOR COMPACT CARS)

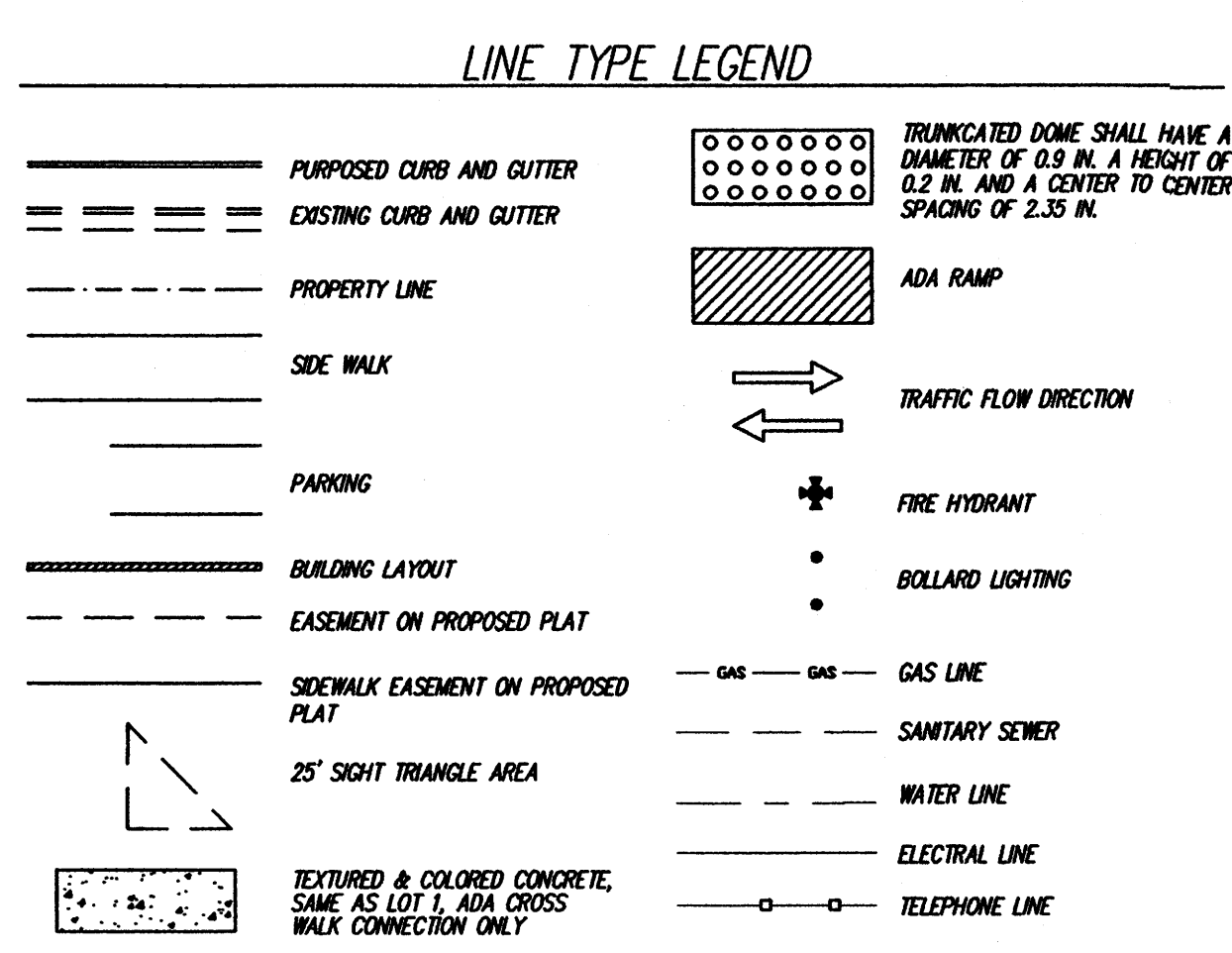
PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spaces) PROVIDED: 8 SPACES, 1 VAN ACCESSIBLE

PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (with 101 to 300 req. parking spaces) PROVIDED: 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spaces) PROVIDED: 8 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.



KEYED NOTES:

- NEW CONCRETE SIDEWALK PER COA STD 2430
- NEW CONCRETE CURB & GUTTER PER COA STD 2415
- REMOVE LOT LINE—PER PLAT
- NEW FIRE HYDRANT LOCATION
- AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL, SEE DRB ELEV SHEET FOR DETAIL SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
- BICYCLE RACK, MINIMUM 8 SPACES
- FLAG POLE
- LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM
- SECURITY LIGHTING AT ALL ENTRANCES
- EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL
- DRIVEWAY PER CITY OF ALBUQUERQUE STANDARDS
- EXISTING FIRE HYDRANT, TO BE RELOCATED
- EXISTING FIRE HYDRANT
- MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE
- NEW CONCRETE CURB AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING
- CYPHER LOCK ON ENTRANCE
- EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
- DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS
- PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS
- HANDICAP SIGNAGE LOCATION
- MOTORCYCLE SIGNAGE LOCATION
- PINO ARROYO BICYCLE & PEDESTRIAN TRAIL
- ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE
- LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM
- BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE
- NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED
- ALL COMPACT SPACES TO BE LABELED ON PAVEMENT
- SHADING WALLS
- STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL
- KNOX BOX LOCATION PER FIRE MARSHALL
- ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SDP

- LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM
- BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE
- NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED
- ALL COMPACT SPACES TO BE LABELED ON PAVEMENT
- SHADING WALLS
- STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL
- KNOX BOX LOCATION PER FIRE MARSHALL
- ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SDP

"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

JOB NO. _____

DATE: 1 MAY 2008

REVISIONS

04 JUNE 2008
02 JULY 2008
09 JULY 2008
09 OCTOBER 2008

Sheet Title

DRB SITE PLAN FOR BUILDING PERMIT

Drawn By: PERSILVA, S.A. Checked By: I. OTT

Project Name

STATE ENGINEERING ALBUQUERQUE BUILDING ALBUQUERQUE, NEW MEXICO

TIM OTT / DEVELOPER
6620 VENCE AVE NE SUITE G
ALBUQUERQUE, NM 87115
(505) 250-4675

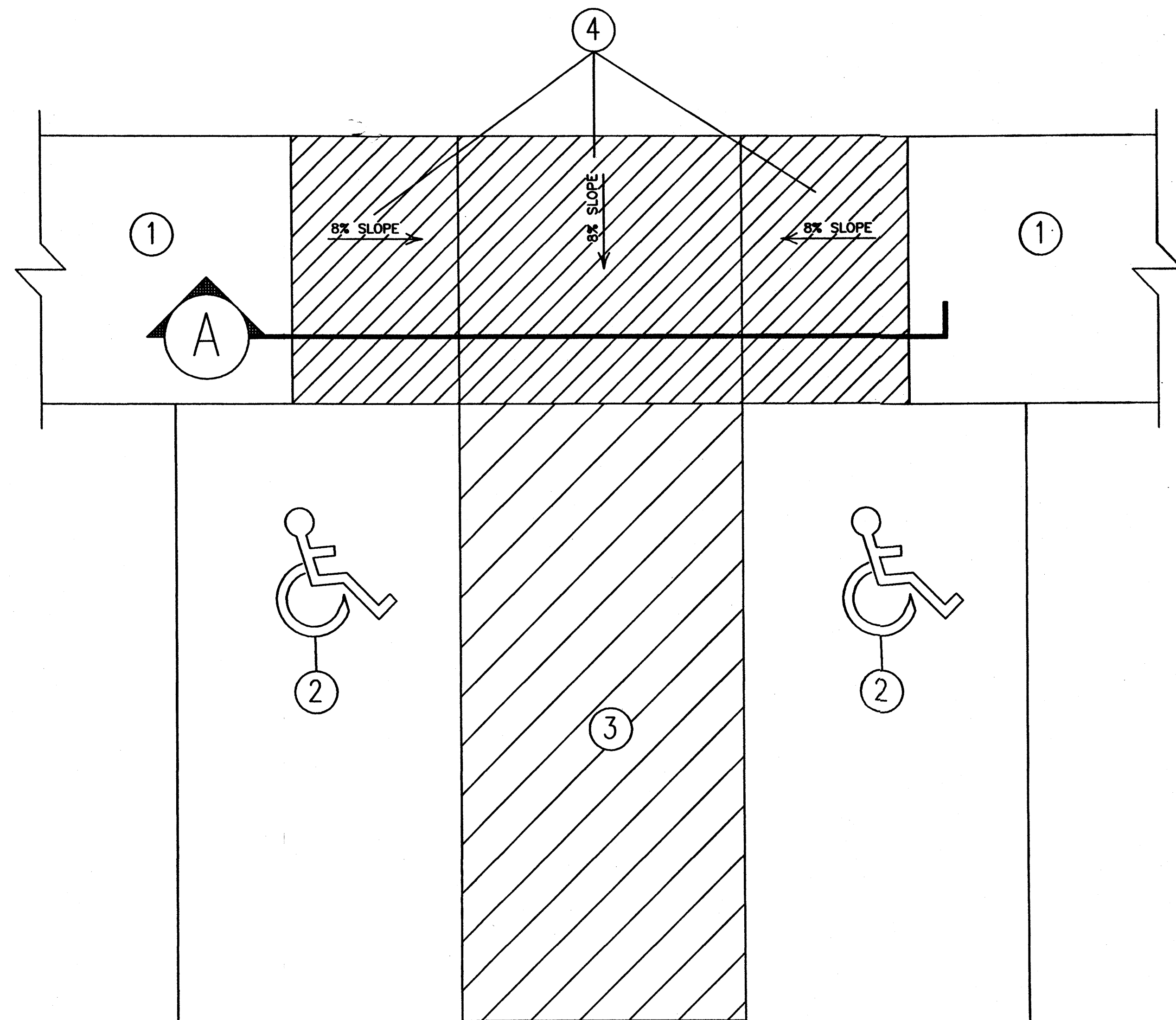
MICHAEL DEL MASTRO / ARCHITECT
7208 DELWOOD RD. NE / (505) 880-4828
ALBUQUERQUE, NEW MEXICO 87110

Project Name

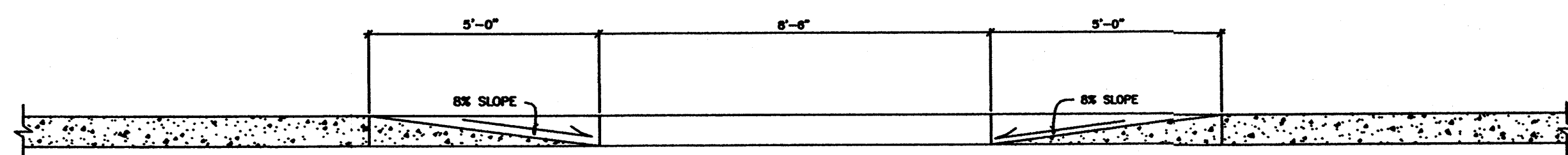
STATE ENGINEERING ALBUQUERQUE BUILDING ALBUQUERQUE, NEW MEXICO

SHEET NO.

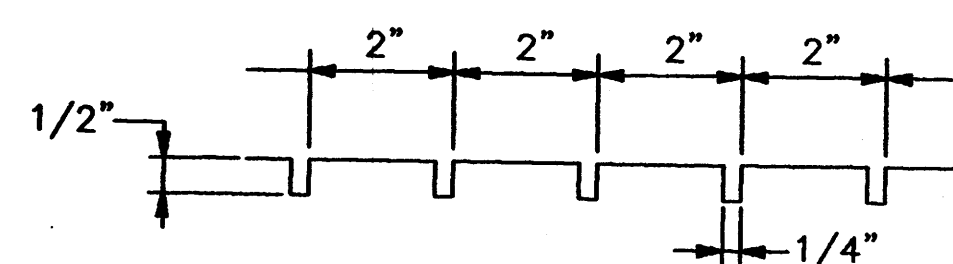
DRB SP



PLAN VIEW



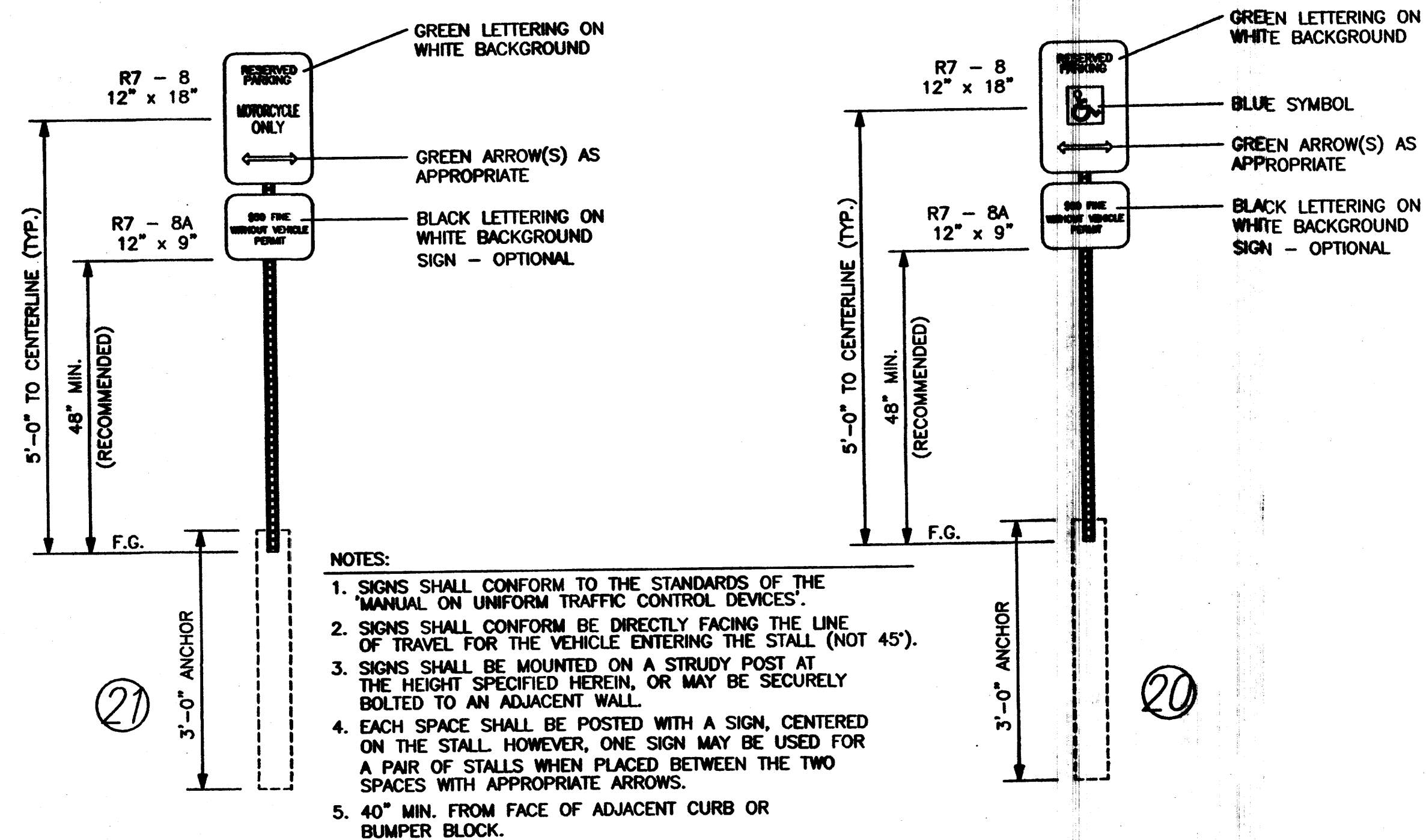
A SECTION



NOTES:
USE CONCRETE 'T' TROWEL FOR GROVES.

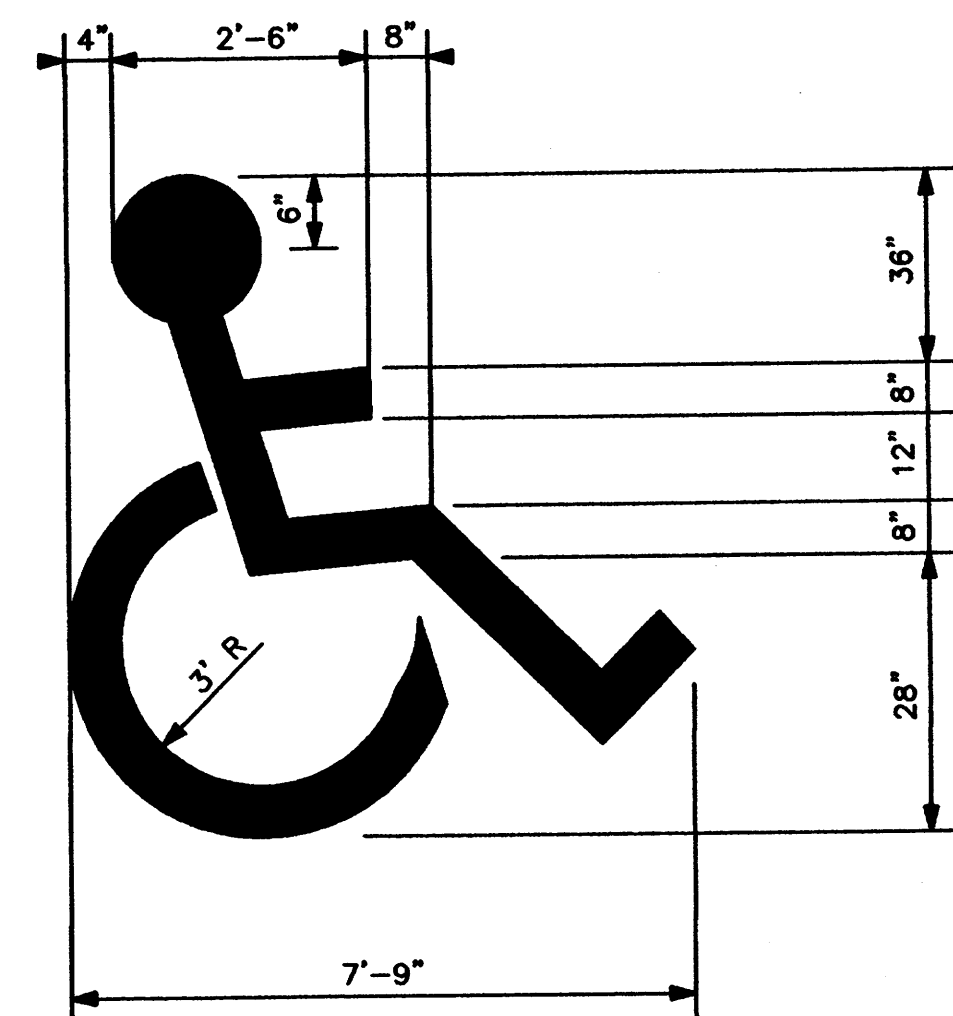
- KEYED NOTES:
- 8' SIDEWALK X 4" THK. WITH HEAVY BROOM FINISH.
 - ACCESSIBLE PARKING SYMBOL.
 - TYPICAL PAINTED PARKING SPACE LINE 4" WIDE.
 - RAMP GROVES, SEE DETAIL ON THIS SHEET.

ENLARGED ACCESSIBLE PARKING, TYPICAL
SCALE: N.T.S.



- NOTES:
- SIGNS SHALL CONFORM TO THE STANDARDS OF THE 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES'.
 - SIGNS SHALL CONFORM BE DIRECTLY FACING THE LINE OF TRAVEL FOR THE VEHICLE ENTERING THE STALL (NOT 45°).
 - SIGNS SHALL BE MOUNTED ON A STRUDY POST AT THE HEIGHT SPECIFIED HEREIN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
 - EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE USED FOR A PAIR OF STALLS WHEN PLACED BETWEEN THE TWO SPACES WITH APPROPRIATE ARROWS.
 - 40" MIN. FROM FACE OF ADJACENT CURB OR BUMPER BLOCK.

ACCESSIBLE SIGN
SCALE: N.T.S.



ACCESSIBLE PARKING SYMBOL
SCALE: N.T.S.

JOB NO.	
DATE:	1 MAY 2008
REVISIONS	
	04 JUNE 2008
	02 JULY 2008
	09 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008

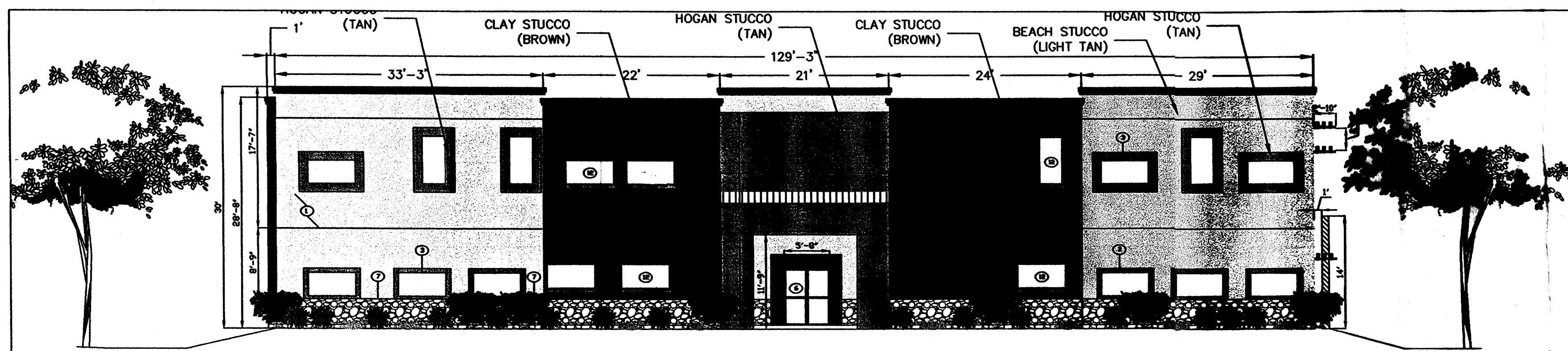
Sheet Title
DRB DETAIL SHEET FOR BUILDING PERMIT
Drawn By: PESILAKAI, S.A. Checked By: T. OTT

TIM OTT / DEVELOPER
6620 VENCE AVE NE, SUITE G
ALBUQUERQUE, NM 87115
(505) 250-6675

MICHAEL DEL MASTRO / ARCHITECT
700 DELWOOD RD. NE / (505) 880-4828
ALBUQUERQUE, NEW MEXICO 87110

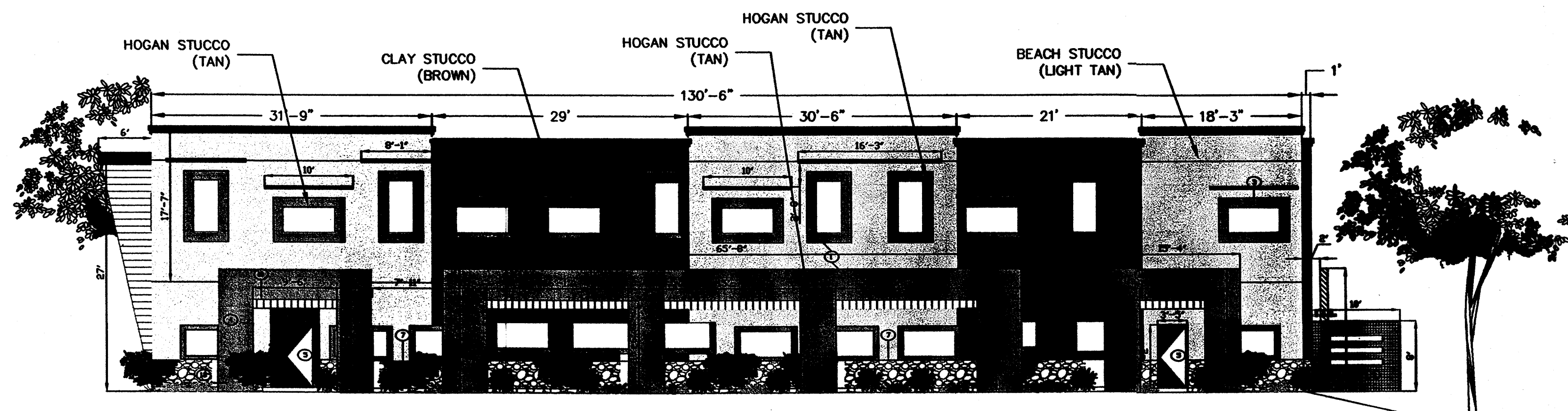
Project Name
STATE ENGINEERING ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB DS



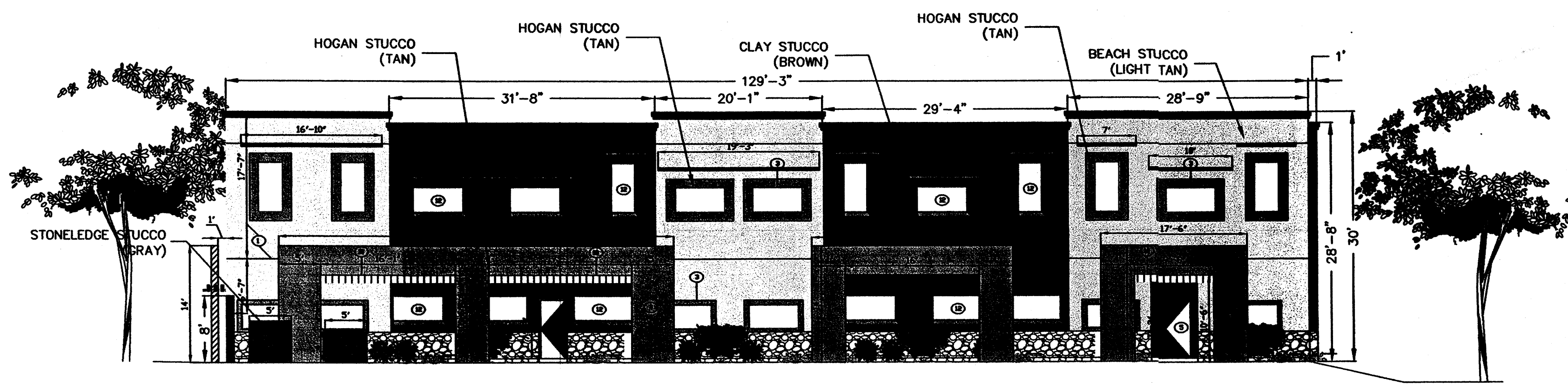
NORTH ELEVATION

Scale 3/32"=1'-0"



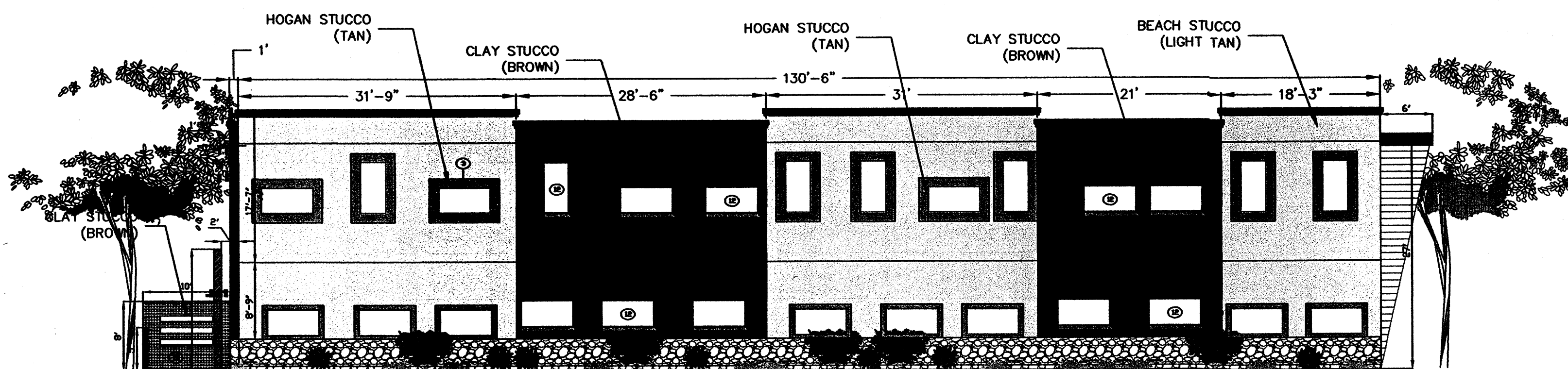
WEST ELEVATION

Scale 3/32"=1'-0"



SOUTH ELEVATION

Scale 3/32"=1'-0"



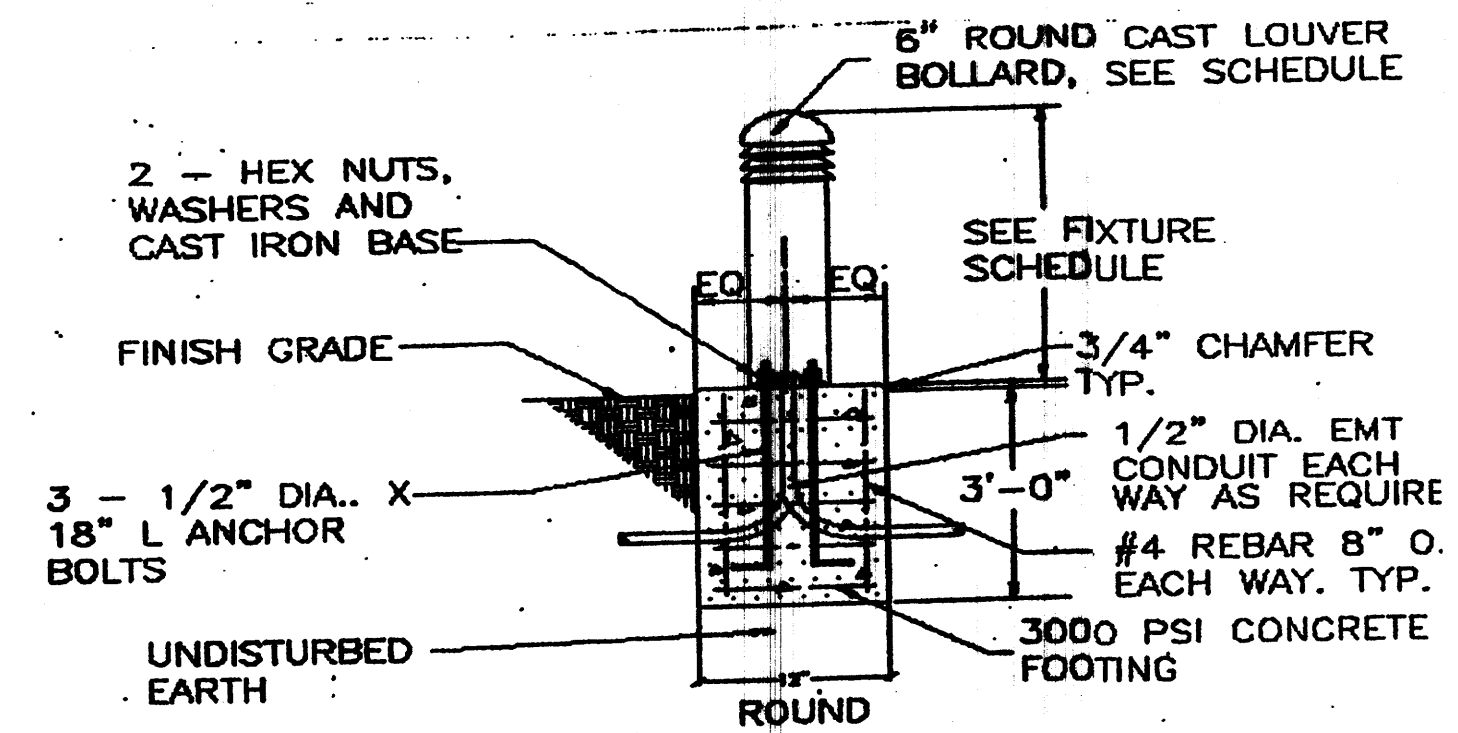
EAST ELEVATION

Scale 3/32"=1'-0"

KEYED NOTES

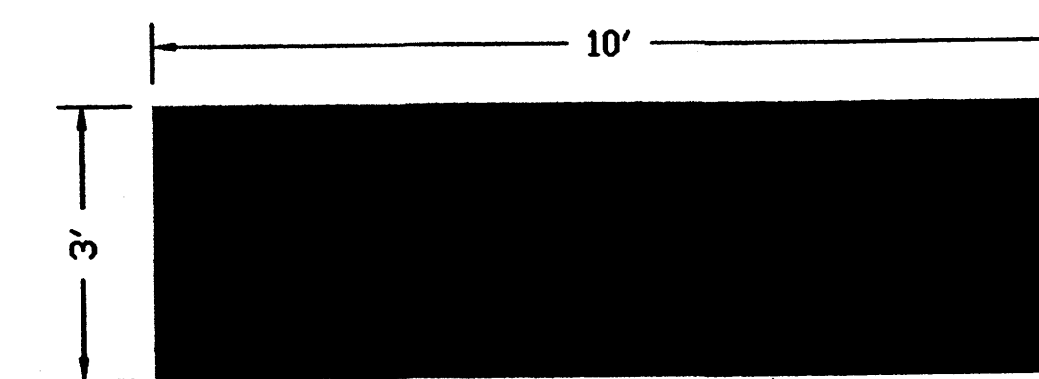
- ① 2 COAT STUCCO SYSTEM; BEACH, CLAY, & HOGAN
- ② EXPANSION JOINT, STUCCO THICKNESS
- ③ DOUBLE PANE GLAZING ALUMINUM FRAME WINDOW, WHITE
- ④ SHADING WALLS, TAN
- ⑤ HOLLOW METAL DOOR, TAN
- ⑥ 2 SETS OF ALUMINUM STORE FRONT AUTOMATIC SLIDING DOOR, WHITE
- ⑦ STONE FACE, NATURAL BROWN STONE
- ⑧ FRONT ENTRANCE CANOPY
- ⑨ WALL MOUNTED AGENCY SIGNAGE, NOT LIGHTING
- ⑩ EXTERIOR WINDOW AWNINGS, METAL, TAN
- ⑪ AGENCY SIGNAGE
- ⑫ RECESSED WINDOWS
- ⑬ PATIO SCREENING WALLS, STUCCO, STONELEDGE (GRAY)

"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."



