



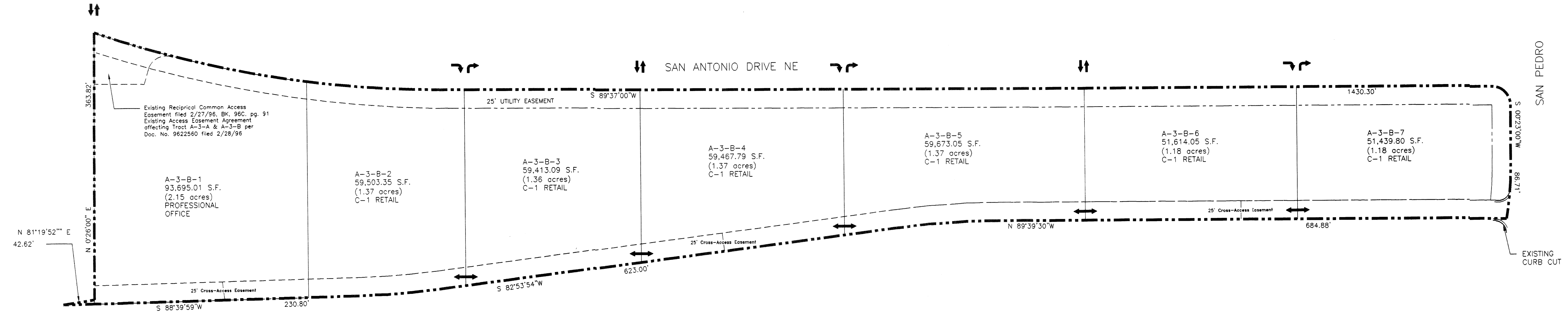
JOB NO:
 DATE: 30 September 2003
 REVISIONS

Sheet Title
SITE PLAN FOR SUBDIVISION
 Drawn By: R.A.R.
 Checked By: M.D.M.

TIM OTT / DEVELOPER
 PO BOX 35981
 ALBUQUERQUE, N.M. 87176
 (505) 250-4675

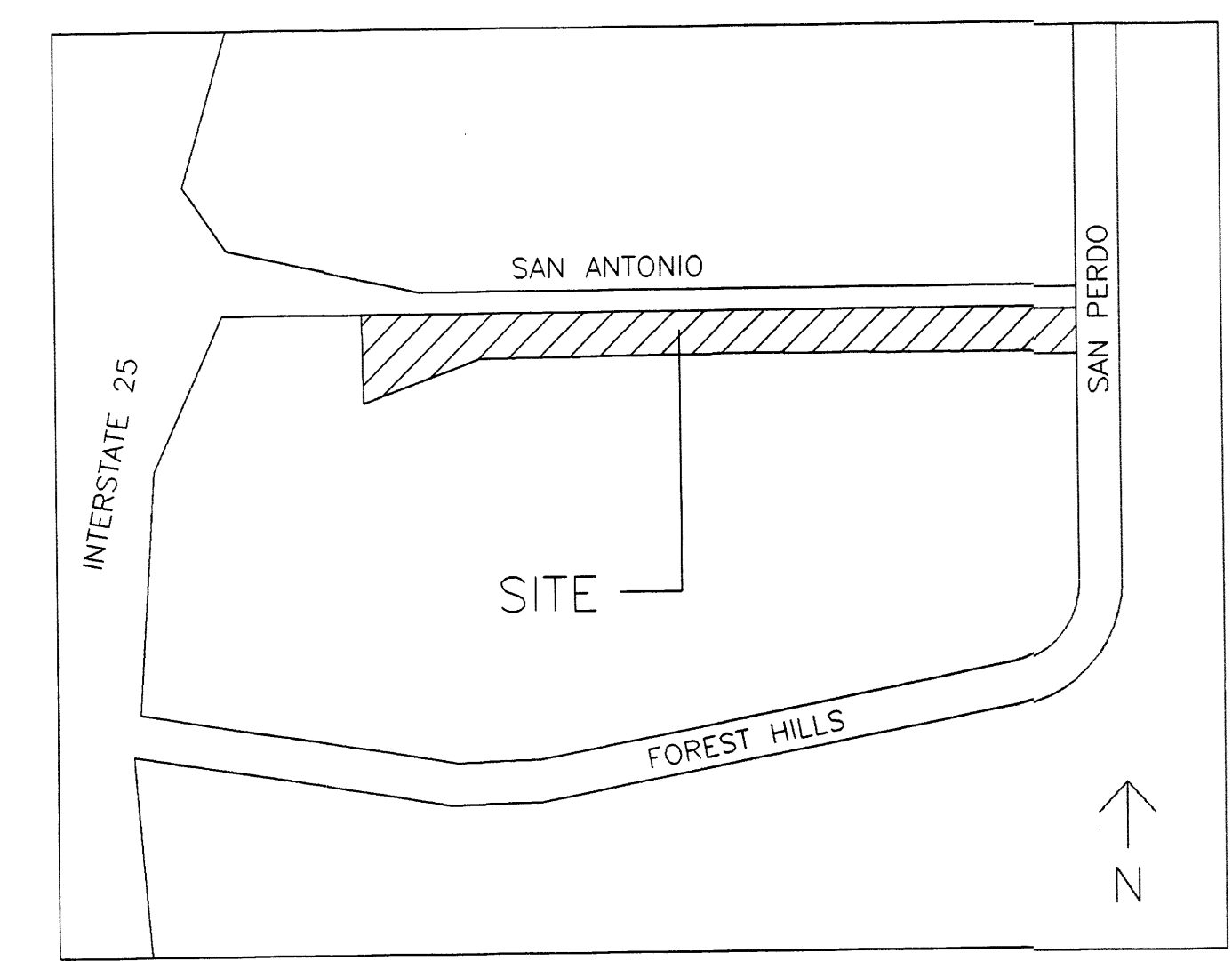
Project Name
J GROUP SUBDIVISION
 ALBUQUERQUE, NEW MEXICO

SHEET NO.
SP



PROPOSED GENERAL DESIGN CRITERIA:

- ALL STRUCTURES ON LOTS WILL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
- EXTERIOR APPEARANCE OF STRUCTURES WILL BE AS DEPICTED ON SHEET.
- PARKING WILL NOT EXCEED THE REQUIRED PLUS 10%.
- NO MORE THAN 25% OF THE REQUIRED PARKING WILL BE LOCATED IN FRONT OF THE BUILDING BETWEEN THE BUILDING AND THE STREET.
- ADA-COMPLIANT PARKING WILL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY.
- ALL SIDEWALKS WILL HAVE A MINIMUM OF 6 FEET CLEAN TRAVEL AREA PROTECTED BY PERMANENT CAR STOPS.
- FRONT ENTRY SIDEWALK AREAS WILL BE COVERED OR SHADED BY TREES.
- ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS.
- PATIO AREAS FOR EMPLOYEES WILL BE PROVIDED AND SHADED.
- BICYCLE RACKS WILL BE PROVIDED PER COA CODE.
- ALL LANDSCAPING WILL BE PER COA CODE. NO GREATER THAN 20% OF LANDSCAPED AREA WILL BE HIGH WATER USE AND ALL APPLICABLE WATER CONSERVATION MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION WILL BE ADHERED TO.
- PERIMETER WALLS WILL COMPLY WITH PLANNING DEPARTMENT GUIDELINES AT TIME OF BUILDING PERMIT APPLICATION.
- ALL ROOFTOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS WILL MATCH STRUCTURE OR ROOF COLOR.
- FRONT FACADES WILL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THE ENTIRE FRONT FACADE OF THE STRUCTURE.
- LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
- ALL REFUSE ENCLOSURES WILL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
- BUILDING FRONTS WILL BE NO CLOSER THAN 12 FEET FROM THE FACE OF CURB TO THE STRUCTURE.
- MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN WILL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
- BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
- SITE AND BUILDING LIGHTING WILL COMPLY WITH COA CODES AND REGULATIONS. IN NO INSTANCE SHALL LIGHT ESCAPE BEYOND THE PROPERTY LINE.



VICINITY MAP

PROJECT NUMBER: 1002455
 Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) date March 21, 2003 and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

_____	_____
Traffic Engineering, Transportation Division	Date
_____	_____
Utilities Development	Date
_____	_____
Parks and Recreation Department	Date
_____	_____
City Engineer	Date
_____	_____
* Environmental Health Department (conditional)	Date
_____	_____
Solid Waste Management	Date
_____	_____
DRB Chairperson, Planning Department	Date

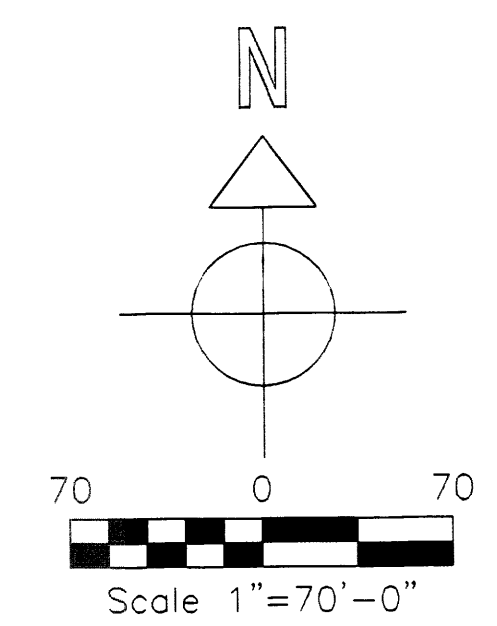
NOTES: LOT A-3-B-1-7
 BUILDING HEIGHT NOT TO EXCEED 26 FT.
 MAXIMUM FLOOR-AREA RATIO: 20.0%
 BUILDING MINIMUM SETBACKS:
 FRONT: 25.0 FT.
 SIDE: 5.0 FT.
 REAR: 5.0 FT.

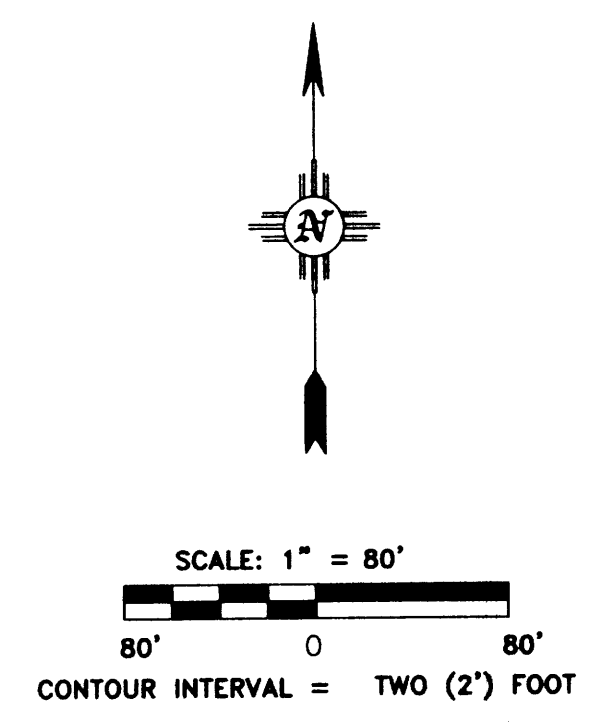
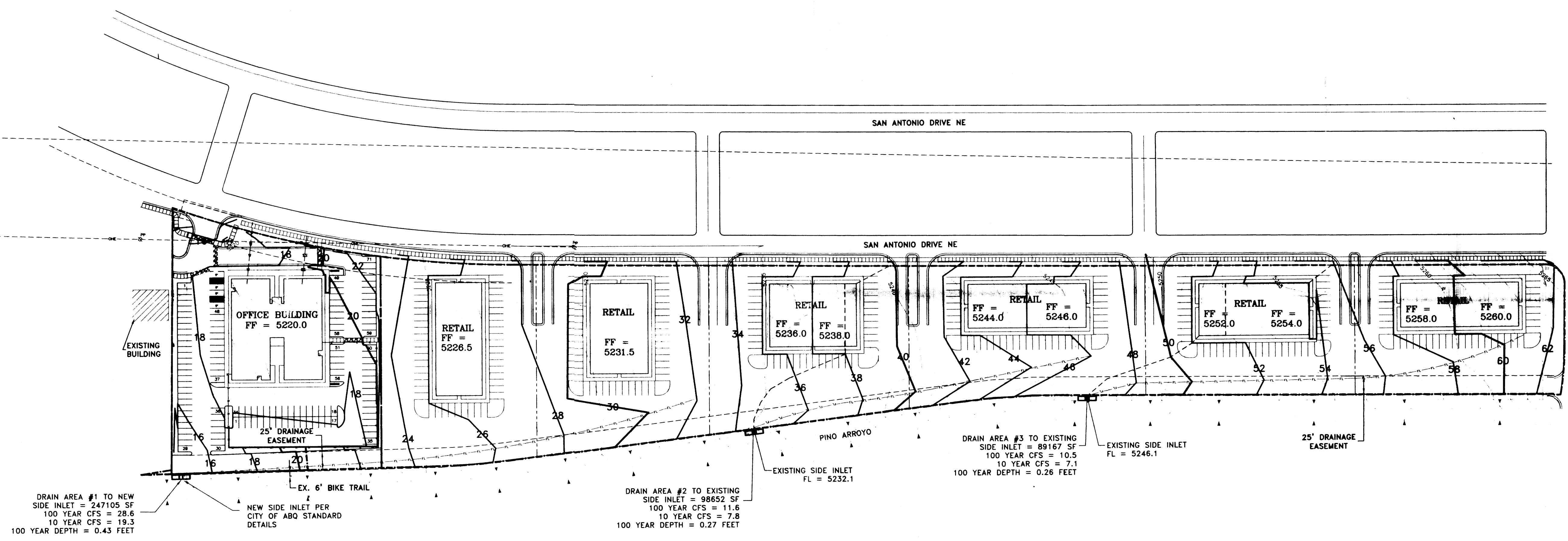
TRAFFIC FLOW NOTES

- ↔ - TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- ↘ - RIGHT TURN ONLY INTO LOT
- ↗ - RIGHT TURN ONLY OUT OF LOT
- ↕ - TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW

SITE PLAN FOR SUBDIVISION

Scale 1"=70'-0"





Civil Engineering • Water Resources • Traffic Engineering

W. E. Walker Engineering

905 Camino Sierra Vista • Santa Fe, NM 87501

505-820-7980
FAX 505-820-3539
E-MAIL: civil@walkerengineering.net

No.	REVISION	BY	APP.	DATE
PROJECT:	02-224	DESIGNED BY:	A.E.R.	
FILE:	02-224 MASTER	DRAWN BY:	C.D.A.	
DATE:	7/1/03	CHECKED BY:	M.E.W.	
SCALE:				AS NOTED

[Handwritten signature]

2/10/03

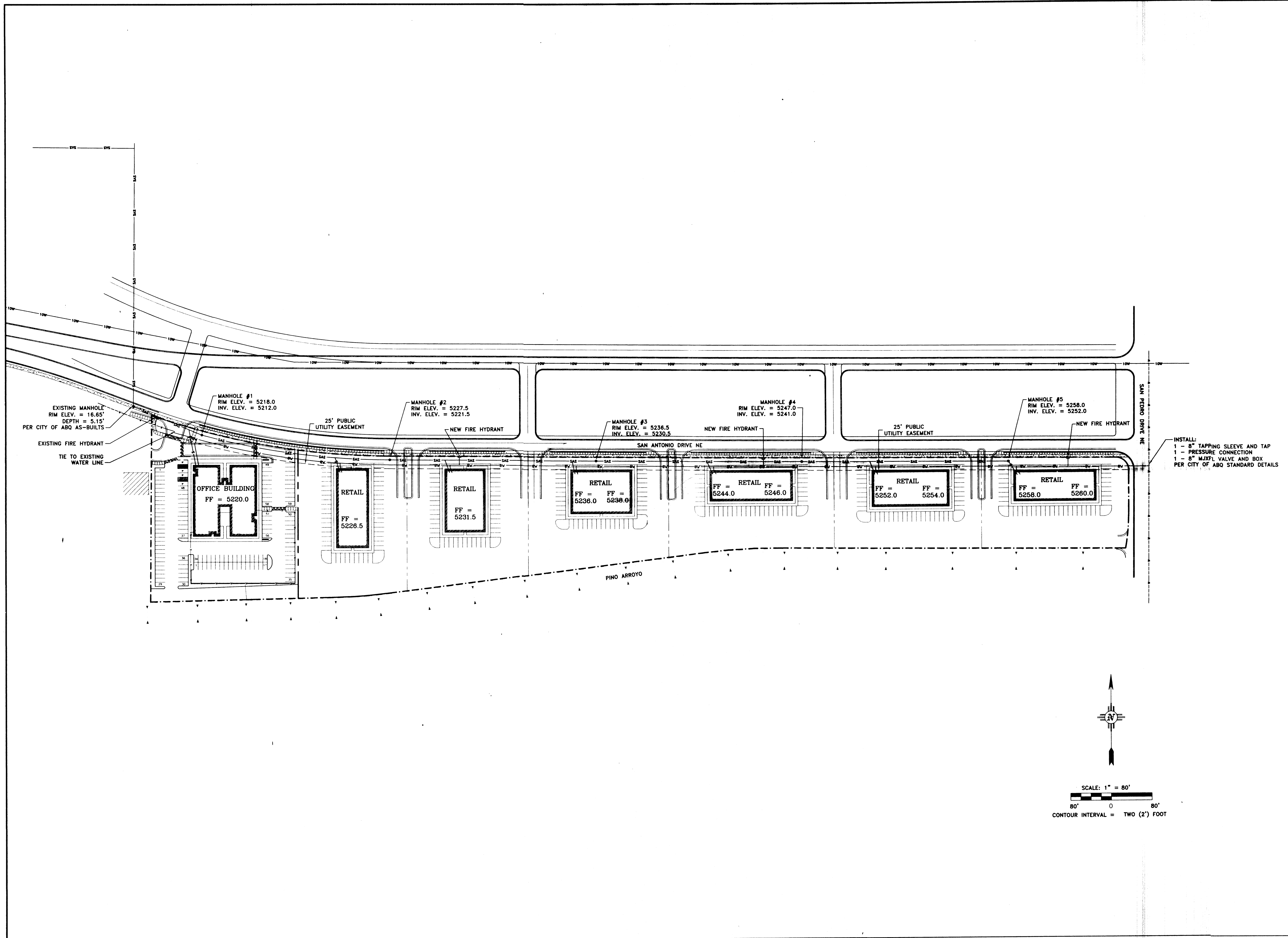
PROJECT: **TRACT A-3-B**
STATE OFFICE BUILDING

SHEET TITLE: **MASTER GRADING PLAN**

CITY REVIEW		SIGN-OFF	DATE
DEPARTMENT			
WASTEWATER MGMT. DIV.			
WATER SERVICES			
SUBDIVISION ENG.			
STREETS			
TRAFFIC			
FIRE DEPARTMENT			

SHEET NO.

C-2



INSTALL:
 1 - 8" TAPPING SLEEVE AND TAP
 1 - PRESSURE CONNECTION
 1 - 8" MJFL VALVE AND BOX
 PER CITY OF ABQ STANDARD DETAILS

Civil Engineering • Water Resources • Traffic Engineering
W·E Walker Engineering
 905 Camino Sierra Vista, Santa Fe, NM 87501
 505-820-7900
 FAX: 505-820-7901
 E-MAIL: civil@walkerengineering.net

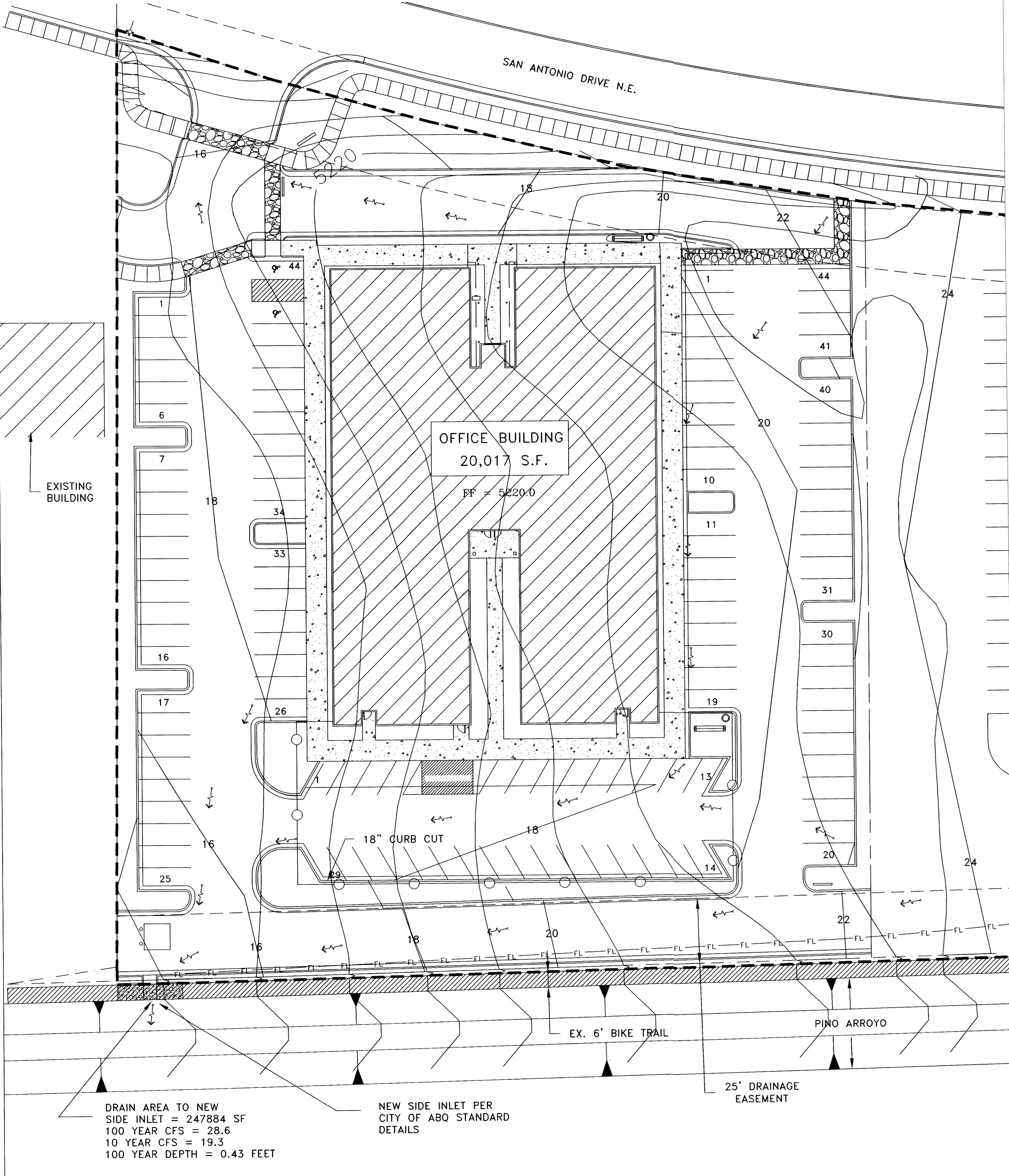
No.	REVISION	BY	APP.	DATE
PROJECT:	02-224	DESIGNED BY:	A.E.R.	
FILE:	02-224	UTILITY DRAWN BY:	C.D.A.	
DATE:	5/6/03	CHECKED BY:	M.E.W.	
SCALE:				AS NOTED

[Signature]
 9/15/03

PROJECT: **TRACT A-3-B**
STATE OFFICE BUILDING
 SHEET TITLE: **MASTER UTILITY PLAN**

CITY REVIEW	SIGN-OFF	DATE
DEPARTMENT		
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		
FIRE DEPARTMENT		

SHEET NO.
C-2



STAKING NOTE

INFORMATION SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.

TOPOGRAPHY NOTE

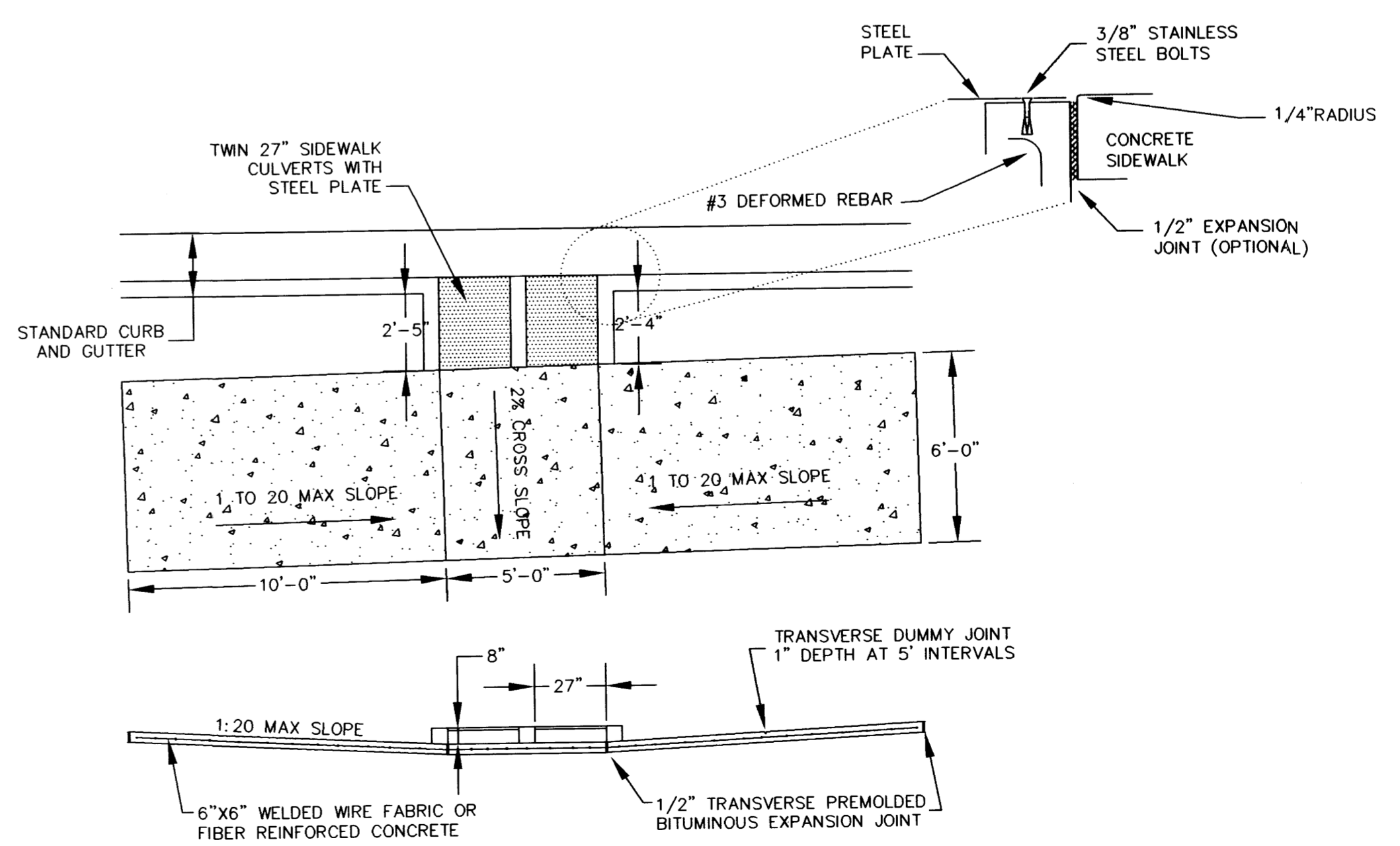
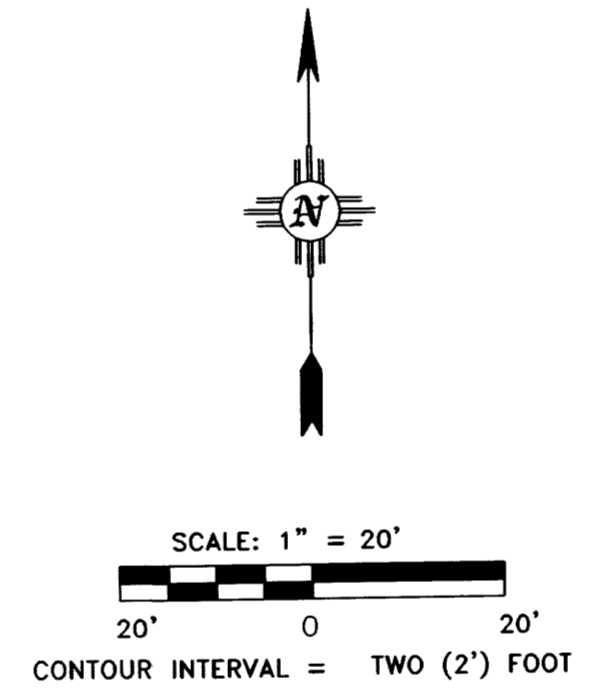
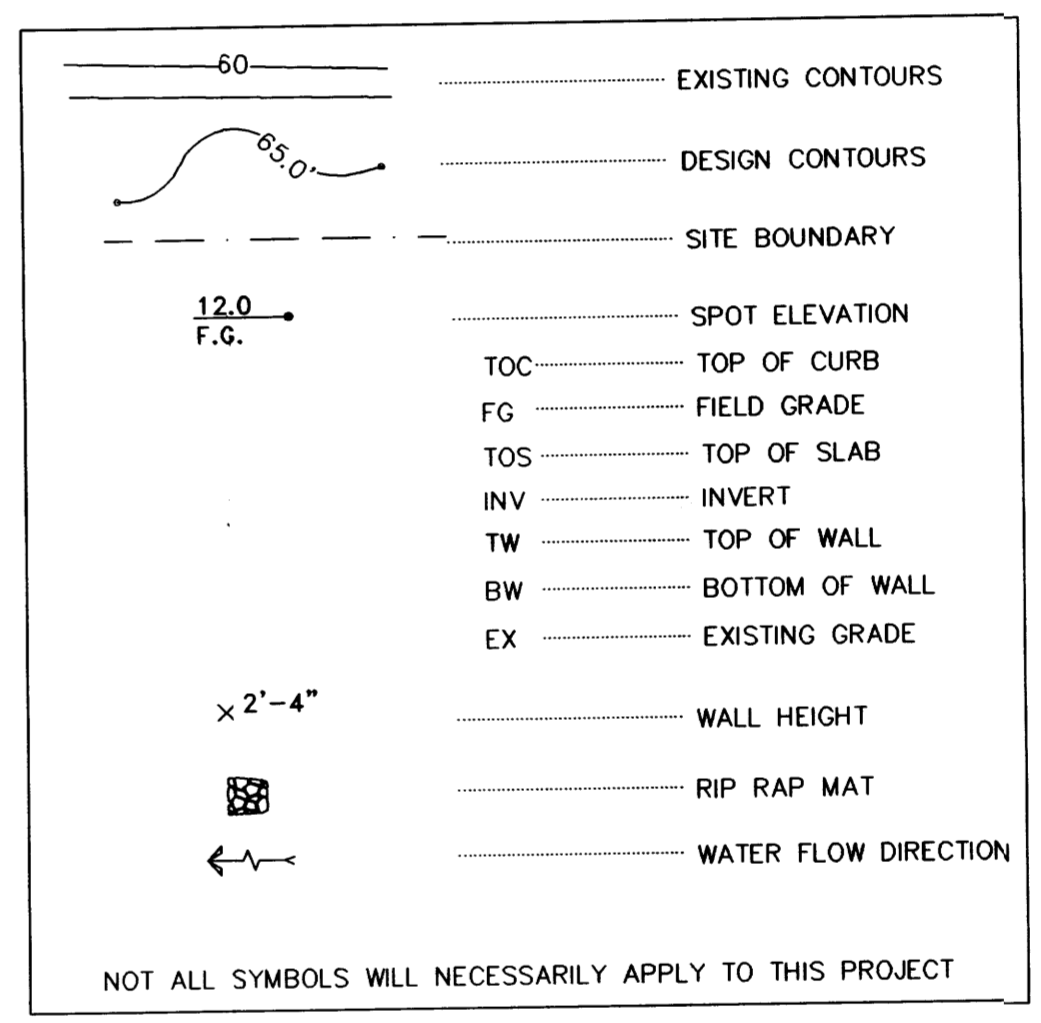
ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED BY OTHERS. WALKER ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION, AND MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR.

