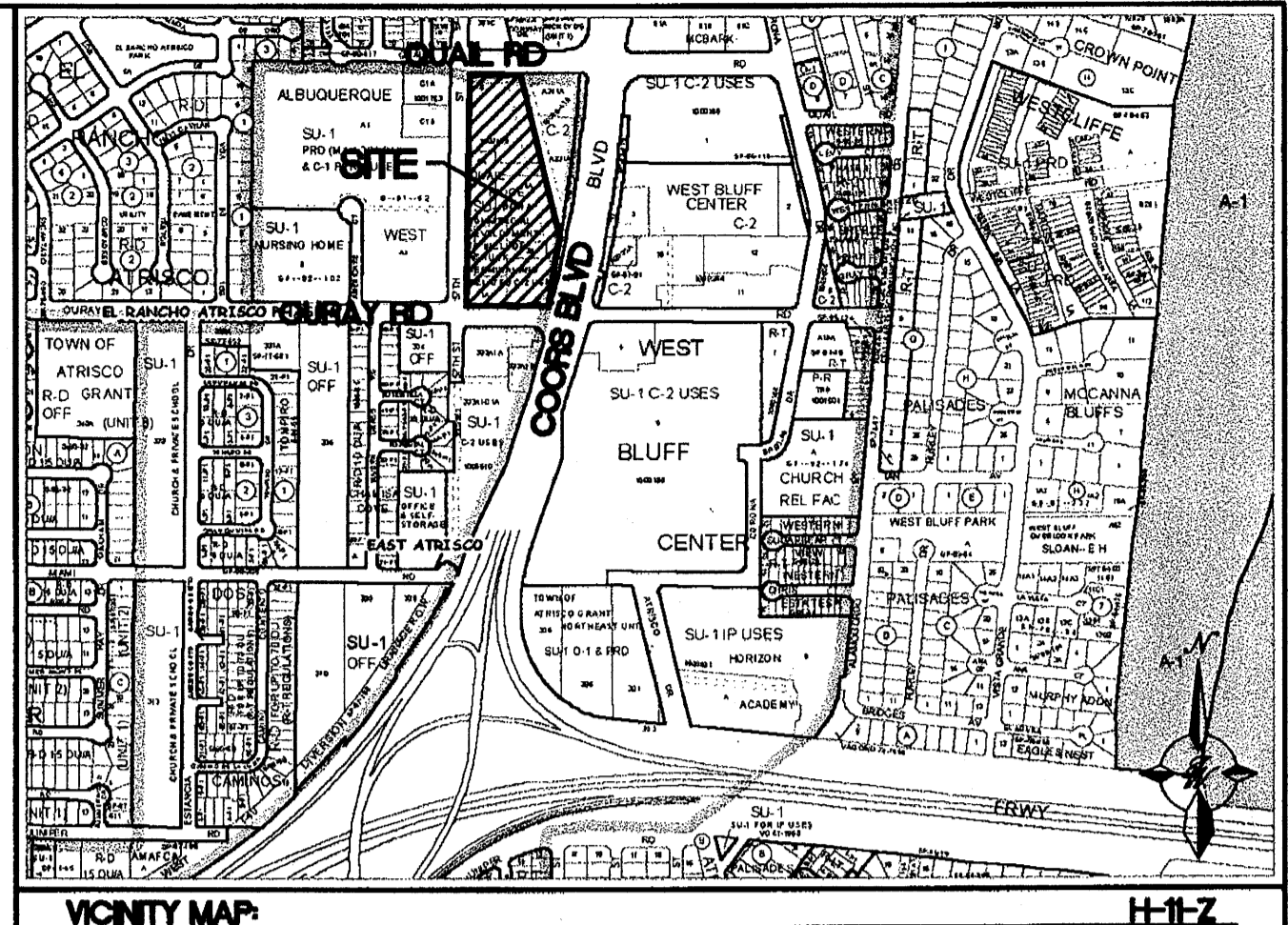
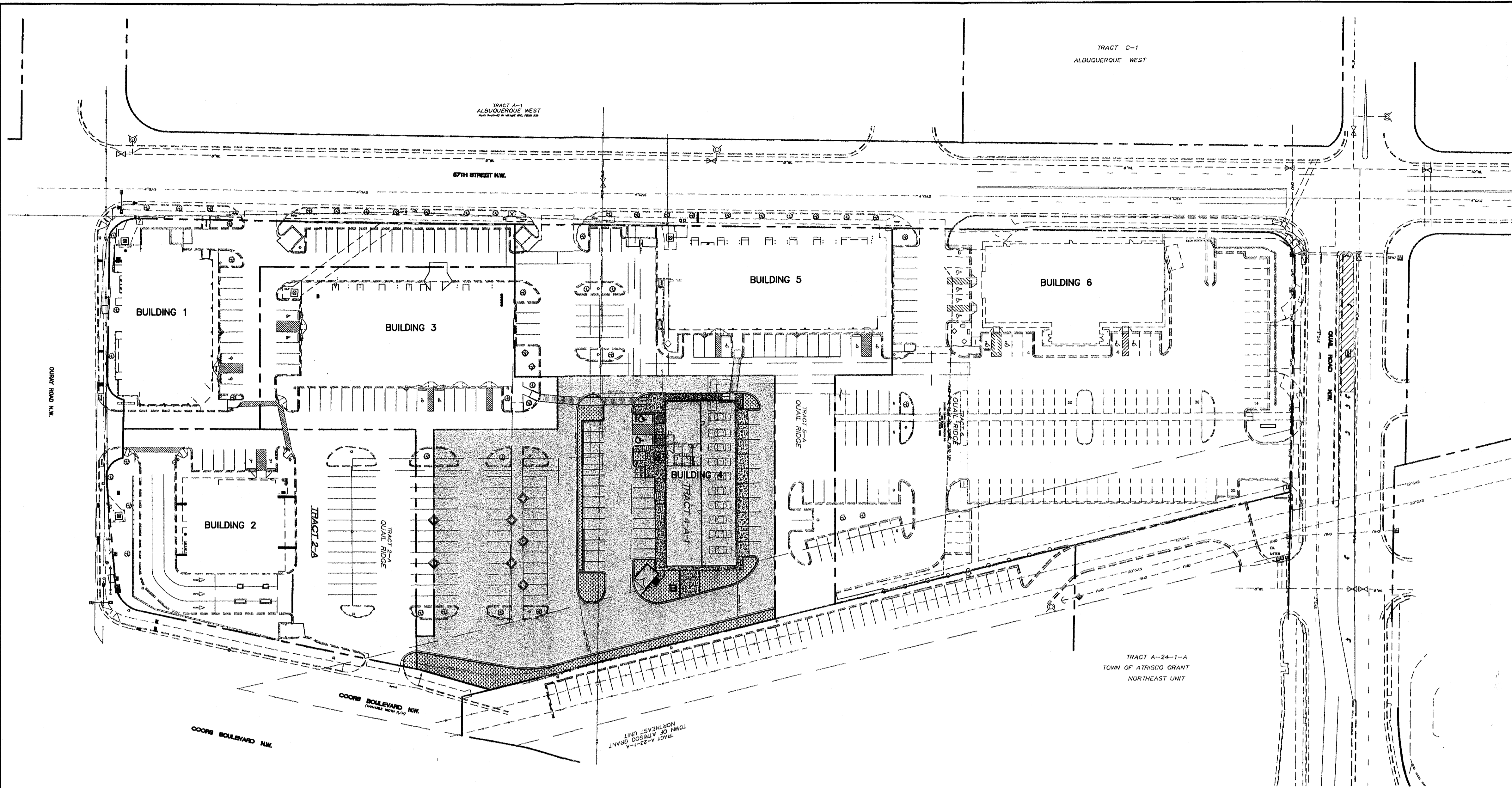


1002459



LEGAL DESCRIPTION:
TRACT 4-A-1 QUAIL RIDGE

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - THIS SITE PLAN FOR SUBDIVISION IS FOR RESTAURANTS WITH A BEER AND WINE LICENSE ONLY. FURTHER APPROVAL FOR A RESTAURANT WITH A LIQUOR LICENSE BEYOND A BEER AND WINE LICENSE WILL REQUIRE ADMINISTRATIVE APPROVAL TO DETERMINE IF THERE IS SUFFICIENT OFF-STREET PARKING.
 - SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON. ALONG COORS BLVD. THE FRONT LANDSCAPED STREET YARD SHALL BE 15 FEET WIDE.
 - BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE C2 ZONE OF THE COMPREHENSIVE CITY ZONING CODE AND WITHIN THE COORS CORRIDOR PLAN, WHICHEVER IS MORE RESTRICTIVE.
 - SEE SHEET 6 & 7 FOR DETAILS.
 - ACCESS AT COORS BOULEVARD AND OURAY ROAD SHALL BE LIMITED TO RIGHT-TURN IN AND RIGHT-TURN OUT ACCESS ONLY CONSISTENT WITH THE COORS CORRIDOR PLAN.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - WHEN ADDITIONAL RIGHT OF WAY IS SECURED FROM THE SITE FOR THE RECONSTRUCTION OF THE I-40/COORS INTERCHANGE, THE EXISTING 45' HIGH PYLON SIGN SHALL BE REMOVED AT THE EXPENSE OF THE PROPERTY OWNER.

ADMINISTRATIVE AMENDMENT
FILE #09-1083 PROJECT #1002759

*replace restaurant use w/
fire store*

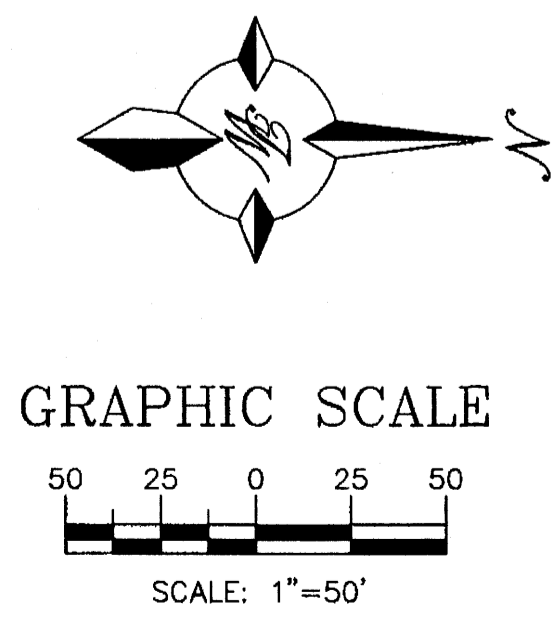
APPROVED BY *Munoz* DATE *2/11/10*

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - BUILDING
 - SIDEWALK
 - ☼ STREET LIGHTS
 - LANE
 - STRIPING
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING SIDEWALK
 - EXISTING LANE
 - EXISTING STRIPING

