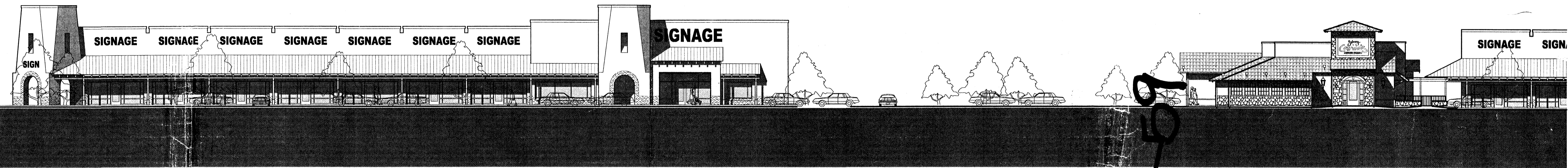


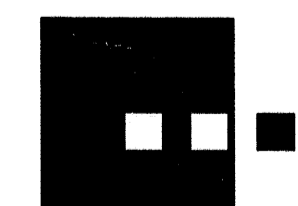
# Quail Plaza

Site Development Plan for Subdivision  
Site Development Plan for Building Permit  
DRB Package



## Sheet Index

- 1 Cover Sheet
- 2 Site Development Plan for Subdivision
- 3 Site Development Plan for Building Permit
- 4 Grading and Drainage Plan
- 5 Utilities Plan
- 6 Landscaping Plan
- 7 Site Plan Details
- 8 Building Elevations - Buildings 1 & 3
- 9 Building Elevations - Building 5
- 10 Building Elevations - Building 4
- 11 Building Elevations - Building 6



