

Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS HEAVEN AND 7-C19, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE PER THE PLAT OF NORTH ALBUQUERQUE ACRES, FILED IN BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN VOLUME D1, FOLIO 20.
6. GROSS AREA: 1.8198
7. NUMBER OF EXISTING LOTS: 2
8. NUMBER OF LOTS CREATED: 1
9. THE 24' PRIVATE ACCESS EASEMENT IS FOR THE BENEFIT AND USE FOR THE OWNERS OF LOTS 16-A, 17 AND 18, BLOCK 9 AND IS TO BE MAINTAINED BY THE OWNERS OF LOT 16-A, BLOCK 9.
10. THE 22' PUBLIC ACCESS EASEMENT IS TO BE MAINTAINED BY THE OWNERS OF LOT 16-A, BLOCK 9.
11. PROPERTY IS ZONED SU-2.

LEGAL DESCRIPTION

Lots numbered Fifteen (15) and Sixteen (16) in Block numbered Nine (9) plat of Tract 2, Unit 3, North Albuquerque Acres as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico in September 10, 1931 in Volume D1, folio 20 being more particularly described as follows:  
Commencing at City of Albuquerque Control station "HEAVEN" having New Mexico State Plane NAD 1927 Central Zone Grid Coordinates of X = 407,051.31, Y = 1,518,737.03 a ground to grid factor of 0.99965263 and a delta alpha of  $-00^{\circ} 10' 45''$ ; thence N  $11^{\circ} 39' 57''$  E, a distance of 875.23 feet to the POINT OF BEGINNING being the southwest corner of said Lot 15; thence N  $00^{\circ} 18' 25''$  E, a distance of 264.51 feet; thence S  $89^{\circ} 41' 35''$  E, a distance of 299.69 feet; thence S  $00^{\circ} 18' 25''$  W, a distance of 264.51 feet; thence N  $89^{\circ} 41' 35''$  W, a distance of 299.69 feet to the POINT OF BEGINNING and containing 1.8198 acres more or less.

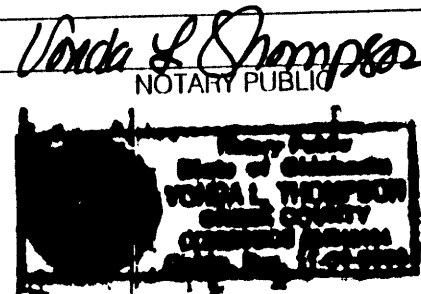
FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED, DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

OWNER(S) SIGNATURE: David M. James DATE: 9/26/06  
OWNER(S) PRINT NAME: David M. James  
ADDRESS: \_\_\_\_\_ TRACT: \_\_\_\_\_  
ACKNOWLEDGMENT

STATE OF OKLA )  
 ) SS  
COUNTY OF TULSA )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 26<sup>th</sup> DAY OF September, 2006.  
BY: David M. James  
MY COMMISSION EXPIRES: 11-04-08



PLAT OF  
LOT 16-A, BLOCK 9, TRACT 2, UNIT 3  
NORTH ALBUQUERQUE ACRES  
PROJECTED SECTION 18, T. 11 N., R. 4 E., N.M.P.M.  
ELENA GALLEGOS GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER 2006  
SHEET 1 OF 2

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO COMBINE TWO (2) EXISTING LOTS INTO ONE (1) NEW LOT, TO GRANT PUBLIC ACCESS EASEMENTS AND TO DEDICATE ADDITIONAL STREET RIGHT-OF-WAY AS SHOWN.

CITY APPROVALS:	PROJECT NO.: 1002458	APPLICATION NO. 06DEB-01475
<u>[Signature]</u>		
CITY SURVEYOR		9-27-06 DATE
<u>[Signature]</u>		1-5-07 DATE
TRAFFIC ENGINEERING		
<u>Christina Sandoval</u>		10/18/06 DATE
PARKS & RECREATION DEPARTMENT		
<u>[Signature]</u>		10-18-06 DATE
WATER UTILITIES DEVELOPMENT		
<u>Bradley L. Bigham</u>		10/18/06 DATE
A.M.A.F.C.A.		
<u>Bradley L. Bigham</u>		10/18/06 DATE
CITY ENGINEER		
<u>[Signature]</u>		10/18/06 DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT		

SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds 09-27-06  
Mitchell W. Reynolds Date  
New Mexico Professional Surveyor, 11224



SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303  
ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306  
87102

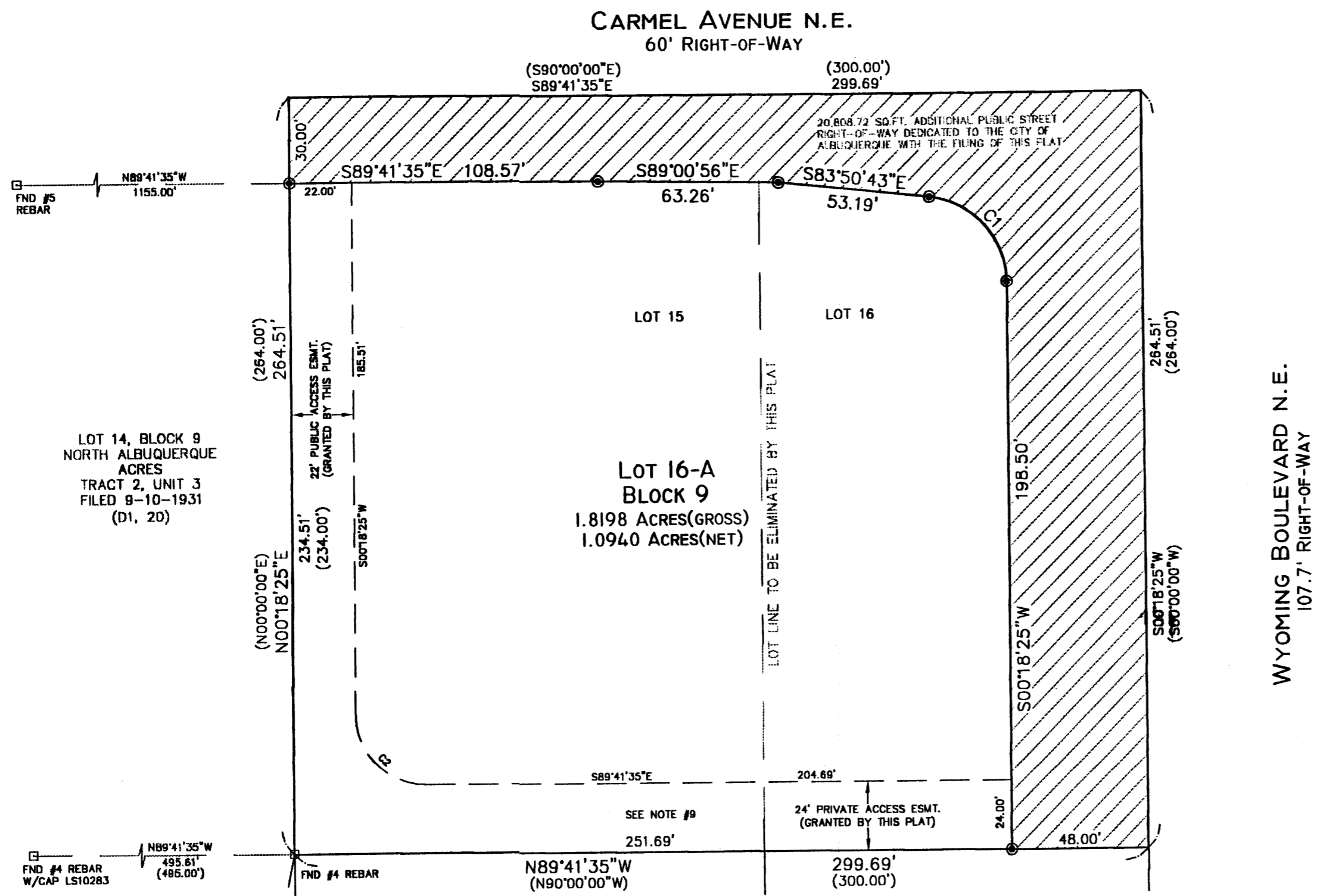
T11N R4E SEC. 18



PROJECT NO. 0601R504  
DRAWN BY RS  
ZONE ATLAS: C-19-Z  
15-16NAA.CRS

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON  
UPC #: 2460 0001 019 004 253090 30217  
PROPERTY OWNER OF RECORD: Bank of Albuquerque NA  
BERNALILLO COUNTY TREASURERS OFFICE:  
[Signature] 1/8/07

**PLAT OF  
 LOT 16-A, BLOCK 9, TRACT 2, UNIT 3  
 NORTH ALBUQUERQUE ACRES  
 PROJECTED SECTION 18, T. 11 N., R. 4 E., N.M.P.M.  
 ELENA GALLEGOS GRANT  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 SEPTEMBER 2006  
 SHEET 2 OF 2**



LOT 14, BLOCK 9  
 NORTH ALBUQUERQUE  
 ACRES  
 TRACT 2, UNIT 3  
 FILED 9-10-1931  
 (D1, 20)

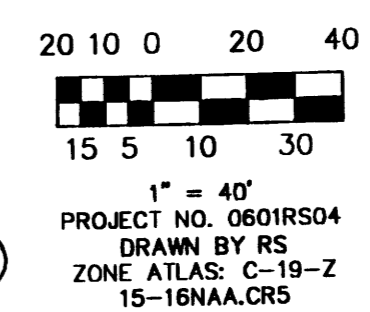
**LOT 16-A  
 BLOCK 9**  
 1.8198 ACRES(GROSS)  
 1.0940 ACRES(NET)

LOT 18, BLOCK 9  
 NORTH ALBUQUERQUE  
 ACRES  
 TRACT 2, UNIT 3  
 FILED 9-10-1931  
 (D1, 20)

LOT 17, BLOCK 9  
 NORTH ALBUQUERQUE  
 ACRES  
 TRACT 2, UNIT 3  
 FILED 9-10-1931  
 (D1, 20)

STATION: ACS 7-C19  
 X = 410171.36  
 Y = 1522006.02  
 GROUND TO GRID = 0.999647055  
 NEW MEXICO STATE PLANE  
 COORDINATE SYSTEM  
 CENTRAL ZONE  
 NAD 1927

STATION: ACS HEAVEN  
 X = 407051.31  
 Y = 1518737.03  
 GROUND TO GRID = 0.99965263  
 DELTA ALPHA = -00°10'45"  
 NEW MEXICO STATE PLANE  
 COORDINATE SYSTEM  
 CENTRAL ZONE  
 NAD 1927



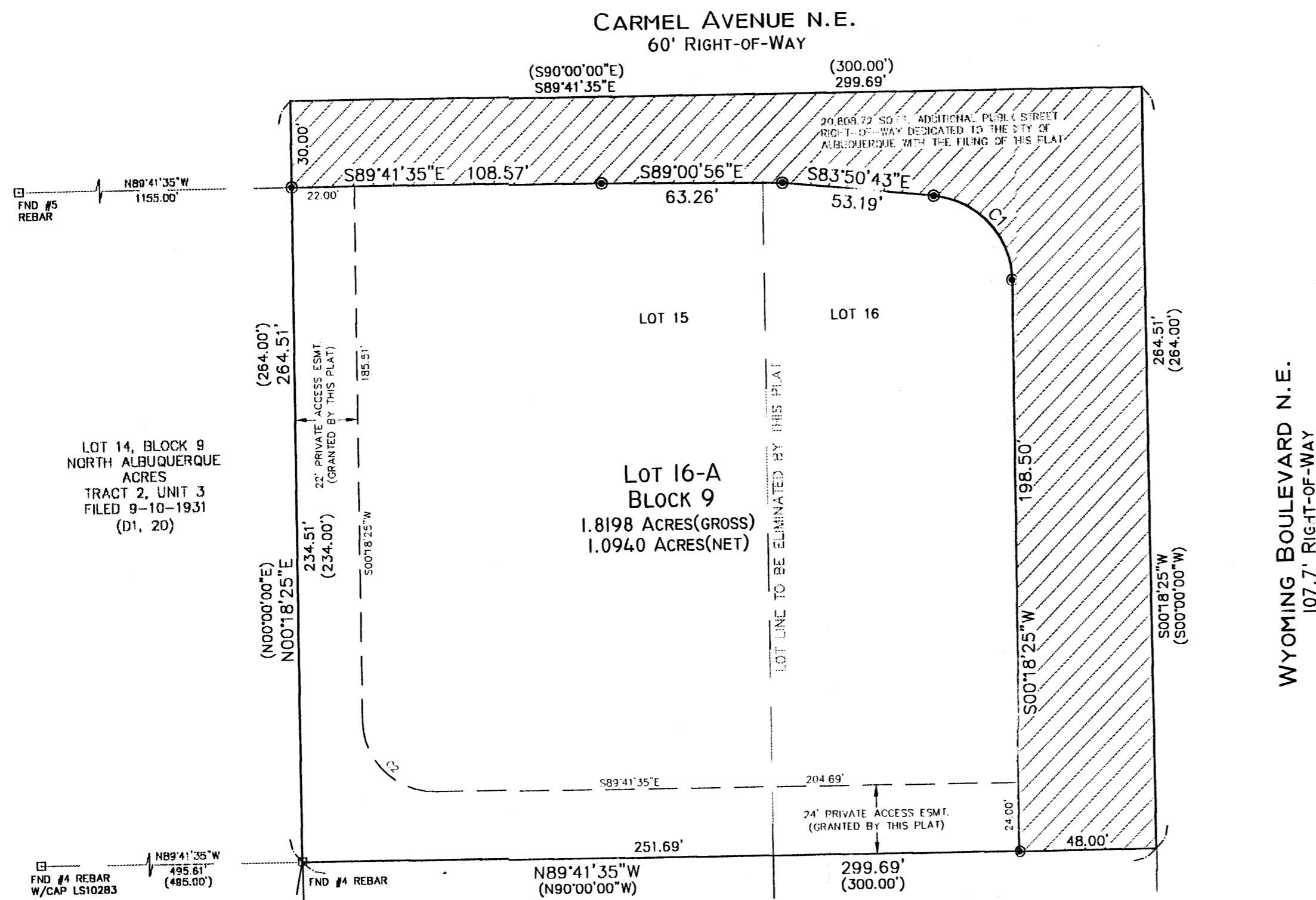
CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH	
C1	30.00'	44.06'	84°09'08"	S41°46'09"E	40.21'	
C2	25.00'	39.27'	90°00'00"	S44°41'35"E	35.36'	

2867883377  
 6586964  
 Page: 2 of 2  
 01/08/2007 10:13R  
 Bk-2867C Pg-5  
 Margaret C Toulouse-Bern. Co. PLAT R 12.00

- MONUMENT LEGEND**
- △ - FOUND CONTROL STATION AS NOTED
  - - FOUND MONUMENT AS NOTED
  - - SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED

**SURVEYS SOUTHWEST LTD.**  
 333 LOMAS BLVD., N.E.  
 ALBUQUERQUE, NEW MEXICO  
 87102  
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**T11N R4E SEC. 18**

PLAT OF  
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 PROJECTED SECTION 18, T. 11 N., R. 4 E., N.M.P.M.  
 ELENA GALLEGOS GRANT  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 SEPTEMBER 2006  
 SHEET 2 OF 2



**PRELIMINARY PLAT**  
**APPROVED BY DRB**  
 ON 10/18/06

LOT 14, BLOCK 9  
 NORTH ALBUQUERQUE  
 ACRES  
 TRACT 2, UNIT 3  
 FILED 9-10-1931  
 (D1, 20)

LOT 16-A  
 BLOCK 9  
 1.8198 ACRES(GROSS)  
 1.0940 ACRES(NET)

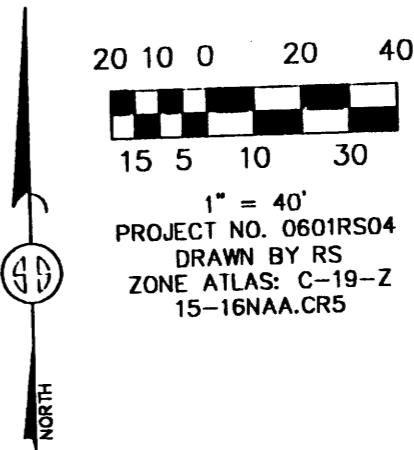
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 ACRES  
 TRACT 2, UNIT 3  
 FILED 9-10-1931  
 (D1, 20)

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 ACRES  
 TRACT 2, UNIT 3  
 FILED 9-10-1931  
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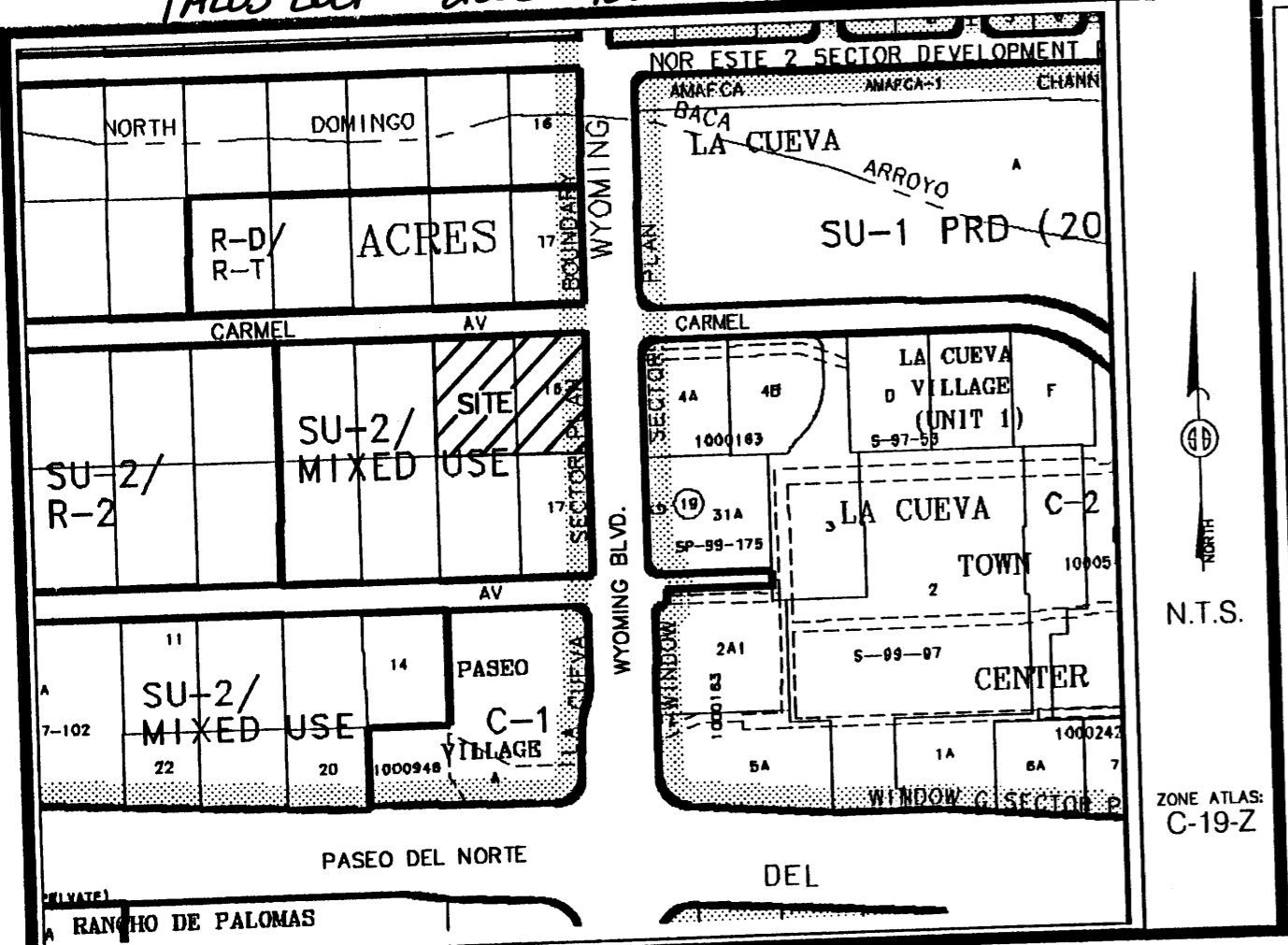
- △ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED

**SURVEYS SOUTHWEST LTD.**

333 LOMAS BLVD., N.E.  
 ALBUQUERQUE, NEW MEXICO  
 87102

PHONE: (505) 998-0303  
 FAX: (505) 998-0306

T11N R4E SEC. 18



Vicinity Map

**LEGAL DESCRIPTION**

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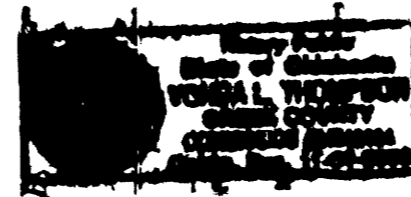
OWNER(S) SIGNATURE: *David M. James* DATE: 9/26/06  
OWNER(S) PRINT NAME: David M. James TRACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_

ACKNOWLEDGMENT  
STATE OF OKLA )  
) SS  
COUNTY OF TULSA )

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BY: David M. JAMES

MY COMMISSION EXPIRES: 11-04-08  
Verde S. Shamples  
NOTARY PUBLIC



**PLAT OF**  
**LOT 16-A, BLOCK 9, TRACT 2, UNIT 3**  
**NORTH ALBUQUERQUE ACRES**  
**PROJECTED SECTION 18, T. 11 N., R. 4 E., N.M.P.M.**  
**ELENA GALLEGOS GRANT**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
**SEPTEMBER 2006**  
**SHEET 1 OF 2**

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6. GROSS AREA: 1.8198
7. NUMBER OF EXISTING LOTS: 2
8. NUMBER OF LOTS CREATED: 1
9. THE PRIVATE ACCESS EASEMENT IS FOR THE BENEFIT AND USE BY AND FOR THE OWNER OF LOT 16-A AND IS TO BE MAINTAINED BY SAID OWNER.
10. PROPERTY IS ZONED SU-2.

CITY APPROVALS:	PROJECT NO.:	APPLICATION NO.
<u><i>[Signature]</i></u> CITY SURVEYOR		<u>9-27-06</u> DATE
TRAFFIC ENGINEERING		DATE
PARKS & RECREATION DEPARTMENT		DATE
WATER UTILITIES DEVELOPMENT		DATE
A.M.A.F.C.A.		DATE
CITY ENGINEER		DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT		DATE

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*Mitchell W. Reynolds* 09-22-06  
Date  
Mitchell W. Reynolds  
New Mexico Professional Surveyor, 11224



**SURVEYS SOUTHWEST LTD.**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102  
PHONE: (505) 998-0303  
FAX: (505) 998-0306

**T11N R4E SEC. 18**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: \_\_\_\_\_  
PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO COUNTY TREASURERS OFFICE: \_\_\_\_\_

PROJECT NO. 0601RS04  
DRAWN BY RS  
ZONE ATLAS: C-19-Z  
15-16NAA.CR5

**BOUNDARY SURVEY PLAT/TOPOGRAPHIC EXHIBIT**

**LOTS 15 & 16, BLOCK 9, TRACT 2, UNIT 3  
NORTH ALBUQUERQUE ACRES  
PROJECTED SECTION 18, T. 11 N., R. 4 E., N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY 2006**

1" = 40'  
PROJECT NO. 0601RS04  
DRAWN BY PGB  
ZONE ATLAS: C-19-Z  
15-16NAA.CRS

**SYMBOLS LEGEND**

	= TRAFFIC SIGNAL BOX
	= TRAFFIC SIGNAL
	= POWER POLE
	= OVERHEAD UTILITY LINE
	= UNDERGROUND SEWER LINE
	= UNDERGROUND WATER LINE
	= SEWER MANHOLE
	= DRAINAGE MANHOLE
	= WATER VALVE
	= ELECTRIC RISER

**SPOT ELEVATION LEGEND**

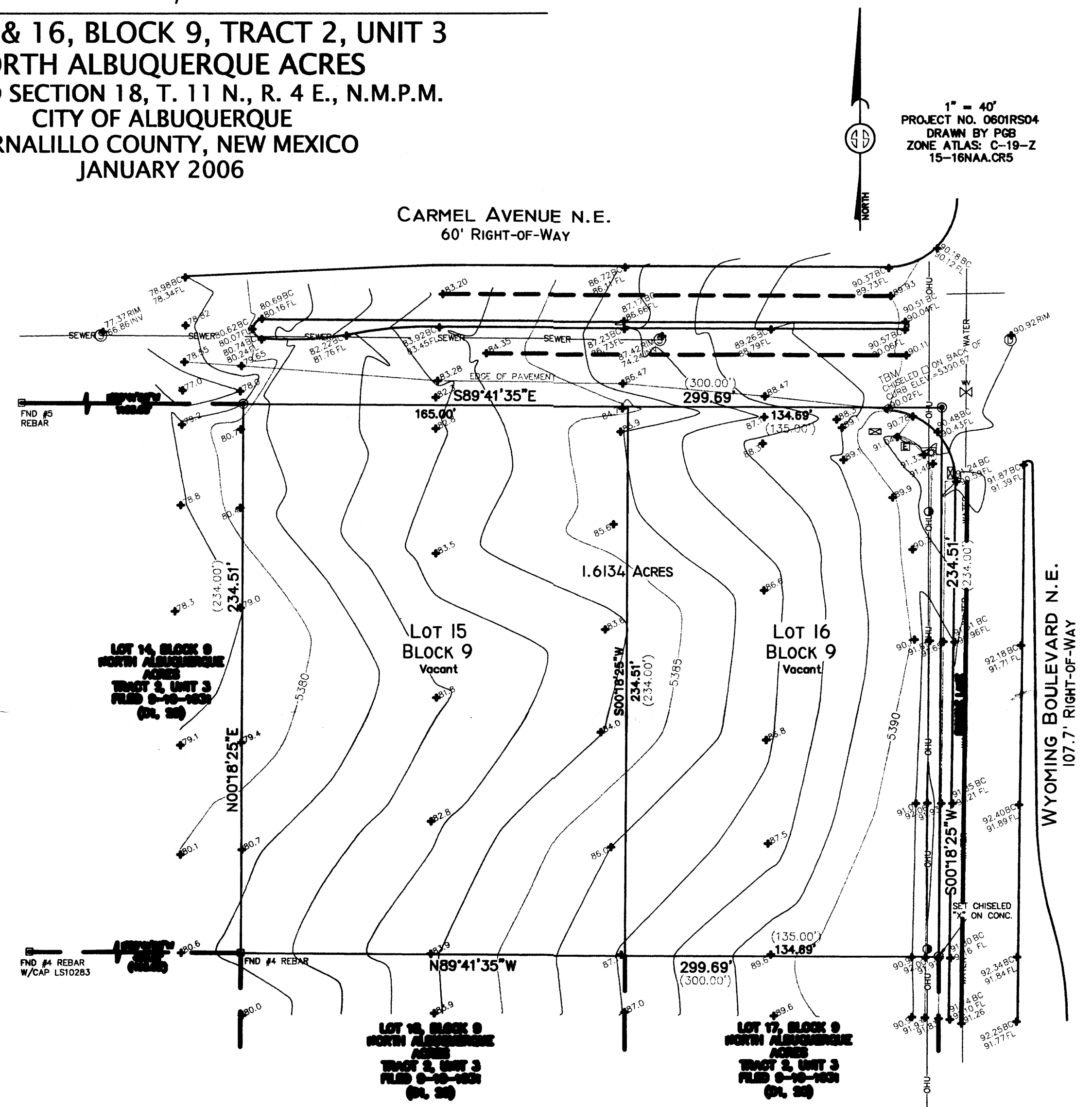
	= ELEVATION AT GROUND
	= ELEVATION AT TOP OF FINISHED SURFACE
	= ELEVATION AT BACK OF CURB
	= ELEVATION AT FLOWLINE OF CURB
	= ELEVATION AT RIM OF MANHOLE
	= ELEVATION AT INVERT OF MANHOLE

**LEGAL DESCRIPTION**

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**NOTES**

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- 2) Bearings and distance are field measured.
- 3) Bearings and distance in ( ) parentheses where record data and field data differ.
- 4) Subject property is located within Zone X, designating areas determined to be outside the 0.2% annual chance flood plain according to the Flood Insurance Rate Map, Bernalillo County, New Mexico and Incorporated Areas per Map No. 35001C0137 E, effective date November 19, 2003.
- 5) Property Lot 15 UPC # 101906423909030218  
Lot 16 UPC # 101906425309030217



**UTILITY COMPANY INFORMATION**  
P.N.M. GAS & ELECTRIC SERVICES  
848-4944  
QWEST COMMUNICATIONS  
245-8706  
COMCAST CABLE  
761-6273

**MONUMENT LEGEND**

	= TEMPORARY BENCH MARK
	= FOUND MONUMENT AS NOTED
	= SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCH-MARK HEAVEN, THE PUBLISHED ELEVATION OF WHICH IS 5966.26. BENCH-MARK IS LOCATED AT THE ENTRANCE TO GATE OF HEAVEN CEMETARY ON THE SOUTH SIDE OF PASEO DEL NORTE, JUST WEST OF WYOMING BOULEVARD.

UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND CITY OF ALBUQUERQUE UTILITY RECORDS. ACTUAL LOCATION SHOULD BE FURTHER VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE SURVEYOR.

**SURVEYORS CERTIFICATE**

I, MITCHELL W. REYNOLDS, A NEW MEXICO PROFESSIONAL SURVEYOR HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT WAS PREPARED FROM AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION, THAT I AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS BOUNDARY SURVEY PLAT AND THE FIELD SURVEY UPON WHICH IT IS BASED MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT. THIS IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

MITCHELL W. REYNOLDS LS11224

DATE

**SURVEYS SOUTHWEST, LTD.**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0306

**T11N R4E SEC. 18**

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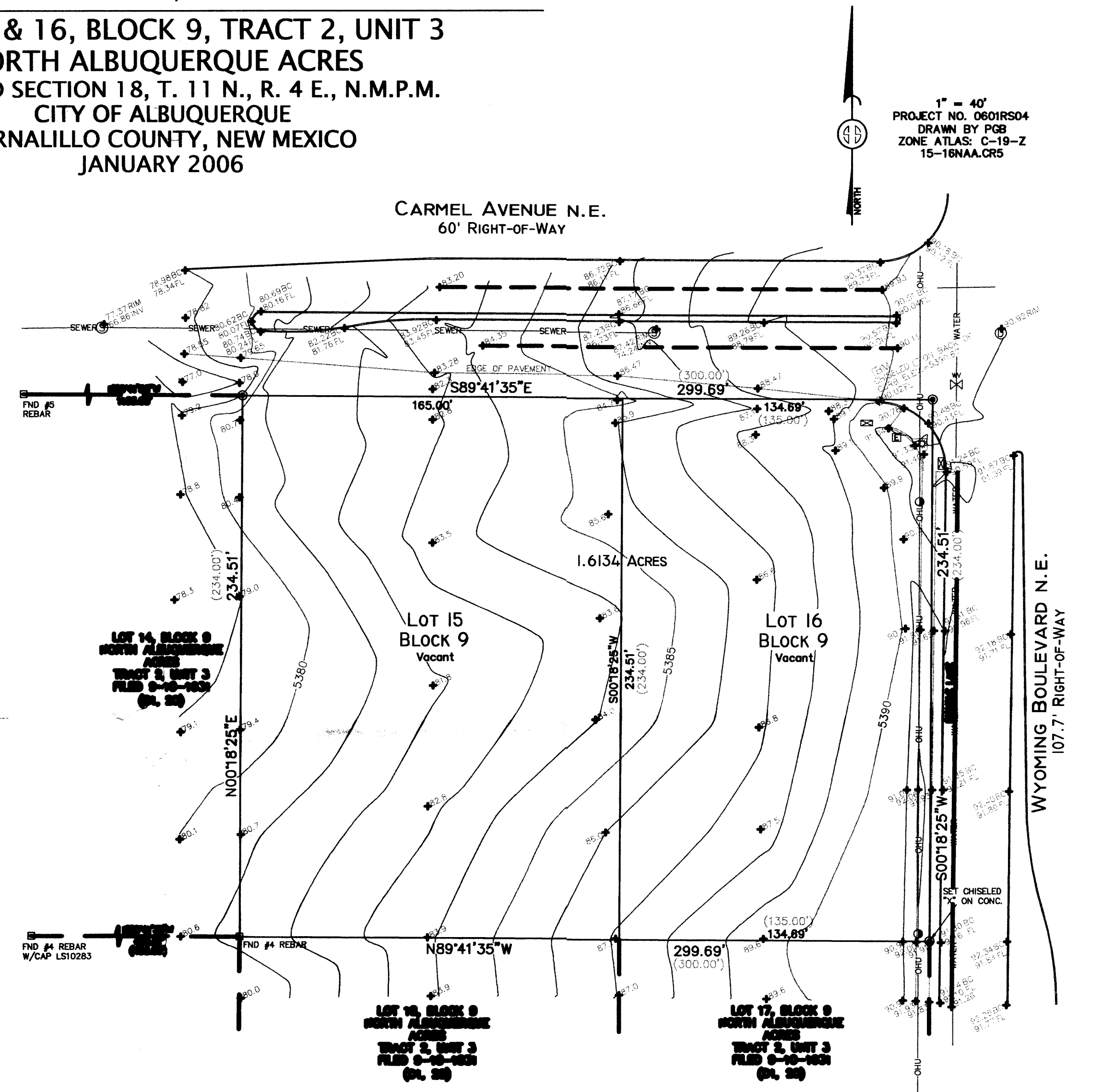
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UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND CITY OF ALBUQUERQUE UTILITY RECORDS. ACTUAL LOCATION SHOULD BE FURTHER VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE SURVEYOR.

**SURVEYOR'S CERTIFICATE**

I, MITCHELL W. REYNOLDS, A NEW MEXICO PROFESSIONAL SURVEYOR HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT WAS PREPARED FROM AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION, THAT I AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS BOUNDARY SURVEY PLAT AND THE FIELD SURVEY UPON WHICH IT IS BASED MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT. THIS IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

MITCHELL W. REYNOLDS LS11224

DATE

**SURVEYS SOUTHWEST, LTD.**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0306

**T11N R4E SEC. 18**

**PROJECT DATA**

**ZONING**  
 SU-2  
**YARD STANDARDS:**  
 FY = 30' MAXIMUM  
 RY = 5'  
 SY = 5'  
 SY ABUTTING A SIDE STREET = 5' + 40' R.O.W.

**OCCUPANCY**  
 GROUP B - BUSINESS  
**CONSTRUCTION**  
 TYPE II-B  
**FIRE PROTECTION**  
 TYPE II-B, UNSPRINKLERED  
 PARTY & FIRE WALLS: N/A  
 INTERIOR WALLS: N/A  
 TENANT SEPARATION: N/A  
 UTILITY SHAFTS: N/A  
 COLUMNS: N/A  
 FLOOR/CEILING: N/A  
 ROOF / CEILING: N/A  
 EXTERIOR WALLS: N/A

**LANDSCAPING**  
 REF. LANDSCAPE DRAWINGS  
**LAND AREA**  
 70,279 SF = 1.613 ACRES  
**BUILDING AREA**  
 BUILDING = 3,500 SQ. FT.