SITE DATA TABLE

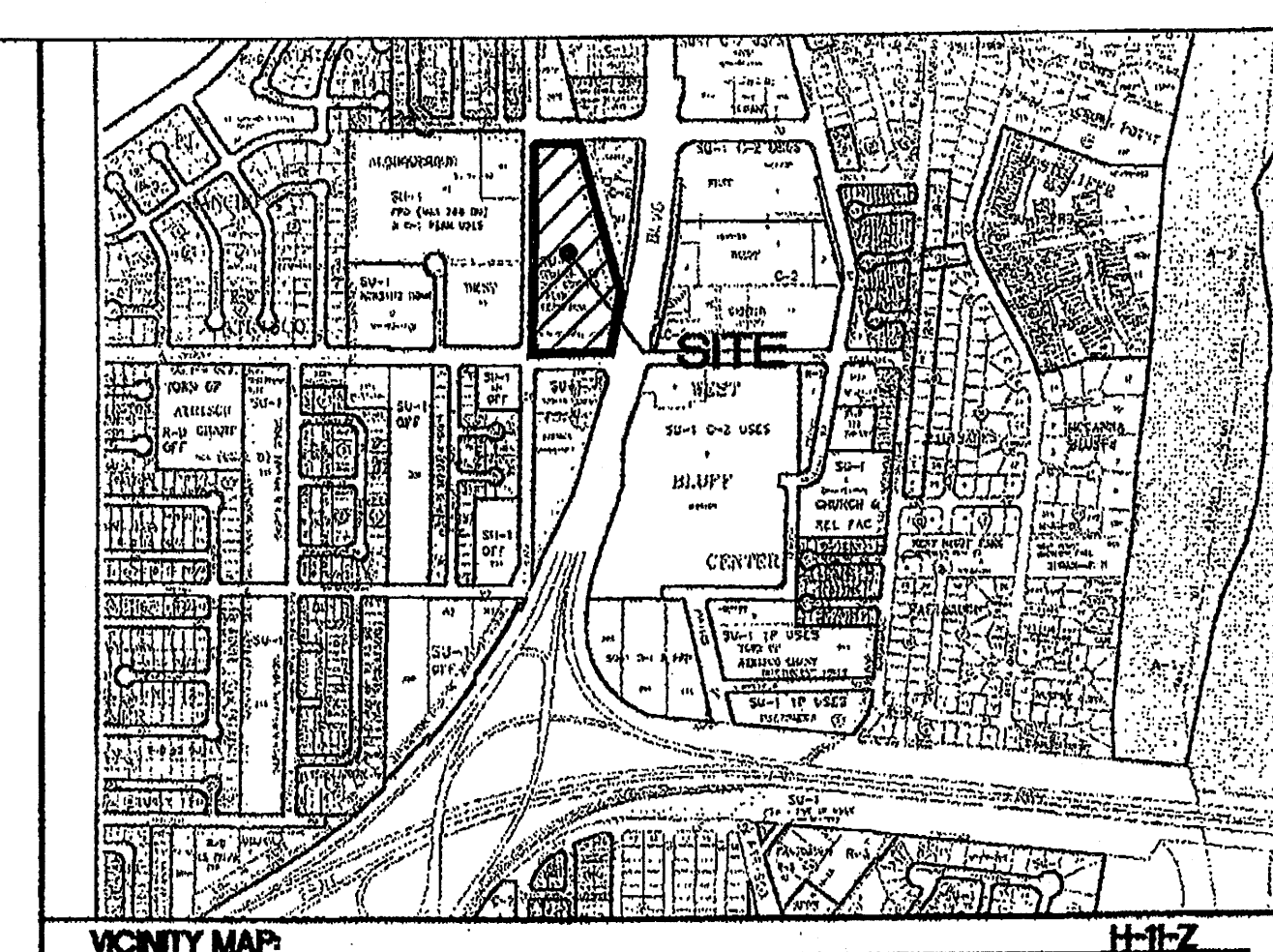
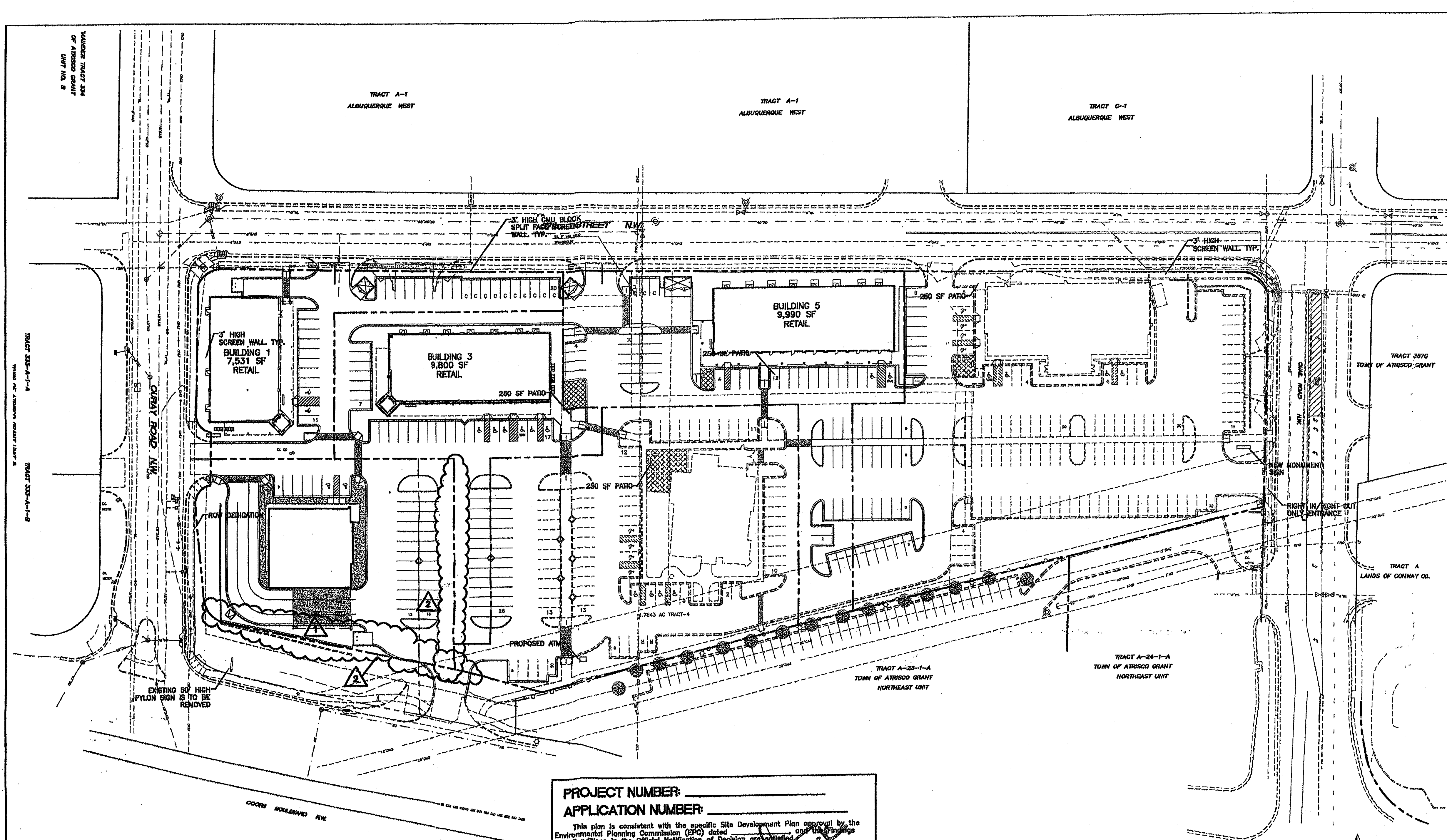
TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE RACKS REQ.	MIN. FAR	MAX. FAR
1	1	1.2183	9,750	RETAIL	C-2	-	49	58	4	4	1	1	2	0.15	0.35
2	2	1.0394	4,731	BANK	C-2	-	24	33	2	2	1	1	1	0.15	0.35
3	3	1.0383	10,000	RETAIL	C-2	-	50	62	4	6	1	1	3	0.15	0.35
4	4	1.4401	8143	RETAIL	C-2	-	22	63	2	2	1	1	1	0.15	0.35
5	5	0.6544	6,200	RETAIL	C-2	-	31	33	2	2	1	1	1	0.15	0.35
6	6	2.1710	10,330	RESTAURANT	C-2	382	127	130	8	8	1	1	2	0.15	0.35
TOTAL		7.5615	49,154				303	379	22	24	6	6	10	0.15	0.35

RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY
1 PER 3 SEATS



- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
 - C2A. SITE PLAN FOR SUBDIVISION (APPROVED)
 - C2B. ORIGINAL SITE PLAN FOR SUBDIVISION
 - C3. SITE PLAN FOR BUILDING PERMIT
 - C4. GRADING AND DRAINAGE PLAN
 - C5. MASTER UTILITY PLAN
 - C6. BUILDING ELEVATIONS
 - C7. DETAILS
 - C8. DETAILS
 - L1. LANDSCAPING PLAN

	QUAIL RIDGE SHOPPING CENTER	DRAWN BY BJF
	ADMINISTRATIVE AMENDMENT SITE PLAN FOR SUBDIVISION	DATE 1/19/10
		SHEET # C1
JASON M. CASUGA P.E. #19568		JOB # 29044



LEGAL DESCRIPTION
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8 ATRISCO GRANT & PORTION OF TR A21

- NOTES:**
1. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 5. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 8. THIS SITE PLAN FOR SUBDIVISION IS FOR RESTAURANTS WITH A BEER AND WINE LICENSE ONLY. FURTHER APPROVAL FOR A RESTAURANT WITH A LIQUOR LICENSE BEYOND A BEER AND WINE LICENSE WILL REQUIRE ADMINISTRATIVE APPROVAL TO DETERMINE IF THERE IS SUFFICIENT OFF-STREET PARKING.
 9. SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON. ALONG COORS BLVD. THE FRONT LANDSCAPED STREET YARD SHALL BE 15 FEET WIDE.
 10. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE C2 ZONE OF THE COMPREHENSIVE CITY ZONING CODE AND WITHIN THE COORS CORRIDOR PLAN, WHICHEVER IS MORE RESTRICTIVE.
 11. SEE SHEET 6 FOR DETAILS.
 12. ACCESS AT COORS BOULEVARD AND QURAY ROAD SHALL BE LIMITED TO RIGHT-TURN IN AND RIGHT-TURN OUT ACCESS ONLY CONSISTENT WITH THE COORS CORRIDOR PLAN.
 13. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 14. WHEN ADDITIONAL RIGHT OF WAY IS SECURED FOR THE SITE FOR THE RECONSTRUCTION OF THE I-40/COORS INTERCHANGE, THE EXISTING 45' HIGH PYLON SIGN SHALL BE REMOVED AT THE EXPENSE OF THE PROPERTY OWNER.

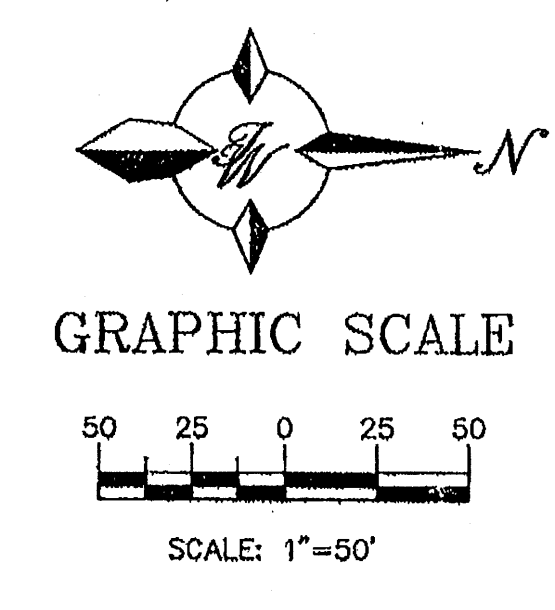
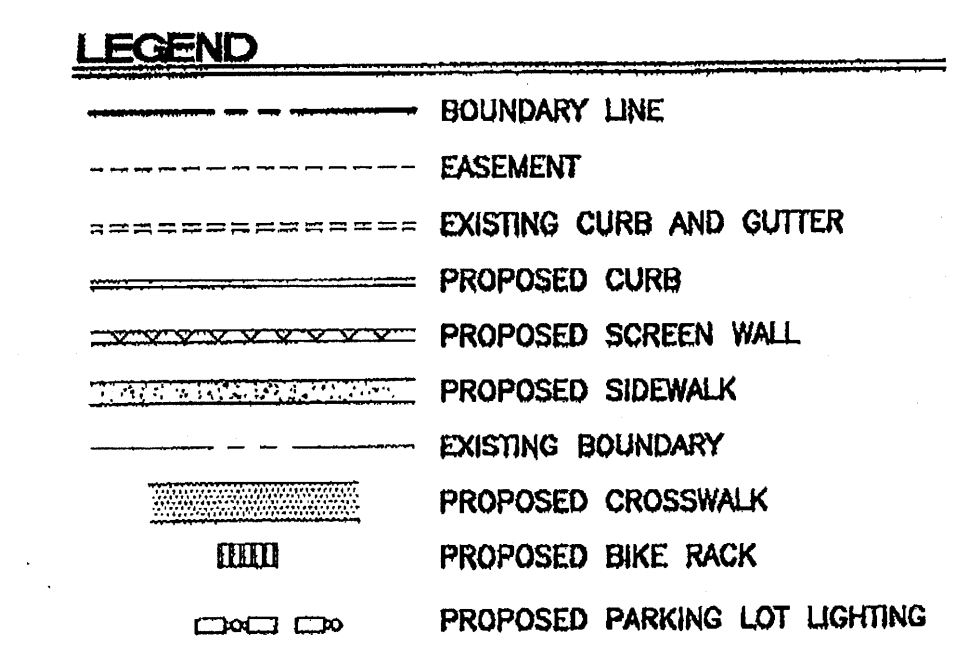
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are as follows:

DRB SITE DEVELOPMENT PLAN SIGNOFF (APPROVAL)

Traffic Engineer, Transportation	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (Conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

See original signature block on Dec 01 15 88
OS Dec 01 15 88
10024679



ADMINISTRATIVE AMENDMENT
 File #05A-025 Project # 10024679
 Amend property lines to extend along Coors Blvd parking way to the entire site
 Approved by: _____
 DATE: _____

SITE DATA TABLE

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG.	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE RACKS REQ.	MIN. FAR	MAX. FAR
1	1	1.2183	9,750	RETAIL	C-2		49	30	4	1	1	2	0.15	0.35
2	2	1.0394	4,731	BANK	C-2		24	33	2	1	1	1	0.15	0.35
3	3	1.0393	10,000	RETAIL	C-2		50	37	4	6	1	1	0.15	0.35
4	4	1.4401	4,878	RESTAURANT	C-2		192	48	8	2	2	3	0.15	0.35
5	5	0.0544	6,200	RETAIL	C-2		31	47	2	2	1	1	0.15	0.35
6	6	2.1710	10,330	RESTAURANT	C-2		382	98	130	8	8	1	0.15	0.35
TOTAL		7.5615	47,080				345	368	24	28	7	7	0.15	0.35

RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 4 SEATS

REVISIONS

NO.	DATE	REMARKS	BY
1	9-13-05	UPDATED PARKING CALCS	DY
2	7-25-05	NEW ROW AND PROPERTY LINE	BDG
3	7-25-05	MOVED SCREEN WALL AND DUMPSTER LOCATION FARTHER WEST	BDG