**Dekker/Perich/Sabatini**

architecture ■ interiors ■ planning ■ engineering

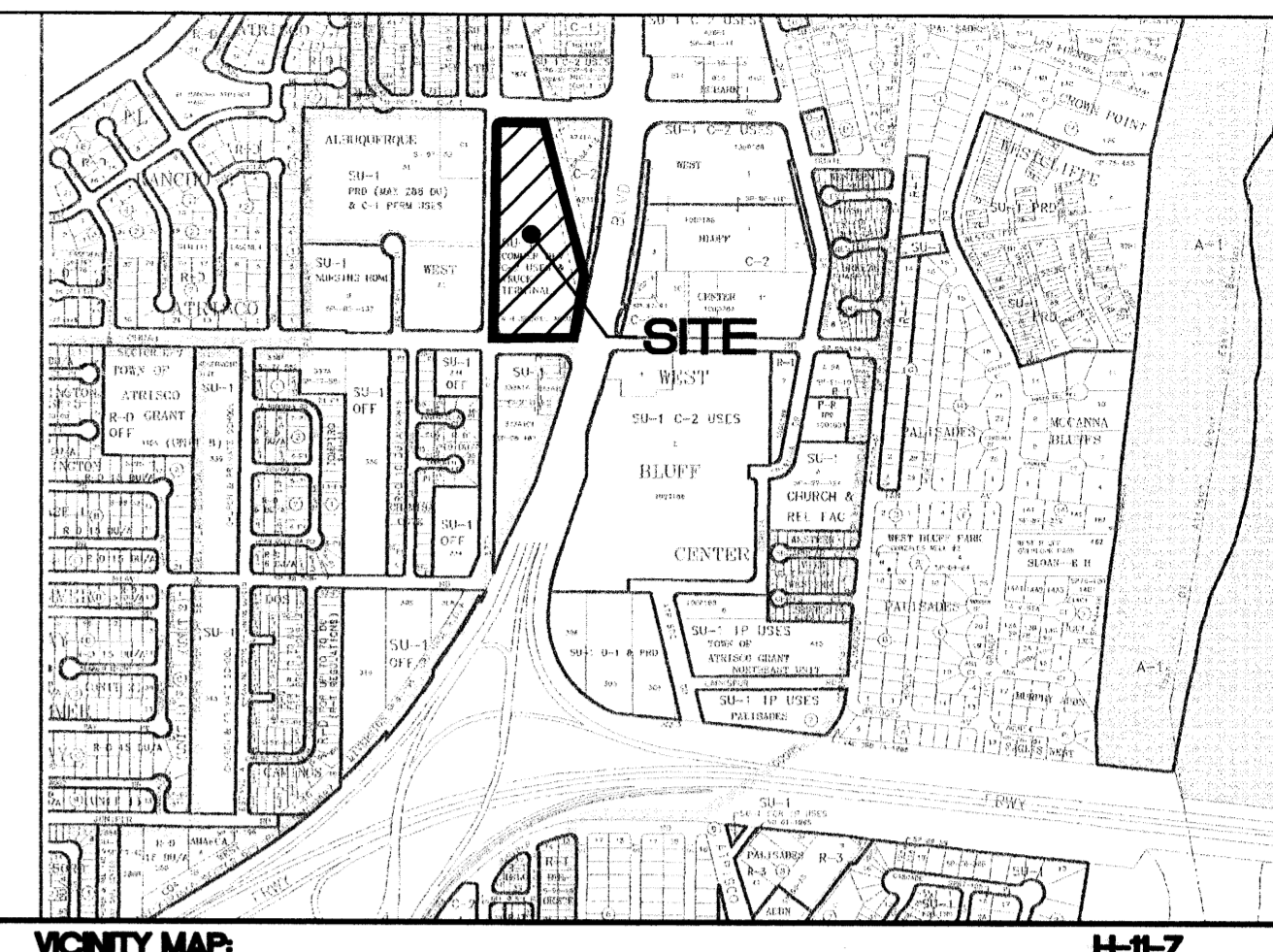
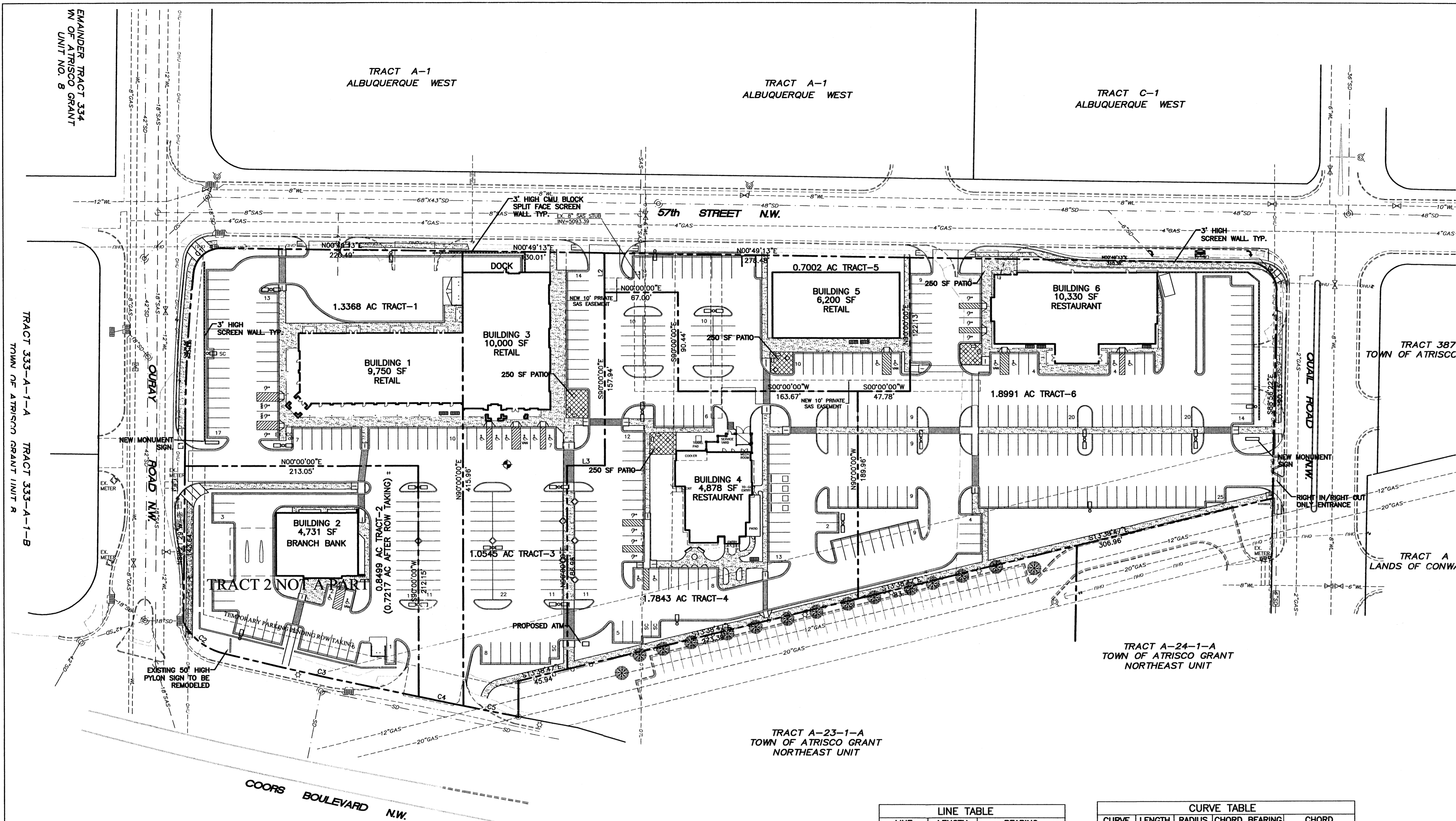
6801 Jefferson NE, Suite 100 Albuquerque, NM 87109