UTILITY NOTE

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THE DRAWING, THEY ARE SHOWN IN APPROXIMATE MANNER ONLY. UTILITY LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER, OR BY OTHERS. THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING ABOVE AND UNDERGROUND UTILITIES, OR EXISTING PIPELINES. THE ENGINEER MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES, IN AND NEAR THE AREA OF THE WORK, IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES PERTAINING TO THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

LEGEND



SIDE INLET DETAIL

DRAIN AREA TO NEW SIDE INLET = 247884 SF
 100 YEAR CFS = 28.6
 10 YEAR CFS = 19.3
 100 YEAR DEPTH = 0.43 FEET

NEW SIDE INLET PER CITY OF ABO STANDARD DETAILS

25' DRAINAGE EASEMENT

EX. 6' BIKE TRAIL

PINO ARROYO

Civil Engineering • Water Resources • Traffic Engineering

W. E. Walker Engineering
 905 Camino Sierra Vista, Santa Fe, NM 87501
 505-820-7990
 FAX 505-820-3539
 E-MAIL: civil@walkerengineering.net

No.	REVISION	BY	APP.	DATE

PROJECT: 02-224
 FILE: 02-224 GRADE
 DATE: 6/1/04

DESIGNED BY: A.E.F.
 DRAWN BY: C.P.A.
 CHECKED BY: M.E.W.
 SCALE: AS NOTED

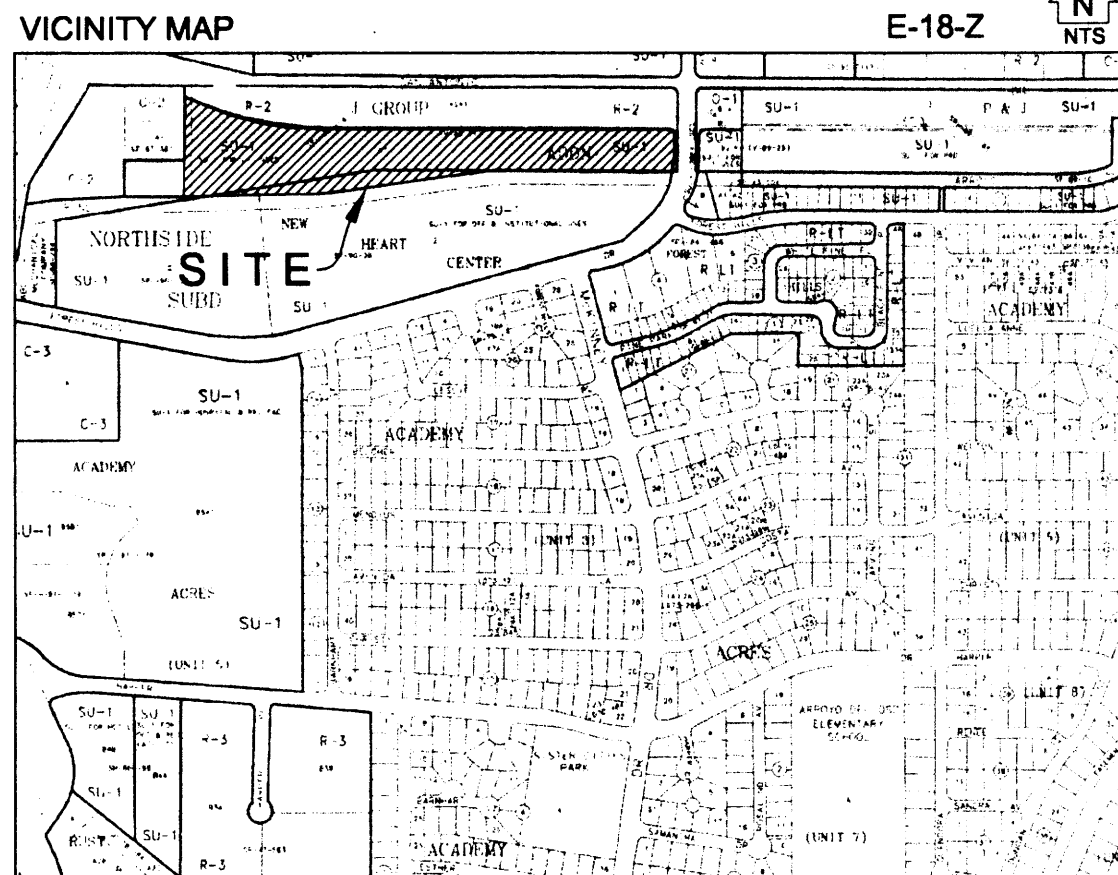
PROJECT: TRACT A-3-B
 STATE OFFICE BUILDING
 SHEET TITLE: GRADING AND DRAINAGE PLAN

CITY REVIEW	DATE

DEPARTMENT: WASTEWATER MGN'T. DIV.
 WATER SERVICES
 SUBDIVISION ENG.
 STREETS
 TRAFFIC
 FIRE DEPARTMENT

SIGN-OFF: CITY USE ONLY

SHEET NO. C-1



LEGAL DESCRIPTION

A certain tract of land situate within Projected Section 25, Township 11 North, Range 3 East, N.M.P.M., in the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract A-3-B, J GROUP ADDITION, filed in the Office of the Bernalillo County Clerk on 2/27/1998 in Plat Book 96C, Page 91, Tract 1, NEW HEART CENTER, filed in the Office of the Bernalillo County Clerk on 11/1/1991 in Plat Book 91C, Page 245, and Tract 1, NORTHSIDE SUBDIVISION, filed in the Office of the Bernalillo County Clerk on 3/14/1990 in Plat Book 90C, Page 72 and being more particularly described as follows:

BEGINNING at the Northwest corner of the Tract herein described, being the northwest corner of said Tract A-3-B, from whence the NMSHC Brass Cap monument "STA 1-25-14" bears N 18° 06' 08" W, a distance of 1446.60 feet; Thence, from said point of beginning, Easterly, 486.25 feet along the arc of a curve bearing to the left having a radius of 1462.00 feet, a central angle of 19° 03' 22" and a chord which bears S 80° 05' 18" E, a distance of 484.01 feet along the southerly line of San Antonio Drive, N.E. to a point of tangency; Thence, S 89° 37' 00" E, a distance of 1430.30 feet along said southerly line of San Antonio Drive N.E. to a point of curvature; Thence, Southeasterly, a distance of 39.27 feet along the arc of a curve bearing to the right having a radius of 25.00 feet, a central angle of 90° 00' 00" and a chord which bears S 44° 37' 00" E, a distance of 35.36 feet to a point of tangency on the westerly line of San Pedro Drive, N.E.; Thence, S 00° 23' 00" W, a distance of 86.71 feet along said westerly line of San Pedro Drive, N.E., to a point of curvature; Thence, Southwesterly, a distance of 66.96 feet along the arc of a curve bearing to the right having a radius of 398.90 feet, a central angle of 09° 37' 04" and a chord which bears S 05° 11' 32" W, a distance of 66.87 feet to a non-tangent point on the north line of the right-of-way line for the Pino Arroyo; Thence, N 89° 36' 30" W, a distance of 684.88 feet along said north line of the Pino Arroyo to a point of curvature; Thence, Westerly, a distance of 51.23 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 1537.50 feet, a central angle of 01° 54' 33" and a chord which bears S 89° 26' 13" W, a distance of 51.23 feet to a point of compound curvature; Thence, Westerly, a distance of 50.51 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 787.50 feet, a central angle of 03° 40' 29" and a chord which bears S 86° 38' 41" W, a distance of 50.50 feet to a point of compound curvature; Thence, Westerly, a distance of 51.23 feet along the arc of a curve bearing to the left along said northern line of Pino Arroyo, having a radius of 1537.50 feet, a central angle of 01° 54' 33" and a chord which bears S 83° 51' 10" W, a distance of 51.23 feet to a point of tangency; Thence, S 82° 53' 54" W, a distance of 623.00 feet along said north line of the Pino Arroyo to a point of curvature; Thence, Westerly, a distance of 39.00 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 1462.50 feet, a central angle of 01° 31' 40" and a chord which bears S 83° 39' 44" W, a distance of 39.00 feet to a point of compound curvature; Thence, Westerly, a distance of 33.76 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 712.50 feet, a central angle of 02° 42' 54" and a chord which bears S 85° 47' 01" W, a distance of 33.76 feet to a point of compound curvature; Thence, Westerly, a distance of 39.00 feet along the arc of a curve bearing to the right along said northern line of Pino Arroyo, having a radius of 1462.50 feet, a central angle of 01° 31' 40" and a chord which bears S 87° 54' 18" W, a distance of 39.00 feet to a point of tangency; Thence, S 88° 40' 08" W, a distance of 172.39 feet along said north line of the Pino Arroyo to an angle point; Thence, S 88° 39' 59" W, a distance of 230.80 feet along said north line of the Pino Arroyo to the southwest corner of the tract herein described; Thence, N 81° 19' 52" E, a distance of 42.62 feet along said north line of said Tract 1, Northside Subdivision, to a point on the westerly line of said Tract A-3-B; Thence, N 00° 26' 00" E, a distance of 363.82 feet along said westerly line of Tract A-3-B to the northwest corner and point of beginning of the tract herein described and containing 10.0445 acres, more or less.

TREASURER'S CERTIFICATION

This is to certify that taxes are current & paid on UPC # 1013062107848620119, 101306215052720140, 101306213444620110 Property owners of record: The J Group, a New Mexico partnership & COTRUZZOLA, JOSEPH P. Bernalillo County Treasurer's Office: Mark G. Smith 21 May 04

FREE CONSENT

The land described hereon, identified as LOTS 1 THRU 7, JJ SUBDIVISION is platted with the free consent and in accordance with the wishes and desires of the undersigned owner(s). Said owner(s) do hereby represent that they are so authorized to act.

Joseph P. Cotruzzola 11/04/03
 The J Group, a New Mexico Partnership
 Joseph P. Cotruzzola, a partner
 Date

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me by Joseph P. Cotruzzola, partner for the J Group, a New Mexico Partnership, this 4th day of NOVEMBER, 2003.

By Michelle S. Cavill My Commission Expires 10-17-06
 Notary Public

PLAT OF

**LOTS 1 THRU 7
 JJ SUBDIVISION**

BEING A REPLAT OF TRACT A-3-B, J GROUP ADDITION, TRACT 1, NEW HEART CENTER & TRACT 1, NORTHSIDE SUBDIVISION

WITHIN PROJECTED SECTION 25 TOWNSHIP 11 NORTH, RANGE 3 EAST NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
 BERNALILLO COUNTY
 NEW MEXICO

NOVEMBER 2003
 SHEET 1 OF 2

DISCLOSURE STATEMENT

The purpose of this plat is to create seven (7) lots from three (3) existing tracts.



030RB.01899
 DRB NO. 1002455

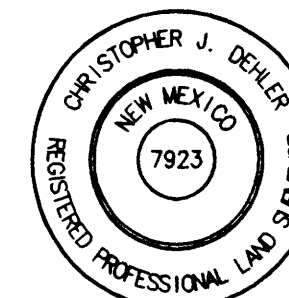
CITY APPROVALS

- Sheron Matson 5/19/04
 DRB Chairperson, Planning Department Date
- Joe Tiller 11-04-2003
 City Surveyor Date
- N/A
 Real Property Division Date
- Christina Sandoval May 19, 2004
 Environmental Health Department Date
- SP/SS 5-19-04
 Traffic Engineer, Transportation Division Date
- Joseph P. Cotruzzola 5/20/04
 Utilities Development Date
- Christina Sandoval 5/19/04
 Parks and Recreation Department Date
- Bradley L. Bigham 5/20/04
 A.M.A.F.C.A. Date
- Bradley L. Bigham 5/20/04
 City Engineer Date

SURVEYOR'S CERTIFICATION

I, Christopher J. Dehler, New Mexico Registered Land Surveyor No. 7923 hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey, shows all easements of record made known to me by the owners, utility companies and Fidelity National Title Co. (02-3007464-B-MD), meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and the Minimum Standards for Land Surveys in New Mexico and is true and correct to the best of my knowledge and belief.

Christopher J. Dehler 11/03/03
 Christopher J. Dehler, PLS
 N.M.R.L.S. No.7923 Date



INDEXING INFORMATION FOR COUNTY CLERK
 OWNERS: The J Group, a New Mexico partnership
 LOCATION: PROJECTED SECTION 25 TOWNSHIP 11 NORTH RANGE 3 EAST
 NAME: LOTS 1 THRU 7 JJ SUBDIVISION

NOTES

- 1) The purpose of this plat is to create seven (7) commercial lots from three (3) existing tracts.
- 2) Bearings shown hereon are New Mexico State Plane Grid bearings, Central Zone (NAD 1927). All distances shown are ground.
- 3) Gross acreage = 10.0445 acres.
 Existing tracts.....3.
 Proposed tracts.....7.
- 4) Unless otherwise indicated, all property corners are monumented by a found rebar with cap stamped "LS 4071". Corners established by this plat are No. 5 rebar with cap stamped "NMRLS 7923".
- 5) City of Albuquerque water and sewer service is currently available to this property. Where applicable, availability should be coordinated with the Public Works Department.
- 6) This survey shows any easements apparent on the ground, as indicated by the plat of record, those disclosed by owners and those disclosed in a Title Binder prepared for this property by Fidelity National Title Co. (02-3007464-B-MD) dated 12/2/2002. No Title Search was performed by the surveyor.
- 7) Any underground structures not shown are not a part of this survey.
- 8) There are no new rights of way created by this plat.
- 9) Matters of zoning, property covenants and restrictions are not a part of this survey.
- 10) Talos Log No. 2003380827.
- 11) See Master Landfill Gas Evaluation and Abatement System Plan note on sheet 2 regarding gas monitoring wells(s).
- 12) The twenty-five (25) foot ingress and egress easements as shown hereon are granted for the collective benefit of all owners of Lots 1 thru 7. Individual lot owner(s) are responsible for the maintenance of the portion of said easement lying within said owner(s) individual lot(s).
- 13) Current zoning is SU-1 for C-1

UTILITY APPROVALS

- Leah D. Murt 5-10-04
 PNM Electric Services Date
- Leah D. Murt 5-10-04
 PNM Gas Services Date
- Daniel R. Muller 5-13-04
 QWEST Date
- Rita Enriquez 5/6/04
 Comcast Date

PUBLIC UTILITY EASEMENTS

Public Utility Easements shown on this plat are for the common and joint use of:

- The PNM Electric Services for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
- The PNM Gas Services for the installation, maintenance and service of natural gas lines, valves and other equipment and related facilities reasonably necessary to provide natural gas.
- Qwest for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities necessary to provide communication services, including, but not limited to, above ground pedestals and closures.
- Comcast for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric or Safety Code caused by construction or pools, decking of any structures adjacent to, within or near easements shown on this plat.

PNM DISCLAIMER

By approving this document, PNM does NOT waive or release any easements or easement rights which may have been granted by prior plat, replat or document, except those indicated on this plat.

PLAT OF

LOTS 1 THRU 7 JJ SUBDIVISION

BEING A REPLAT OF TRACT A-3-B, J GROUP ADDITION,
TRACT 1, NEW HEART CENTER & TRACT 1, NORTHSIDE SUBDIVISION

WITHIN PROJECTED SECTION 25
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO

NOVEMBER 2003
SHEET 2 OF 2

MASTER LANDFILL GAS EVALUATION AND ABATEMENT SYSTEM PLAN NOTE

As a condition to this Subdivision Plat approval by the City, owner, its successors and assigns covenants and agrees to install a landfill gas monitoring well(s) and extraction system on the property, pursuant to that certain Master Landfill Gas Evaluation and Abatement System Plan for the proposed Subdivision at I-25 and San Antonio Boulevard. Lots A-3-B1 thru 7 (now known as Lots 1 thru 7, JJ Subdivision, Albuquerque, New Mexico, dated July 18, 2003 prepared by Lawrence Earth Engineering, Larry M. Coons, P.E. (the "Master Landfill Gas Evaluation and Abatement System Plan") and incorporated herein by reference. The landfill gas monitoring well (s) and extraction system shall be installed on a lot by lot basis as defined in the Master Landfill Gas Extraction and Abatement System Plan for any individual lot at the time of and as a condition to Site Development Plat approval, Design Review approval by the City's Design Review Committee or building permit approval, whichever occurs sooner.

The obligation of the owner, its successors and assigns of an individual lot to install landfill gas monitoring well (s) and extraction system shall include the obligation to monitor well(s) on a periodic basis as approved by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan on file at the City's Environmental Health Department and incorporated herein by reference and initiating the start up, operation and maintenance of the extraction system, as required by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan.

This paragraph shall in its entirety constitute a covenant running with the title to each individual lot of the property as shown on this Plat shall be binding on the owner, its successors and assigns of each individual lot for the benefit of the City until terminated.

(Above language by Assistant City Attorney, City of Albuquerque)

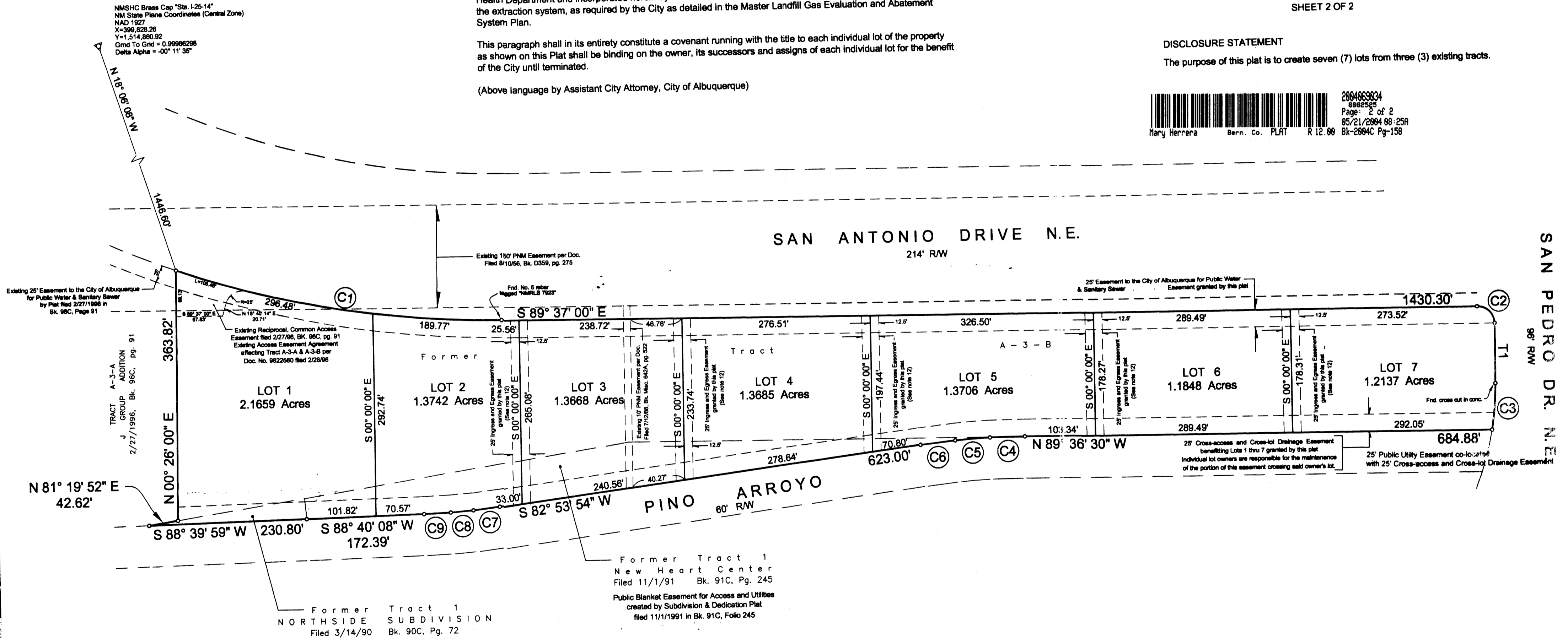
"The subject property is located (near, on) a (former, existing) landfill. Due to the subject property being (on, near), a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 Feet of Landfills") shall be consulted prior to development of the site."

DISCLOSURE STATEMENT

The purpose of this plat is to create seven (7) lots from three (3) existing tracts.

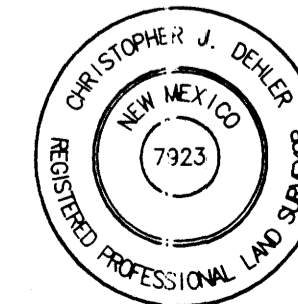
2894869834
6882557
Page: 2 of 2
85/21/2894 88:25A
Bk-2894C Pg-158

Mary Herrera Bern. Co. PLAT R 12.89



CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD DIST.
C1	486.25'	1462.00'	19° 03' 22"	484.01'
C2	39.27'	25.00'	90° 00' 00"	35.36'
C3	66.96'	398.90'	09° 37' 04"	66.87'
C4	51.23'	1537.50'	01° 54' 33"	51.23'
C5	50.51'	787.50'	03° 40' 29"	50.50'
C6	51.23'	1537.50'	01° 54' 33"	51.23'
C7	39.00'	1462.50'	01° 31' 40"	39.00'
C8	33.76'	712.50'	02° 42' 54"	33.76'
C9	39.00'	1462.50'	01° 31' 40"	39.00'

TANGENT TABLE		
TANGENT	BEARING	DISTANCE
T1	S 00° 23' 00" W	86.71'



SURVEYOR'S CERTIFICATION

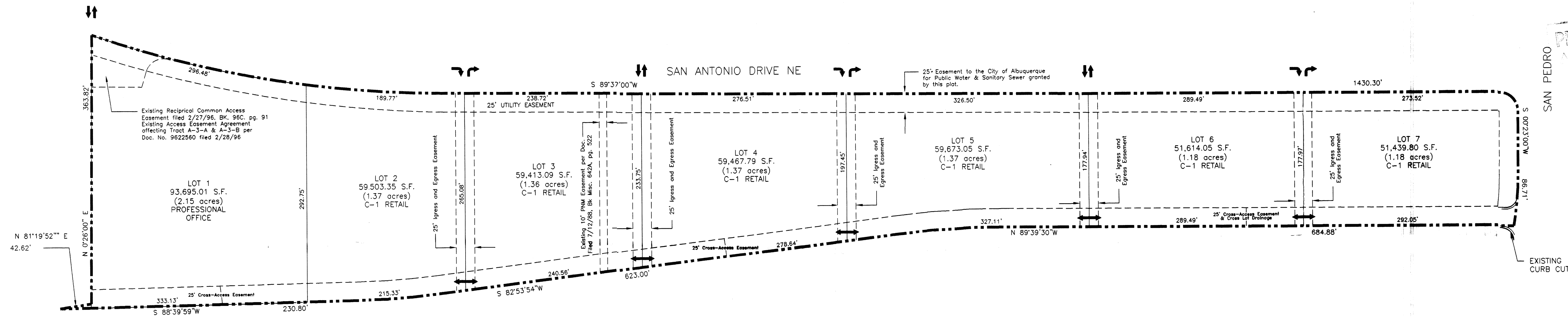
I, Christopher J. Dehler, New Mexico Registered Land Surveyor No. 7923 hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey, shows all easements of record made known to me by the owners, utility companies and Fidelity National Title Co. (02-3007464-B-MD), meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and the Minimum Standards for Land Surveys in New Mexico and is true and correct to the best of my knowledge and belief.

Christopher J. Dehler
N.M.R.L.S. No. 7923

11/03/03
Date

Christopher J. Dehler, PLS

274 Marjorie Road • Corralitos, NM • 87704 • 4988-1001



LEGAL DESCRIPTION

LOTS 1 THRU 7
 JJ SUBDIVISION
 BEING A REPLAT OF TRACT A-3-B,
 J GROUP ADDITION, TRACT 1,
 NEW HEART CENTER & TRACT 1,
 NORTHSIDE SUBDIVISION
 WITHIN PROJECTED SECTOIN 25
 TOWNSHIP 11 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
 BERNALILLO COUNTY
 NEW MEXICO

NOTES: LOTS 1 thru 7

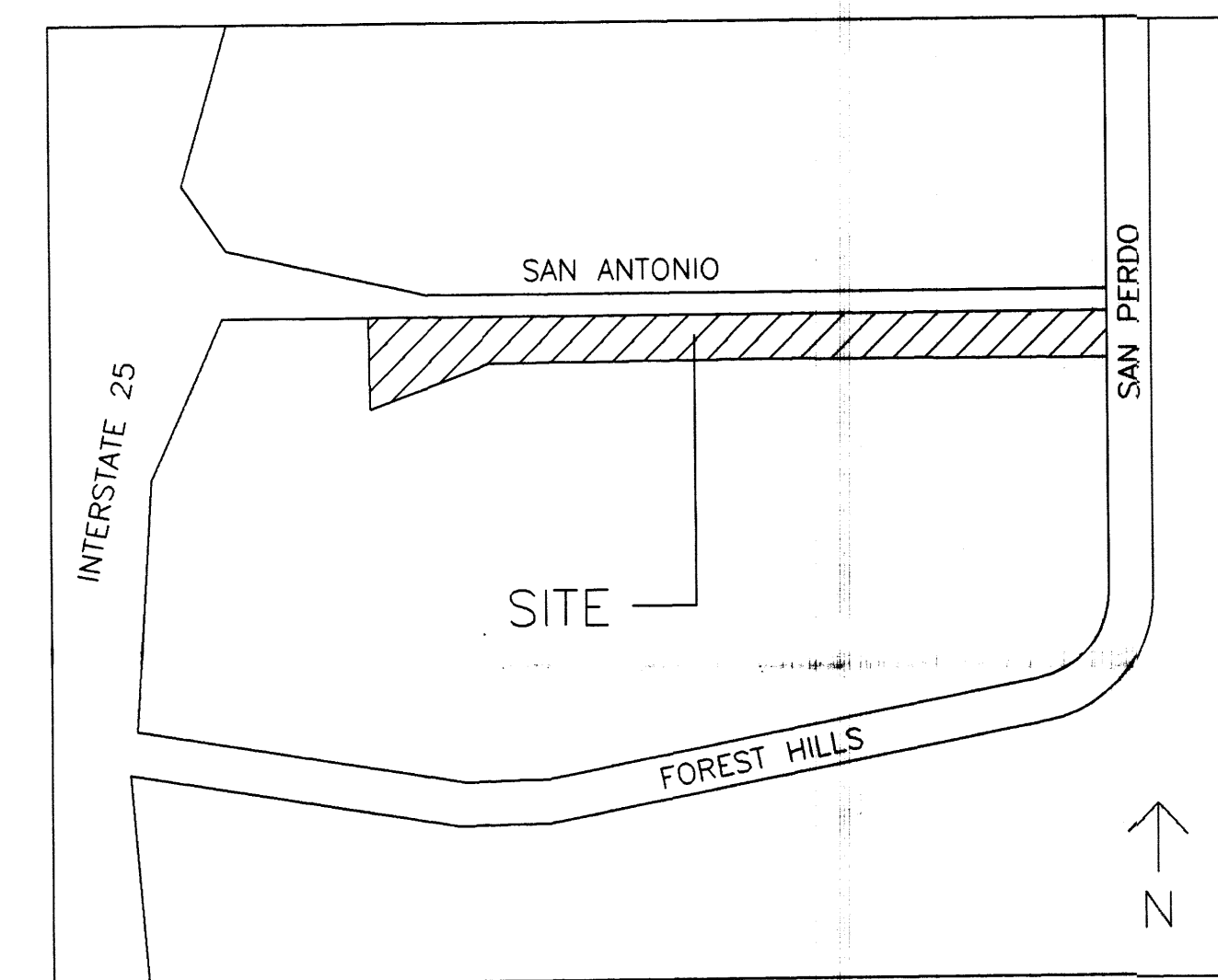
BUILDING HEIGHT NOT TO EXCEED 26 FT.
 MAXIMUM FLOOR-AREA RATIO: 20.0%
 BUILDING MINIMUM SETBACKS:
 FRONT: 25.0 FT.
 SIDE: 5.0 FT.
 REAR: 5.0 FT.