**PARKING**  
 BUSINESS PARKING SPACES  
 3,500 SF/200 = 18 SP REQUIRED  
 24 SP PROVIDED  
 HANDICAP SPACES = 1 SP REQUIRED  
 1 SP VAN ACCESSIBLE SP PROVIDED

**PROJECT TEAM**

**PROPERTY OWNER:**  
 BANK OF OKLAHOMA FINANCIAL CORPORATION  
 BTC 3 SOUTH  
 P.O. BOX 2300  
 TULSA, OK 74192  
 PHONE: (918) 619-1286

**ARCHITECT OF RECORD/CIVIL:**  
 CLAUDIO MQL ARCHITECTS  
 1801 RIO GRANDE BLVD., N.W.  
 ALBUQUERQUE, NM 87104  
 PHONE: (505) 842-1113  
 FAX: (505) 842-1330

**PUBLIC IMPROVEMENTS:**  
 D. MARK GOODWIN & ASSOCIATES, P.A.  
 P.O. BOX 90806  
 ALBUQUERQUE, NM 87199  
 PHONE: (505) 828-2200  
 FAX: (505) 797-9539

**ARCHITECT:**  
 BECK DESIGN  
 120 N. ROBINSON, SUITE 2800  
 FIRST NATIONAL CENTER  
 OKLAHOMA CITY, OK 73102  
 PHONE: (405) 232-7007  
 FAX: (405) 232-7029

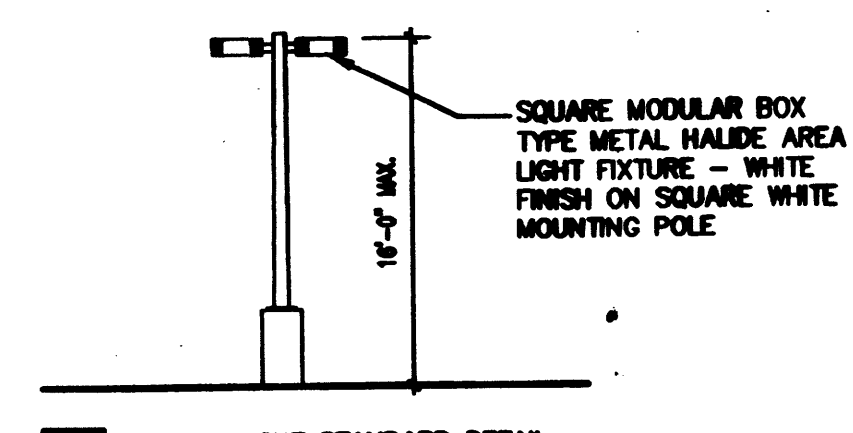
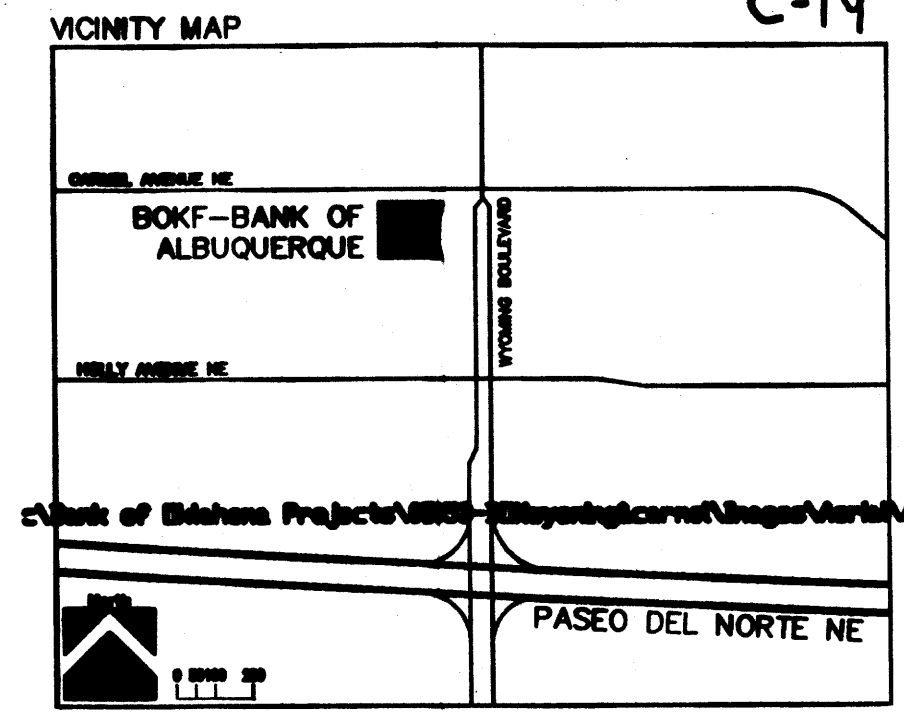
**LANDSCAPE:**  
 CONSENSUS PLANNING  
 302 EIGHTH STREET, N.W.  
 ALBUQUERQUE, NM 87102  
 PHONE: (505) 764-8801  
 FAX: (505) 842-5495

**SURVEY/PLAT:**  
 SURVEYS SOUTHWEST LTD  
 333 LOMAS BOULEVARD, N.E.  
 ALBUQUERQUE, NM 87102-2449  
 PHONE: (505) 998-0303  
 FAX: (505) 998-0306

**PROJECT DESCRIPTION**

SINGLE STORY STONE AND METAL FRAME PROTOTYPE BANK BUILDING. APPROXIMATELY 3,500 SF.

- SEE SYMBOLS LEGEND**
- - TRAFFIC SIGNAL BOX
  - - TRAFFIC SIGNAL
  - - POWER POLE
  - - OVERHEAD UTILITY LINE
  - - UNDERGROUND SEWER LINE
  - - UNDERGROUND WATER LINE
  - - SEWER MANHOLE
  - - DRAINAGE MANHOLE
  - - WATER VALVE
  - - ELECTRIC RISER



SITE LIGHTING SHALL BE LOCATED SO AS NOT TO GLARE ON TO ADJACENT SITES. LIGHTS SHALL BE LOCATED ON THE SITE AND THE BUILDING.

LIGHT SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 100 FOOT LAMBERTS. ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS MUST BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA. EXPOSED, I.E. UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS MUST BE SHIELDED SHOE BOX TYPE FIXTURES.

ALL LIGHTING TO COMPLY WITH THE NIGHT SKY PROTECTION ACT.

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES OF DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

**SIGNATURE BLOCK**

PROJECT NUMBER:  
 APPLICATION CASE NUMBER:

THIS PLAN IS CONFORMANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED CONSIDERED IN THE OFFICIAL NOTIFICATION OF DECISION AND SATISFIED.

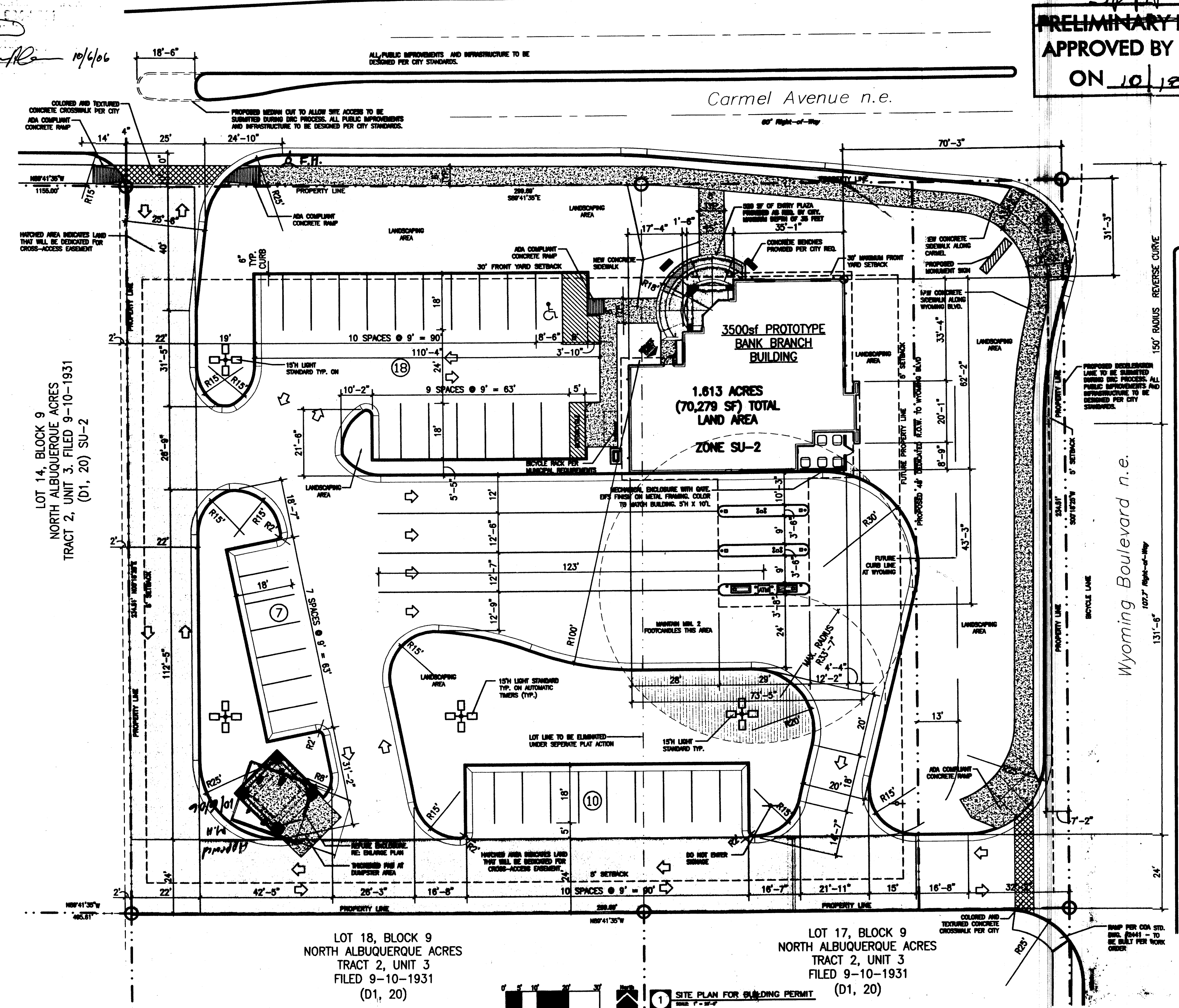
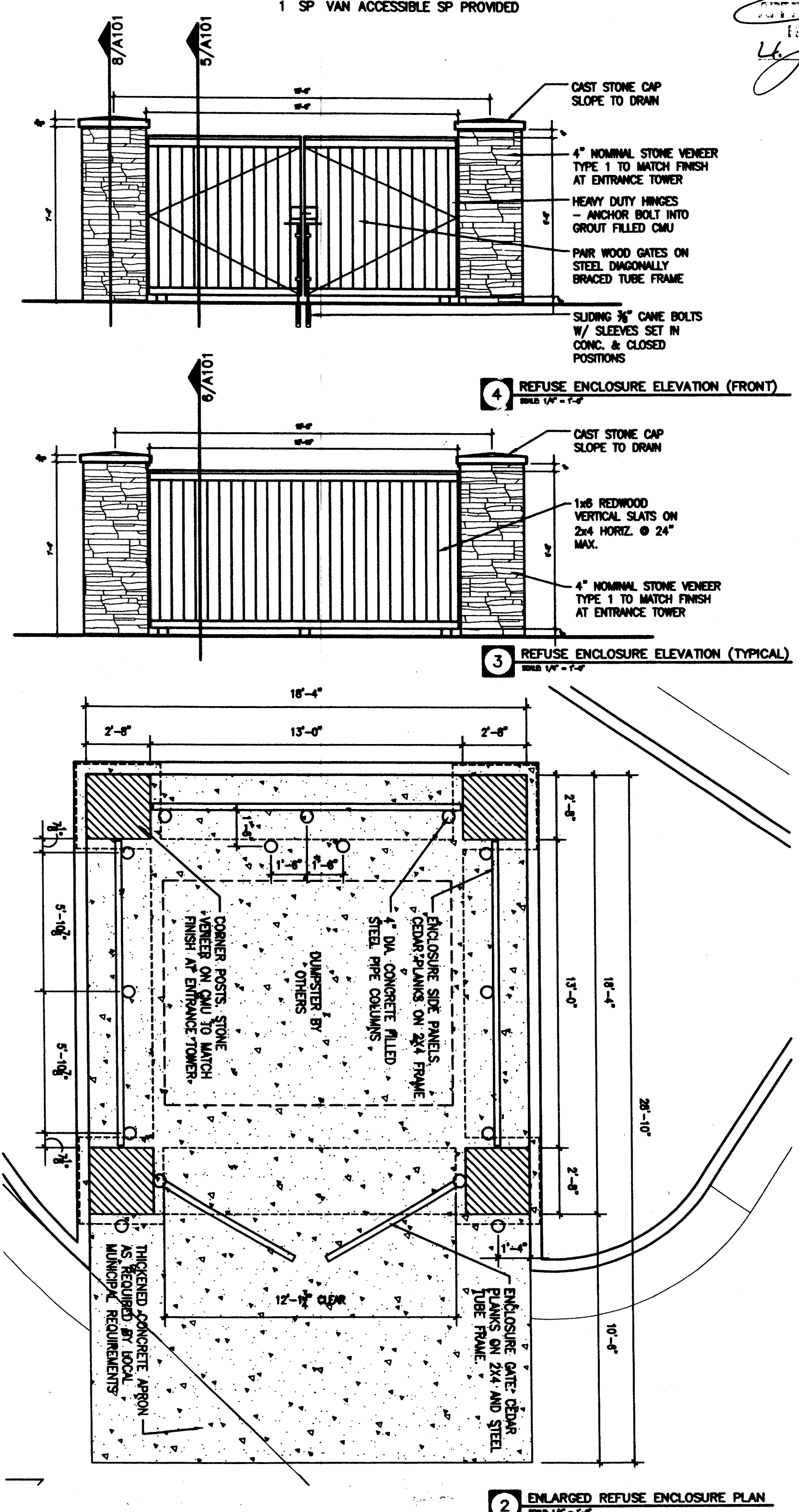
IS AN INFRASTRUCTURE LEFT BEHIND? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A FIRM ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

SEE SITE DEVELOPMENT PLAN NUMBER APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEVELOPMENT	DATE
PAVED & RECORDING DEPARTMENT	DATE
SEWER ENGINEERING, ENGINEERING DIVISION / SPECIAL	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (continued)	DATE
SOLID WASTE MANAGEMENT	DATE
SEE COMMISSION, PLANNING DEPARTMENT	DATE

*Handwritten signatures and dates:*  
 [Signature] 10/6/06  
 [Signature] 10/6/06

**PRELIMINARY PLAT**  
 APPROVED BY DRB  
 ON 10/12/06



**OKLAHOMA CITY**  
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**TULSA**  
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 T: 918.585.5300  
 F: 918.585.1987

**PROJECT:**  
 BANK OF ALBUQUERQUE

**WYOMING BLVD. & CARMEL ALBUQUERQUE, NM**

**PROJECT NUMBER:**  
 05053

**CONSULTANT:**

**REVISIONS:**

**SEAL:**

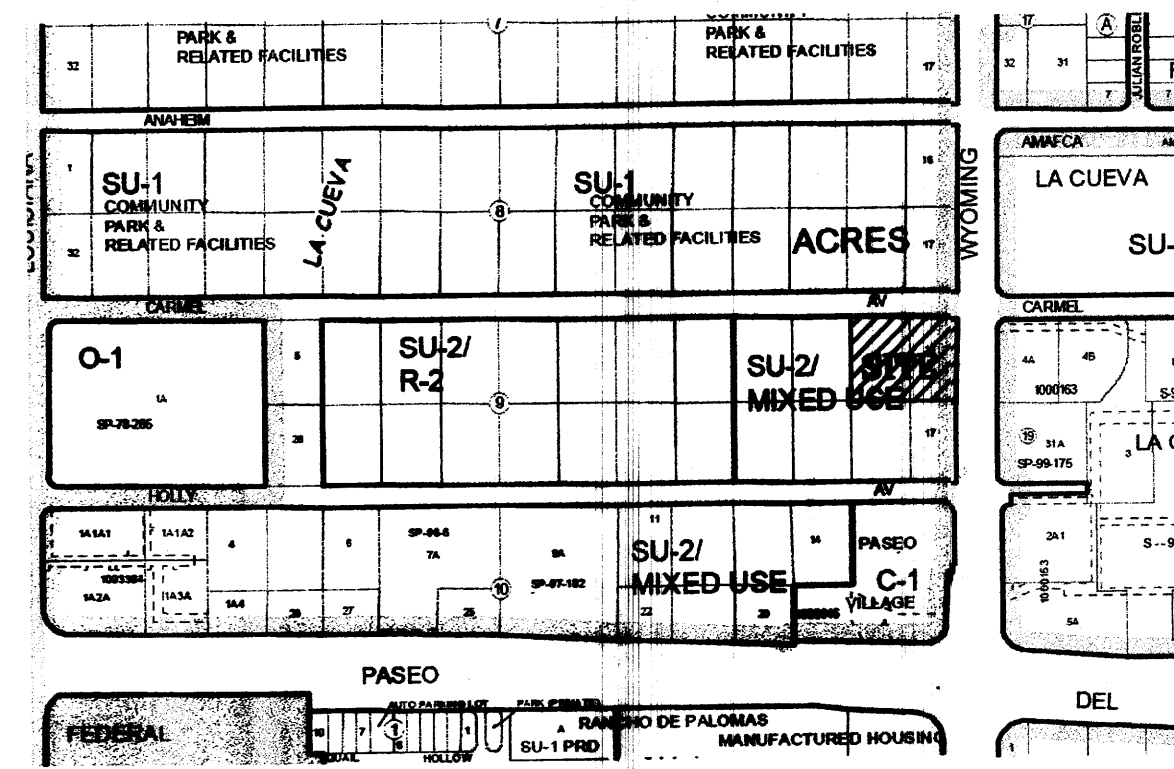
DESIGN DEVELOPMENT  
 NOT FOR CONSTRUCTION

**ISSUE DATE:**  
 27 SEPTEMBER 2006

**SHEET NUMBER:**

A101

SITE PLAN FOR BUILDING PERMIT



**D-5 VICINITY MAP - C19**

SCALE: NONE

**LEGAL DESCRIPTION:**  
 LOTS 15 & 16, BLOCK 9, TRACT 2, UNIT 3 NORTH ALBUQUERQUE ACRES

**SCALE: NONE**

**DRAINAGE PLAN**

THE PROPOSED IMPROVEMENTS AS SHOWN BY THE VICINITY MAP, ARE LOCATED WEST OF WYOMING BOULEVARD NORTH OF PLASO DEL NORTE, ON THE SOUTH WEST CORNER OF THE INTERSECTION OF WYOMING BLVD. AND CARMEL AVE. THE SITE IS UNDEVELOPED AND SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 4.0% PER MAP NO. 35001C0137 E. THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE. THE SITE IS HIGHER THAN THE LANDS TO THE WEST, THE LANDS TO THE NORTH AND SOUTH SLOPE FROM WEST TO EAST. THE EXISTING CURB AND GUTTER ALONG WYOMING BLVD. TO THE EAST BLOCKS FLOWS FROM THAT DIRECTION THEREFORE OFFSITE FLOWS ARE CONSIDERED INSIGNIFICANT.

THE PROPOSED SITE LIES WITHIN THE NORTH ALBUQUERQUE ACRES SUBDIVISION. THE PROPOSED IMPROVEMENTS CONSIST OF A NEW BANK BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING. AS SHOWN BY THE CALCULATION THE PROPOSED DEVELOPMENT WILL INCREASE THE RATE AND VOLUME OF RUNOFF. THE PROPOSED RATE OF DISCHARGE IS 6.6 CFS (4.1 CFS/ACRE). THE DEVELOPED RUNOFF FROM THE SITE ARE TO BE DIRECTED TO THE PROPOSED DRIVE ENTRANCE ON CARMEL AVE. NO PONDING IS ANTICIPATED FOR THE SITE.

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II.

**CALCULATIONS**  
 PRECIPITATION ZONE = 3  
 TOTAL SITE AREA = 1.613 ACRES

**EXISTING CONDITIONS**  
 LAND TREATMENT A=100%  
 E = 0.66(1.00) = 0.66 INCHES  
 V = 0.66(1.613) / 12 = 0.089 ACRE FEET  
 Q = 1.87(1.00) (1.613) = 3.0 CFS

**DEVELOPED CONDITIONS**  
 LAND TREATMENT B=44% D=56%  
 E = 0.912(0.44)+2.36(0.56) = 1.73 INCHES  
 V = 1.73 (1.613) / 12 = 0.233 ACRE FEET  
 Q = 2.60 (0.44)+5.25(0.56) (1.613) = 6.6 CFS  
 Q = 6.6/1.613 = 4.1 CFS/ACRE  
 INCREASE IN VOLUME OF RUNOFF = 0.144 ACRE FT  
 INCREASE IN RATE OF RUNOFF = 3.6 CFS

- CONSTRUCTION NOTES**
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
  - ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
  - PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT/ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
  - THE CONTRACTOR SHALL PROVIDE THE ARCHITECT/ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.
  - THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.), ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
  - THE OWNER/CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
  - CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.
  - ALL POND BOTTOMS SHALL RECEIVE GRAVEL AND FILTER FABRIC SEE LANDSCAPE PLAN.
  - THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK HEAVEN, THE PUBLISHED ELEVATION OF WHICH IS 5378.26. BENCHMARK IS LOCATED AT THE ENTRANCE TO GATE OF HEAVEN CEMETARY ON THE SOUTH SIDE OF PASEO DEL NORTE, JUST WEST OF WYOMING BOULEVARD.