505 761-9700 fax 761-4222

03009 August 26, 2003

Sheet 1 of 11





**LEGAL DESCRIPTION**  
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8 ATRISCO GRANT & PORTION OF TR A21

- NOTES**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
  - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
  - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
  - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
  - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
  - THIS SITE PLAN FOR SUBDIVISION IS FOR RESTAURANTS WITH A BEER AND WINE LICENSE ONLY. FURTHER APPROVAL FOR A RESTAURANT WITH A LIQUOR LICENSE BEYOND A BEER AND WINE LICENSE WILL REQUIRE ADMINISTRATIVE APPROVAL TO DETERMINE IF THERE IS SUFFICIENT OFF-STREET PARKING.
  - SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON. ALONG COORS BLVD. THE FRONT LANDSCAPED STREET YARD SHALL BE 15 FEET WIDE. AND BUILDINGS SHALL NOT ENCRoACH WITHIN THAT 15 FEET.
  - BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE COMPREHENSIVE CITY ZONING CODE AND WITHIN THE COORS CORRIDOR PLAN, WHICHEVER IS MORE RESTRICTIVE.
  - SEE SHEET 6 FOR DETAILS
  - IN THE EVENT ADDITIONAL RIGHT-OF-WAY IS SECURED FROM THE SITE FOR THE RECONSTRUCTION OF THE I-40/COORS INTERCHANGE THAT CONFLICTS WITH THE EXISTING 45' HIGH SIGN, THE SIGN SHALL BE REMOVED AT THE EXPENSE OF THE OWNER AND RELOCATED TO MEET ALL APPLICABLE CITY POLICIES AND REGULATION REQUIREMENTS.

**LINE TABLE**

LINE	LENGTH	BEARING
L1	37.09	N89°21'29"W
L2	35.68	N90°00'00"E
L3	35.00	N00°00'00"W
L4	33.17	S00°00'00"E

**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	36.91	25.00	S41°28'15"E	33.64
C2	47.59	55.00	N38°19'32"E	46.12
C3	182.90	5646.45	N12°36'32"E	182.89
C4	41.84	5646.45	N11°28'07"E	41.84
C5	51.16	5646.45	N10°59'49"E	51.16
C6	39.37	25.00	S45°56'25"W	35.43

**SITE DATA TABLE**

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG.	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN PROV.	HC VAN PROV.	BIKE RACKS REQ.	MIN. FAR	MAX. FAR
1	1	1.3368	9,750	RETAIL	C-2		49	58	4	4	1	1	2	0.15	0.35	
2	2	0.8499	4,731	BANK	C-2		24	31	2	2	1	1	1	0.15	0.35	
3	3	1.0545	10,000	RETAIL	C-2		50	62	4	6	1	1	3	0.15	0.35	
4	4	1.7843	4,878	RESTAURANT	C-2		192	64	77	4	6	2	2	0.15	0.35	
5	5	0.7002	6,200	RETAIL	C-2		31	33	2	2	1	1	1	0.15	0.35	
6	6	1.8991	10,330	RESTAURANT	C-2		382	127	130	8	8	1	1	0.15	0.35	
TOTAL		7.625	47,080					345	393	24	28	7	7	12	0.15	0.35

RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

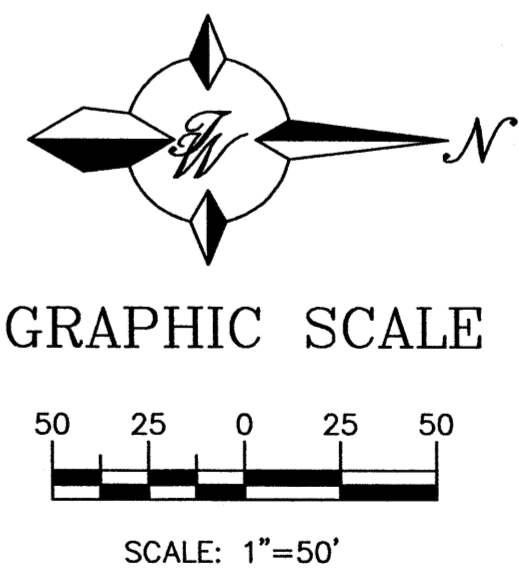
**PROJECT NUMBER: 1002459**  
**APPLICATION NUMBER: 03 DEB 01758**

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

*[Signature]* Traffic Engineer, Transportation Division Date: 10/29/07  
*[Signature]* Utilities Development Date: 10/29/07  
*[Signature]* Parks & Recreation Department Date: 10/29/07  
*[Signature]* City Engineer Date: 5/21/09  
 N/A Environmental Health Department (conditional) Date: \_\_\_\_\_  
*[Signature]* Solid Waste Management Date: 1-29-04  
*[Signature]* DRB Chairperson, Planning Department Date: 5/25/04

- LEGEND**
- BOUNDARY LINE
  - - - EASEMENT
  - - - EXISTING CURB AND GUTTER
  - ==== PROPOSED CURB
  - ==== PROPOSED SCREEN WALL
  - ==== PROPOSED SIDEWALK
  - ==== EXISTING BOUNDARY
  - ==== PROPOSED CROSSWALK
  - ==== PROPOSED BIKE RACK
  - □ □ PROPOSED PARKING LOT LIGHTING