TRAFFIC FLOW NOTES

- ↔ - TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- ↘ - RIGHT TURN ONLY INTO LOT
- ↗ - RIGHT TURN ONLY OUT OF LOT
- ↕ - TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW

PROPOSED GENERAL DESIGN CRITERIA:

- ALL STRUCTURES ON LOTS WILL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
- EXTERIOR APPEARANCE OF STRUCTURES WILL BE AS DEPICTED ON SHEET.
- PARKING WILL NOT EXCEED THE REQUIRED PLUS 10%.
- NO MORE THAN 25% OF THE REQUIRED PARKING WILL BE LOCATED IN FRONT OF THE BUILDING BETWEEN THE BUILDING AND THE STREET.
- ADA-COMPLIANT PARKING WILL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY.
- ALL SIDEWALKS WILL HAVE A MINIMUM OF 6 FEET CLEAN TRAVEL AREA PROTECTED BY PERMANENT CAR STOPS.
- FRONT ENTRY SIDEWALK AREAS WILL BE COVERED OR SHADED BY TREES.
- ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS.
- PATIO AREAS FOR EMPLOYEES WILL BE PROVIDED AND SHADED.
- BICYCLE RACKS WILL BE PROVIDED PER COA CODE.
- ALL LANDSCAPING WILL BE PER COA CODE. NO GREATER THAN 20% OF LANDSCAPED AREA WILL BE HIGH WATER USE AND ALL APPLICABLE WATER CONSERVATION MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION WILL BE ADHERED TO.
- PERIMETER WALLS WILL COMPLY WITH PLANNING DEPARTMENT GUIDELINES AT TIME OF BUILDING PERMIT APPLICATION.
- ALL ROOFTOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS WILL MATCH STRUCTURE OR ROOF COLOR.
- FRONT FACADES WILL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THE ENTIRE FRONT FACADE OF THE STRUCTURE.
- LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
- ALL REFUSE ENCLOSURES WILL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
- BUILDING FRONTS WILL BE NO CLOSER THAN 12 FEET FROM THE FACE OF CURB TO THE STRUCTURE.
- MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN WILL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
- BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
- SITE AND BUILDING LIGHTING WILL COMPLY WITH COA CODES AND REGULATIONS. IN NO INSTANCE SHALL LIGHT ESCAPE BEYOND THE PROPERTY LINE.



VICINITY MAP

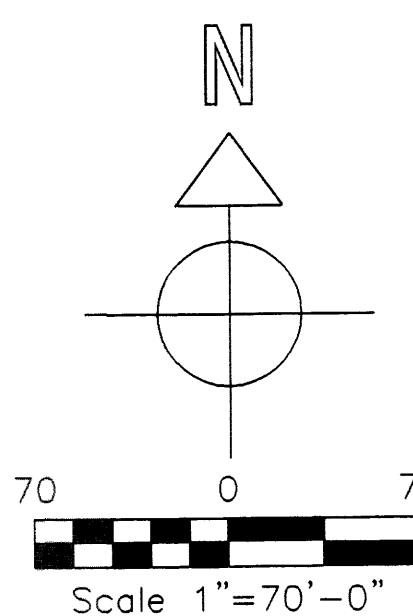
PROJECT NUMBER: 1002455

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), date March 21, 2003 and the Findings and Conditions in the Official Notification of Decision are satisfied.

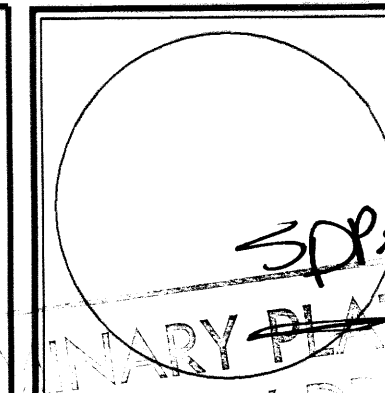
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date _____
Utilities Development	Date _____
Parks and Recreation Department	Date _____
City Engineer	Date _____
Environmental Health Department	Date _____
Solid Waste Management	Date _____
DRB Chairperson, Planning Department	Date _____



SITE PLAN FOR SUBDIVISION

Scale 1"=70'-0"



JOB NO:	1012903
DATE:	30 September 2003
REVISIONS:	

Sheet Title
SITE PLAN FOR SUBDIVISION
 Drawn By: R.A.R.
 Checked By: M.D.M.

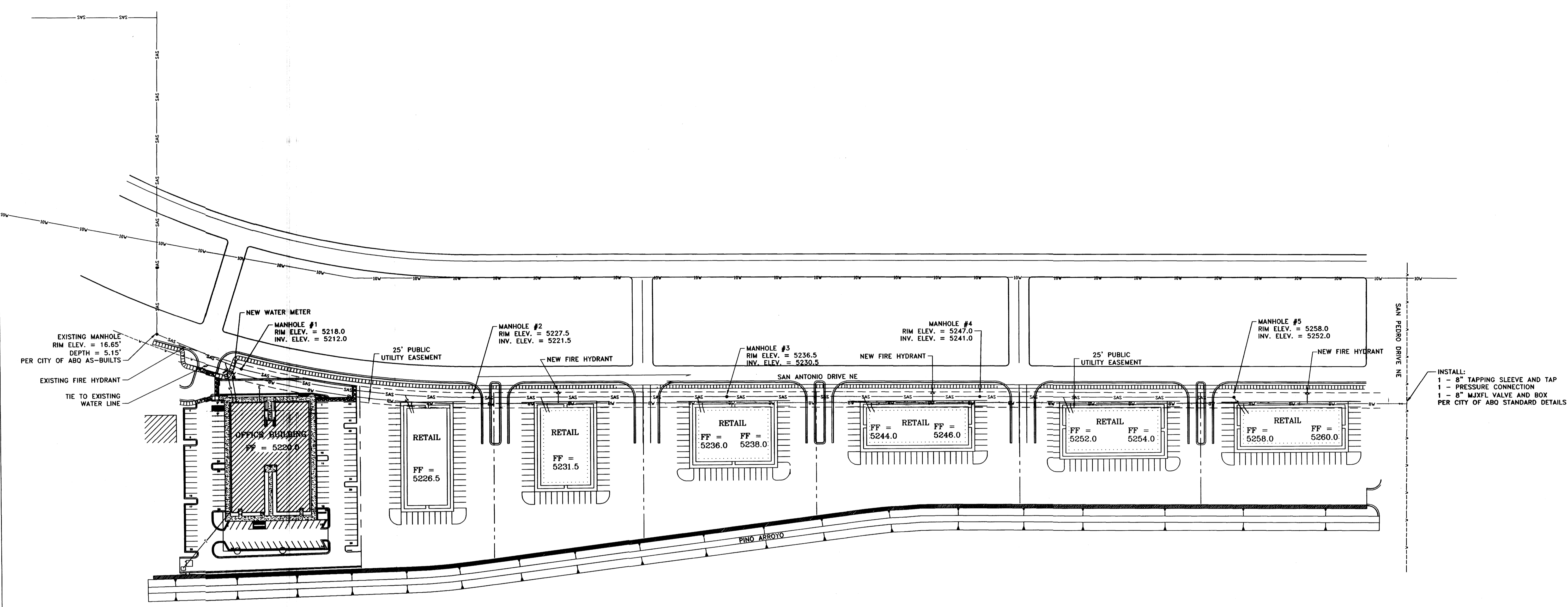
TIM OTT / DEVELOPER
 PO BOX 35981
 ALBUQUERQUE, N.M. 87176
 (505) 250-4675

Project Name
J GROUP SUBDIVISION
 ALBUQUERQUE, NEW MEXICO

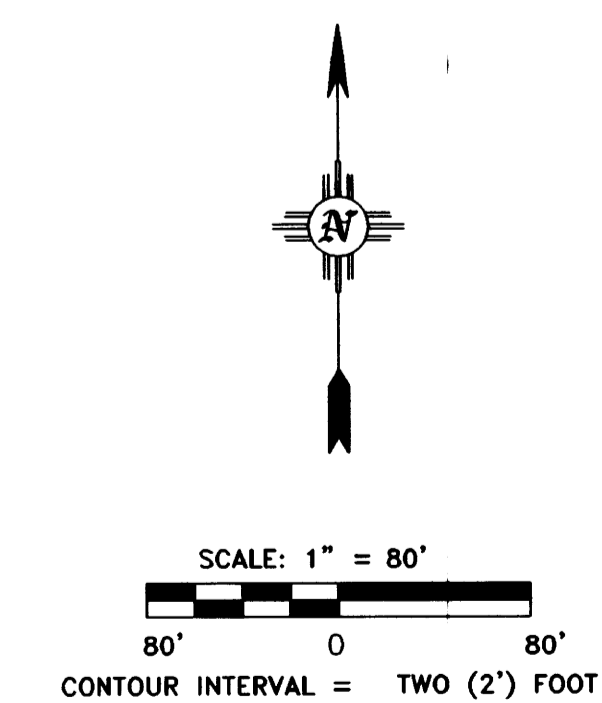
SHEET NO.
 SP

FOR 10/29 DRB
 ITEM # 13

SHARON MATSON



INSTALL:
 1 - 8" TAPPING SLEEVE AND TAP
 1 - PRESSURE CONNECTION
 1 - 8" MJXFL VALVE AND BOX
 PER CITY OF ABO STANDARD DETAILS



No.	REVISION	BY	APP.	DATE

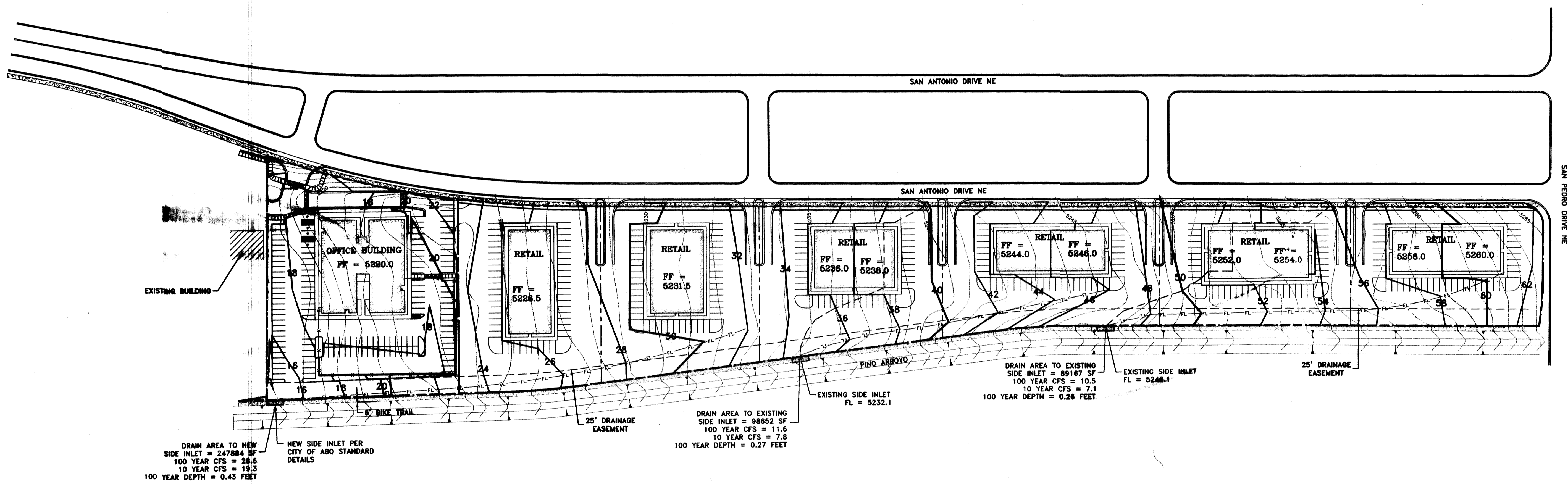
PROJECT: 02-224
 FILE: 02-224 UTILITY
 DATE: 6/4/04

DESIGNED BY: A.E.F.
 DRAWN BY: C.D.A.
 CHECKED BY: M.E.W.
 SCALE: AS NOTED

PROJECT: **TRACT A-3-B**
STATE OFFICE BUILDING
 SHEET TITLE: **MASTER UTILITY PLAN**

CITY REVIEW	SIGN-OFF	DATE
DEPARTMENT		
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		
FIRE DEPARTMENT		

CITY USE ONLY

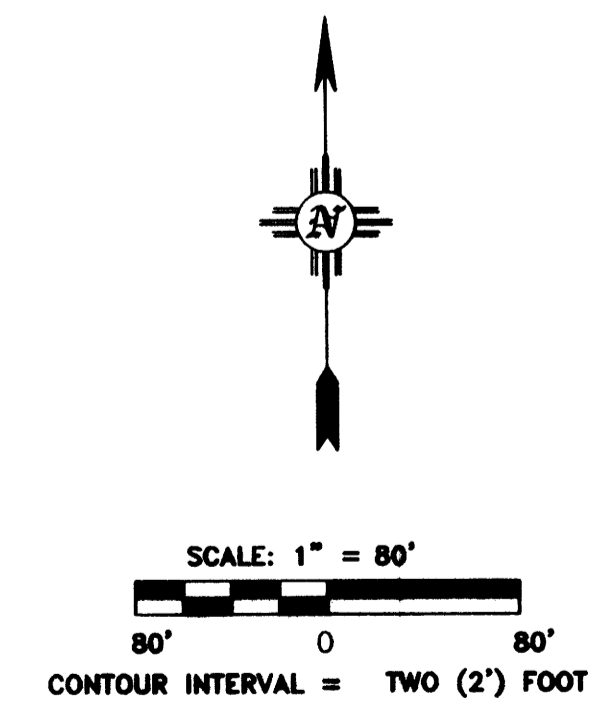


DRAIN AREA TO NEW SIDE INLET = 247884 SF
 100 YEAR CFS = 28.6
 10 YEAR CFS = 19.3
 100 YEAR DEPTH = 0.43 FEET

NEW SIDE INLET PER CITY OF ABQ STANDARD DETAILS

DRAIN AREA TO EXISTING SIDE INLET = 98652 SF
 100 YEAR CFS = 11.6
 10 YEAR CFS = 7.8
 100 YEAR DEPTH = 0.27 FEET

DRAIN AREA TO EXISTING SIDE INLET = 89167 SF
 100 YEAR CFS = 10.5
 10 YEAR CFS = 7.1
 100 YEAR DEPTH = 0.26 FEET



1002475

Civil Engineering • Water Resources • Traffic Engineering
W.E Walker Engineering
 905 Camino Sierra Vista, Santa Fe, NM 87501
 505-820-7090
 FAX 505-820-3539
 E-MAIL: civil@walkerengineering.net

No.	REVISION	BY	APP.	DATE

PROJECT: 02-224 DESIGNED BY: A.E.R.
 FILE: 02-224 MASTER DRAWN BY: C.D.A.
 DATE: 5/6/03 CHECKED BY: M.E.W.
 SCALE: AS NOTED

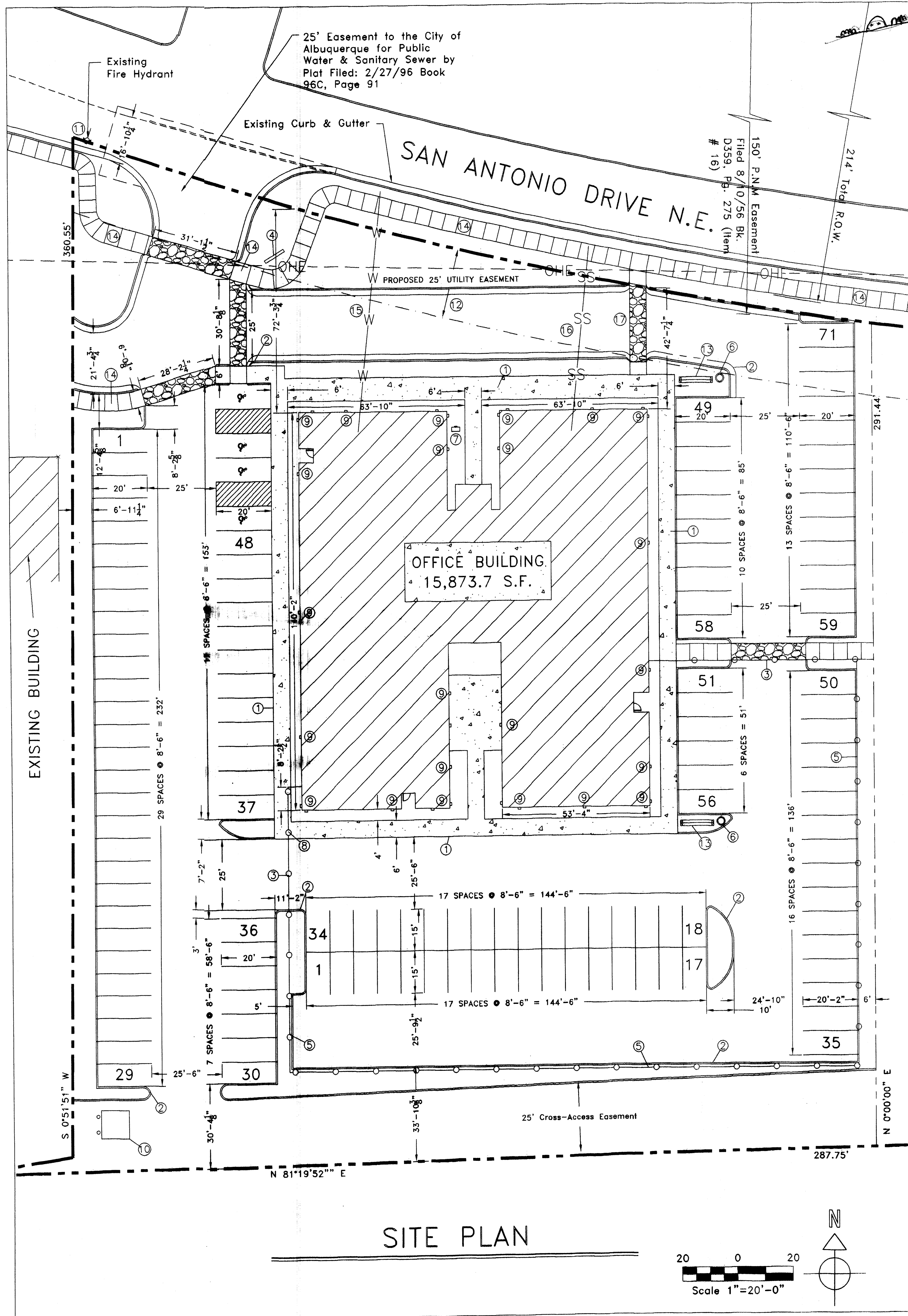


PROJECT: TRACT A-3-B
 STATE OFFICE BUILDING
 SHEET TITLE: MASTER GRADING PLAN

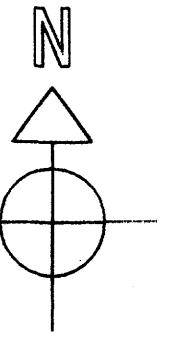
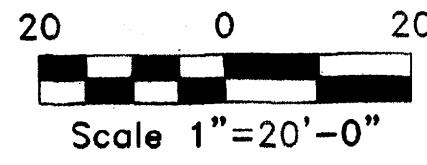
CITY REVIEW		DATE
DEPARTMENT	SIGN-OFF	
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		
FIRE DEPARTMENT		

CITY USE ONLY

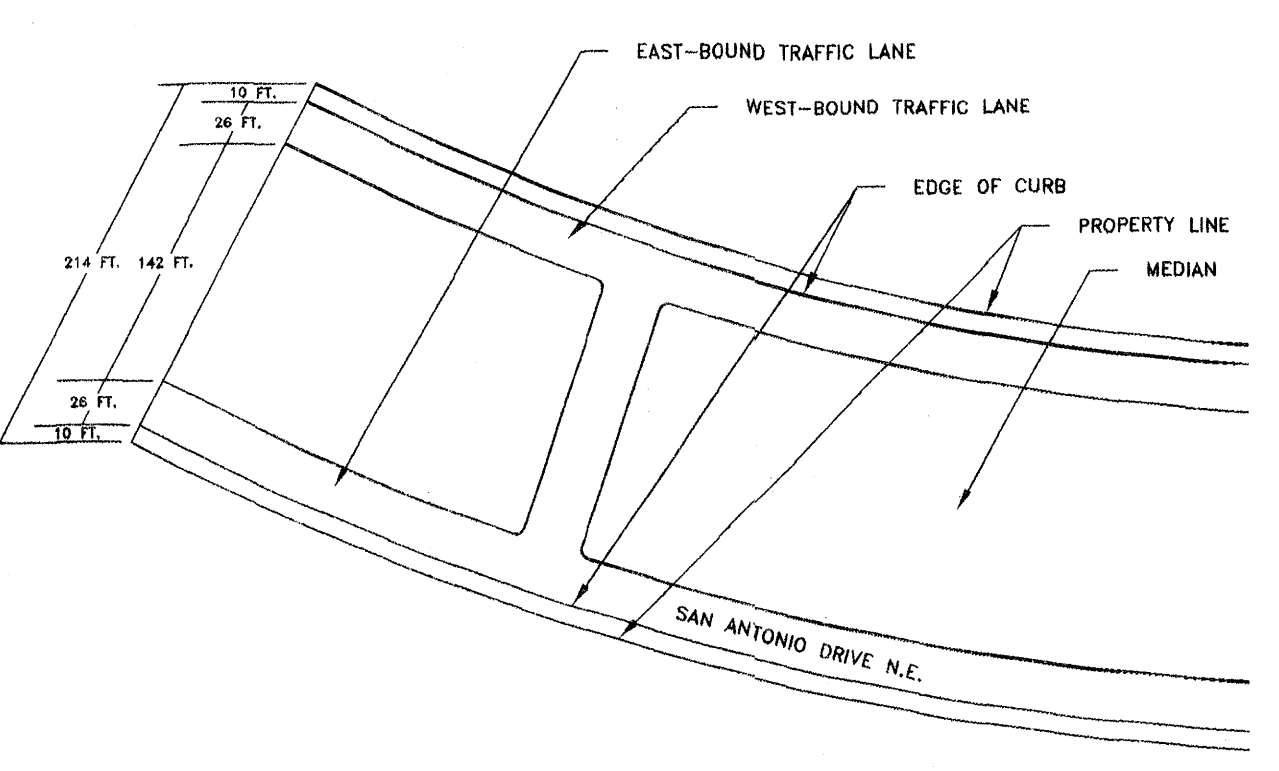
SHEET NO.
C-1



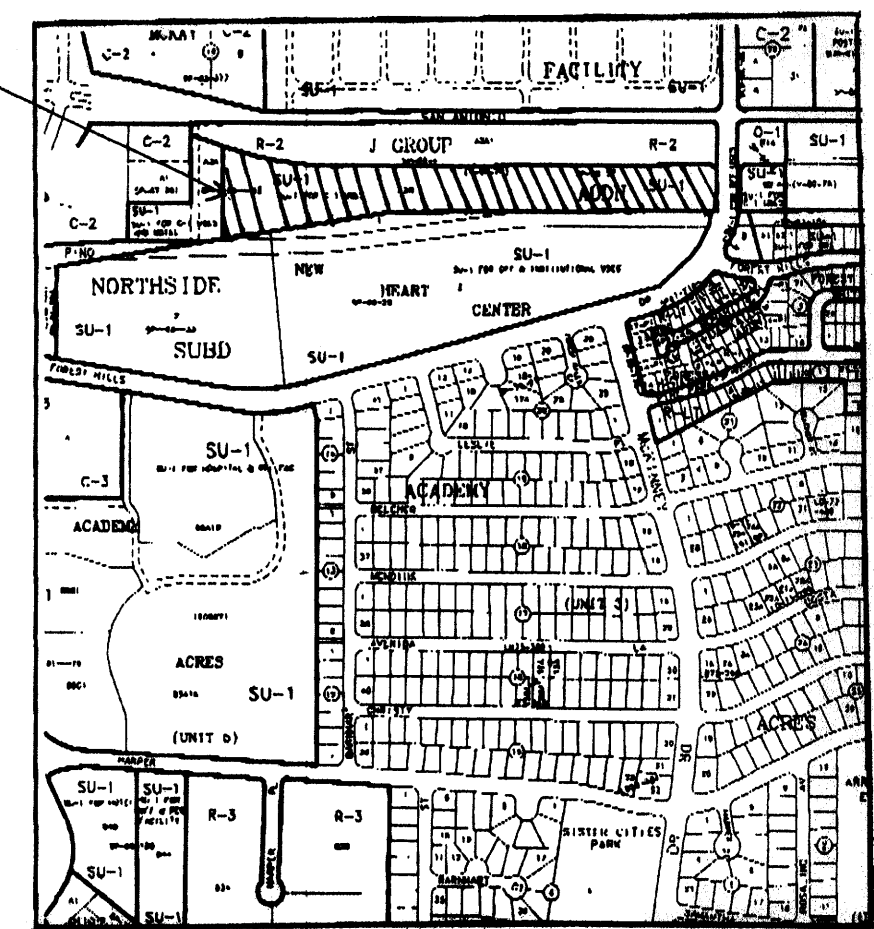
SITE PLAN



TYPICAL SAN ANTONIO DRIVE LAYOUT



SITE



KEYED NOTES:

- ① NEW 6 FT. OR 8 FT. SIDEWALK, PER DRAWING
- ② NEW CONCRETE CURB/GUTTER
- ③ 6 FT. HIGH SECURITY FENCE WITH MOTORIZED GATE
- ④ AGENCY SIGNS, DETAIL TO BE SUBMITTED TO CITY FOR APPROVAL
- ⑤ 6 FT. HIGH SECURITY FENCE
- ⑥ SMOKING AREA WITH DISPOSAL CONTAINER
- ⑦ DROP BOX
- ⑧ 4 FT. GATE WITH CYPHER LOCK
- ⑨ BUILDING LIGHTING IAW CITY OF ALBUQUERQUE (COA) CODE:
70 WATT METAL HALIDE WALL PACKS, 45° DOWN-ANGLE SHIELD,
MOUNTED 14 FEET ABOVE GROUND WITH NO GREATER THAN 1,000
FOOTLAMBERTS AT PROPERTY LINE AND NO GREATER THAN 200
FOOTLAMBERTS FROM RESIDENTIAL AREAS
- ⑩ REFUSE CONTAINER AND ENCLOSURE PER COA CODE
- ⑪ EXISTING FIRE HYDRANT
- ⑫ NO EXISTING SEWER OR WATER LINES, LINE EXTENSION
TO BE PLACED IN PROPOSED 25 FT. UTILITY EASEMENT
- ⑬ FOUR (4) SPACE BICYCLE RACK PER COA CODE
- ⑭ PROPOSED 6 FT. SIDEWALK TO MATCH EXISTING RIGHT-OF-WAY SIDEWALK
- ⑮ PROPOSED WATER LINE AND CONNECTION POINT
- ⑯ PROPOSED SEWER LINE AND CONNECTION POINT
- ⑰ ADA PEDESTRIAN ACCESS

NOTES:

LEGAL DESCRIPTION: PORTION OF TRACT A-3-B, J GROUP ADDITION CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING SINGLE STORY

CURRENT ZONING: SU-1 FOR C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

Parking, Regular: Required per COA Code: 15,873/200=79 Spaces (1 Space/200 S.F.)
Provided: 127 Spaces (Excess parking due to the requirement of Public Hearings for the State of New Mexico.)

Parking, Handicap: Required by COA Code: 4 Spaces (with 51 to 100 req. prkng. spcs.)
Provided: 4 Spaces

Bicycle Racks: Required by COA Code: 4 Spaces (with 60 to 80 req. prkng. spcs.)
Provided: 4 Spaces

Phasing: There will be no phasing plan in this project.

Proposed building will comply with all applicable COA water conservation, landscaping, and water waste ordinances.

