

LEGAL DESCRIPTION:
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8 ATRISCO GRANT & PORTION OF TR A21

- NOTES:**
1. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 5. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 8. THIS SITE PLAN FOR SUBDIVISION IS FOR RESTAURANTS WITH A BEER AND WINE LICENSE ONLY. FURTHER APPROVAL FOR A RESTAURANT WITH A LIQUOR LICENSE BEYOND A BEER AND WINE LICENSE WILL REQUIRE ADMINISTRATIVE APPROVAL TO DETERMINE IF THERE IS SUFFICIENT OFF-STREET PARKING.
 9. SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON. ALONG COORS BLVD. THE FRONT LANDSCAPED STREET YARD SHALL BE 15 FEET WIDE.
 10. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE C2 ZONE OF THE COMPREHENSIVE CITY ZONING CODE AND WITHIN THE COORS CORRIDOR PLAN, WHICHEVER IS MORE RESTRICTIVE.
 11. SEE SHEET 6 FOR DETAILS.
 12. ACCESS AT COORS BOULEVARD AND OURAY ROAD SHALL BE LIMITED TO RIGHT-TURN IN AND RIGHT-TURN OUT ACCESS ONLY CONSISTENT WITH THE COORS CORRIDOR PLAN.
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 14. WHEN ADDITIONAL RIGHT OF WAY IS SECURED FROM THE SITE FOR THE RECONSTRUCTION OF THE I-40/COORS INTERCHANGE, THE EXISTING 45' HIGH PYLON SIGN SHALL BE REMOVED AT THE EXPENSE OF THE PROPERTY OWNER.

LINE TABLE

LINE	LENGTH	BEARING
L1	37.09	N89°21'29"W
L2	35.68	N90°00'00"E
L3	35.00	N00°00'00"W
L4	33.17	S00°00'00"E

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	36.91	25.00	S41°28'15"E	33.64
C2	47.59	55.00	N38°19'32"E	46.12
C3	182.90	5646.45	N12°36'32"E	182.89
C4	41.84	5646.45	N11°28'07"E	41.84
C5	51.16	5646.45	N10°59'49"E	51.16
C6	39.37	25.00	S45°56'25"W	35.43

SITE DATA TABLE

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG.	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE RACKS REQ.	MIN. FAR	MAX. FAR
1	1	1.2183	9,750	RETAIL	C-2		49	58	4	4	1	1	2	0.15	0.35	
2	2	1.0394	4,731	BANK	C-2		24	33	2	2	1	1	1	0.15	0.35	
3	3	1.0383	10,000	RETAIL	C-2		50	62	4	6	1	1	3	0.15	0.35	
4	4	1.4401	4,878	RESTAURANT	C-2		192	64	77	4	6	2	2	3	0.15	0.35
5	5	0.6544	6,200	RETAIL	C-2		31	33	2	2	1	1	1	0.15	0.35	
6	6	2.1710	10,330	RESTAURANT	C-2		382	127	130	8	8	1	1	2	0.15	0.35
TOTAL		7.5615	47,080				345	393	24	28	7	7	12	0.15	0.35	

RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

PROJECT NUMBER: 1002459
APPLICATION NUMBER: CA-00567

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature] Date: 8-20-07
 Engineer, Transportation Division

[Signature] Date: 4-21-04
 Utilities Development

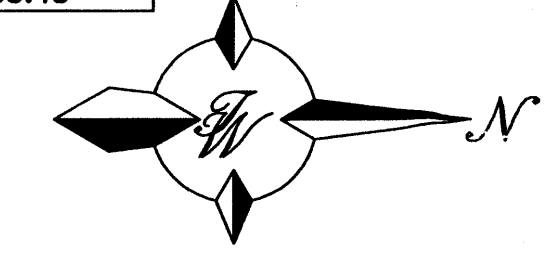
[Signature] Date: 4/21/04
 Parks & Recreation, Department

[Signature] Date: 4/21/09
 City Engineer

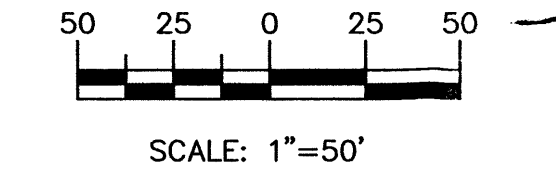
[Signature] Date: _____
 Environmental Health Department (conditional)

[Signature] Date: _____
 Waste Management

[Signature] Date: 4/21/04
 DRB Chairperson, Planning Department



GRAPHIC SCALE



- LEGEND**
- BOUNDARY LINE
 - - - - - EASEMENT
 - - - - - EXISTING CURB AND GUTTER
 - ===== PROPOSED CURB
 - ===== PROPOSED SCREEN WALL
 - ===== PROPOSED SIDEWALK
 - ===== EXISTING BOUNDARY
 - ===== PROPOSED CROSSWALK
 - ===== PROPOSED BIKE RACK
 - □ □ □ PROPOSED PARKING LOT LIGHTING