REVISIONS

NO.	DATE	REMARKS	BY
1	05/20/04	MOVED BUILDING EAST	BDG
2	12/24/03	CHANGED BUILDING 2 LAYOUT	BDG

ENGINEER'S SEAL

QUAIL RIDGE SHOPPING CENTER
ADMINISTRATIVE ADMMENDMENT
SITE PLAN FOR SUBDIVISION

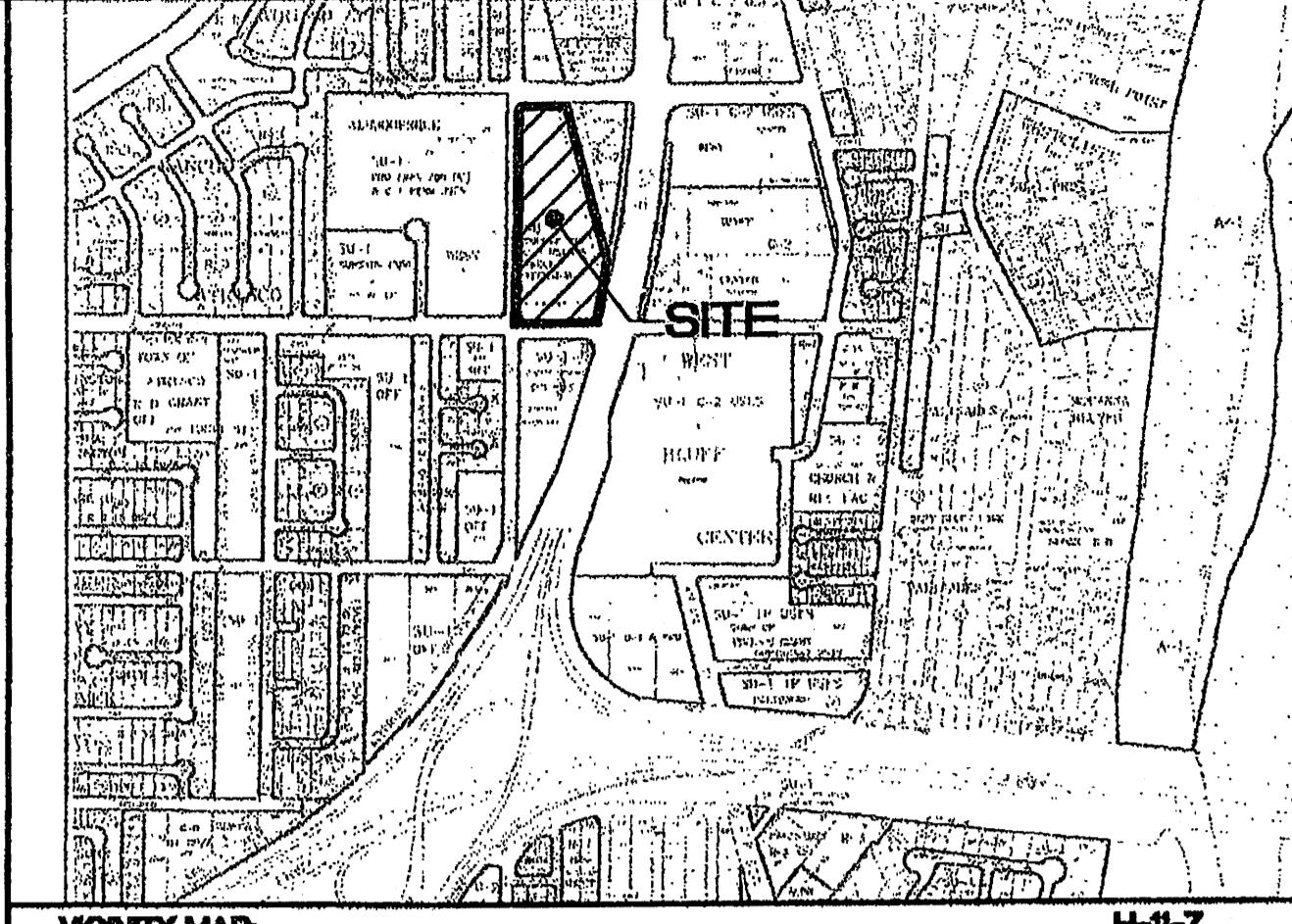
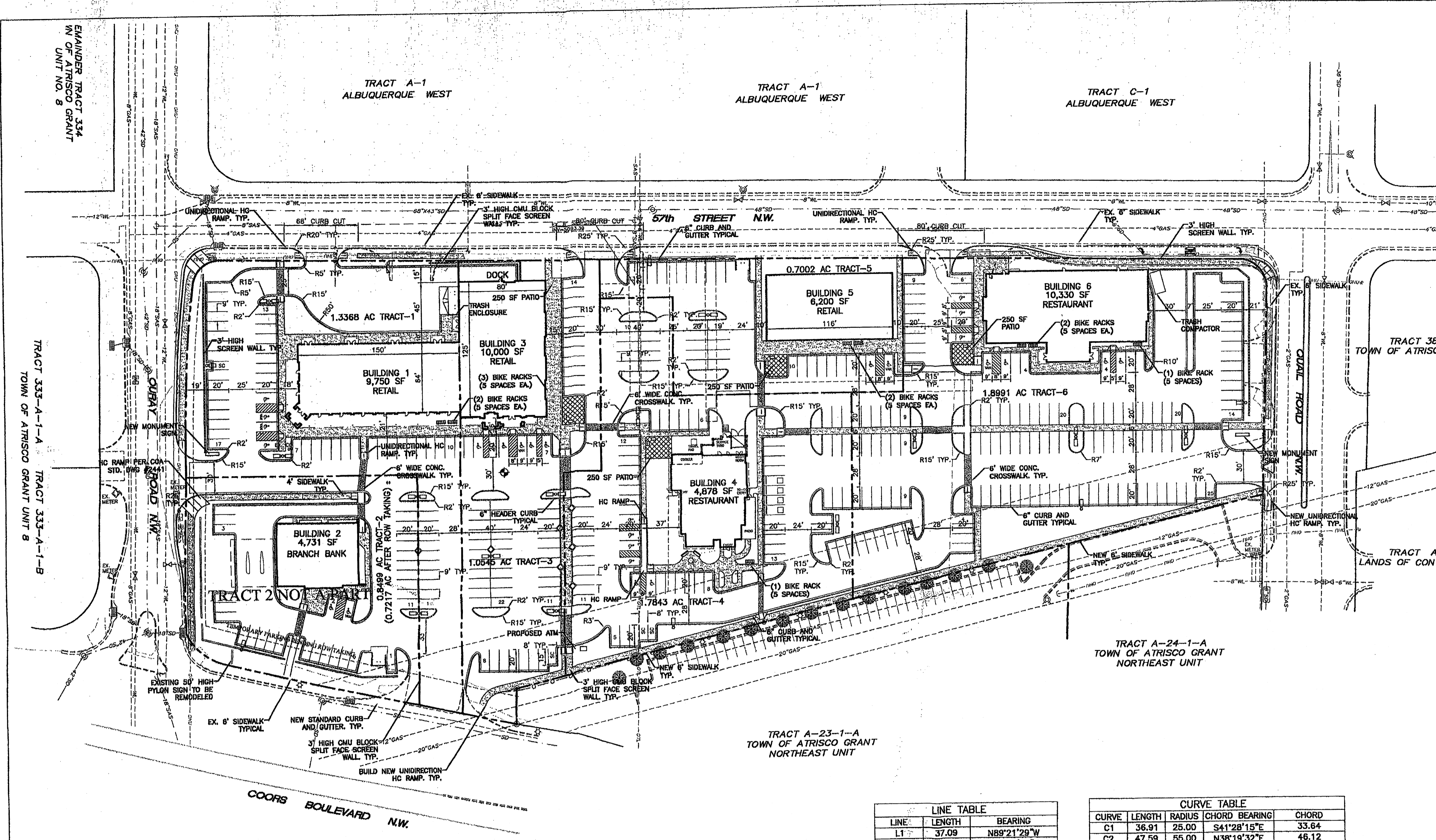
TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

REVISIONS

9-13-05 UPDATED PARKING CALCS DY
 7-25-05 NEW ROW AND PROPERTY LINE BDG
 7-25-05 MOVED SCREEN WALL AND DUMPSTER LOCATION FARTHER WEST BDG

DRAWN BY: BDG
 DATE: 09/29/05
 2296-SPSB-9-29-05
 SHEET #
C2A
 JOB # 220096

2:\2004\24091\Drawings\A. COX\2296-SPSB-9-29-05.dwg 9/29/2005 8:08:44 AM JDT



LEGAL DESCRIPTION
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8 ATRISCO GRANT & PORTION OF TR A21

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE MONTANA PLAZA MASTER PLAN. MATCH BUILDING COLORS AND MATERIAL.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - THIS SITE PLAN FOR SUBDIVISION IS FOR RESTAURANTS WITH A BEER AND WINE LICENSE ONLY. FURTHER APPROVAL FOR A RESTAURANT WITH A LIQUOR LICENSE BEYOND A BEER AND WINE LICENSE WILL REQUIRE ADMINISTRATIVE APPROVAL TO DETERMINE IF THERE IS SUFFICIENT OFF-STREET PARKING.
 - ALL PATIO AREAS ON THE SOUTHEAST OR WEST SIDES OF BUILDINGS SHALL HAVE A MINIMUM OF 100 SF OF SHADED AREA, EITHER WITH TREES OR SHADE STRUCTURES.
 - ALL PATIO AREAS SHALL HAVE A MINIMUM OF 8 LINEAR FEET OF FIXED SEATING.
 - THE TOTAL SQUARE FOOTAGE FOR THE PORTION OF THE FREESTANDING SIGN THAT IDENTIFIES THE SHOPPING CENTER NAME SHALL BE LIMITED TO 20 SF.
 - FREESTANDING SIGNS WILL MEET THE REQUIREMENTS FOR THE COORS CORRIDOR PLAN BY HAVING A SIGN FACE NO LARGER THAN 75 SF IN SIZE. THE NUMBER OF ITEMS AS IDENTIFIED IN THE COORS CORRIDOR PLAN WILL BE LIMITED TO 10.
 - SEE SHEET 6 FOR DETAILS.
 - PARKING BARRIERS SHALL BE PROVIDED TO PREVENT VEHICLES FROM EXTENDING OVER ANY PUBLIC SIDEWALK, ADJUTING LOT, PEDESTRIAN WALKWAYS, LANDSCAPE AREA OR ANY WALL OR FENCE. THE BARRIERS NEED TO BE A MINIMUM OF TWO FEET FROM ANY PUBLIC SIDEWALK, ADJUTING LOT, PEDESTRIAN WALKWAYS, LANDSCAPE AREA OR ANY WALL OR FENCE IN ACCORDANCE WITH SECTION 14-116-3-1(E)(2) OF THE COMPREHENSIVE CITY ZONING CODE.
 - PAVING SHALL BE ASPHALT CONCRETE UNLESS OTHERWISE NOTED.

LINE TABLE

LINE	LENGTH	BEARING
L1	37.09	N89°21'29"W
L2	35.68	N90°00'00"E
L3	35.00	N00°00'00"W
L4	33.17	S00°00'00"E

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING	CHORD
C1	36.91	25.00	S41°28'15"E	33.64	
C2	47.59	55.00	N38°19'32"E	46.12	
C3	182.90	5646.45	N12°36'32"E	182.89	
C4	41.84	5646.45	N11°28'07"E	41.84	
C5	51.16	5646.45	N10°59'49"E	51.16	
C6	39.37	25.00	S45°56'25"W	35.43	

SITE DATA TABLE

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG.	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE RACKS REQ.	MIN. FAR.	MAX. FAR.
1	1	1.3368	9,750	RETAIL	C-2		49	58	4	4	1	1	1	2	0.15	0.35
2	2	0.8489	4,711	BANK	C-2		24	33	2	2	1	1	1	1	0.15	0.35
3	3	1.0545	10,000	RETAIL	C-2		50	62	4	6	1	1	3	3	0.15	0.35
4	4	1.7843	4,878	RESTAURANT	C-2		192	64	77	4	6	2	2	3	0.15	0.35
5	5	0.7002	6,200	RETAIL	C-2		31	33	2	2	1	1	1	2	0.15	0.35
6	6	1.8991	10,330	RESTAURANT	C-2		382	127	130	8	8	1	1	2	0.15	0.35
TOTAL		7.625	47,080				345	393	24	28	7	7	12	0.15	0.35	

RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY
 1 PER 3 SEATS

PROJECT NUMBER: 1002459
APPLICATION NUMBER: 03 DRB 01759

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division
Roger A. Shear Date 10/29/03

Utilities Development
Christine Sandoval Date 10/29/03

Parks & Recreation Department
Bradley B. Billa Date 5/21/04

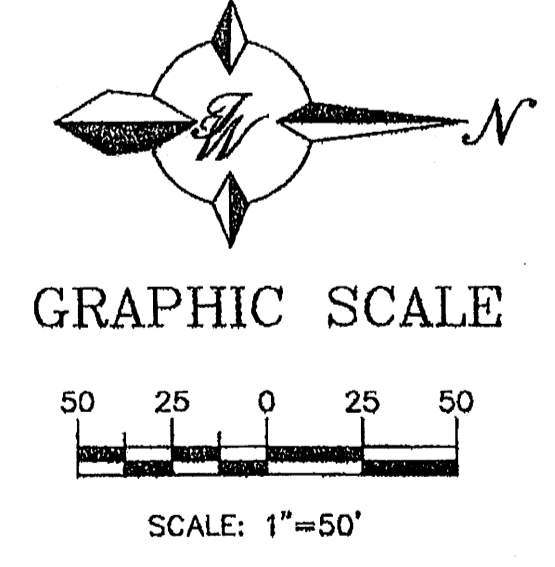
City Engineer

Environmental Health Department (conditional)
Michael Holton Date 1-29-04

Solid Waste Management

DRB Chairperson, Planning Department _____ Date _____

- LEGEND**
- BOUNDARY LINE
 - - - - - EASEMENT
 - - - - - EXISTING CURB AND GUTTER
 - PROPOSED CURB
 - - - - - PROPOSED SCREEN WALL
 - - - - - PROPOSED SIDEWALK
 - - - - - EXISTING BOUNDARY
 - - - - - PROPOSED CROSSWALK
 - - - - - PROPOSED BIKE RACK
 - □ □ PROPOSED PARKING LOT LIGHTING



APD PLANS CHECKING OFFICE
 824-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
R.C. Bond 10-28-03
 SIGNATURE & DATE

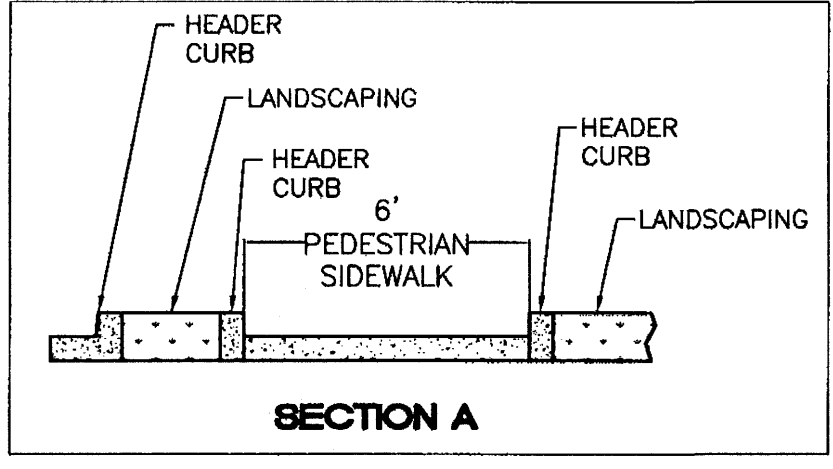
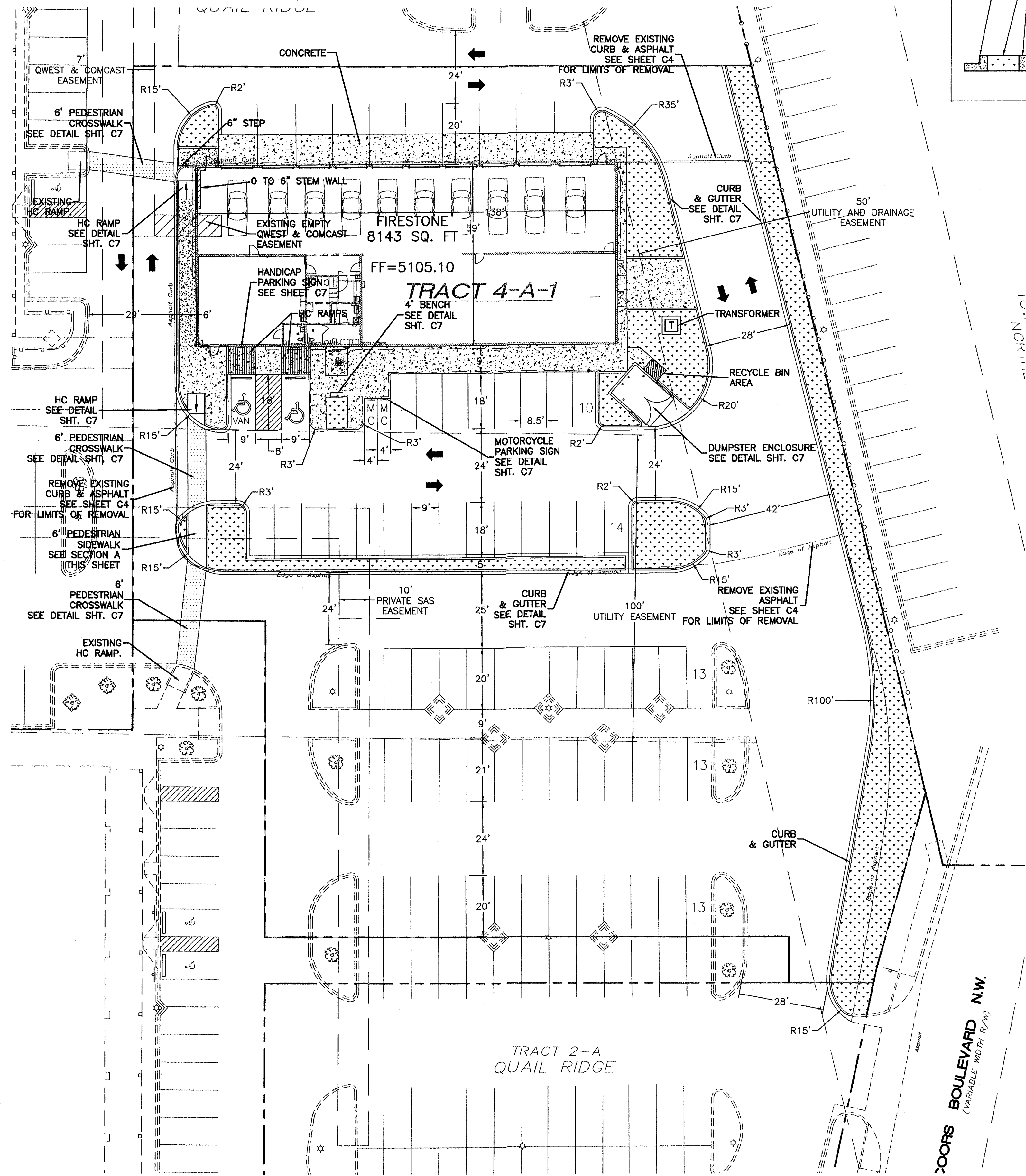
ENGINEER'S SEAL