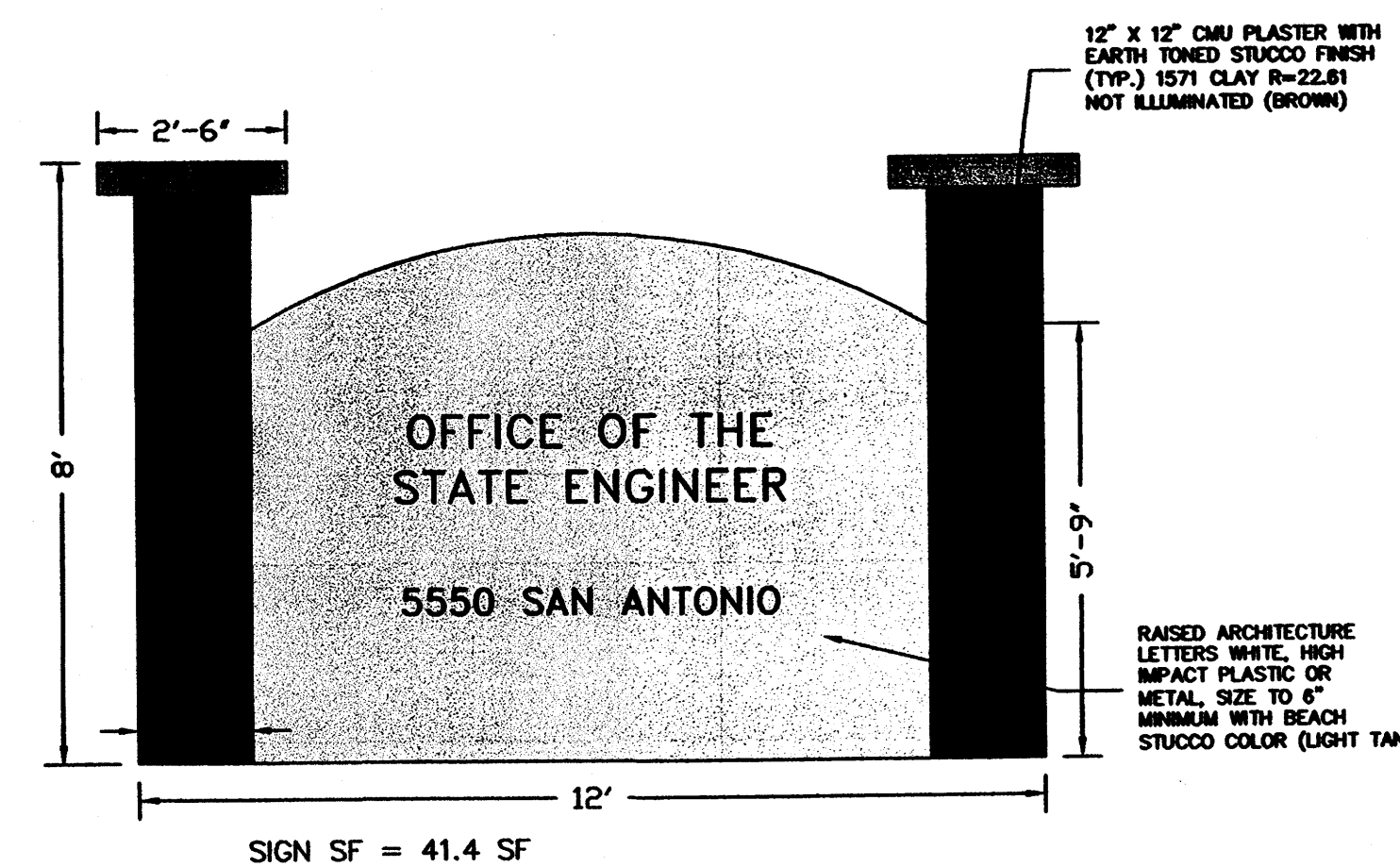
BOLLARD DETAIL

NO SCALE

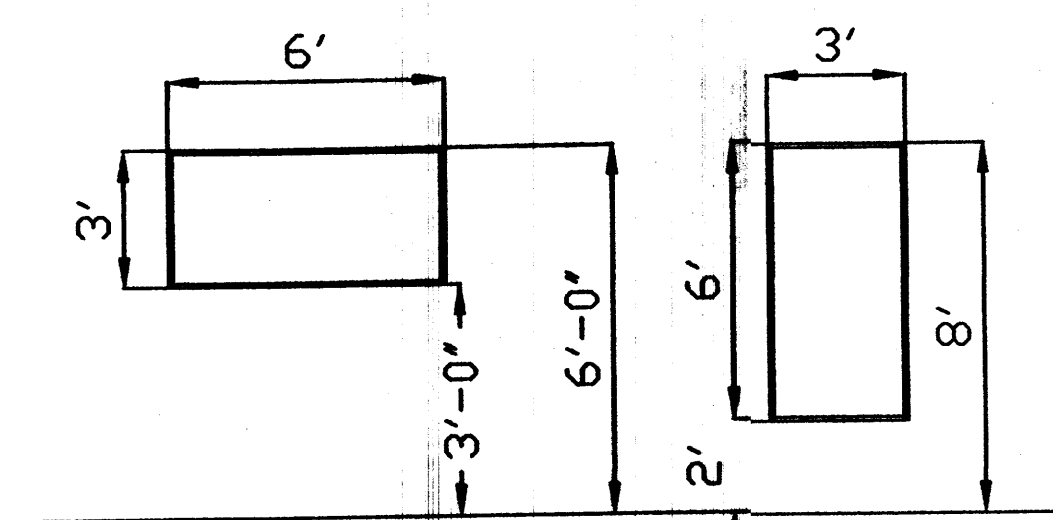


⑨ TYPICAL WALL MOUNT SIGN

RAISED ARCHITECTURE LETTERS WHITE, HIGH IMPACT PLASTIC OR METAL SIZE TO 4" MINIMUM WITH BEACH STUCCO COLOR (BROWN)

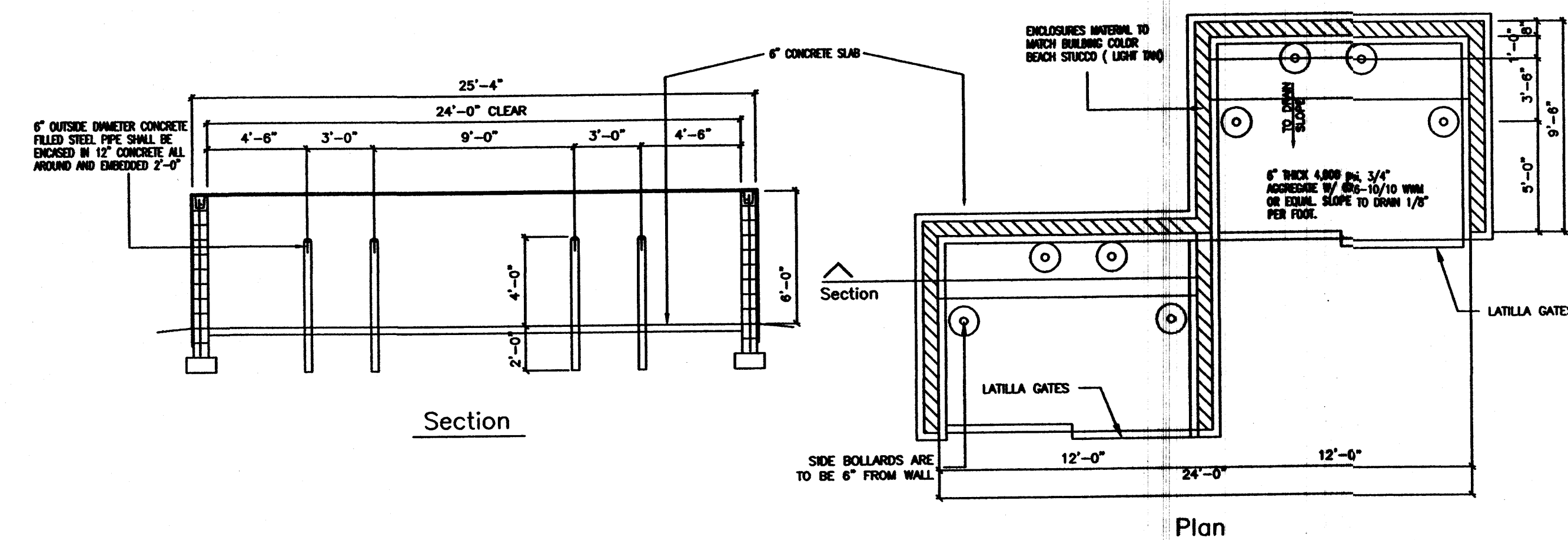


⑪ SEE ECP SP NOTE 5 FOR LOCATION OF SIGNAGE. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO DR. A MINIMUM OF 50% CONTRAST SHALL BE ACHIEVED BETWEEN THE GRAPHICS AND BACKGROUND.



TYPICAL - ALUMINUM STORE FRONT WINDOW WITH MULLIONS
1" FIXED, 1 1/2" x 5/8" FRAME GLAZED W/TINTED INSULATED, DOUBLE PANE PROVIDE VENTIAN BLINDS FOR ALL WINDOWS

- GENERAL NOTES:
1. GLAZING CONTRACTOR TO VERIFY ALL DIMENSIONS.
 2. U - VALUE WINTER NIGHT, U=0.45; R=2.04.
 3. U - VALUE SUMMER DAY, U=0.57; R=1.75.
 4. TOTAL SQUARE FOOT FOR EACH WINDOW IS 18.
 5. STUCCO: EL REY, ACRYLIC FINISH - CLASSIQUE R=VALUE CLAY 1571, LRV=22.61 R=VALUE BEACH 21.31, LRV=11.31 OR EQUIVALENT
 6. ALL CANOPES TOPS AT 4'-0" BELOW PARAPET.
 7. AGENCY BUILDING SIGN FACE AREA NOT TO EXCEED 60 SF.



Refuse & Recycling Enclosure Details

SCALE: NTS

JOB NO.	
DATE	1 MAY 2008
REVISIONS	
	04 JUNE 2008
	02 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008
	04 NOVEMBER 2008

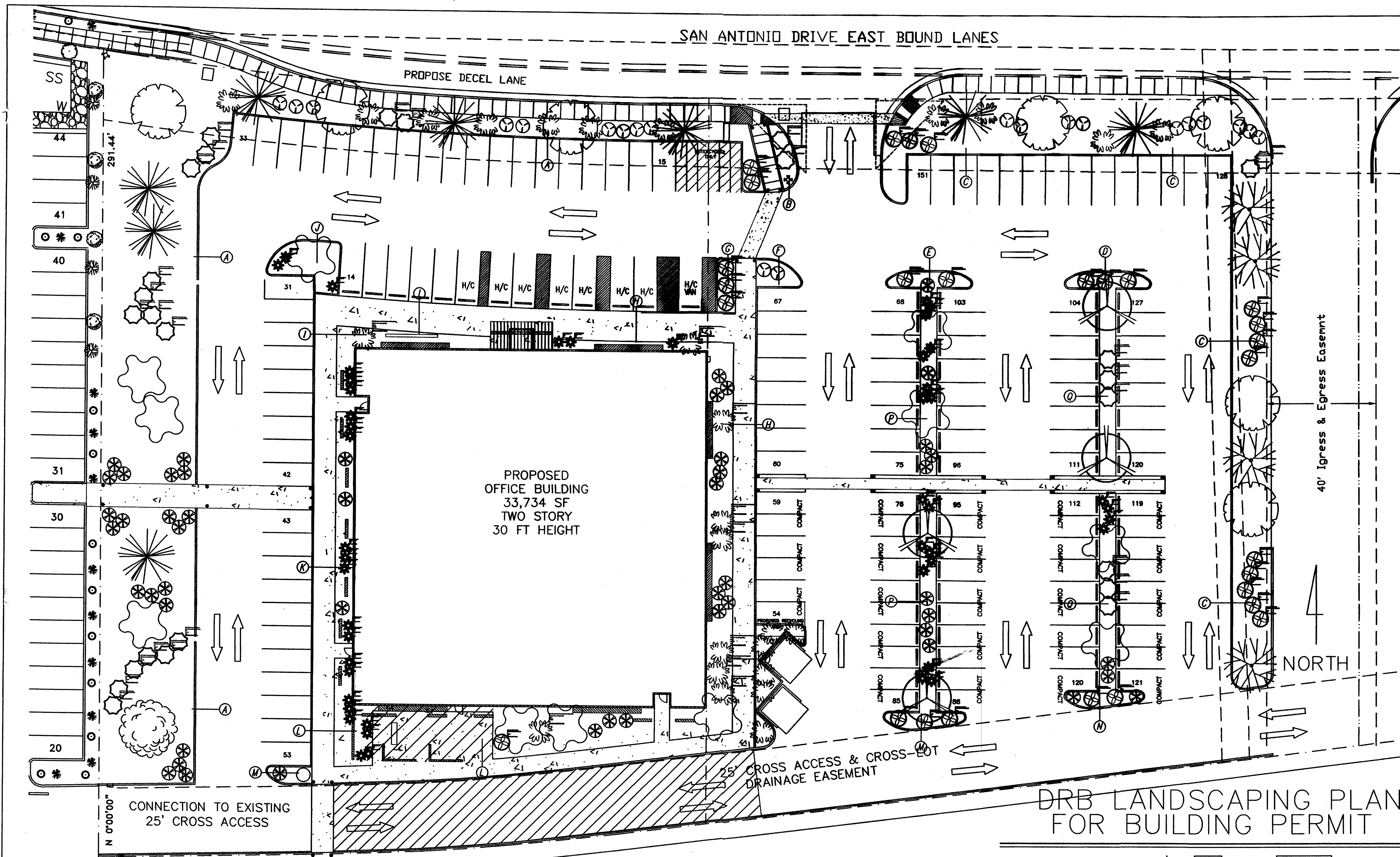
Sheet Title
DRB ELEVATIONS FOR BUILDING PERMIT
Drawn By: PESUMAK, S.A.
Checked By: T. OTT

TM OTT / DEVELOPER
6620 VANCE AVE NE SUITE G
ALBUQUERQUE, NM 87110
(505) 252-6675
MICHAEL DEL MASTRO / ARCHITECT
700 DELWOOD RD NE / SUITE 800-4928
ALBUQUERQUE, NEW MEXICO 87110

Project Name
STATE ENGINEERING
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB ELEV

SAN ANTONIO DRIVE EAST BOUND LANES



GENERAL LANDSCAPE DATA:

- TOTAL SITE AREA 119,257 S.F.
- TOTAL BUILDING AREA (FOOTPRINT) 16,867 S.F.
- NET LOT AREA 102,390 S.F.

LANDSCAPE REQUIREMENTS:

- NET LOT AREA 102,390 S.F.
- LANDSCAPE AREA REQUIRED
NET LOT AREA X 15 % 15,358 S.F.
- LANDSCAPE AREAS PROVIDED
 - AREA A 11,263 S.F.
 - AREA B 219 S.F.
 - AREA C 6,050 S.F.
 - AREA D 155 S.F.
 - AREA E 155 S.F.
 - AREA F 124 S.F.
 - AREA G 120 S.F.
 - AREA H 1,773 S.F.
 - AREA I 441 S.F.
 - AREA J 194 S.F.
 - AREA K 171 S.F.
 - AREA L 1,757 S.F.
 - AREA M 76 S.F.
 - AREA N 194 S.F.
 - AREA O 204 S.F.
 - AREA P 867 S.F.
 - AREA Q 918 S.F.

TOTAL LANDSCAPE AREA PROVIDED 24,682 S.F.

- IRRIGATION SYSTEM LAYOUT BY LANDSCAPE CONTRACTOR
- LOW FLOW DRIP SYSTEM
- BUBBLER SYSTEM

GENERAL NOTES:

- ALL LANDSCAPING WILL BE COMPLETED WITHIN 60 DAYS OF BUILDING OCCUPANCY.
- THE LANDSCAPE CONTRACTOR SHALL DESIGN AND CONSTRUCT ANY IRRIGATION SYSTEM WHICH SHALL INCLUDE PIPING, CONTROLS, EQUIPMENT AND LABOR NECESSARY FOR A COMPLETE SYSTEM. SYSTEM SHALL INCLUDE AUTOMATIC VALVES AND TIMER.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO FIELD VERIFY THE EXACT LOCATIONS OF ALL ON-SITE UTILITIES. TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 3 FEET FROM UTILITY LINES.
- MAINTENANCE OF LANDSCAPING AND IRRIGATION SYSTEM TO BE THE RESPONSIBILITY OF THE OWNER.
- 3/4" CRUSHER GRAY GRAVEL WITH FILTER FABRIC IN LANDSCAPING AREAS. 3" IN DEPTH.
- IRRIGATION SYSTEMS SHALL BE DESIGNED TO COMPLY WITH THE PROVISIONS OF THE CITY OF ALBUQUERQUE.
- DEVELOPMENT WILL COMPLY WITH THE PROVISIONS OF THE COA ORDINANCE 6-1-1.
- AREA A & C IS STREET TREE AREA. AREA TO CONFORM WITH COA 6-6-2-5. TREES WILL BE SPACED A MINIMUM OF 30 FT. APART AND WILL BE A MINIMUM OF 5 FT. FROM EDGE OF SIDEWALK.
- ALL OTHER AREAS CONSIDERED GENERAL LANDSCAPING AREAS.
- THERE IS NO ON SITE PONDING DUE TO FORMER LANDFILL STATUS.
- LANDSCAPING BEDS BETWEEN EAST PARKING LOT TO BE DEPRESSED TO ALLOW STORM RUNOFF TO INFILTRATE.
- CURRENT FIELD IS A VACANT LOT WITH LOCAL VEGETATION.
- XERISCAPE SHOULD USE 5 TO 20 GALLONS OF SUPPLEMENTAL WATER PER SQUARE FOOT PER YEAR.
- MEDIUM WATER USE: SOME SUPPLEMENTAL WATER IS NEEDED. WATERAT LEASE TWICE MONTHLY ONCE PLANT IS ESTABLISHED.
- LOW WATER USE: NO SUPPLEMENTAL WATER IS NEEDED ONCE THE PLANT IS ESTABLISHED.

JOB NO:

DATE: 1 MAY 2008

REVISIONS

04 JUNE 2008
02 JULY 2008
09 JULY 2008
09 OCTOBER 2008

Sheet Title
DRB LANDSCAPING PLAN FOR BUILDING PERMIT

Drawn By: PESILAKA, S.A.
Checked By: I. OTT

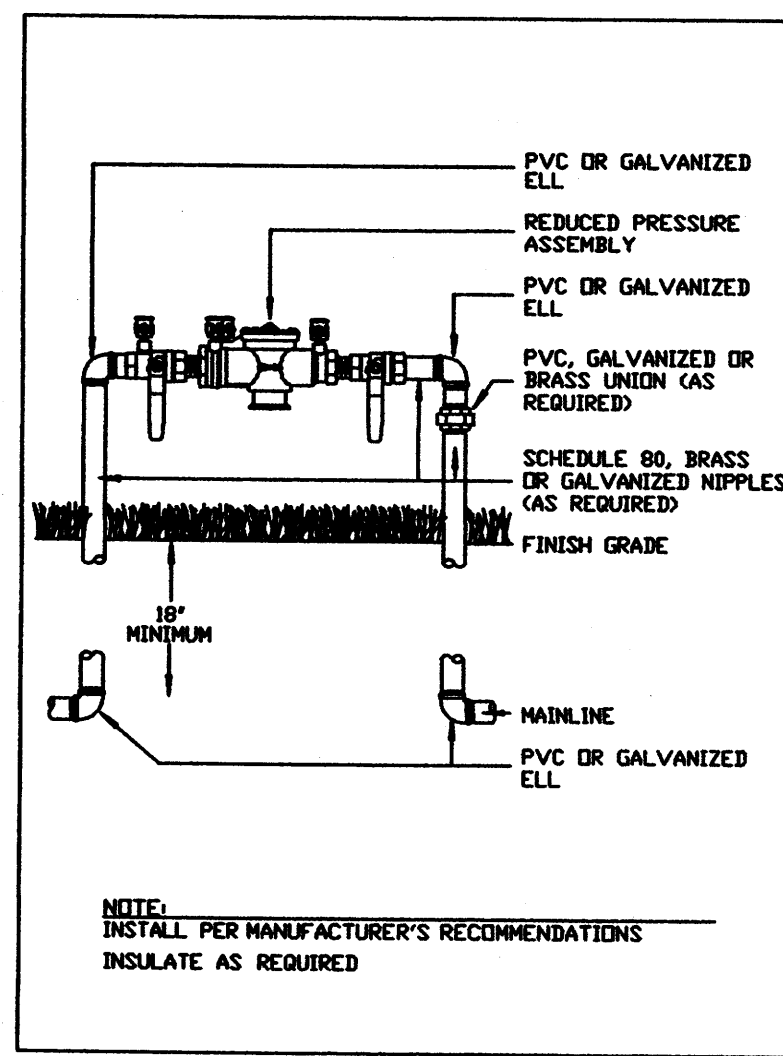
TM OTT / DEVELOPER
6820 VANCE AVE NE SUITE G
ALBUQUERQUE, NM 87118
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
700 BELWOOD RD. NE (505) 886-4828
ALBUQUERQUE, NEW MEXICO 87109

Project Name
**STATE ENGINEERING BUILDING
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO**

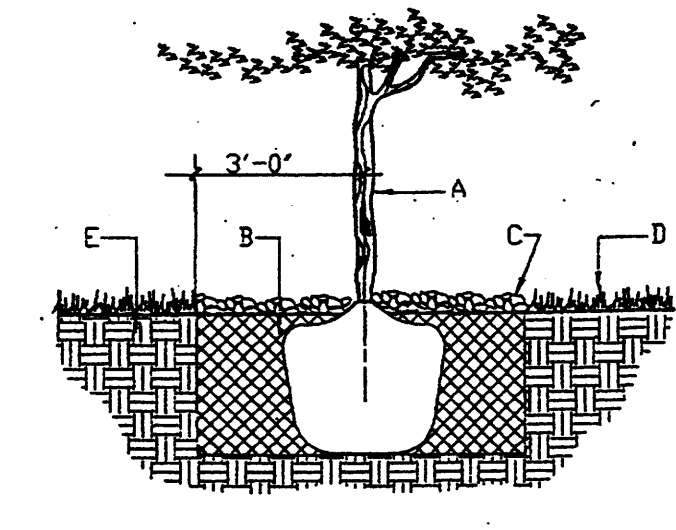
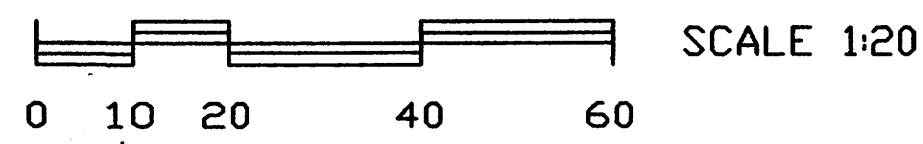
SHEET NO.
DRB LP