NO.	DATE	REVISIONS	BY
1	12/24/03	CHANGED BUILDING 2 LAYOUT	BDG

ENGINEER'S SEAL

QUAIL RIDGE SHOPPING CENTER

SITE PLAN FOR SUBDIVISION

TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

RONALD R. BOHANNAN
 P.E. #7868

REVISIONS

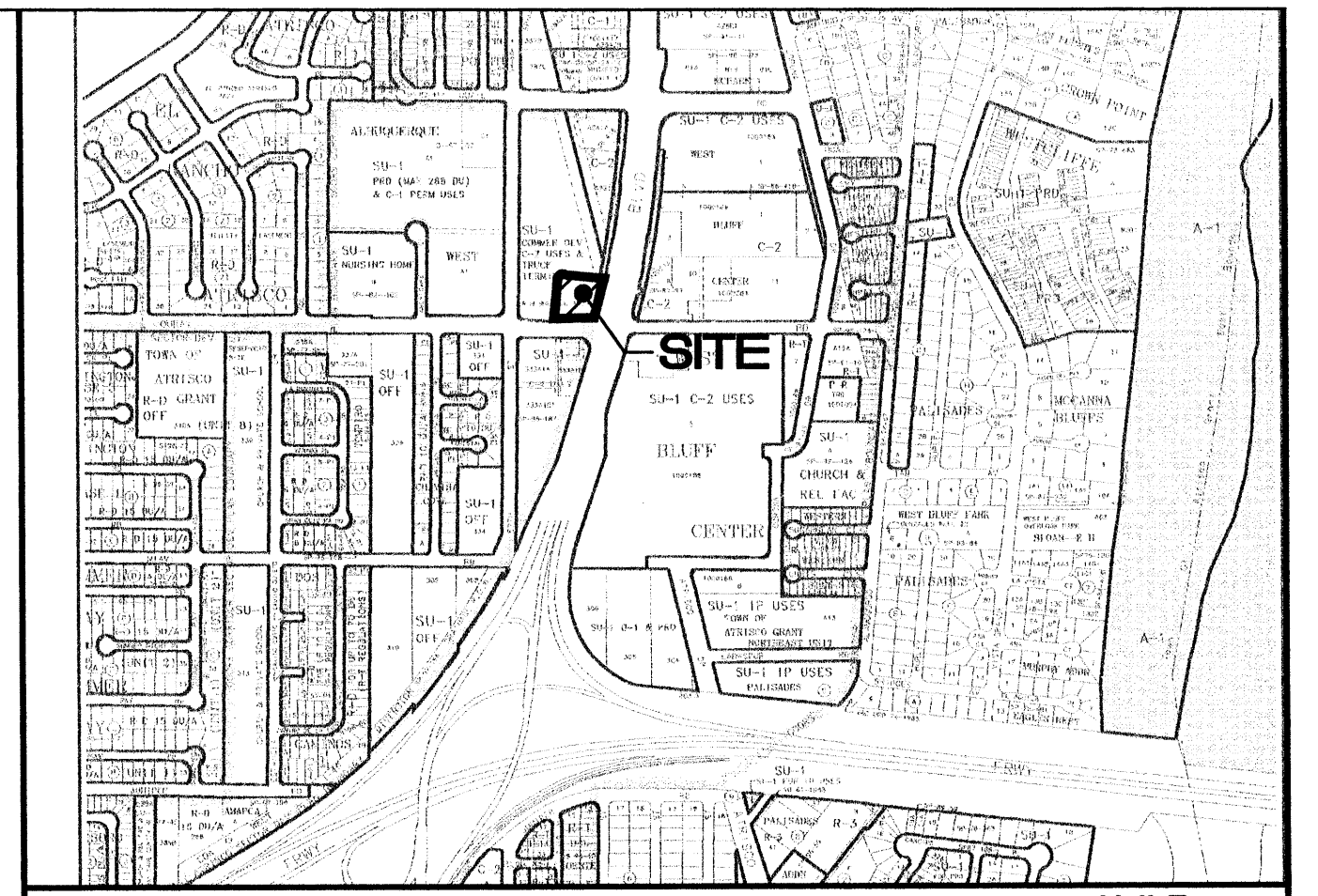
DATE: 04/20/04

2296SPSB-12-01-03X

SHEET # **2**

JOB # 220096

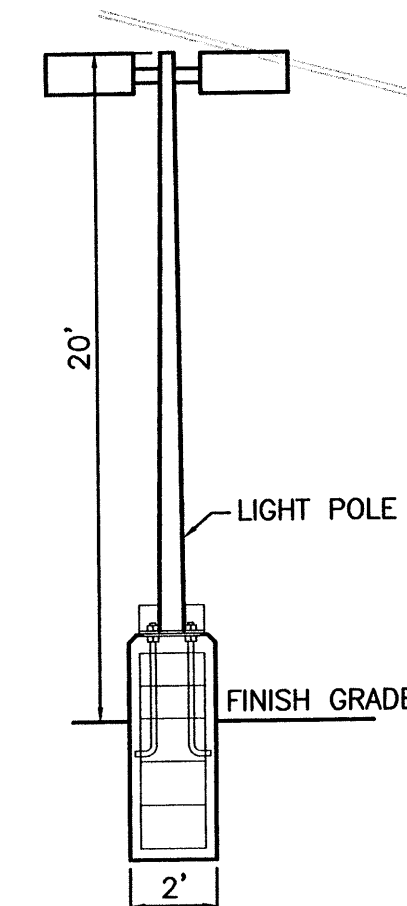
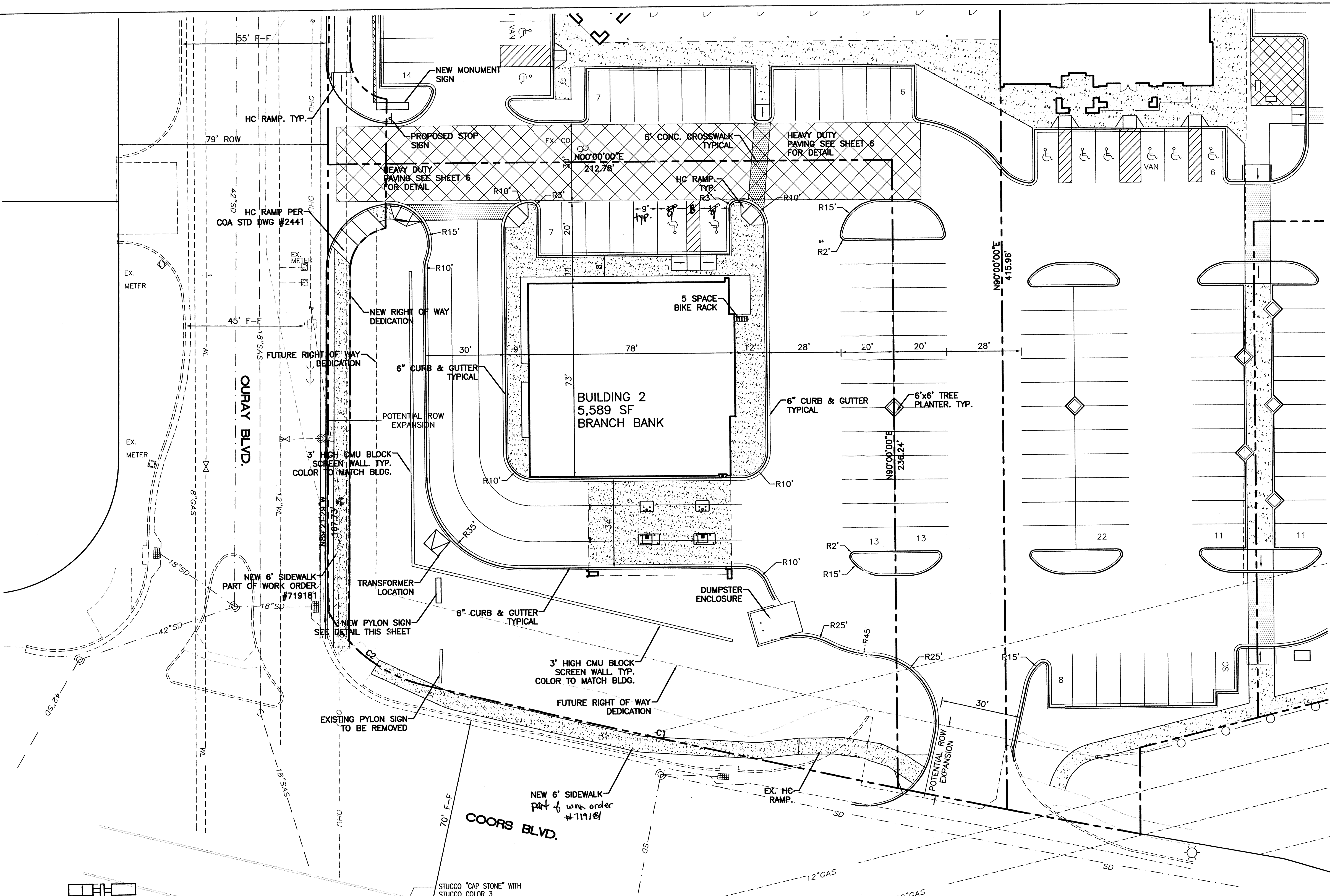
PROJECT 1002459



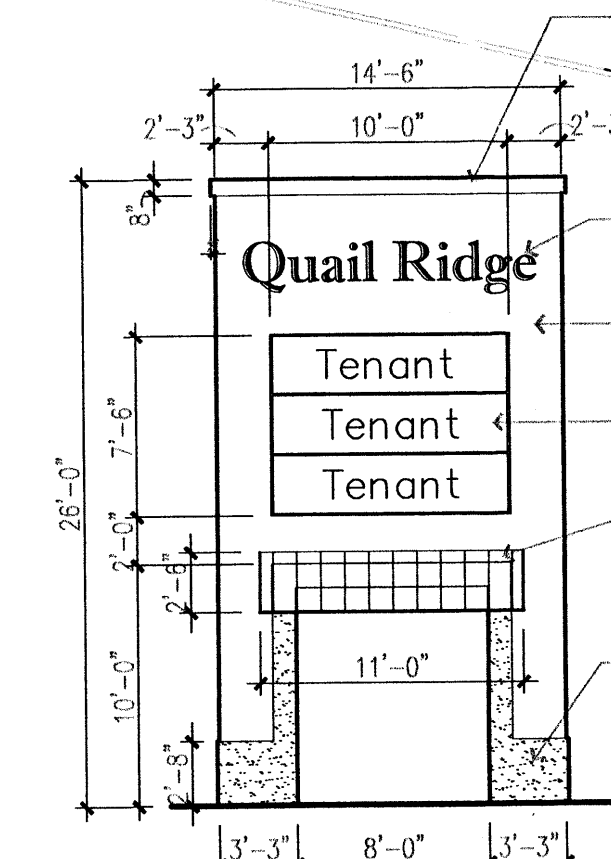
VICINITY MAP H-17

LEGAL DESCRIPTION:
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LIGHT POLE DETAIL
 NTS



NOTE: MONUMENT SIGNS TO BE LOCATED IN DESIGNATED AREAS AS INDICATED ON THE SITE PLAN.

PROJECT NUMBER: -1002459
APPLICATION NUMBER: -04-00566

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> Engineer, Transportation Division	Date 4/21/04
<i>[Signature]</i> Utilities Development	Date 4/21/04
<i>[Signature]</i> Parks & Recreation Department	Date 4/21/04
<i>[Signature]</i> City Engineer	Date 4/21/04
<i>[Signature]</i> * Environmental Health Department (conditional)	Date
<i>[Signature]</i> Solid Waste Management	Date 4/21/04
<i>[Signature]</i> DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary
 12/18/03

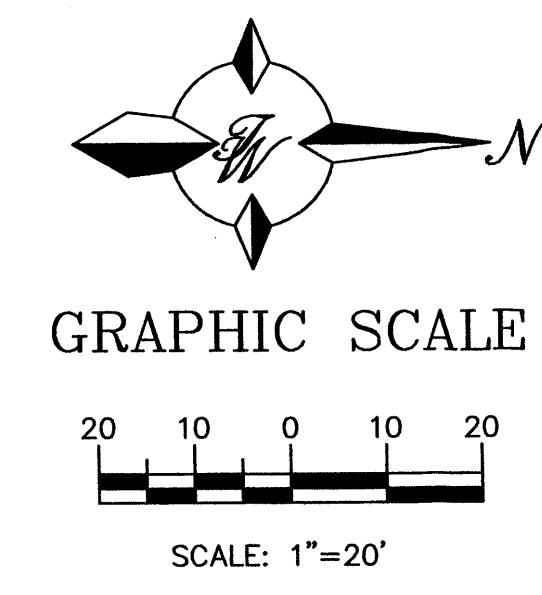
CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	182.90	5646.45	N12°36'32"E	182.89
C2	47.59	55.00	N38°19'32"E	46.12

LEGEND

---	BOUNDARY LINE
---	EASEMENT
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB
---	PROPOSED SCREEN WALL
---	PROPOSED SIDEWALK
---	EXISTING BOUNDARY
---	PROPOSED CROSSWALK
---	PROPOSED BIKE RACK
---	PROPOSED PARKING LOT LIGHTING
---	STANDARD ASPHALT PAVING AREA
---	HEAVY ASPHALT PAVING AREA

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. LANDSCAPING PLAN
 - C3. GRADING AND DRAINAGE PLAN
 - C4. MASTER UTILITY PLAN
 - C5. ELEVATIONS
 - C6. DETAILS



SITE DATA

PROPOSED USAGE:	BANK
LOT AREA:	1.039 AC
BUILDING AREA:	5,589 SF
ZONING:	SU-1 / C-2
MAX. BLDG. HEIGHT:	45' SOLAR SETBACK
PARKING PROVIDED:	20 SPACES
PARKING REQUIRED:	22 SPACES (WITH 10% BUS CREDIT)
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	2 SPACES
	1 SPACES VAN ACCESSIBLE

	QUAIL RIDGE SHOPPING CENTER	DRAWN BY BDG
	SITE PLAN FOR BUILDING PERMIT	DATE 04/20/04
		SHEET # C1
8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB # 220096



LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

STREET TREE REQUIREMENTS

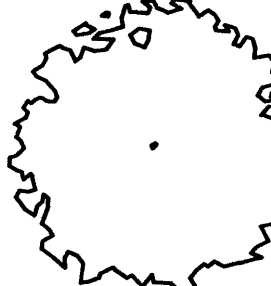

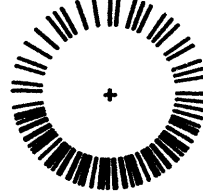
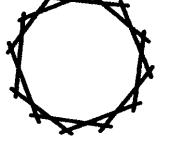
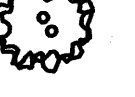















Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Coors Blvd.
Required 7 Provided 7
Ouray RD
Required 6 Provided 6

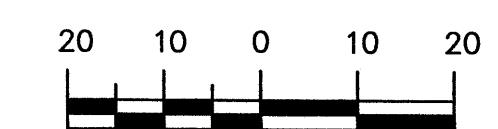
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	45231	square feet
TOTAL BUILDINGS AREA	5619	square feet
OFFSITE AREA	330	square feet
NET LOT AREA	49282	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	5892	square feet
TOTAL BED PROVIDED	14492	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	10869	square feet
TOTAL GROUNDCOVER PROVIDED	11005	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet
TOTAL LANDSCAPE PROVIDED	14822	square feet

PLANT LEGEND

-  ARIZONA ASH (M) 5
Fraxinus velutina
2" Gal.
-  RAYWOOD ASH (M) 8
Fraxinus oxycarpa raywood
2" Gal.
-  AUSTRIAN PINE (H) 1
Pinus nigra
6'-8'
-  DESERT WILLOW (L) 3
Chilopsis linearis
15 Gal.
-  WASHINGTON HAWTHORN (H) 4
Crataegus phaenopyrum
15 Gal.
-  MAHONIA (M) 18
Mahonia aquifolium
5 gal. 36SF
-  RED YUCCA (L) 14
Hesperaloe parviflora
1 Gal.
-  REGAL MIST (M) 16
Muhlenbergia rigida
1 gal 36sf
-  DWARF MAIDENGRASS (M) 20
Miscanthus sinensis
5 Gal. 16sf
-  LANAS/ SCOTCH BROOM (M) 16
Cytisus scoparius/ Genista hispanica
5 Gal.
-  BLUE MIST SPIREA (M) 9
Caryopteris clandonensis
5 Gal.
-  POWIS CASTLE SAGE (L) 50
Artemisia x 'Powis Castle'
1 gal 25SF
-  APACHE PLUME (L) 14
Fallugia paradoxa
5 Gal. 25sf
-  ROSEMARY (M) 17
Rosmarinus officianalis
2 Gal. 36sf
-  HONEYSUCKLE (M) 41
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
-  CHAMISA (L) 14
Chrysothamnus nauseosus
1 Gal. 25sf
-  WILDFLOWER 23
1 Gal. 4sf
-  BOSTON IVY 4
Parthenocissus tricuspidata
1 Gal. 400sf
-  OVERSIZED GRAVEL & 8 BOULDERS
-  SANTA FE BROWN GRAVEL WITH FILTER FABRIC