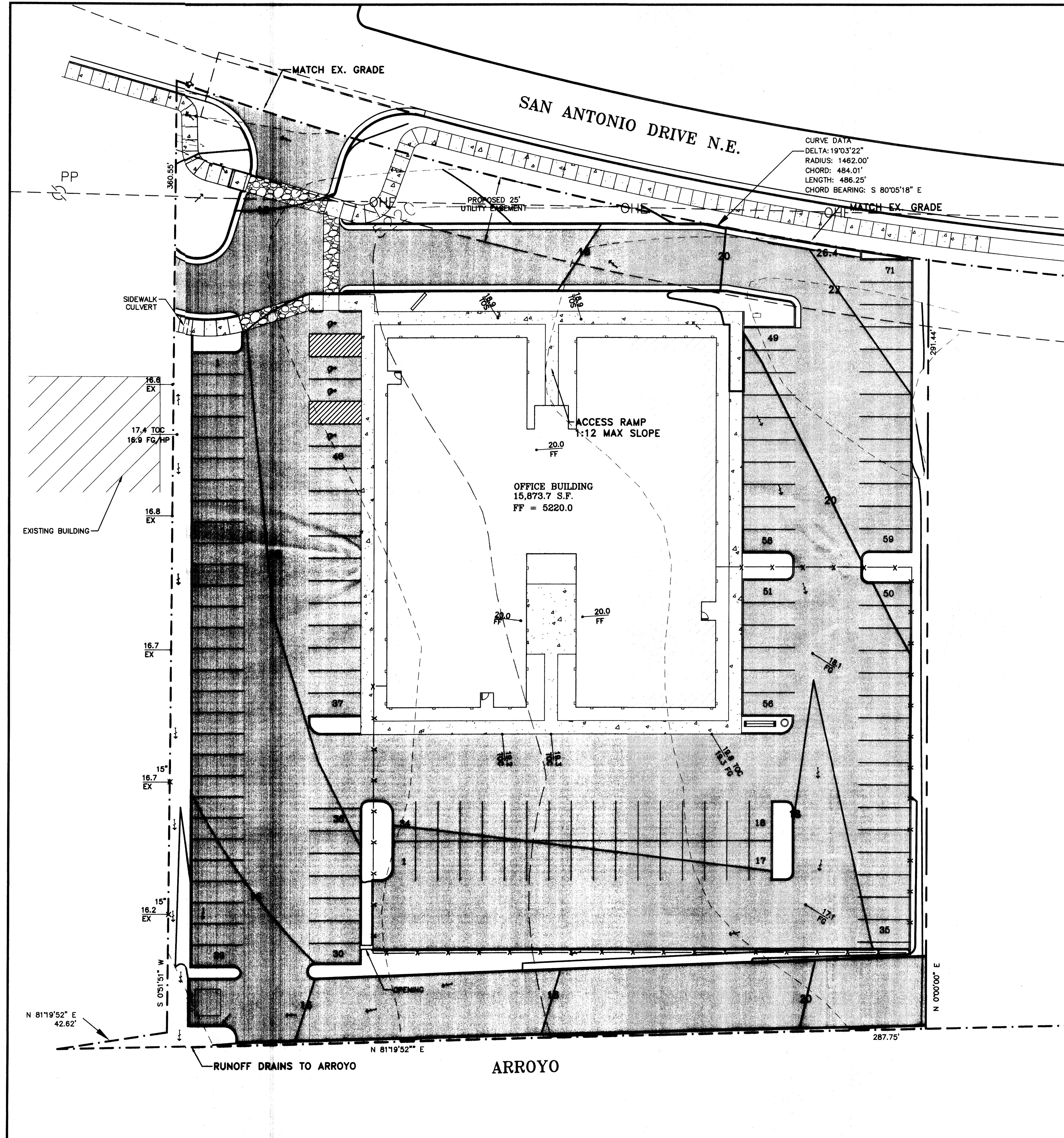
JOB NO.	
DATE:	26 February 2003
REVISIONS	

Sheet Title
SITE PLAN
Drawn By: J. PODROWCZ
Checked By: T. OTT

TIM OTT / DEVELOPER
PO BOX 35981
ALBUQUERQUE, N.M. 87176
(505) 250-4675

Project Name
R & L BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.
SP



STAKING NOTE

INFORMATION SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.

TOPOGRAPHY NOTE

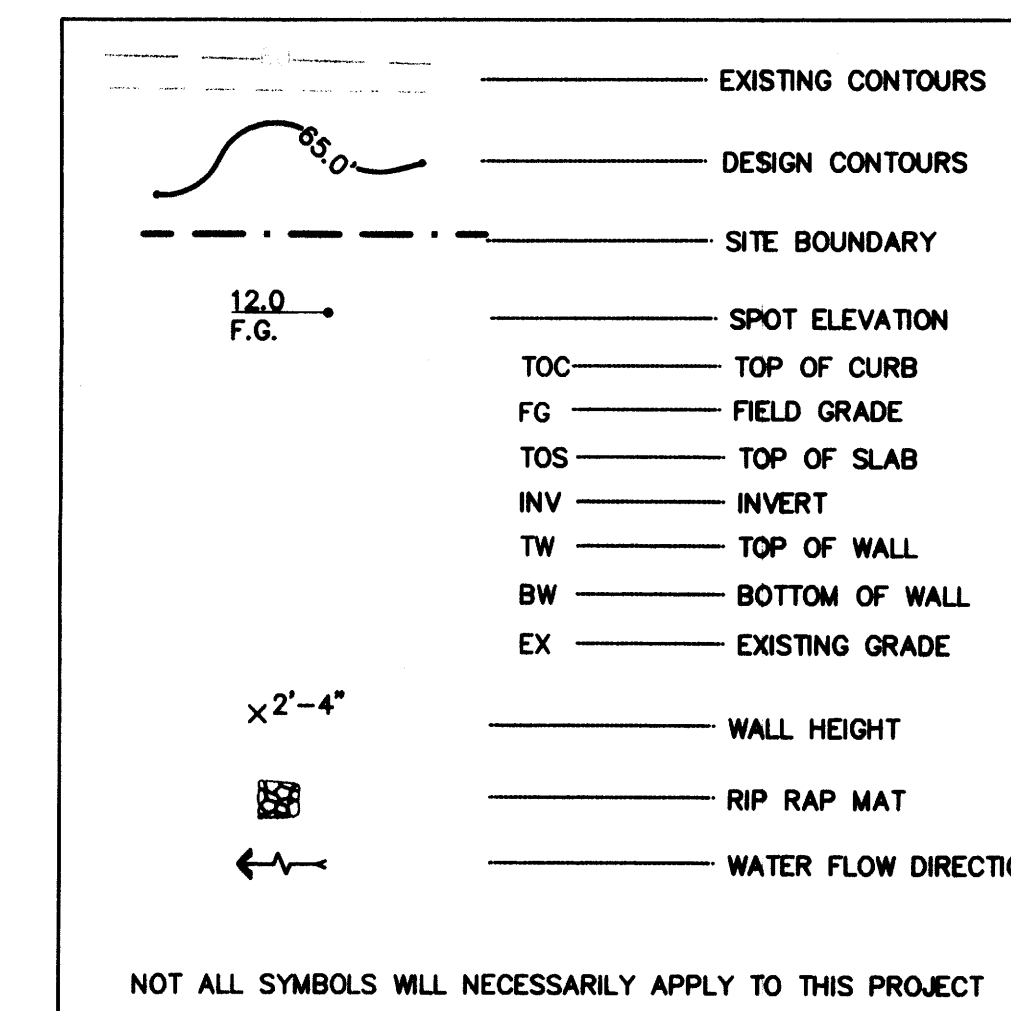
ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED BY OTHERS. WALKER ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION, AND MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR.

UTILITY NOTE

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THE DRAWING, THEY ARE SHOWN IN APPROXIMATE MANNER ONLY. UTILITY LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER, OR BY OTHERS. THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING ABOVE AND UNDERGROUND UTILITIES, OR EXISTING PIPELINES. THE ENGINEER MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES, IN AND NEAR THE AREA OF THE WORK, IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES PERTAINING TO THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

LEGEND



SCALE: 1" = 20'
CONTOUR INTERVAL = TWO (2') FOOT

Civil Engineering • Water Resources • Traffic Engineering
W.E. Walker Engineering
905 Camino Sierra Vista, • Santa Fe, NM 87501
505-820-7990
FAX 505-820-3539
E-MAIL: civil@walkerengineering.net

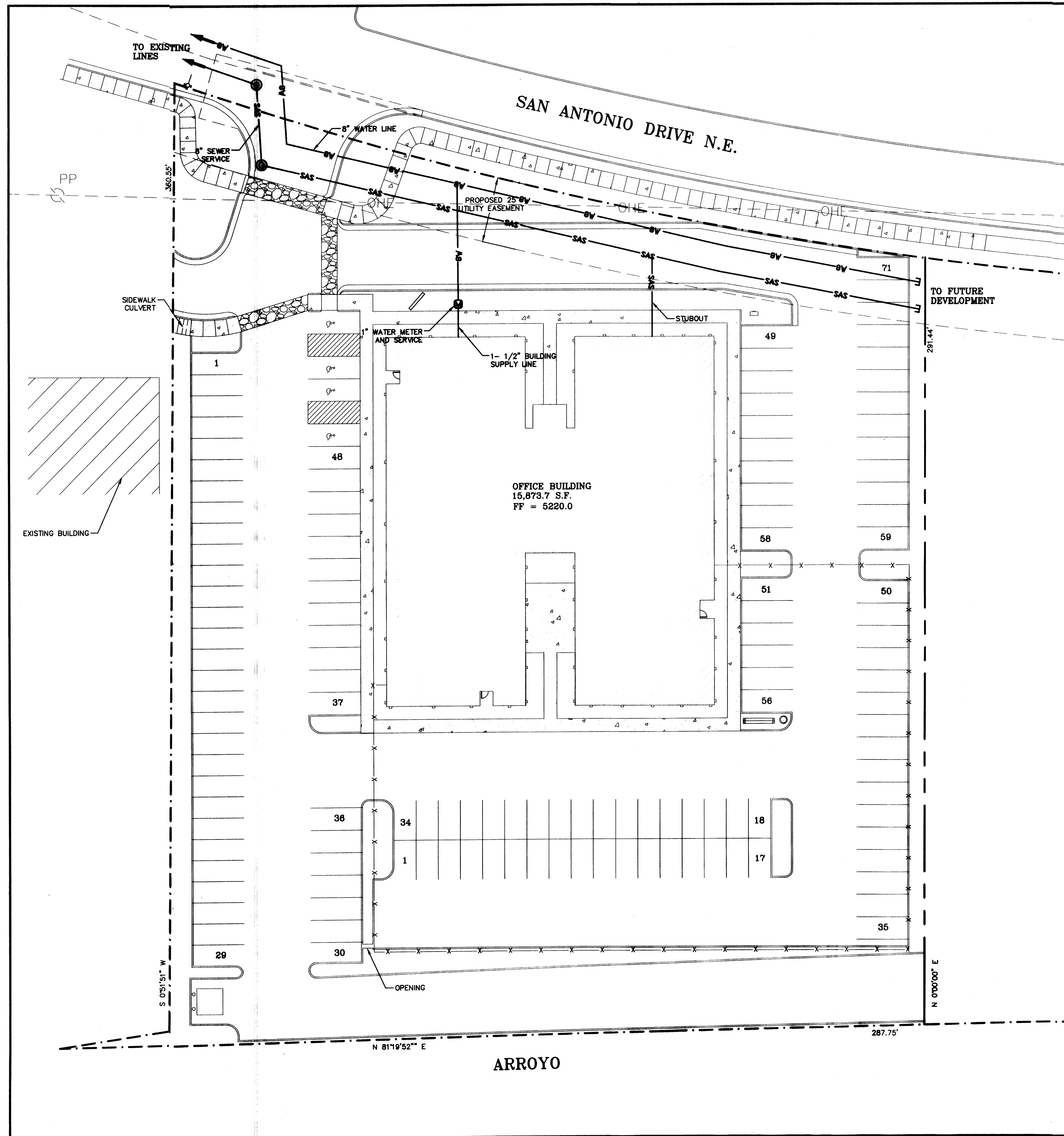
No.	REVISION	BY	APP.	DATE

PROJECT:	02-224	DESIGNED BY:	A.E.R.
FILE:	02-224 GRAD	DRAWN BY:	A.E.R.
DATE:	1/30/03	CHECKED BY:	M.E.W.
SCALE:			AS NOTED

PROJECT: **TRACT A-3-B**
STATE OFFICE BUILDING
SHEET TITLE: **GRADING AND DRAINAGE PLAN**

CITY REVIEW		DATE
DEPARTMENT	SIGN-OFF	
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		
FIRE DEPARTMENT		

SHEET NO.
C-1



UTILITY NOTE

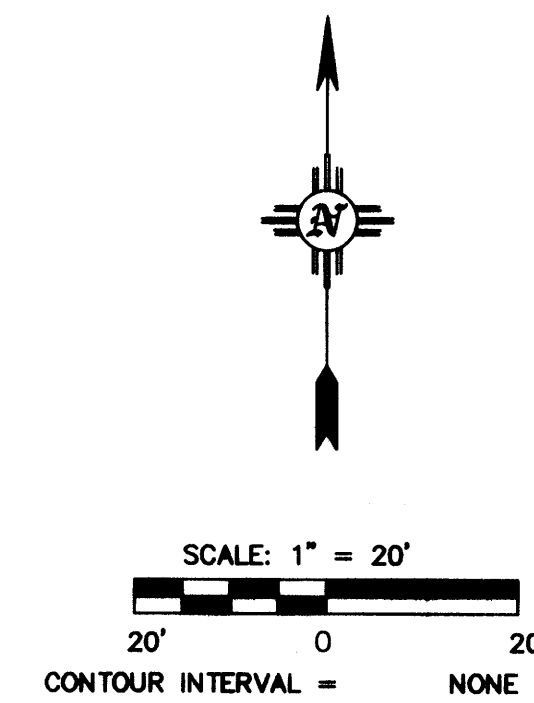
IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THE DRAWING, THEY ARE SHOWN IN APPROXIMATE MANNER ONLY. UTILITY LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER, OR BY OTHERS. THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING ABOVE AND UNDERGROUND UTILITIES, OR EXISTING PIPELINES. THE ENGINEER MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES, IN AND NEAR THE AREA OF THE WORK, IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES PERTAINING TO THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

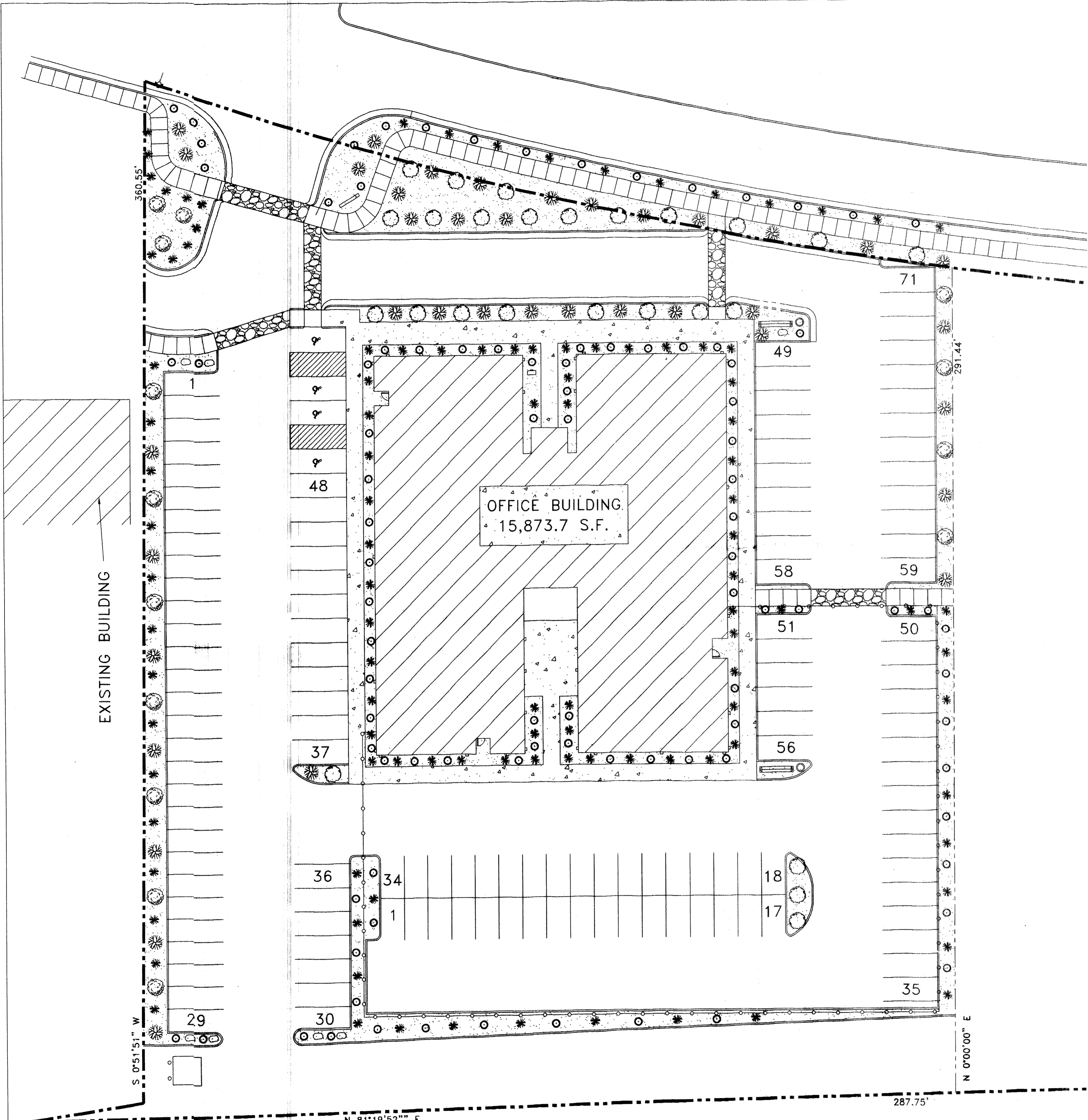
LEGEND

4W	4" WATER LINE (SDCW)
8W	8" WATER LINE (SDCW)
EX.W	EXISTING WATER LINE (SDCW)
⊙	STREET LIGHT
⊕	FIRE HYDRANTS
⊙	LOT NUMBERS
⊕	WATER VALVE & BOX
⊕	3/4" CU-SERVICE
⊕	3/4" CU-DOUBLE SERVICE
⊕	FLUSHING HYDRANT

ALL SYMBOLS WILL NOT NECESSARILY APPLY TO THIS PROJECT



<p>W·E Walker Engineering Civil Engineering & Water Resources • Traffic Engineering 905 Camino Sierra Vista, Santa Fe, NM 87501 505-850-7990 FAX 505-850-3539 E-MAIL: civil@walkerengineering.net</p>			
<p>PROJECT: 02-224</p>	<p>DESIGNED BY: A.R.R.</p>	<p>DATE: 1/30/03</p>	<p>SCALE: AS NOTED</p>
<p>TRACT A-3-B STATE OFFICE BUILDING SHEET TITLE: UTILITY PLAN</p>			
<p>CITY REVIEW</p>	<p>SIGN-OFF</p>	<p>DATE</p>	<p>CITY USE ONLY</p>
<p>DEPARTMENT</p>	<p>WASTEWATER MGMT. DIV.</p>	<p>WATER SERVICES</p>	<p>SUBDIVISION ENG.</p>
<p>STREETS</p>	<p>TRAFFIC</p>	<p>FIRE DEPARTMENT</p>	<p>SHEET NO.</p>
<p>C-2</p>			



PLANT SCHEDULE:

- TREE - NAVAJO WILLOW
- TREE - PINON PINE
- TREE - CHINESE PISTACHE
- SHRUB - BIG SAGBRUSH
- SHRUB - APACHE PLUME
- SHRUB - BUTTERFLY BUSH

GENERAL NOTES
 Deciduous Trees: 2" Caliper @ 6" above ground
 Evergreen Trees: 10-12 Ft. High
 Shrubs: 1 Gallon

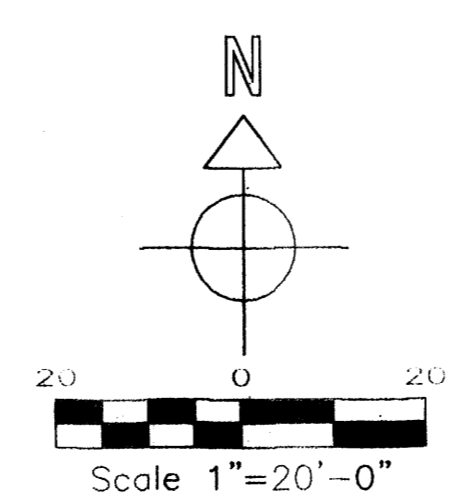
KEYED NOTES

PLANTING AREAS, GRAVEL COVERED

NOTES

TOTAL IMPERVIOUS AREA: 75,975.5 S.F.
 TOTAL PERVIOUS AREA: 12,875.5 S.F.
 LANDSCAPE AREA REQUIRED: $[(\text{LOT AREA} - \text{BUILDING AREA}) \times (15\%)] =$
 $[(88,851.0 - 15,873.7) \times (15\%)] = 10,946.6 \text{ S.F.}$
 LANDSCAPE AREA PROVIDED: 12,875.5 S.F.
 DRIP IRRIGATION PER CITY OF ALBUQUERQUE (COA) CODE
 MAINTENANCE OF LANDSCAPING AND IRRIGATION SYSTEM TO BE THE
 RESPONSIBILITY OF THE PROPERTY OWNER
 ALL LANDSCAPING WILL BE COMPLETE WITHIN 60 DAYS OF BUILDING OCCUPANCY
 ALL PLANTS THAT DIE WILL BE REPLACED WITHIN 60 DAYS
 DRIP IRRIGATION PER (COA) CODE
 NO TURF AREAS
 PROPOSED BUILDING WILL COMPLY WITH ALL COA WATER CONSERVATION,
 LANDSCAPING, AND WATER WASTE ORDINANCES

LANDSCAPING PLAN



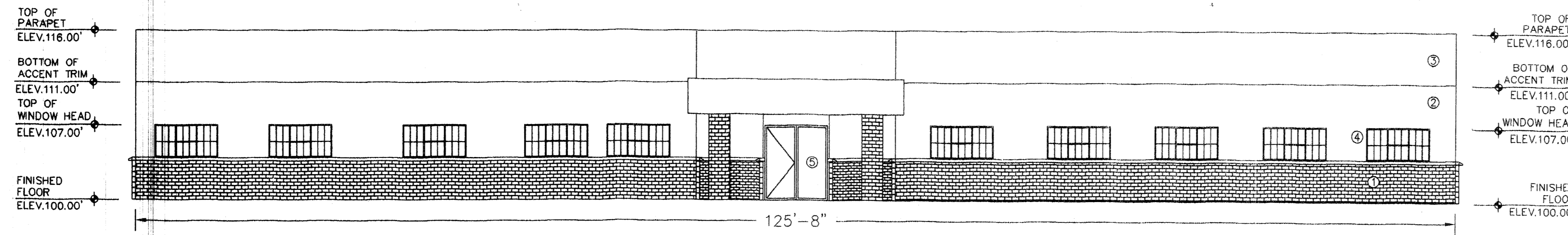
JOB NO:
 DATE: 26 February 2003
 REVISIONS

Sheet Title
LANDSCAPING PLAN
 Drawn By: R.A.P.
 Checked By: M.D.M.

TIM OTT / DEVELOPER
 PO BOX 35981
 ALBUQUERQUE, N.M. 87176
 (505) 250-4675

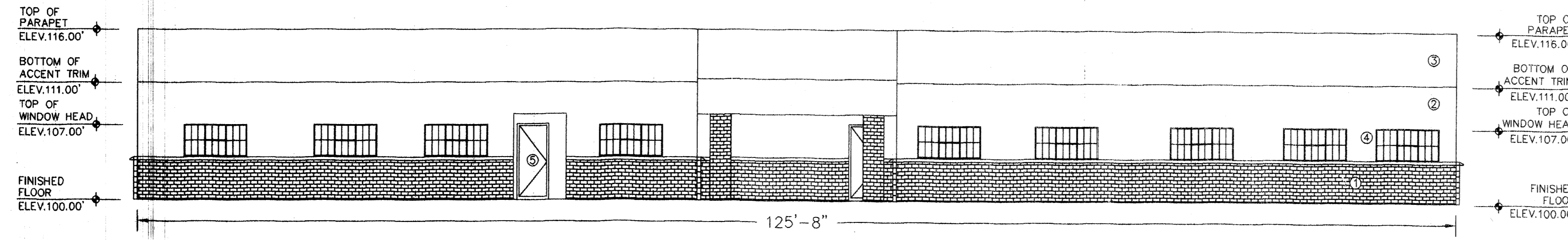
Project Name
R & L BUILDING
 ALBUQUERQUE, NEW MEXICO

SHEET NO.
 15



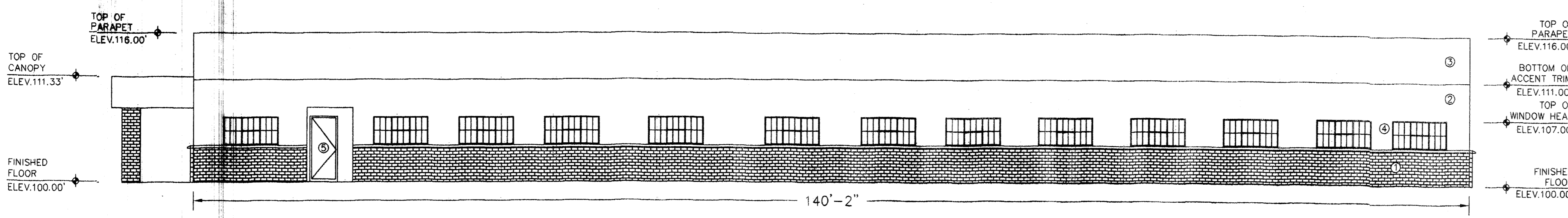
NORTH ELEVATION

Scale 1/8"=1'-0"



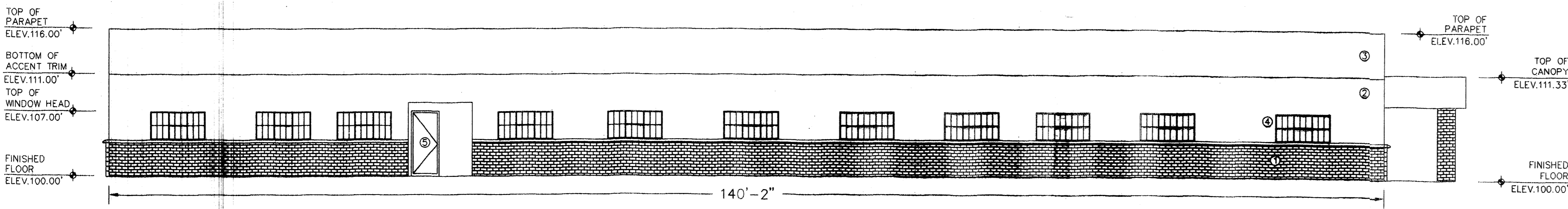
SOUTH ELEVATION

Scale 1/8"=1'-0"



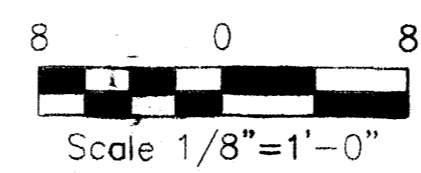
WEST ELEVATION

Scale 1/8"=1'-0"



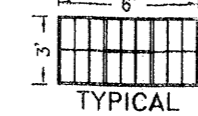
EAST ELEVATION

Scale 1/8"=1'-0"

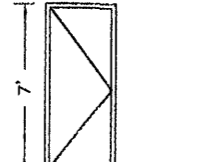
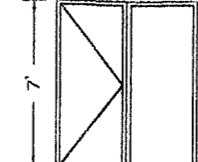


KEYED NOTES

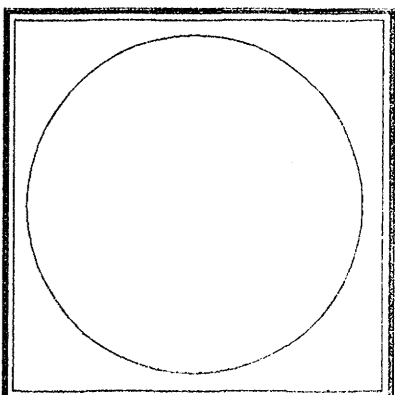
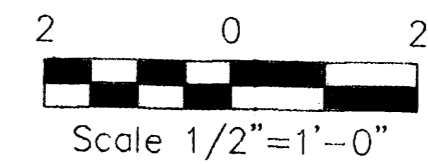
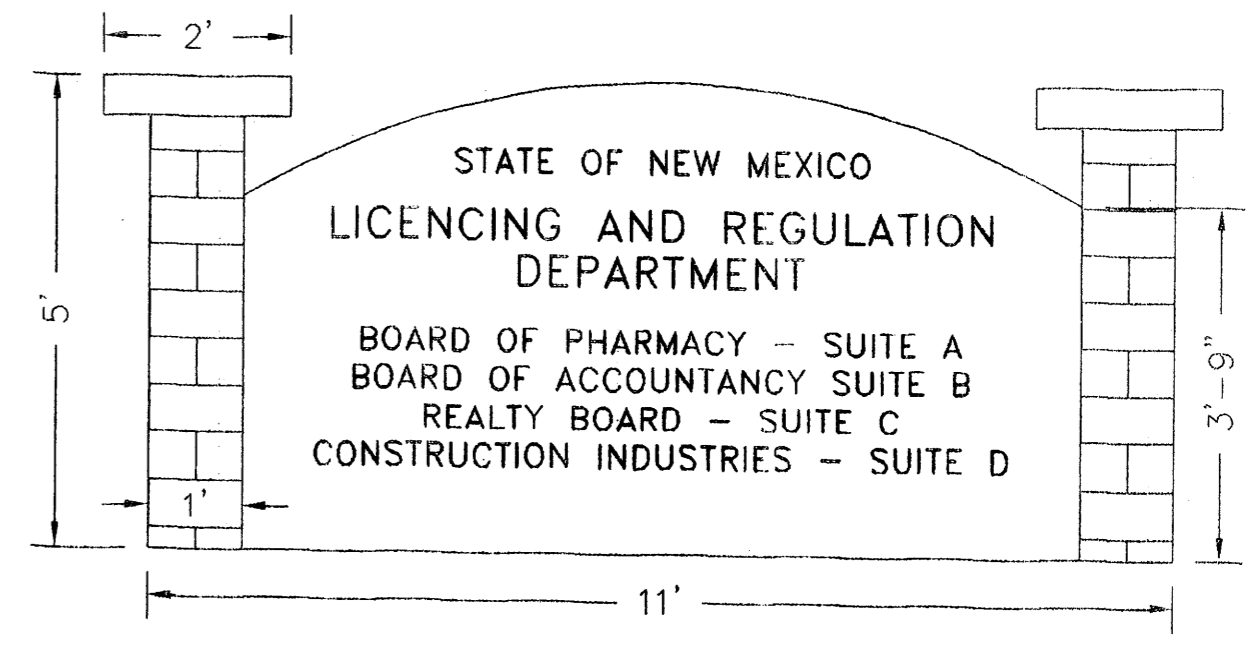
- ① SPLIT FACE CMU, LIGHT EARTH TONE
- ② 2 COAT SYNTHETIC STUCCO, EARTH TONE
- ③ 2 COAT SYNTHETIC STUCCO, DARK EARTH TONE
- ④ DOUBLE PANE WHITE ALUMINUM STORE-FRONT WINDOWS WITH MULLIONS



- ⑤ DOUBLE PANE TYPICAL WHITE ALUMINUM STORE-FRONT DOUBLE OR SINGLE AUTOMATIC DOORS



SIGNAGE
 SINGLE CURB-SIDE PEDESTAL SIGN MATCHING STUCCO
 COLOR OF BUILDING
 THE SIGN WILL NOT BE LIT
 SIGN FACE AREA = 41.4 S.F.