QUAIL RIDGE SHOPPING CENTER

SITE PLAN FOR BUILDING PERMIT

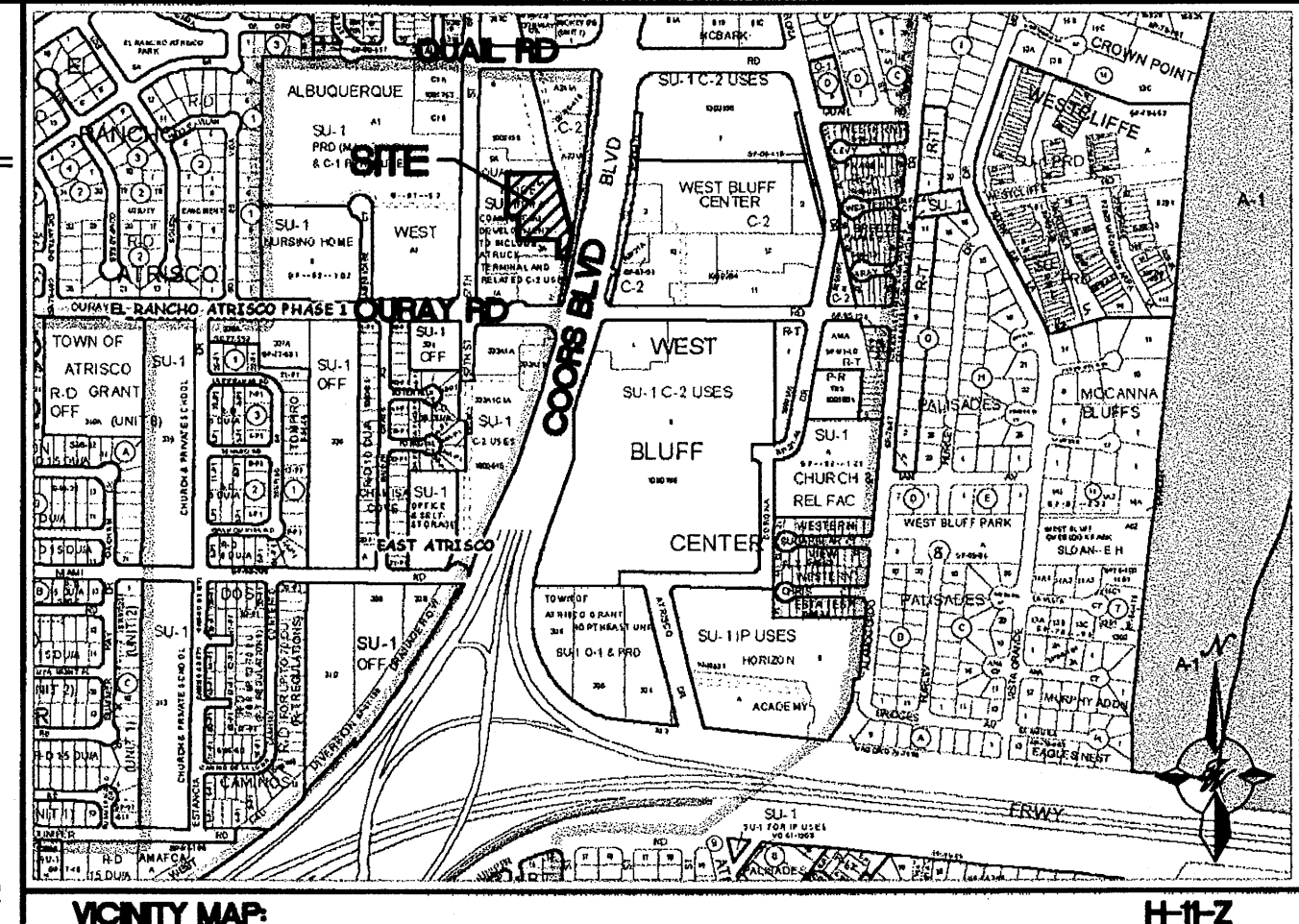
TERRA WEST, LLC
 8505 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

DRAWN BY *BDG*
 DATE 10/23/03
 2286SPB-8-11-03X
 SHEET # **C2B**
 JOB # 220096



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- LANDSCAPING
- CROSSWALK
- ☀ STREET LIGHTS
- LANE
- STRIPING
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - EXISTING EASEMENT
- - - EXISTING SIDEWALK
- - - EXISTING LANE
- - - EXISTING STRIPING



LEGAL DESCRIPTION:
TRACK 4-A-1 QUAIL RIDGE

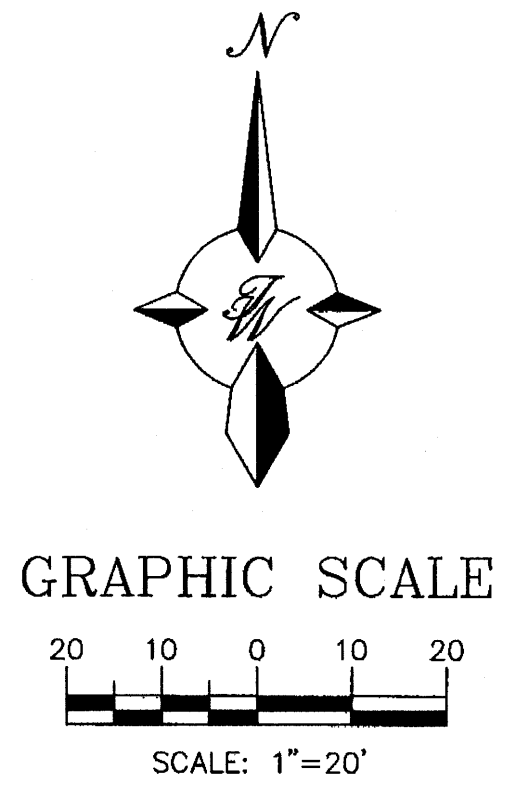
GENERAL NOTES:

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
3. ALL LIGHTING SHALL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9.
4. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
5. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
6. WINDOW LOCATIONS AND MATERIAL SHALL COMPLY WITH COORS CORRIDOR PLAN POLICY 10, SECTION B, DESIGN GUIDELINE 3.
7. ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE PROPERTY LINE OF THE SITE.
8. RECYCLING OF TIRES WILL BE HANDLED BY PRIVATE VENDOR.

SITE DATA

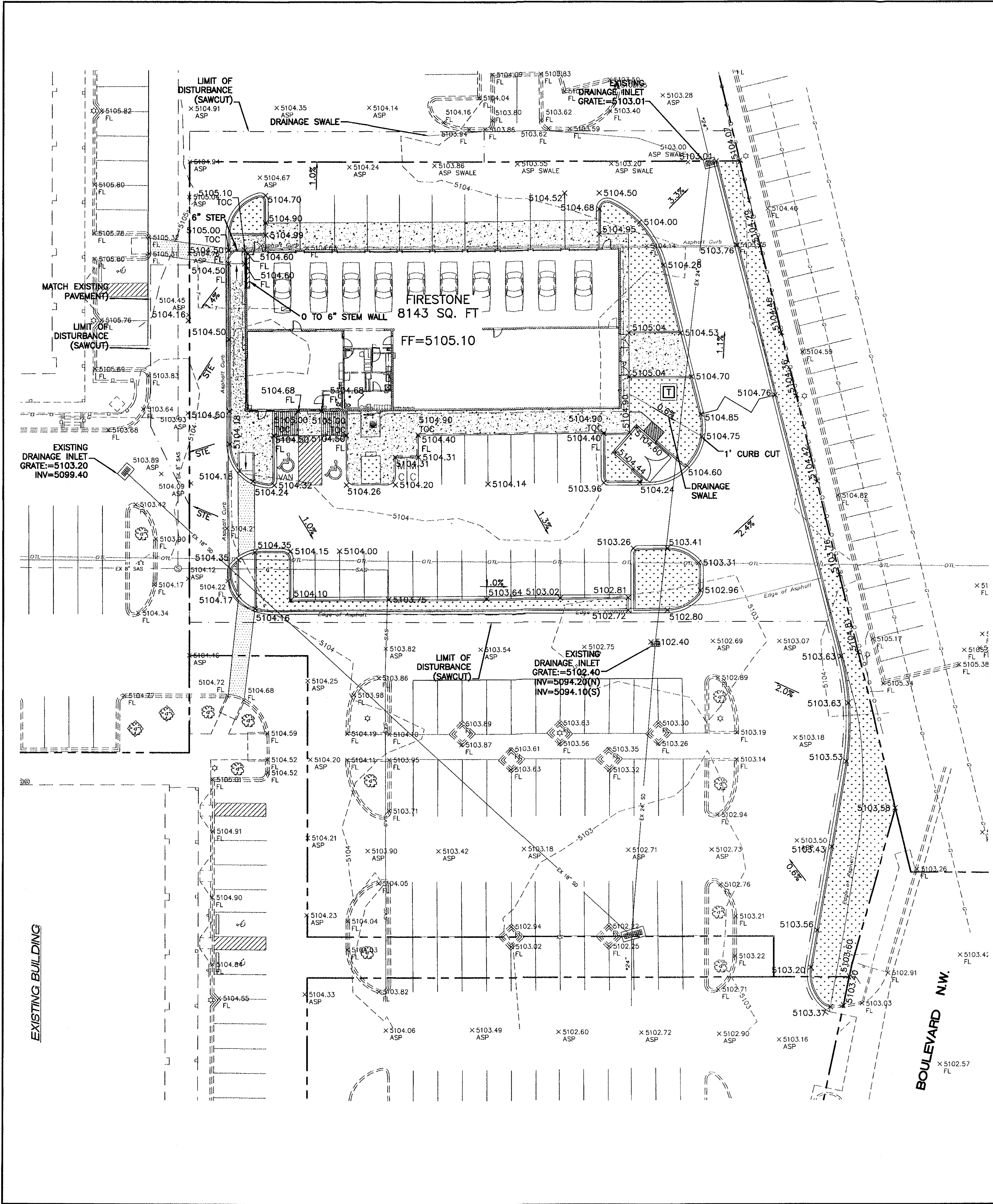
PROPOSED USAGE:	FIRESTONE
LOT AREA:	62,504 SF (1.43 ACRE)
BUILDING AREA:	
CUSTOMER SEATING:	1010 SF
SERVICE AREA:	4175 SF
INVENTORY:	2244 SF
USED INVENTORY:	247 SF
OTHERS:	467 SF
TOTAL:	8143 SF
PARKING REQUIRED:	30 SPACES (5899 SF/1 SPACE PER 200 SF)
PARKING REQUIRED:	2 SPACES (2244 SF/1 SPACE PER 2000 SF)
MINUS:	10 SPACES (SERVICE BAYS)
TOTAL PARKING REQUIRED:	22 SPACES
PARKING PROVIDED:	63 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES 1 SPACE VAN ACCESSIBLE
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES

ADMINISTRATIVE AMENDMENT
FILE #09-1018 PROJECT #1002759
replace restaurant use w/
tire store
Chamone 2/11/10
APPROVED BY DATE



- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
 - C2A. SITE PLAN FOR SUBDIVISION (APPROVED)
 - C2B. ORIGINAL SITE PLAN FOR SUBDIVISION
 - C3. SITE PLAN FOR BUILDING PERMIT
 - C4. GRADING AND DRAINAGE PLAN
 - C5. MASTER UTILITY PLAN
 - C6. BUILDING ELEVATIONS
 - C7. DETAILS
 - C8. DETAILS
 - L1. LANDSCAPING PLAN

	QUAIL RIDGE SHOPPING CENTER ADMINISTRATIVE AMENDMENT SITE PLAN FOR BUILDING PERMIT	DRAWN BY BJF DATE 1/19/10 2944-SPB-AA
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrawestllc.com	SHEET # C3 JOB # 29044