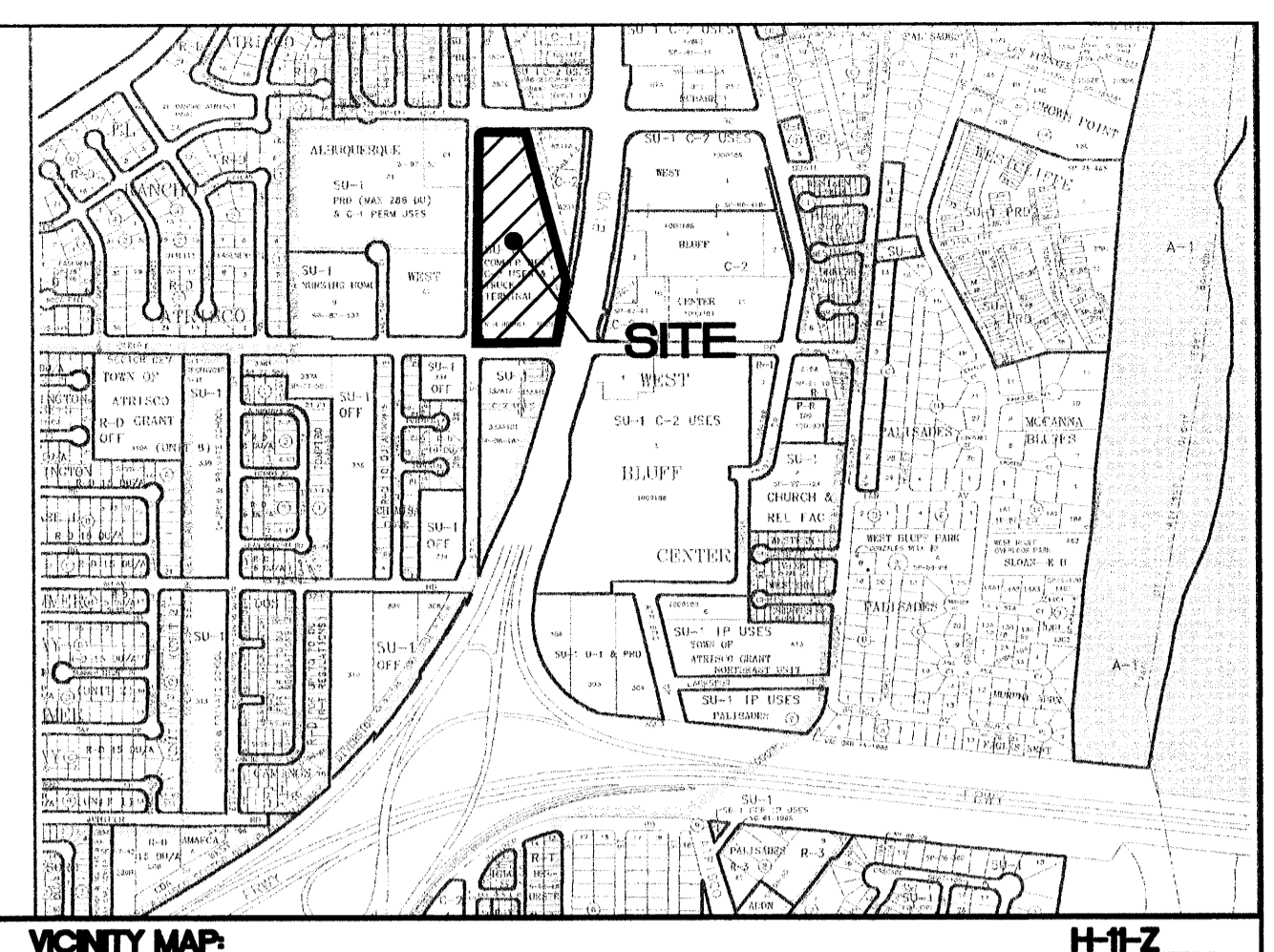
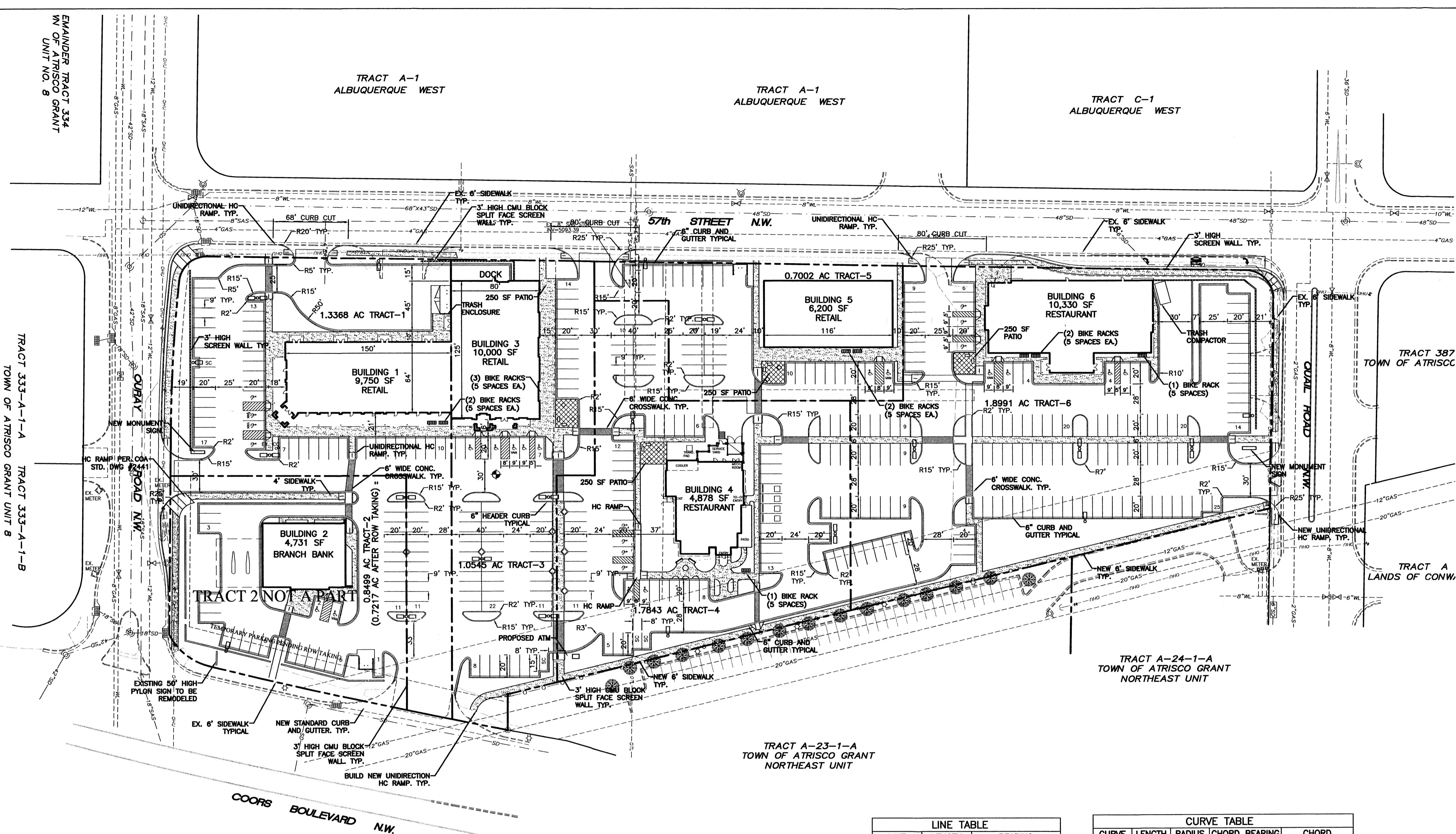
**ENGINEER'S SEAL**  
 RONALD R. BOHANNAN  
 P.E. #7868