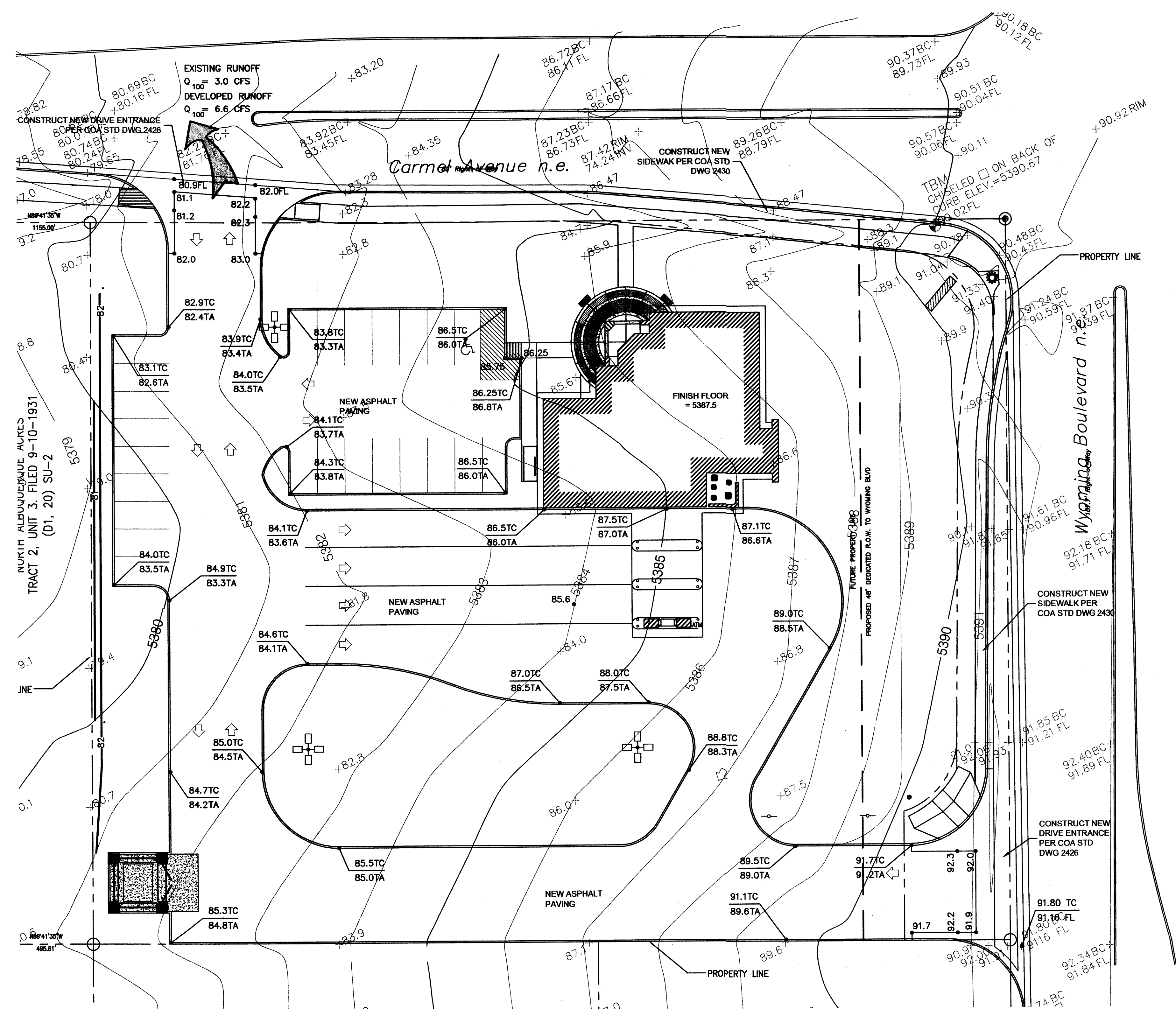
**FACILITY ACCESSIBILITY**  
 ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117-1998.

WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.

CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMP TO WALKS, GUTTERS OR STREETS SHALL BE AT THE SAME LEVEL. WHERE PEDESTRIANS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:10. WHERE THE TOP OF THE RAMP PARALLEL TO THE RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.

HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND DEVICES. ALL SIGNS, BARRICADES, CHURNALIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION PRIOR TO CONSTRUCTION, THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AUTHORITY.



- LEGEND:**
- +93.1 EXISTING SPOT ELEVATION
  - 51.00 NEW SPOT ELEVATION
  - 51- EXISTING CONTOUR
  - 51- NEW CONTOUR
  - SWALE
  - ✓ VERIFIED ELEVATION
  - 54.0 AS BUILT ELEVATION
  - BASIN BOUNDARY
  - PROPERTY LINE
  - FL FLOW LINE
  - GND GROUND
  - INV INVERT
  - TA TOP OF ASPHALT
  - TC TOP OF CURB
  - TG TOP OF GRATE
  - TS TOP OF CONCRETE SLAB
  - TW TOP OF WALL
  - TBM TEMPORARY BENCH MARK
  - GRAVEL
  - ASPHALT PAVING
  - CONCRETE

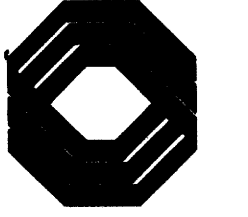


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 F: 918.583.1967

**PROJECT:**  
 BANK OF ALBUQUERQUE

WYOMING BLVD. & CARMEL ALBUQUERQUE, NM



**PROJECT NUMBER:**  
 05053

**CONSULTANT:**  
 CLAUDIO VIGIL ARCHITECTS

**REVISIONS:**

**SEAL:**

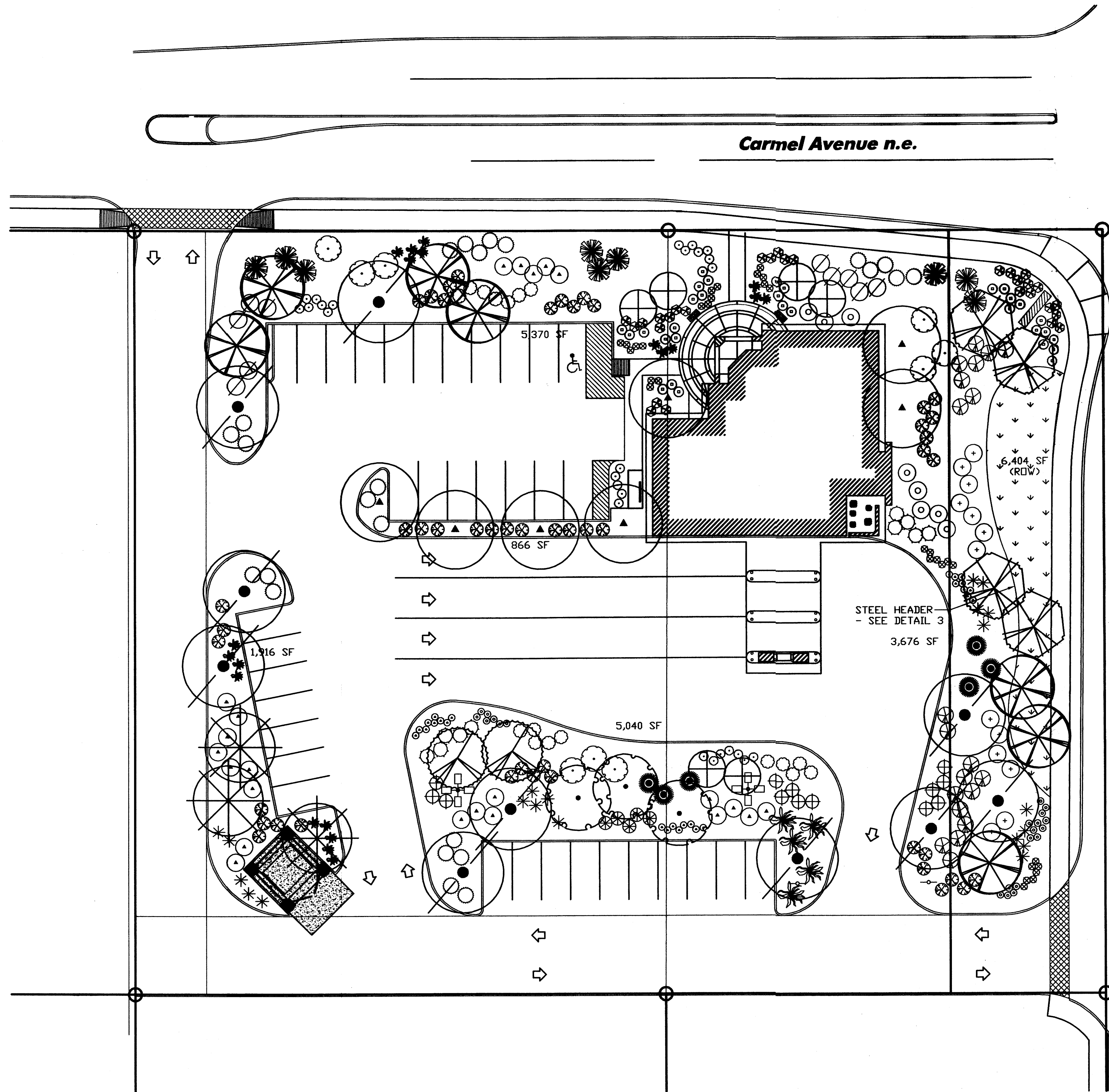
**ISSUE DATE:**  
 JUNE 15, 2006

**SHEET NUMBER:**

GD101

GRADING PLAN FOR APPROVAL FOR DRB ACTION





LANDSCAPE PALETTE

Symbol	Botanical Name / Common Name	Mature Size / Water Use	Symbol	Botanical Name / Common Name	Mature Size / Water Use
⊗	Trees <i>Cercis reniformis</i> 'Oklahoma' Oklahoma Redbud	25' x 25' Medium	⊗	<i>Parovida atriplicifolia</i> Russian Sage	60' x 60' Medium
⊗	<i>Chilopsis linearis</i> 'Lucretia Hamilton' Desert Willow	20' x 25' Low	⊗	<i>Potentilla fruticosa</i> Shrubby Cinquefoil	36' x 36' Medium
⊗	<i>Chitalpa tashkentensis</i> 'Pink Dawn' Chitalpa	30' x 30' Medium	⊗	<i>Rhus aromatica</i> 'Gro-Low' Prostrate Sumac	24' x 48' Low
⊕	<i>Forestiera neomexicana</i> New Mexico Olive	15' x 15' Medium	⊕	<i>Rhus tripartita</i> Tree-Mist Sumac	48' x 60' Low
⊗	<i>Robinia x ambigua</i> Purple Robe Locust	35' x 30' Medium	⊕	<i>Rosemaria officinalis</i> Prostrate Rosemary	24' x 60' Low
⊗	<i>Pinus albertica</i> Afghan Pine	40' x 35' Medium	⊕	<i>Salvia greggii</i> Cherry Sage	36' x 36' Medium
⊗	<i>Quercus buckleyi</i> Texas Red Oak	25' x 25' Medium	⊗	<b>Ornamental Grasses</b> <i>Panicum virgatum</i> Maiden Hair Grass	60' x 60' Medium
⊗	<i>Tilia cordata</i> Littleleaf Linden	40' x 30' Medium	⊗	<i>Notia microcarpa</i> Bear Grass	36' x 48' Medium
⊗	<b>Shrub/Groundcovers</b> <i>Artemisia 'Powis Castle'</i> Powis Castle Sage	36' x 30' Medium	⊗	<b>Accents</b> <i>Dauglthia wheeleri</i> Sotol	48' x 60' Low
⊗	<i>Baccharis 'Stam Thompson'</i> Dwarf Coyotebush	24' x 60' Low	⊗	<i>Hesperaloe parviflora</i> Red/Yellow Flowering Yucca	36' x 36' Medium
⊗	<i>Buddleia davidii</i> 'Nanhoensis' Butterfly Bush	48' x 36' Medium	⊗	Native Grass/Alcifer Seed Mix	Low
⊗	<i>Ceanothus gilliesii</i> Bird of Paradise	36' x 12' Low			
⊗	<i>Caryopteris clandonensis</i> Blue Mist	48' x 48' Low			
⊗	<i>Crysanthemum nussense</i> Chantia	60' x 60' Low			
⊗	<i>Cytisus x 'Lena'</i> Lena's Broom	24' x 36' Low			
⊗	<i>Ericameria laricifolia</i> Dwarf Turpentine Bush	36' x 42' Low			
⊗	<i>Erythronium 'Bowles Mauve'</i> Bowles Mauve Wallflower	24' x 36' Medium			
⊗	<i>Fallugia paradoxa</i> Apache Plant	60' x 60' Low			
⊗	<i>Gallardia grandiflora</i> 'Fairfax' Blanket Flower	30' x 30' Low			
⊗	<i>Helianthus lasianthus</i> Yellow Rockrose	24' x 36' Medium			

LANDSCAPE CALCULATIONS

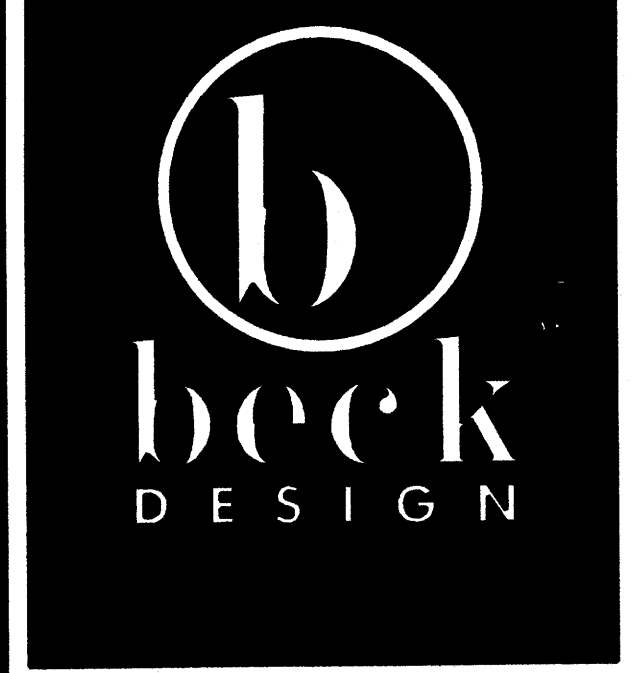
Total Site Area:	(1.61 acres)	102,719 SF
Building Area:		3,500 SF
Net Area:		66,119 SF
Required Landscape Area (15% of Net Area):		10,111 SF
Provided Landscape Area: (46%)		23,272 SF
On-site:		16,868 SF
ROW:		6,404 SF

**MULCHES**  
All shrub planting areas shall be top dressed with 1/8" Santa Fe Brown Rock Mulch 2" - 4" Santa Ana Tan Cobble will be used as an accent mulch in certain areas.

**IRRIGATION SYSTEM**  
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated drip irrigation system will be used to irrigate tree, shrub and groundcover planting areas. A temporary spray system will be used to establish the native seeded area. Upon establishment, the spray system will be used only on an as needed basis.

**MAINTENANCE RESPONSIBILITY**  
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

**STATEMENT OF WATER WASTE**  
The Landscape Plan for the Bank of Albuquerque shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.



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**PROJECT:**  
**BANK OF ALBUQUERQUE**  
WYOMING BLVD. & CARMEL ALBUQUERQUE, NM

**PROJECT NUMBER:**  
**05053**

**CONSULTANT:**  
**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 764-9801 Fax: 842-5495  
e-mail: cp@consensusplanning.com

**REVISIONS:**

**SEAL:**

**SCHEMATIC DESIGN**  
**NOT FOR CONSTRUCTION**

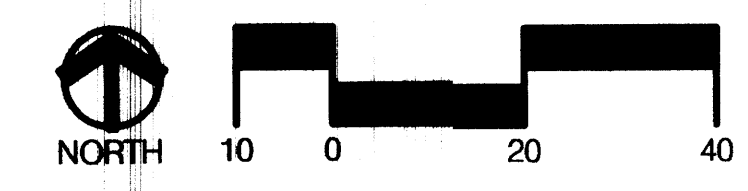
**ISSUE DATE:**  
**SEPTEMBER 22, 2006**