LEGEND

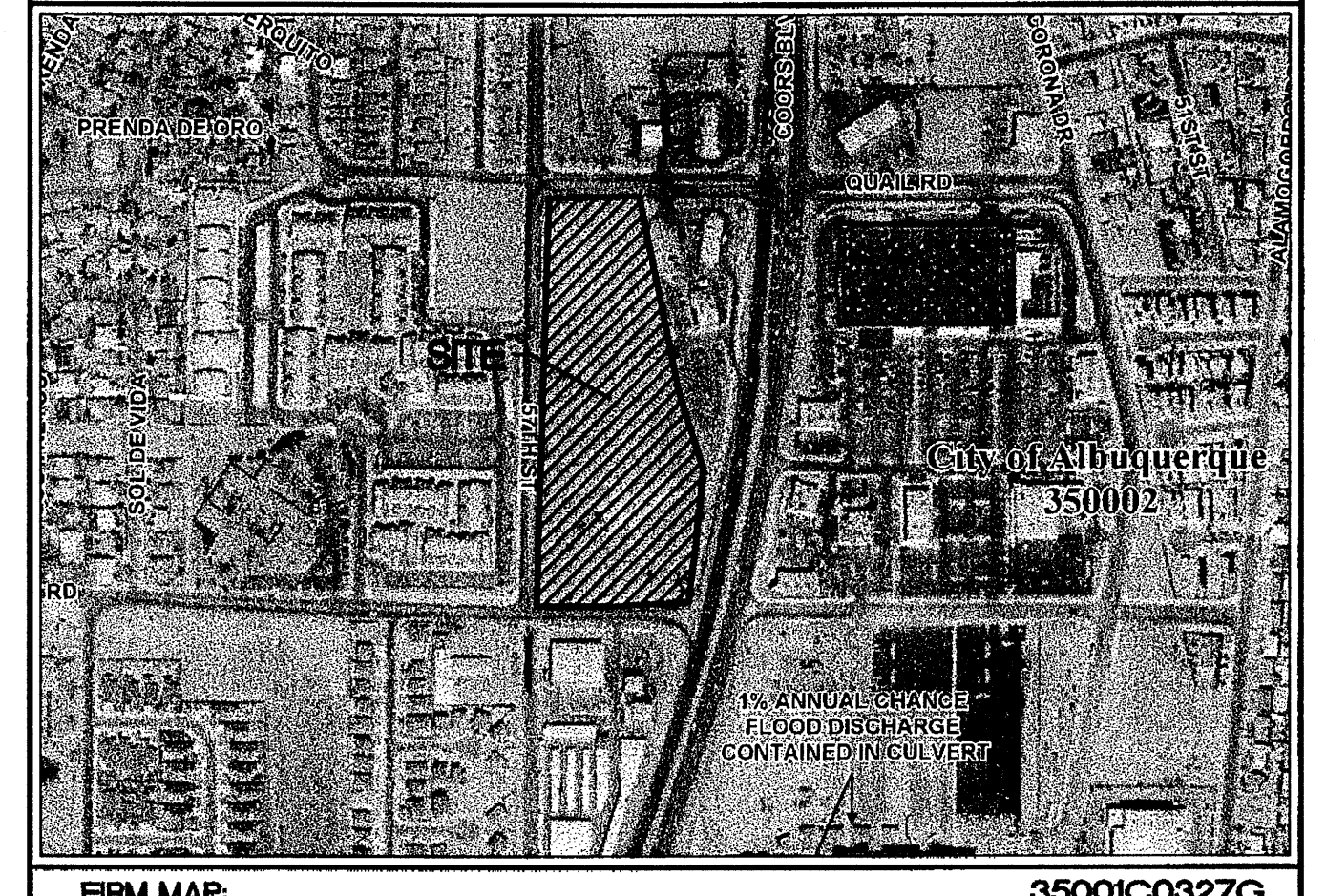
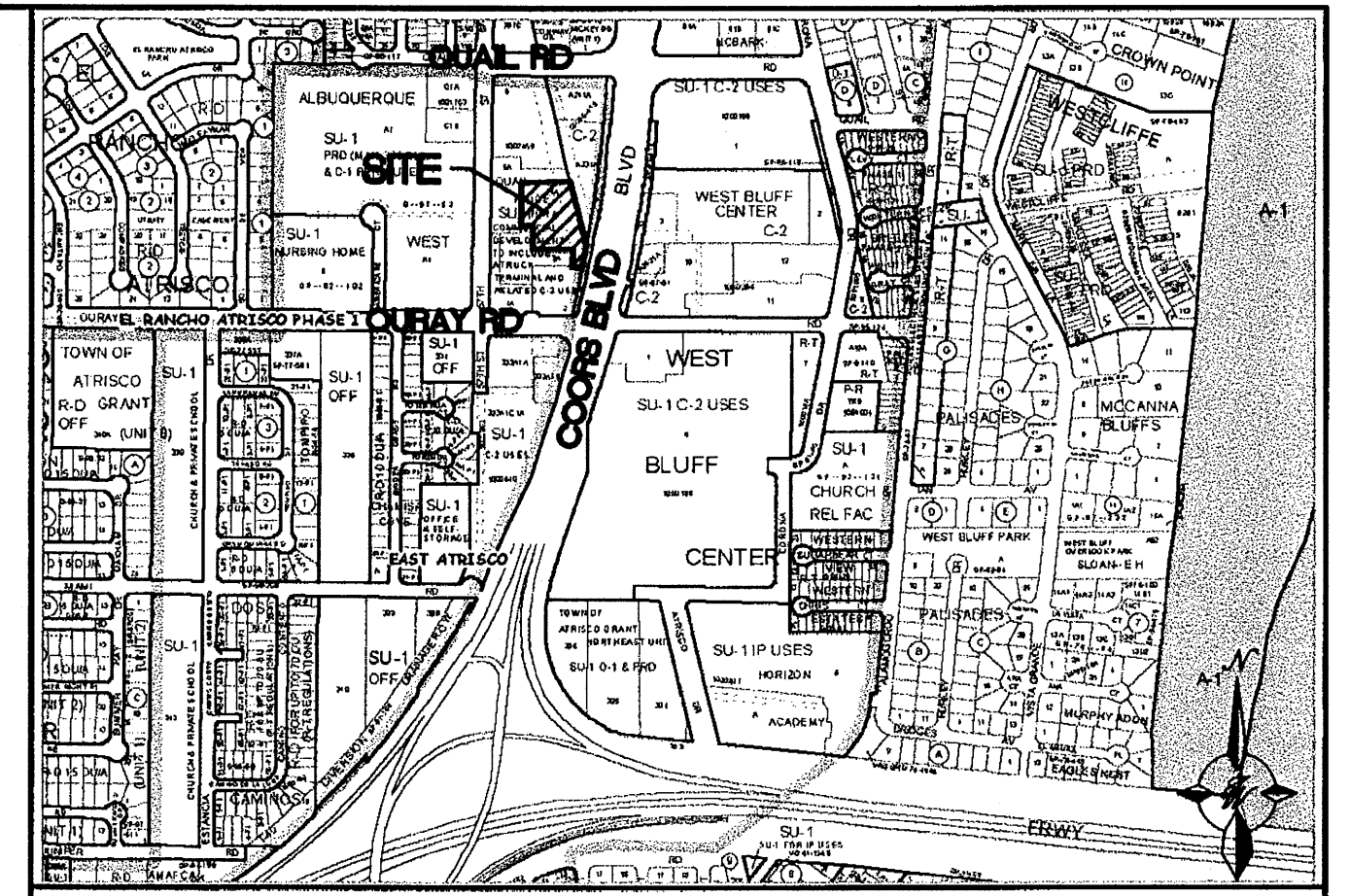
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	SLOPE TO EXISTING GRADE
	LIMITS OF DISTURBANCE
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION

CAUTION:
ALL SPOT ELEVATIONS SHOWN ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE SPECIFIED.

EROSION CONTROL NOTES:

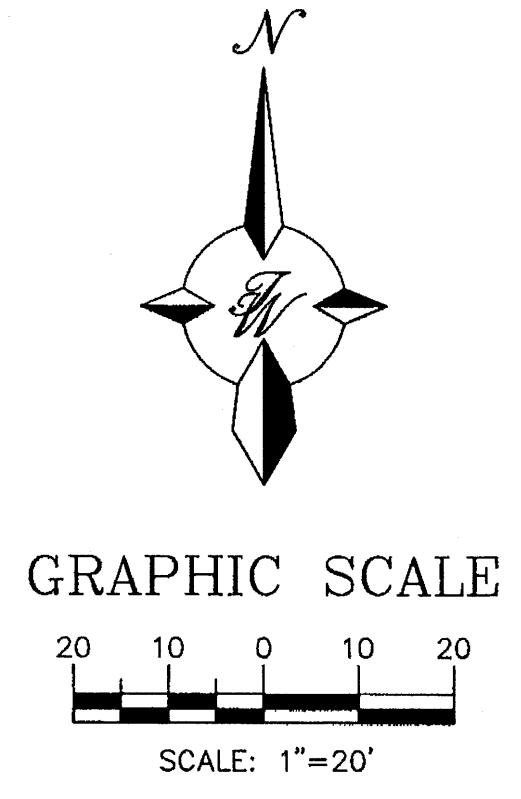
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



DRAINAGE:
EXISTING CONDITIONS:
THE TRACT IS LOCATED WITHIN THE EXISTING QUAIL RIDGE SHOPPING CENTER AND IS PART OF THE APPROVED GRADING AND DRAINAGE PLAN STAMPED 8-26-03. THE TRACT IS PARTIALLY DEVELOPED. THE SOUTHERN PORTION OF THE PROPERTY HAS BEEN DEVELOPED AS PARKING AND IS USED AS OVERFLOW PARKING FOR SURROUNDING TRACTS. THE SOUTHERN PORTION OF THE TRACT WILL REMAIN AS PARKING. THE NORTHERN PORTION OF THE TRACT IS CURRENTLY UNDEVELOPED. THE TRACT CURRENTLY DRAINS TO FOUR EXISTING STORM SEWER INLETS LOCATED ON THE NORTH, SOUTH AND WEST SIDES OF THE TRACT.

PROPOSED CONDITIONS:
ALTHOUGH THE SHOPPING CENTER HAS BEEN MODIFIED BY ADMINISTRATIVE AMENDMENTS SINCE ITS ORIGINAL APPROVAL THE SHOPPING CENTERS DRAINAGE CONCEPT OUTLINED IN THE APPROVED DRAINAGE REPORT DATED 8-26-03 HAS REMAINED CONSISTENT. THE HYDROLOGY CALCULATIONS ASSUMED DEVELOPED CONDITIONS FOR THE SITE AS 90% LAND TREATMENT D AND 10% LAND TREAT B. THE DEVELOPED BASIN BOUNDARIES REMAIN CONSISTENT WITH THE APPROVED DRAINAGE REPORT. THE SITE WILL CONTINUE TO DRAIN TO THE EXISTING STORM SEWER INLETS LOCATED ON THE NORTH, SOUTH, AND WEST SIDES OF THE PROPERTY.



ROUGH GRADING APPROVAL _____ DATE _____

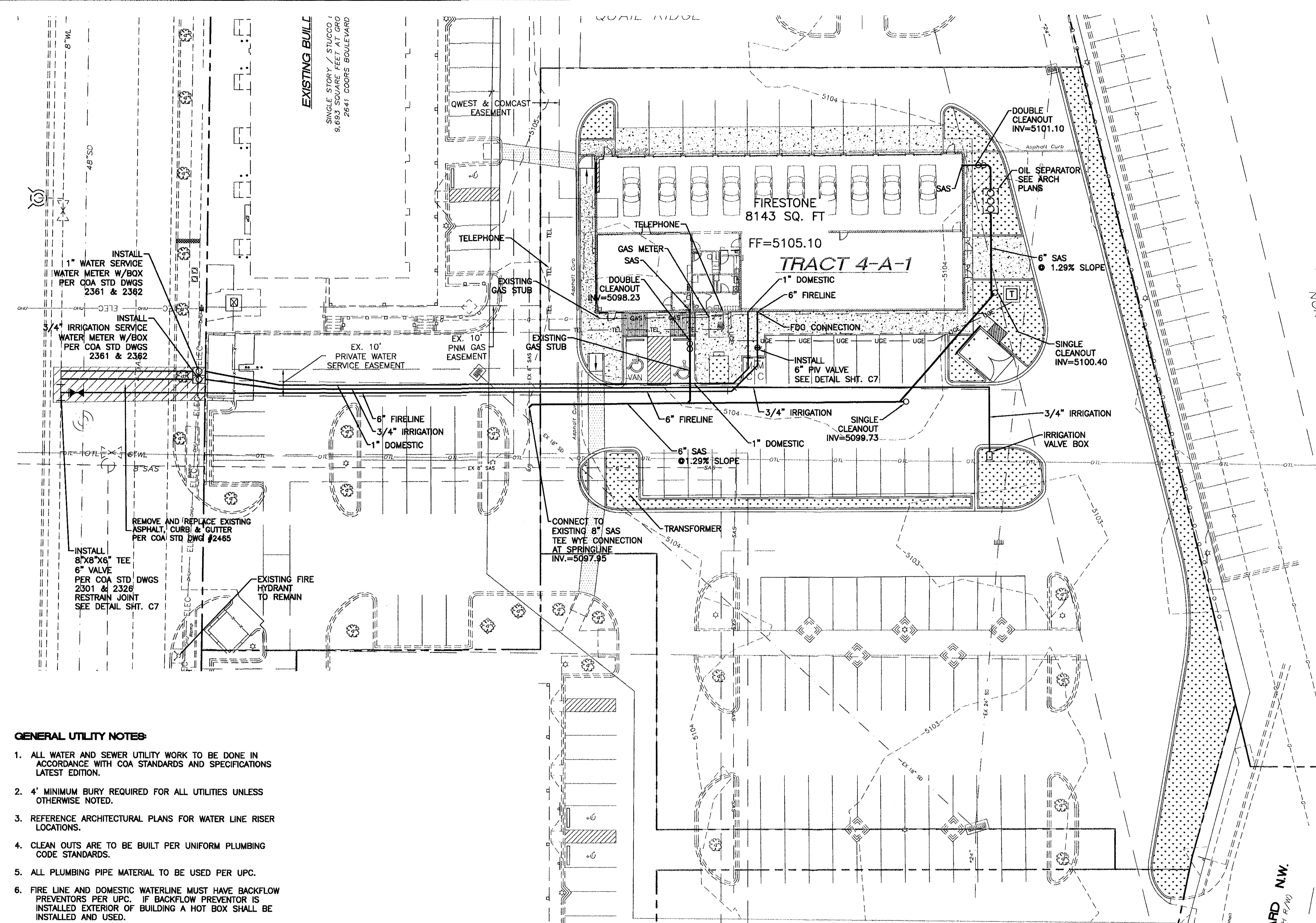
	QUAIL RIDGE SHOPPING CENTER ADMINISTRATIVE AMENDMENT GRADING AND DRAINAGE PLAN	DRAWN BY BJF DATE 1/19/10 29044-GRB-AA
	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrawestllc.com	SHEET # C4 JOB # 29044