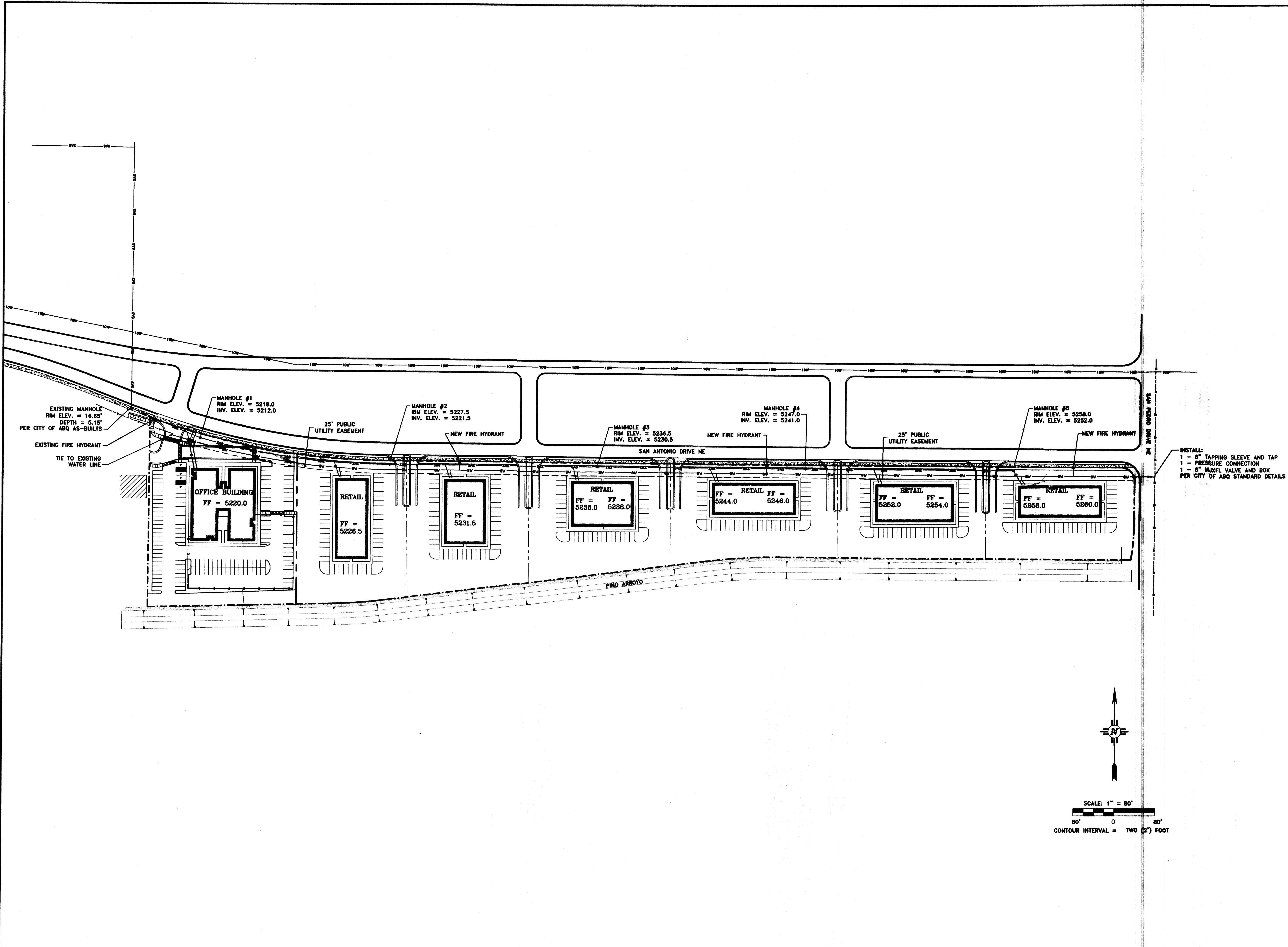
JOB NO.	
DATE:	5 February 2003
REVISIONS	

Sheet Title
ELEVATIONS
 Drawn By: J. PIOTROWICZ
 Checked By: T. OTT

TIM OTT / DEVELOPER
 PO BOX 35981
 ALBUQUERQUE, N.M. 87176
 (505) 250-4675

Project Name
R & L BUILDING
 ALBUQUERQUE, NEW MEXICO

SHEET NO.
ELEV



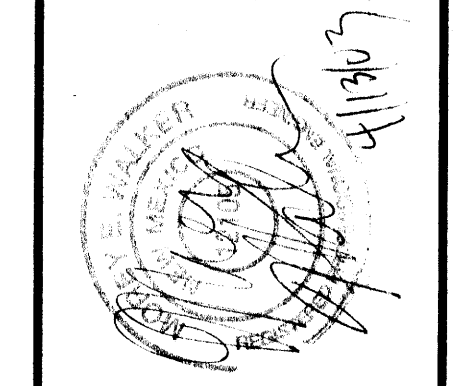
Civil Engineering • Water Resources • Traffic Engineering
W. E. Walker Engineering
 905 Camino Sierra Vista, • Santa Fe, NM 87501
 505-820-7990
 FAX 505-820-3639
 E-MAIL civil@walkerengineering.net

No.	REVISION	BY	APP.	DATE

PROJECT: 02-224
 FILE: 02-224
 DATE: 5/9/03

DESIGNED BY: A.E.R.
 DRAWN BY: C.D.A.
 CHECKED BY: M.E.V.

SCALE: AS NOTED



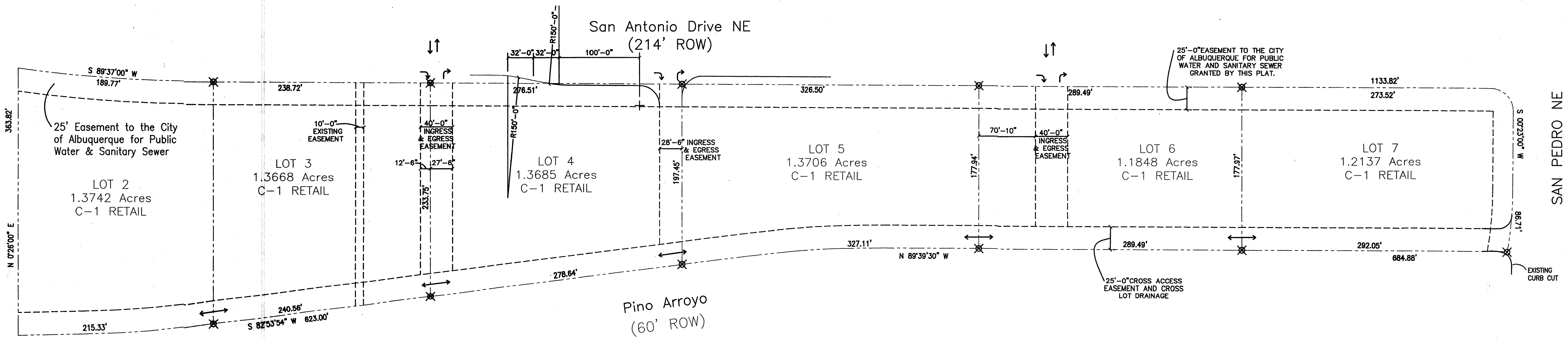
PROJECT: TRACT A-3-B
 STATE OFFICE BUILDING
 SHEET TITLE: MASTER UTILITY PLAN

CITY REVIEW	SIGN-OFF	DATE
DEPARTMENT		
WATER/MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		
FIRE DEPARTMENT		

CITY USE ONLY

SHEET NO.
C-2

SEE APPROVED SITE PLAN FOR SUBDIVISION PROJECT NO. 1002455 CONTINUATION



AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

SCALE: 1"=60'-0"



"The subject property is located on an existing landfill. Due to the subject property being on a landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within City - Designated Landfill Buffer Zones") shall be consulted prior to development of the site."

LEGAL DESCRIPTION

LOTS 2 THRU 7
JJ SUBDIVISION
BEING A REPLAT OF TRACT A-3-B,
J GROUP ADDITION, TRACT 1,
NEW HEART CENTER & TRACT 1,
NORTHSIDE SUBDIVISION

WITHIN PROJECTED SECTION 25
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO

NOTES: LOTS 2 THRU 7

BUILDING HEIGHT NOT TO EXCEED 34 FT.
MAXIMUM FLOOR-AREA RATION: 20.0%
BUILDING MINIMUM SETBACKS:
FRONT: 25.0 FT
SIDE: 5.0 FT
REAR: 5.0 FT

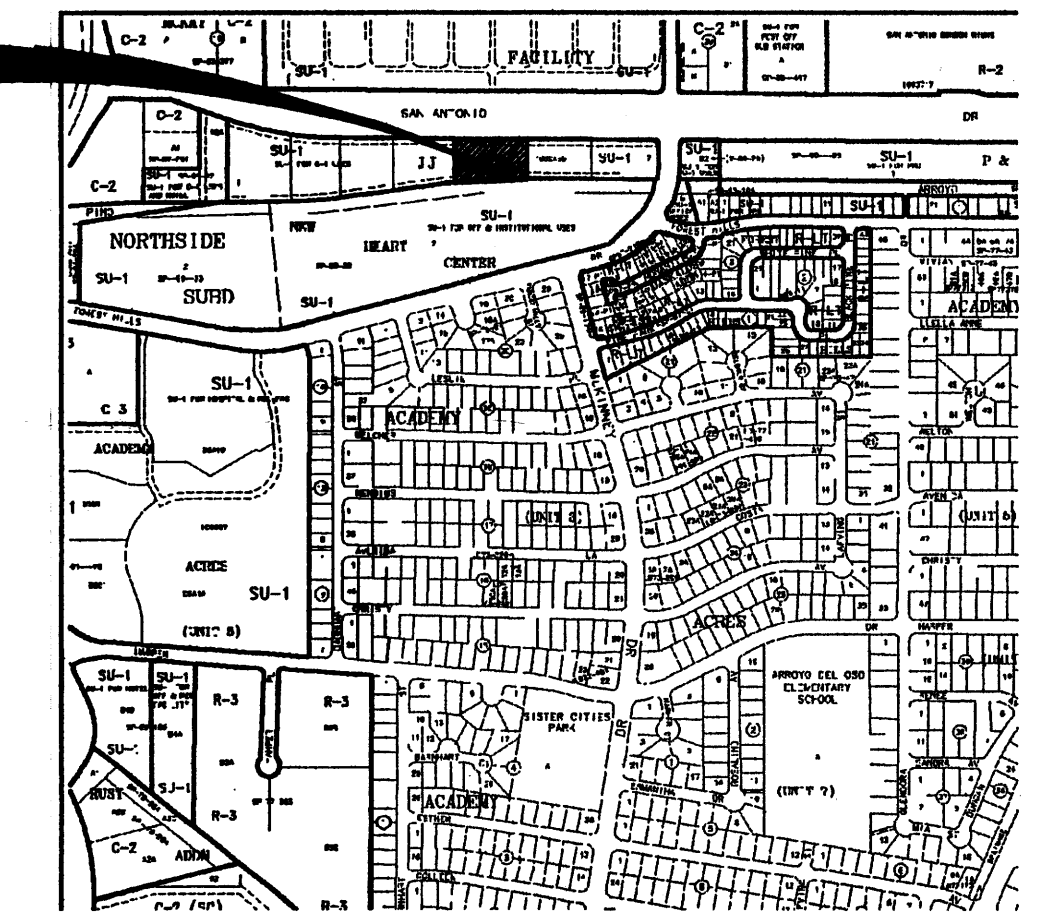
TRAFFIC FLOW NOTES

- TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- RIGHT TURN ONLY INTO LOT
- RIGHT TURN ONLY OUT OF LOT
- TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW

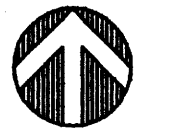
GENERAL DESIGN CRITERIA:

1. ALL STRUCTURES ON LOTS WILL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
2. DESIGN OF BUILDING SHALL BE A COMPATIBLE STYLE, MATERIALS AND COLORS THROUGHOUT LOTS 2-7.
3. PARKING WILL NOT EXCEED THE REQUIRED PLUS 10%.
4. ACCESSIBLE (ADA) COMPLIANT PARKING WILL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY, AND REQUIRED PARKING SHALL BE DISTRIBUTED ON AT LEAST TWO SIDES OF A BUILDING.
5. ALL SIDEWALKS WILL HAVE A MINIMUM OF 6 FEET CLEAN WALKWAY AREA PROTECTED BY PERMANENT CAR STOPS.
6. FRONT ENTRY SIDEWALK AREAS WILL BE COVERED OR SHADED BY TREES.
7. ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS AND THRU VEHICULAR AREAS.
8. PATIO AREAS FOR EMPLOYEES WILL BE PROVIDED AND SHADED.
9. BICYCLE RACKS WILL BE PROVIDED PER COA CODE.
10. ALL LANDSCAPING WILL BE PER COA CODE. NO GREATER THAT 20% OF LANDSCAPED AREA WILL BE LOW WATER USE AND ALL APPLICABLE WATER CONSERVATIONS MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION WILL BE ADHERED TO. 80% MINIMUM GROUND COVERAGE WITH LOW WATER USE OF NATIVE PLANTS.
11. PERIMETER WALLS WILL COMPLY WITH PLANNING DEPARTMENT GUIDELINES AT TIME OF BUILDING PERMIT APPLICATION NOT TO EXCEED 3'-4" HIGH.
12. ALL ROOF TOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS WILL MATCH STRUCTURE OR ROOF COLOR.
13. FRONT FACADES WILL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TRESS PLANTED IN A MANNER TO SHADE THERE ENTIRE FRONT FACADE OF THE STRUCTURE.
14. LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
15. ALL REFUSE ENCLOSURES WILL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
16. MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN WILL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
17. BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
18. SITE AND BUILDING LIGHTING WILL COMPLY WITH COA CODES AND REGULATIONS, FULLY SHIELDED, ONE DESIGN TYPE, FOOTING SHALL MATCH STUCCO COLOR, AND 18'-0" HIGH MAXIMUM.
19. 3'-0" HIGH BOLLARD ILLUMINATION (AT LEAST ONE) AT CURB RAMPS ENTERING A CROSSWALK, BE ONE DESIGN TYPE, FULLY SHIELDED.
20. ALL CROSSWALKS TO BE TEXTURED WITH COLORED CONCRETE OR BRICK PAVING.

SITE LOCATION



LOCATION MAP
ZONE ATLAS: E-18-Z



PROJECT NUMBER: 1002455
APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATE _____ AND THE FINDING S AN CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
UTILITIES DEVELOPMENT	DATE _____
PARKS AND RECREATIONAL DEPARTMENT	DATE _____
CITY ENGINEER	DATE _____
ENVIRONMENTAL HEALTH DEPARTMENT	DATE _____
SOLID WASTE MANAGEMENT	DATE _____
DRB/CHAIRPERSON, PLANNING DEPARTMENT	DATE _____

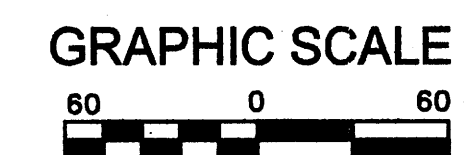
AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

1"=60'-0"

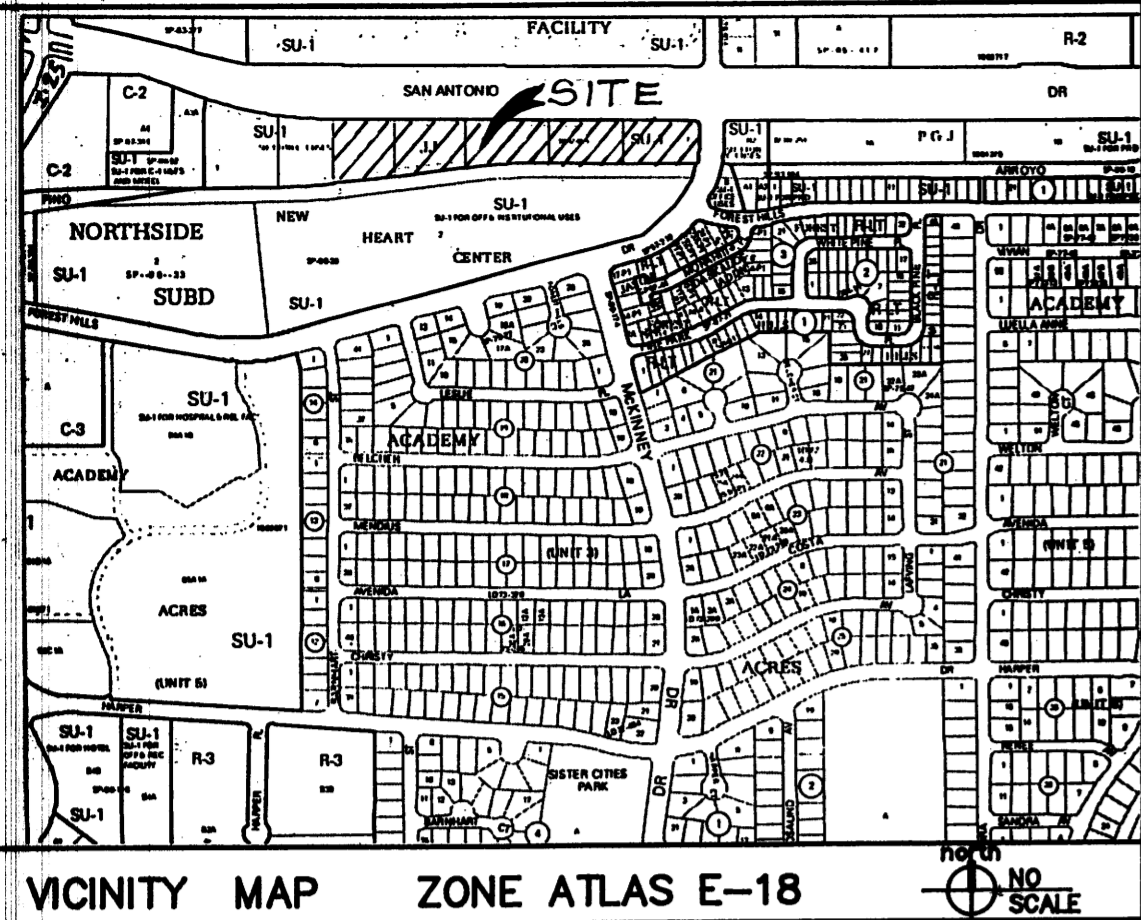
AFRA Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.315.1482

SAN ANTONIO
ALBUQUERQUE, NM

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			



SP-1
11.15.06



PLAT FOR
LOT 3-A THROUGH LOT 7-A
JJ SUBDIVISION
 WITHIN THE ELENA GALLEGOS GRANT
 PROJECTED SECTION 25, T11N, R3E, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2007
 SHEET 1 OF 2

PROJECT NO. 1002455

APPROVALS: _____
 CITY SURVEYOR *[Signature]* DATE 2-12-07

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 PARKS & RECREATION DEPARTMENT _____ DATE _____
 UTILITIES DEVELOPMENT DIVISION _____ DATE _____
 A.M.A.F.C.A. _____ DATE _____
 CITY ENGINEER _____ DATE _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____
 REAL PROPERTY DIVISION _____ DATE _____
 ENVIRONMENTAL HEALTH DEPARTMENT _____ DATE _____

MASTER LANDFILL GAS EVALUATION AND ABATEMENT SYSTEM PLAN NOTE:
 As a condition of this subdivision plat approval by the City, owner, its successors and assigns, covenants and agrees to install a landfill gas monitoring well(s) and extraction system on the property, pursuant to that certain Master Landfill Gas Evaluation and Abatement System Plan for the proposed Subdivision at I-25 and San Antonio Boulevard, Lots A-3-B 1 thru 7 (now known as Lots 1 through 7, JJ Subdivision), Albuquerque, New Mexico, dated July 18, 2003 prepared by Lawrence Earth Engineering, Larry M. Coons, P.E. (the "Master Landfill Gas Evaluation and Abatement System Plan") and incorporated herein by reference. The landfill gas monitoring well(s) and extraction system shall be installed on a lot by lot basis as defined in the Master Landfill Gas Extraction and Abatement System Plan for any individual lot at the time of and as a condition to Site Development Plan approval, Design Review approval by the City's Design Review Committee or building permit approval, whichever occurs sooner.

The obligation of the owner, its successors and assigns, of an individual lot to install landfill gas monitoring well(s) and extraction system shall include the obligation to monitor well(s) on a periodic basis as approved by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan on file at the City's Environmental Health Department and incorporated herein by reference and initiating the start up, operation and maintenance of the extraction system, as required by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan.

This paragraph shall in its entirety constitute a covenant running with the title to each individual lot of the property as shown on this Plat shall be binding on the owner, its successors and assigns, of each individual lot for the benefit of the City until terminated.

(Above language by Assistant City Attorney, City of Albuquerque)

"The subject property is located (near, on) a (former, existing) landfill. Due to the subject property being (on, near) a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 feet of Landfills") shall be consulted prior to development of the site."

UTILITY EASEMENTS:
 This plat does not modify or vacate existing public utility easements, nor does it create or grant new public utility easements.

INGRESS/EGRESS EASEMENTS GRANTED BY THIS PLAT:
 The new Ingress and Egress easements created and granted by this plat are for the benefit of Lots 3-A through 7-A of the subject JJ Subdivision. Individual lot owners are responsible for the maintenance of the portion of said easements lying within said owners individual lot.

DISCLOSURE STATEMENT:
 THE PURPOSE OF THIS PLAT IS TO VACATE EXISTING EASEMENTS; GRANT ADDITIONAL ACCESS EASEMENTS, AND DEDICATE ADDITIONAL RIGHT-OF-WAY FOR SAN ANTONIO DRIVE N.E.. THIS PLAT DOES NOT FURTHER ALTER ORIGINAL LOT LINES.

LEGAL DESCRIPTION:
 LOTS NUMBERED THREE (3) THROUGH SEVEN (7), INCLUSIVE, OF "JJ SUBDIVISION", AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 21, 2004 IN PLAT BOOK 2004C, FOLIO 158.

OWNERS' CONSENT, GRANT AND ACKNOWLEDGEMENT:
 THE UNDERSIGNED OWNERS OF THE LAND SHOWN AND DESCRIBED HEREON STATE THAT THIS PLAT IS EXECUTED WITH THEIR FREE CONSENT AND IS IN ACCORDANCE WITH THEIR WISHES. SAID OWNERS DO HEREBY GRANT THE EASEMENTS SHOWN FOR THE PURPOSES STATED, AND DEDICATE THE ADDITIONAL RIGHT-OF WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER: SAN ANTONIO PROPERTIES, LLC
[Signature]
 JEFFERY RUBIN, MANAGING PARTNER

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss
 ON THIS 8th DAY OF February 2007, THIS INSTRUMENT WAS EXECUTED BEFORE ME BY JEFFERY RUBIN AS HIS FREE ACT AND DEED.

NOTARY PUBLIC: *[Signature]* MY COMMISSION EXPIRES: 8-14-07

- PLAT NOTES:**
- BEARINGS ARE NM S.P.C.S. GRID BEARINGS. DISTANCES ARE GROUND DISTANCES.
 - UTILITY COUNCIL LOCATION SYSTEM LOG NO. 2007022819.
 - ALL EASEMENTS SHOWN ON THE RECORD PLAT OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS, UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST, ARE SHOWN HEREON.
 - AREA OF SUBDIVISION IS 6.5044 ACRES.
 - CLERKS' INDEXING INFO:
 OWNER: SAN ANTONIO PROPERTIES, LLC
 LOCATION: PROJ. SEC. 25, T11N, R3E, NMPM

BERNALILLO COUNTY TREASURER'S CERTIFICATE:
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:

LOT NO.	UPC	PROPERTY OWNER OF RECORD
3	101806213150020142	_____
4	101806215850220143	_____
5	101806218850320144	_____
6	101806221950320146	_____
7	101806224750220147	_____

BERNALILLO COUNTY TREASURER'S OFFICE:
 By: _____ Date: _____

SURVEYOR'S CERTIFICATION:
 I, REX J. VOGLER, A PROFESSIONAL SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, CERTIFIES THAT THIS PLAT AND THE FIELD SURVEY ON WHICH IT IS BASED WAS PREPARED BY ME AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYING IN NEW MEXICO AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

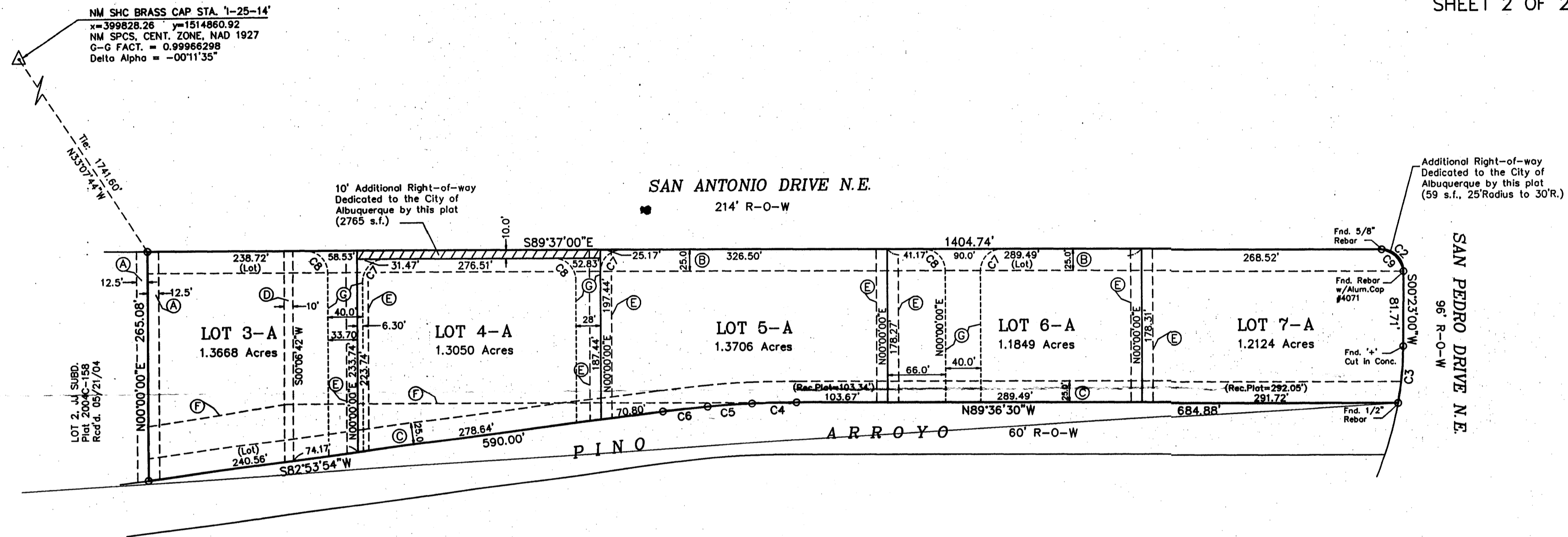
[Signature]
 REX J. VOGLER
 NM PS #10466

Jan 29 2007
 DATE

RIO GRANDE SURVEYING CO., PC
 P.O. BOX 7155 ABQ, NM 87194
 PHONE & FAX (505) 764-8881



PLAT FOR
LOT 3-A THROUGH LOT 7-A
JJ SUBDIVISION
 WITHIN THE ELENA GALLEGOS GRANT
 PROJECTED SECTION 25, T11N, R3E, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2007
 SHEET 2 OF 2



KEYED EASEMENT NOTES: ○

EXISTING EASEMENTS, NOT ALTERED BY THIS PLAT:

- A Existing 12.5' Ingress and Egress Easement, granted by the record plat, 2004C-158, 05/21/04. This plat retains said easement without modification.
- B Existing 25' C.O.A. Public Water & Sanitary Sewer Easement, granted by the record plat, 2004C-158, 05/21/04. This plat retains said easement without modification.
- C Existing 25' Cross-access, Cross-lot Drainage, and Public Utility Easement, granted by the record plat, 2004C-158, 05/21/04. This plat retains said easement without modification.
- D Existing 10' PNM Easement, granted by Doc. rcd'd. 7/12/88, Bk. Ms. 842A, Pg. 522 and shown on the record plat, 2004C-158, 05/21/04. This plat retains said easement without modification.
- F Existing remnant Blanket Easement for Access and Utilities, granted by plat 91C-245, 11/01/91. This plat retains said easement without modification.

EXISTING EASEMENTS, VACATED BY THIS PLAT:

- E Existing 12.5' Ingress and Egress Easement (private), granted by the record plat, 2004C-158, 05/21/04. Said easement is vacated by this plat: _____

NEW EASEMENTS CREATED BY THIS PLAT:

- G New Ingress and Egress Easement granted by this plat, width and dimensions as shown. (See Ingress/Egress Easement Note to the right)

PUBLIC UTILITY EASEMENTS:

This plat does not modify or vacate existing public utility easements, nor does it create or grant new public utility easements.

INGRESS/EGRESS EASEMENTS GRANTED BY THIS PLAT:

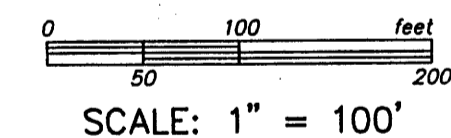
The new Ingress and Egress easements created and granted by this plat are for the benefit of Lots 3-A through 7-A of the subject JJ Subdivision. Individual lot owners are responsible for the maintenance of the portion of said easements lying within said owners individual lot.