**QUAIL RIDGE SHOPPING CENTER**  
**SITE PLAN FOR SUBDIVISION**

**TERRA WEST, LLC**  
 8509 JEFFERSON NE  
 ALBUQUERQUE, NEW MEXICO 87113  
 (505)858-3100

DRAWN BY: BDG  
 DATE: 10/23/03  
 2296SPSB-8-11-03X  
 SHEET # **2**  
 JOB # 220096





**LEGAL DESCRIPTION**  
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8 ATRISCO GRANT & PORTION OF TR A21

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
  - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE MONTANO PLAZA MASTER PLAN. MATCH BUILDING COLORS AND MATERIAL.
  - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
  - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
  - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
  - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
  - THIS SITE PLAN FOR SUBDIVISION IS FOR RESTAURANTS WITH A BEER AND WINE LICENSE ONLY. FURTHER APPROVAL FOR A RESTAURANT WITH A LIQUOR LICENSE BEYOND A BEER AND WINE LICENSE WILL REQUIRE ADMINISTRATIVE APPROVAL TO DETERMINE IF THERE IS SUFFICIENT OFF-STREET PARKING.
  - ALL PATIO AREAS ON THE SOUTHEAST OR WEST SIDES OF BUILDINGS SHALL HAVE A MINIMUM OF 100 SF OF SHADED AREA, EITHER WITH TREES OR SHADE STRUCTURES.
  - ALL PATIO AREAS SHALL HAVE A MINIMUM OF 8 LINEAR FEET OF FIXED SEATING.
  - THE TOTAL SQUARE FOOTAGE FOR THE PORTION OF THE FREESTANDING SIGN THAT IDENTIFIES THE SHOPPING CENTER NAME SHALL BE LIMITED TO 20 SF.
  - FREESTANDING SIGNS WILL MEET THE REQUIREMENTS FOR THE COORS CORRIDOR PLAN BY HAVING A SIGN FACE NO LARGER THAN 75 SF IN SIZE. THE NUMBER OF ITEMS AS IDENTIFIED IN THE COORS CORRIDOR PLAN WILL BE LIMITED TO 10.
  - SEE SHEET 6 FOR DETAILS.
  - PARKING BARRIERS SHALL BE PROVIDED TO PREVENT VEHICLES FROM EXTENDING OVER ANY PUBLIC SIDEWALK, ABUTTING LOT, PEDESTRIAN WALKWAYS, LANDSCAPE AREA OR ANY WALL OR FENCE. THE BARRIERS NEED TO BE A MINIMUM OF TWO FEET FROM ANY PUBLIC SIDEWALK, ABUTTING LOT, PEDESTRIAN WALKWAYS, LANDSCAPE AREA OR ANY WALL OR FENCE IN ACCORDANCE WITH SECTION 14-16-3-1(E)(2) OF THE COMPREHENSIVE CITY ZONING CODE.
  - PAVING SHALL BE ASPHALT CONCRETE UNLESS OTHERWISE NOTED.