GRAPHIC SCALE



SCALE: 1"=20'

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87114
Ph. (505) 898-9690
Fax (505) 898-7737
it@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON #0007

BANK OF AMERICA Coors Bldg. and Ouray Road Albuquerque, NM

LANDSCAPE PLAN

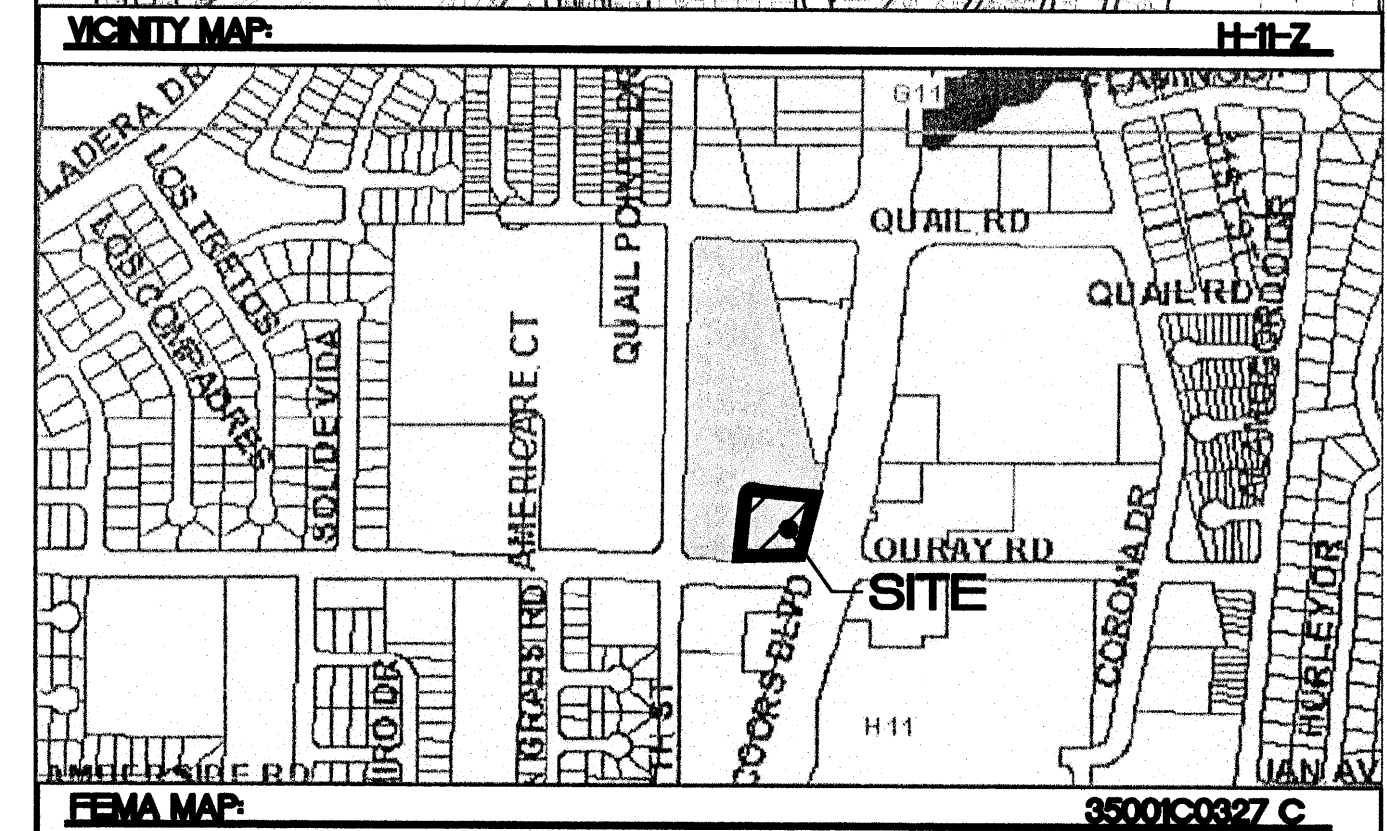
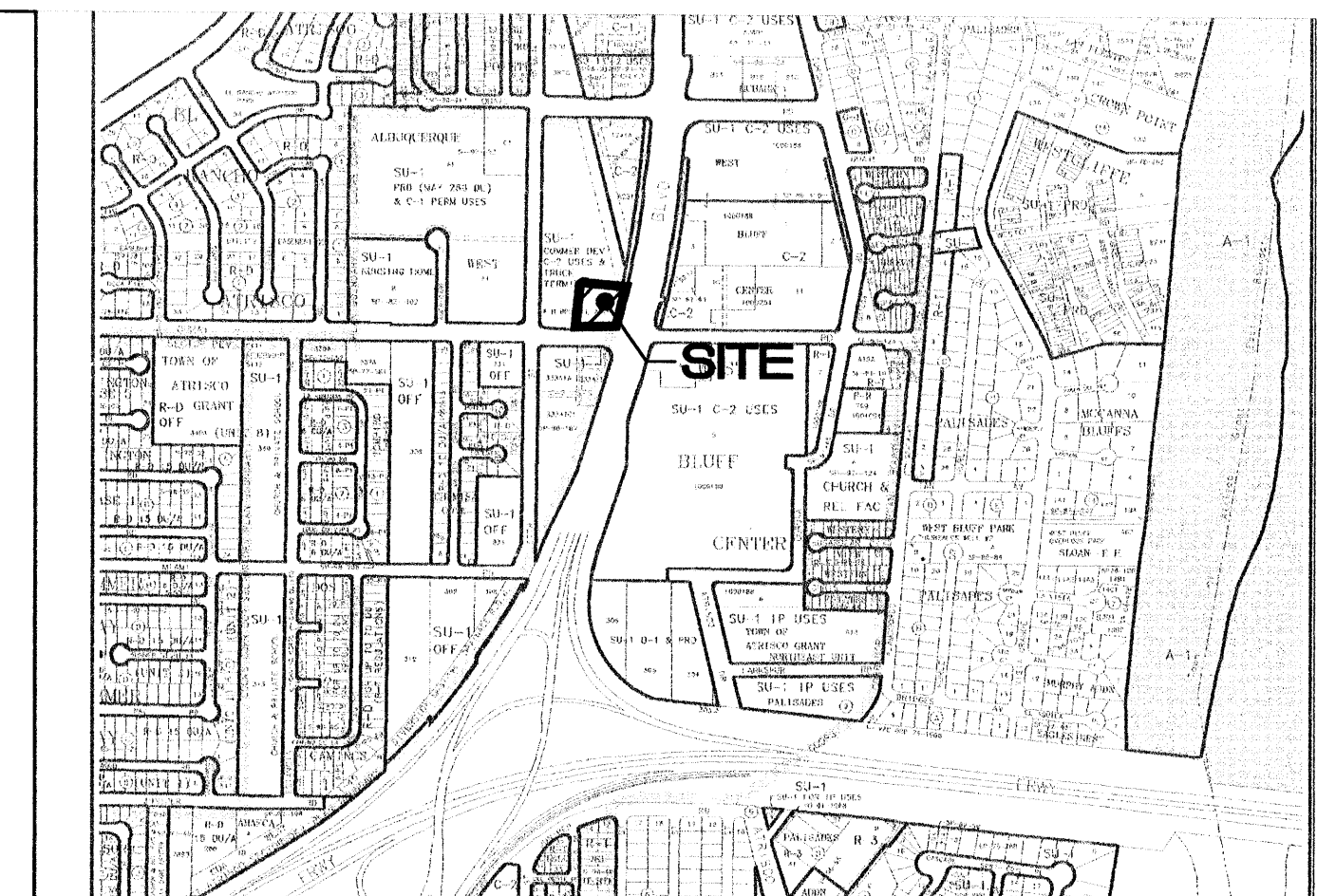
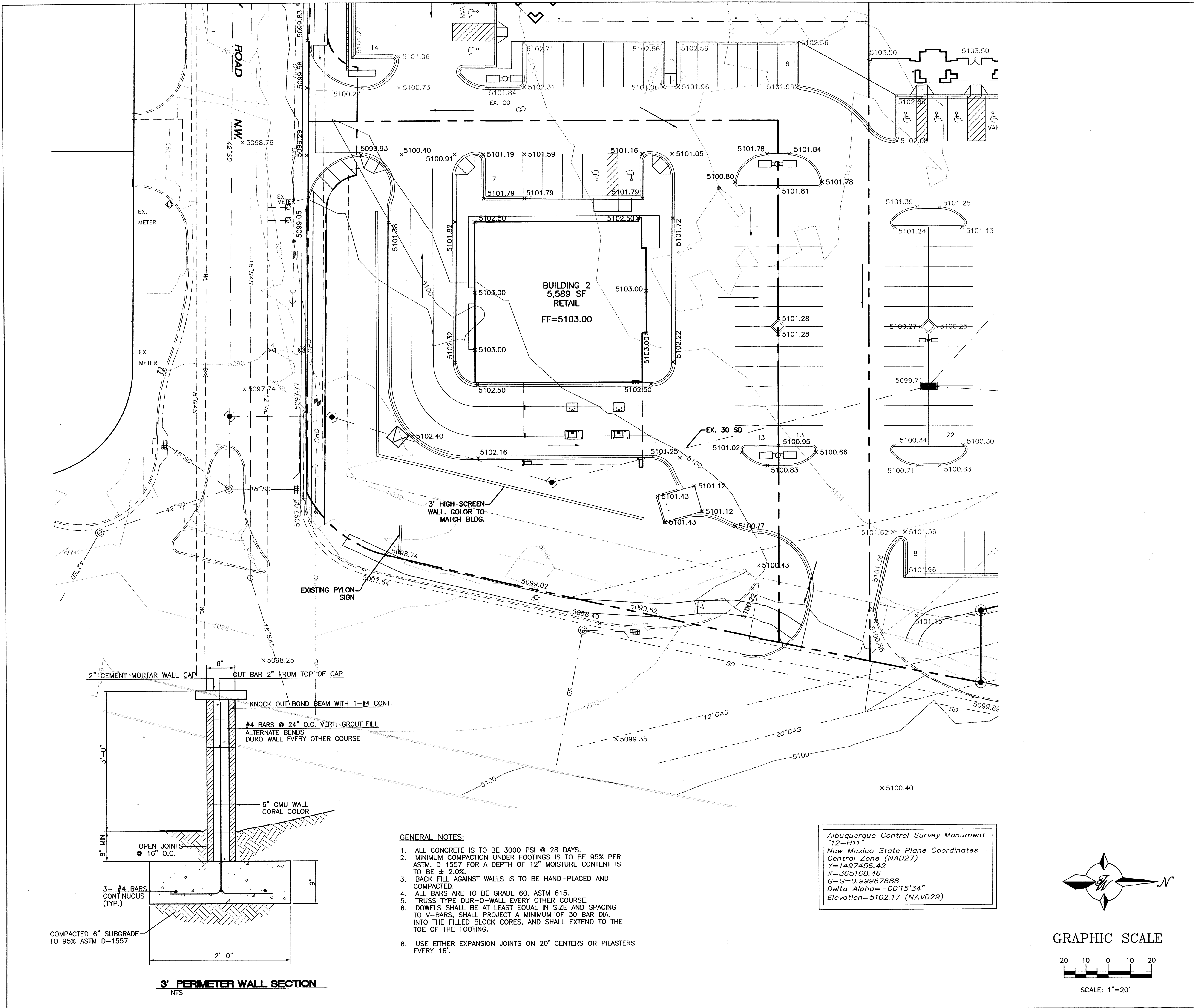
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LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY SU
REVISION #
DATE 04/12/04