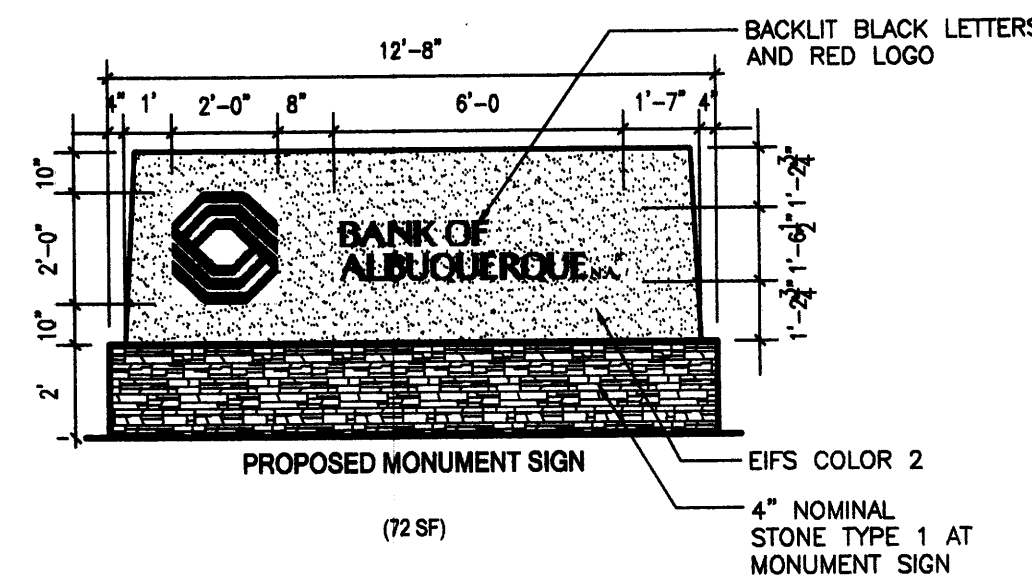
**SHEET NUMBER:**

**L-101**

CONCEPTUAL LANDSCAPE PLAN

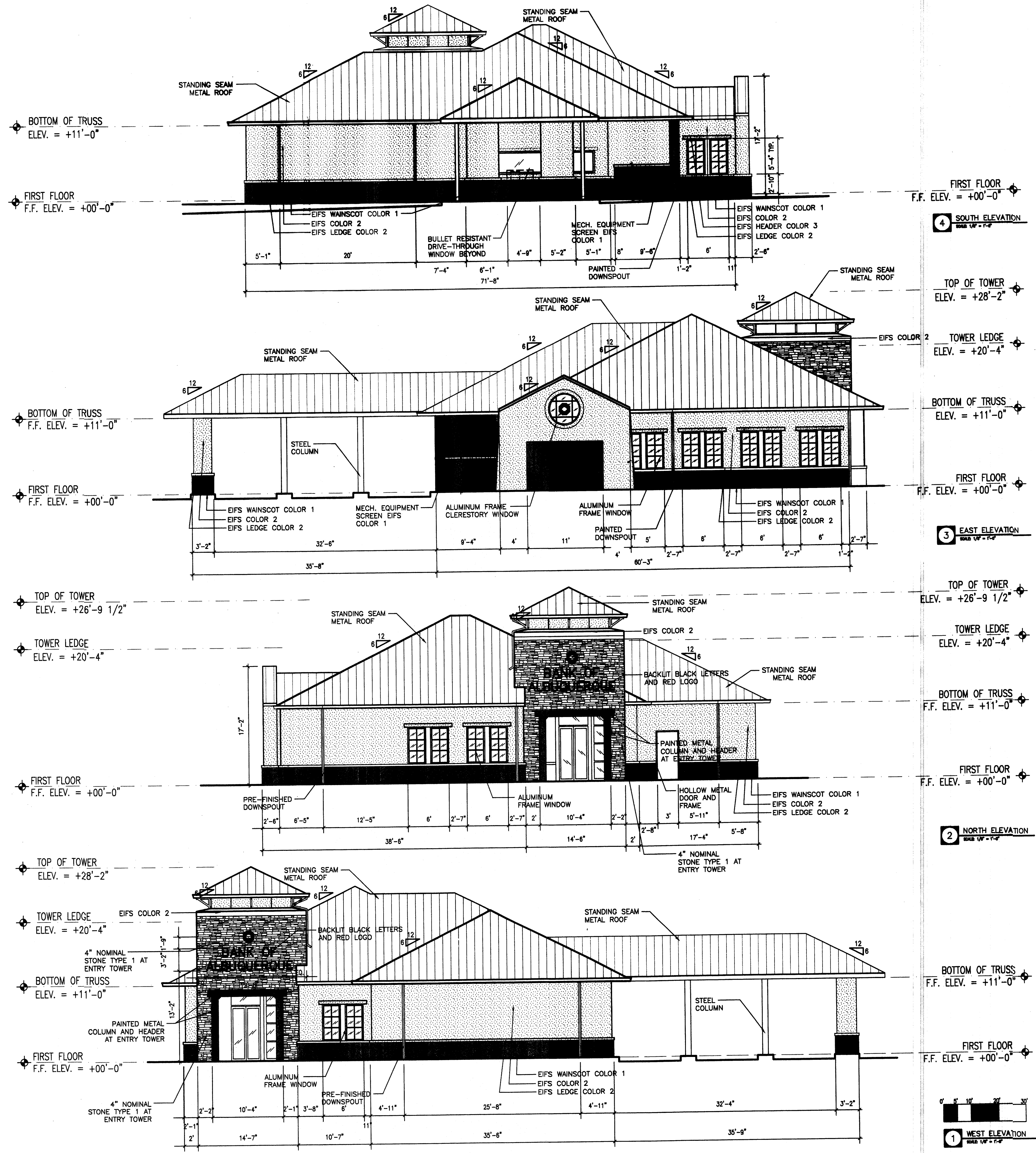
DESIGNED BY	
PLANNED BY	
REVISIONS BY	
DATE	





5 MONUMENT SIGN  
SCALE: 1/4" = 1'-0"

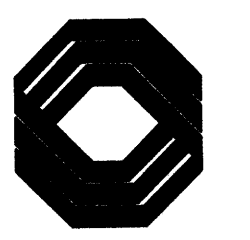
EXTERIOR FINISH LEGEND			
MATERIAL	MANUFACTURER	DESCRIPTION	NOTES
<b>DIVISION 4 - MASONRY</b>			
STONE VENEER TYPE 1		BUFF, GRD UND FACE	MORTAR COLOR: H10 LIGHT BUFF
PRE-FINISHED CONCRETE MASONRY UNIT	NO RHIFIELD	BUFF, GRD UND FACE	MORTAR COLOR: H10 LIGHT BUFF
<b>DIVISION 5 - METALS</b>			
TUBE STEEL BRACKET	SHERWIN WILLIAMS	LIGHT GRAY	PER SECTION 09900
PAINTED STEEL COLUMN AND UNTEL	SHERWIN WILLIAMS	SAFFRON GOLD	PER SECTION 09900
PRE-FINISHED METAL	PAC-CLAD	LIGHT GRAY	CANO RES. BREAK METAL
<b>DIVISION 6 - WOODS AND PLASTICS</b>			
FASCIA BOARD		LIGHT GRAY	PER SECTION 09900
<b>DIVISION 7 - THERMAL AND MOISTURE PROTECTION</b>			
EXTERIOR INSULATION AND FINISH SYSTEM - COLOR 1	DRYVIT	SAFFRON GOLD	TYPICAL COLOR PER SECTION 09900
EXTERIOR INSULATION AND FINISH SYSTEM - COLOR 2	DRYVIT	OFF-WHITE	ACCENT COLOR PER SECTION 09900
SHEET METAL ROOFING	PAC-CLAD	PAC-CLAD METALLIC - STONE WHITE	LOW REFLECTANCE
SHEET METAL FLASHING AND TRIM	PAC-CLAD	PAC-CLAD METALLIC - STONE WHITE	LOW REFLECTANCE
GUTTERS AND DOWNSPOUTS	PAC-CLAD	PAC-CLAD METALLIC - STONE WHITE	LOW REFLECTANCE
<b>DIVISION 8 - DOORS AND WINDOWS</b>			
ALUMINUM ENTRANCES AND STOREFRONT	KAWNEER	LIGHT GRAY POWDER COAT	
ALUMINUM PACKAGE WINDOWS	THERMAL WINDOWS	LIGHT GRAY	
BULLET-RESISTANT WINDOW	DIEBOLD	LIGHT GRAY	
TINTED SAFETY AND NON-SAFETY GLASS	VIACO N	GRAY INSUL-SHIELD	
BULLET-RESISTANT GLASS	DIEBOLD	GRAY	



OKLAHOMA CITY  
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121 WEST FIFTH  
TULSA, OK 74103  
T: 918.583.5300  
F: 918.583.1967

PROJECT:  
**BANK OF ALBUQUERQUE**  
WYOMING BLVD. & CARMEL ALBUQUERQUE, NM



PROJECT NUMBER:  
**05053**

CONSULTANT:

REVISIONS:

SEAL:

DESIGN DEVELOPMENT

NOT FOR CONSTRUCTION

ISSUE DATE:  
27 SEPTEMBER 2006

SHEET NUMBER:

**A401**

BUILDING AND STRUCTURE ELEVATIONS



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PROJECT:  
BANK OF  
ALBUQUERQUE

WYOMING BLVD. & CARMEL  
ALBUQUERQUE, NM

PROJECT NUMBER:  
05053

CONSULTANT:



CLAUDIO VIGIL  
ARCHITECTS

REVISIONS:

SEAL:

DESIGN  
DEVELOPMENT

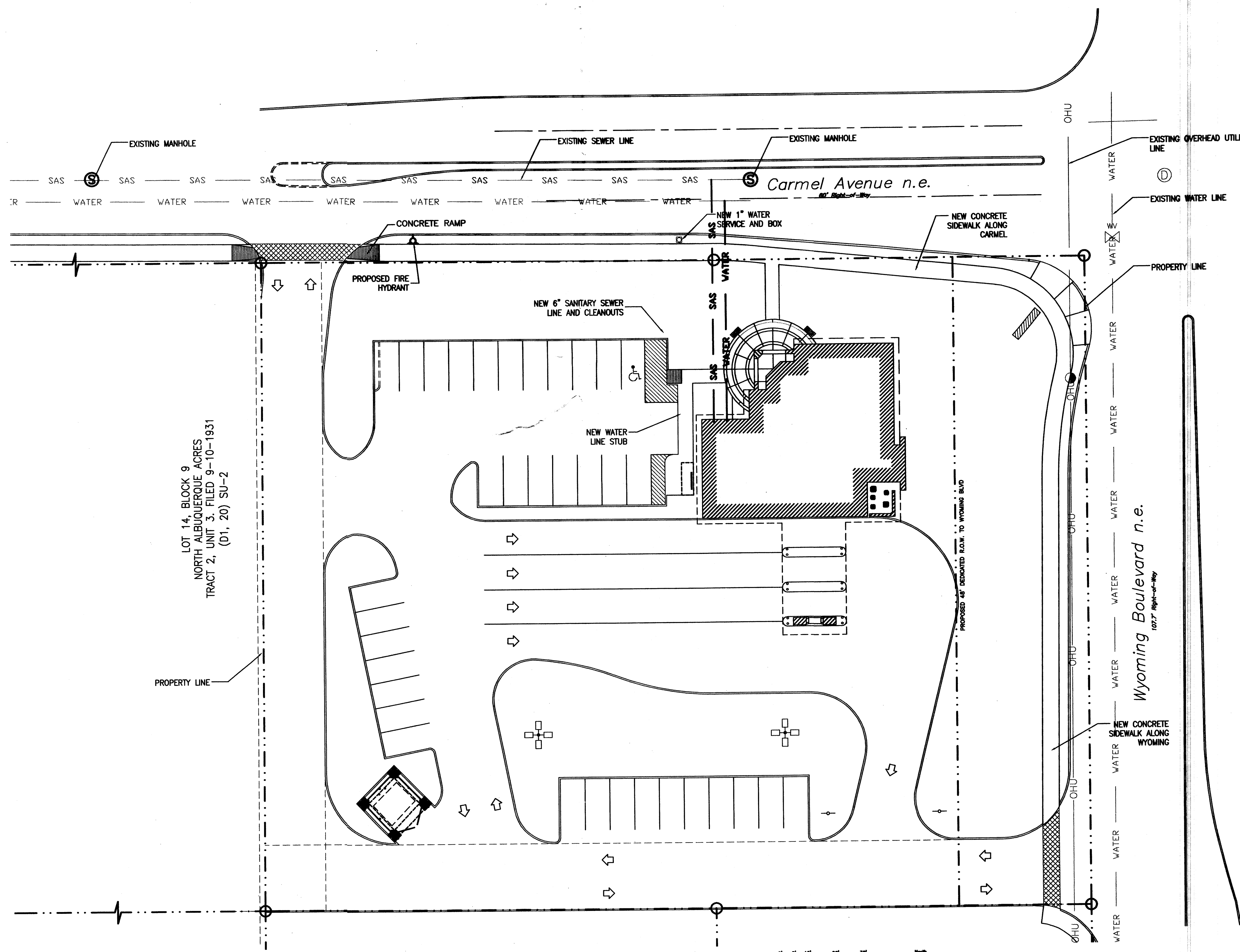
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ISSUE DATE:  
26 SEPTEMBER, 2006

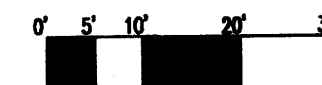
SHEET NUMBER:

U101

CONCEPTUAL UTILITY PLAN



SYMBOLS LEGEND	
	= TRAFFIC SIGNAL BOX
	= TRAFFIC SIGNAL
	= POWER POLE
	= OVERHEAD UTILITY LINE
	= UNDERGROUND SEWER LINE
	= UNDERGROUND WATER LINE
	= SEWER MANHOLE
	= DRAINAGE MANHOLE
	= WATER VALVE
	= ELECTRIC RISER



1 CONCEPTUAL UTILITY PLAN  
DATE: 9-26-06

**PROJECT DATA**

**ZONING**  
SU-2  
YARD STANDARDS:  
FY = 30' MAXIMUM  
RY = 5'  
SY = 5'  
SY ABUTTING A SIDE STREET = 5' + 40' R.O.W.

**OCCUPANCY**  
GROUP B - BUSINESS  
**CONSTRUCTION**  
TYPE II-B  
**FIRE PROTECTION**  
TYPE II-B, UNPROTECTED, UNSPRINKLERED  
PARTY & FIRE WALLS: N/A  
INTERIOR WALLS: 0  
TENANT SEPARATION: N/A  
UTILITY SHAFTS: N/A  
COLUMNS: N/A  
FLOOR/CEILING: N/A  
ROOF / CEILING: N/A  
EXTERIOR WALLS: N/A  
**LANDSCAPING**  
REF. LANDSCAPE DRAWINGS  
**LAND AREA**  
70,279 SF = 1.613 ACRES  
**BUILDING AREA**  
BUILDING = 3,500 SQ. FT.  
**PARKING**  
BUSINESS PARKING SPACES  
3,500 SF/200 = 18 SP REQUIRED  
24 SP PROVIDED  
HANDICAP SPACES = 1 SP REQUIRED  
1 SP VAN ACCESSIBLE SP PROVIDED

**PROJECT TEAM**

**PROPERTY OWNER:**  
BANK OF OKLAHOMA FINANCIAL CORPORATION  
870 3 SOUTH  
P.O. BOX 2300  
TULSA, OK 74192  
PHONE: (918) 619-1286

**ARCHITECT:**  
BECK DESIGN  
120 N. ROBINSON, SUITE 2800  
FIRST NATIONAL CENTER  
OKLAHOMA CITY, OK 73102  
PHONE: (405) 232-7007  
FAX: (405) 232-7029

**ARCHITECT OF RECORD/CIVIL:**  
CLAUDIO VIGI ARCHITECTS  
1801 RIO GRANDE BLVD., N.W.  
ALBUQUERQUE, NM 87104  
PHONE: (505) 842-1113  
FAX: (505) 842-1330

**LANDSCAPE:**  
CONSENSUS PLANNING  
302 EIGHTH STREET, N.W.  
ALBUQUERQUE, NM 87102  
PHONE: (505) 764-9801  
FAX: (505) 842-5495

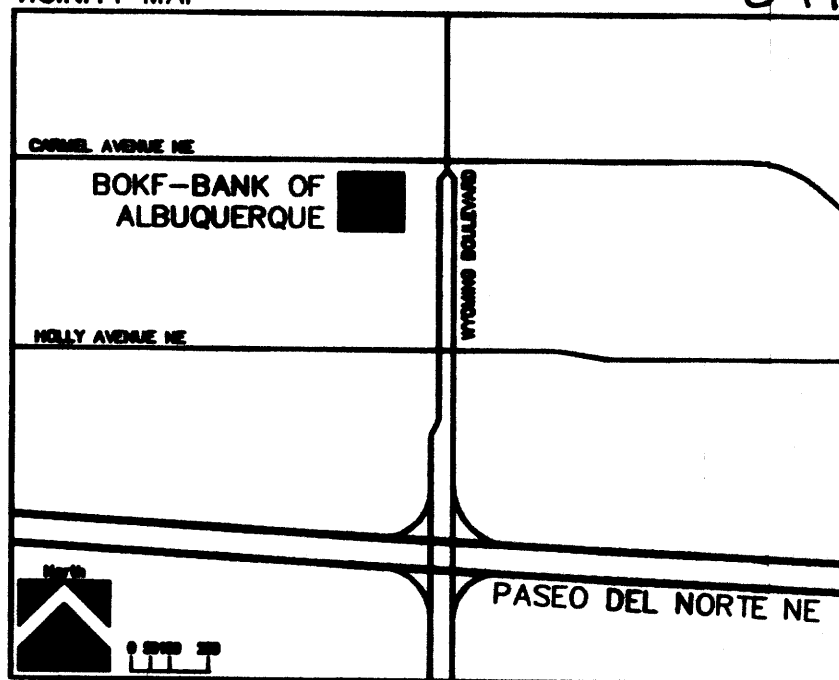
**PUBLIC IMPROVEMENTS**  
D. MARK GOODWIN & ASSOCIATES, P.A.  
P.O. BOX 90606  
ALBUQUERQUE, NM 87199  
PHONE: (505) 828-2200  
FAX: (505) 797-9539

**SURVEY/PLAT**  
SURVEYS SOUTHWEST LTD  
333 LOMAS BOULEVARD, N.E.  
ALBUQUERQUE, NM 87102-2449  
PHONE: (505) 998-0303  
FAX: (505) 998-0306

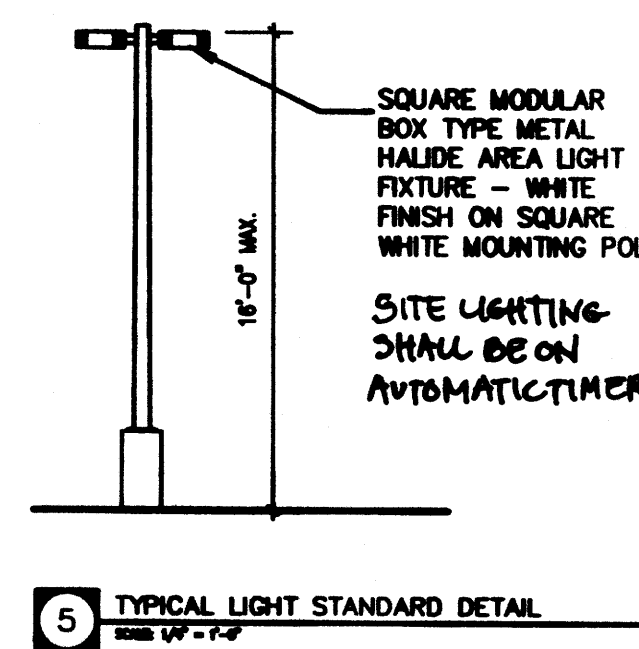
**PROJECT DESCRIPTION**

SINGLE STORY STONE AND METAL FRAME PROTOTYPE BANK BUILDING. APPROXIMATELY 3,500 SF.

**VICINITY MAP**



- SITE SYMBOLS LEGEND**
- - TRAFFIC SIGNAL BOX
  - - TRAFFIC SIGNAL
  - - POWER POLE
  - - OVERHEAD UTILITY LINE
  - - UNDERGROUND SEWER LINE
  - - UNDERGROUND WATER LINE
  - - SEWER MANHOLE
  - - DRAINAGE MANHOLE
  - ⊕ - WATER VALVE
  - - ELECTRIC RISER



SITE LIGHTING SHALL BE LOCATED SO AS NOT TO GLARE ON TO ADJACENT SITES. LIGHTS SHALL BE LOCATED ON THE SITE AND THE BUILDING.

LIGHT SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 100 FOOT LAMBERTS. ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS MUST BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA. EXPOSED, I.E. UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS MUST BE SHIELDED SHOE BOX TYPE FIXTURES.

ALL LIGHTING TO COMPLY WITH THE NIGHT SKY PROTECTION ACT.