PROPERTY CORNERS:

Unless noted otherwise, all property corners will be marked by a 5/8" rebar with yellow plastic cap stamped 'PS 10466'.

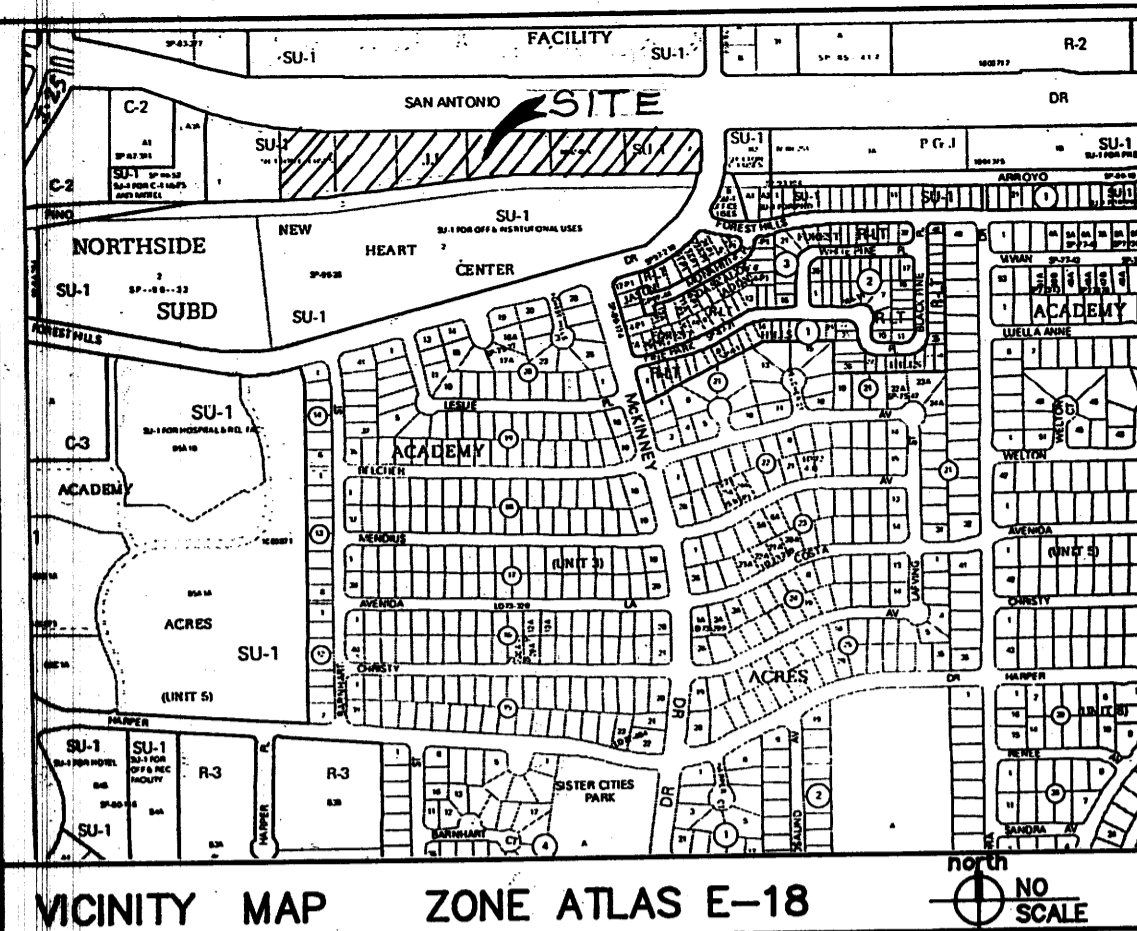
SOLAR ACCESS NOTE:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT. THE FOREGOING SHALL BE A CONDITION OF APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.



CURVE DATA TABLE:

NO.	RADIUS	DELTA	ARC	CHD.	BRG.
C2	25.00'	90°00'00"	39.27'	35.36'	S44°37'00"E
C3	698.90'	09°37'04"	66.96'	66.87'	S05°11'31"W
C4	1537.50'	01°54'33"	51.23'	51.23'	S89°26'13"W
C5	787.50'	03°40'29"	50.51'	50.50'	S86°38'56"W
C6	1537.50'	01°54'33"	51.23'	51.23'	S83°51'11"W
C7	25.00'	90°23'00"	39.44'	35.47'	N45°11'30"E
C8	25.00'	89°37'00"	39.10'	35.24'	N44°48'30"W
C9	30.00'	90°00'00"	47.12'	42.43'	S44°37'00"E



OWNER'S CONSENT AND ACKNOWLEDGEMENT:

The undersigned owner of the land shown and described hereon state that this plat is executed with their free consent and is in accordance with his wishes. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

Owner: Timothy M. Ott (Lot 2)

Timothy M. Ott

State of New Mexico)
County of Bernalillo) ss

On this _____ day of _____, 20____ this instrument was executed before me by
Timothy M. Ott as his free act and deed.

Notary Public: _____ My commission expires _____

PLAT FOR
LOT 2-A THROUGH LOT 7-A
JJ SUBDIVISION
WITHIN THE ELENA GALLEGOS GRANT
PROJECTED SECTION 25, T11N, R3E, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2007
SHEET 1 OF 2

PROJECT NO. 1002455

APPLICATION NO. _____

APPROVALS:

	2-12-07
CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
UTILITIES DEVELOPMENT DIVISION	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE

MASTER LANDFILL GAS EVALUATION AND ABATEMENT SYSTEM PLAN NOTE:

As a condition of this subdivision plat approval by the City, owner, its successors and assigns, covenants and agrees to install a landfill gas monitoring well(s) and extraction system on the property, pursuant to that certain Master Landfill Gas Evaluation and Abatement System Plan for the proposed Subdivision at I-25 and San Antonio Boulevard, Lots A-3-B 1 thru 7 (now known as Lots 1 through 7, JJ Subdivision), Albuquerque, New Mexico, dated July 18, 2003 prepared by Lawrence Earth Engineering, Larry M. Coons, P.E. (the "Master Landfill Gas Evaluation and Abatement System Plan") and incorporated herein by reference. The landfill gas monitoring well(s) and extraction system shall be installed on a lot by lot basis as defined in the Master Landfill Gas Extraction and Abatement System Plan for any individual lot at the time of and as a condition to Site Development Plan approval, Design Review approval by the City's Design Review Committee or building permit approval, whichever occurs sooner.

The obligation of the owner, its successors and assigns, of an individual lot to install landfill gas monitoring well(s) and extraction system shall include the obligation to monitor well(s) on a periodic basis as approved by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan on file at the City's Environmental Health Department and incorporated herein by reference and initiating the start up, operation and maintenance of the extraction system, as required by the City as detailed in the Master Landfill Gas Evaluation and Abatement System Plan.

This paragraph shall in its entirety constitute a covenant running with the title to each individual lot of the property as shown on this Plat shall be binding on the owner, its successors and assigns, of each individual lot for the benefit of the City until terminated.

(Above language by Assistant City Attorney, City of Albuquerque)

"The subject property is located (near, on) a (former, existing) landfill. Due to the subject property being (on, near) a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 feet of Landfills") shall be consulted prior to development of the site."

UTILITY EASEMENTS:

This plat does not modify or vacate existing public utility easements, nor does it create or grant new public utility easements.

INGRESS/EGRESS EASEMENTS GRANTED BY THIS PLAT:

The new Ingress and Egress easements created and granted by this plat are for the benefit of Lots 1 through 7-A of the subject JJ Subdivision. Individual lot owners are responsible for the maintenance of the portion of said easements lying within said owners individual lot.

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO VACATE EXISTING EASEMENTS; GRANT ADDITIONAL ACCESS EASEMENTS, AND DEDICATE ADDITIONAL RIGHT-OF-WAY FOR SAN ANTONIO DRIVE N.E.. THIS PLAT DOES NOT FURTHER ALTER ORIGINAL LOT LINES.

LEGAL DESCRIPTION:

LOTS NUMBERED TWO (2) THROUGH SEVEN (7), INCLUSIVE, OF "JJ SUBDIVISION", AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 21, 2004 IN PLAT BOOK 2004C, FOLIO 15B.

BERNALILLO COUNTY TREASURER'S CERTIFICATE:

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:

LOT NO.	UPC	PROPERTY OWNER OF RECORD
2		
3	101806213150020142	
4	101806215850220143	
5	101806218850320144	
6	101806221950320146	
7	101806224750220147	

BERNALILLO COUNTY TREASURER'S OFFICE:

By: _____ Date: _____

OWNERS' CONSENT, GRANT AND ACKNOWLEDGEMENT:

THE UNDERSIGNED OWNERS OF THE LAND SHOWN AND DESCRIBED HEREON STATE THAT THIS PLAT IS EXECUTED WITH THEIR FREE CONSENT AND IS IN ACCORDANCE WITH THEIR WISHES. SAID OWNERS DO HEREBY GRANT THE EASEMENTS SHOWN FOR THE PURPOSES STATED, AND DEDICATE THE ADDITIONAL RIGHT-OF WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER: SAN ANTONIO PROPERTIES, LLC

JEFFERY RUBIN, MANAGING PARTNER

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss

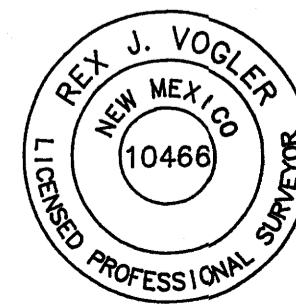
ON THIS 8th DAY OF February 2007, THIS INSTRUMENT WAS EXECUTED BEFORE ME BY JEFFERY RUBIN AS HIS FREE ACT AND DEED.

NOTARY PUBLIC: MY COMMISSION EXPIRES: 8-14-07

SURVEYOR'S CERTIFICATION:

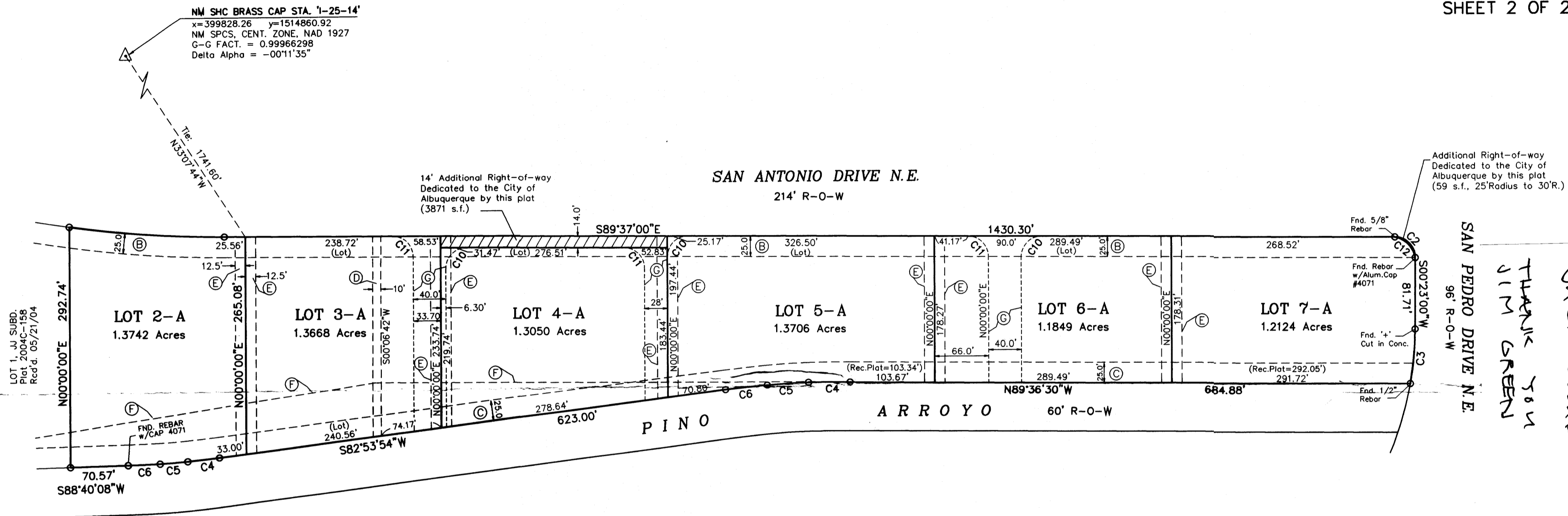
I, REX J. VOGLER, A PROFESSIONAL SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, CERTIFIES THAT THIS PLAT AND THE FIELD SURVEY ON WHICH IT IS BASED WAS PREPARED BY ME AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYING IN NEW MEXICO AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REX J. VOGLER
NM PS #10466
DATE: Jan. 29, 2007



RIO GRANDE SURVEYING CO., PC
P.O. BOX 7155 ABQ, NM 87194
PHONE & FAX (505) 764-8891

PLAT FOR
LOT 2-A THROUGH LOT 7-A
JJ SUBDIVISION
 WITHIN THE ELENA GALLEGOS GRANT
 PROJECTED SECTION 25, T11N, R3E, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2007
 SHEET 2 OF 2



NM SHC BRASS CAP STA. 1-25-14'
 x=399828.26 y=1514860.92
 NM SPCS, CENT. ZONE, NAD 1927
 G-G FACT. = 0.999966298
 Delta Alpha = -00°11'35"

Additional Right-of-way
 Dedicated to the City of
 Albuquerque by this plat
 (59 s.f., 25' Radius to 30'R.)

06-09-08
 PROP. 1.00 2455
 2ND DWG. OF
 PLAT - REBARS &
 POUNDS.
 to:
 JACK CLAUD
 THANK YOU
 JIM GREEN

KEYED EASEMENT NOTES: ○

EXISTING EASEMENTS, NOT ALTERED BY THIS PLAT:

- B Existing 25' C.O.A. Public Water & Sanitary Sewer Easement, granted by the record plat, 2004C-158, 05/21/04. This plat retains said easement without modification.
- C Existing 25' Cross-access, Cross-lot Drainage, and Public Utility Easement, granted by the record plat, 2004C-158, 05/21/04. This plat retains said easement without modification.
- D Existing 10' PNM Easement, granted by Doc. rcd'd. 7/12/88, Bk. Ms. 842A, Pg. 522 and shown on the record plat, 2004C-158, 05/21/04. This plat retains said easement without modification.
- F Existing remnant Blanket Easement for Access and Utilities, granted by plat 91C-245, 11/01/91. This plat retains said easement without modification.

EXISTING EASEMENTS, VACATED BY THIS PLAT:

- E Existing 12.5' Ingress and Egress Easement (private), granted by the record plat, 2004C-158, 05/21/04. Said easement is vacated by this plat: _____

NEW EASEMENTS CREATED BY THIS PLAT:

- G New Ingress and Egress Easement granted by this plat, width and dimensions as shown. (See Ingress/Egress Easement Note to the right)

PUBLIC UTILITY EASEMENTS:

This plat does not modify or vacate existing public utility easements, nor does it create or grant new public utility easements.

INGRESS/EGRESS EASEMENTS GRANTED BY THIS PLAT:

The new Ingress and Egress easements created and granted by this plat are for the benefit of Lot 1 and Lots 2-A through 7-A of the subject JJ Subdivision.

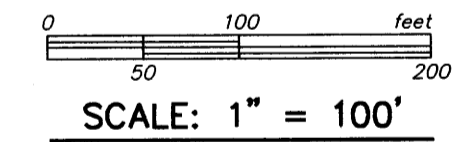
Individual lot owners are responsible for the maintenance of the portion of said easements lying within said owners individual lot.

PROPERTY CORNERS:

Unless noted otherwise, all property corners will be marked by a 5/8" rebar with yellow plastic cap stamped 'PS 10466'.

SOLAR ACCESS NOTE:

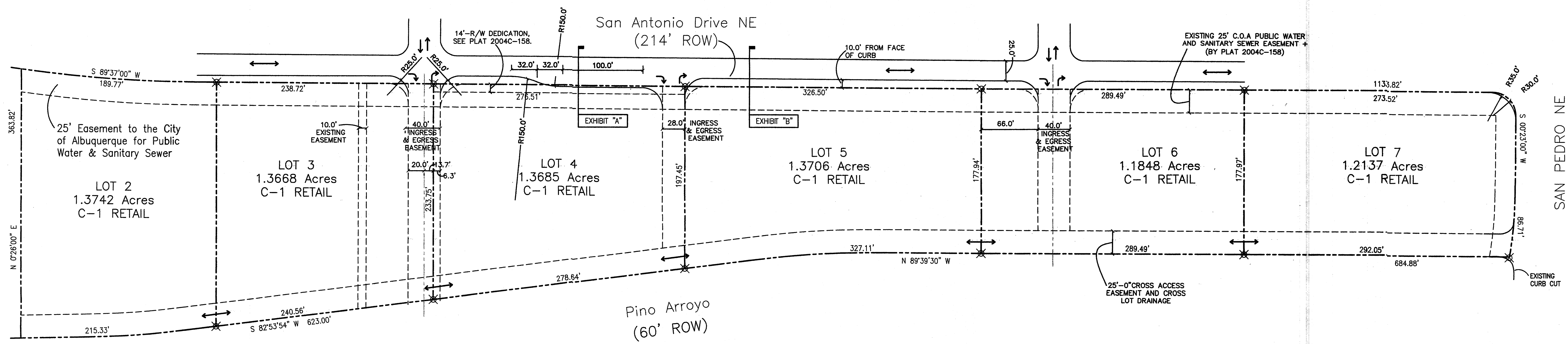
NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT. THE FOREGOING SHALL BE A CONDITION OF APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.



CURVE DATA TABLE:

NO.	RADIUS	DELTA	ARC	CHD.	BRG.
C1	486.25'	07°26'14"	189.77'	189.64'	S85°53'53"E
C2	25.00'	90°00'00"	39.27'	35.36'	S44°37'00"E
C3	698.90'	09°37'04"	66.96'	66.87'	S05°11'31"W
C4	1537.50'	01°54'33"	51.23'	51.23'	S89°26'13"W
C5	787.50'	03°40'29"	50.51'	50.50'	S86°38'56"W
C6	1537.50'	01°54'33"	51.23'	51.23'	S83°51'11"W
C7	1462.50'	01°31'40"	39.00'	39.00'	S83°39'44"W
C8	712.50'	02°42'54"	33.76'	33.76'	S85°47'01"W
C9	1462.50'	01°31'40"	39.00'	39.00'	S87°54'18"W
C10	25.00'	90°23'00"	39.44'	35.47'	N45°11'30"E
C11	25.00'	89°37'00"	39.10'	35.24'	N44°48'30"E
C12	30.00'	90°00'00"	47.12'	42.43'	S44°37'00"E

SEE APPROVED SITE PLAN FOR SUBDIVISION PROJECT NO. 1002455 CONTINUATION



AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

SCALE: 1"=60'-0"



LEGAL DESCRIPTION

LOTS 2 THRU 7
JJ SUBDIVISION
BEING A REPLAT OF TRACT A-3-B,
J GROUP ADDITION, TRACT 1,
NEW HEART CENTER & TRACT 1,
NORTHSIDE SUBDIVISION

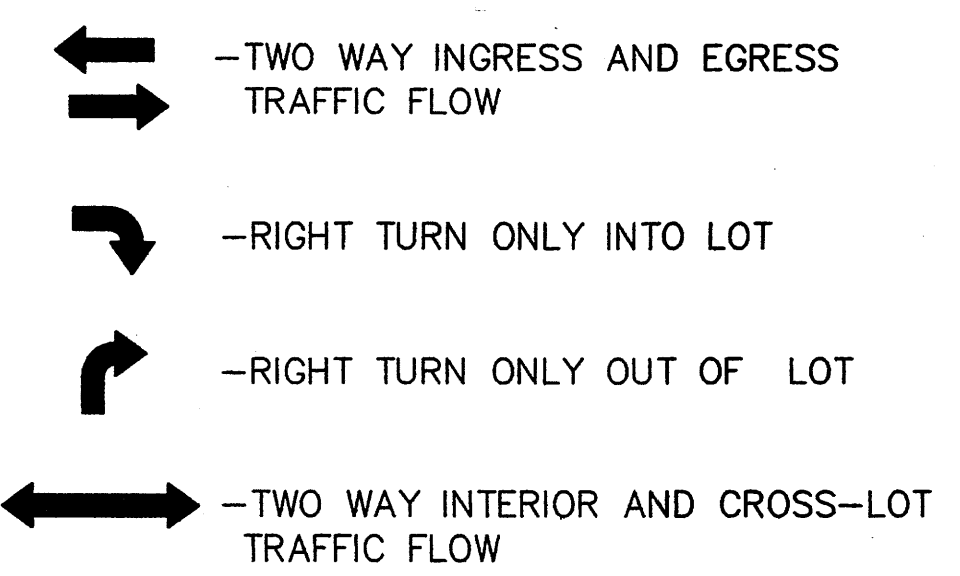
WITHIN PROJECTED SECTION 25
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO

NOTES: LOTS 2 THRU 7

BUILDING HEIGHT NOT TO EXCEED 34 FT.
MAXIMUM FLOOR-AREA RATION: 20.0%
BUILDING MINIMUM SETBACKS:
FRONT: 25.0 FT
SIDE: 5.0 FT
REAR: 5.0 FT

TRAFFIC FLOW NOTES



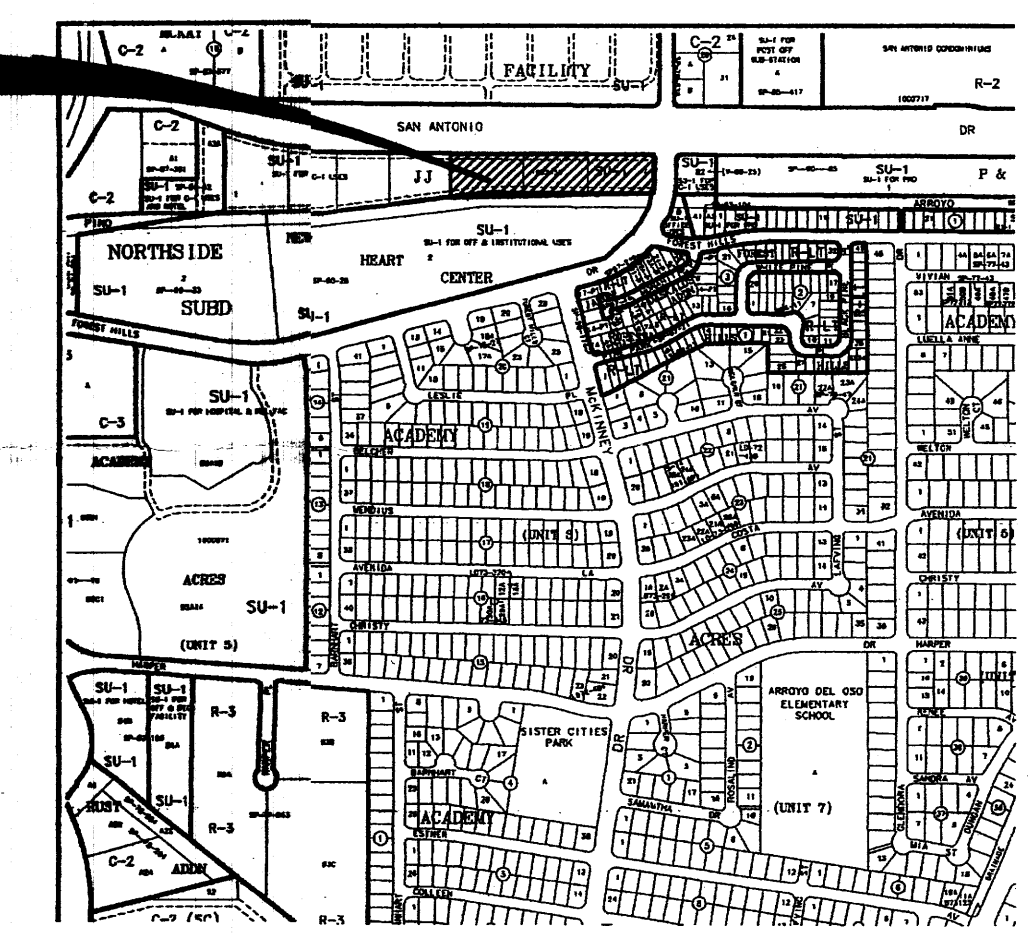
GENERAL DESIGN CRITERIA:

- ALL STRUCTURES ON LOTS WILL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
- DESIGN OF BUILDING SHALL BE A COMPATIBLE STYLE, MATERIALS AND COLORS THROUGHOUT LOTS 2-7.
- PARKING WILL NOT EXCEED THE REQUIRED PLUS 10%.
- ACCESSIBLE (ADA) COMPLIANT PARKING WILL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY, AND REQUIRED PARKING SHALL BE DISTRIBUTED ON AT LEAST TWO SIDES OF A BUILDING.
- ALL SIDEWALKS WILL HAVE A MINIMUM OF 6 FEET CLEAN WALKWAY AREA PROTECTED BY PERMANENT CAR STOPS.
- FRONT ENTRY SIDEWALK AREAS WILL BE COVERED OR SHADED BY TREES.
- ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS AND THRU VEHICULAR AREAS.
- PATIO AREAS FOR EMPLOYEES WILL BE PROVIDED AND SHADED.
- BICYCLE RACKS WILL BE PROVIDED PER COA CODE.
- ALL LANDSCAPING WILL BE PER COA CODE. NO GREATER THAT 20% OF LANDSCAPED AREA WILL BE LOW WATER USE AND ALL APPLICABLE WATER CONSERVATIONS MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION WILL BE ADHERED TO. 80% MINIMUM GROUND COVERAGE WITH LOW WATER USE OF NATIVE PLANTS.
- SCREEN WALLS WILL NOT TO EXCEED 3'-4" HIGH, AND SHALL MATCH STUCCO COLOR OF BUILDINGS.
- ALL ROOF TOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS WILL MATCH STRUCTURE OR ROOF COLOR.
- FRONT FACADES WILL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THERE ENTIRE FRONT FACADE OF THE STRUCTURE.
- LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
- ALL REFUSE ENCLOSURES WILL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
- MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN WILL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
- BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
- SITE AND BUILDING LIGHTING WILL COMPLY WITH COA CODES AND REGULATIONS, FULLY SHIELDED, ONE DESIGN TYPE, FOOTING SHALL MATCH STUCCO COLOR, AND 18'-0" HIGH MAXIMUM.
- 3'-0" HIGH BOLLARD ILLUMINATION (AT LEAST ONE) AT CURB RAMPS ENTERING A CROSSWALK, BE ONE DESIGN TYPE, FULLY SHIELDED.
- ALL CROSSWALKS TO BE TEXTURED WITH COLORED CONCRETE OR BRICK PAVING.

"The subject property is located on an existing landfill. Due to the subject property being on a landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within City - Designated Landfill Buffer Zones") shall be consulted prior to development of the site."

"THE DEVELOPERS OF THIS SITE ARE REQUIRED TO FOLLOW THE MOST CURRENT VERSION OF THE CITY OF ALBUQUERQUE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES. A REVIEW AND APPROVAL OF THE SITE PLAN(S), THE PROPOSED CONSTRUCTION, DESIGN DRAWINGS, AND A CERTIFICATION OF CONSTRUCTION WILL BE REQUIRED BY THE ENVIRONMENTAL HEALTH DEPARTMENT (EHD), ENVIRONMENTAL SERVICES DIVISION."