"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

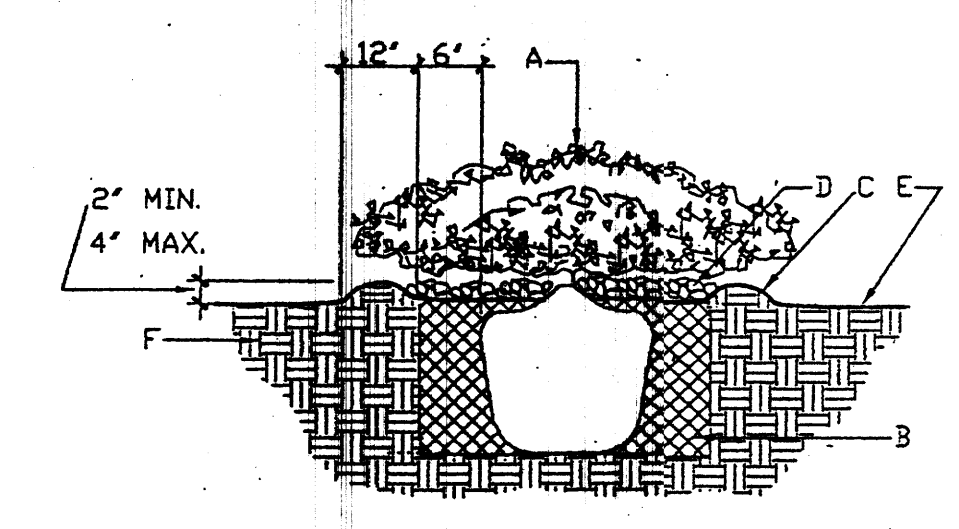


REDUCED PRESSURE & BACKFLOW PREVENTER ASSEMBLY

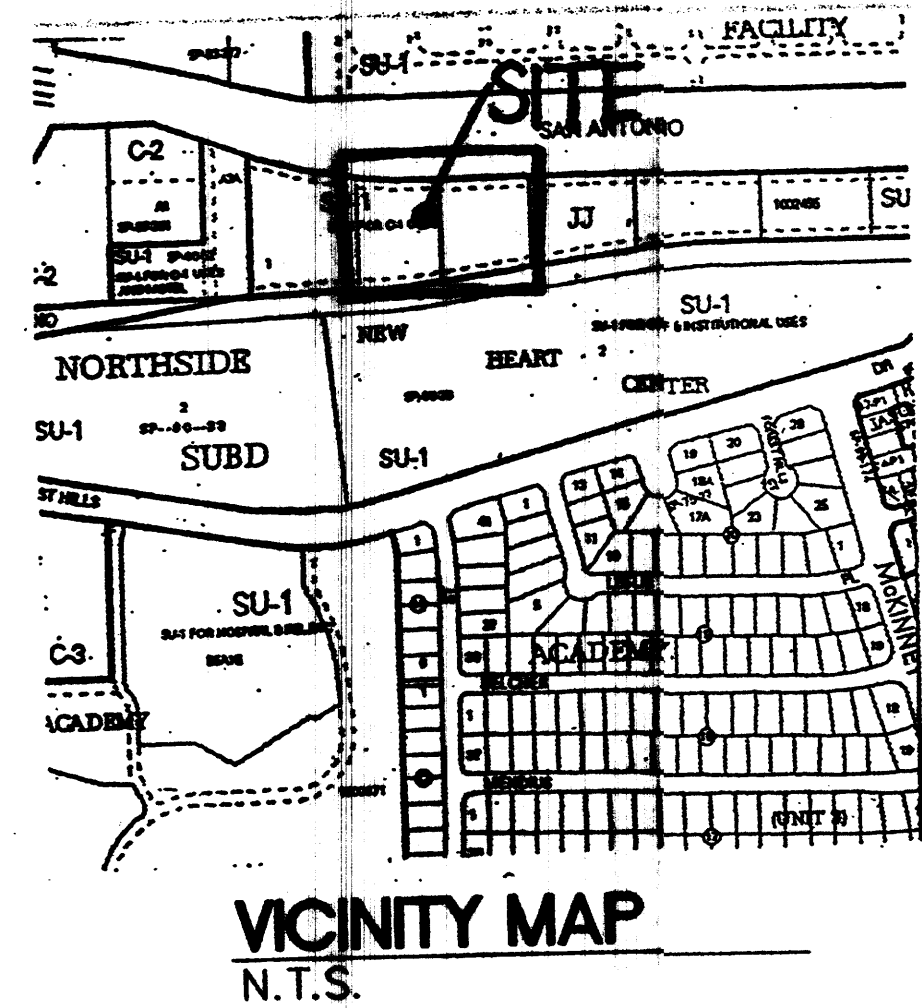
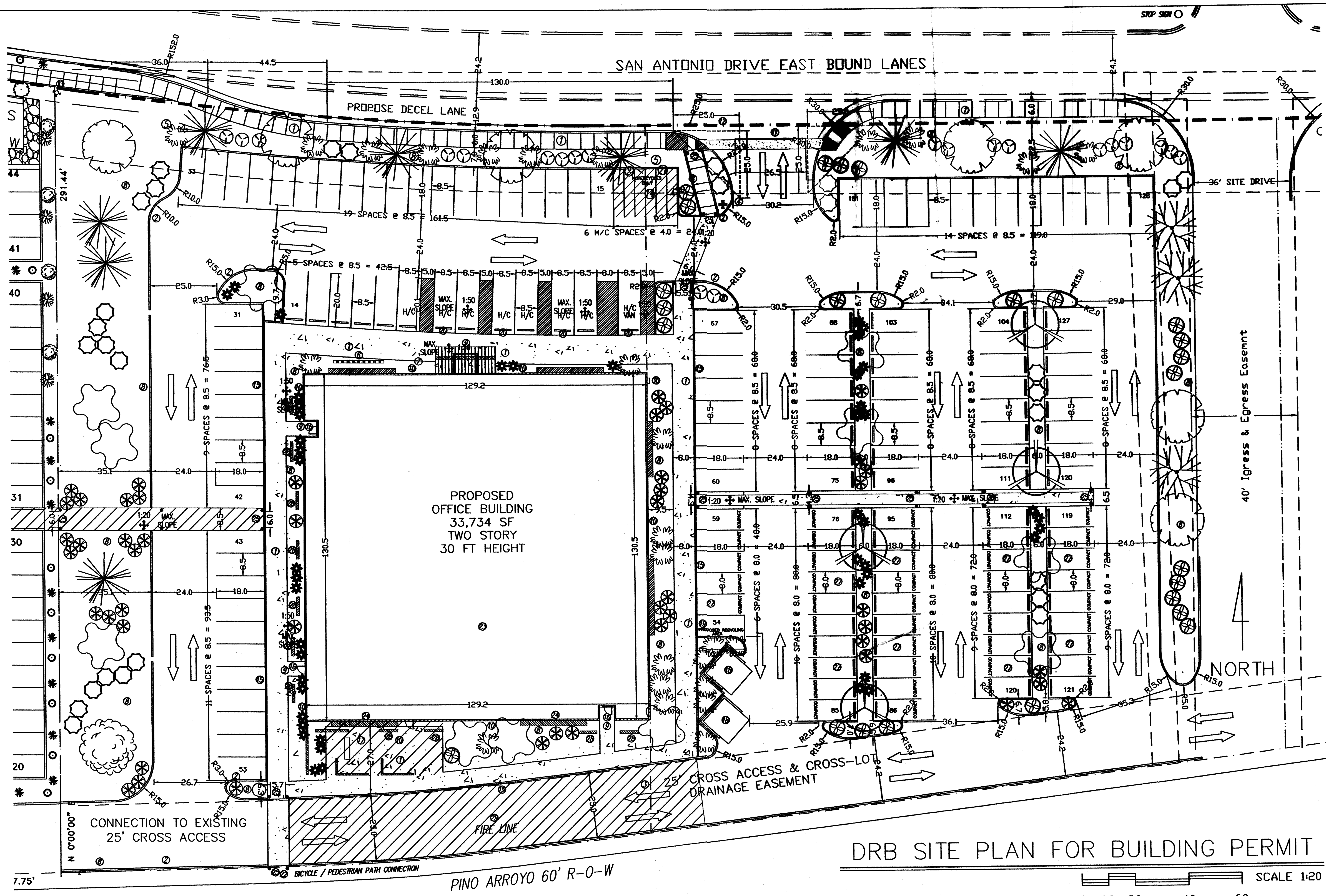
SYMBOL	KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED	MATURE	CONDITION	USAGE	WATER USE	AREA COVERAGE
DECIDUOUS TREES										
NM	NEW MEXICO LOCUST	ROBINIA MEXICANA		2	5' - 7' HT.	20' HT. & SPD.	15 GAL. MULTI-TRUNK	SHADING	MEDIUM	620
WR	WESTERN REDBUD	CERCIS OCCIDENTALIS		11	6" CAL. - 12" DIA. HT.	20' HT. & SPD.	30" BDX	SCREENING	MEDIUM	3456
HB	HACKBERRY	CELTIS OCCIDENTALIS		5	5' - 10' HT.	35' HT. & SPD.	30" BDX	SHADING	MEDIUM	2356
PLANT SCHEDULE										
SYMBOL	KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED	MATURE	CONDITION	USAGE	WATER USE	AREA COVERAGE
EVERGREEN TREES										
SP	SCOTCH PINE	PINUS SYLVESTRIS		7	5' - 10' HT.	30' HT. & 25' SPD.	30" BDX	SCREENING	MEDIUM	3099
PP	PINEN PINE	PINUS EDULIS		4	7' - 10' HT.	30' HT. & 20' SPD.	30" BDX	SHADING	MEDIUM	2199
CR	COAST REDWOOD	SEQUOIA SEMPERVERENS		8	5' - 10' HT.	40' HT. & 30' SPD.	30" BDX	SHADING	MEDIUM	4398
SHRUBS										
APP	APACHE PLUME	FALLUGIA PARADOXA		31	MIN. 24" HT.	4' HT. & SPD.	5 - GAL.	SCREENING / ORNAMENTAL	LOW	269
SC	SHRUBBY CINQUEFOIL	POTENTILLA FRUTICOSA		58	MIN. 24" HT.	3' HT. & SPD.	5 - GAL.	SCREENING	MEDIUM	546
BB	BUTTERFLY BUSH	BURLEIA DAVIDE		34	MIN. 18" HT.	5' HT. & SPD.	5 - GAL.	ORNAMENTAL	LOW	534
CL	CLIFFROSE	COYANEA MEXICANA		12	MIN. 12" HT.	5-8" HT. & 6 SPD.	5 - GAL.	SCREENING	LOW	864
TLS	THREELAF SURONG	RHUS TRILOBATA		30	MIN. 8" SPD.	4' HT. & SPD.	5 - GAL.	SCREENING / ORNAMENTAL	LOW	377
DY	DATIL YUCCA	YUCCA BACCATA		44	MIN. 12" SPD.	3' HT. & 4' SPD.	5 - GAL.	SCREENING	LOW	553
				TOTAL	246					COVERAGE 18999



- GENERAL NOTES:
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 - TREE ROOT COLLAR SHALL BE AT GRADE. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL. THE PLANTING HOLE SHALL BE 2-3 TIMES AS WIDE AS THE ROOTBALL DEPENDING ON SUBSURROUNDING SOIL COMPOSITION.
 - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:
- TREE
 - BACKFILL WITH EXISTING SOIL
 - EARTH BERM AROUND WATER RETENTION BASIN
 - 4" DEPTH OF BARK MULCH
 - FINISH GRADE
 - UNDISTURBED SOIL



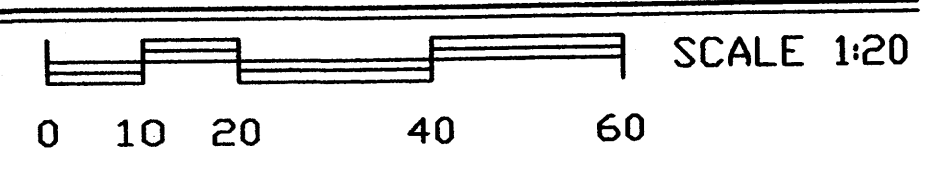
- GENERAL NOTES:
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:
- SHRUB
 - BACKFILL WITH EXISTING SOIL
 - EARTH BERM AROUND WATER RETENTION BASIN
 - 4" DEPTH OF BARK MULCH
 - FINISH GRADE
 - UNDISTURBED SOIL



KEYED NOTES:

- 1 NEW CONCRETE SIDEWALK PER COA STD 24.30
- 2 NEW CONCRETE CURB & GUTTER PER COA STD 24.15
- 3 REMOVE LOT LINE-PER PLAT
- 4 NEW FIRE HYDRANT LOCATION
- 5 AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL, SEE DRB ELEV SHEET FOR DETAIL SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
- 6 BICYCLE RACK, MINIMUM 8 SPACES
- 7 FLAG POLE
- 8 LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM
- 9 SECURITY LIGHTING AT ALL ENTRANCES
- 10 EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL
- 11 DRIVEWAY PER CITY OF ALBUQUERQUE STANDARDS
- 12 EXISTING FIRE HYDRANT, TO BE RELOCATED
- 13 EXISTING FIRE HYDRANT
- 14 MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE
- 15 NEW CONCRETE CURB AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING
- 16 CYPHER LOCK ON ENTRANCE
- 17 EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
- 18 DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS
- 19 PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS
- 20 HANDICAP SIGNAGE LOCATION
- 21 MOTORCYCLE SIGNAGE LOCATION
- 22 PINO ARROYO BICYCLE & PEDESTRIAN TRAIL
- 23 ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE
- 24 LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM
- 25 BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE
- 26 NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED
- 27 ALL COMPACT SPACES TO BE LABELED ON PAVEMENT
- 28 SHADING WALLS
- 29 STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL
- 30 KNOX BOX LOCATION PER FIRE MARSHALL
- 31 ALL ROOF TOP OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SOP

DRB SITE PLAN FOR BUILDING PERMIT



GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, JJ SUBDIVISION CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES SECOND FLOOR: 16,867 SF NET LEASABLE SF = 57 SPACES 141 TOTAL REG.

PROVIDED: 151 TOTAL SPACES (98 REG., 44 COMPACT, 9 HANDICAP) (25% OF SPACES ARE FOR COMPACT CARS)

PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spaces) PROVIDED: 8 SPACES, 1 VAN ACCESSIBLE

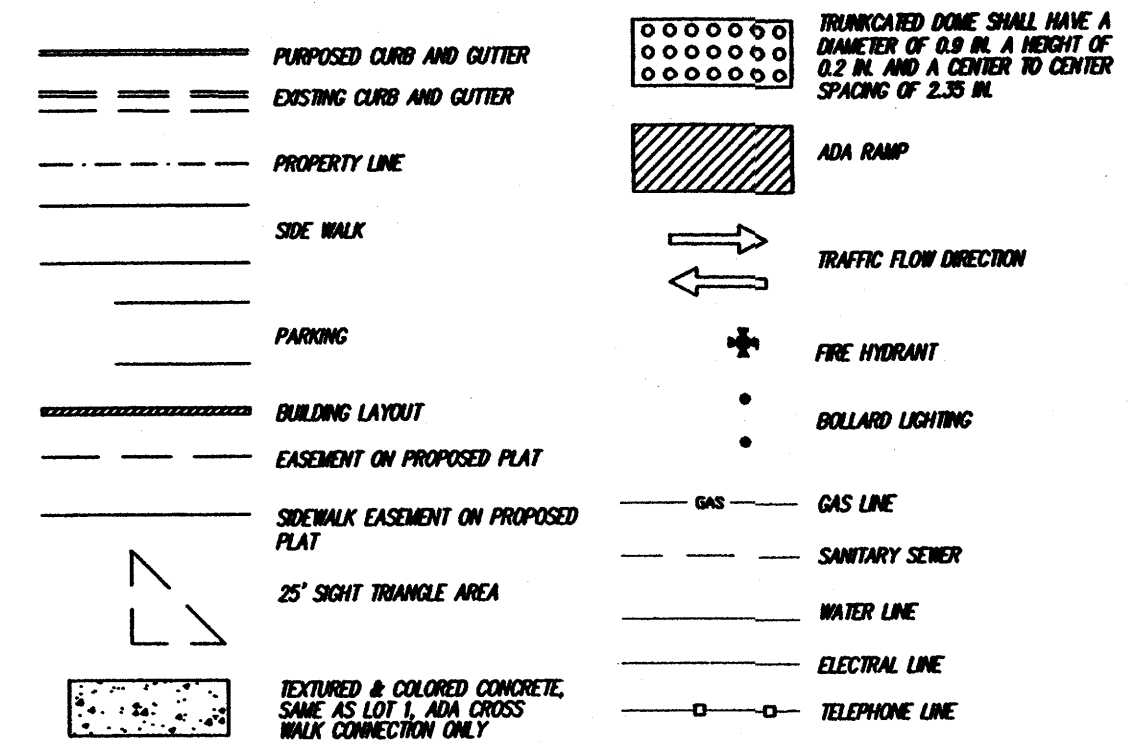
PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (with 101 to 300 req. parking spaces) PROVIDED: 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spaces) PROVIDED: 8 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPAIR ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.

LINE TYPE LEGEND



"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

JOB NO:

DATE: 1 MAY 2008

REVISIONS

04 JUNE 2008
02 JULY 2008
09 JULY 2008
09 OCTOBER 2008

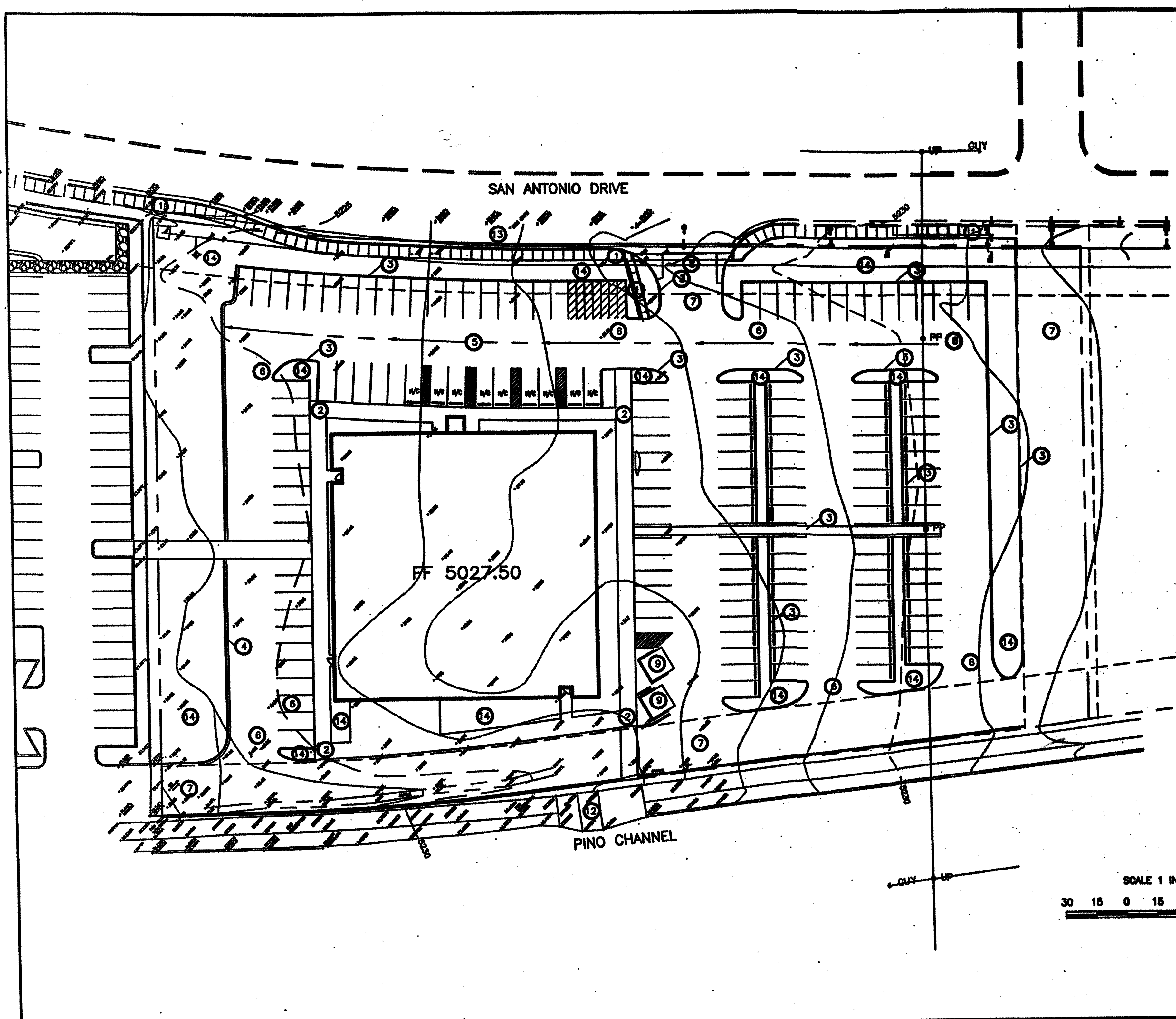
Sheet Title
DRB TRAFFIC CIRCULATION LAYOUT FOR BUILDING PERMIT
Checked By: T. OTT
Drawn By: PESLUKAI, S.A.

TM OTT / DEVELOPER
5650 VANCE AVE NE SUITE G
ALBUQUERQUE NM 87110
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7008 DELWOOD RD. NE (505) 865-4628
ALBUQUERQUE, NEW MEXICO 87110

Project Name
STATE ENGINEERING ALBUQUERQUE BUILDING ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB TCL

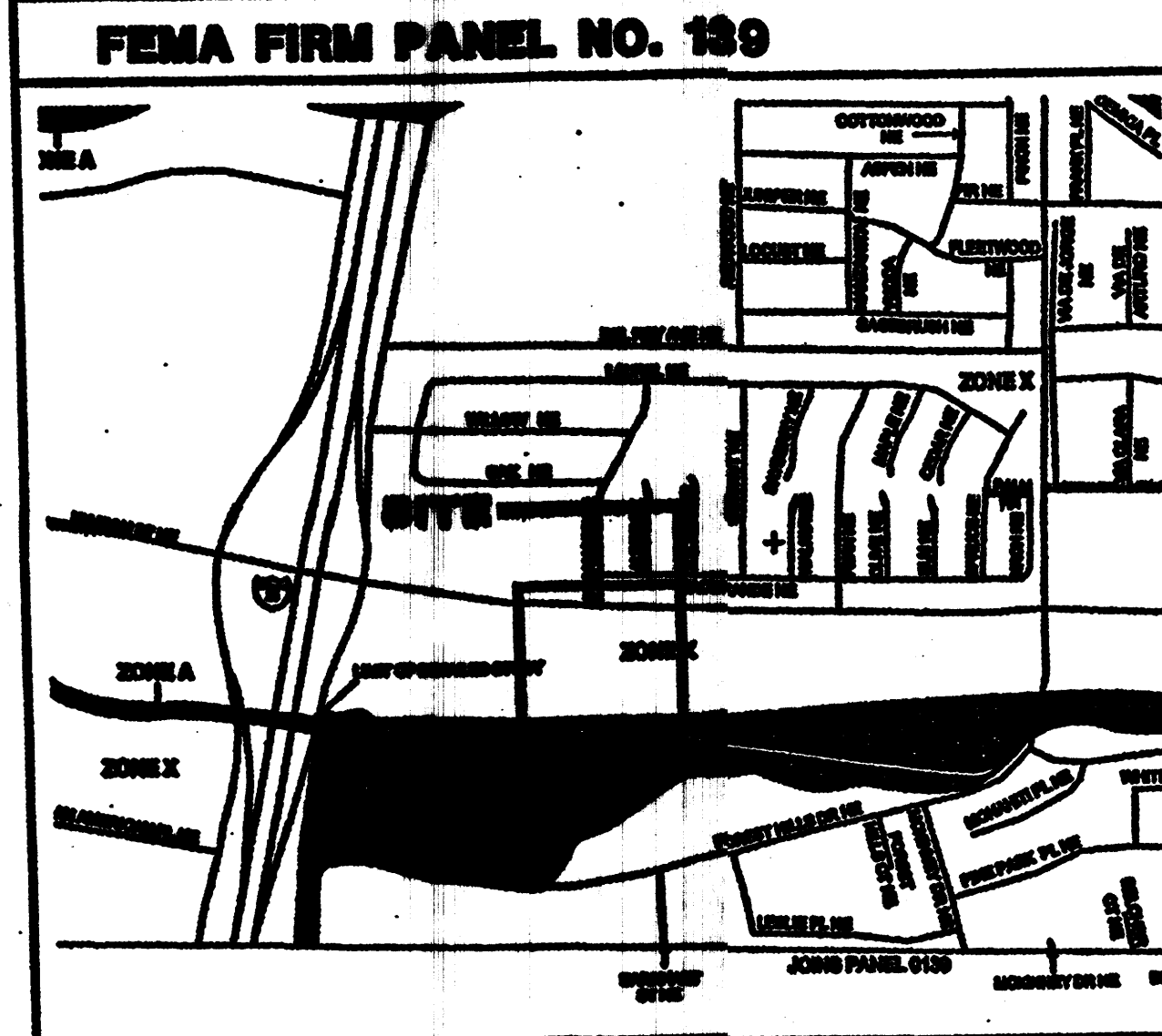
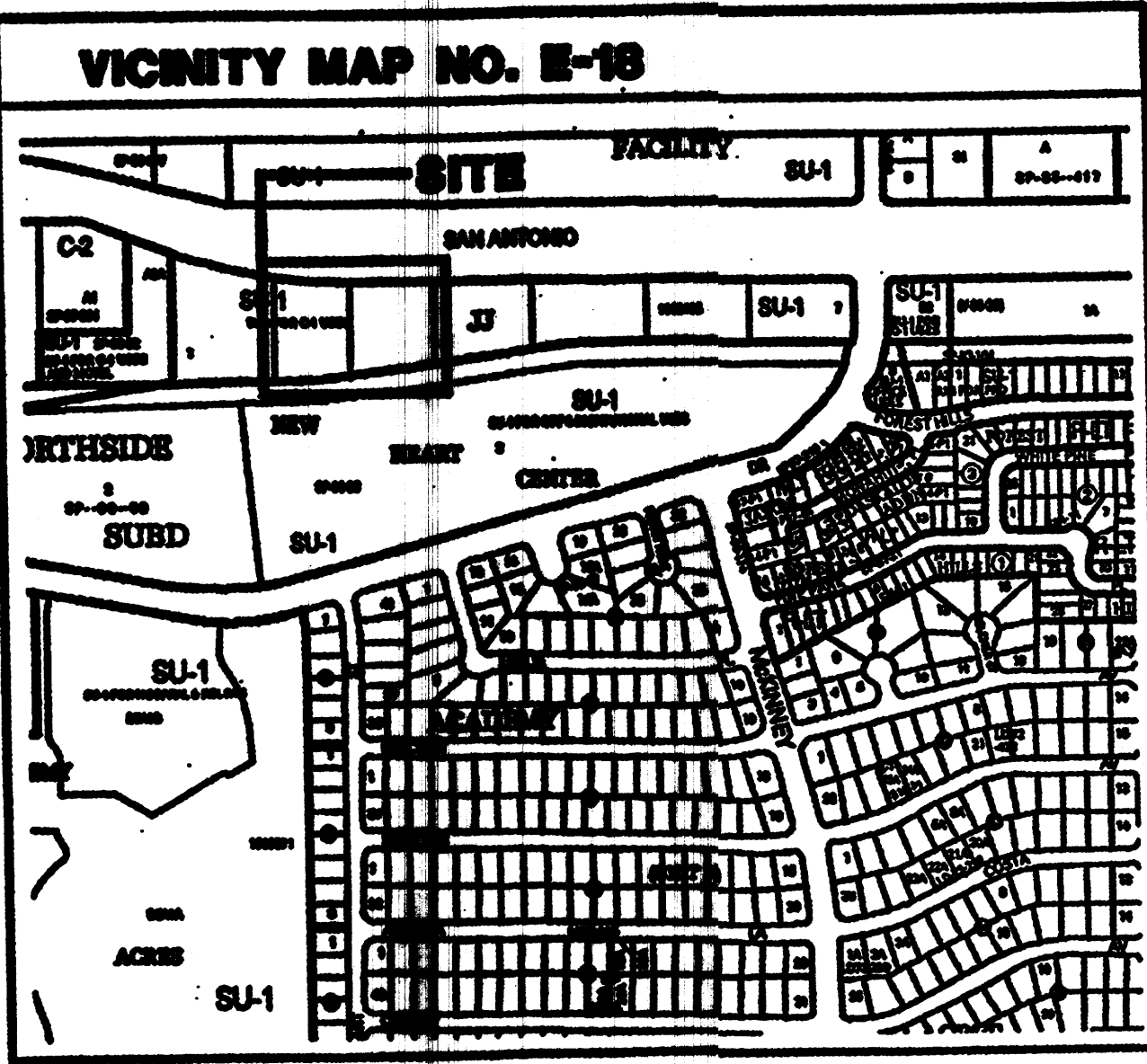


LEGAL DESCRIPTION
 LOTS 2 & 3, J SUBDIVISION

PERMANENT BENCHMARK
 ACS 18-E18 ELEVATION 5008.889 (NVD 1928)

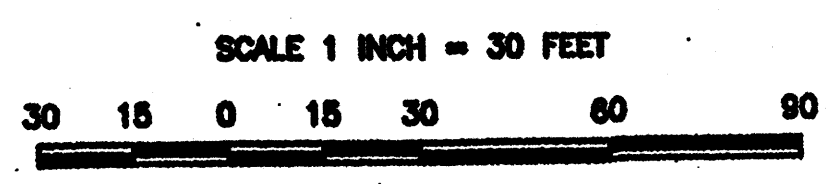
KEYED NOTES

1. SIDEWALK. SEE DETAIL SHEET CD.
2. TURNDOWN SIDEWALK. SEE DETAIL SHEET CD.
3. HEADER CURB. SEE DETAIL SHEET CD.
4. CURB AND GUTTER. SEE DETAIL SHEET CD.
5. ASPHALT SWALE.
6. ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET CD.
7. ASPHALT PAVEMENT - HEAVY DUTY (HATCHED AREA). SEE DETAIL SHEET CD.
8. 30 FOOT WIDE PRIVATE ENTRANCE DETAIL. SEE COA STD. DWG. 2428.
9. REFUSE ENCLOSURE.
10. DELETE
11. DELETE
12. EXISTING SIDE INLET TO PINO CHANNEL. EXTEND CONCRETE TO PROPERTY LINE. SEE DETAIL SHEET CD.
13. NEW DECELERATION LANE, CURB & GUTTER AND SIDEWALK PER CITY PROJECT NO. XXXX.
14. LANDSCAPE



JOB NO:
 DATE: 20 JUNE, 2008
 REVISIONS:

Sheet Title
CONCEPTUAL GRADING PLAN
 Drawn By: METL
 Checked By: JB



LEGEND

TM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

DRAINAGE NOTES

1. THE SITE IS LOCATED IN CITY OF ALBUQUERQUE RAINFALL ZONE 3.
2. OFFSITE FLOWS WILL BE INTERCEPTED BY THE ACCESS DRIVE AT THE EAST PROPERTY LINE AND ROUTED SOUTH AND WEST VIA A PARKING LOT SWALE IN AN EXISTING DRAINAGE EASEMENT TO AN EXISTING SIDE INLET IN THE PINO CHANNEL NEAR THE SOUTHEAST CORNER OF THE PROPOSED BUILDING.
3. ONSITE FLOWS GENERATED EAST OF THE MAIN ENTRY DRIVE WILL BE DIRECTED TO THE PINO CHANNEL VIA THE EXISTING SIDE INLET DESCRIBED ABOVE. ONSITE FLOWS GENERATED WEST OF THE MAIN ENTRY DRIVE WILL BE DIRECTED TO THE PINO CHANNEL VIA A NEW SIDE INLET AT THE SOUTHWEST CORNER OF LOT 1.
4. THE NEW SIDE INLET TO THE PINO CHANNEL AT THE SOUTHWEST CORNER OF LOT 1 SHALL BE CONSTRUCTED WITH THIS PROJECT.
5. THE PROJECT IS IN EXCESS OF ONE ACRE AND A SWPPP WILL BE REQUIRED.