LEGEND

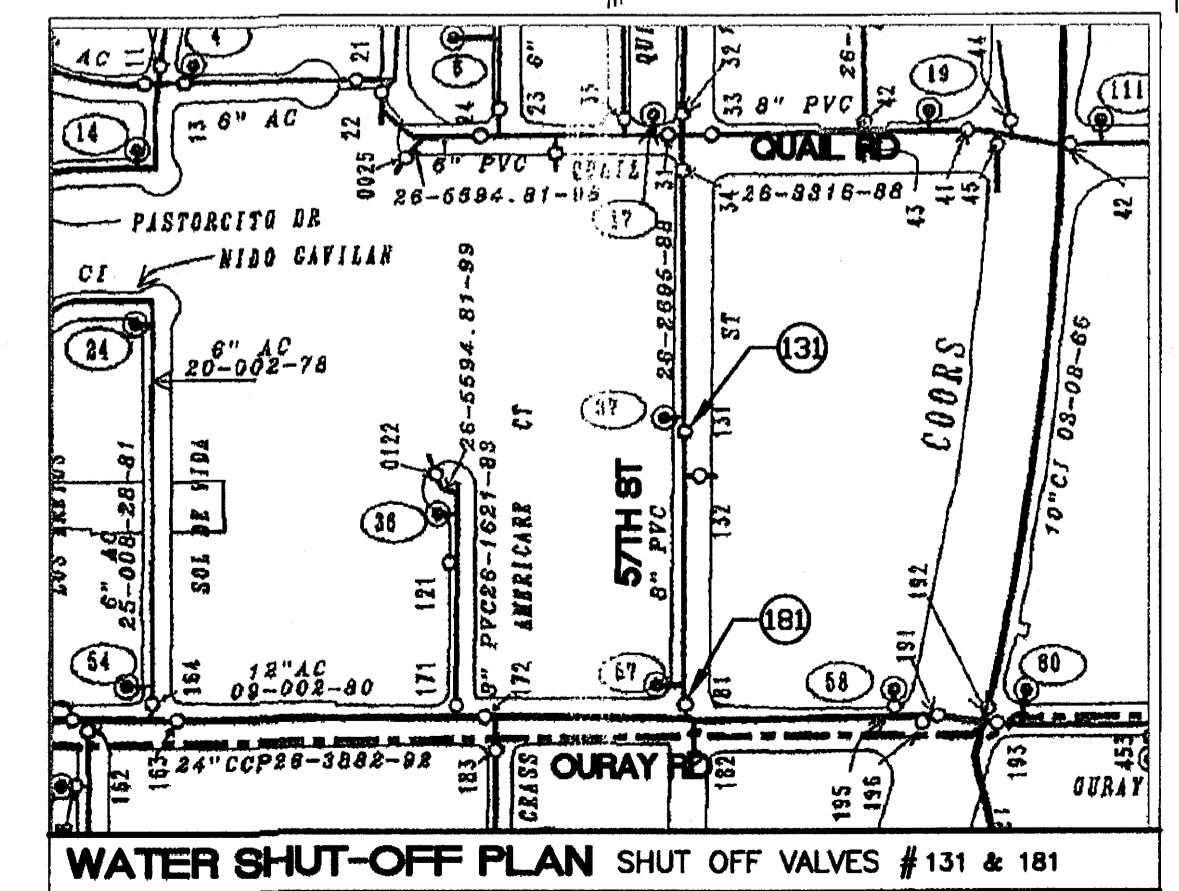
- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 6" SAS
- 6" WL
- SINGLE CLEAN OUT
- ⊙ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING GAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- - - EXISTING OVERHEAD UTILITIES
- - - EX. UGE
- - - EX. 4" GAS
- - - EX. 8" SAS
- - - EX. 8" WL
- - - EX. 18" RCP
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

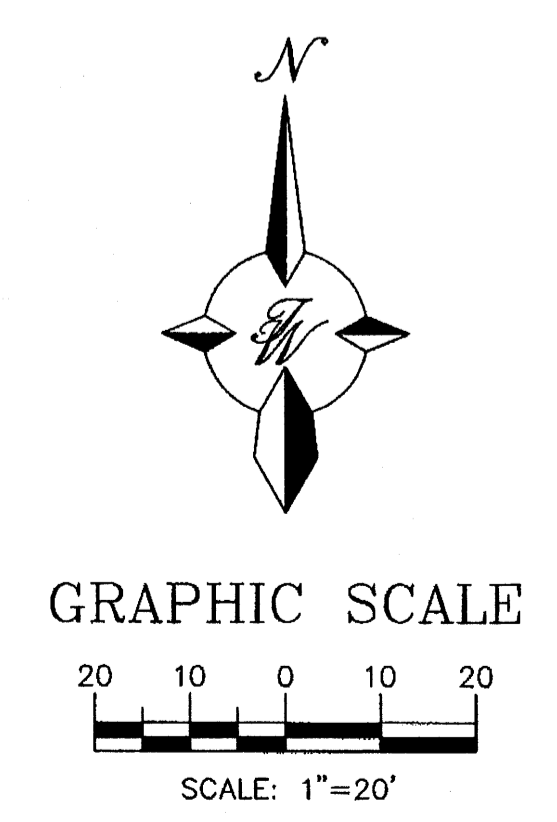
APPROVAL	NAME	DATE
INSPECTOR		



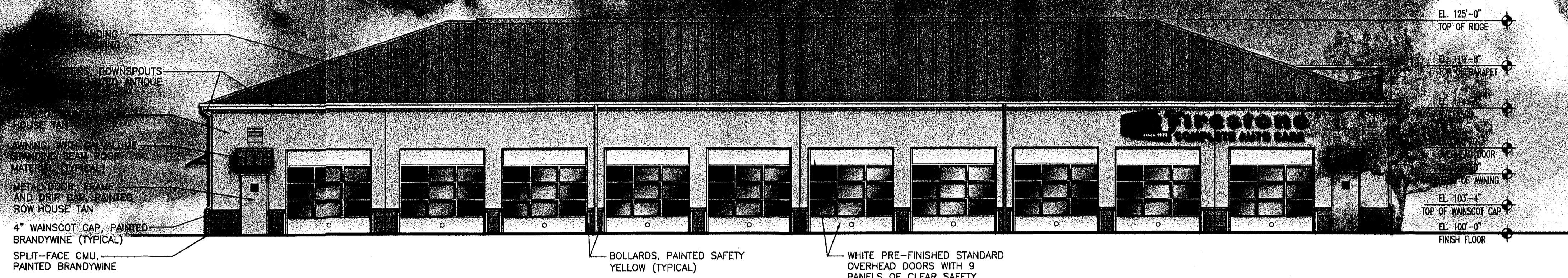
- GENERAL UTILITY NOTES:**
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
 2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
 7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
 8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
 10. CONTRACTOR TO PROVIDE CONDUIT FOR QWEST, COMCAST AND PNM. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES.
 11. CONTRACTOR TO USE FULL BLOCKING AT ALL ONSITE TEES, PLUGS, AND CAPS. SEE DETAIL SHT. C7.



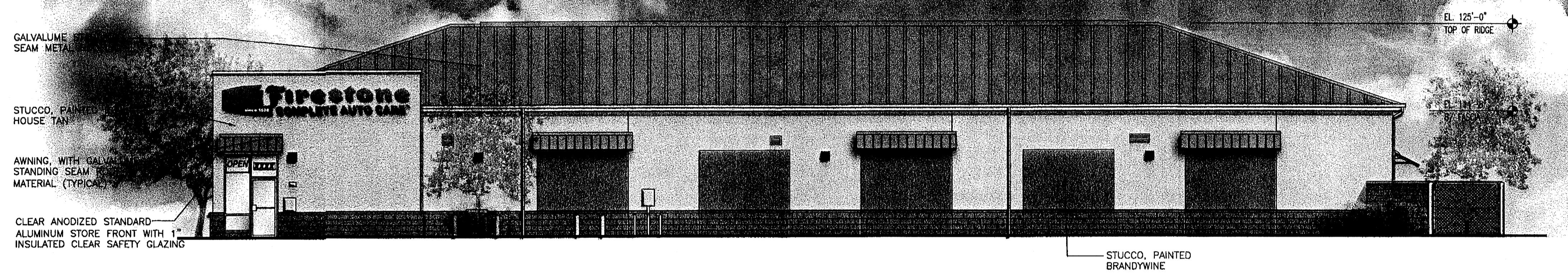
- WATER SHUTOFF NOTES:**
1. ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES
 2. NOTIFY ABCWUA WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN.
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 4. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
 5. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN, TO BE DONE ONLY IN THE EVENT OF EMERGENCY. CONNECTION TO EXISTING WATER LINE TO BE PRESSURIZED.



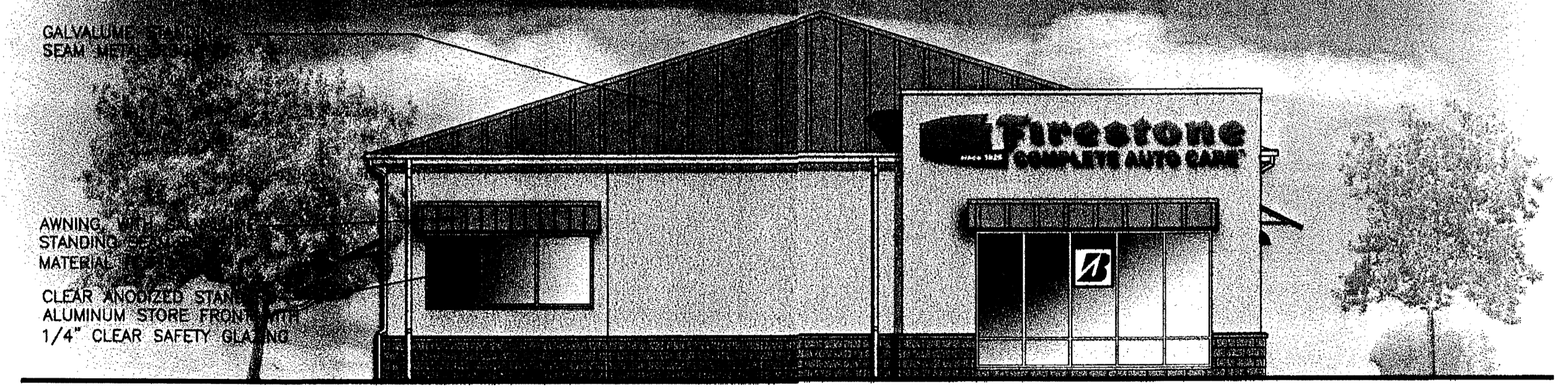
	QUAIL RIDGE SHOPPING CENTER ADMINISTRATIVE AMENDMENT MASTER UTILITY PLAN	DRAWN BY BJF DATE 1/19/10 2944-MUB-AA
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrawestllc.com	SHEET # C5 JOB # 29044