AFD PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
Inspector: M. Kelly 6-18-06  
SIGNATURE & DATE

**SIGNATURE BLOCK**

PROJECT NUMBER:  
APPLICATION CASE NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED \_\_\_\_\_ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED EDC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WHETHER PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

FOR SITE DEVELOPMENT PLAN REVIEW APPROVAL:

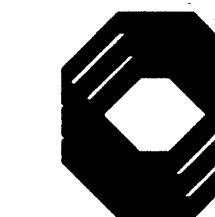
TRAFFIC ENGINEER, TRANSPORTATION ENGINEER	DATE
TRAFFIC SAFETY DEVELOPMENT	DATE
PAVED & RECONSTRUCTION DEPARTMENT	DATE
CITY ENGINEER, ENGINEERING DEPARTMENT / ADMIN.	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (_____)	DATE
Michael Holten	6/20/06
ROAD TRAFFIC MANAGEMENT	DATE
USE COMMISSION, PLANNING DEPARTMENT	DATE



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PROJECT:  
**BANK OF ALBUQUERQUE**  
WYOMING BLVD. & CARMEL ALBUQUERQUE, NM



PROJECT NUMBER:  
**05053**  
CONSULTANT:

REVISIONS:

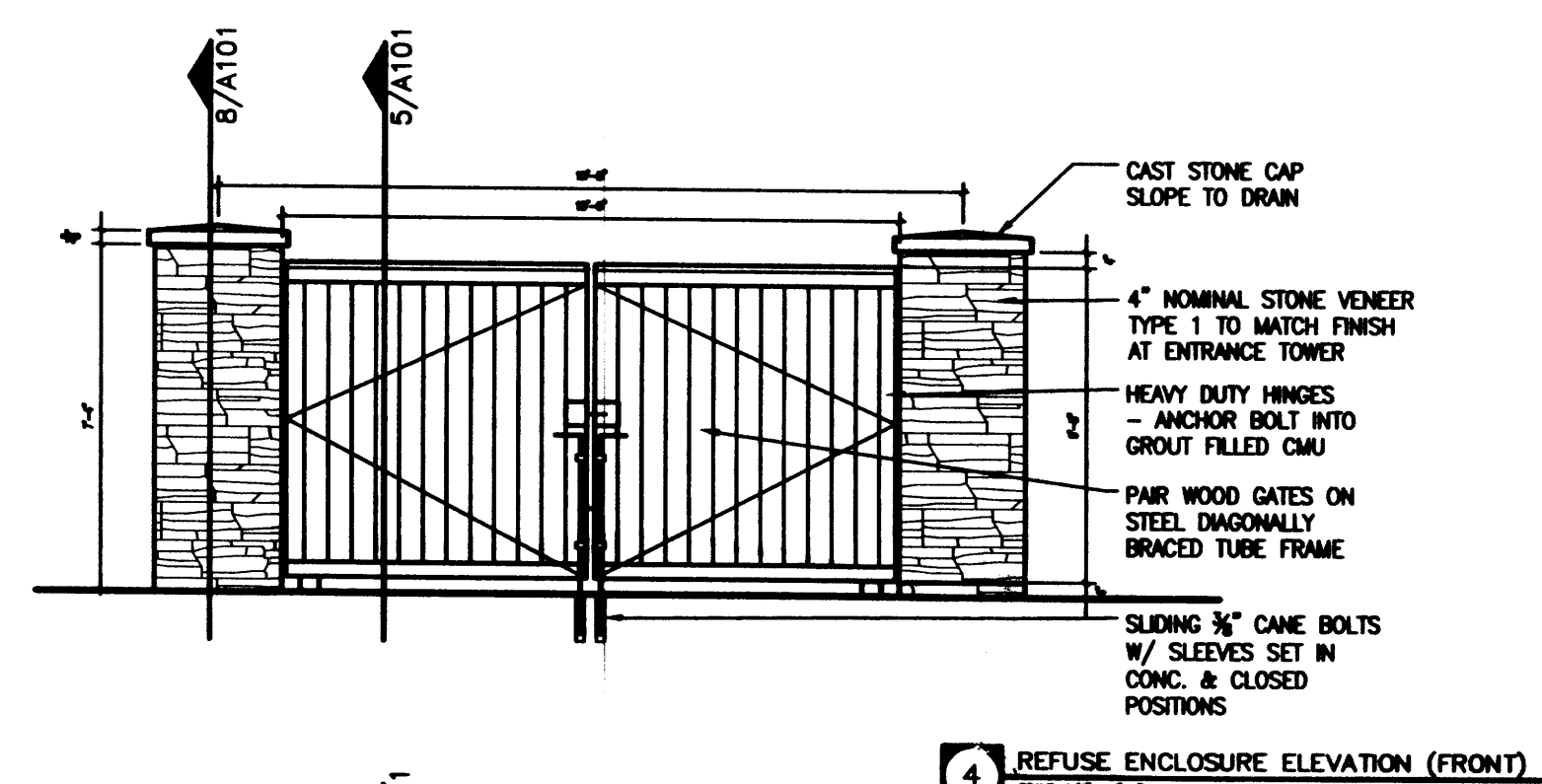
SEAL:  
**DESIGN DEVELOPMENT**  
NOT FOR CONSTRUCTION

ISSUE DATE:  
**19 JUNE 2006**

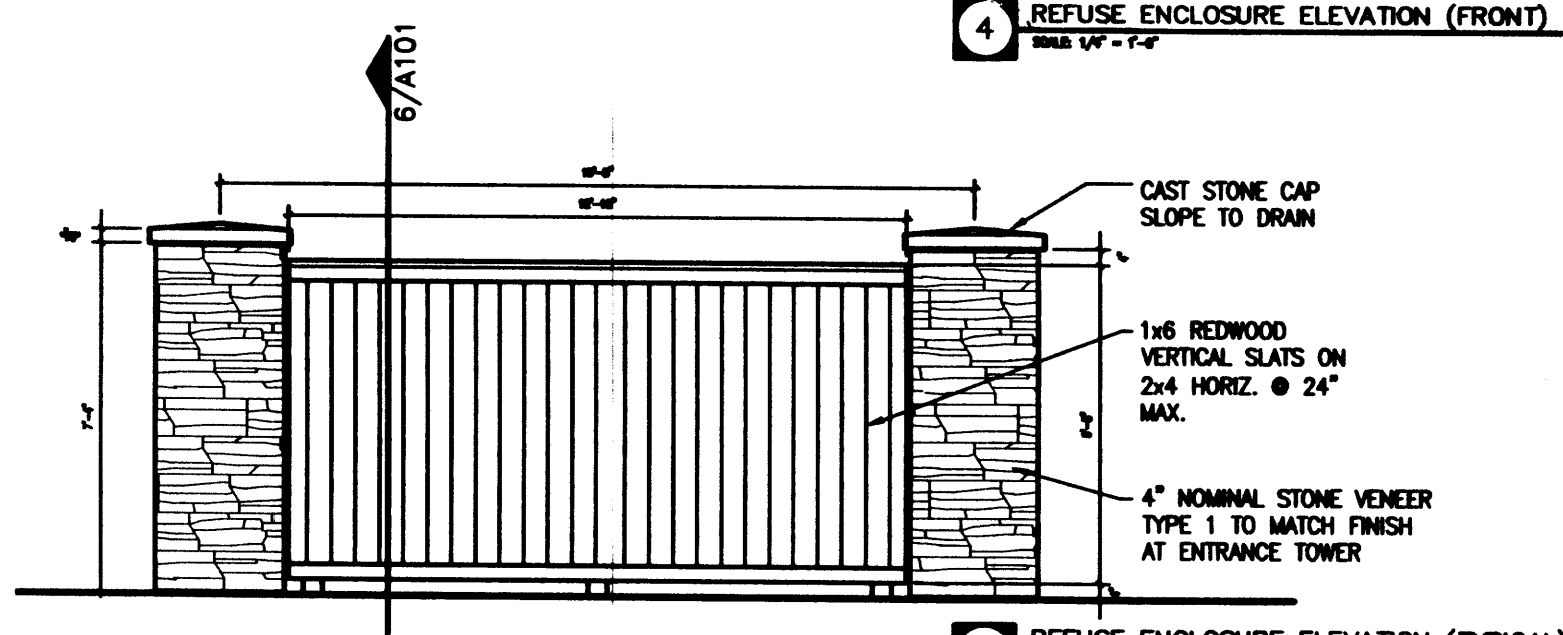
SHEET NUMBER:

**A101**

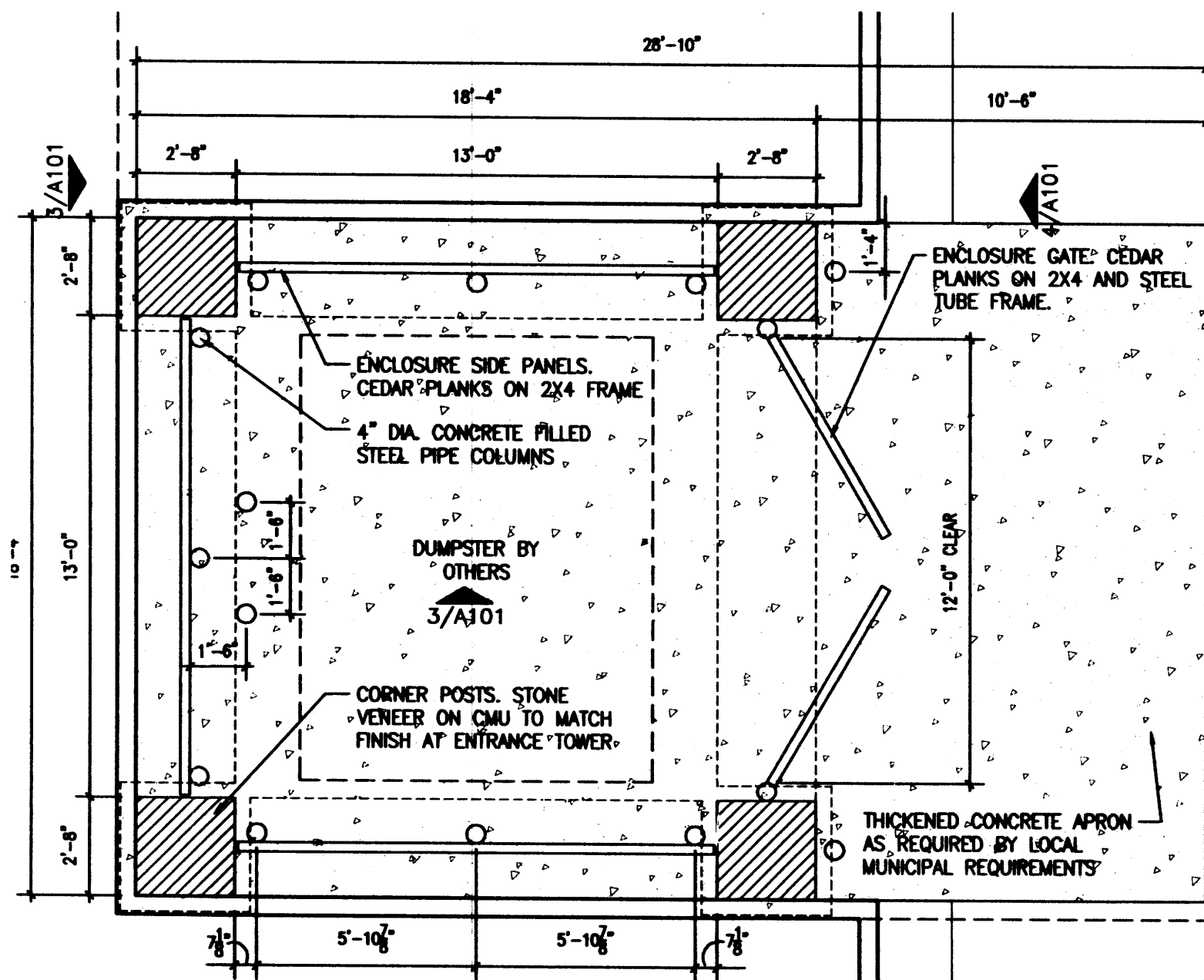
SITE PLAN FOR BUILDING PERMIT



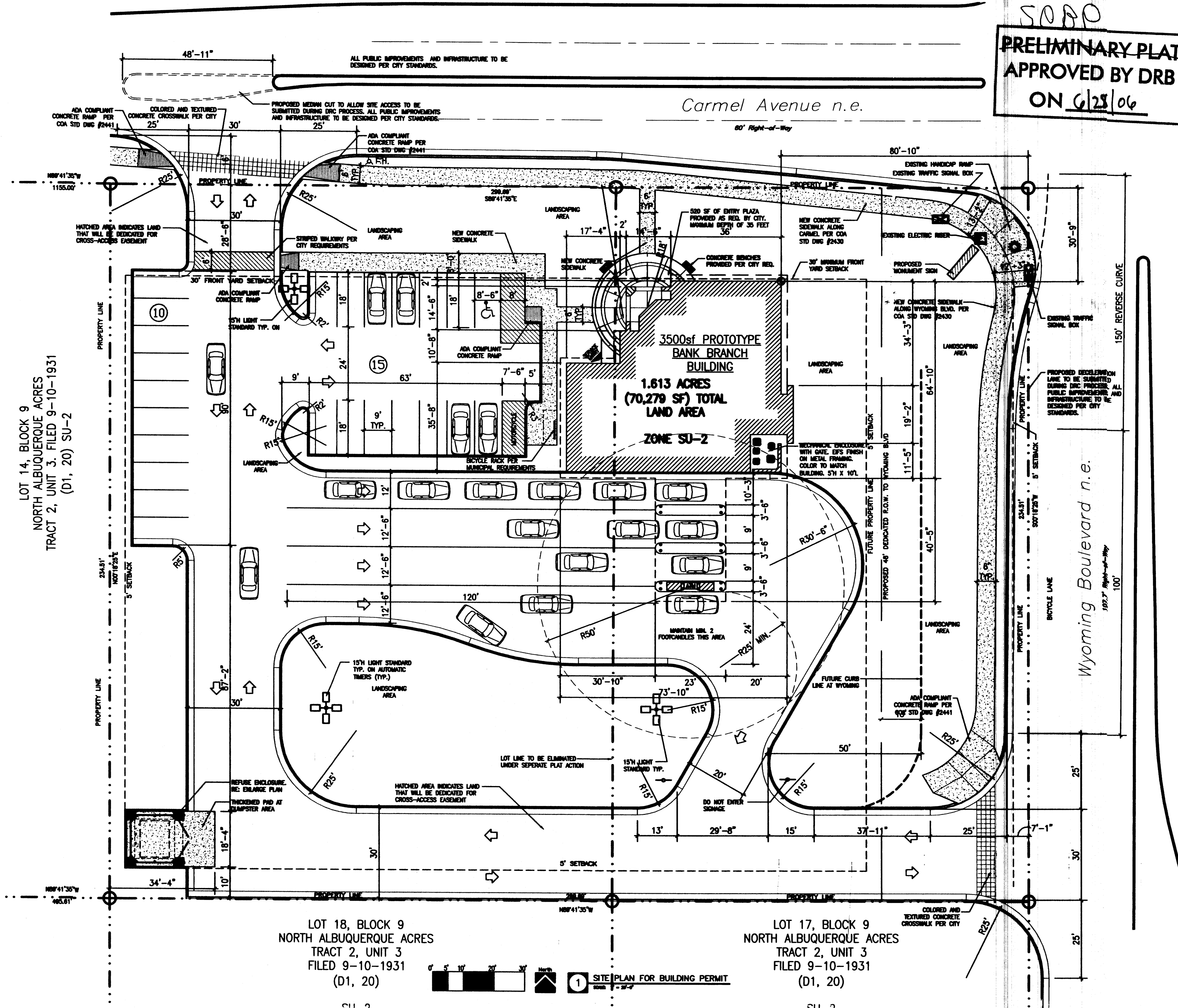
4 REFUSE ENCLOSURE ELEVATION (FRONT)