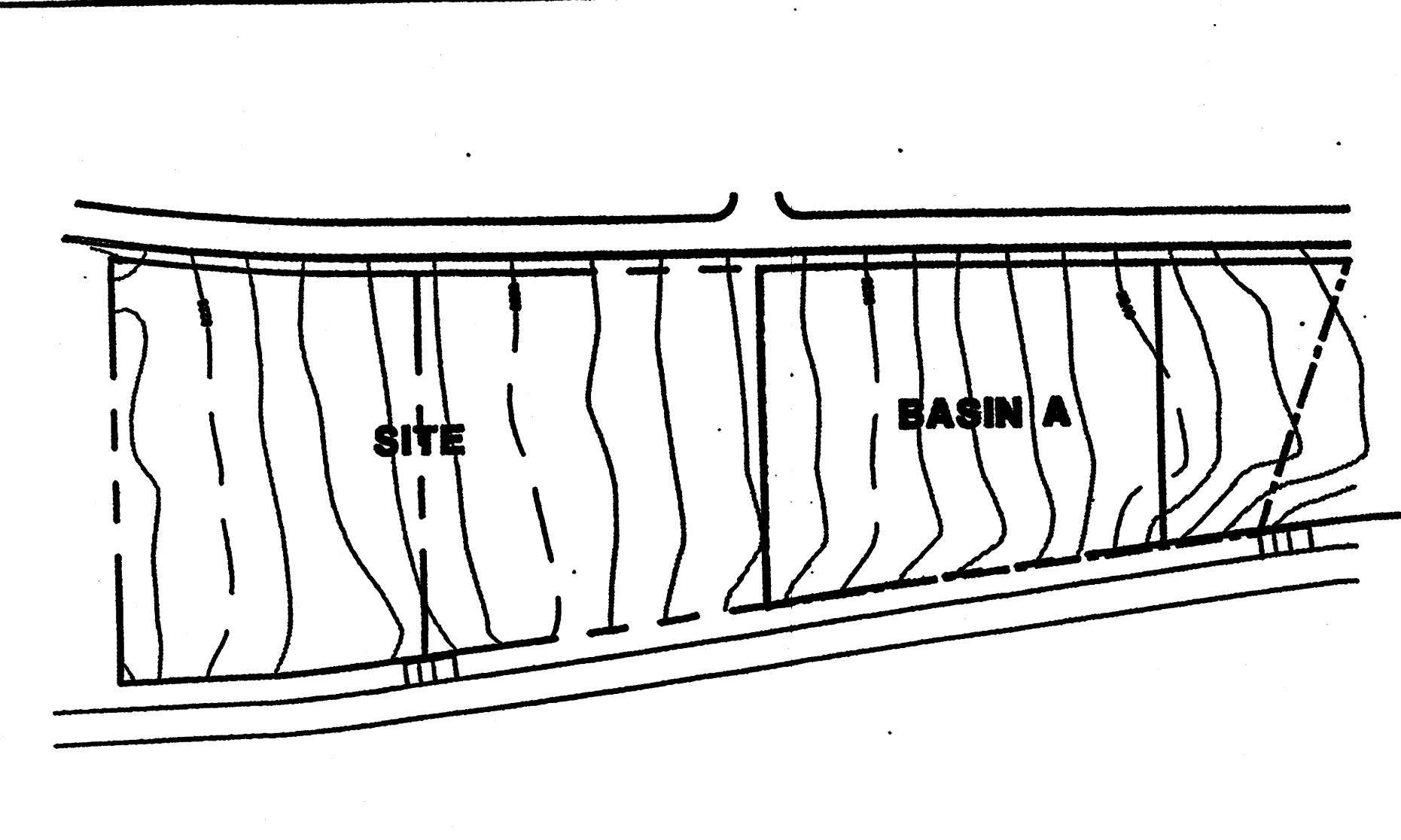
GRADING NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 280-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

OFFSITE DRAINAGE MAP SCALE 1" = 100'



DRAINAGE DATA

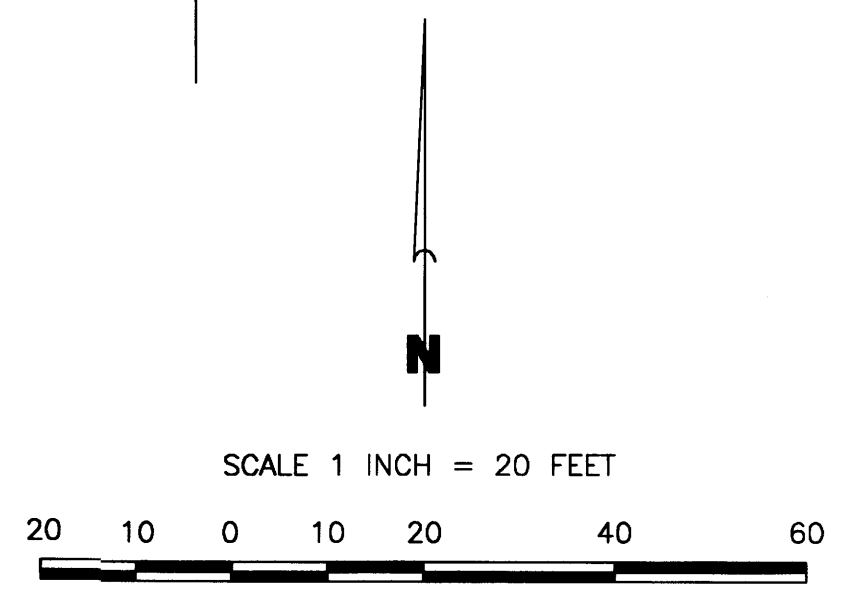
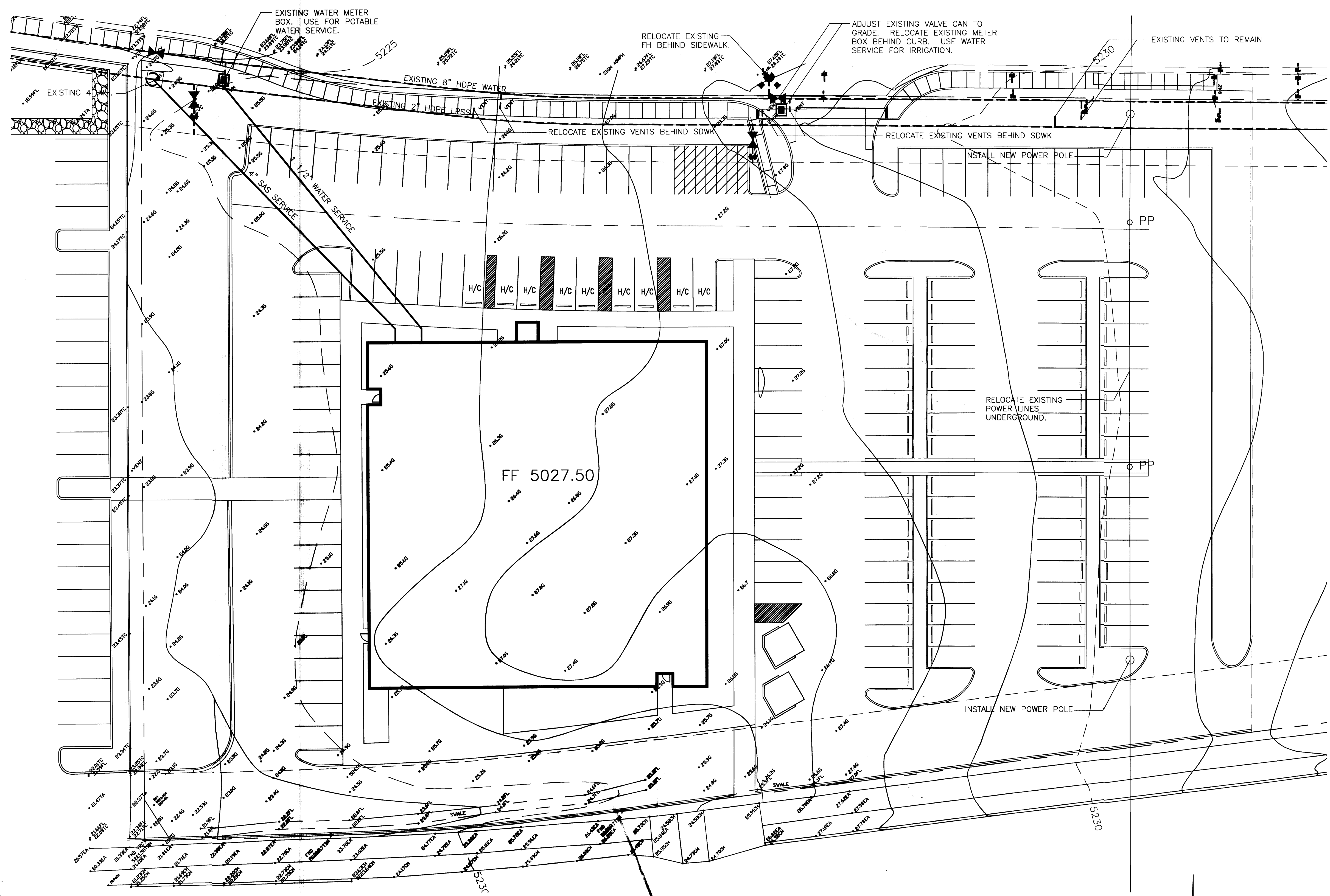
CONDITION	RETURN PERIOD (yr)	TREATMENT TYPE	TREATMENT AREA (sq. ft.)	EXCESS PRECIPITATION (in.)	PEAK RUNOFF (cfs/acre)	RUNOFF VOLUME (cu. ft.)	RUNOFF RATE (cfs)
EXISTING	10	A	0	0.18	0.58	0	0.00
		B	123285	0.36	1.19	3689	3.37
		C	0	0.02	2	0	0.00
		D	0	1.5	3.39	0	0.00
		TOTAL	123285			3689	3.37
EXISTING	100	A	0	0.58	1.87	0	0.00
		B	123285	0.92	2.8	9482	7.36
		C	0	1.29	3.45	0	0.00
		D	0	2.36	5.02	0	0.00
		TOTAL	123285			9482	7.36
DEVELOPED	10	A	0	0.19	0.58	0	0.00
		B	22895	0.36	1.19	691	0.62
		C	0	0.02	2	0	0.00
		D	100590	1.5	3.39	12974	7.53
		TOTAL	123285			13265	8.45
DEVELOPED	100	A	0	0.58	1.87	0	0.00
		B	22895	0.92	2.8	1740	1.35
		C	0	1.29	3.45	0	0.00
		D	100590	2.36	5.02	19753	11.59
		TOTAL	123285			21523	12.95
A	100	A	0	0.58	1.87	0	0.00
		B(10%)	7363	0.92	2.8	594	0.44
		C	0	1.29	3.45	0	0.00
		D(90%)	66271	2.36	5.02	13033	7.84
		TOTAL	73634			13627	8.28

Project Name
NEW MEXICO OFFICE OF THE STATE ENGINEER
ALBUQUERQUE BUILDING
 ALBUQUERQUE, NEW MEXICO

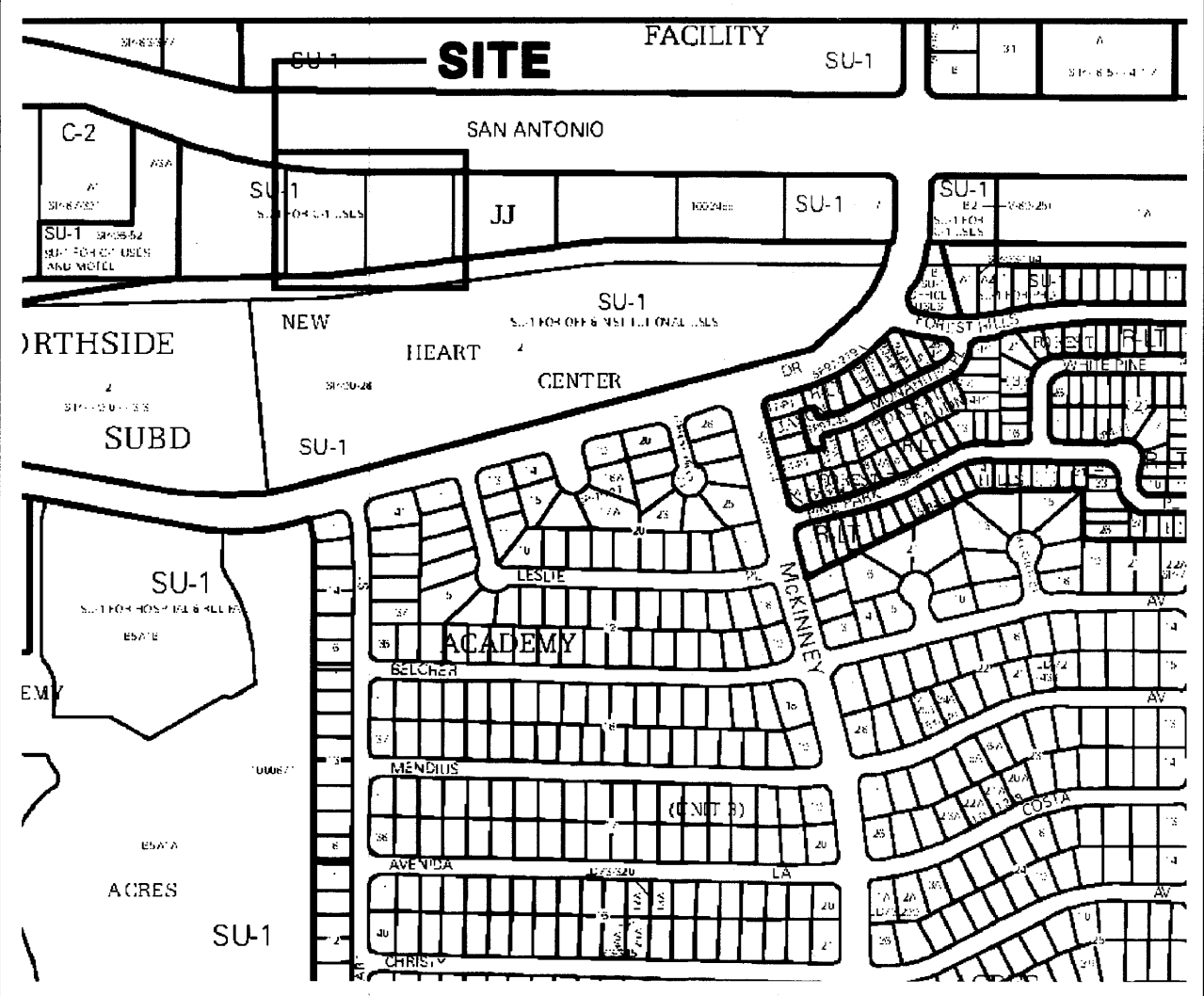
Sheet No.

Sheet Title
CONCEPTUAL GRADING PLAN
 Drawn By: METL
 Checked By: JB

Sheet No.



VICINITY MAP NO. E-18



JOB NO. _____
 DATE: 03 NOVEMBER, 2008
 REVISIONS

LEGAL DESCRIPTION

LOTS 2 & 3, JJ SUBDIVISION

PERMANENT BENCHMARK

ACS 18-E18 ELEVATION 5058.889 (NGVD 1929)

UTILITY NOTES

1. WATER, SANITARY SEWER, STORM DRAIN, POWER, GAS AND COMMUNICATIONS ARE AVAILABLE TO THE SITE AT ITS BOUNDARY OR IN A SHORT DISTANCE WITHIN THE SUBDIVISION BOUNDARY. NO OFFSITE (OUTSIDE THE SUBDIVISION BOUNDARY) CONSTRUCTION WILL BE REQUIRED.
2. COORDINATION OF FACILITY CONSTRUCTION MAY BE MADE THROUGH THE FOLLOWING:

WATER AND SANITARY SEWER - ABCWUA
 POWER AND GAS - PUBLIC SERVICE CO. OF NEW MEXICO
 TELEPHONE - QWEST
 CABLE - COMCAST

LEGEND

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
- - - - -	FEMA FLOODPLAIN BOUNDARY
- - - - -	DRAINAGE BASIN BOUNDARY
· · · · ·	EROSION SETBACK LINE
— — — —	EXISTING CONTOUR
— — — —	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
● XX.XX	PROPOSED SPOT ELEVATION
- - - - -	RECORD SPOT ELEVATION

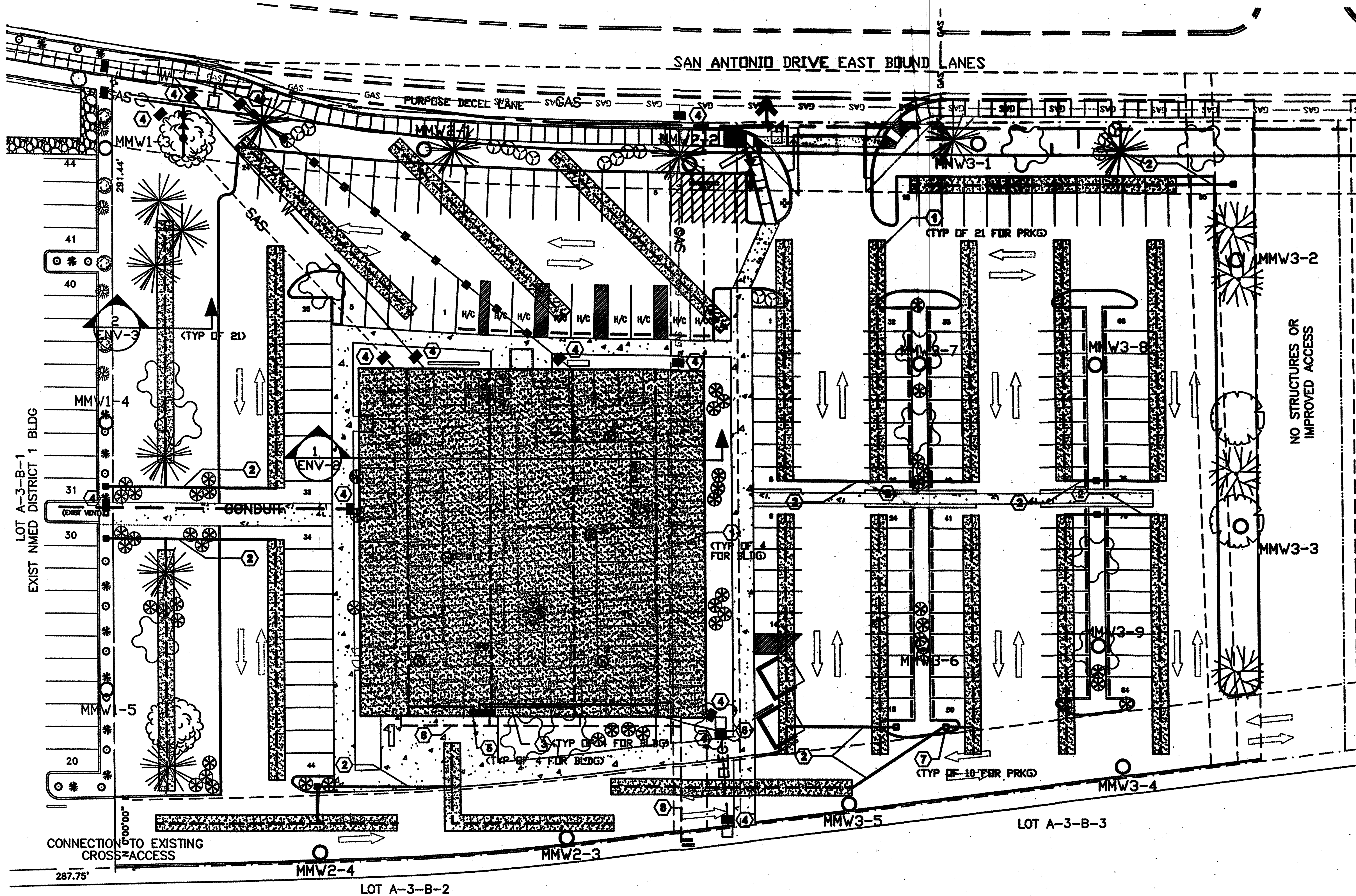
Sheet Title
CONCEPTUAL UTILITY PLAN
 Drawn By: JLB
 Checked By: JLB

TIM OTTY / DEVELOPER
 5620 VANCE AVE NE, SUITE G
 ALBUQUERQUE, NM 87118
 (505) 250-4075

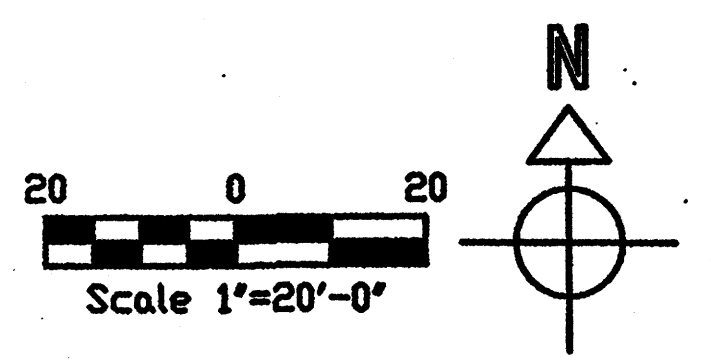
BORDENAVE DESIGNS
 P.O. BOX 91194, ALBUQUERQUE, NM 87199
 ALBUQUERQUE, NM 87118
 (505) 823-1344 FAX (505) 821-9105

Project Name
NEW MEXICO OFFICE OF THE STATE ENGINEER
ALBUQUERQUE BUILDING
 ALBUQUERQUE, NEW MEXICO

SHEET NO. _____



PLAN



GENERAL NOTES

1. BASE SITE PLAN BY ISBS LLC - OWNER.
2. BASE FLOOR PLAN OF BUILDING PROVIDED BY OWNER.
3. LOCATIONS OF UTILITIES PROVIDED BY OWNER.
4. ALL PENETRATIONS THROUGH THE BASE LEVEL CONCRETE SHALL BE PER (S)
5. THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.
6. ALL PIPING AND FITTINGS FOR PARKING AND BUILDING VENT SYSTEMS TO BE GLUED AT CONNECTIONS.
7. IN AREAS UNDERLAIN BY REFUSE (INCLUDES ALL AREAS WITHIN THE SITE BOUNDARIES), ONLY NATIVE, DROUGHT-TOLERANT PLANT SPECIES THAT DO NOT REQUIRE IRRIGATION SHALL BE PLANTED DIRECTLY IN TO THE GROUND. LAWNS REQUIRING IRRIGATION SHALL NOT BE USED. SHADE TREES SHALL BE PLACED IN SEALED-BOTTOM PLANTERS PER (S) OR (S)
8. SANITARY SEWER (SAS), WATER, AND GAS UTILITY LINES OVERLYING BURIED WASTE SHALL INCORPORATE FLEXIBLE COUPLINGS AT JOINTS; COUPLINGS TO BE APPROVED BY LFG ENGINEER.

KEYED NOTES

- ① 6" DIA PERFORATED SCH 40 PVC LFG VENT PIPE.
- ② 6" DIA SOLID SCH 40 PVC LFG VENT PIPE FOR PARKING AREA VENT SYSTEM. USE FITTINGS AS NECESSARY TO CONNECT PERFORATED PIPE TO SOLID PIPE AND TURBINE VENT.
- ③ 6" DIA SOLID SCH 40 PVC LFG VENT PIPE FOR BUILDING VENT SYSTEM. USE FITTINGS AS NECESSARY TO CONNECT PERFORATED PIPE TO SOLID PIPE. VENT PIPE RISERS TO BE INSTALLED INSIDE THICKENED SECTION OF EXTERIOR WALL TO TURBINE VENTS MOUNTED ON THE ROOF.
- ④ UTILITY TRENCH BENTONITE PLUG AND VENT (SEE (S)).
- ⑤ TURBINE VENTILATION FAN (SEE SHEET ENV.2, SECTION A, KEYED NOTE 4).
- ⑥ VENTING LAYER TO EXTEND BENEATH ENTIRE BUILDING FOOTPRINT (SEE (S) FOR TYPICAL SECTION).
- ⑦ LFG VENTING LAYER OUTLET FOR PARKING AREAS (SEE (S) NOTE: UP TO 3 OUTLETS FOR INDIVIDUAL VENTING LAYERS FOR PARKING AREAS MAY BE MANIFOLDED INTO A SINGLE OUTLET AT THE DISCRETION OF THE OWNER.
- ⑧ BURIED DRAINAGE PIPE FROM ROOF DRAINS

LEGEND

- TURBINE VENTILATION FAN MODEL BEB-12 OR BSB-12 (LOMANCO INC. 1-800-843-6598) OR APPROVED ALTERNATE. SEE SHEET ENV-2 FOR DETAIL.
- ⊙ METHANE SENSORS (S) BY CEA INSTRUMENTS, INC. (1-201-987-8660), SERIES "U", OR APPROVED ALTERNATE. SENSORS TO BE PLACED ALONG BASEBOARD APPROXIMATELY AT LOCATION SHOWN ON DRAWING. SENSOR RESPONSE SHALL BE AS DESCRIBED IN OPERATIONS, MAINTENANCE AND MONITORING PLAN (OMMP). SENSORS SHALL BE LINKED DIRECTLY TO ALARMED DATA LOGGER AS DESCRIBED IN OMMP.
- MMW2-4 PROPOSED PERMITTER METHANE MONITORING WELL AND NUMBER. MONITORING WELL LOCATIONS MAY BE ADJUSTED SLIGHTLY TO ACCOMMODATE SITE FEATURES. (SEE (S) FOR TYPICAL SECTION).
- MMW1-5 EXISTING PERMITTER METHANE MONITORING WELL AND NUMBER FOR ADJACENT NMED BUILDING WEST OF STATE ENGINEER BUILDING.