SITE LOCATION



LOCATION MAP
ZONE ATLAS: E-18-Z



PROJECT NUMBER: 1002455
APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATE _____ AND THE FINDING S AN CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATIONAL DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
SOLID WASTE MANAGEMENT	DATE
DRB/CHAIRPERSON, PLANNING DEPARTMENT	DATE

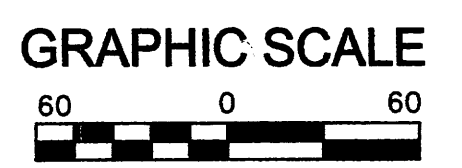
AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

1"=60'-0"

AFRA Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.998.3128
Tel 505.998.3129

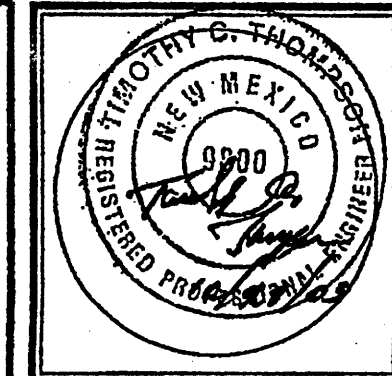
SAN ANTONIO OFFICE & RETAIL
ALBUQUERQUE, NM

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			



SD-1

6.9.08



APP NO:
DATE: 30 September 2003
REVISIONS

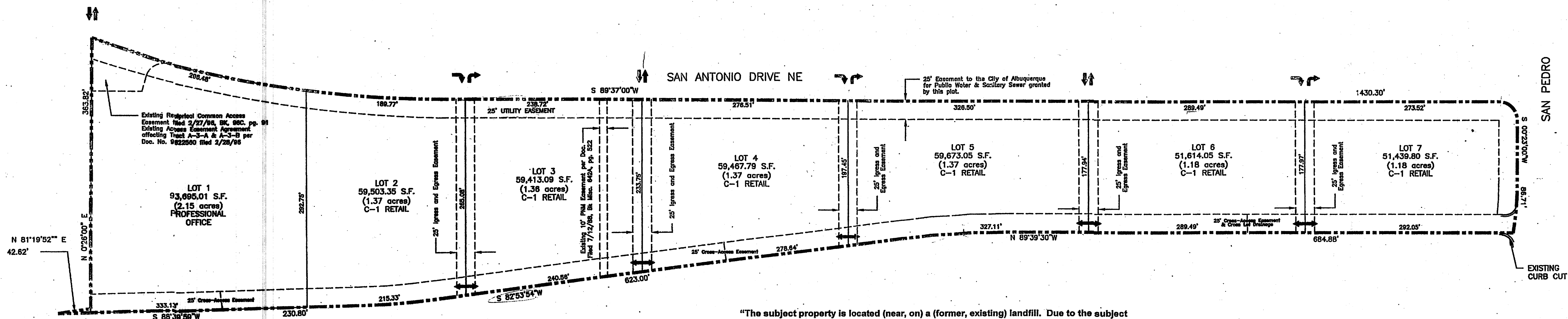
Sheet Title
SITE PLAN FOR SUBDIVISION
Checked By: MDA
Drawn By: RAR

TIM OTT / DEVELOPER
PO BOX 35981
ALBUQUERQUE, N.M. 87176
(505) 250-4675

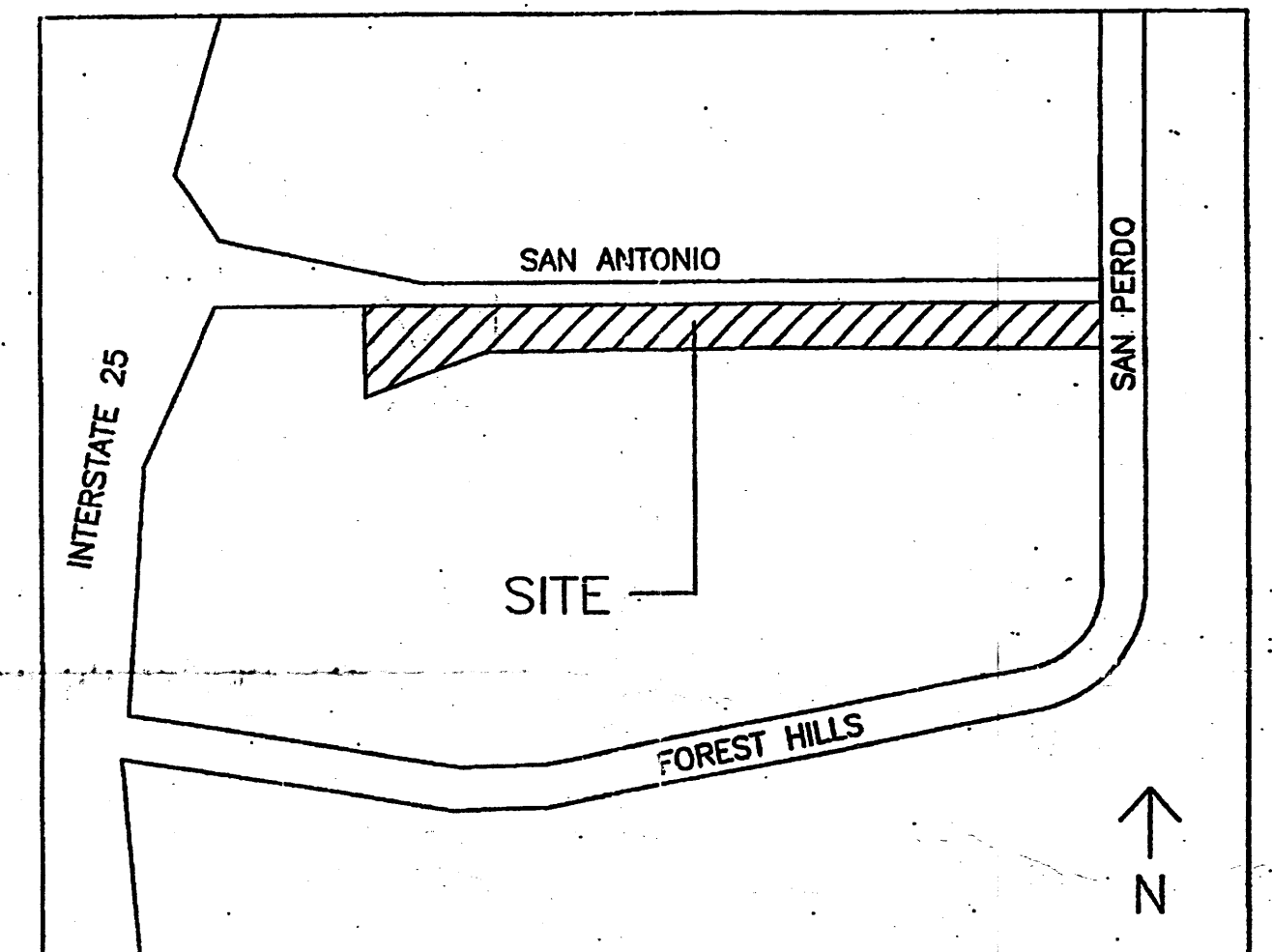
Project Name
J GROUP SUBDIVISION
ALBUQUERQUE, NEW MEXICO

SHEET NO.
SP

PROJECT# 1002455



"The subject property is located (near, on) a (former, existing) landfill. Due to the subject property being (on, near), a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 Feet of Landfills") shall be consulted prior to development of the site."



VICINITY MAP

LEGAL DESCRIPTION

LOTS 1 THRU 7
JJ SUBDIVISION
BEING A REPLAT OF TRACT A-3-B,
J GROUP ADDITION, TRACT 1,
NEW HEART CENTER & TRACT 1,
NORTHSIDE SUBDIVISION
WITHIN PROJECTED SECTION 25
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO

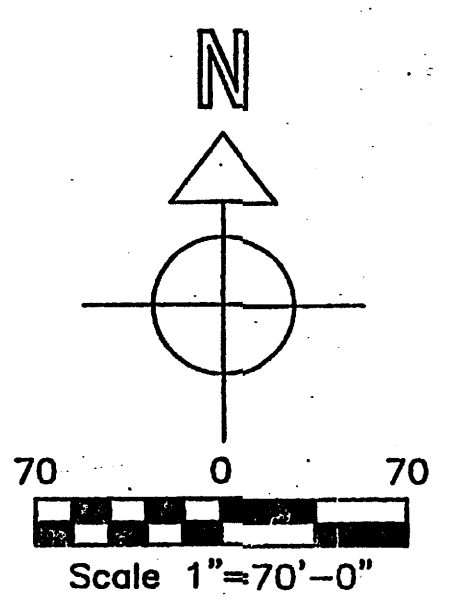
PROPOSED GENERAL DESIGN CRITERIA:

- ALL STRUCTURES ON LOTS WILL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
- EXTERIOR APPEARANCE OF STRUCTURES WILL BE AS DEPICTED ON SHEET.
- PARKING WILL NOT EXCEED THE REQUIRED PLUS 10%.
- NO MORE THAN 25% OF THE REQUIRED PARKING WILL BE LOCATED IN FRONT OF THE BUILDING BETWEEN THE BUILDING AND THE STREET.
- ADA-COMPLIANT PARKING WILL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY.
- ALL SIDEWALKS WILL HAVE A MINIMUM OF 6 FEET CLEAN TRAVEL AREA PROTECTED BY PERMANENT CAR STOPS.
- FRONT ENTRY SIDEWALK AREAS WILL BE COVERED OR SHADED BY TREES.
- ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS.
- PATIO AREAS FOR EMPLOYEES WILL BE PROVIDED AND SHADED.
- BICYCLE RACKS WILL BE PROVIDED PER COA CODE.
- ALL LANDSCAPING WILL BE PER COA CODE. NO GREATER THAN 20% OF LANDSCAPED AREA WILL BE HIGH WATER USE AND ALL APPLICABLE WATER CONSERVATION MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION WILL BE ADHERED TO.
- PERIMETER WALLS WILL COMPLY WITH PLANNING DEPARTMENT GUIDELINES AT TIME OF BUILDING PERMIT APPLICATION.
- ALL ROOFTOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS WILL MATCH STRUCTURE OR ROOF COLOR.
- FRONT FACADES WILL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THE ENTIRE FRONT FACADE OF THE STRUCTURE.
- LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
- ALL REFUSE ENCLOSURES WILL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
- BUILDING FRONTS WILL BE NO CLOSER THAN 12 FEET FROM THE FACE OF CURB TO THE STRUCTURE.
- MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN WILL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
- BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
- SITE AND BUILDING LIGHTING WILL COMPLY WITH COA CODES AND REGULATIONS., IN NO INSTANCE SHALL LIGHT ESCAPE BEYOND THE PROPERTY LINE.

NOTES: LOTS 1 thru 7
BUILDING HEIGHT NOT TO EXCEED 26 FT.
MAXIMUM FLOOR-AREA RATIO: 20.0%
BUILDING MINIMUM SETBACKS:
FRONT: 25.0 FT.
SIDE: 5.0 FT.
REAR: 5.0 FT.

TRAFFIC FLOW NOTES

- ↔ - TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- ↘ - RIGHT TURN ONLY INTO LOT
- ↗ - RIGHT TURN ONLY OUT OF LOT
- ↕ - TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW



SITE PLAN FOR SUBDIVISION

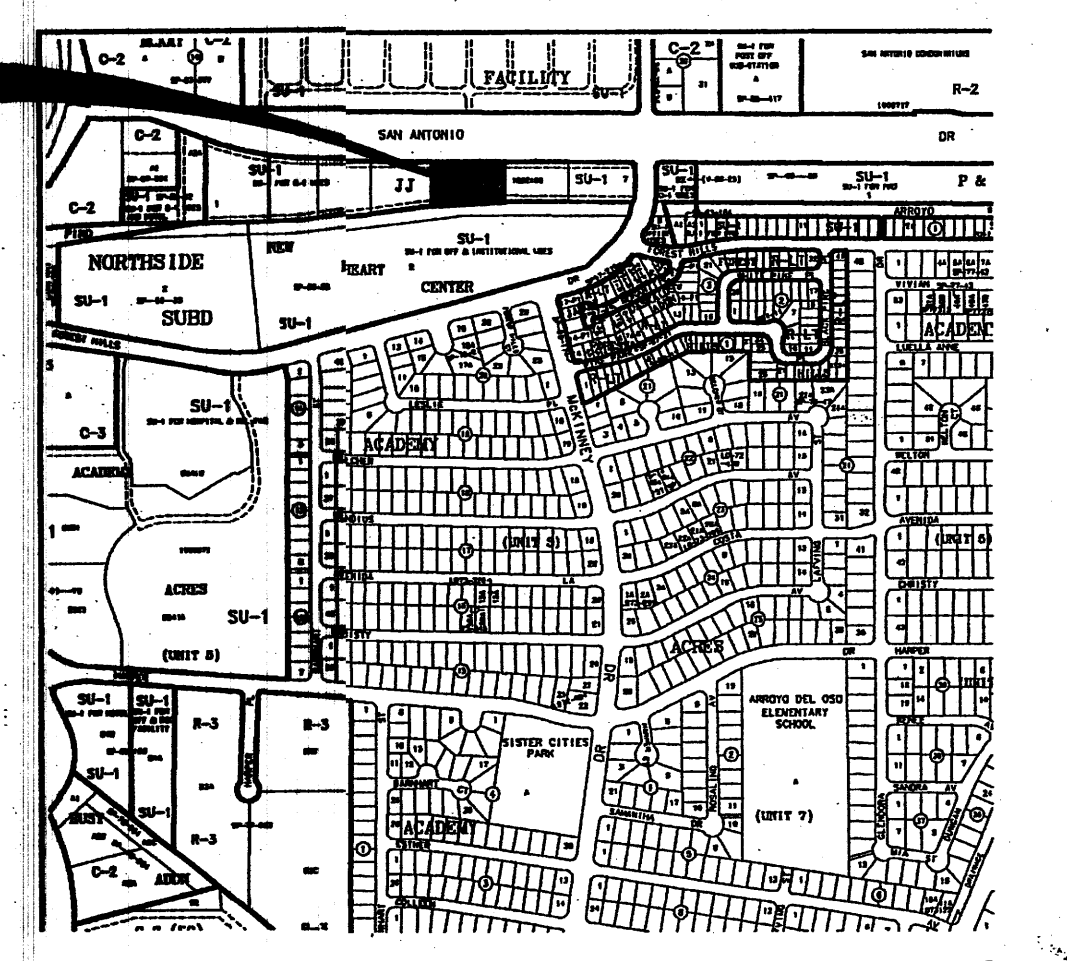
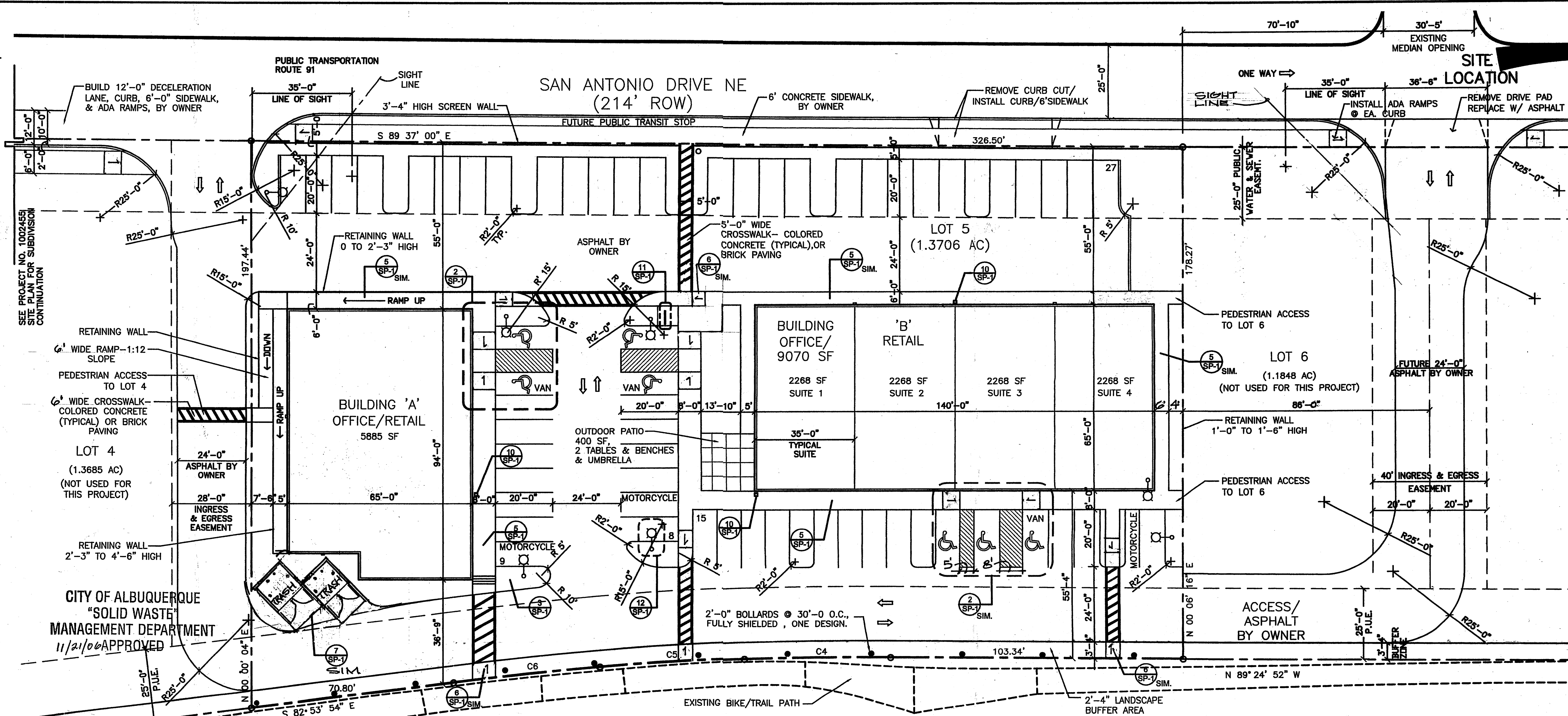
Scale 1"=70'-0"

PROJECT NUMBER: 1002455
Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) date March 21, 2003 and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	10-29-03 Date
<i>[Signature]</i> Utilities Development	10-29-03 Date
<i>[Signature]</i> Parks and Recreation Department	10/29/03 Date
<i>[Signature]</i> City Engineer	10-29-03 Date
<i>[Signature]</i> (Replacement For Original) Environmental Health Department	09-29-2003 Date
<i>[Signature]</i> (will comply with all SW ordinances) Solid Waste Management	10/29/03 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	10/29/03 Date



LOCATION MAP
ZONE ATLAS E-18-Z

PROJECT NUMBER: 1002455
APPLICATION NUMBER:
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATE: AND THE FINDINGS & AN CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

UTILITIES DEVELOPMENT DATE

PARKS AND RECREATIONAL DEPARTMENT DATE

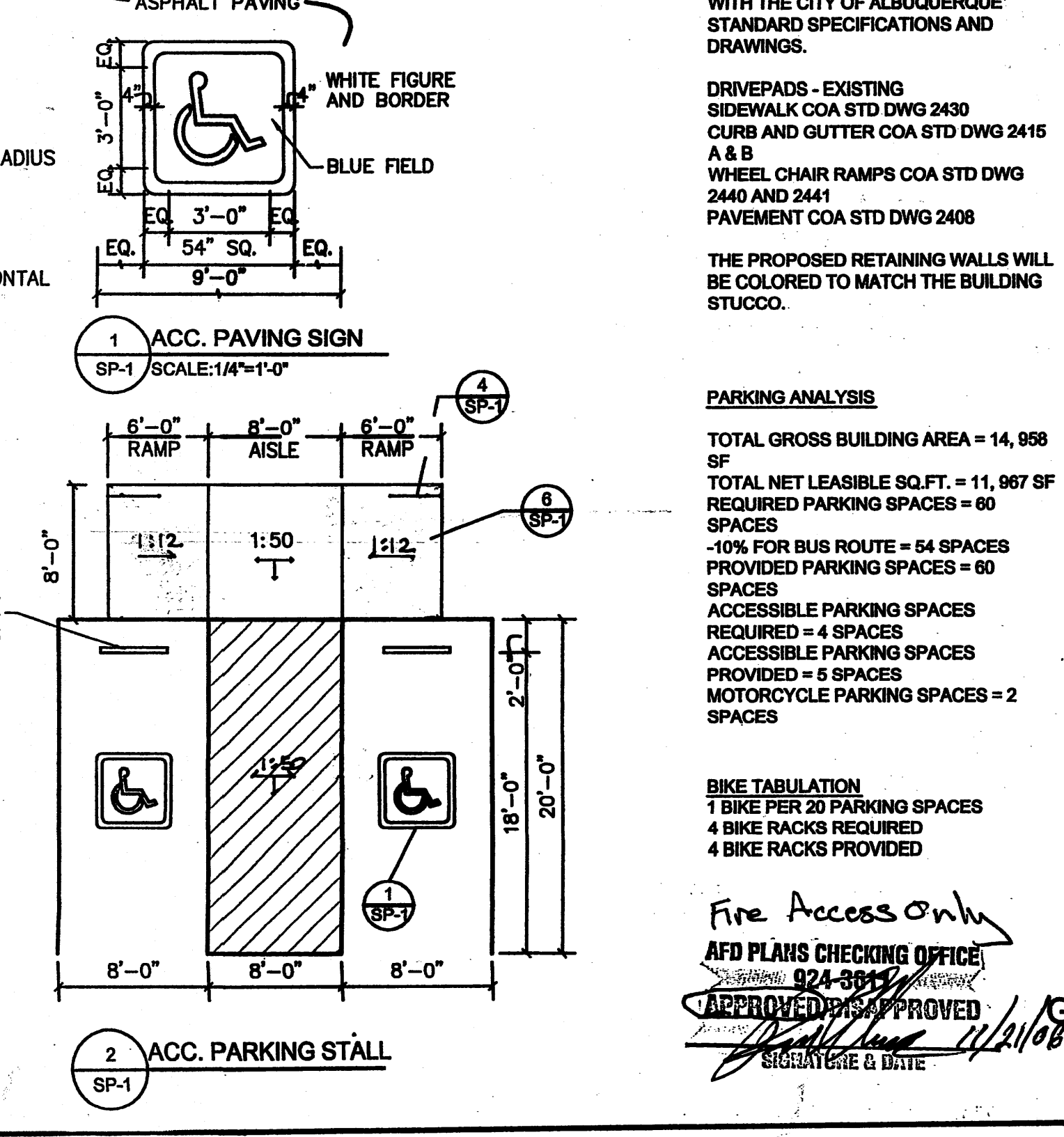
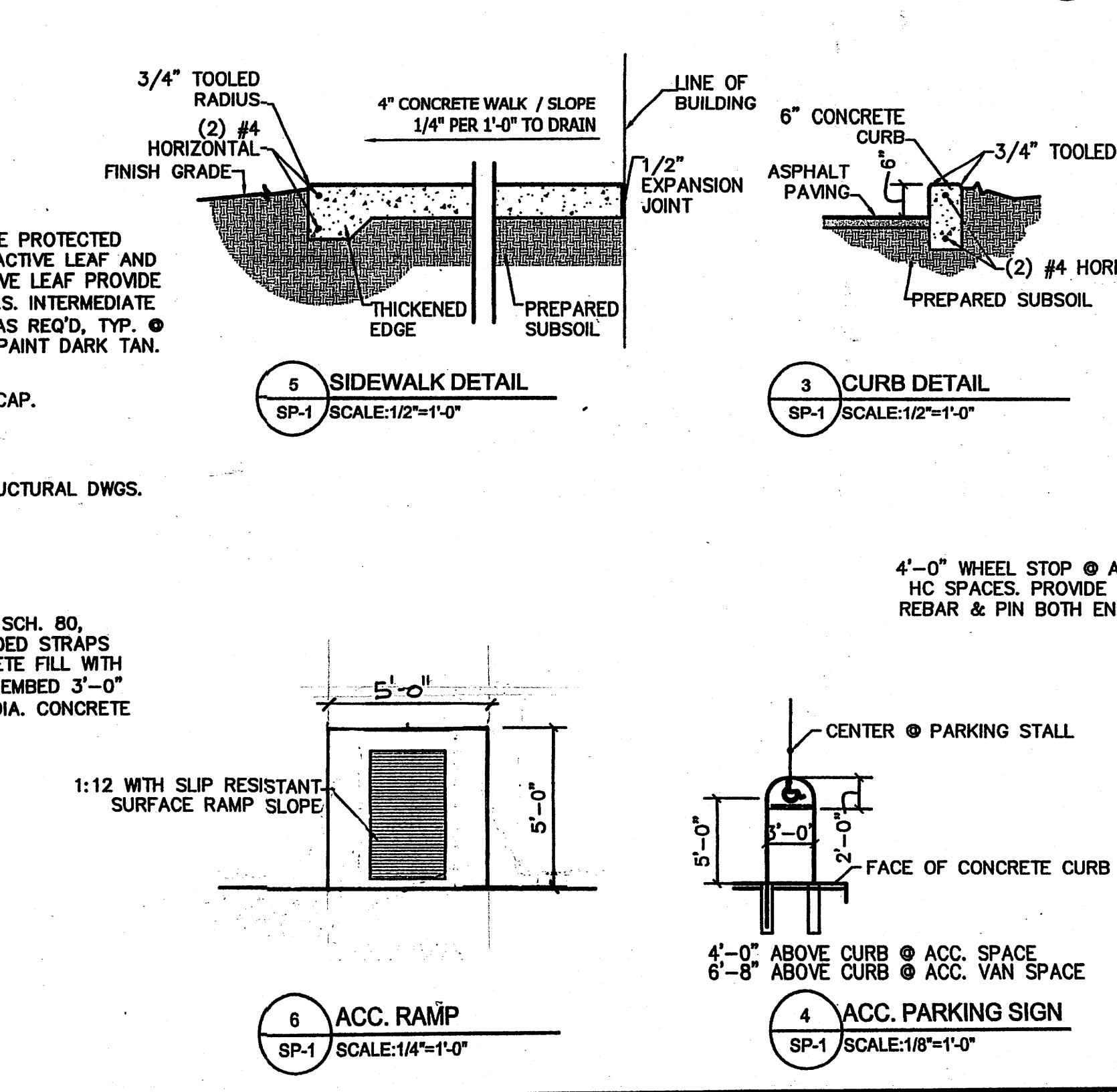
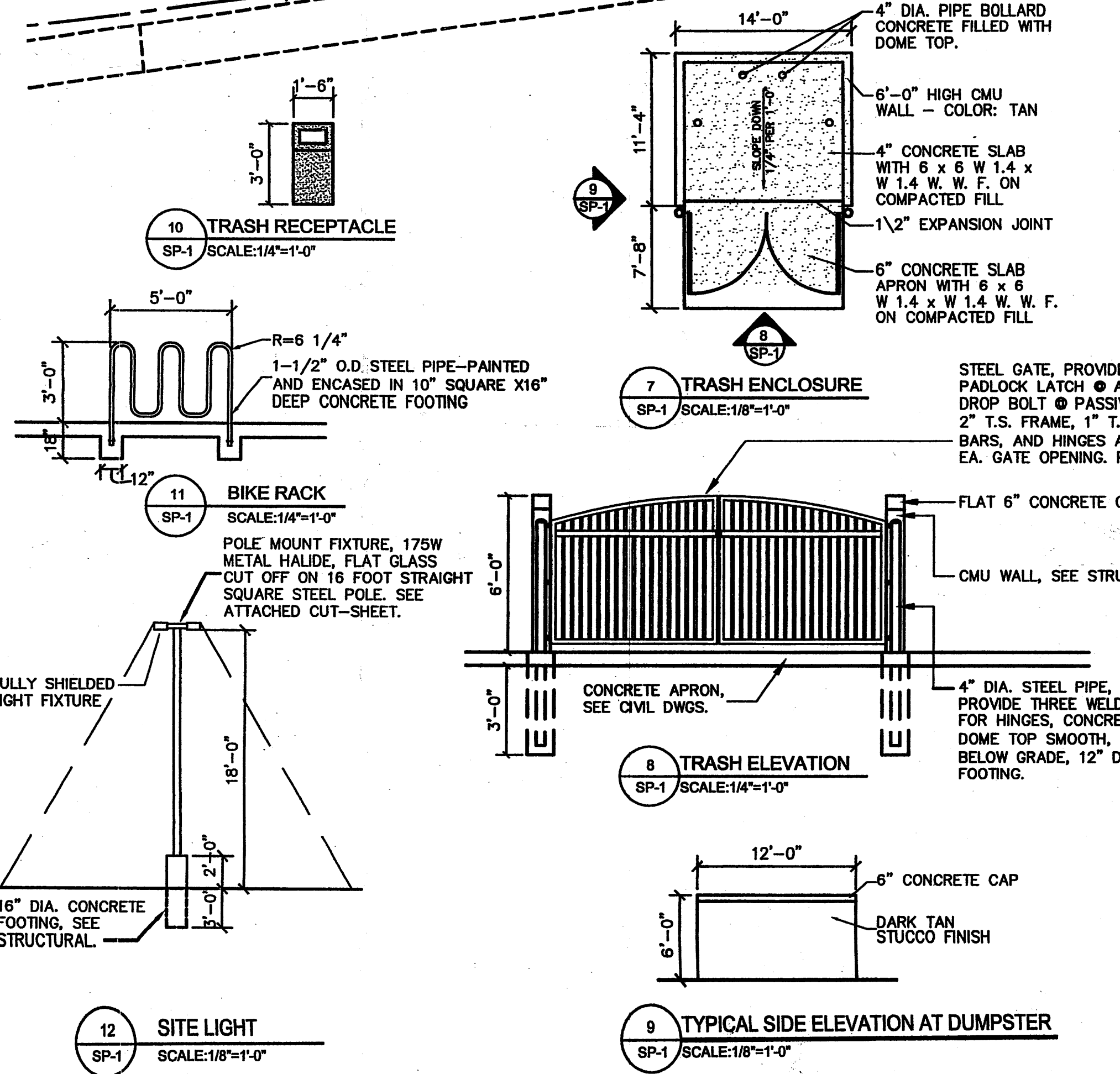
CITY ENGINEER DATE

ENVIRONMENTAL HEALTH DEPARTMENT DATE

SOLID WASTE MANAGEMENT DATE: 11/21/06

DRB/CHAIRPERSON, PLANNING DEPARTMENT DATE

SAN ANTONIO OFFICE/RETAIL SITE PLAN
SCALE: 1"=20'-0"



GENERAL INFORMATION
ALL REQUIRED INFRASTRUCTURE WILL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DRAWINGS.
DRIVEPADS - EXISTING SIDEWALK COA STD DWG 2430 CURB AND GUTTER COA STD DWG 2415 A & B WHEEL CHAIR RAMPS COA STD DWG 2440 AND 2441 PAVEMENT COA STD DWG 2408
THE PROPOSED RETAINING WALLS WILL BE COLORED TO MATCH THE BUILDING STUCCO.