3 REFUSE ENCLOSURE ELEVATION (TYPICAL)



2 ENLARGED REFUSE ENCLOSURE PLAN

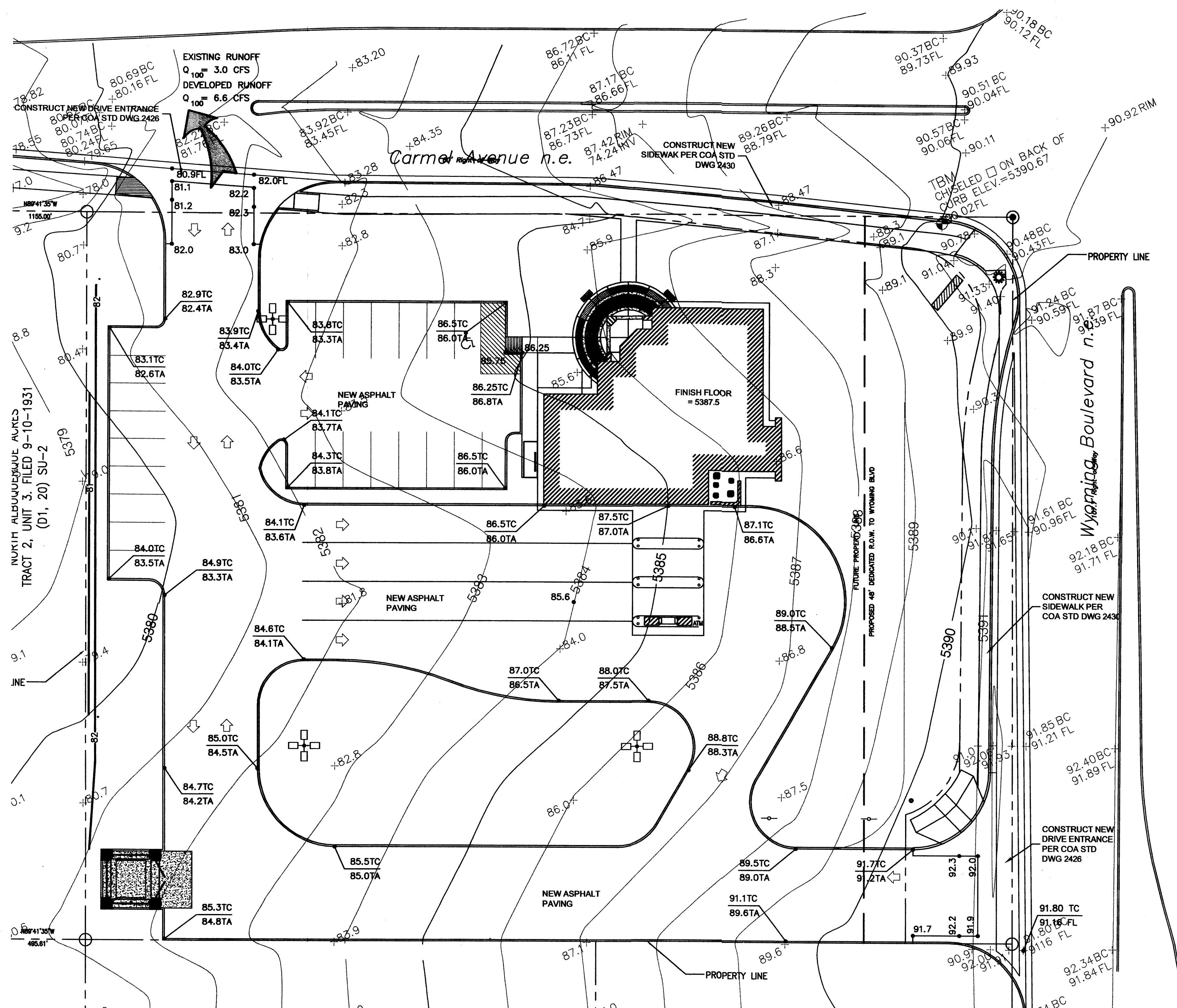


5080  
**PRELIMINARY PLAT**  
APPROVED BY DRB  
ON 6/23/06

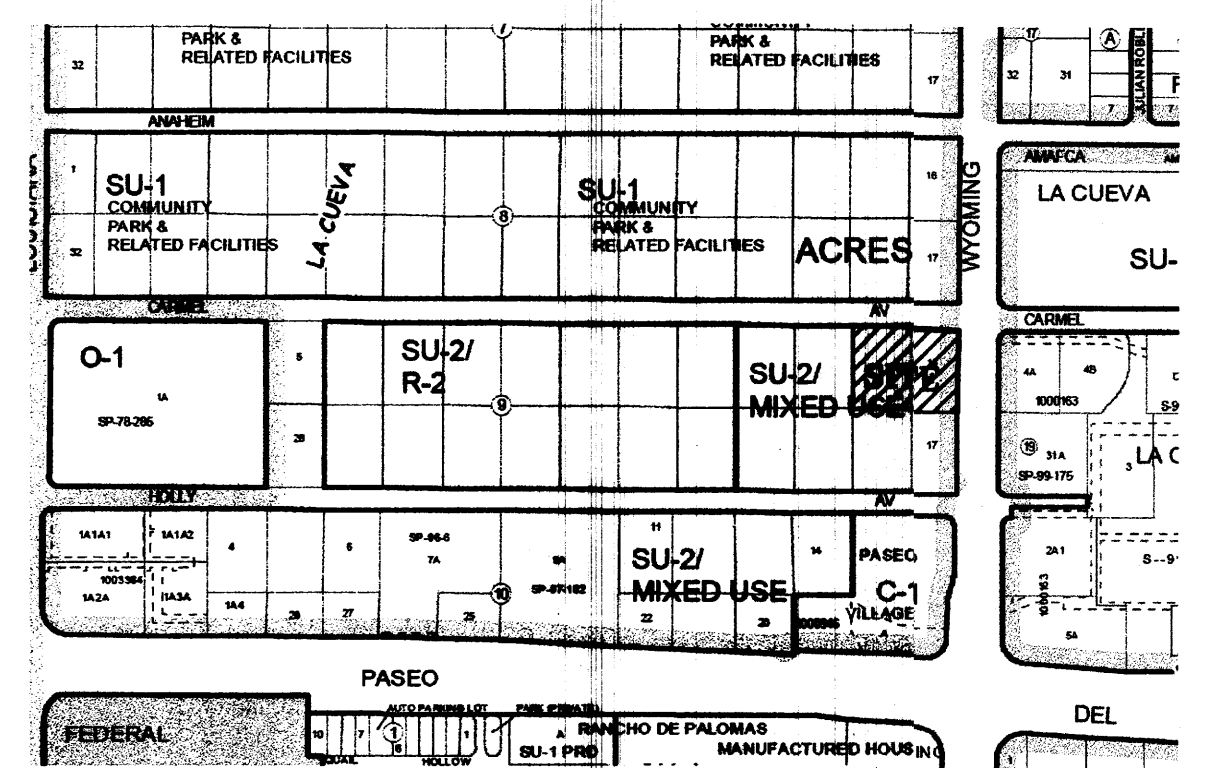
LOT 18, BLOCK 9  
NORTH ALBUQUERQUE ACRES  
TRACT 2, UNIT 3  
FILED 9-10-1931  
(01, 20)

LOT 17, BLOCK 9  
NORTH ALBUQUERQUE ACRES  
TRACT 2, UNIT 3  
FILED 9-10-1931  
(01, 20)

1 SITE PLAN FOR BUILDING PERMIT



IN NORTH ALBUQUERQUE AVENUES TRACT 2, UNIT 3, FILED 9-10-1931 (01, 20) SU-2



**ADDRESS:**  
 8400-ERESTRONE-ROAD-  
**LEGAL DESCRIPTION:**  
 LOTS 15 & 16, BLOCK 9, TRACT 2, UNIT 3 NORTH ALBUQUERQUE ACRES  
**D-5 VICINITY MAP - C19**  
**SCALE: NONE**  
**DRAINAGE PLAN**

THE PROPOSED IMPROVEMENTS AS SHOWN BY THE VICINITY MAP, ARE LOCATED WEST OF WYOMING BOULEVARD NORTH OF PLASO DEL NORTE, ON THE SOUTH WEST CORNER OF THE INTERSECTION OF WYOMING BLVD. AND CARMEL AVE. THE SITE IS UNDEVELOPED AND SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 4.0% PER MAP NO. 35001037 E. THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE. THE SITE IS HIGHER THAN THE LANDS TO WEST AND SOUTH. THE LANDS TO NORTH AND SOUTH SLOPE FROM WEST TO EAST. THE EXISTING CURB AND GUTTER ALONG WYOMING BLVD. TO THE EAST BLOCKS FLOWS FROM THAT DIRECTION THEREFORE OFFSITE FLOWS ARE CONSIDERED INSIGNIFICANT.

THE PROPOSED SITE LIES WITHIN THE NORTH ALBUQUERQUE ACRES SUBDIVISION. THE PROPOSED IMPROVEMENTS CONSIST OF A NEW BANK BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING. AS SHOWN BY THE CALCULATION THE PROPOSED DEVELOPMENT WILL INCREASE THE RATE AND VOLUME OF RUNOFF. THE PROPOSED RATE OF DISCHARGE IS 6.6 CFS (4.1 CFS/ACRE). THE DEVELOPED RUNOFF FROM THE SITE ARE TO BE DIRECTED TO THE PROPOSED DRIVE ENTRANCE ON CARMEL AVE. NO PONDING IS ANTICIPATED FOR THE SITE.

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II.

**CALCULATIONS**  
 PRECIPITATION ZONE = 3  
 TOTAL SITE AREA = 1.613 ACRES  
**EXISTING CONDITIONS**  
 LAND TREATMENT A=100%  
 $E = 0.66(1.00) = 0.66$  INCHES  
 $V = 0.66(1.613) / 12 = 0.089$  ACRE FEET  
 $Q = 1.87(1.00) (1.613) = 3.0$  CFS  
**DEVELOPED CONDITIONS**  
 LAND TREATMENT B=44% D=56%  
 $E = 0.912(0.44) + 2.36(0.56) = 1.73$  INCHES  
 $V = 1.73 (1.613) / 12 = 0.233$  ACRE FEET  
 $Q = [2.60 (0.44) + 5.25(0.56)](1.613) = 6.6$  CFS  
 $Q = 6.6 / 1.613 = 4.1$  CFS/ACRE  
 INCREASE IN VOLUME OF RUNOFF = 0.144 ACRE FT  
 INCREASE IN RATE OF RUNOFF = 3.6 CFS

- CONSTRUCTION NOTES**
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
  - ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
  - PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT/ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
  - THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.
  - THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.), ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
  - THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
  - CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.
  - ALL POND BOTTOMS SHALL RECEIVE GRAVEL AND FILTER FABRIC SEE LANDSCAPE PLAN.
  - THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK HEAVEN, THE PUBLISHED ELEVATION OF WHICH IS 5378.28. BENCHMARK IS LOCATED AT THE ENTRANCE TO GATE OF HEAVEN CEMETARY ON THE SOUTH SIDE OF PASEO DEL NORTE, JUST WEST OF WYOMING BOULEVARD.

**FACILITY ACCESSIBILITY**  
 ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117-1998.

WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.

CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMP TO WALKS, GUTTERS OR STREETS SHALL BE AT THE SAME LEVEL. WHERE PEDESTRIANS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:10; THE TOP OF THE RAMP PARALLEL TO THE RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.

HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.

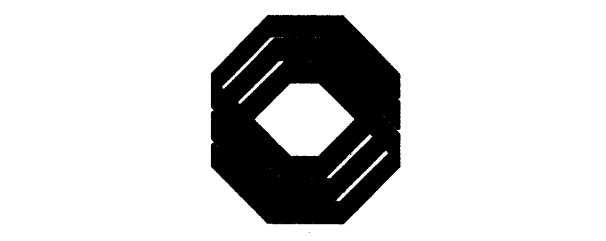
THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND DEVICES. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION PRIOR TO CONSTRUCTION, THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AUTHORITY.



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**PROJECT:**  
 BANK OF ALBUQUERQUE  
 WYOMING BLVD. & CARMEL ALBUQUERQUE, NM



**PROJECT NUMBER:**  
 05053

**CONSULTANT:**  
 CLAUDIO VIGIL ARCHITECTS

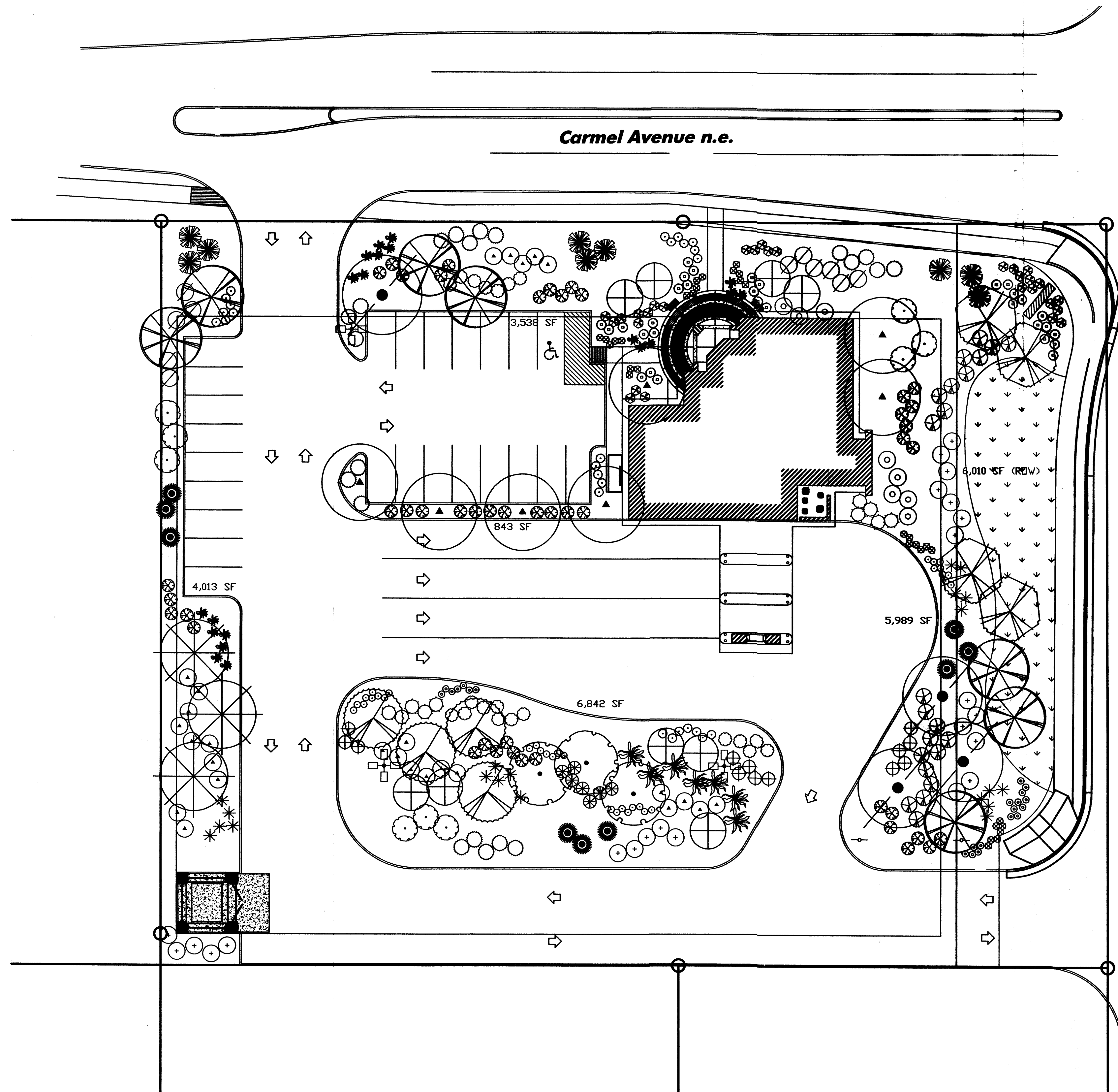
**REVISIONS:**



**ISSUE DATE:**  
 JUNE 15, 2006

**SHEET NUMBER:**  
 GD101

GRADING PLAN  
 FOR APPROVAL FOR DRB ACTION



LANDSCAPE PALETTE

Symbol	Botanical Name / Common Name	Mature Size / Water Use	Symbol	Botanical Name / Common Name	Mature Size / Water Use
⊗	<i>Trapa</i> Cercia reniformis 'Oklahoma' Oklahoma Rockbud	25' x 25' Medium	⊗	<i>Parovelia striatiplicifolia</i> Russian Sage	60" x 60" Medium
⊗	<i>Chilopsis linearis</i> 'Lucretia Hamilton' Desert Willow	20' x 25' Low	⊗	<i>Potentilla fruticosa</i> Shrubby Cinquefoil	36" x 36" Medium+
⊗	<i>Chilopsis lasiocarpa</i> 'Pink Dawn' Chilopsis	30' x 30' Medium	⊗	<i>Rhus aromatica</i> 'Gro-Low' Prostrate Sumac	24" x 48" Low+
⊕	<i>Forestiera neomexicana</i> New Mexico Olive	15' x 15' Medium	⊕	<i>Rhus trilobata</i> Tree-leaf Sumac	48" x 60" Low+
⊕	<i>Robinia x ambigua</i> Purple Robe Locust	35' x 30' Medium+	⊕	<i>Rosmarinus officinalis</i> Prostrate Rosemary	24" x 60" Low+
⊕	<i>Pinus edulis</i> Afghan Pine	40' x 35' Medium	⊕	<i>Salvia greggii</i> Cherry Sage	36" x 36" Medium
⊕	<i>Quercus buckleyi</i> Texas Red Oak	25' x 25' Medium	⊕	<i>Ornamental Grasses</i> <i>Miscanthus sinensis</i> Maiden Hair Grass	60" x 60" Medium+
⊕	<i>Tilia cordata</i> Littleleaf Linden	40' x 30' Medium	⊕	<i>Muhlenbergia capillaris</i> 'Regal Mist' Munly Grass	36" x 42" Medium
⊕	<i>Strub Groundcovers</i> <i>Artemisia 'Fouls Castle'</i> Fouls Castle Sage	36" x 30" Medium	⊕	<i>Nesaea tenuiseta</i> Threadgrass	24" x 18" Low
⊕	<i>Baccharis 'Blum Thompson'</i> Deerf Coyotebush	24" x 60" Low	⊕	<i>Nolina microcarpa</i> Bear Grass	36" x 48" Medium
⊕	<i>Buddleia davidii</i> 'Nanhoensis' Butterfly Bush	48" x 36" Medium	⊕	<i>Accents</i> <i>Diarrhizon albastris</i> Sotol	48" x 60" Low
⊕	<i>Ceanothus gilliesii</i> Bird of Paradise	36" x 12" Low	⊕	<i>Hesperaloe parviflora</i> Red/Yellow Flowering Yucca	36" x 36" Medium
⊕	<i>Caryopteris clandestina</i> Blue Mist	48" x 48" Low	⊕	Native Grass/Wildflower Seed Mix	Low
⊕	<i>Caryocarpus nauseosus</i> Chama	60" x 60" Low			
⊕	<i>Cytisus x Lana'</i> Lana's Broom	24" x 36" Low			
⊕	<i>Ericameria laricina</i> Deerf Turpentine Bush	36" x 42" Low+			
⊕	<i>Erythronium 'Boules Mauve'</i> Boules Mauve Wallflower	24" x 36" Medium			
⊕	<i>Fallugia paradoxa</i> Apache Plume	60" x 60" Low			
⊕	<i>Gallardia grandiflora</i> 'Fairfax' Blanket Flower	30" x 30" Low			
⊕	<i>Helianthus laetiflorus</i> Yellow Rockrose	24" x 36" Medium			
⊕	<i>Liatris punctata</i> Gayfeather	18" x 18" Low			

LANDSCAPE CALCULATIONS

Total Site Area:	(1.61 acres) 10,279 SF
Building Area:	3,520 SF
Net Area:	6,759 SF
Required Landscape Area (15% of Net Area):	1,011 SF
Provided Landscape Area: (40%)	26,392 SF
On-site - 20,300 SF	
ROW - 6,090 SF	

**MULCHES**  
All shrub planting areas shall be top dressed with 1/8" Santa Fe Brown Rock Mulch 2' - 4' Santa Ana Tan Cobble will be used as an accent mulch in certain areas.

**IRRIGATION SYSTEM**  
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated drip irrigation system will be used to irrigate tree, shrub and groundcover planting areas. A temporary spray system will be used to establish the native seeded area. Upon establishment, the spray system will be used only on an as needed basis.

**MAINTENANCE RESPONSIBILITY**  
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

**STATEMENT OF WATER WASTE**  
The Landscape Plan for the Bank of Albuquerque shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.