JOB NO.	07-18
DATE	08 Aug 08
REVISIONS	
1	

TM/OTT / DEVELOPER
 PO BOX 9888
 ALBUQUERQUE, NM 87108
 (505) 253-0676

MICHAEL DEL MASTRO / ARCHITECT
 7000 DELWOOD RD. NEF (988) 888-8888
 ALBUQUERQUE, NEW MEXICO 87109

OFFICE OF THE STATE ENGINEER BUILDING
 ENV-1 LFG ABATEMENT SYSTEM PLAN

LAWRENCE
 EARTH
 ENGINEERING

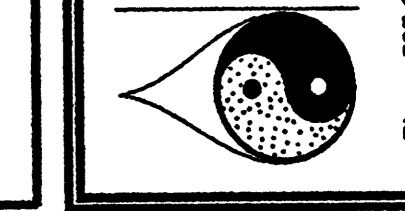
4500 Glenwood Hills NE
 Albuquerque, NM 87111
 Phone: 505-294-7227 Fax: 505-294-7712



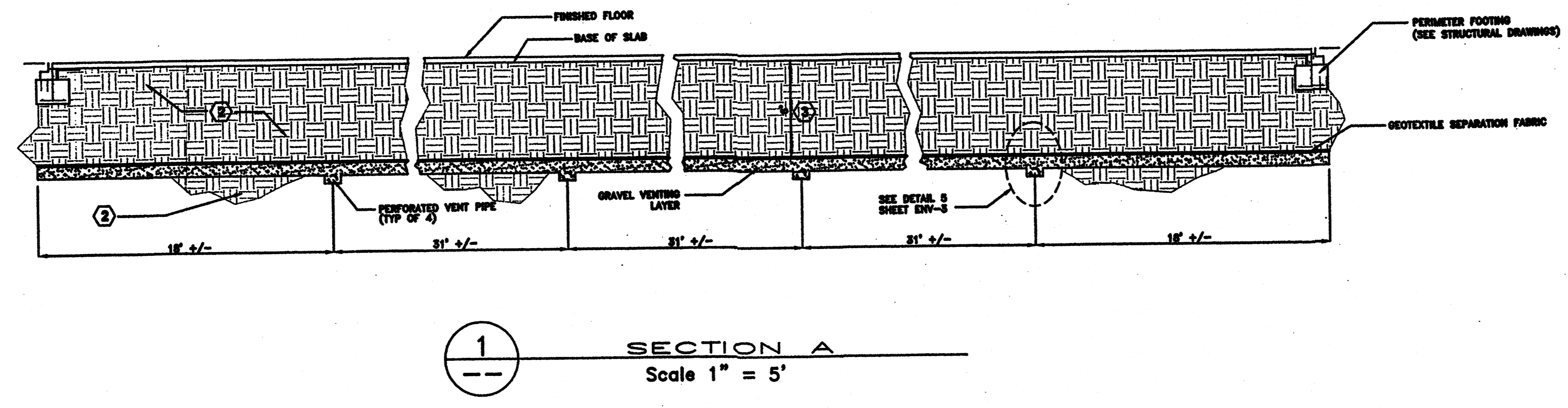
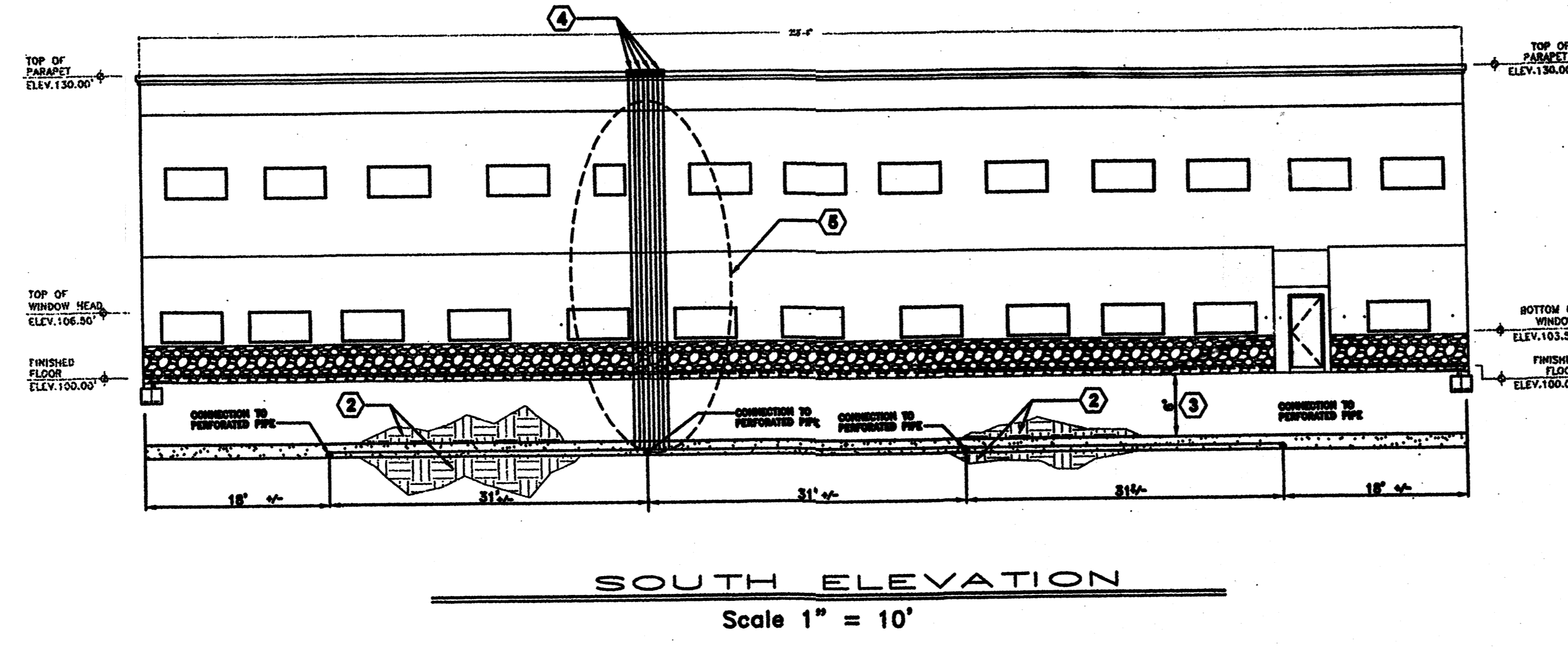
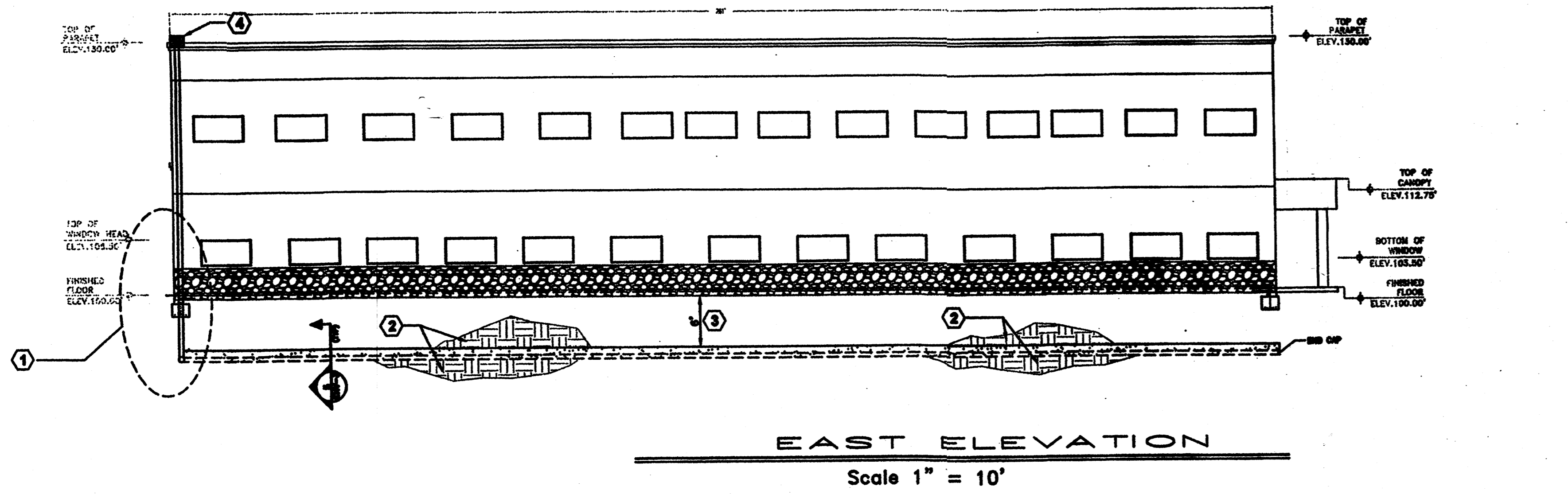
JOB NO.	07-18
DATE	08 Aug 08
REVISIONS	
1	

TM OTT / DEVELOPER
 PO BOX 38881
 ALBUQUERQUE, NM 87778
 (505) 250-4678
MICHAEL DEL MASTRO / ARCHITECT
 700 DELWOOD RD. NE / SUITE 100
 ALBUQUERQUE, NEW MEXICO 87110

OFFICE OF THE STATE ENGINEER BUILDING
ENV-2 LFG ABATEMENT SYSTEM ELEVATIONS AND SECTION A
 ISSBS LLC
 Date: 08 AUG 08
 Drawn By: LMC
 Drawing File: C:\Professional\18 ISSBS\08ENV-2.dwg



LAWRENCE EARTH ENGINEERING
 4500 Glenwood Hills, NE
 Albuquerque, NM 87111
 Phone: 505-294-7227 Fax: 505-294-7712

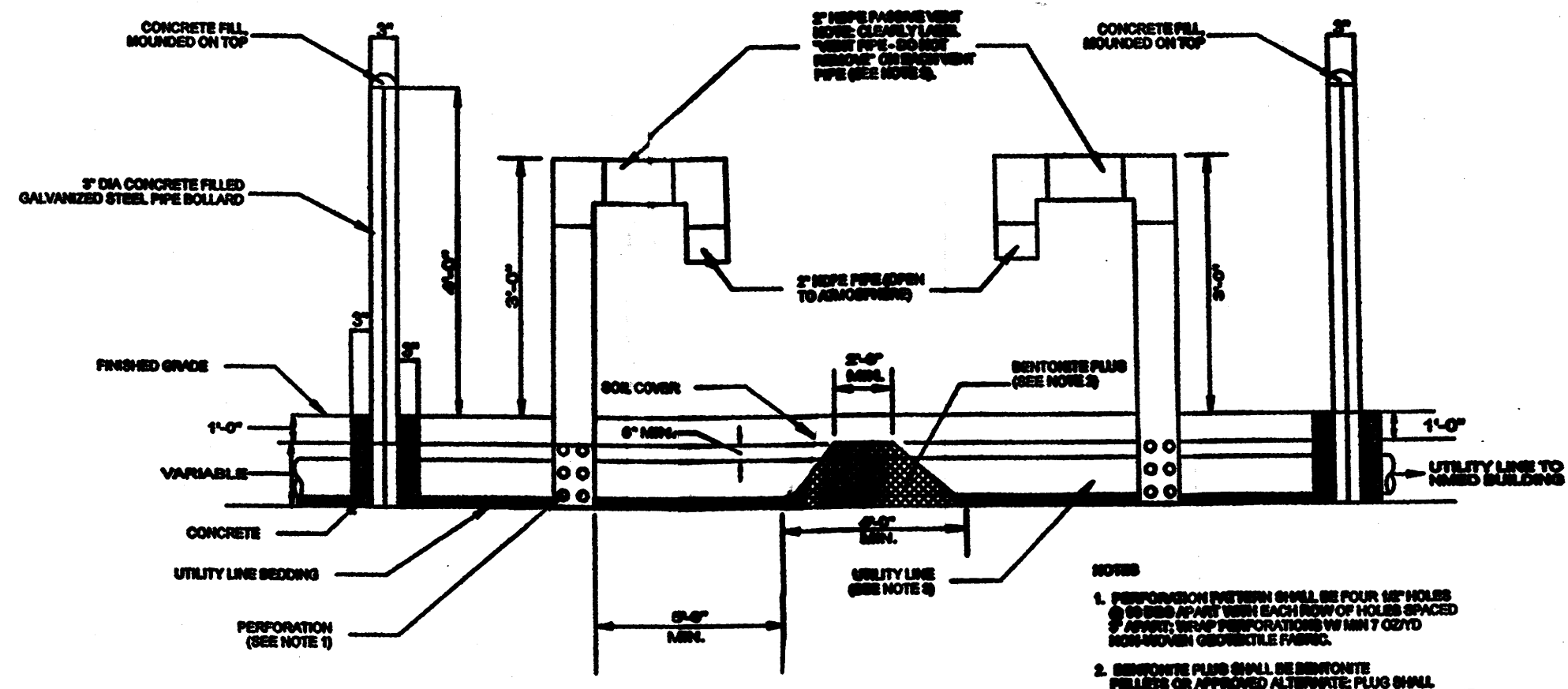


GENERAL NOTES

- ELEVATION BASE BY ISSBS LLC - OWNER.
- ALL PENETRATIONS THROUGH THE BASE LEVEL CONCRETE SHALL BE PER (1).
- ALL PIPING AND FITTINGS FOR PARKING AND BUILDING VENT SYSTEM TO BE GLUED AT CONNECTIONS.

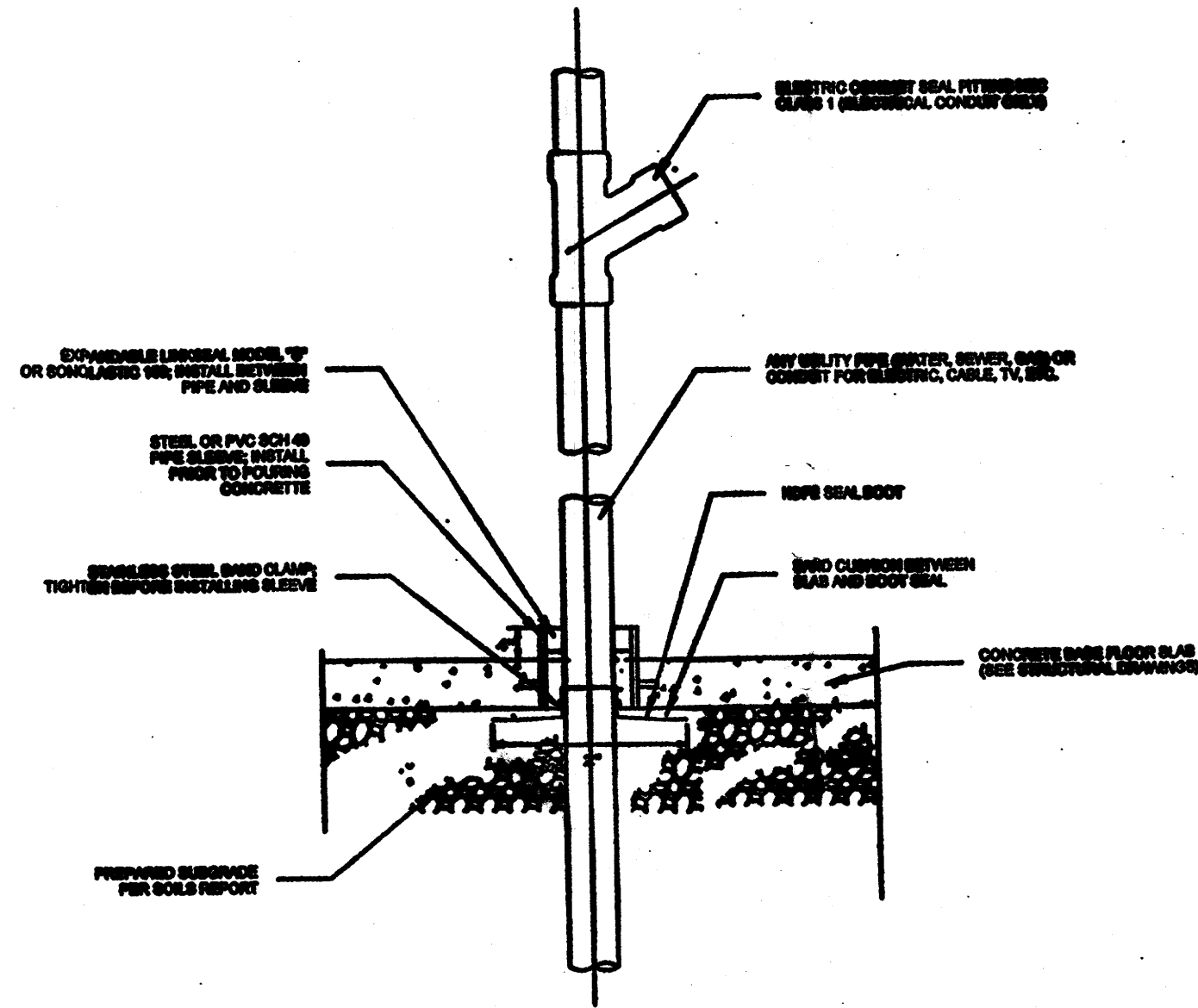
KEYED NOTES

- USE FITTINGS AS REQUIRED TO CONNECT 6" PVC RISER PIPES TO 6" PERFORATED VENT PIPES. RISERS TO PENETRATE CONCRETE FOOTING AND STEMWALL. PENETRATIONS THROUGH FOOTINGS AND STEMWALL SHALL BE SEALED SIMILAR TO (1). STRUCTURAL ENGINEER TO VERIFY INTEGRITY OF FOOTING AND STEMWALL AT PENETRATIONS.
- PLACE AND COMPACT FILL IN ACCORDANCE WITH SOILS REPORT. SOILS TO BE COMPACTED TO REQUIRED DENSITY AT 0 TO 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT BETWEEN BASE OF WASTE EXCAVATION AND BASE OF VENTING LAYER, AND BETWEEN TOP OF VENTING LAYER AND BASE OF SLAB.
- 6" SEPARATION DISTANCE BETWEEN BASE OF SLAB AND TOP OF GRAVEL VENTING LAYER (GEOTEXTILE SEPARATION FABRIC).
- TURBINE VENTILATION FAN MODEL BEB-12 OR BIB-12 (LOMANCO INC. 1-800-643-5596) OR APPROVED ALTERNATE. TOP OF VENTILATION FANS TO STICK UP MINIMUM OF 6 INCHES ABOVE TOP OF PARAPET. VENTILATION FANS TO BE SPACED MINIMUM OF 6 INCHES APART (EDGE TO EDGE). SEE SHEET A-18 FOR ROOF VENT DETAILS.
- RISER PIPES INSIDE CHASE OR WALL SHALL BE PROTECTED FROM PUNCTURE BY NAILS OR SCREWS BY COVERING RISERS WITH MINIMUM 12 GAGE GALVANIZED METAL SHEETING. ALSO REFER TO (1). SEE SHEET A-18 FOR ROOF VENT DETAILS.

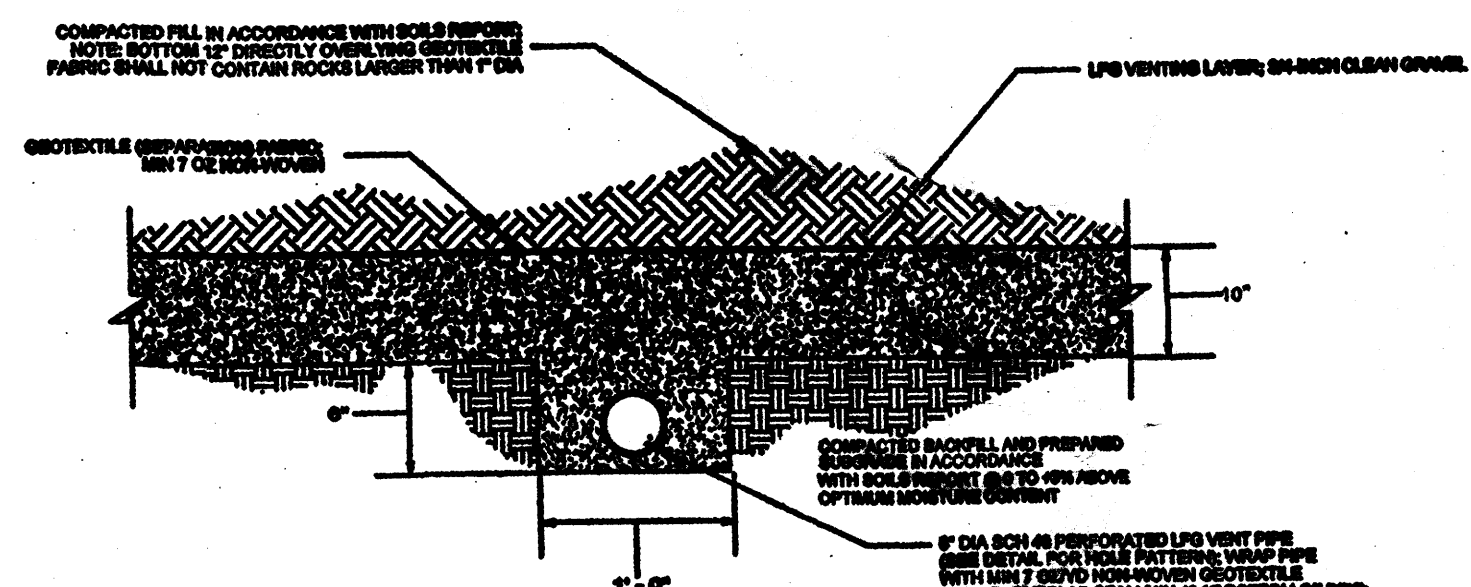


1 BENTONITE PLUG AND VENT FOR UTILITY LINE (TYP) NTS

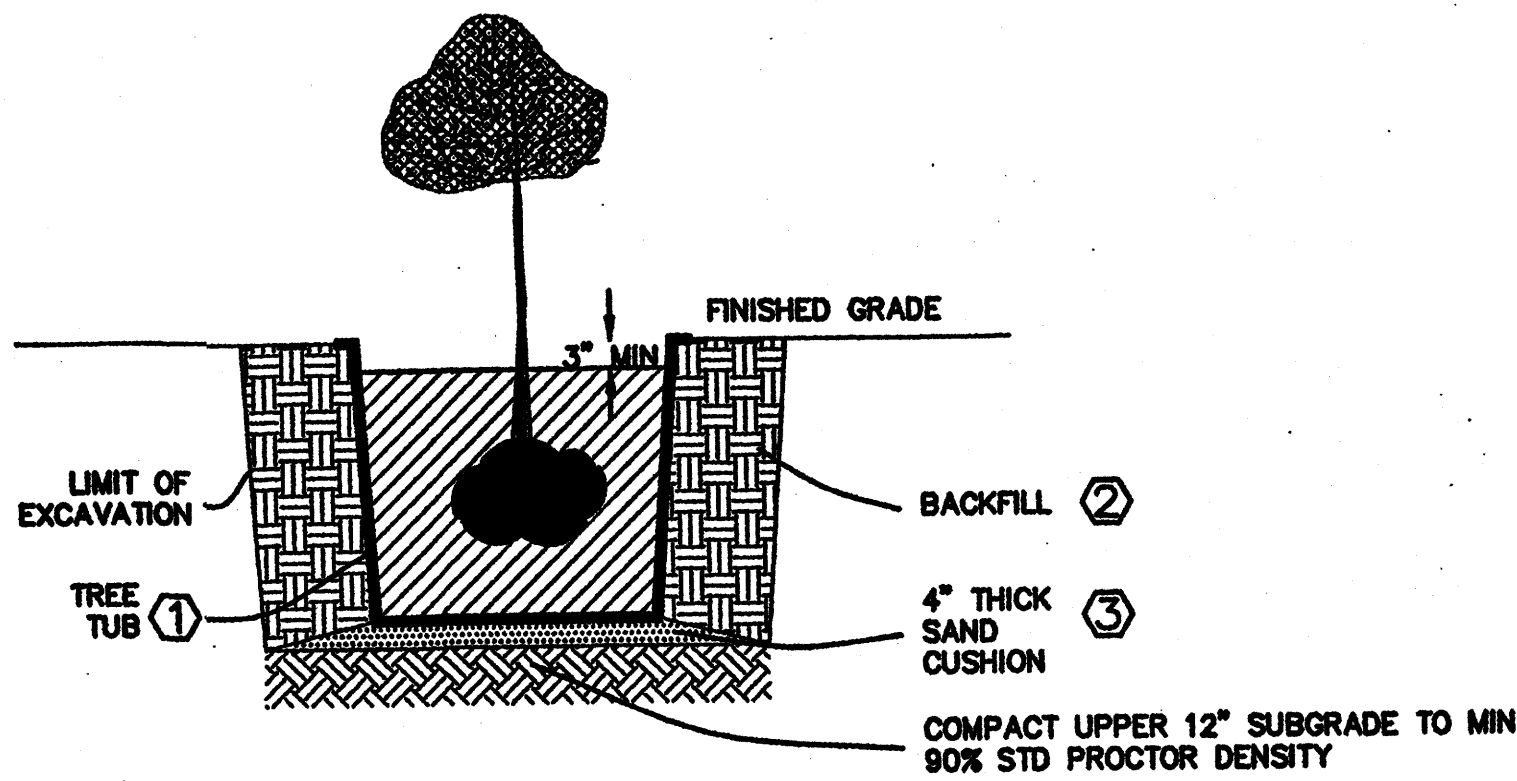
- NOTES:
1. BENTONITE SYSTEM SHALL BE FOUR SECTIONS. A. BENTONITE SHALL BE BENTONITE PELLETS OR APPROVED ALTERNATE PLUS SMALL SIZED FILL. BENTONITE SHALL BE PLACED IN 12\"/>
 - 2. BENTONITE PLUG SHALL BE BENTONITE PELLETS OR APPROVED ALTERNATE PLUS SMALL SIZED FILL. BENTONITE SHALL BE PLACED IN 12\"/>
 - 3. VENT AND PLUG TO BE INSTALLED CONCURRENTLY. VENT OR BENTONITE SHALL BE PLACED IN 12\"/>
 - 4. SPACING BETWEEN BENTONITE PLUGS FOR CITY UTILITIES TO BE A MINIMUM OF 10\"/>
 - 5. TRENCH SHALL BE A MINIMUM OF 36\"/>



4 UTILITY PIPE PENETRATION - SLAB OR FOOTING (TYP) NTS

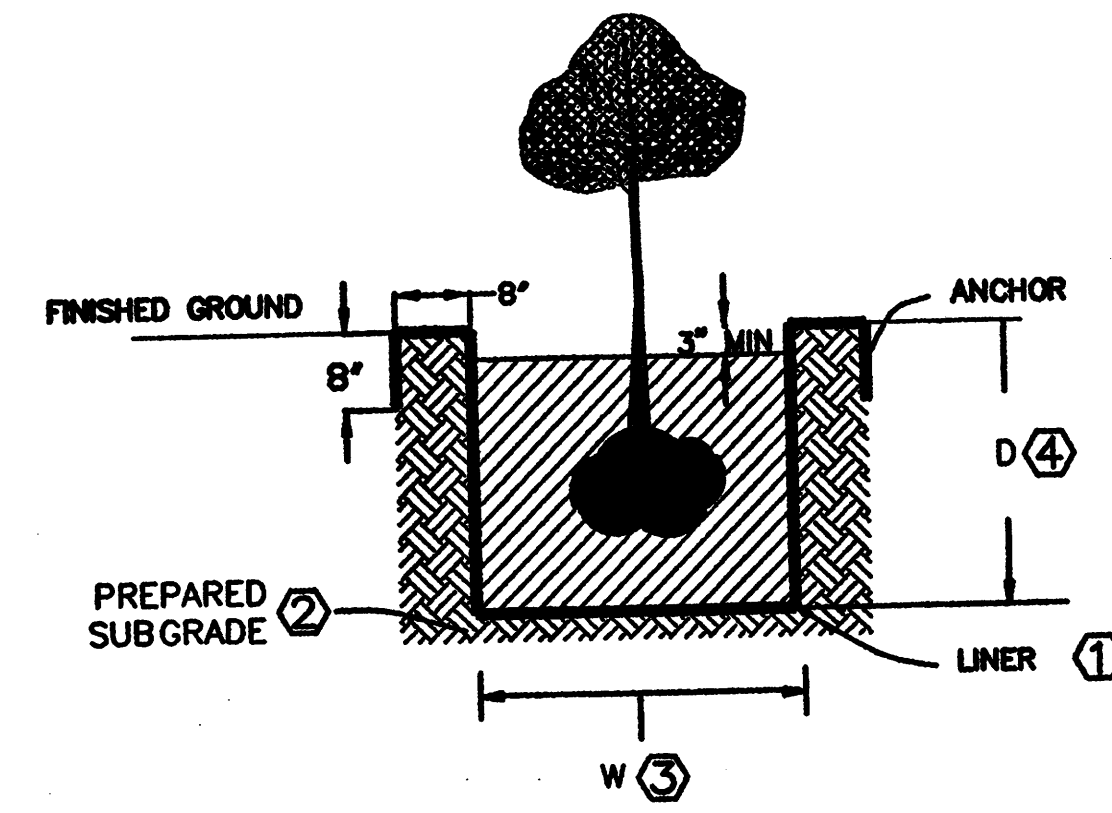


8 LFG VENTING LAYER DETAIL FOR BUILDING (TYP) NTS



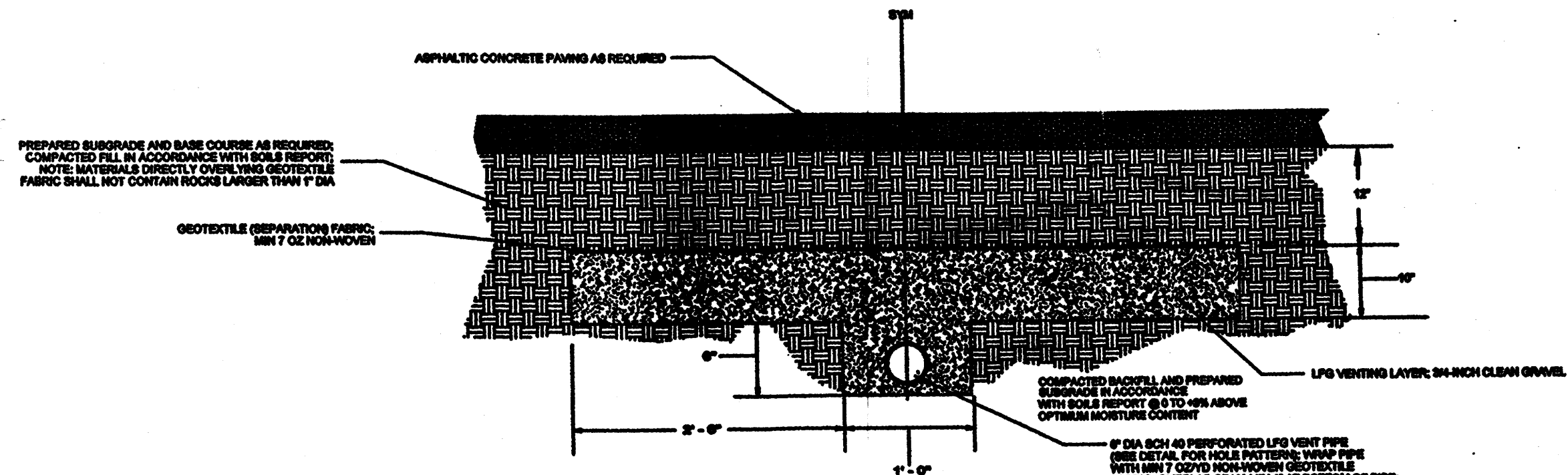
9 LINED TREE PLANTER DETAIL - OPTION A NTS

- KEYED NOTES:
- 1- BIG PLANTERLOAM (1-800-283-3388) OR APPROVED EQUAL. SIZE TO BE DETERMINED BY LANDSCAPE CONTRACTOR/ PROFESSIONAL.
 - 2- SELECT BACKFILL W/ NO ROCKS LARGER THAN 1\"/>
 - 3- CLEAN SILICA SAND OR ROUNDED PEA GRAVEL.

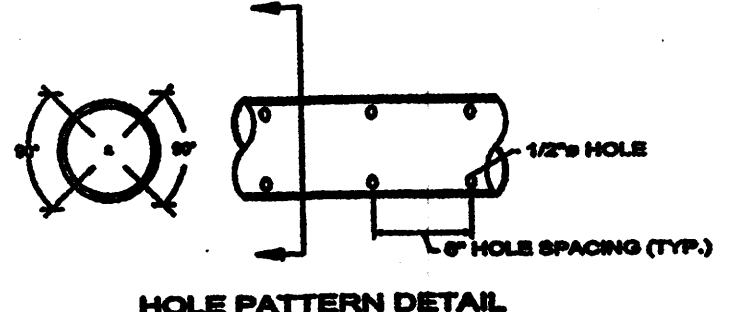


7 LINED TREE PLANTER DETAIL - OPTION B NTS

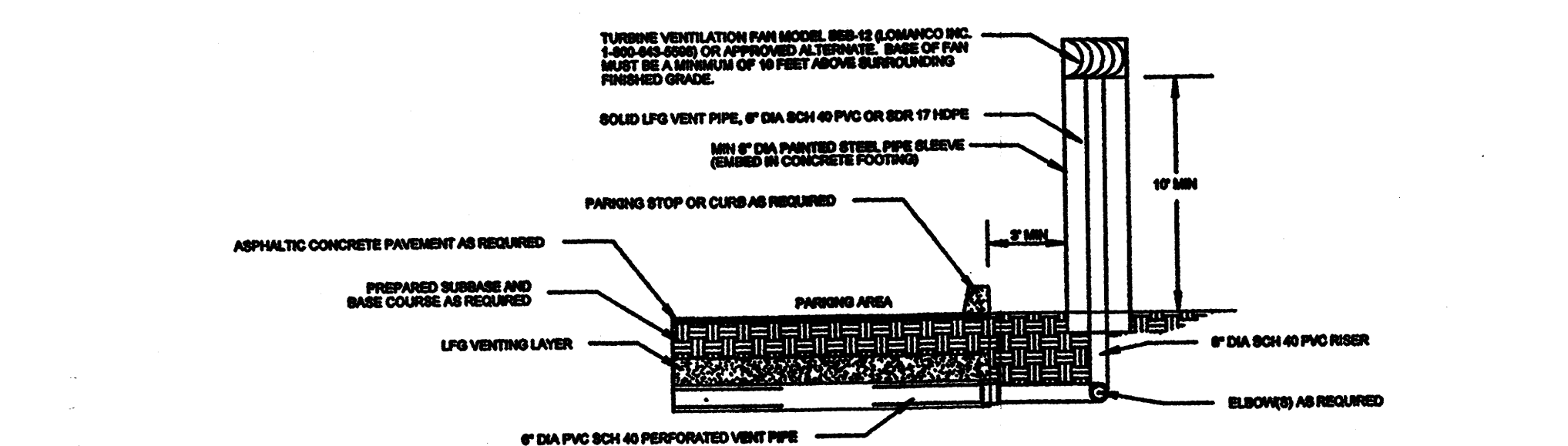
- KEYED NOTES:
- 1- PLANTER LINER, 45-mil THICK EPDM, NO SEAMS INSIDE PLANTER. PREPARE SIDES OF EXCAVATION PRIOR TO PLACEMENT OF LINER BY REMOVING ALL SHARP OR PROTRUDING OBJECTS SUCH AS ROCKS, ROOTS, STICKS, DEBRIS, OR OTHER OBJECTS THAT COULD PUNCTURE LINER.
 - 2- PREPARE SUBGRADE BENEATH LINER BY COMPACTING UPPER 12\"/>
 - 3- PLANTER WIDTH IS DETERMINED BY LANDSCAPE CONTRACTOR/ PROFESSIONAL, BUT NOT TO EXCEED 72 INCHES.
 - 4- PLANTER DEPTH AS DETERMINED BY LANDSCAPE CONTRACTOR/ PROFESSIONAL, BUT NOT TO EXCEED 38 INCHES.