NORTH



SOUTH

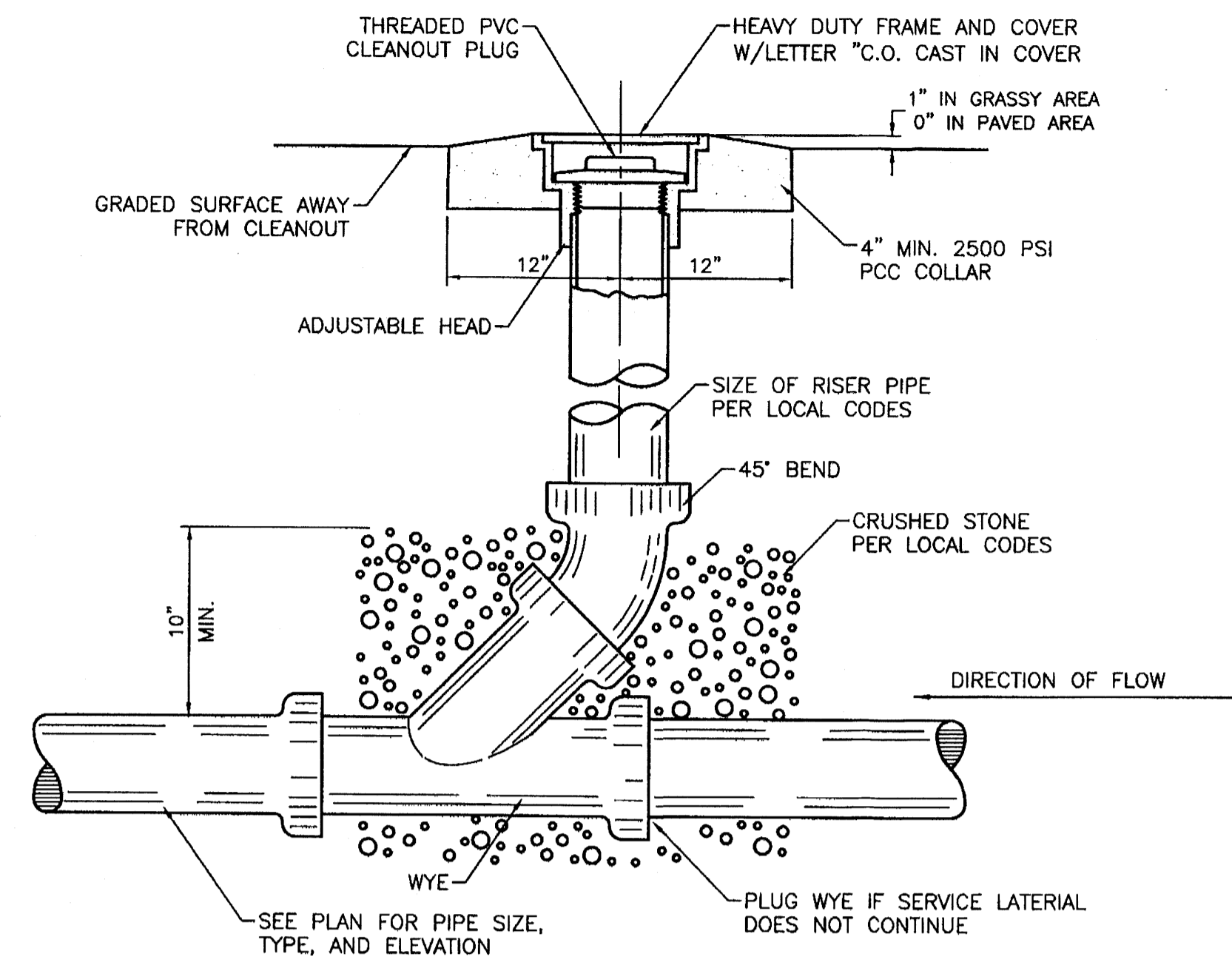


WEST

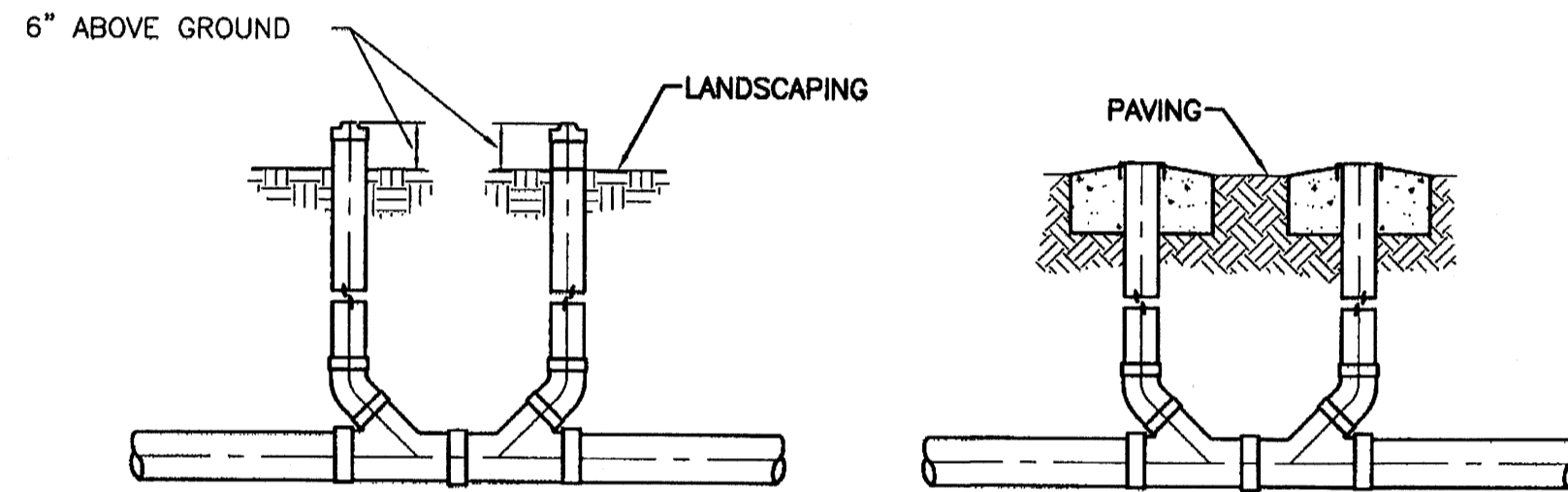


EAST

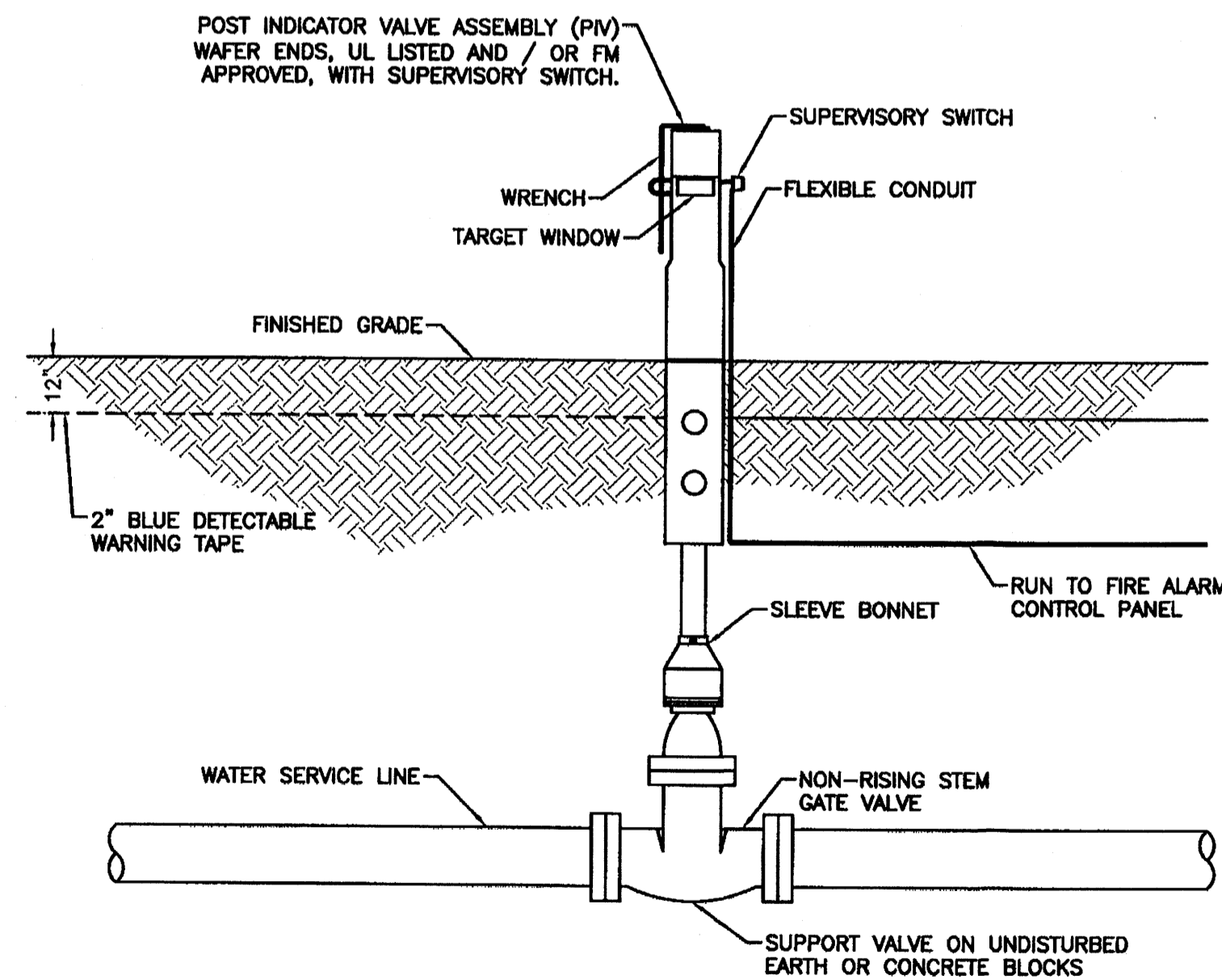
FIRESTONE - ALBUQUERQUE, NM



SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

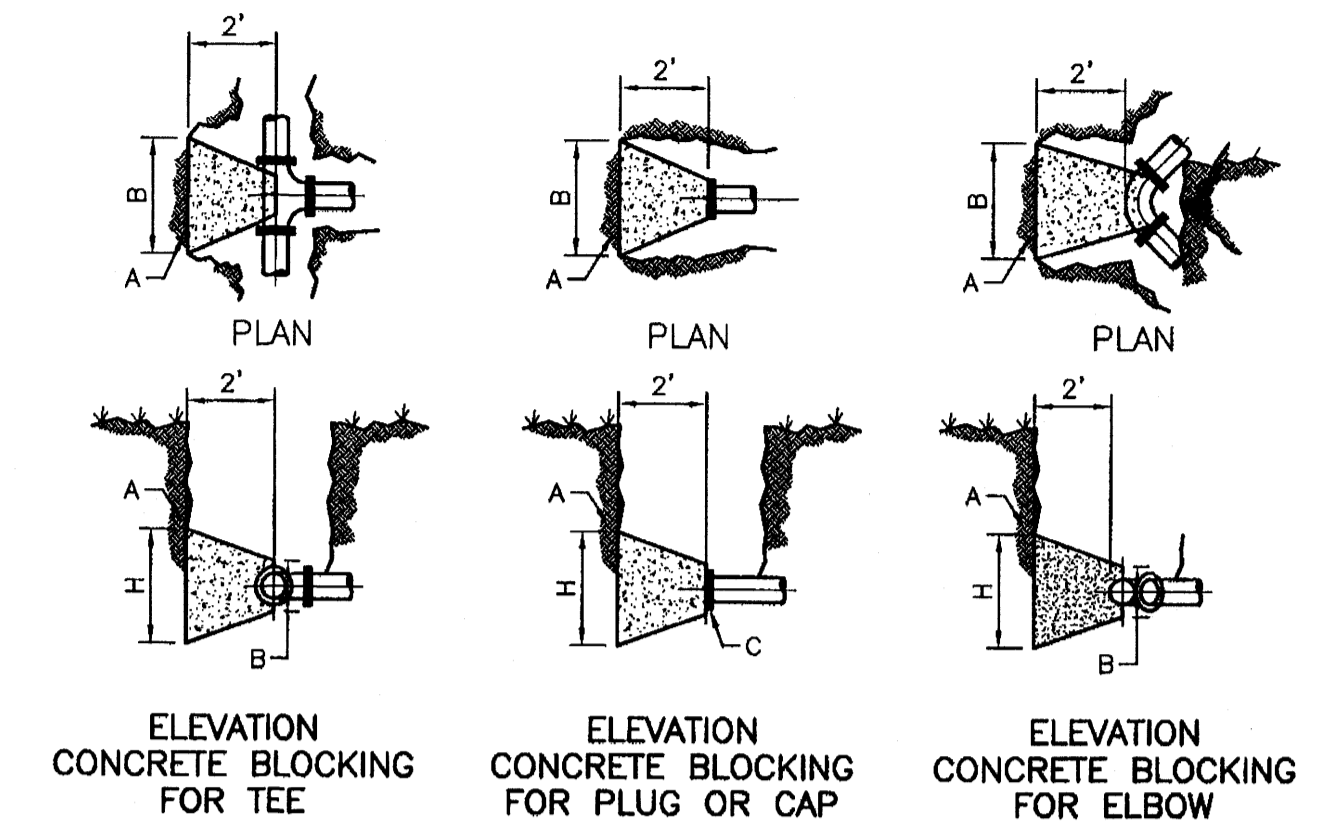


POST INDICATOR VALVE DETAIL
NOT TO SCALE

PIPE SIZE	ELBOW ANGLE	ELBOW (B) DIM.	ELBOW (H) DIM.	TEE OR PLUG (B) DIM.	TEE OR PLUG (H) DIM.
4"	90°,45°	2'	2'	2'	2'
4"	22.5°,11.25°	2'	2'	2'	2'
6"	90°,45°	2'	2'	2'	2'
6"	22.5°,11.25°	2'	2'	2'	2'
8"	90°	3'	3'	3'	3'
8"	45°	2'	2'		
8"	22.5°,11.25°	2'	2'		
10"	90°	3'-6"	3'-6"	3'	3'
10"	45°	3'	3'		
10"	22.5°,11.25°	2'	2'		
12"	90°	4'	4'	3'-6"	3'-6"
12"	45°	3'-6"	3'-6"		
12"	22.5°,11.25°	2'	2'		
14"	90°	5'	5'	4'	4'
14"	45°	3'-6"	3'-6"		
14"	22.5°,11.25°	3'	3'		

CONSTRUCTION NOTE:
A. UNDISTURBED EARTH
B. O.D. OF PIPE +6"
C. O.D. OF CAP OR PLUG, MIN. 12"x12"

CONCRETE BLOCKING DESIGN
NTS PER COA STD DWG #2320



THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:
DEPTH OF BURY: 3.0' MINIMUM
SAFETY FACTOR: 1.5 TO 1
PIPE MATERIAL: PVC
SOIL TYPE: GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES
TEST PRESSURE: 150 PSI
TRENCH TYPE 3: PIPE BEDDED IN 4" MINIMUM LOOSE SOIL BACKFILL LIGHTLY CONSOLIDATED TO TOP OF PIPE

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

SIZE	LENGTH ALONG RUN**					
	10'	8'	6'	4'	2'	0'
12x12x12	61	68	76	83	90	98
12x12x10	39	48	56	65	74	83
12x12x8	15	26	37	48	59	70
12x12x6	1	1	9	24	38	53
12x12x4	1	1	1	1	16	37
10x10x10	46	54	61	68	76	83
10x10x8	25	34	43	52	61	70
10x10x6	1	5	17	29	41	53
10x10x4	1	1	1	2	20	37
8x8x8	34	42	49	56	63	70
8x8x6	6	15	25	34	43	53
8x8x4	1	1	1	10	24	37
6x6x6	7	24	31	39	46	53
6x6x4	1	1	6	17	27	37

SIZE	HORIZONTAL BENDS				VALVES DEAD END
	90°	45°	22-1/2°	11-1/4°	
12	45	19	9	4	102
10	38	16	8	4	86
8	32	13	6	3	72
6	25	10	5	2	55
4	18	7	4	1	39

SIZE	L. SIDE	SIZE	L. SIDE
12x10	50	10x6	53
12x8	54	10x4	70
12x6	74	8x6	30
12x4	88	8x4	52
10x8	29	6x4	28

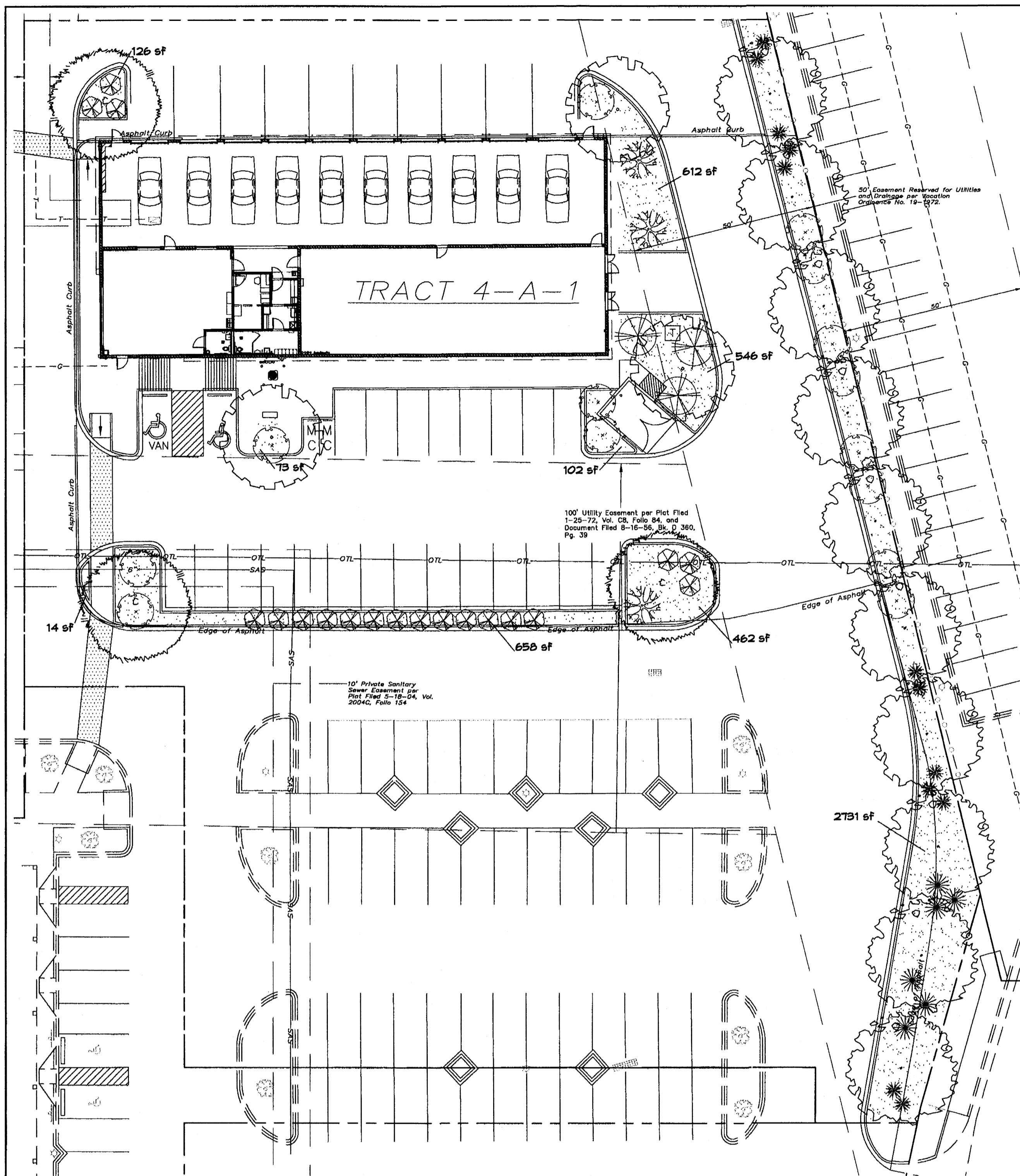
***RESTRAINTS ONLY PLACED ON LARGE SIDE

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:
DEPTH OF BURY: 3.0' MINIMUM TO 6.0'
SAFETY FACTOR: 1.5 TO 1
PIPE MATERIAL: PVC
SOIL TYPE: GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES
TEST PRESSURE: 150 PSI
TRENCH TYPE 3: PIPE BEDDED IN 4" MINIMUM LOOSE SOIL BACKFILL LIGHTLY CONSOLIDATED TO TOP OF PIPE