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F: 918.585.1967

**PROJECT:**  
**BANK OF ALBUQUERQUE**  
**WYOMING BLVD. & CARMEL ALBUQUERQUE, NM**

**PROJECT NUMBER:**  
**05053**

**CONSULTANT:**  
**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 264-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

**REVISIONS:**

**SEAL:**

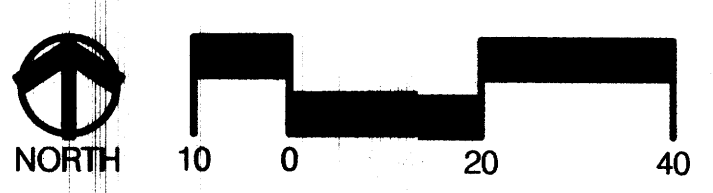
**SCHEMATIC DESIGN**

**NOT FOR CONSTRUCTION**

**ISSUE DATE:**  
**JUNE 19, 2006**

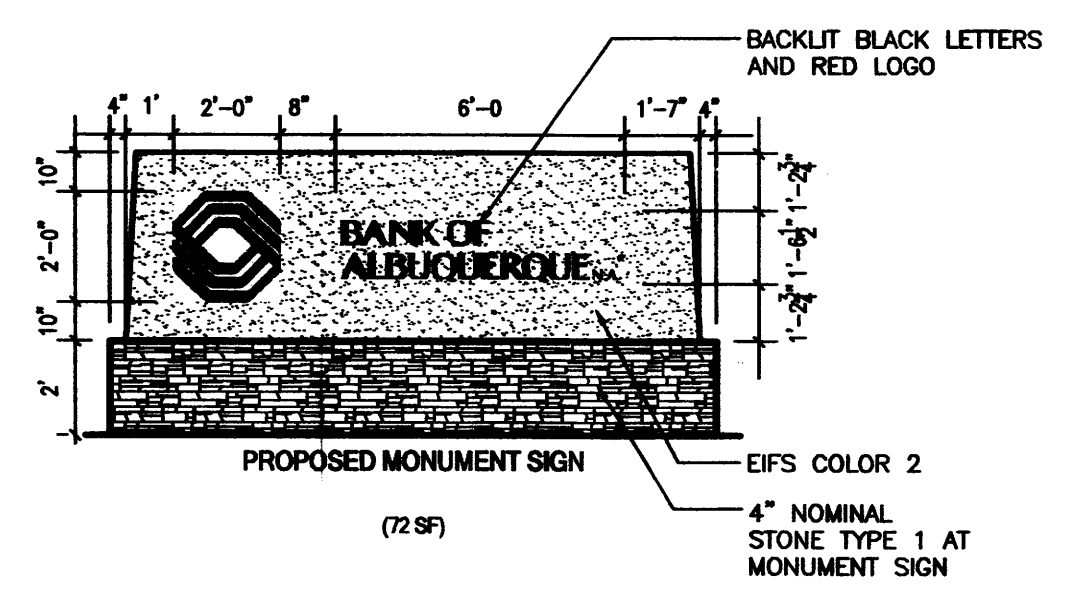
**SHEET NUMBER:**

**L-101**



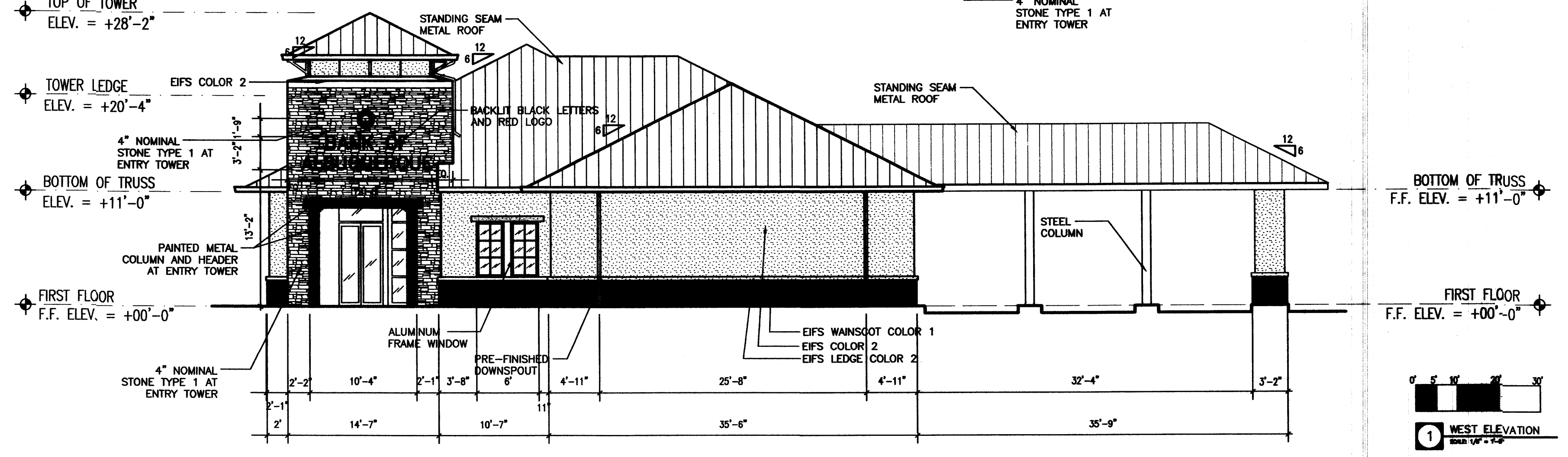
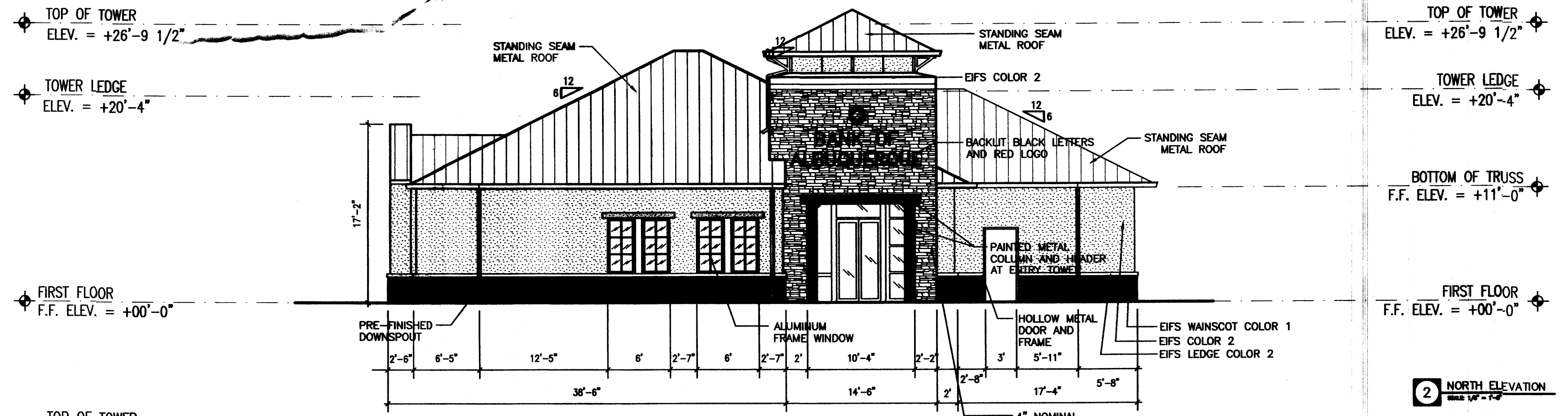
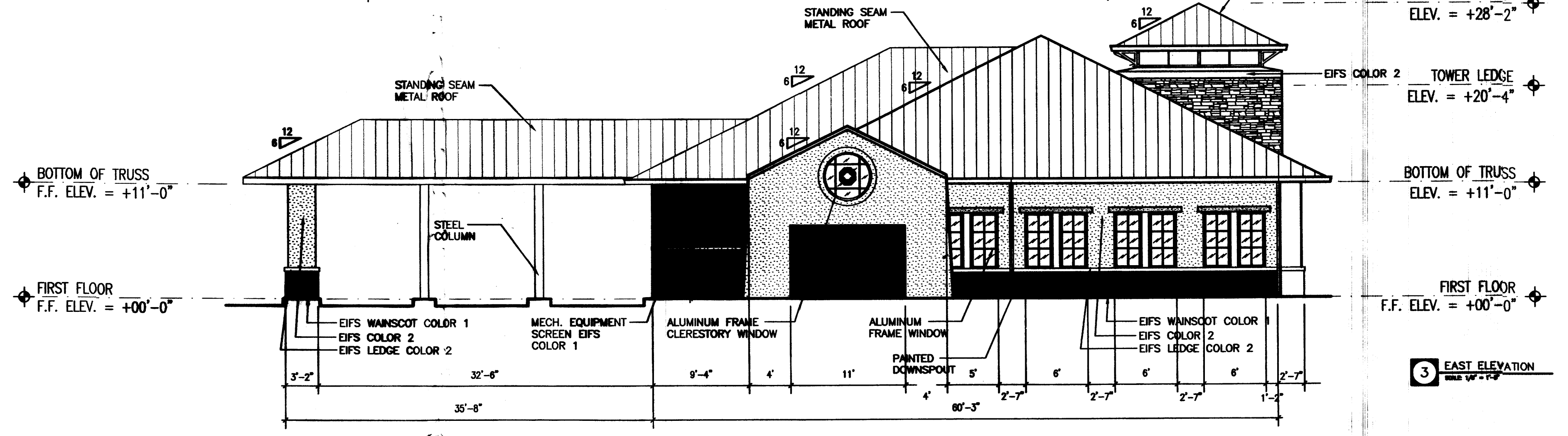
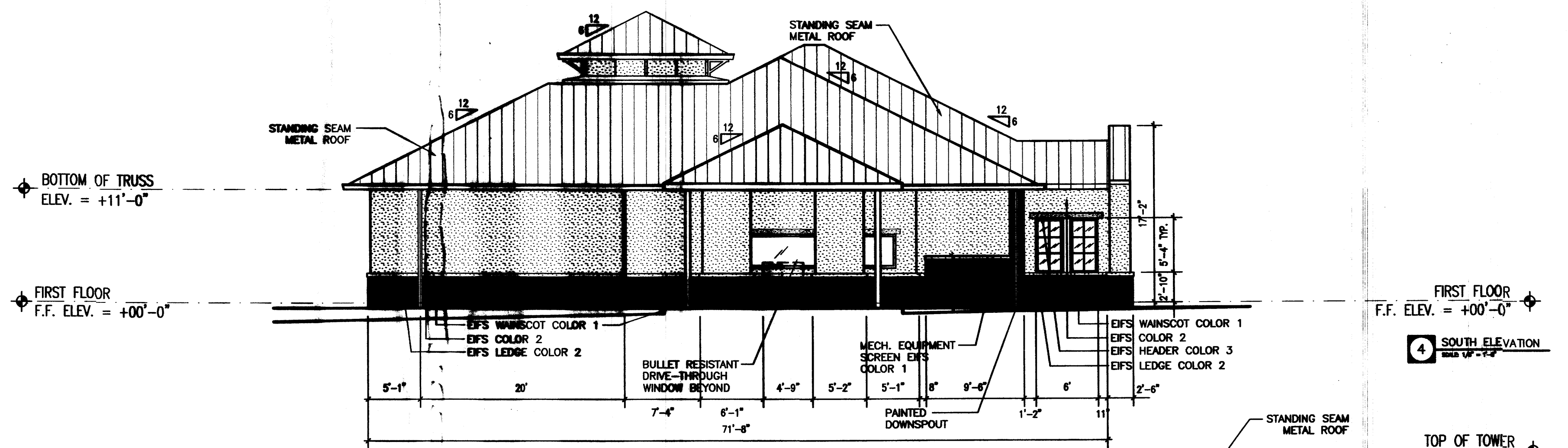
CONCEPTUAL LANDSCAPE PLAN

DESIGNED BY	REVIEWED BY
DRAWN BY	CHECKED BY
DATE	DATE



5 MONUMENT SIGN  
Scale 1/4" = 1'-0"

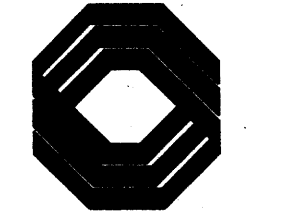
MATERIAL	MANUFACTURER	DESCRIPTION	NOTES
<b>DIVISION 4 - MASONRY</b>			
STONE VENEER TYPE 1		BUFF, GROUND FACE	MORTAR COLOR R H10 LIGHT BUFF
PRE-FINISHED CONCRETE MASONRY UNIT	NO RIFIELD	BUFF, GROUND FACE	MORTAR COLOR R H10 LIGHT BUFF
<b>DIVISION 5 - METALS</b>			
TUBE STEEL BRACKET	SHERWIN WILLIAMS	LIGHT GRAY	PER SECTION 09900
PAINTED STEEL COLUMN AND UNTEL	SHERWIN WILLIAMS	SAFFRON GOLD	PER SECTION 09900
PRE-FINISHED METAL	PAC-CLAD	LIGHT GRAY	CANOPIES, BREAK METAL
<b>DIVISION 6 - WOODS AND PLASTICS</b>			
FASCIA BOARD		LIGHT GRAY	PER SECTION 09900
<b>DIVISION 7 - THERMAL AND MOISTURE PROTECTION</b>			
EXTERIOR INSULATION AND FINISH SYSTEM - COLOR 1	DRYVIT	SAFFRON GOLD	TYPICAL COLOR PER SECTION 09900
EXTERIOR INSULATION AND FINISH SYSTEM - COLOR 2	DRYVIT	OFF-WHITE	ACCENT COLOR PER SECTION 09900
SHEET METAL FLASHING	PAC-CLAD	PAC-CLAD METALLIC - STONE WHITE	LOW REFLECTANCE
SHEET METAL FLASHING AND TRIM	PAC-CLAD	PAC-CLAD METALLIC - STONE WHITE	LOW REFLECTANCE
GUTTERS AND DOWNSPOUTS	PAC-CLAD	PAC-CLAD METALLIC - STONE WHITE	LOW REFLECTANCE
<b>DIVISION 8 - DOORS AND WINDOWS</b>			
ALUMINUM ENTRANCES AND STOREFRONT	KAWNEER	LIGHT GRAY POWDER COAT	
ALUMINUM PACKAGE WINDOWS	THERMAL WINDOWS	LIGHT GRAY	
BULLET-RESISTANT WINDOW	DIEBOLD	LIGHT GRAY	
TINTED SAFETY AND NON-SAFETY GLASS	VIKON	GRAY INSUL-SHIELD	
BULLET-RESISTANT GLASS	DIEBOLD	GRAY	



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PROJECT:  
**BANK OF ALBUQUERQUE**  
WYOMING BLVD. & CARMEL ALBUQUERQUE, NM



PROJECT NUMBER:  
**05053**

CONSULTANT:

REVISIONS:

SEAL:

DESIGN DEVELOPMENT

NOT FOR CONSTRUCTION

ISSUE DATE:  
19 JUNE 2006

SHEET NUMBER:

**A401**

BUILDING AND STRUCTURE ELEVATIONS

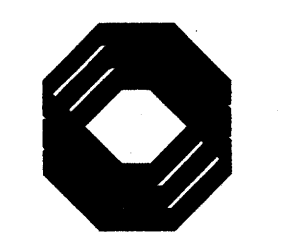


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PROJECT:  
**BANK OF ALBUQUERQUE**

WYOMING BLVD. & CARMEL  
 ALBUQUERQUE, NM



PROJECT NUMBER:  
**05053**

CONSULTANT:  
  
**CLAUDIO VIGIL ARCHITECTS**

REVISIONS:

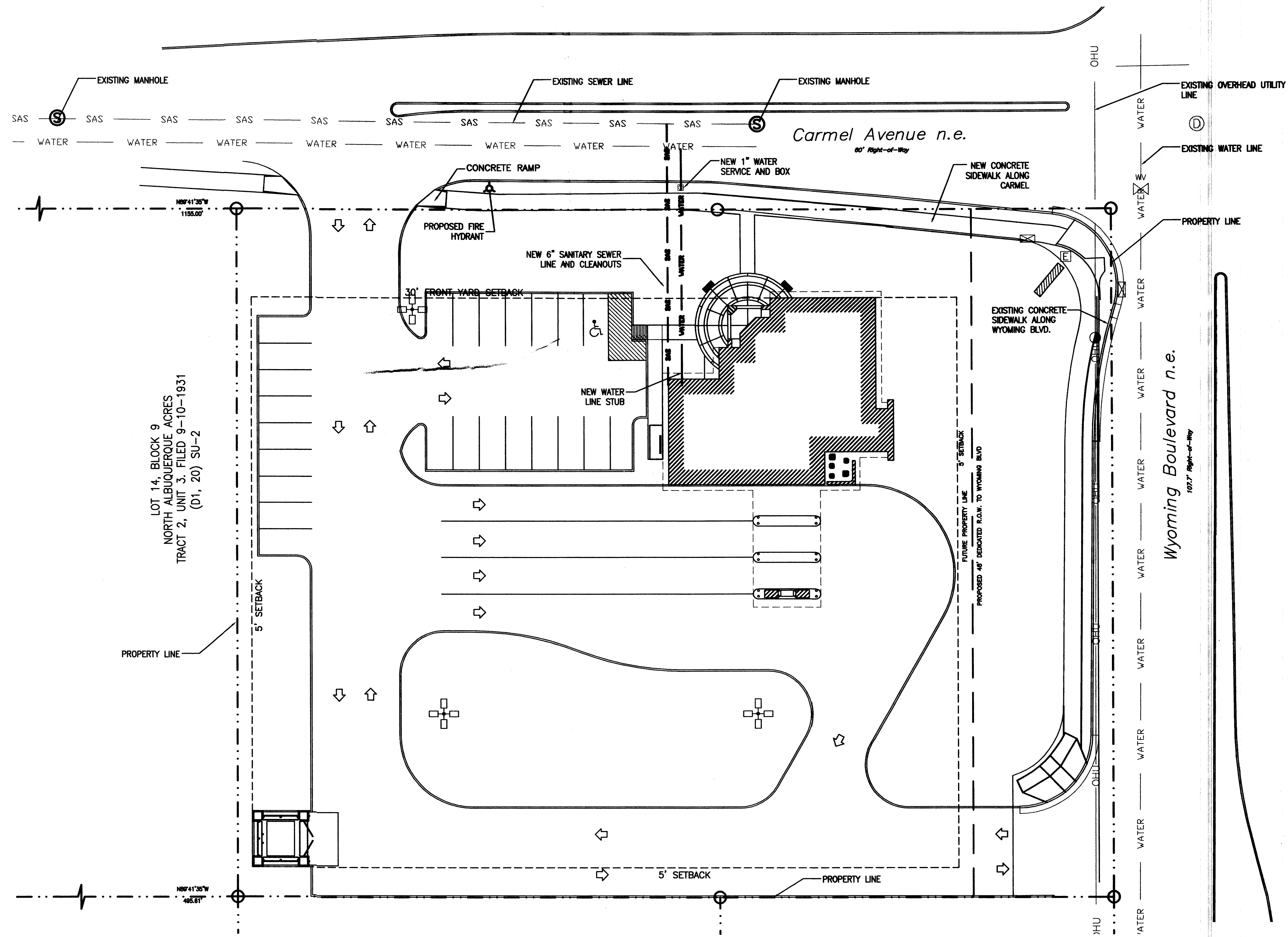
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SHEET NUMBER:

**U101**

CONCEPTUAL UTILITY PLAN



SYMBOLS LEGEND	
	= TRAFFIC SIGNAL BOX
	= TRAFFIC SIGNAL
	= POWER POLE
	= OVERHEAD UTILITY LINE
	= UNDERGROUND SEWER LINE
	= UNDERGROUND WATER LINE
	= SEWER MANHOLE
	= DRAINAGE MANHOLE
	= WATER VALVE
	= ELECTRIC RISER