SHEET #

C2



LEGAL DESCRIPTION:
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8
 ATRISCO GRANT & PORTION OF TR A21

**EROSION CONTROL PLAN, NPDES PERMIT
 AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

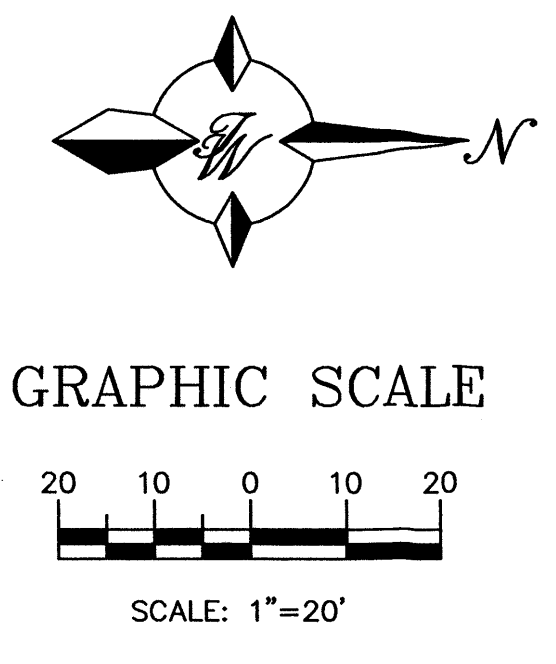
LEGEND

	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	NEW CURB

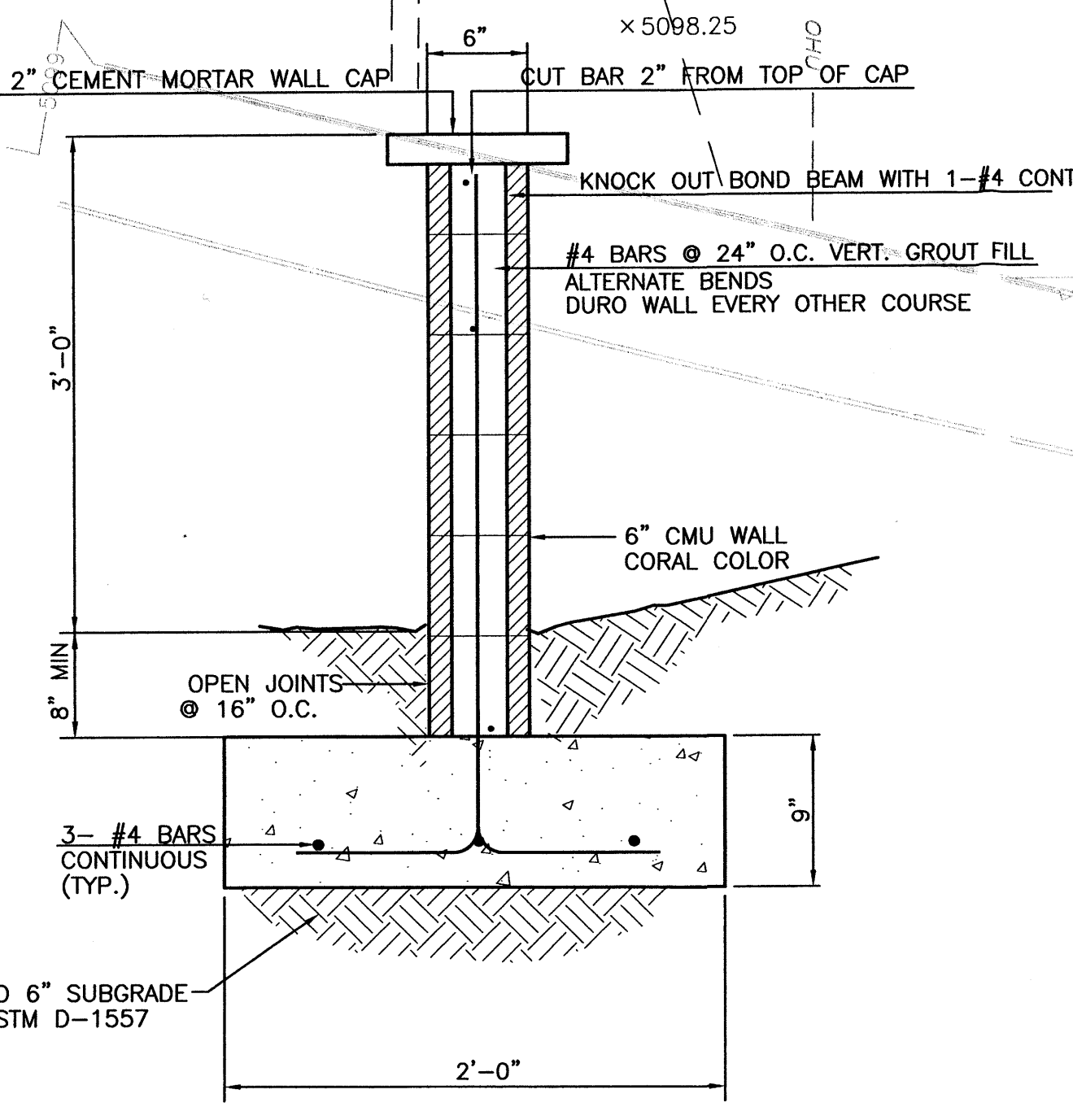
ROUGH GRADING APPROVAL

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	QUAIL RIDGE SHOPPING CENTER GRADING AND DRAINAGE PLAN	DRAWN BY BDG DATE 04/20/04 2296BKRE-12-01-03X
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # C3 JOB # 220096

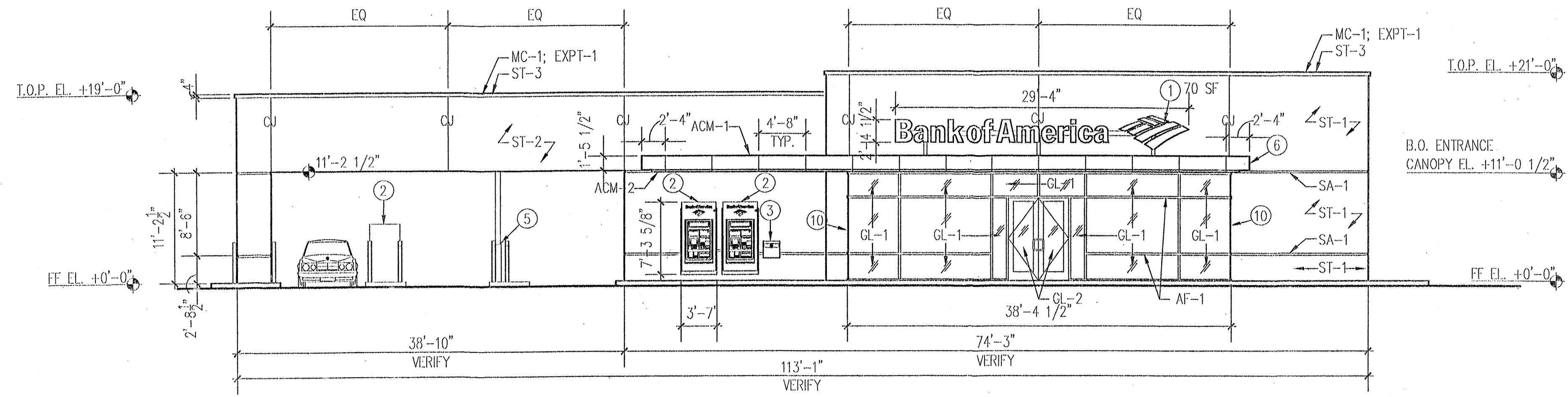
Albuquerque Control Survey Monument "12-H11"
 New Mexico State Plane Coordinates - Central Zone (NAD27)
 Y=1497456.42
 X=365168.46
 G-G=0.99967688
 Delta Alpha=-00'15"34"
 Elevation=5102.17 (NAVD29)



- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



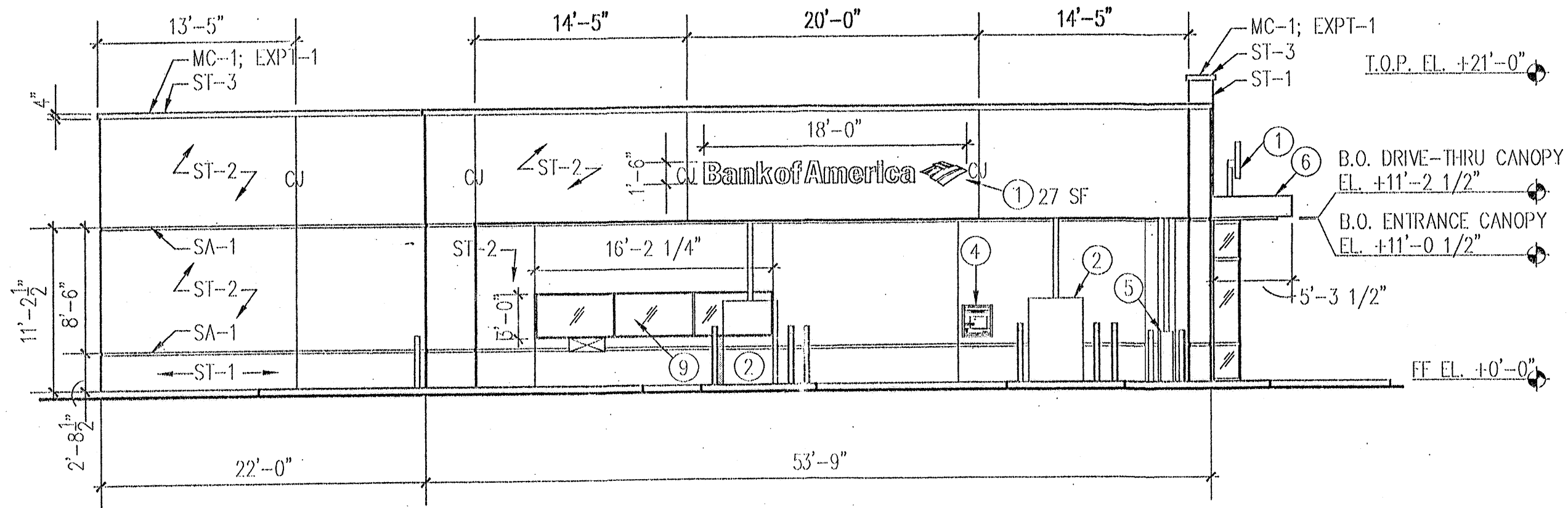
3' PERIMETER WALL SECTION
 NTS



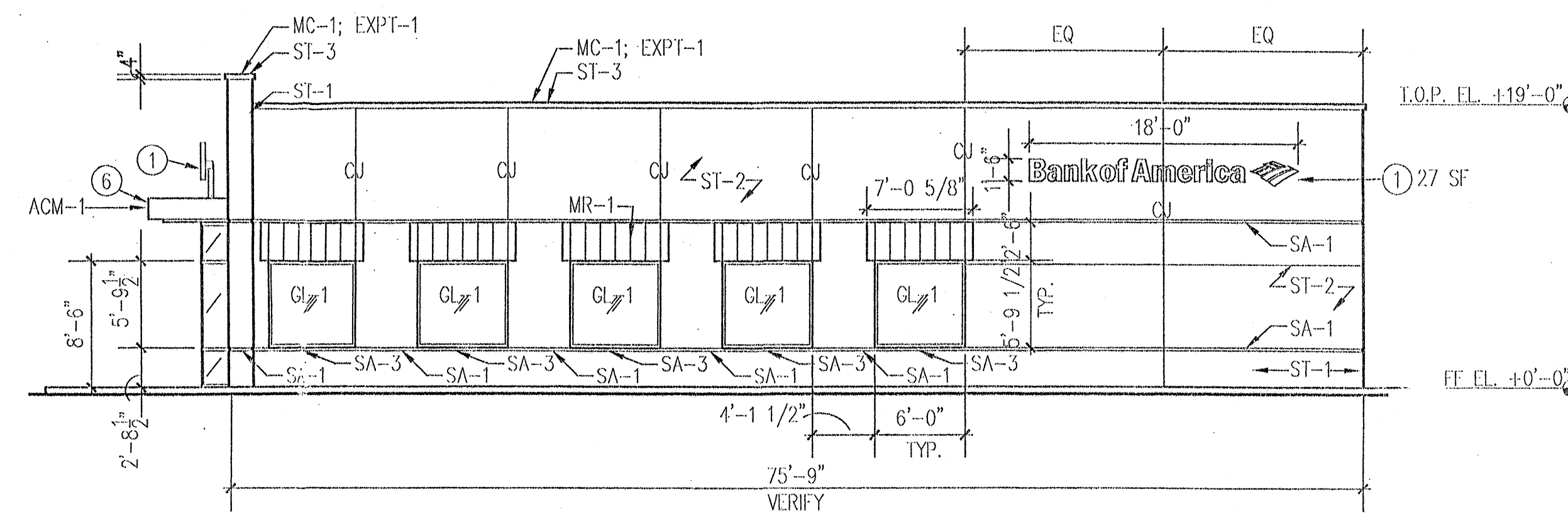
A NORTH ELEVATION
SCALE: 1/8" = 1'-0"

01

- ① SIGNAGE BY OWNER - COORDINATE SUPPORT POSTS ABOVE CANOPY PER PLAN - SEE STRUCT. (INTERNALLY ILLUMINATED CHANNEL LETTERS WITH RED AND/OR BLUE PLASTIC FACE PANELS)
- ② ATM BY OWNER - NARROW TRIM KIT
- ③ ATM ENVELOPE DISPENSER BY OWNER
- ④ NIGHT DEPOSITORY - BY OWNER
- ⑤ VACUUM AIR TUBE (VAT) BY OWNER
- ⑥ ENTRANCE CANOPY
- ⑦ CONDUCTOR HEAD AND DOWNSPOUT, PTD EXPT-3
- ⑧ FLAG POLE AND MOUNTING BRACKETS, FLAGS BY OWNER
- ⑨ DRIVE THRU TELLER WINDOW BY OWNER
- ⑩ BUTT-JOINT CORNER GLAZING
- ⑪ THRU WALL OVERFLOW SCUPPER, PTD. EXPT-3
- ⑫ ALTERNATE ELECTRICAL CLOSET DOORS AND FRAMES, PTD. EXPT-3



B EAST ELEVATION
SCALE: 1/8" = 1'-0"

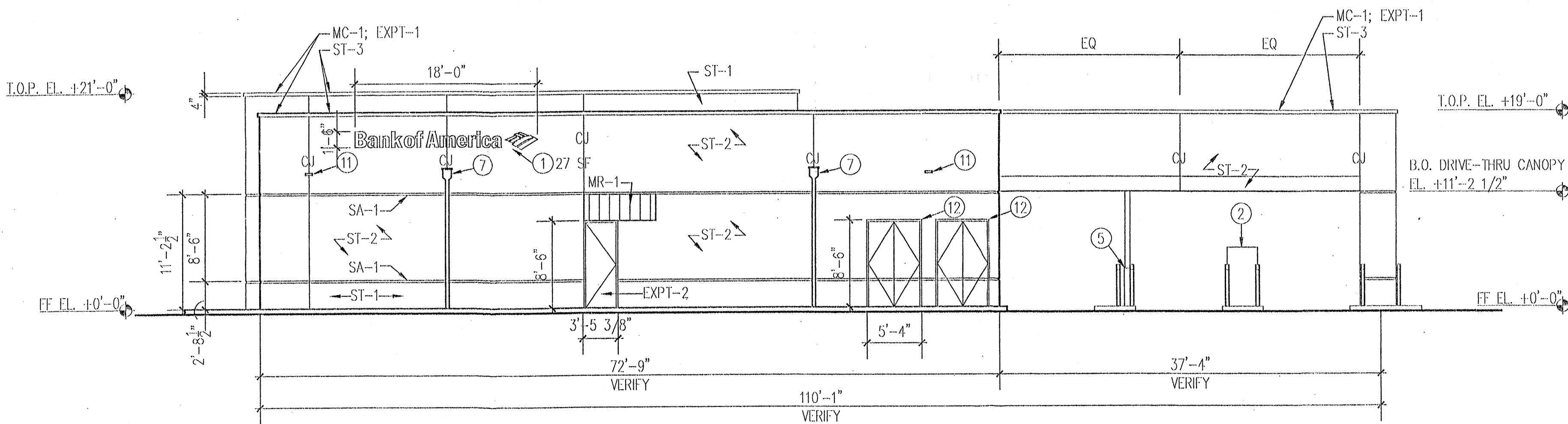


A WEST ELEVATION
SCALE: 1/8" = 1'-0"

02

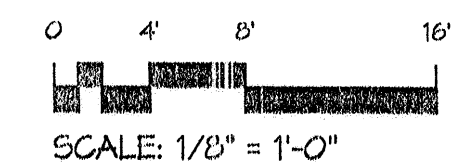
EXTERIOR FINISH SCHEDULE

STUCCO / PLASTER (BASED ON PAREX STUCCO)	
ST-1	MATCH COLOR - "ADOBE BROWN" (DARK TAN)
ST-2	MATCH COLOR - "PUEBLO" (LIGHT TAN)
ST-3	MATCH COLOR "MARBLE WHITE" (OFF-WHITE)
ALUMINUM COMPOSIT METAL PANEL	
ACM-1	"BRITE RED" #JMC40021 BY ALPOLIC
ACM-2	"RVW WHITE" #JMM4RW3.5 BY ALPOLIC
GLAZING	
GL-1	INSULATED GLAZING AS SPECIFIED
GL-2	MONOLITHIC GLAZING AS SPECIFIED
ALUMINUM GLAZING FRAMES	
AF-1	CURTAINWALL SYSTEM AS SPECIFIED
AF-2	STOREFRONT SYSTEM AS SPECIFIED
STUCCO ACCESSORIES	
SA-1	WIDE CHANNEL SCREED AS SPECIFIED
SA-2	NARROW CHANNEL SCREED AS SPECIFIED
SA-3	MODIFIED CHANNEL SCREED AS SPECIFIED
METAL COPING	
MC-1	PREFINISHED METAL COPING
EXTERIOR PAINT (BASED ON BENJAMIN MOORE)	
EXPT-1	TO MATCH WALL COLOR
EXPT-2	TO MATCH WALL COLOR
EXPT-3	TO MATCH WALL COLOR
METAL ROOFING	
MR-1	METAL ROOFING: BERRIDGE "R" PANEL; "CALVALUM" FINISH; DETAILING TO MATCH CENTER