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

SIZE	HORIZONTAL BENDS			
	90°	45°	22-1/2°	11-1/4°
12 UPPER	DON'T USE	42	20	10
12 LOWER	DON'T USE	10	5	2
10 UPPER	DON'T USE	36	17	8
10 LOWER	DON'T USE	8	4	2
8 UPPER	DON'T USE	30	14	7
8 LOWER	DON'T USE	7	3	2
6 UPPER	DON'T USE	23	11	5
6 LOWER	DON'T USE	5	3	1
4 UPPER	DON'T USE	16	8	4
4 LOWER	DON'T USE	4	2	1

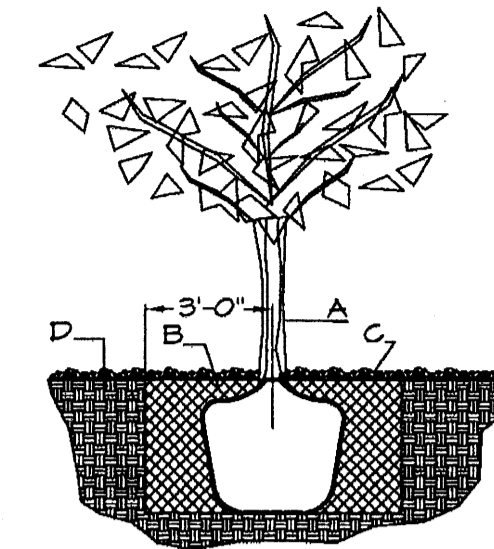
	ENGINEER'S SEAL QUAIL RIDGE SHOPPING CENTER	DRAWN BY BJF
	ADMINISTRATIVE AMENDMENT DETAIL SHEET	DATE 1/19/10
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrowestllc.com	SHEET # C8
JASON M. CASUGA P.E. #19568		JOB # 29044



PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- HONEY LOCUST 10
Gleditsia triacanthos
2" Cal., 10'-12' Inst./30' x 30' maturity
Water (M) Allergy (M) OsF
- ARIZONA ASH 3
Fraxinus velutina
2" Cal., 10'-12' Inst./25' x 25' maturity
Water (M) Allergy (M) OsF
- CHITALPA 3
Chilopsis x Catalpa
2" Cal., 12'-14' Inst./30' x 30' maturity
Water (M) Allergy (L) OsF
- RED YUCCA 12
Hesperaloe parviflora
5 Gal., 18"-3' Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
- BEARGRASS 6
Nolina microcarpa
5 Gal., 18"-3' Inst./5' x 6' maturity
Water (L+) Allergy (L) 6sf
- WINTER JASMINE 14
Jasminum nudiflorum
5 Gal., 6'-15" Inst./spreading to 12'
Water (L+) Allergy (L)
- BUFFALO BERRY 3
Shepherdia argentea
5 Gal., 2'-4' Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
- SPANISH BROOM 3
Spartium junceum
5 Gal., 18"-5' Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
- GREYLEAF COTONEASTER 14
Cotoneaster glaucophyllus
5 Gal., 24"-4' Inst./2' x 4' maturity
Water (M) Allergy (L) 81sf
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH



TREE PLANTING DETAIL

- NTS
GENERAL NOTES:
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 - TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestones will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestones or rip-rap. In lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	49,510	square feet
TOTAL BUILDINGS AREA	8,140	square feet
NET LOT AREA	35,371	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	5,306	square feet
TOTAL BED PROVIDED	5324	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	3993	square feet
TOTAL GROUND COVER PROVIDED	4275	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	5324	square feet

STREET TREE REQUIREMENTS - Minimum 2" Caliper

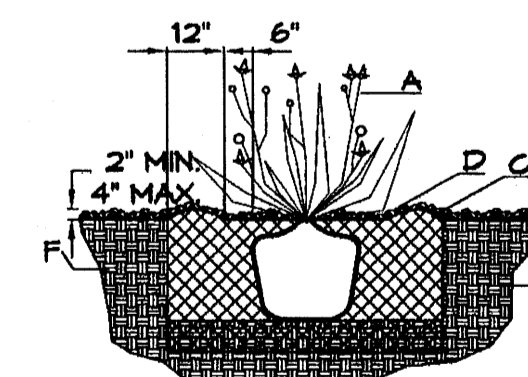
Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street
Required # 10 Provided # 10

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

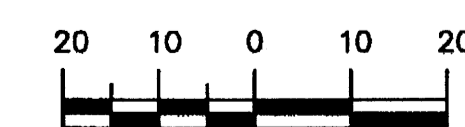
1 Shade tree per 10 spaces
Required # 3 Provided # 6



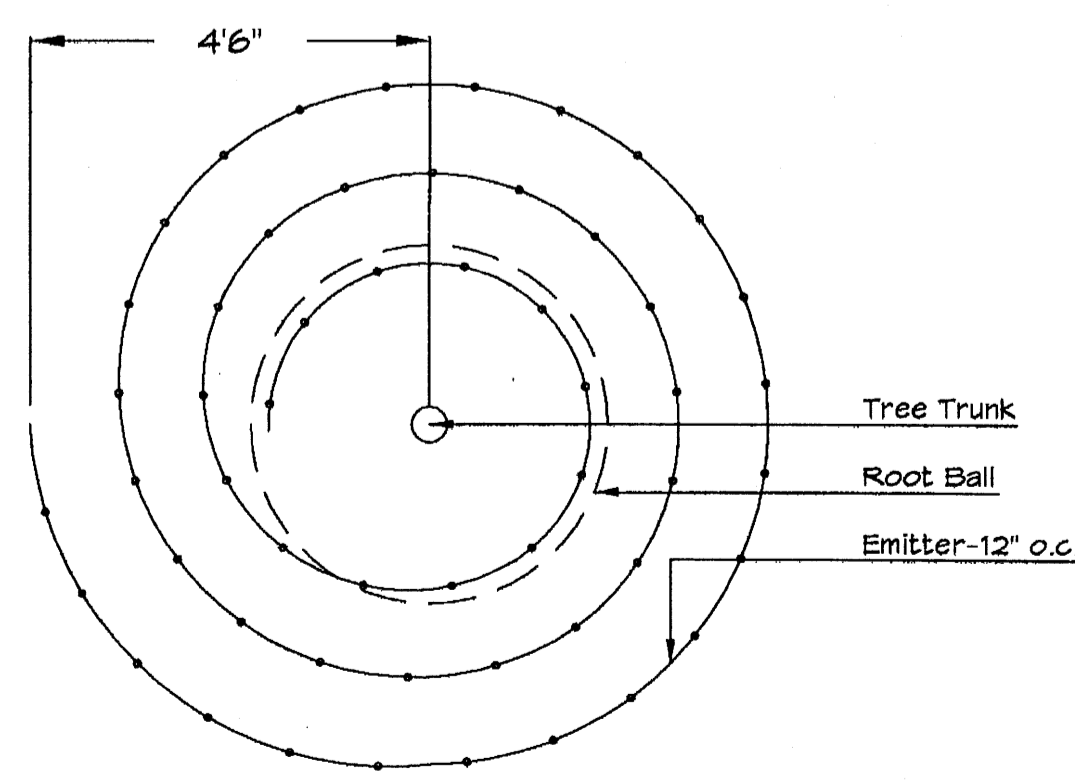
SHRUB PLANTING DETAIL

- NTS
GENERAL NOTES:
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:
- A. SHRUB.
 - B. BACKFILL WITH EXISTING SOIL.
 - C. EARTH BERM AROUND WATER RETENTION BASIN.
 - D. 3" DEPTH OF GRAVEL MULCH.
 - E. FINISH GRADE.
 - F. UNDISTURBED SOIL.

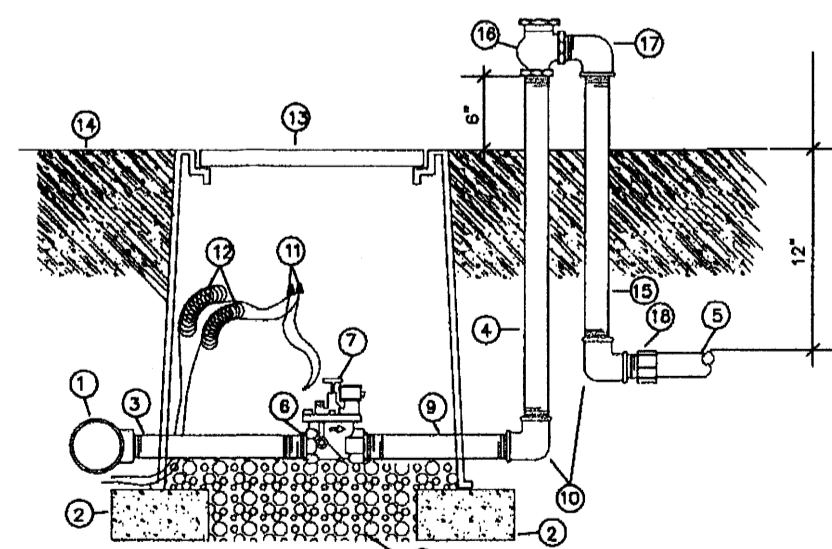
GRAPHIC SCALE



SCALE: 1"=20'

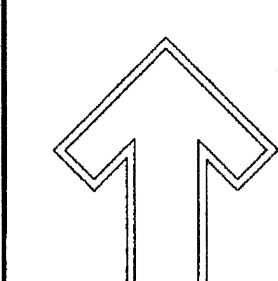


Netafim Spiral Detail



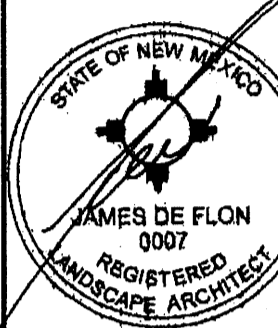
- 1 MAINLINE FITTING
- 2 CMU BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET ELL
- 18 TEE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER



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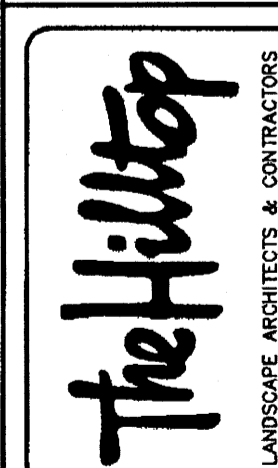
LANDSCAPE ARCHITECT'S SEAL



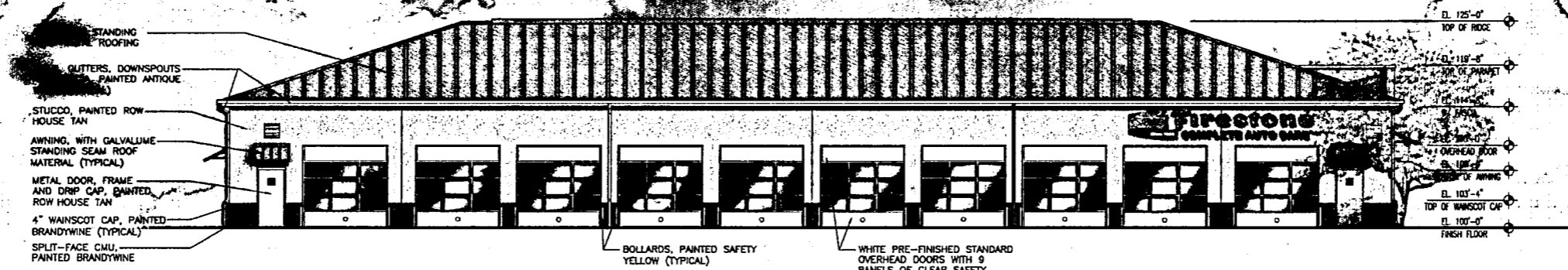
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FIRESTONE QUAIL RIDGE
LANDSCAPE PLAN

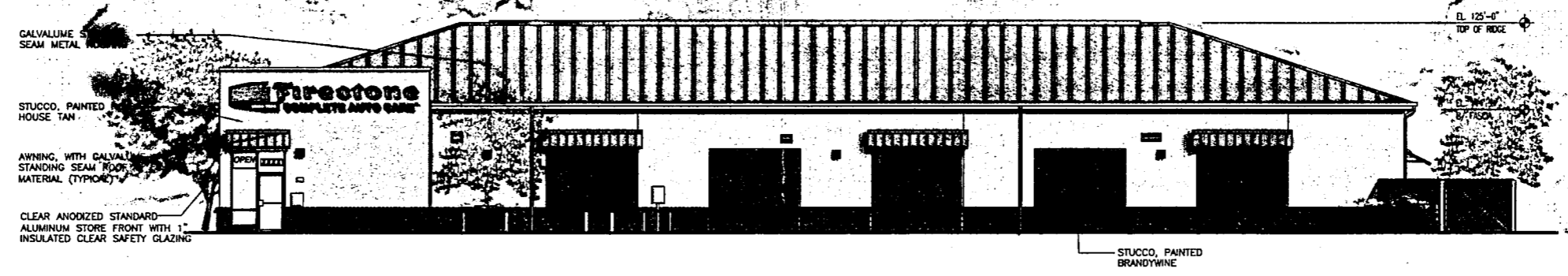
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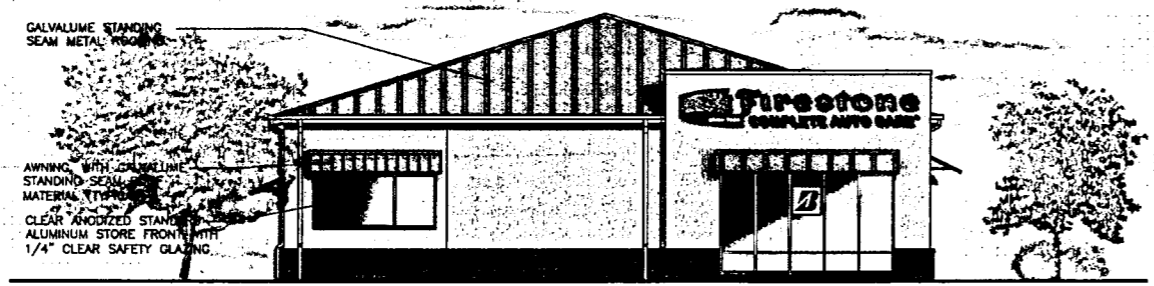
DRAWN BY DAB
REVISION # 10
DATE 11-13-09
SHEET # 11 OF 11



NORTH



SOUTH



WEST



EAST

FIRESTONE - ALBUQUERQUE, NM