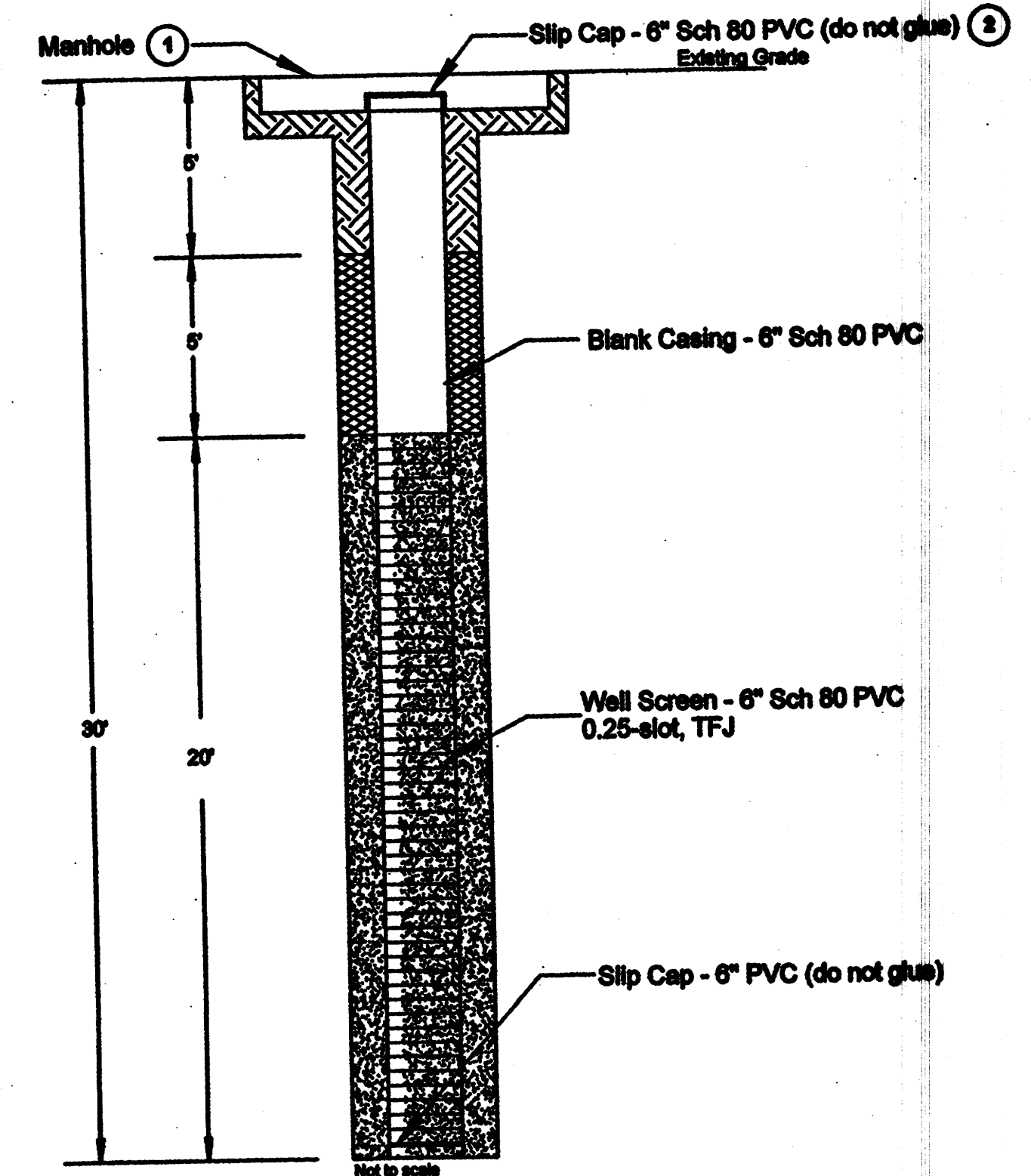
2 LFG VENTING LAYER DETAIL FOR PARKING AREAS (TYP) NTS



2 LFG VENTING LAYER DETAIL FOR PARKING AREAS (TYP) NTS



3 LFG VENTING LAYER OUTLET DETAIL FOR PARKING AREAS (TYP) NTS



- LEGEND:
- Clean soil backfill
 - 1/4\"/>
 - 1\"/>
- NOTES:
- 1- Morrison MM418XA12X12 (12\"/>
 - 2- Owner to equip cap with quick-disconnect adapter - Cole Parmer cat no. A-6369-01. Blank well casing shall be 6\"/>

8 PERIMETER METHANE WELL SCHEMATIC (TYP) NTS



JOB NO. _____
 DATE: 08 Aug 08
 REVISIONS:

1	
---	--

TM OTT / DEVELOPER
 PO BOX 30881
 ALBUQUERQUE, NM 87176
 (505) 262-4876

MICHAEL DEL. MASTRO / ARCHITECT
 7008 DELWOOD RD. NE / (505) 880-8839
 ALBUQUERQUE, NEW MEXICO 87110

OFFICE OF THE STATE ENGINEER BUILDING
 ENV-3 LFG ABATEMENT SYSTEM DETAILS
 ISSS LLC

Drawn By: LMC
 Date: 08 AUG 08
 Checked By: C-Programmer/ISSS CONSULTING, INC.

LAWRENCE EARTH ENGINEERING
 4500 Glenwood Hills NE
 Albuquerque, NM 87111
 Tel: 505-264-7227 Fax: 505-264-7712

San Antonio Office/Retail

San Antonio Drive NE
ALBUQUERQUE, NM

DRB SUBMITTAL

APPROVED - AEHD	
SIGNATURE _____	DATE _____

TABLE OF CONTENTS

SHEET TITLE	NUMBER
COVER SHEET	CS-1
ARCHITECTURAL SITE PLAN	SP-1
CIVIL	
CONCEPTUAL GRADING AND UTILITY PLAN	C-1
LANDSCAPE	
LANDSCAPE PLAN	L-1
ARCHITECTURAL	
BUILDING 'A' ELEVATIONS	A-1
BUILDING 'B' ELEVATIONS	A-2

PROJECT DATA

AREA SUMMARY	
BUILDING 'A' OFFICE/RETAIL	5,885 SF
BUILDING 'B' OFFICE/RETAIL	
SUITE 1	2,268 SF
SUITE 2	2,268 SF
SUITE 3	2,268 SF
SUITE 4	2,269 SF
	9,073 SF
TOTAL GROSS BUILDING AREA	14,958 SF

CODE INFORMATION:

INTERNATIONAL BUILDING CODE, IBC-2003
 ZONE: SU-1 FOR C-1 USES
 SEISMIC ZONE: 2B
 OCCUPANCY GROUP: B
 ZONE ATLAS : E-18-Z
 LEGAL DESCRIPTION: LOT 5, JJ SUBDIVISION

TYPE OF CONSTRUCTION: V-B	
GROSS BUILDING AREA	
BUILDING 'A'	
OFFICE SUITE	5,885 SF
BUILDING 'B'	
OFFICE SUITE 1	2,268 SF
OFFICE SUITE 2	2,268 SF
OFFICE SUITE 3	2,268 SF
OFFICE SUITE 4	2,269 SF
TOTAL AREA BUILDING 'B'	9,072 SF

TOTAL AREA BUILDINGS 'A' AND 'B' = 14,958 SF

ALLOWABLE AREA	
BASIC ALLOWABLE AREA	
BUILDING 'A'	< 12,000 SF
BUILDING 'B'	< 12,000 SF

PARKING REQUIREMENTS

BUILDING 'A' / USEABLE SQUARE FOOTAGE (USF)
 5,885 SF X (-15%) = 5,002 SF (USF)
 5,002 SF / 200 = 25 PARKING SPACES
 ADA PARKING SPACES REQUIRED = 1
 1 VAN / 1 STANDARD PROVIDED

BUILDING 'B' / USEABLE SQUARE FOOTAGE (USF)
 9,072 SF X (-15%) = 7,711 SF (USF)
 7,711 SF / 200 = 39 PARKING SPACES
 ADA PARKING SPACES REQUIRED = 3
 1 VAN / 1 STANDARD PROVIDED

PUBLIC TRANSPORTATION ROUTE 91,
 BUILDING 'A'
 (-10%) 25 - 2.5 = 23 PARKING SPACES REQUIRED
 BUILDING 'B'
 (-10%) 39 - 3.9 = 36 PARKING SPACES REQUIRED

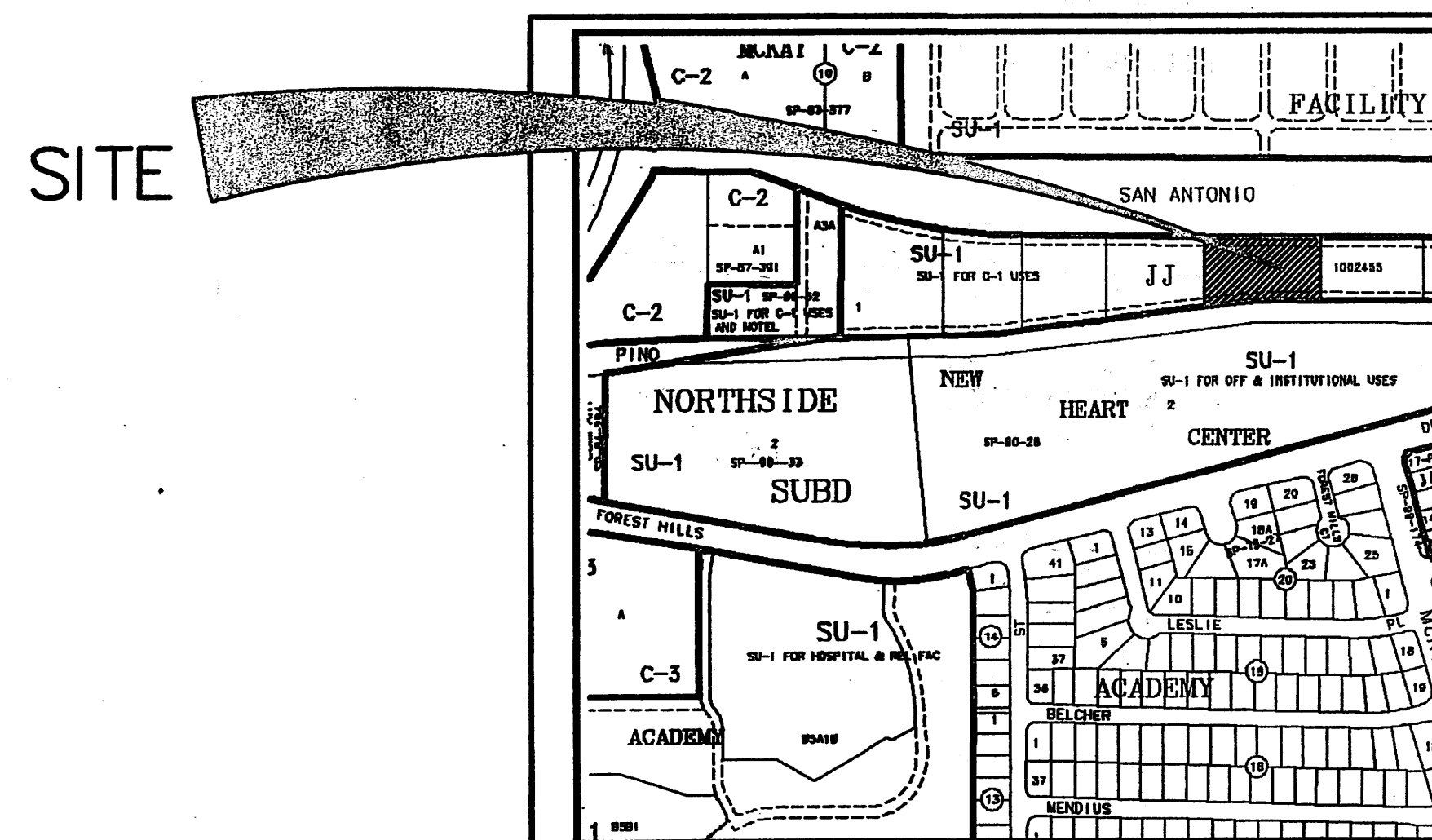
TOTAL PARKING REQUIRED =	59 PARKING SPACES
ACCESSIBLE PARKING REQUIRED =	4 PARKING SPACES
ACCESSIBLE PARKING PROVIDED =	5 PARKING SPACES

PROJECT TEAM

ARCHITECT: TAFAZZUL HUSSAIN
 AFRA CONSTRUCTION AND DESIGN
 2501 YALE BLVD. SUITE 102
 ALBUQUERQUE, NEW MEXICO 87106
 CELL: (505) 315-1482
 FAX: (505) 243-1581
 CONTACT: TAFAZZUL HUSSAIN, AIA
 email: thussain@legacy-hospitality.com

CIVIL: LARRY READ & ASSOCIATES
 4800 JUAN TABO SUITE C
 ALBUQUERQUE, NEW MEXICO 87112
 TEL: (505) 237-8421
 FAX: (505) 237-8422
 CONTACT: LARRY READ
 email: lread@readengineering.com

LANDSCAPE: HILLTOP
 7909 EDITH NE
 ALBUQUERQUE, NEW MEXICO 87184
 TEL: (505) 898-9690
 FAX: (505) 898-7737
 email: cmd@hilltoplandscaping.com



LOCATION MAP
 ZONE ATLAS: E-18-Z



COVER SHEET

NORTH SCALE: NTS

AFRA Construction & Design
 2501 Yale Blvd, Suite 102
 Albuquerque, New Mexico 87106
 Tel 505.315.1482

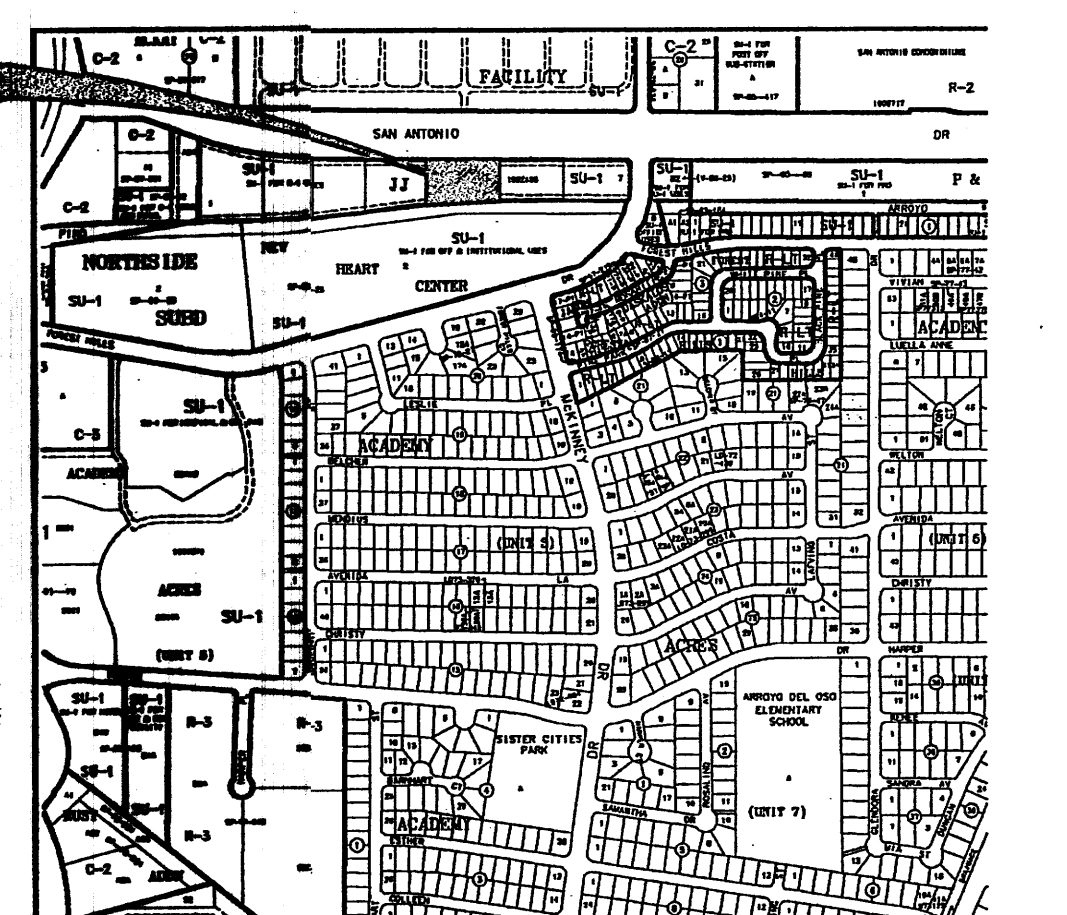
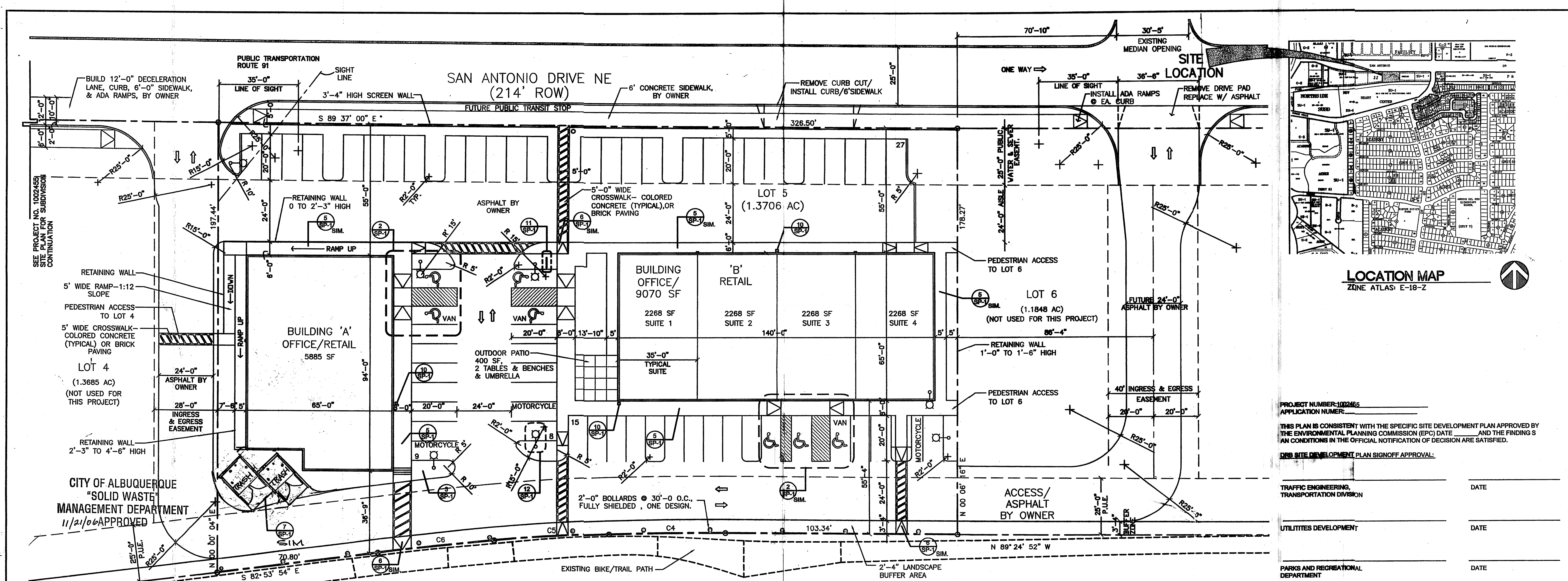
**SAN ANTONIO
 ALBUQUERQUE, NM**

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

CS-1

11.15.06

NOVEMBER 15, 2006



LOCATION MAP
ZONE ATLAS E-18-2

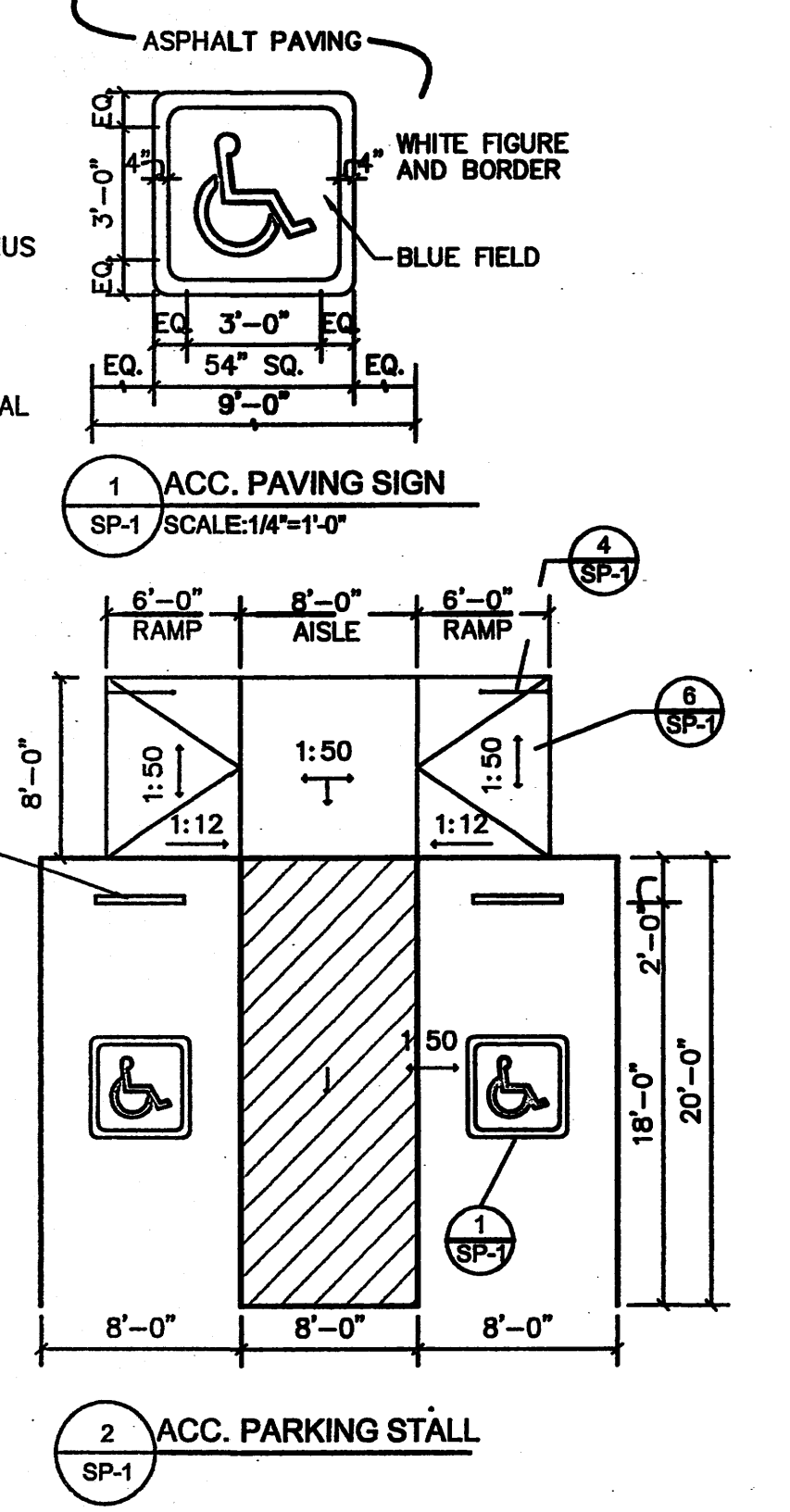
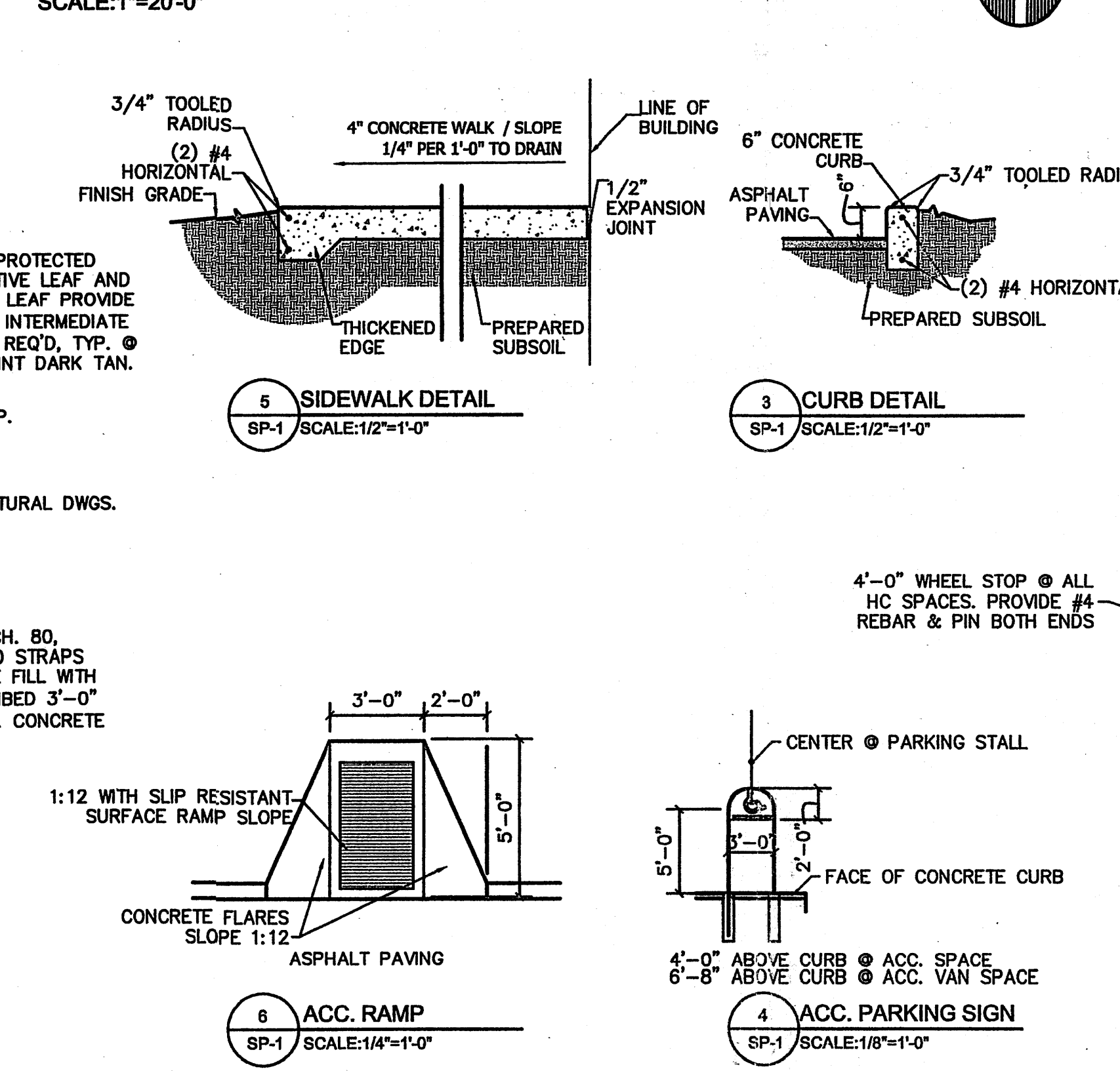
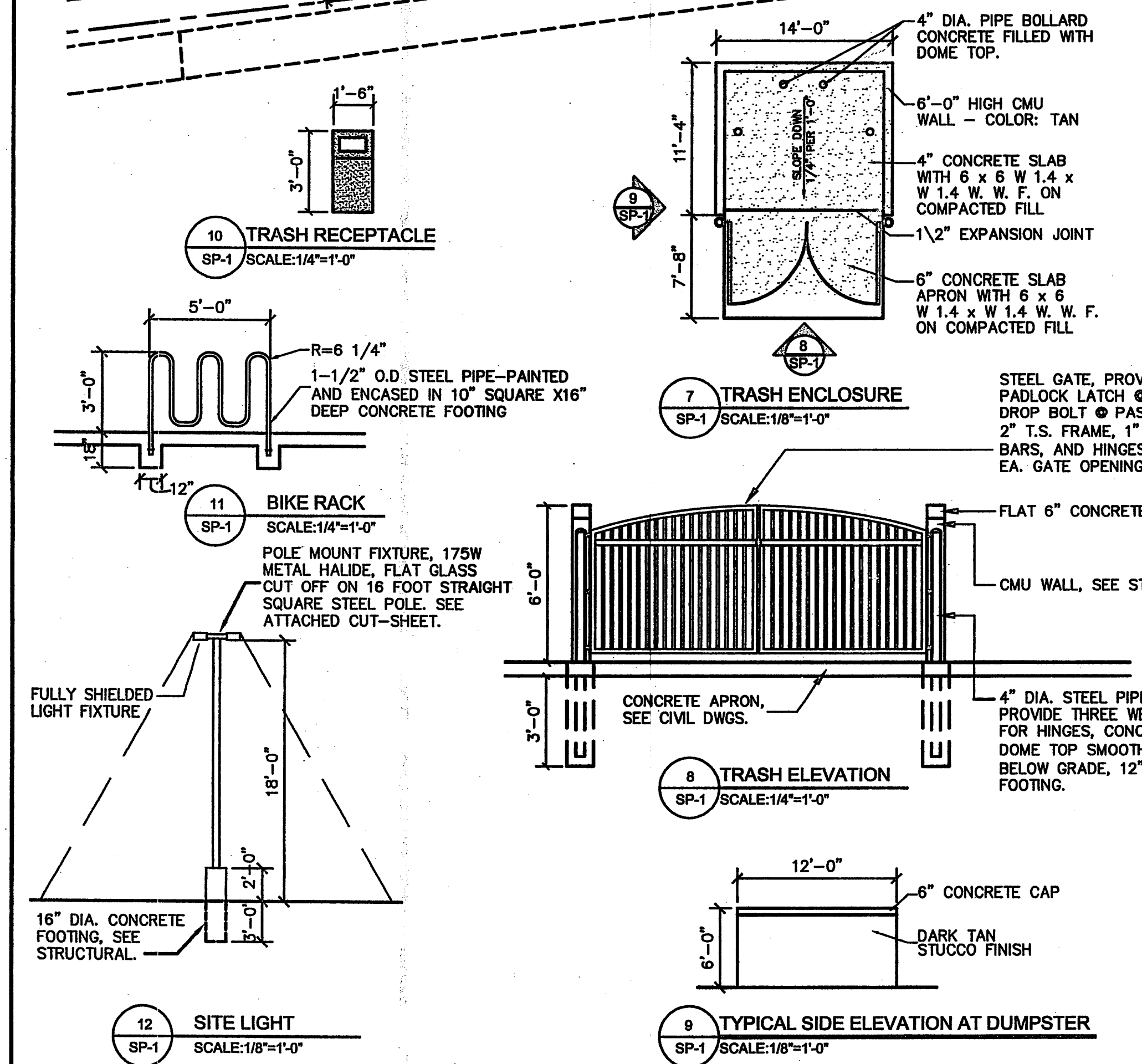
PROJECT NUMBER: 1002465
APPLICATION NUMBER:
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATE AND THE FINDINGS & AN CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATIONAL DEPARTMENT	DATE
CITY ENGINEER	DATE

ENVIRONMENTAL HEALTH DEPARTMENT DATE
Michael Holton (angle adjustments) 11/21/06
 SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SAN ANTONIO OFFICE/RETAIL SITE PLAN
SCALE: 1"=20'-0"

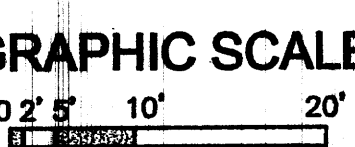


GENERAL INFORMATION
 ALL REQUIRED INFRASTRUCTURE WILL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DRAWINGS.
 DRIVEPADS - EXISTING SIDEWALK COA STD DWG 2430 CURB AND GUTTER COA STD DWG 2415 A & B WHEEL CHAIR RAMPS COA STD DWG 2440 AND 2441 PAVEMENT COA STD DWG 2408
 THE PROPOSED RETAINING WALLS WILL BE COLORED TO MATCH THE BUILDING STUCCO.