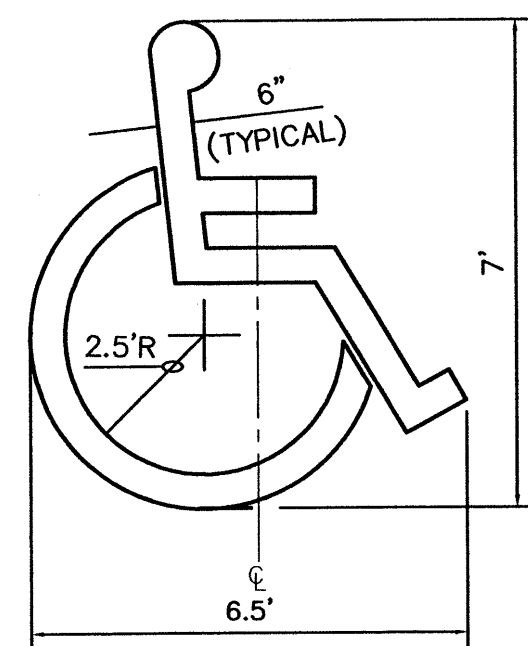


A SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

03

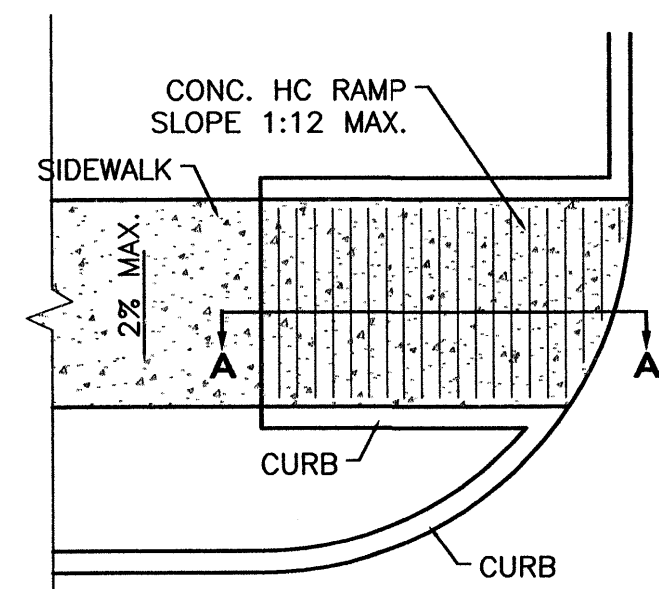


QUAIL PLAZA SHOPPING CENTER	DRAWN BY	GENSLER
	DATE	12/01/03
BUILDING ELEVATIONS	2296RKSPE-12-01-03X	
	SHEET #	C5
Gensler	JOB #	03009
	2500 Broadway Suite 300 San Francisco, CA 94104 Telephone 310.449.5600 Facsimile 310.449.5850	



ACCESSIBLE PARKING SYMBOL

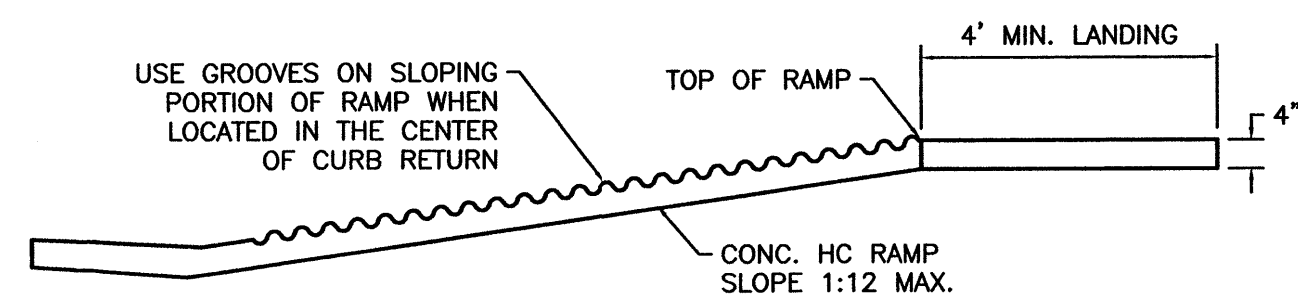
SCALE: NTS
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



PLAN

NOTES:

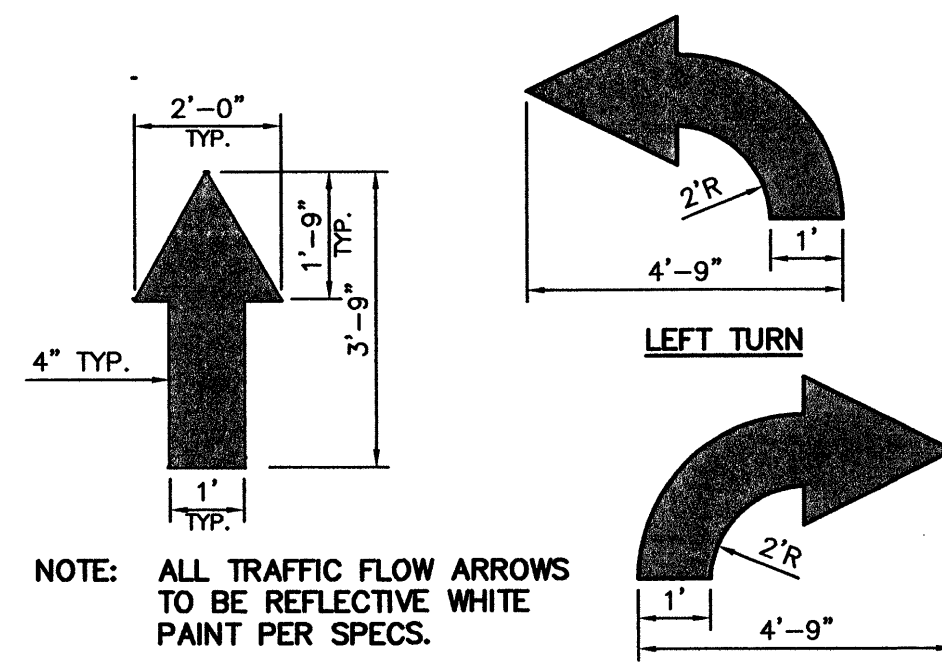
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



SECTION A-A

UNIDIRECTIONAL HC RAMP

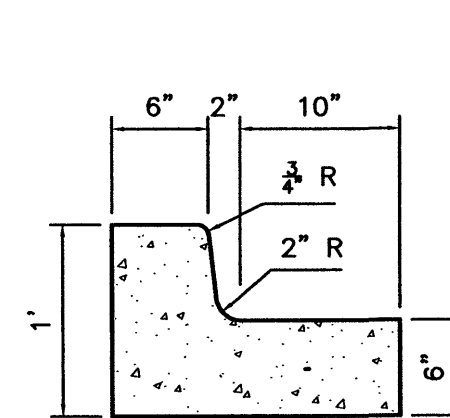
SCALE: NTS



NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE WHITE PAINT PER SPECS.

DIRECTIONAL ARROWS

NTS



6 IN. CURB AND GUTTER

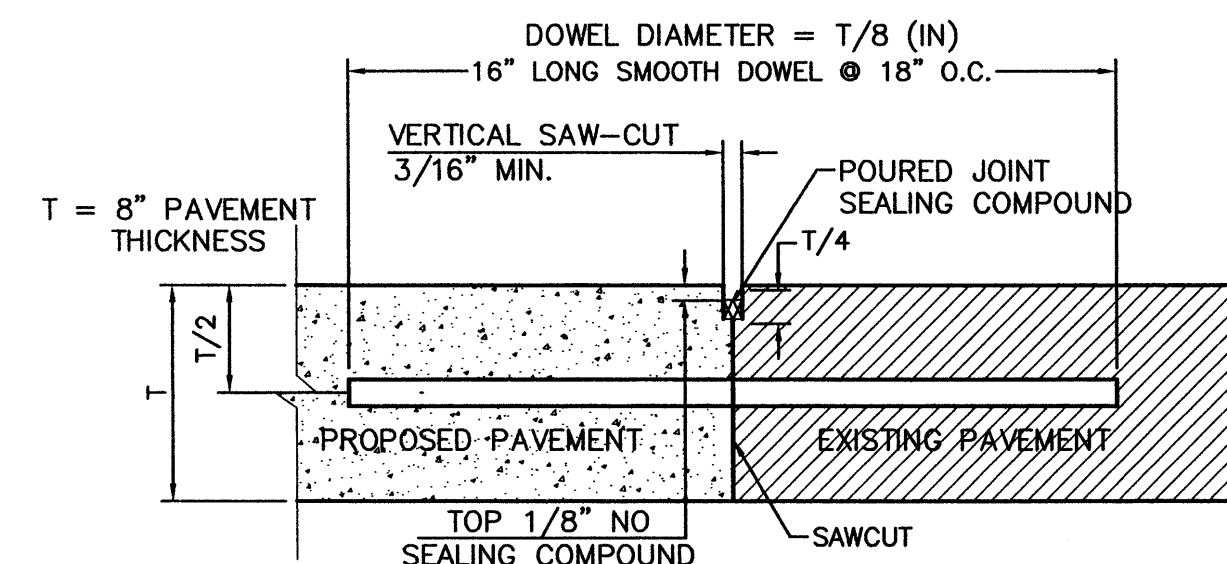
SCALE: 1"=1'

CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12" MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

6" HEADER CURB DETAIL

1"=1'



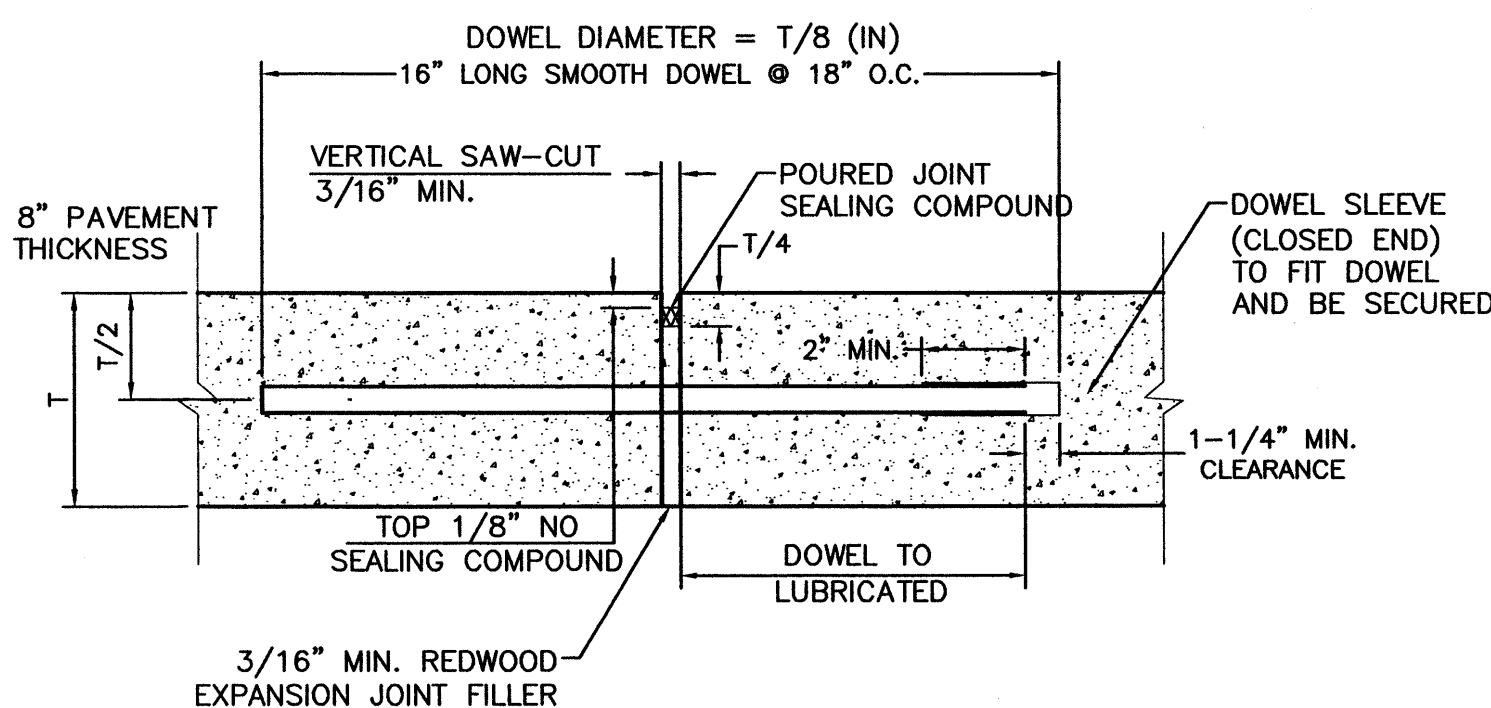
NOTE:

1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
2. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

BUTT JOINT

CONCRETE JOINT DETAILS

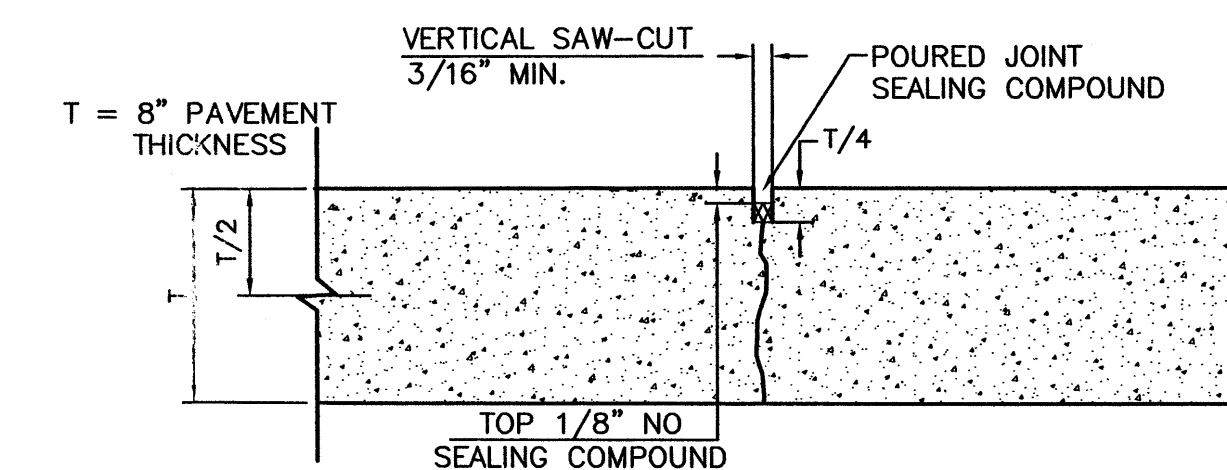
NTS



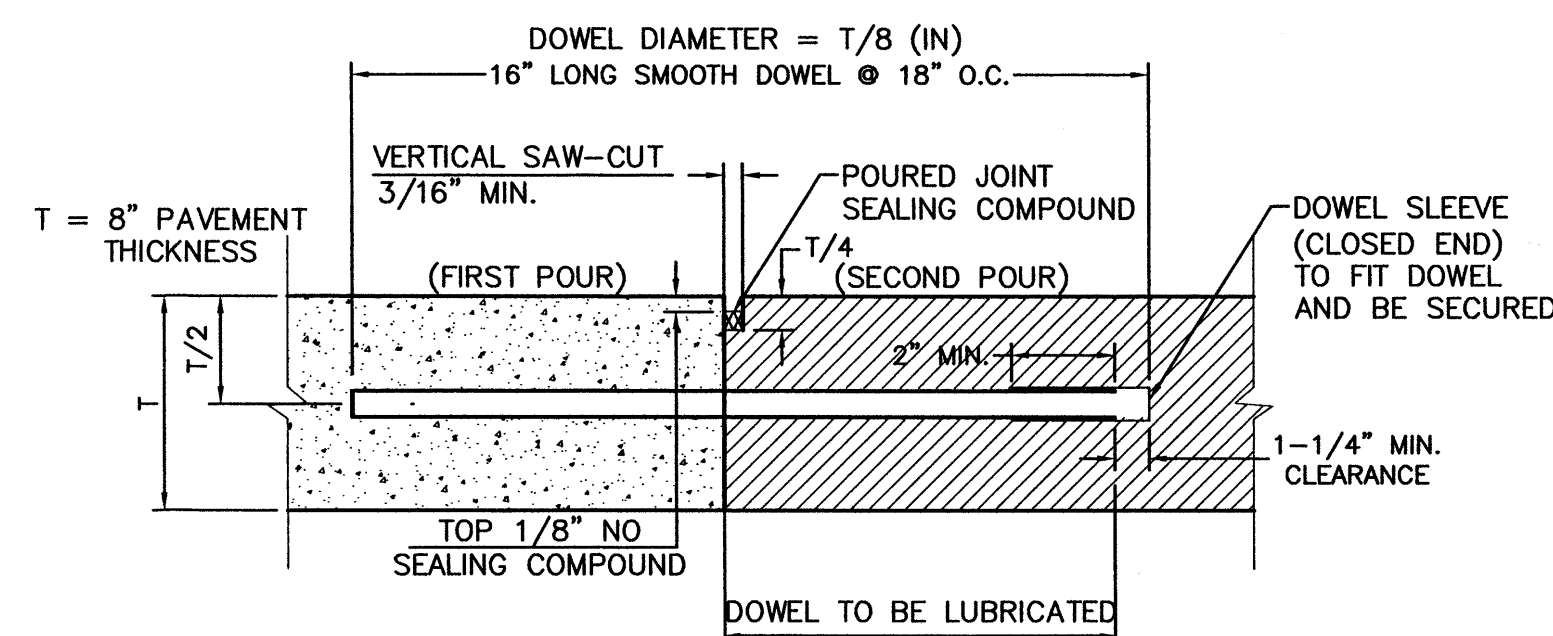
NOTE:

1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

TRANSVERSE EXPANSION JOINT



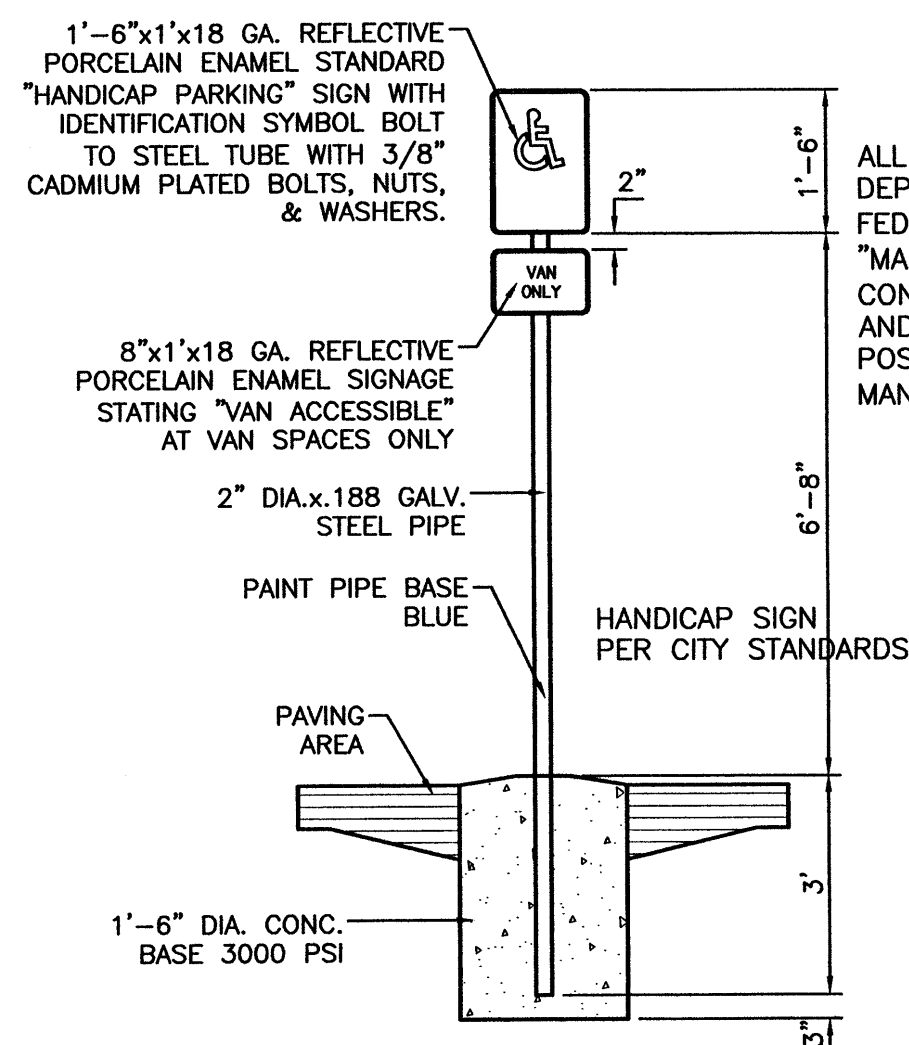
CONTRACTION JOINT



NOTE:

1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

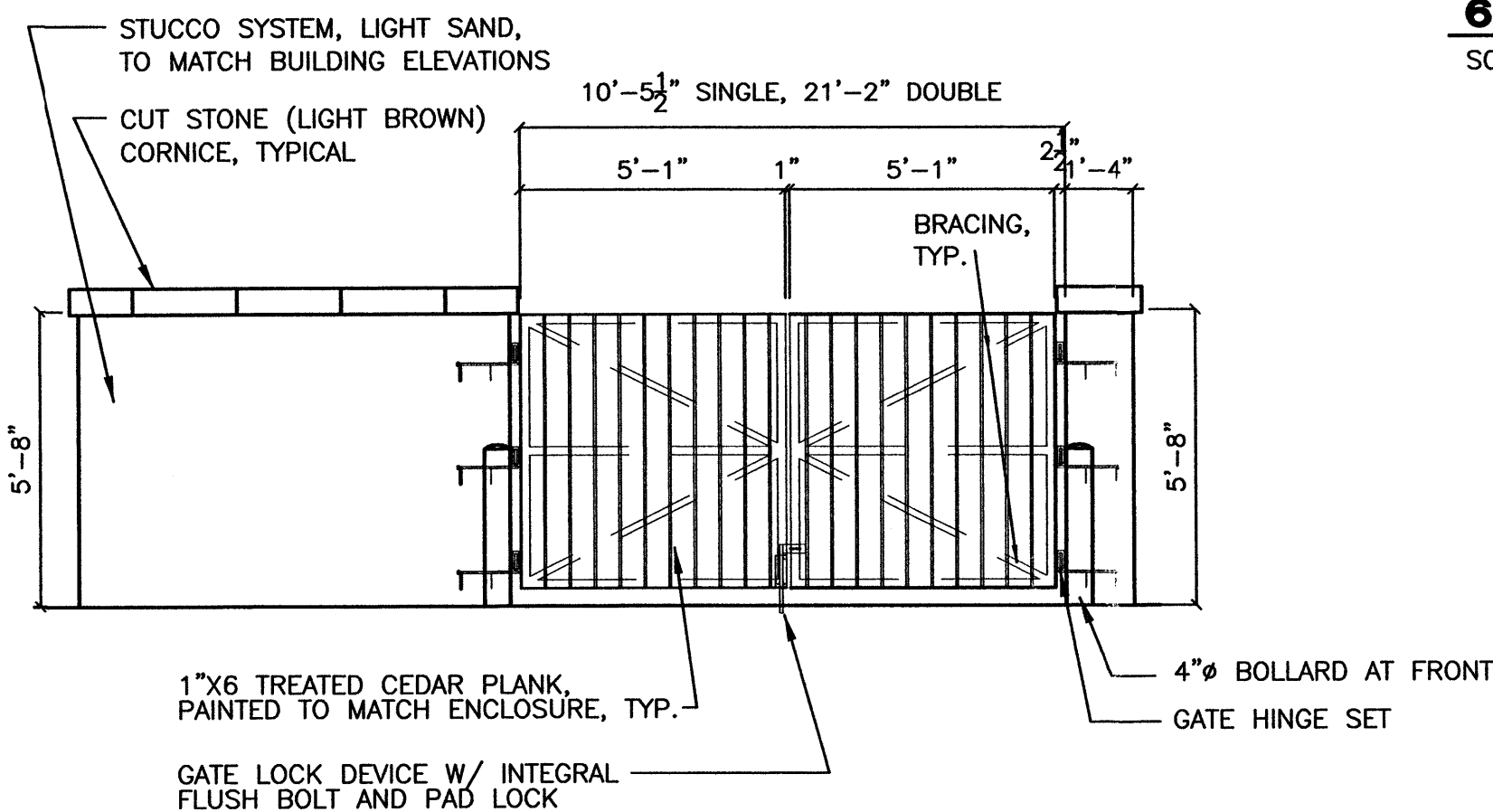
CONSTRUCTION JOINT



ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

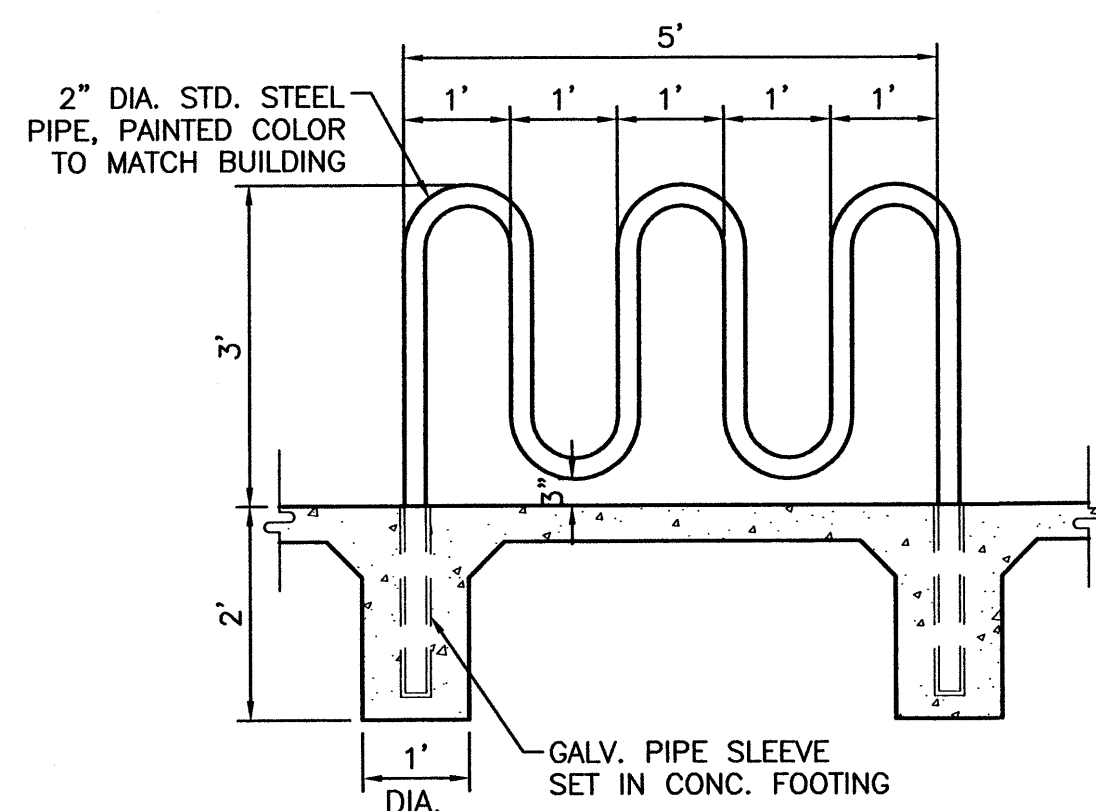
HANDICAP SIGN

SCALE: 1/2"=1'



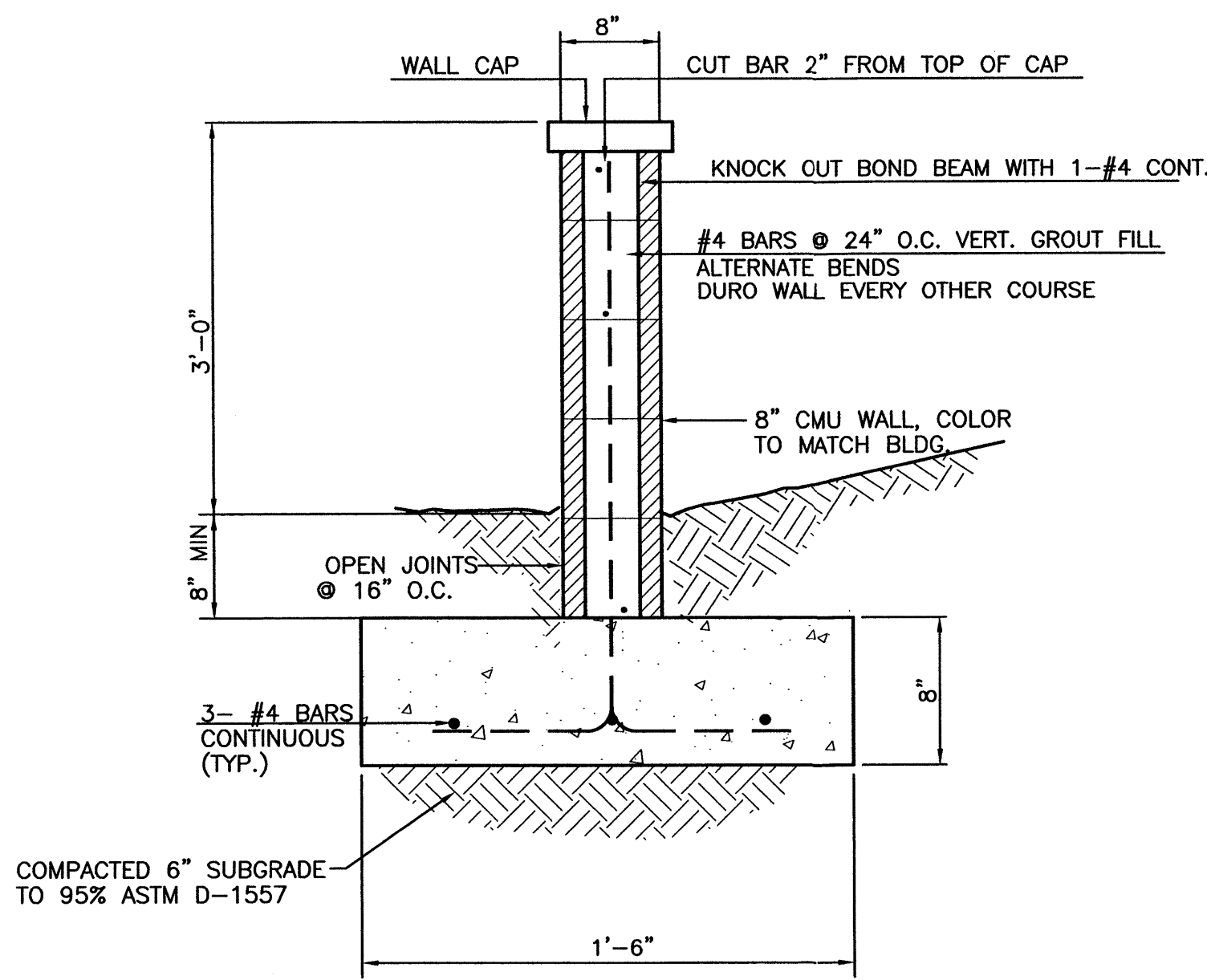
REFUSE ENCLOSURE ELEVATION

SCALE: 1"=10'



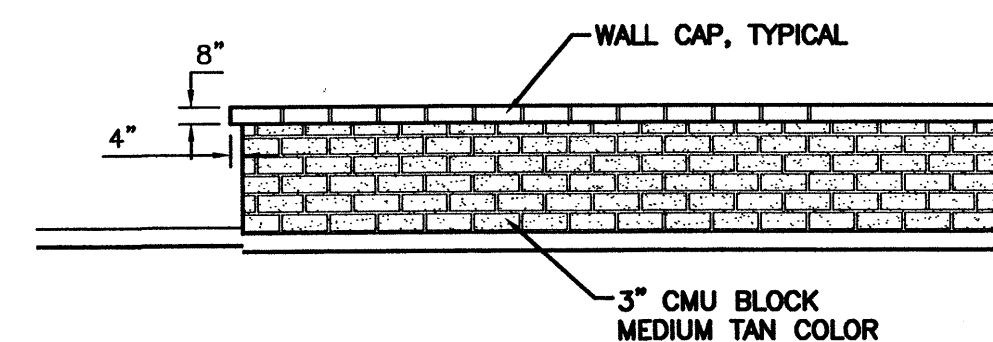
BIKE RACK DETAIL

SCALE: 1/2"=1'



3' SCREEN WALL SECTION

NTS



SEE SITE PLAN FOR HEIGHT OF WALL

SCREEN WALL DETAIL (TYP.)

NTS

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-0-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

	QUAIL RIDGE SHOPPING CENTER	DRAWN BY BDG DATE 09/30/03
	DETAILS	2296-DETAILS.DWG
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # C6
RONALD R. BOHANNAN P.E. #7868		JOB # 220096