PARKING ANALYSIS
TOTAL GROSS BUILDING AREA = 14,988 SF
TOTAL NET LEASABLE SQ.FT. = 11,967 SF
REQUIRED PARKING SPACES = 60 SPACES
-10% FOR BUS ROUTE = 54 SPACES PROVIDED PARKING SPACES = 60 SPACES
ACCESSIBLE PARKING SPACES REQUIRED = 4 SPACES
ACCESSIBLE PARKING SPACES PROVIDED = 5 SPACES
MOTORCYCLE PARKING SPACES = 2 SPACES

BIKE TABULATION
1 BIKE PER 20 PARKING SPACES
4 BIKE RACKS REQUIRED
4 BIKE RACKS PROVIDED

Fire Access Only
AFD PLANS CHECKING OFFICE
APPROVED BY: [Signature]
DATE: 11/21/06

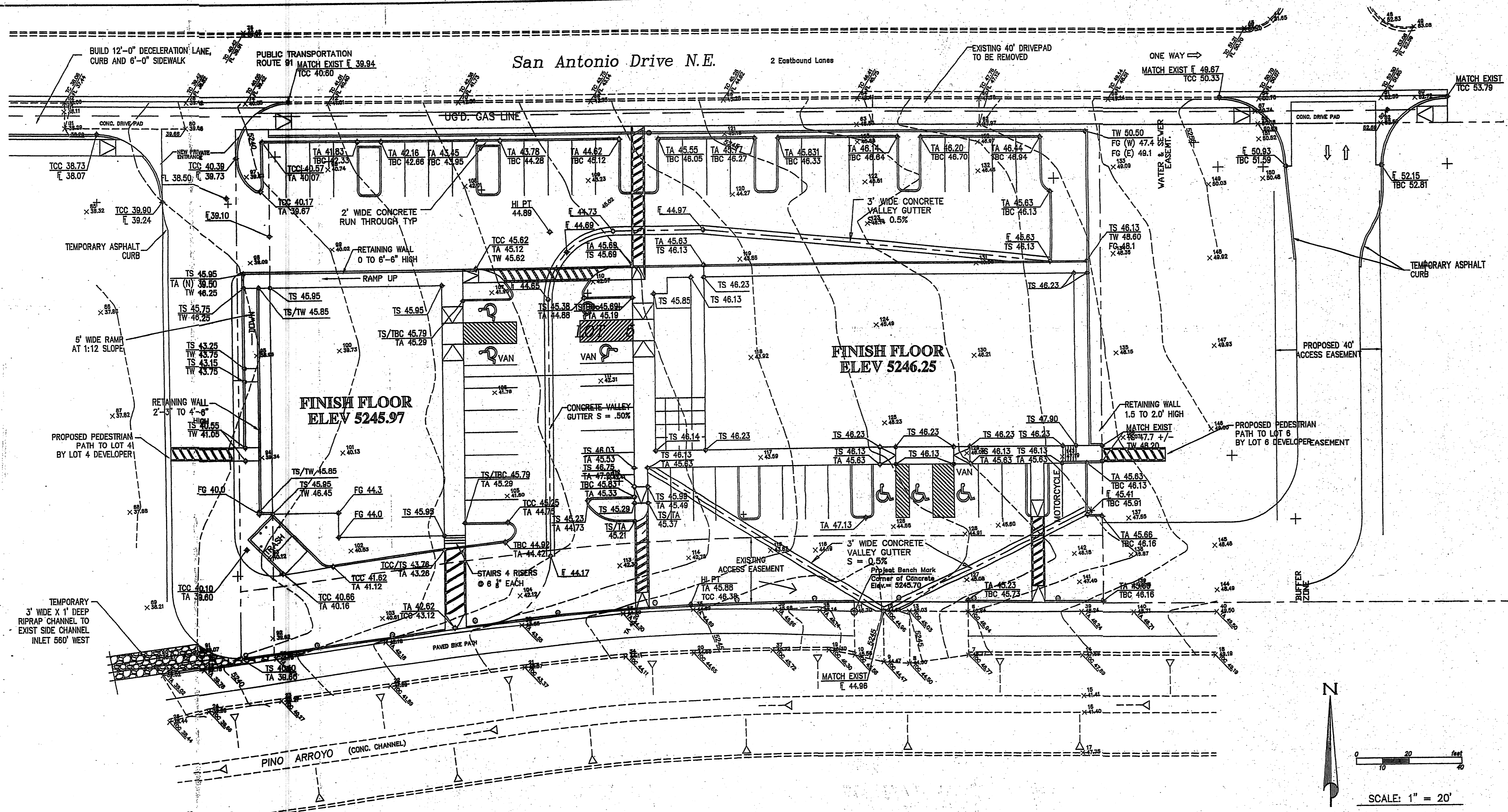
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SCALE: 1"=20'-0"

AFRA Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.315.1482

SAN ANTONIO ALBUQUERQUE, NM

REV	DATE	DESCRIPTION	APVD
1	11-08-06		
2			
3			
4			

SP-1
11.15.06



VICINITY MAP E-18-Z

LEGAL DESCRIPTION

LOT 5, J-GROUP ADDITION
BERNALILLO COUNTY, NEW MEXICO

FLOODPLAIN

THE PROPERTY SHOWN HEREON DOES NOT LIE WITHIN ANY DESIGNATED FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 35001C0137F; EFFECTIVE DATE NOVEMBER 19, 2003.

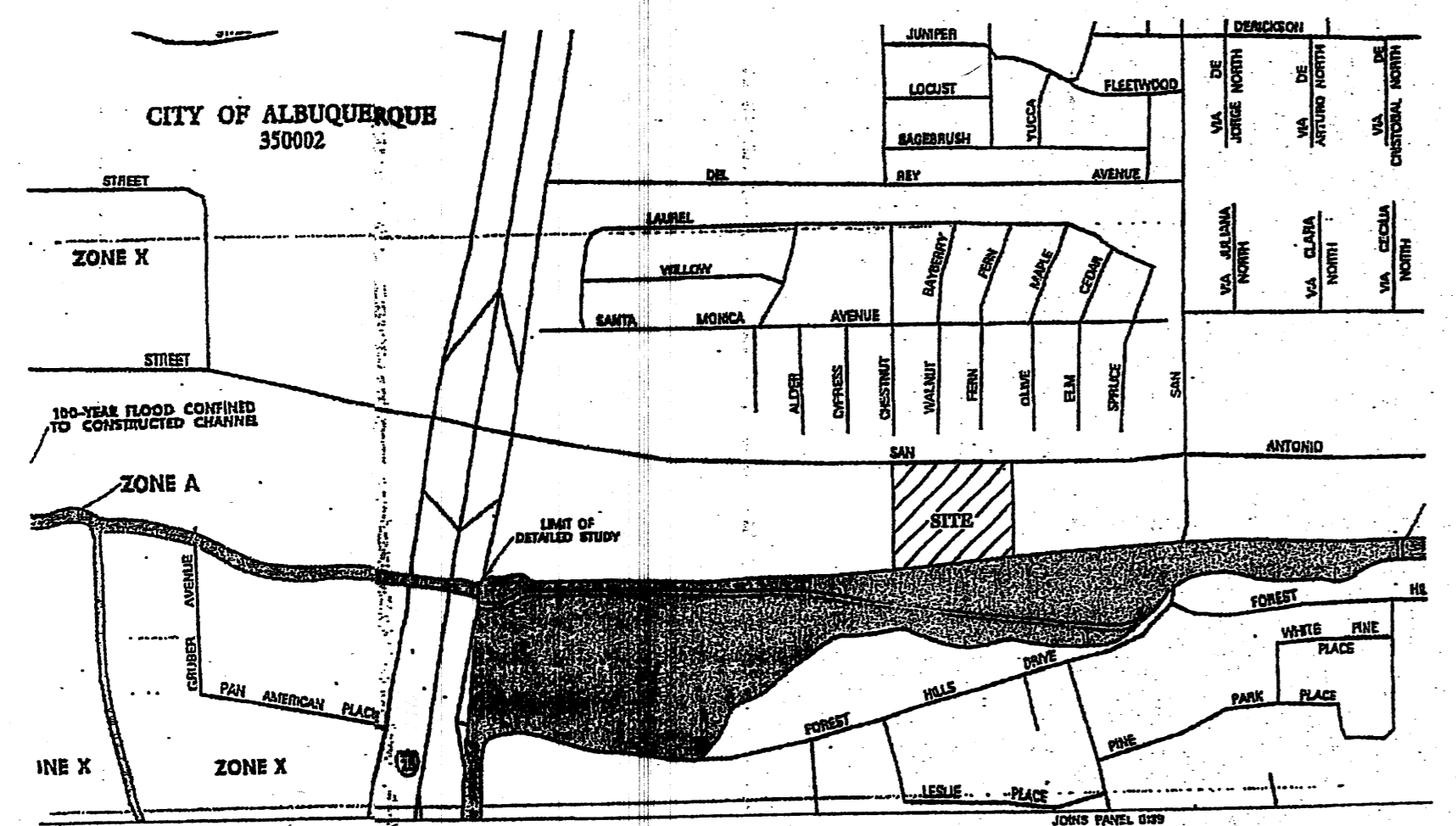
GENERAL INFORMATION

ALL REQUIRED INFRASTRUCTURE WILL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DRAWINGS.

DRIVEPADS - EXISTING
SIDEWALK COA STD DWG 2430
CURB AND GUTTER COA STD DWG 2415 A&B
WHEEL CHAIR RAMPS COA STD DWG 2440 AND 2441
PAVEMENT COA STD DWG 2408

THE PROPOSED RETAINING WALLS WILL BE COLORED TO MATCH THE BUILDING STUCCO.

CONCEPTUAL GRADING PLAN
FEMA FIRM PANEL 137 (1" = 500')



100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (in)	V (6-hr) (cu-ft)	V (10 day) (acre-ft)	V (10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
A	1.3730	100.00	0.00	0.00	0.53	0.08	2,642	0.08	2,642	2.14	
TOTAL	1.3730					0.08	2,642	0.08	2,642	2.14	
PROPOSED CONDITIONS											
A	1.3730	0.00	0.00	4.00	98.00	2.08	0.24	10,369	0.41	18,024	6.37
TOTAL	1.3730					0.24	10,369	0.41	18,024	6.37	
EXCESS PRECIP.		0.53	0.78	1.13	2.12	E_i (in)					
PEAK DISCHARGE		1.56	2.28	3.14	4.7	Q_h (cfs)					

$WEIGHTED E (in) = (E_A)(\%A) + (E_B)(\%B) + (E_C)(\%C) + (E_D)(\%D)$
 $V_{6hr} (acre-ft) = (WEIGHTED E)(AREA)/12$
 $V_{10day} (acre-ft) = V_{6hr} + (A_0)(P_{10day} - P_{6hr})/12$
 $Q (cfs) = (Q_{PA})(A_A) + (Q_{PB})(A_B) + (Q_{PC})(A_C) + (Q_{PD})(A_D)$

ZONE = 2
 $P_{6hr} (in.) = 2.35$
 $P_{24hr} (in.) = 2.75$
 $P_{10day} (in.) = 3.95$

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 1.37 ACRES LOCATED NORTH OF THE PINO ARROYO, SOUTH OF SAN ANTONIO DRIVE BETWEEN I-25 AND SAN PEDRO, AS SHOWN ON THE VICINITY MAP ON THIS SHEET. THE SITE IS CURRENTLY UNDEVELOPED AND WITHIN A LANDFILL AREA.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 2 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WAS USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

EXISTING DRAINAGE

THE PROPERTY SITS BETWEEN SAN ANTONIO DRIVE AND THE PINO ARROYO. IT IS UNDEVELOPED BUT IS FULLY DISTURBED WITH HARD COMPACTED EARTH WITH NO VEGETATION. EXISTING DRAINAGE IS TOWARD THE WEST WITH AN AVERAGE SLOPE OF 4%. THE RUNOFF SHEET FLOWS WEST TO AN EXISTING SIDE CHANNEL INLET ABOUT 560-FEET WEST OF THE SITE WHERE IT ENTERS THE PINO ARROYO.

DEVELOPED CONDITION

THE PROPOSED DEVELOPMENT WILL CONTINUE TO UTILIZE FREE DISCHARGE INTO THE PINO ARROYO VIA THE EXISTING SIDE CHANNEL INLET WEST OF THE SITE. AS A TEMPORARY MEASURE, A RIPRAP SWALE HAS BEEN PROPOSED TO CONVEY THE RUNOFF TO THE SIDE CHANNEL INLET. THIS SWALE WILL BE REPLACED BY PAVED ACCESS WHEN THE SITES TO THE WEST HAVE BEEN DEVELOPED IN THE CROSS LOT ACCESS EASEMENT ALONG THE NORTH SIDE OF THE BIKE PATH AND PINO ARROYO.

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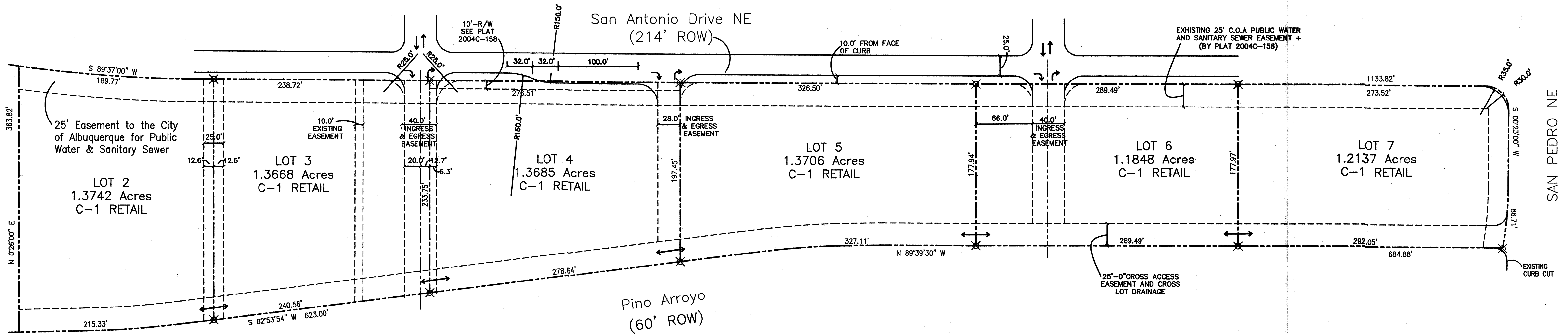
AFRA Construction & Design
7004 Avenida La Costa NE
Albuquerque, New Mexico 87109
Tel 505.315.1482

SAN ANTONIO OFFICE-RETAIL
ALBUQUERQUE, NM

REV	DATE	DESCRIPTION	APVD
1			
2			
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C.1
11-15-06

SEE APPROVED SITE PLAN FOR
SUBDIVISION PROJECT NO. 1002455
CONTINUATION



**AMENDMENT TO SITE DEVELOPMENT
PLAN FOR SUBDIVISION**

SCALE: 1"=60'-0"



"The subject property is located on an existing landfill. Due to the subject property being on a landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within City - Designated Landfill Buffer Zones") shall be consulted prior to development of the site."

LEGAL DESCRIPTION

LOTS 2 THRU 7
JJ SUBDIVISION
BEING A REPLAT OF TRACT A-3-B,
J GROUP ADDITION, TRACT 1,
NEW HEART CENTER & TRACT 1,
NORTHSIDE SUBDIVISION

WITHIN PROJECTED SECTION 25
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO

NOTES: LOTS 2 THRU 7

BUILDING HEIGHT NOT TO EXCEED 34 FT.
MAXIMUM FLOOR-AREA RATION: 20.0%
BUILDING MINIMUM SETBACKS:
FRONT: 25.0 FT
SIDE: 5.0 FT
REAR: 5.0 FT

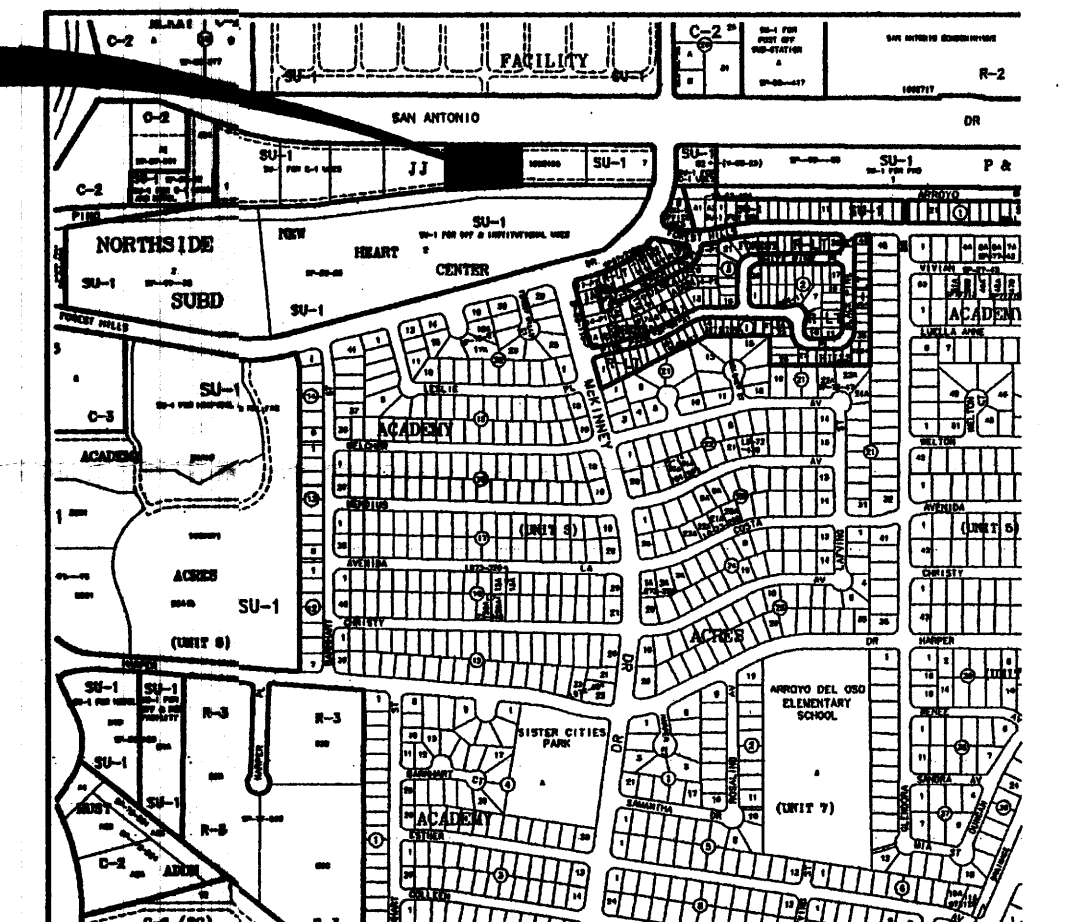
TRAFFIC FLOW NOTES

- TWO WAY INGRESS AND EGRESS TRAFFIC FLOW
- RIGHT TURN ONLY INTO LOT
- RIGHT TURN ONLY OUT OF LOT
- TWO WAY INTERIOR AND CROSS-LOT TRAFFIC FLOW

GENERAL DESIGN CRITERIA:

1. ALL STRUCTURES ON LOTS WILL BE LIMITED TO THE GENERAL CRITERIA DESCRIBED HEREIN.
2. DESIGN OF BUILDING SHALL BE A COMPATIBLE STYLE, MATERIALS AND COLORS THROUGHOUT LOTS 2-7.
3. PARKING WILL NOT EXCEED THE REQUIRED PLUS 10%.
4. ACCESSIBLE (ADA) COMPLIANT PARKING WILL BE LOCATED ADJACENT TO THE MAIN BUILDING ENTRY, AND REQUIRED PARKING SHALL BE DISTRIBUTED ON AT LEAST TWO SIDES OF A BUILDING.
5. ALL SIDEWALKS WILL HAVE A MINIMUM OF 6 FEET CLEAN WALKWAY AREA PROTECTED BY PERMANENT CAR STOPS.
6. FRONT ENTRY SIDEWALK AREAS WILL BE COVERED OR SHADED BY TREES.
7. ALL STRUCTURES SHALL BE CONNECTED BY PEDESTRIAN PATHWAYS PER CITY OF ALBUQUERQUE (COA) REQUIREMENTS AND THRU VEHICULAR AREAS.
8. PATIO AREAS FOR EMPLOYEES WILL BE PROVIDED AND SHADED.
9. BICYCLE RACKS WILL BE PROVIDED PER COA CODE.
10. ALL LANDSCAPING WILL BE PER COA CODE. NO GREATER THAT 20% OF LANDSCAPED AREA WILL BE LOW WATER USE AND ALL APPLICABLE WATER CONSERVATIONS MEASURES REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION WILL BE ADHERED TO. 80% MINIMUM GROUND COVERAGE WITH LOW WATER USE OF NATIVE PLANTS.
11. SCREEN WALLS WILL NOT TO EXCEED 3'-4" HIGH, AND SHALL MATCH STUCCO COLOR OF BUILDINGS.
12. ALL ROOF TOP OR GROUND LEVEL MECHANICAL UNITS WILL BE PHYSICALLY SCREENED FROM VIEW OR PAINTED TO BLEND WITH SURROUNDING STRUCTURE'S COLOR. ALL ROOF PENETRATIONS WILL MATCH STRUCTURE OR ROOF COLOR.
13. FRONT FACADES WILL BE SHADED BY EITHER THE BUILDING STRUCTURE, CANOPIES, PORTALS, AWNINGS, OR SHADE TREES PLANTED IN A MANNER TO SHADE THERE ENTIRE FRONT FACADE OF THE STRUCTURE.
14. LOADING DOCKS SHALL BE SCREENED BY WALLS, TREES, AND OR STRUCTURE ELEMENTS THAT ARE ARCHITECTURALLY INTEGRATED INTO THE STRUCTURE.
15. ALL REFUSE ENCLOSURES WILL COMPLY WITH COA CODE AND SOLID WASTE REGULATIONS.
16. MONUMENT SIGNS ARCHITECTURALLY INTEGRATED WITH THE STRUCTURE DESIGN WILL NOT EXCEED 10 FEET HIGH OR 75 SQUARE FEET PER SIGN.
17. BUILDING SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA.
18. SITE AND BUILDING LIGHTING WILL COMPLY WITH COA CODES AND REGULATIONS, FULLY SHIELDED, ONE DESIGN TYPE, FOOTING SHALL MATCH STUCCO COLOR, AND 18'-0" HIGH MAXIMUM.
19. 3'-0" HIGH BOLLARD ILLUMINATION (AT LEAST ONE) AT CURB RAMPS ENTERING A CROSSWALK, BE ONE DESIGN TYPE, FULLY SHIELDED.
20. ALL CROSSWALKS TO BE TEXTURED WITH COLORED CONCRETE OR BRICK PAVING.

SITE LOCATION



LOCATION MAP
ZONE ATLAS: E-18-Z



PROJECT NUMBER: 1002455
APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATE _____ AND THE FINDING S AN CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATIONAL DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
SOLID WASTE MANAGEMENT	DATE
DRB/CHAIRPERSON, PLANNING DEPARTMENT	DATE

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

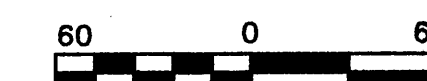
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**SAN ANTONIO OFFICE & RETAIL
ALBUQUERQUE, NM**

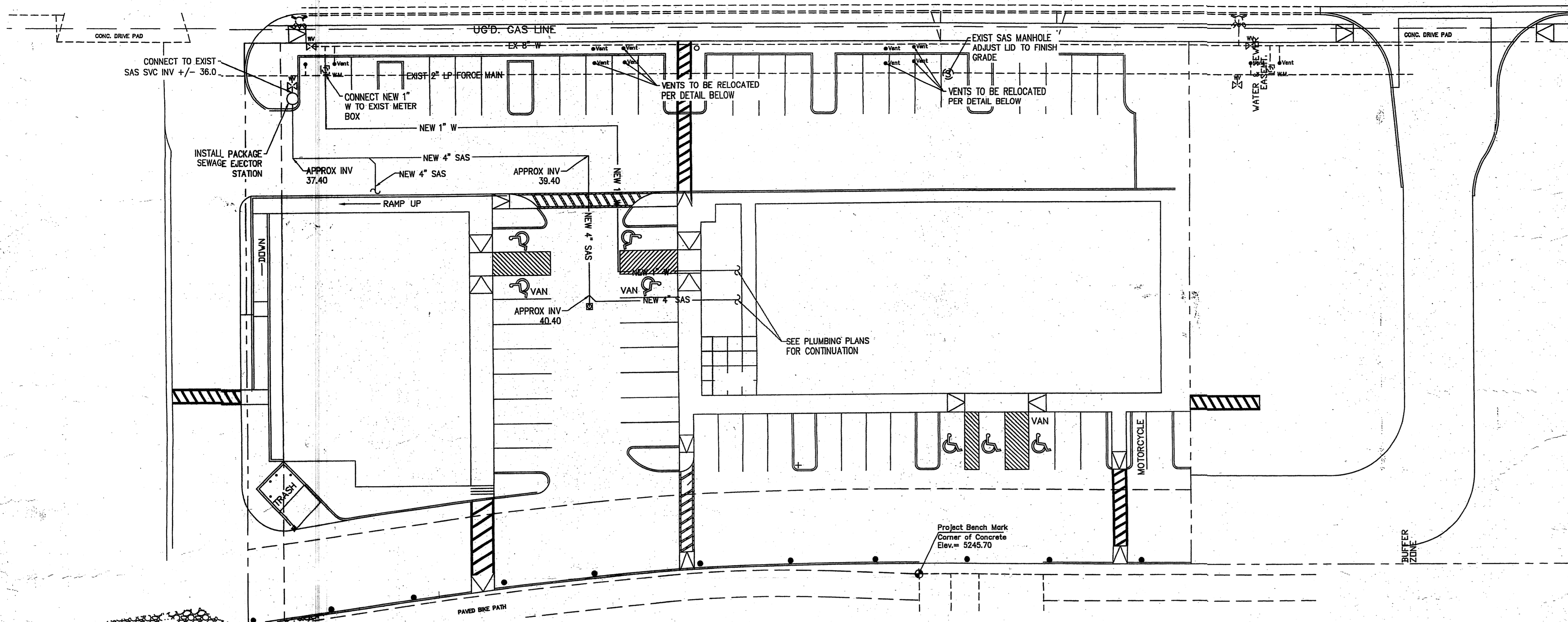
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GRAPHIC SCALE

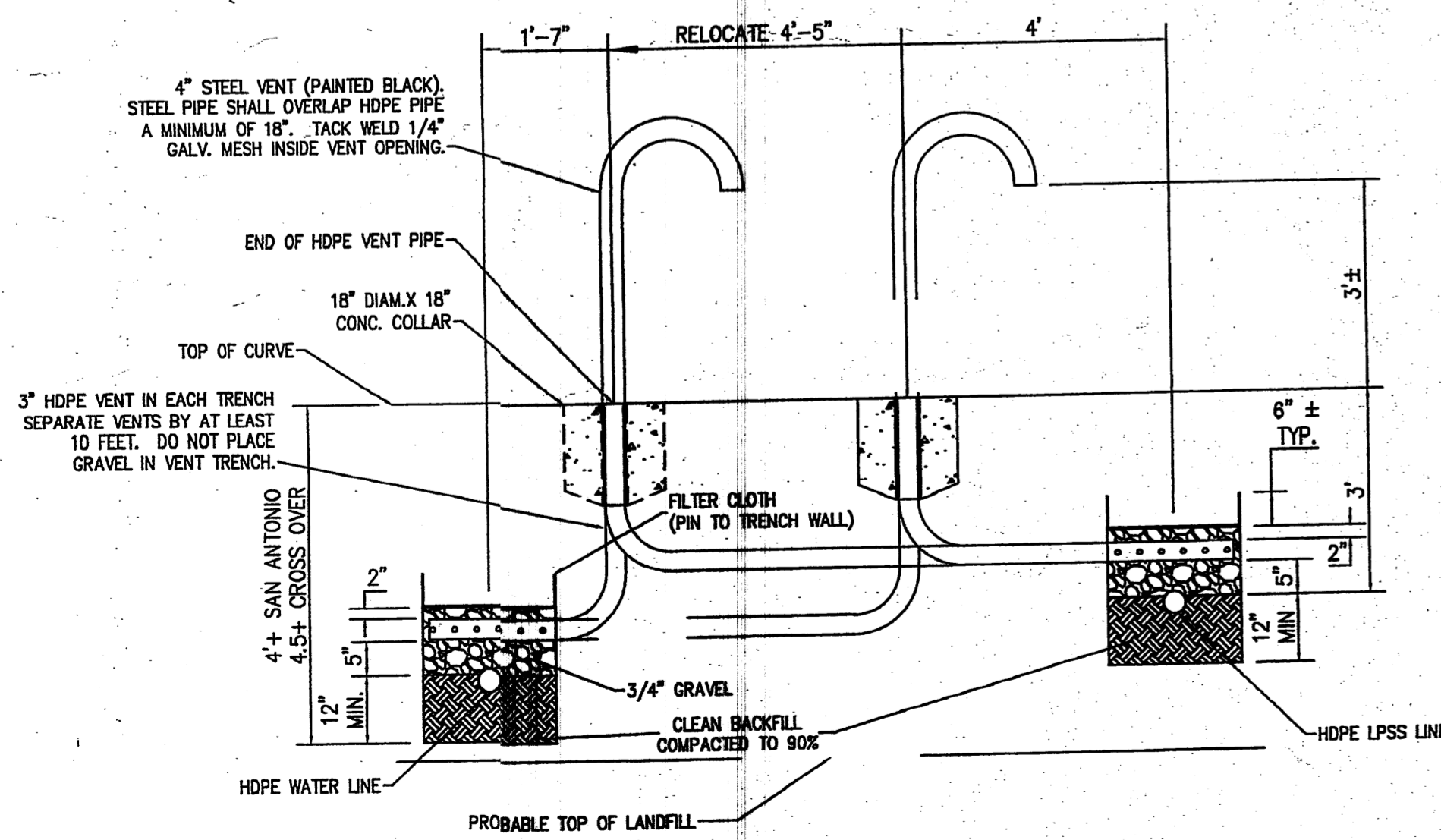


SD-1

6.2.08



WATER AND SEWER PLAN



NOTES:

1. APPROXIMATE DEPTH TO TOP OF LANDFILL MATERIAL IS 5'.
2. ALL TRENCHES SHALL BE APPROX. 2' WIDE AT THE TOP OF PIPE.
3. ALL TRENCHES SHALL BE EXCAVATED TO A DEPTH OF ONE FOOT BELOW BOTTOM OF PIPE. THE CONTRACTOR SHALL MAINTAIN THE FULL DEPTH OF TRENCH UNTIL THE ENGINEER HAS INSPECTED THE TRENCH BOTTOM AND RECORDED FINDINGS. THE MAXIMUM LENGTH OF OPEN TRENCH IN EXCESS OF THREE FEET IN DEPTH SHALL BE THREE HUNDRED FEET.
4. BACKFILL AND VENTING FOR ALL TRENCHES SHALL BE AS SHOWN ABOVE. GRAVEL BACKFILL AND FILTER CLOTH SHALL BE CONTINUOUS ALONG PIPE. VENT PIPES IN EACH TRENCH SHALL BE LOCATED APPROXIMATELY AS SHOWN.
5. HORIZONTAL PORTION OF VENT PIPE SHALL BE PERFORATED (1/2\"/>

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WATER AND SEWER PLAN

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1 LANDFILL VENT RELOCATIONS DETAIL
N. T. S.