PARKING ANALYSIS
 TOTAL GROSS BUILDING AREA = 14,958 SF
 TOTAL NET LEASABLE SQ.FT. = 11,967 SF
 REQUIRED PARKING SPACES = 60 SPACES
 -10% FOR BUS ROUTE = 54 SPACES PROVIDED PARKING SPACES = 60 SPACES
 ACCESSIBLE PARKING SPACES REQUIRED = 4 SPACES
 ACCESSIBLE PARKING SPACES PROVIDED = 5 SPACES
 MOTORCYCLE PARKING SPACES = 2 SPACES

BIKE TABULATION
 1 BIKE PER 20 PARKING SPACES
 4 BIKE RACKS REQUIRED
 4 BIKE RACKS PROVIDED

Fire Access Only
 AFD PLANS CHECKING OFFICE
 APPROVED 11/21/06
 SIGNATURE & DATE

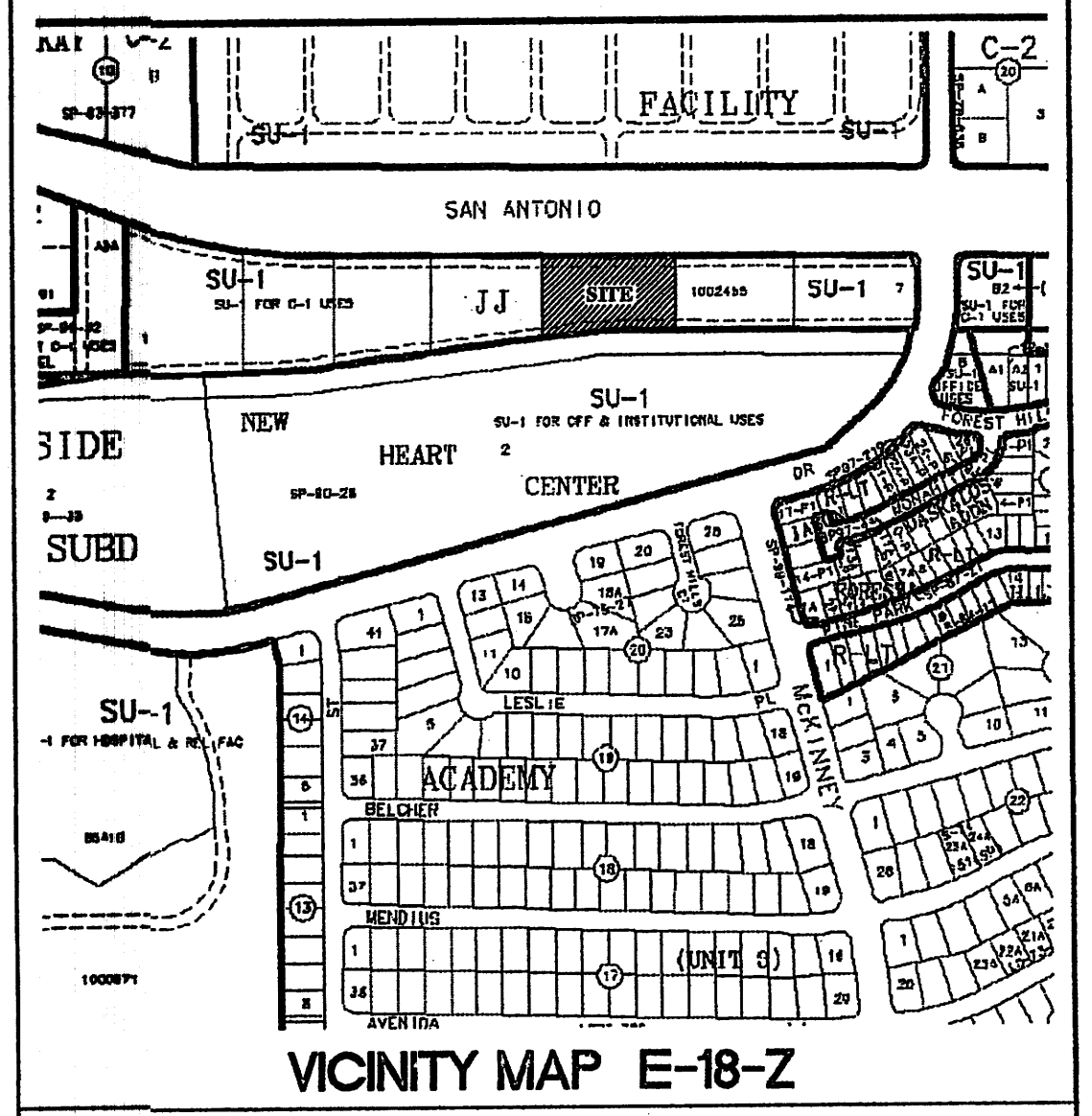
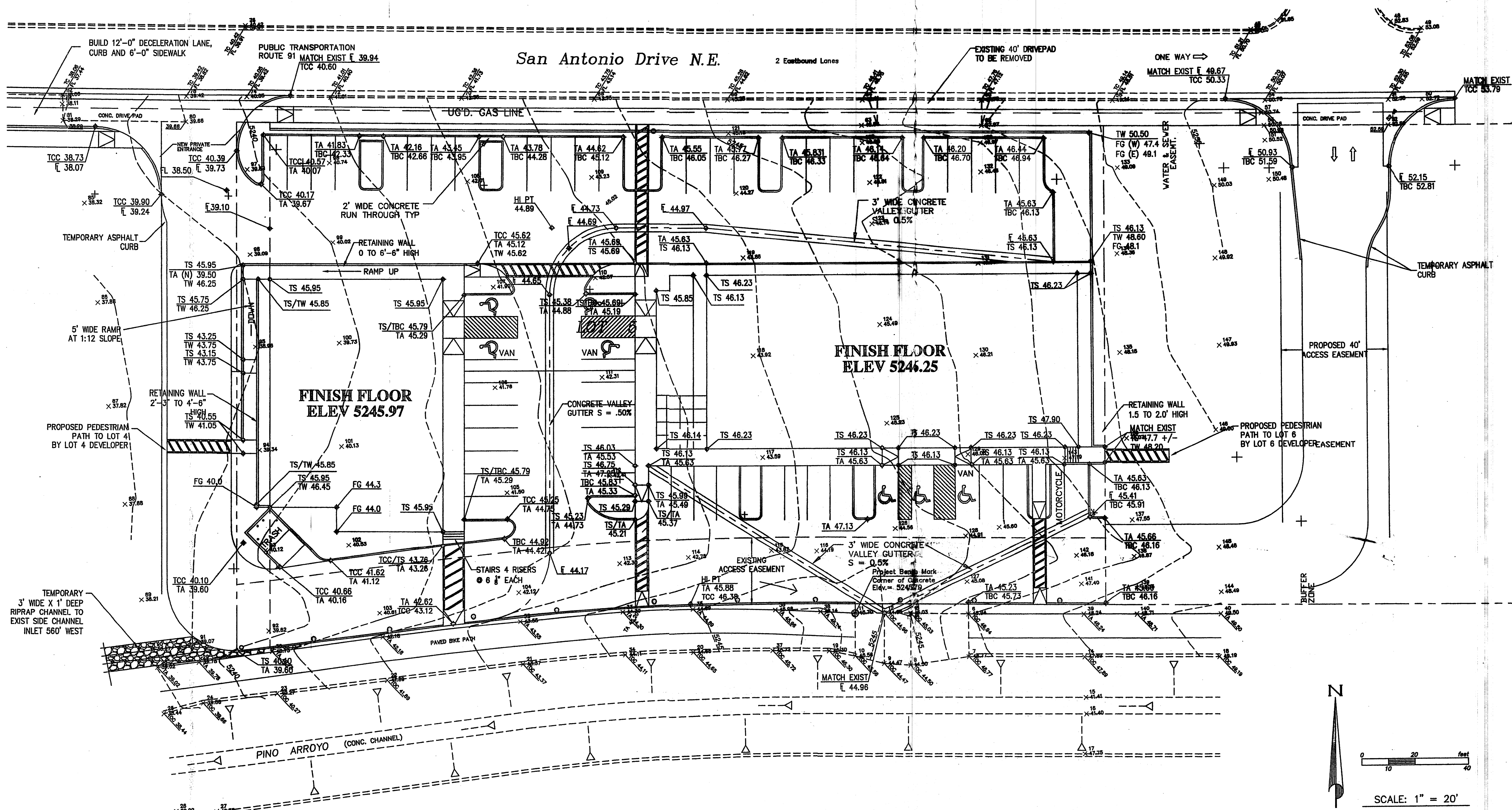


AFRA Construction & Design
 2501 Yale Blvd, Suite 102
 Albuquerque, New Mexico 87106
 Tel 505.315.1482

SAN ANTONIO ALBUQUERQUE, NM

REV	DATE	DESCRIPTION	APVD
1	11-08-06		
2			
3			
4			

SP-1
11.15.06



LEGAL DESCRIPTION

LOT 5, J-GROUP ADDITION
BERNALILLO COUNTY, NEW MEXICO

FLOODPLAIN

THE PROPERTY SHOWN HEREON DOES NOT LIE WITHIN ANY DESIGNATED FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 35001C0137F ; EFFECTIVE DATE NOVEMBER 19, 2003.

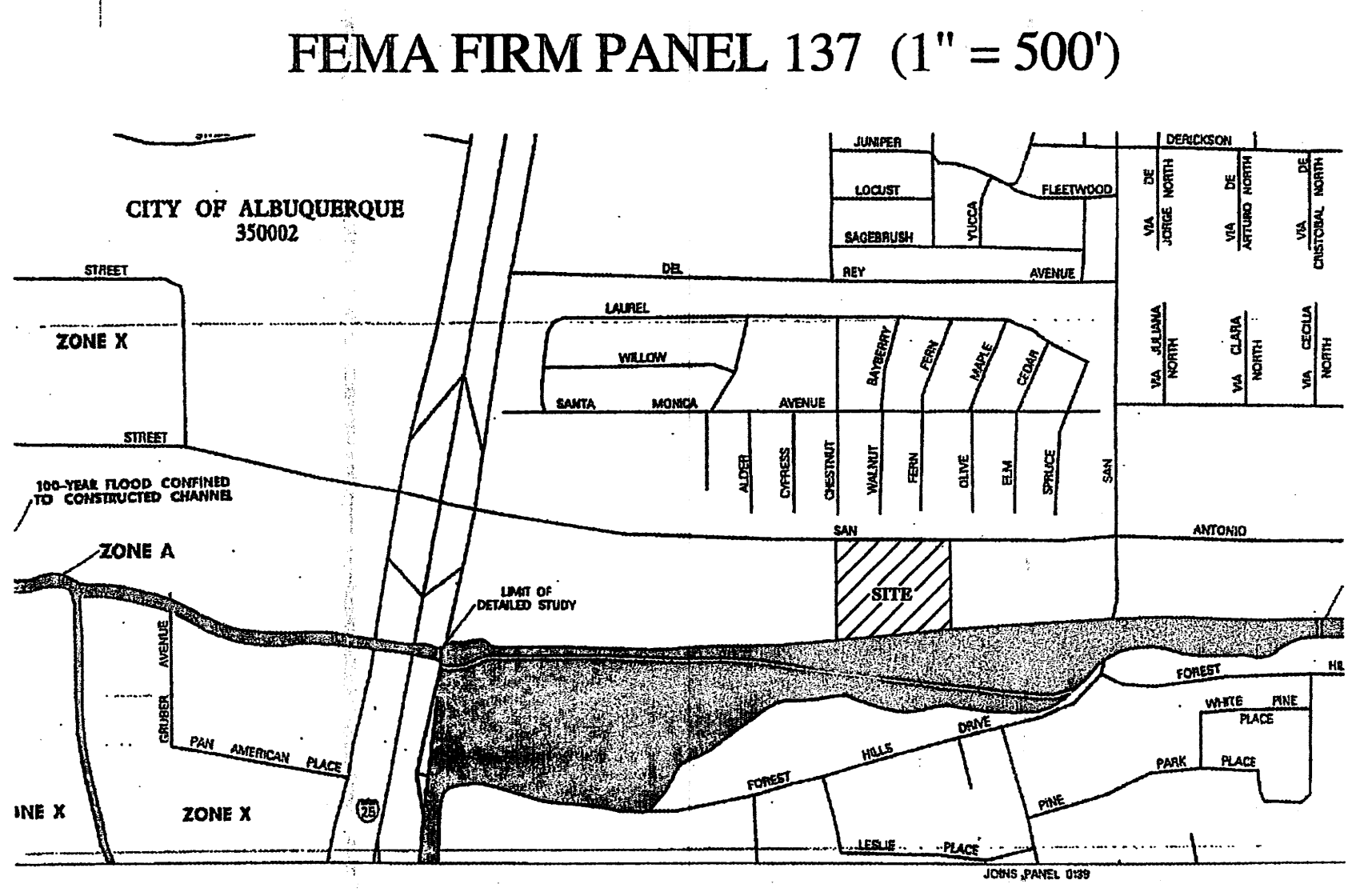
GENERAL INFORMATION

ALL REQUIRED INFRASTRUCTURE WILL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DRAWINGS.

DRIVEPADS - EXISTING
SIDEWALK COA STD DWG 2430
CURB AND GUTTER COA STD DWG 2415 A&B
WHEEL CHAIR RAMPS COA STD DWG 2440 AND 2441
PAVEMENT COA STD DWG 2408

THE PROPOSED RETAINING WALLS WILL BE COLORED TO MATCH THE BUILDING STUCCO.

CONCEPTUAL GRADING PLAN



100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (0-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10 day) (acre-ft)	V (10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
A	1.3730	100.00	0.00	0.00	0.00	0.53	0.06	2,642	0.06	2,642	2.14
TOTAL	1.3730							0.06	2,642	2,642	2.14
PROPOSED CONDITIONS											
A	1.3730	0.00	0.00	4.00	96.00	2.06	0.24	10,369	0.41	18,024	6.37
TOTAL	1.3730							0.24	10,369	18,024	6.37

EXCESS PRECIP.	0.53	0.78	1.13	2.12	E (in)
PEAK DISCHARGE	1.56	2.28	3.14	4.7	Q _{pk} (cfs)

WEIGHTED E (in) = (E_A)(%A) + (E_B)(%B) + (E_C)(%C) + (E_D)(%D)

V_{0-hr} (acre-ft) = (WEIGHTED E)(AREA)/12

V_{10-day} (acre-ft) = V_{0-hr} + (A_d)(P_{10-day} - P_{0-hr})/12

Q (cfs) = (Q_{pk})(A_s) + (Q_{pk})(A_b) + (Q_{pk})(A_c) + (Q_{pk})(A_d)

ZONE = 2
P_{0-hr} (in.) = 2.35
P_{2-hr} (in.) = 2.75
P_{10-day} (in.) = 3.95

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 1.37 ACRES LOCATED NORTH OF THE PINO ARROYO, SOUTH OF SAN ANTONIO DRIVE BETWEEN I-25 AND SAN PEDRO, AS SHOWN ON THE VICINITY MAP ON THIS SHEET. THE SITE IS CURRENTLY UNDEVELOPED AND WITHIN A LANDFILL AREA.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 2 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WAS USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

EXISTING DRAINAGE

THE PROPERTY SITS BETWEEN SAN ANTONIO DRIVE AND THE PINO ARROYO. IT IS UNDEVELOPED BUT IS FULLY DISTURBED WITH HARD COMPACTED EARTH WITH NO VEGETATION. EXISTING DRAINAGE IS TOWARD THE WEST WITH AN AVERAGE SLOPE OF 4%. THE RUNOFF SHEET FLOWS WEST TO AN EXISTING SIDE CHANNEL INLET ABOUT 560-FEET WEST OF THE SITE WHERE IT ENTERS THE PINO ARROYO.

DEVELOPED CONDITION

THE PROPOSED DEVELOPMENT WILL CONTINUE TO UTILIZE FREE DISCHARGE INTO THE PINO ARROYO VIA THE EXISTING SIDE CHANNEL INLET WEST OF THE SITE. AS A TEMPORARY MEASURE, A RIPRAP SWALE HAS BEEN PROPOSED TO CONVEY THE RUNOFF TO THE SIDE CHANNEL INLET. THIS SWALE WILL BE REPLACED BY PAVED ACCESS WHEN THE SITES TO THE WEST HAVE BEEN DEVELOPED IN THE CROSS LOT ACCESS EASEMENT ALONG THE NORTH SIDE OF THE BIKE PATH AND PINO ARROYO.

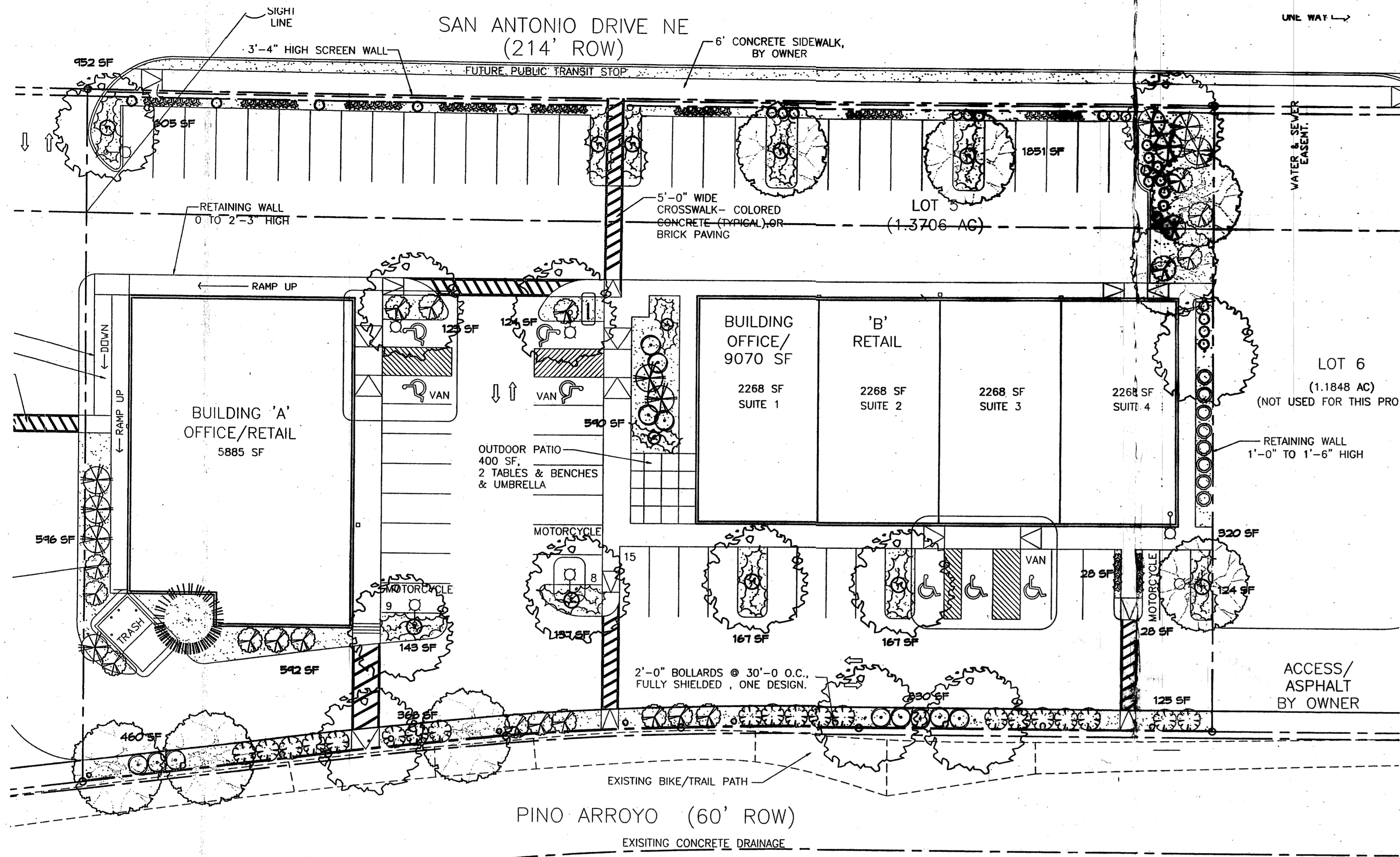
LARRY READ & ASSOCIATES, Inc.
Civil Engineers
2430 Midtown Place NE Suite C
Albuquerque, New Mexico 87107
(505) 237-8421

AFRA Construction & Design
7004 Avenida La Costa NE
Albuquerque, New Mexico 87109
Tel 505.315.1482

SAN ANTONIO OFFICE-RETAIL
ALBUQUERQUE, NM

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

C-1
11.15.06



PLANT LEGEND

- TREES**
- HONEY LOCUST (M) 12
Gleditsia triacanthos
2' Cal.
 - CHINESE PISTACHE (M) 8
Pistacia chinensis
2' Cal.
 - AUSTRIAN PINE (M) 1
Pinus nigra
6'-8'
- SHRUBS**
- SILVERBERRY (M) 10
Elaeagnus pungens
5 Gal. 100sf
 - RUSSIAN SAGE (M) 12
Perovskia atriplicifolia
5 Gal. 36sf
 - ARP ROSEMARY (M) 8
Rosmarinus officinalis
5 Gal. 25sf
 - LAVENDER (M) 27
Lavandula angustifolia
1 Gal. 4sf
 - THREADGRASS (M) 66
Stipa tenuifolia
1 Gal. 4sf
 - MILLS HONEYSUCKLE (M) 20
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
 - CHAMISA (L) 20
Chrysothamnus nauseosus
1 Gal. 25sf
 - CREeping ROSEMARY (L) 36
Rosmarinus officinalis Prostratus
1 Gal. 36sf
Symbol indicates 3 plants
- HARDSCAPES**
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	59664	square feet
TOTAL BUILDINGS AREA	14953	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	44711	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	6706	square feet
TOTAL BED PROVIDED	8330	square feet
GROUNDCOVER REQ.	80%	square feet
TOTAL GROUNDCOVER REQUIREMENT	6664	square feet
TOTAL GROUNDCOVER PROVIDED	6815 (82%)	square feet
TOTAL LANDSCAPE PROVIDED	8330	square feet

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

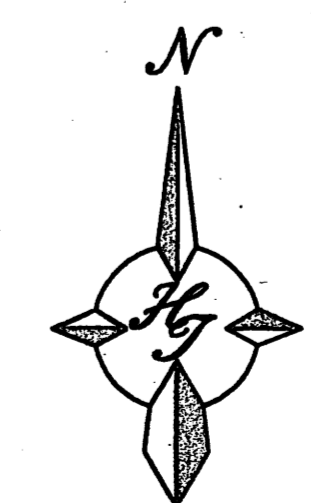
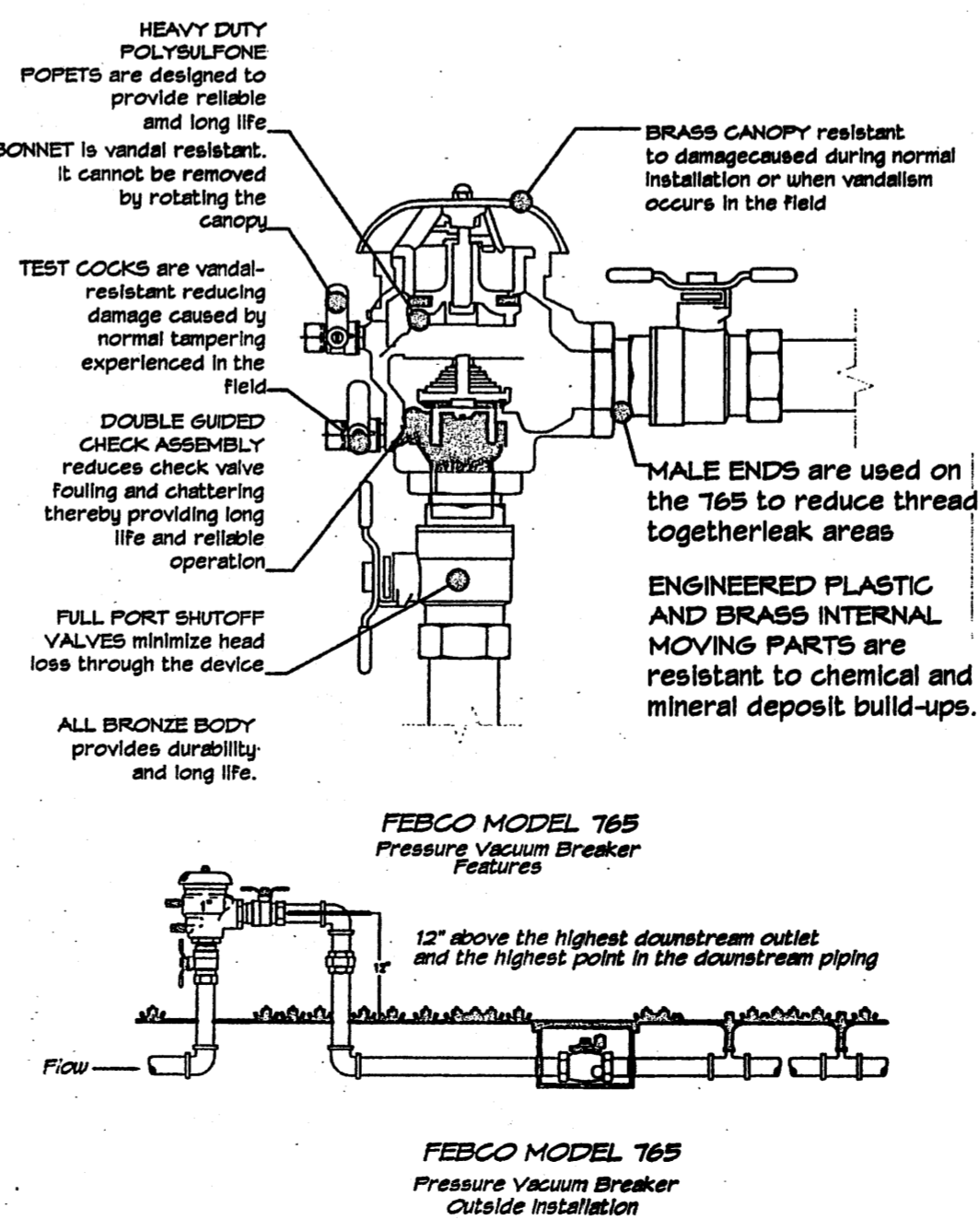
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

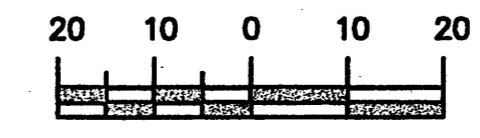
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. This will be addressed as an in-field-change order.



GRAPHIC SCALE



SCALE: 1"=20'



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com

AFRA Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.315.1482

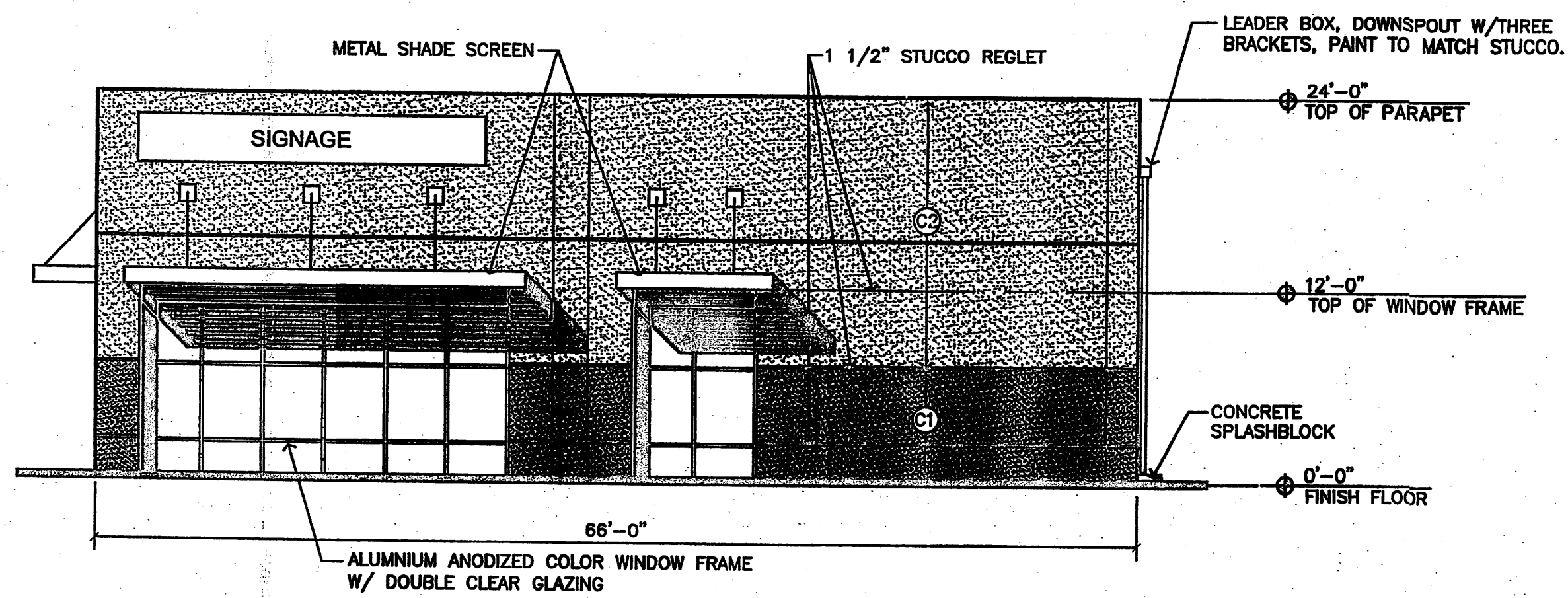
SAN ANTONIO ALBUQUERQUE, NM

REV	DATE	DESCRIPTION	APVD
1	5-15-06 RMM	Add trees & sidewalks	CJ
2	8-03-06 RMM	Parking lot changes	CJ
3	9-29-06 RMM	Site Revision	CJ
4	10-31-06 RMM	Site Revision	CJ

L.I.

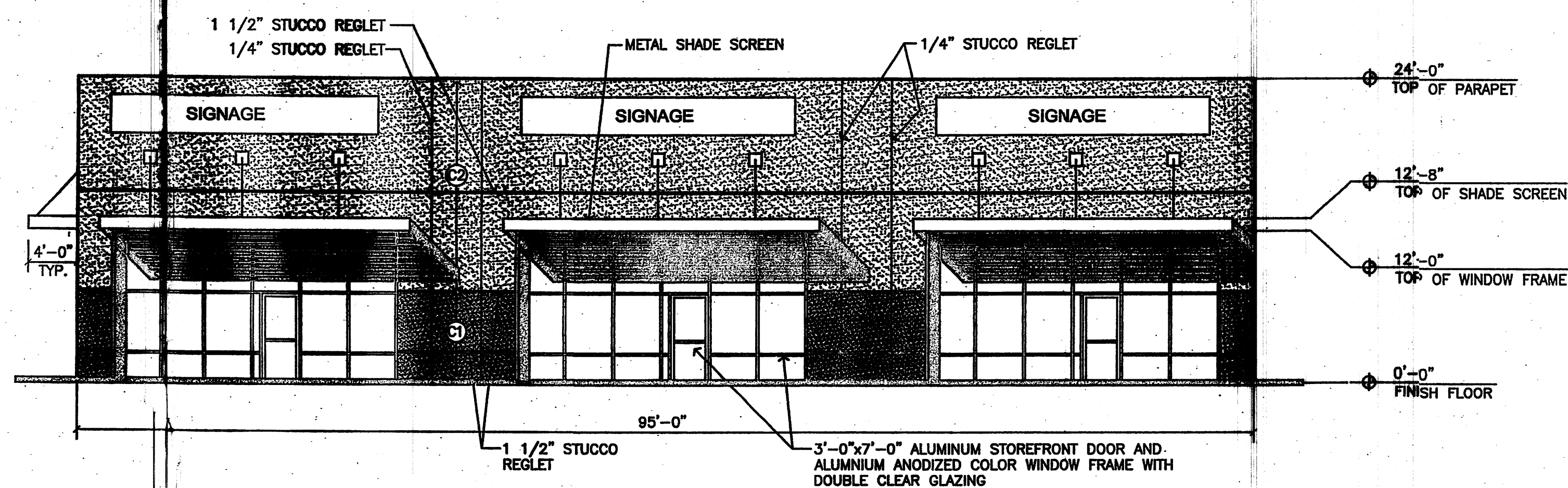
11/15/06

All creative ideas contained herein remain the property of The Hilltop Landscaping Architects and Contractors and are protected by copyright laws. This is an original design and must not be reprinted or copied unless applicable laws have been paid or job order placed.



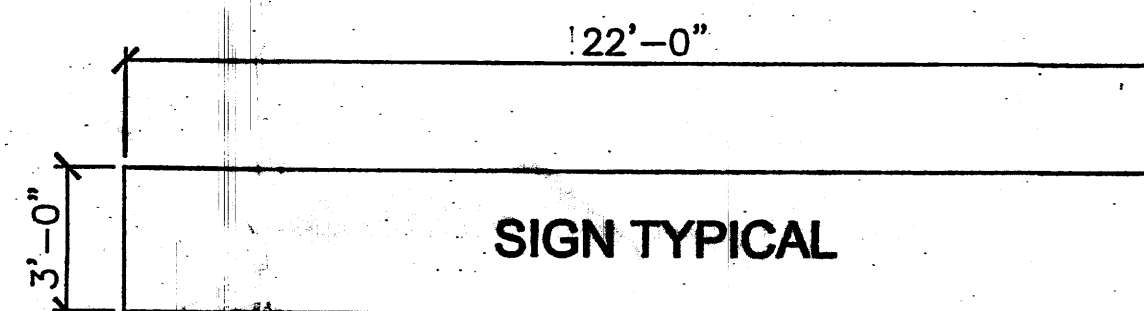
**BUILDING 'A' - FACES SAN ANTONIO BLVD.
OFFICE/RETAIL NORTH ELEVATION**

SCALE: 1/8"=1'-0"



**BUILDING 'A' FRONT
OFFICE/RETAIL EAST ELEVATION**

SCALE: 1/8"=1'-0"



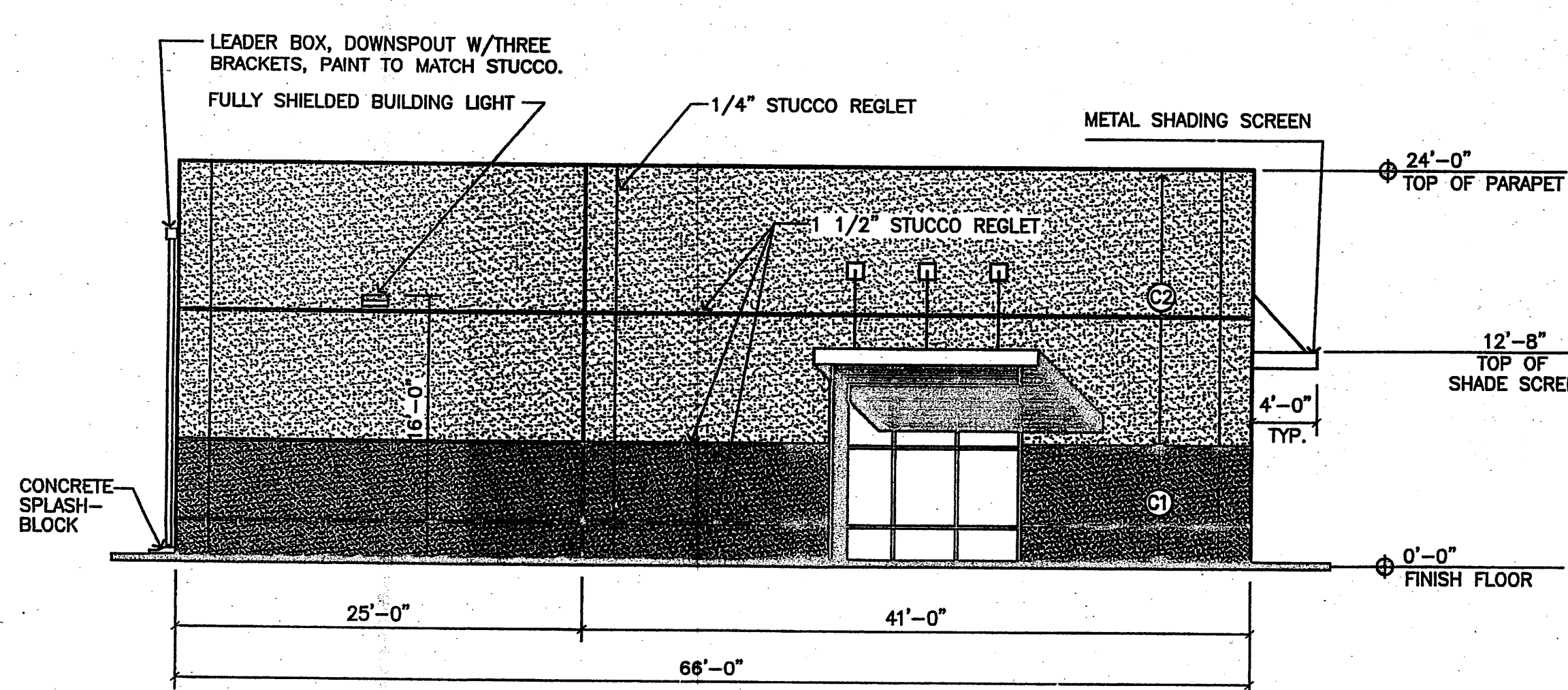
EIFS COLOR LEGEND

- ① STO #01006 - MEDIUM GRAY BROWN
- ② STO #3003 - LIGHT GRAY TAN

BUILDING MOUNTED SIGN

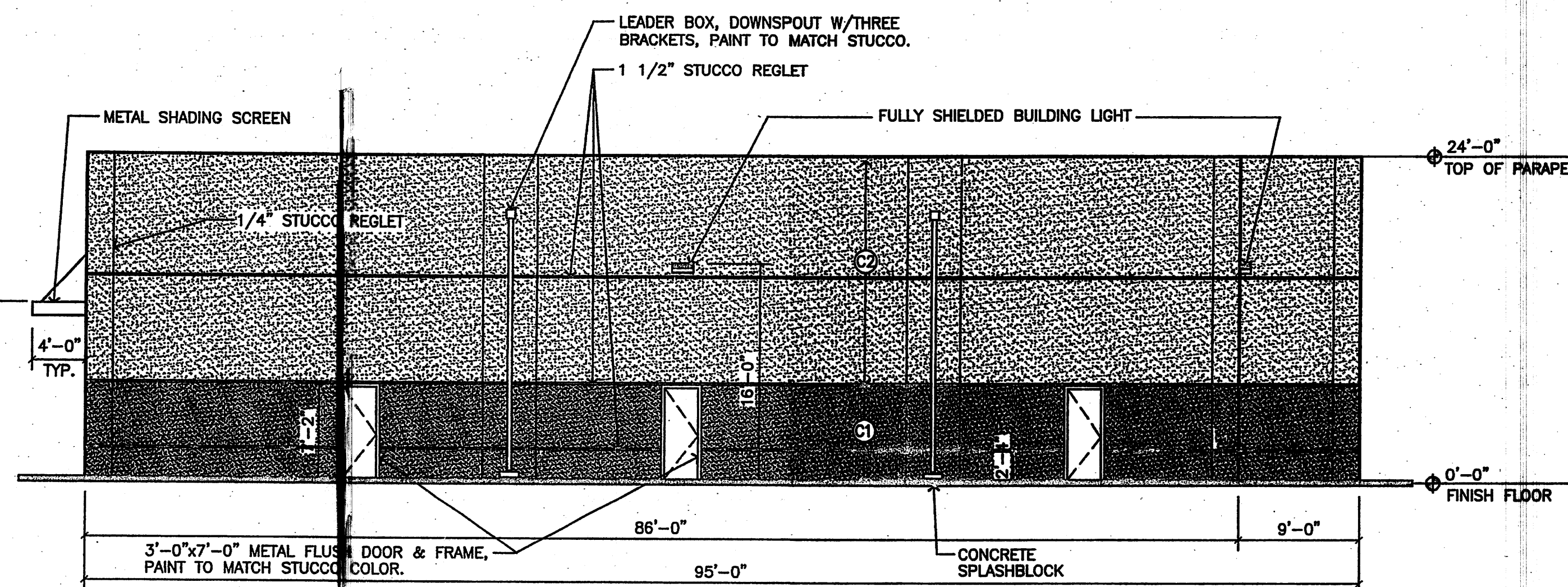
SCALE: 1/4"=1'-0"

FRONT SIGN AREA: 66'-0" X 3 SIGNS = 198 SF TOTAL
 TOTAL AREA: 1045 SF X 25% ALLOWABLE = 261 SF
 198 SF < 261 SF



**BUILDING 'A'
OFFICE/RETAIL SOUTH ELEVATION**

SCALE: 1/8"=1'-0"



**BUILDING 'A'
OFFICE/RETAIL WEST ELEVATION**

SCALE: 1/8"=1'-0"

**BUILDING 'A'
ELEVATIONS**

NORTH SCALE: 1/8"=1'-0"

**AFRA Construction
& Design**
 2501 Yale Blvd. Suite 102
 Albuquerque, New Mexico 87106
 Tel 505.315.1482

**SAN ANTONIO
ALBUQUERQUE, NM**

REV	DATE	DESCRIPTION	APVD
1	10-04-06		
2			
3			
4			

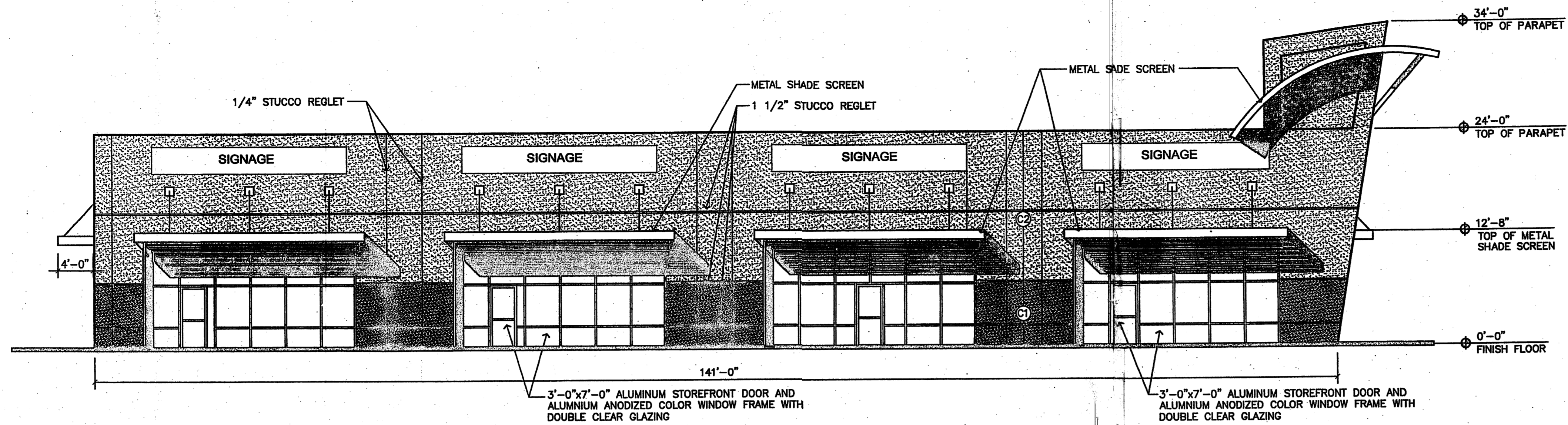
GRAPHIC SCALE



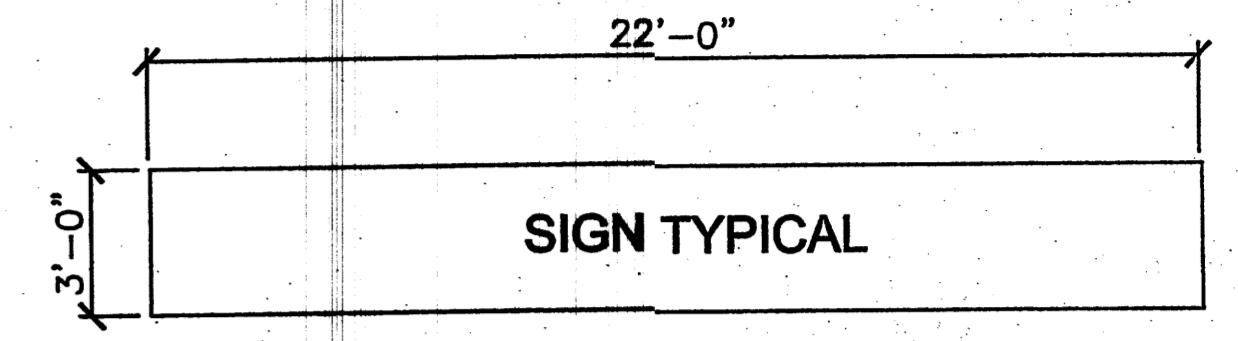
SCALE: 1/8"=1'-0"

A-1

10.04.06



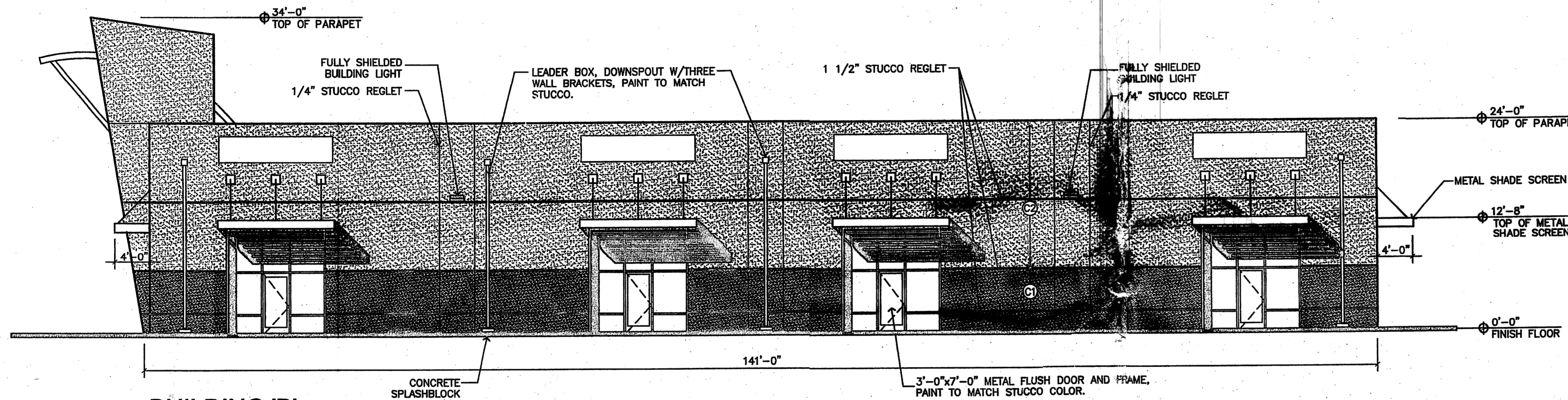
OFFICE/RETAIL NORTH ELEVATION
SCALE: 1/8"=1'-0"



BUILDING MOUNTED SIGN

SCALE: 1/4"=1'-0"

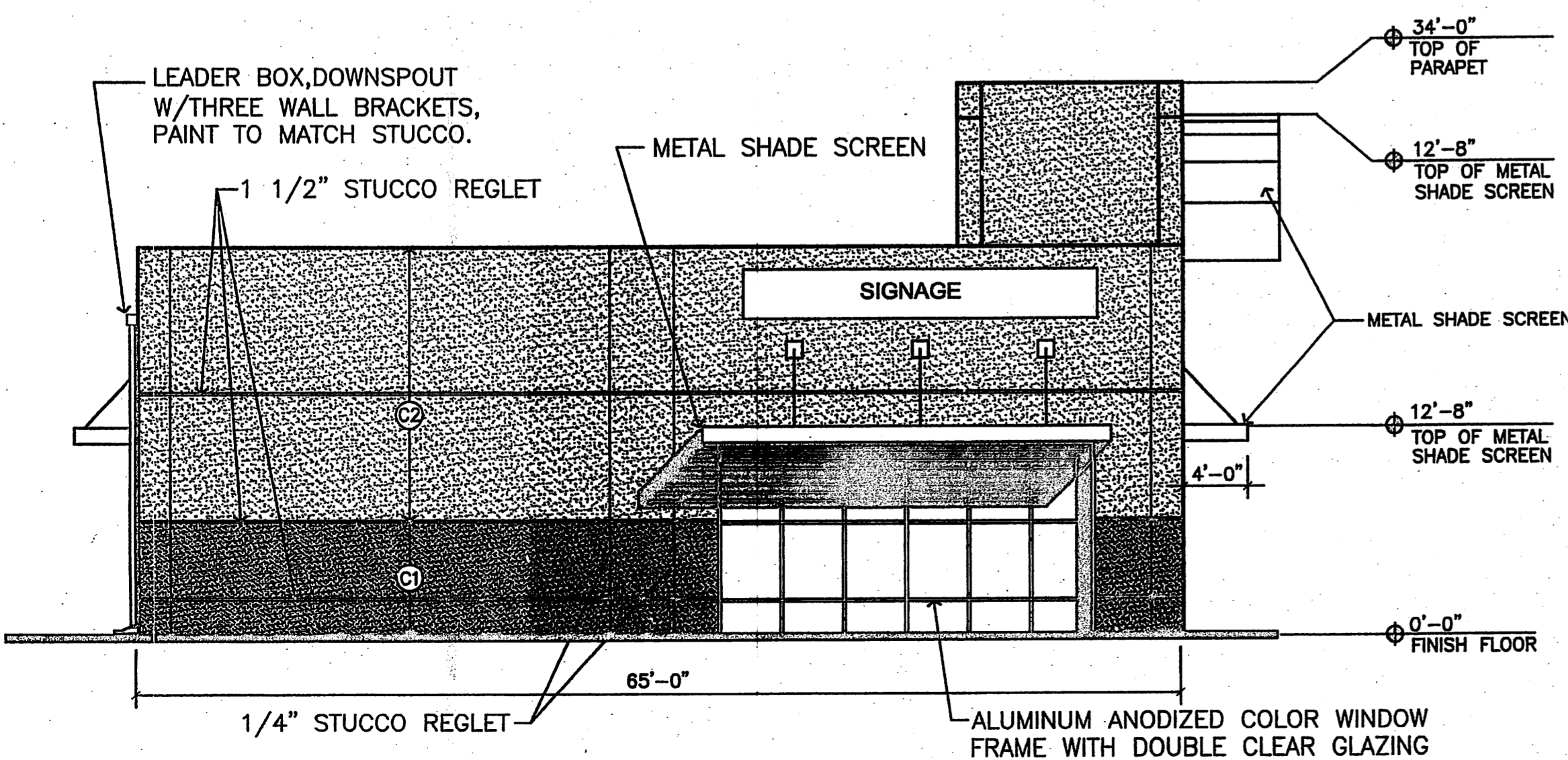
TOTAL SIGN AREA: 66'-0" X 4 SIGNS = 264 SF
TOTAL WALL AREA: 1551 SF X 25% ALLOWABLE AREA = 387 SF
264 SF < 387 SF



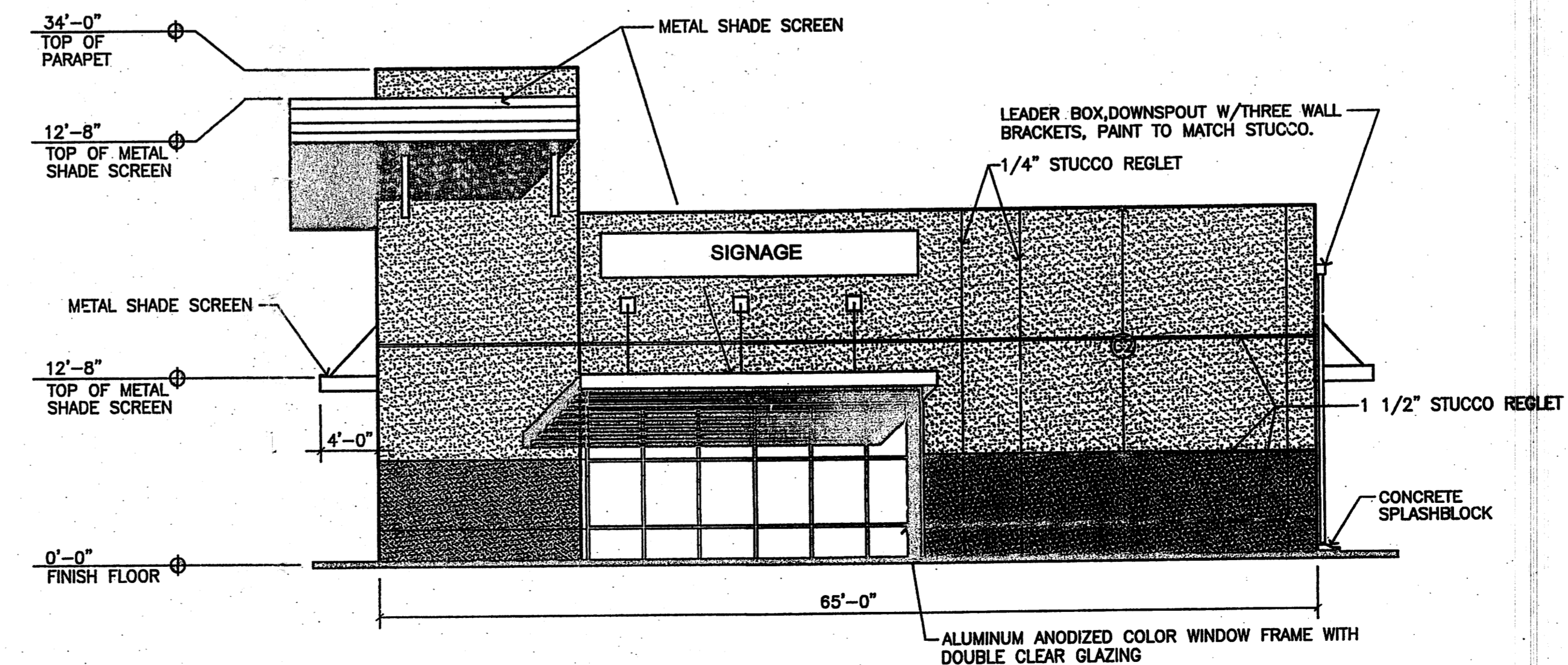
BUILDING 'B' OFFICE/RETAIL SOUTH ELEVATION
SCALE: 1/8"=1'-0"

EIFS COLOR LEGEND

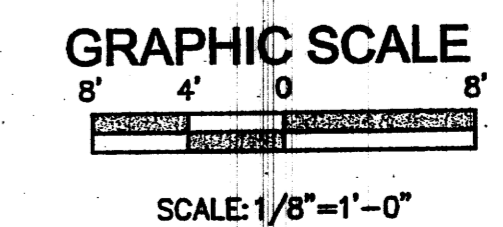
- ① STO #01006 - MEDIUM GRAY BROWN
- ② STO #3003 - LIGHT GRAY TAN



BUILDING 'B' OFFICE/RETAIL EAST ELEVATION
SCALE: 1/8"=1'-0"



BUILDING 'B' OFFICE/RETAIL WEST ELEVATION
SCALE: 1/8"=1'-0"



BUILDING 'B' ELEVATIONS

NORTH SCALE: 1/8"=1'-0"

AFRA Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.315.1482

SAN ANTONIO ALBUQUERQUE, NM

REV	DATE	DESCRIPTION	APVD
1	10-04-06		
2			
3			
4			

A-2

10.04.06