**LINE TABLE**

LINE	LENGTH	BEARING
L1	37.09	N89°21'29"W
L2	35.88	N90°00'00"E
L3	35.00	N00°00'00"W
L4	33.17	S00°00'00"E

**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD	BEARING	CHORD
C1	36.91	25.00	S41°28'15"E		33.64
C2	47.59	55.00	N38°19'32"E		46.12
C3	182.90	5646.45	N12°36'32"E		182.89
C4	41.84	5646.45	N11°28'07"E		41.84
C5	51.16	5646.45	N10°59'49"E		51.16
C6	39.37	25.00	S45°56'25"W		35.43

**SITE DATA TABLE**

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG.	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE RACKS REQ.	MIN. FAR	MAX. FAR
1	1	1.3368	9,750	RETAIL	C-2			49	58	4	4	1	1	2	0.15	0.35
2	2	0.8499	4,731	BANK	C-2			24	33	2	2	1	1	1	0.15	0.35
3	3	1.0545	10,000	RETAIL	C-2			50	62	4	6	1	1	3	0.15	0.35
4	4	1.7843	4,878	RESTAURANT	C-2		192	64	77	4	6	2	2	3	0.15	0.35
5	5	0.7002	6,200	RETAIL	C-2			31	33	2	2	1	1	1	0.15	0.35
6	6	1.8991	10,330	RESTAURANT	C-2		382	127	130	8	8	1	1	2	0.15	0.35
TOTAL		7.625	47,080					345	393	24	28	7	7	12	0.15	0.35

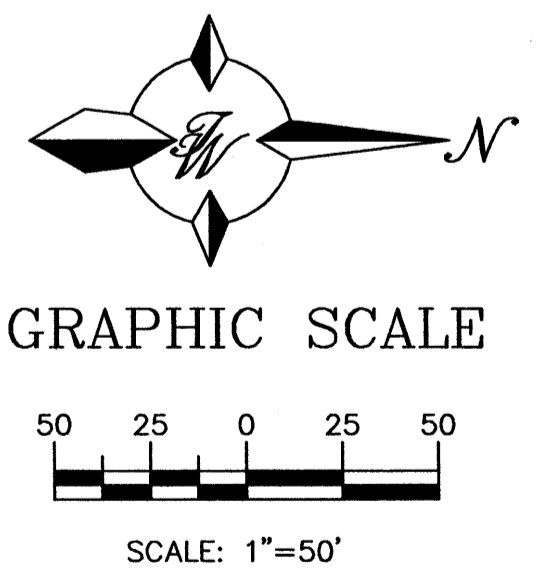
RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

**PROJECT NUMBER: 1002459**  
**APPLICATION NUMBER: 03 DRB 01759**

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineer, Transportation Division <i>Roger A. Green</i> Date: 10/29/03	Date: 10/29/03
Utilities Development <i>Christine Sandoval</i> Date: 9/21/03	Date: 9/21/03
Parks & Recreation Department <i>Bradley S. Biles</i> City Engineer	Date: 1-29-04
Environmental Health Department (conditional) <i>Michael Holton</i> Solid Waste Management	Date: _____
DRB Chairperson, Planning Department	Date: _____



- LEGEND**
- BOUNDARY LINE
  - - - EASEMENT
  - EXISTING CURB AND GUTTER
  - PROPOSED CURB
  - PROPOSED SCREEN WALL
  - PROPOSED SIDEWALK
  - EXISTING BOUNDARY
  - PROPOSED CROSSWALK
  - PROPOSED BIKE RACK
  - ○ ○ PROPOSED PARKING LOT LIGHTING

**QUAIL RIDGE SHOPPING CENTER**

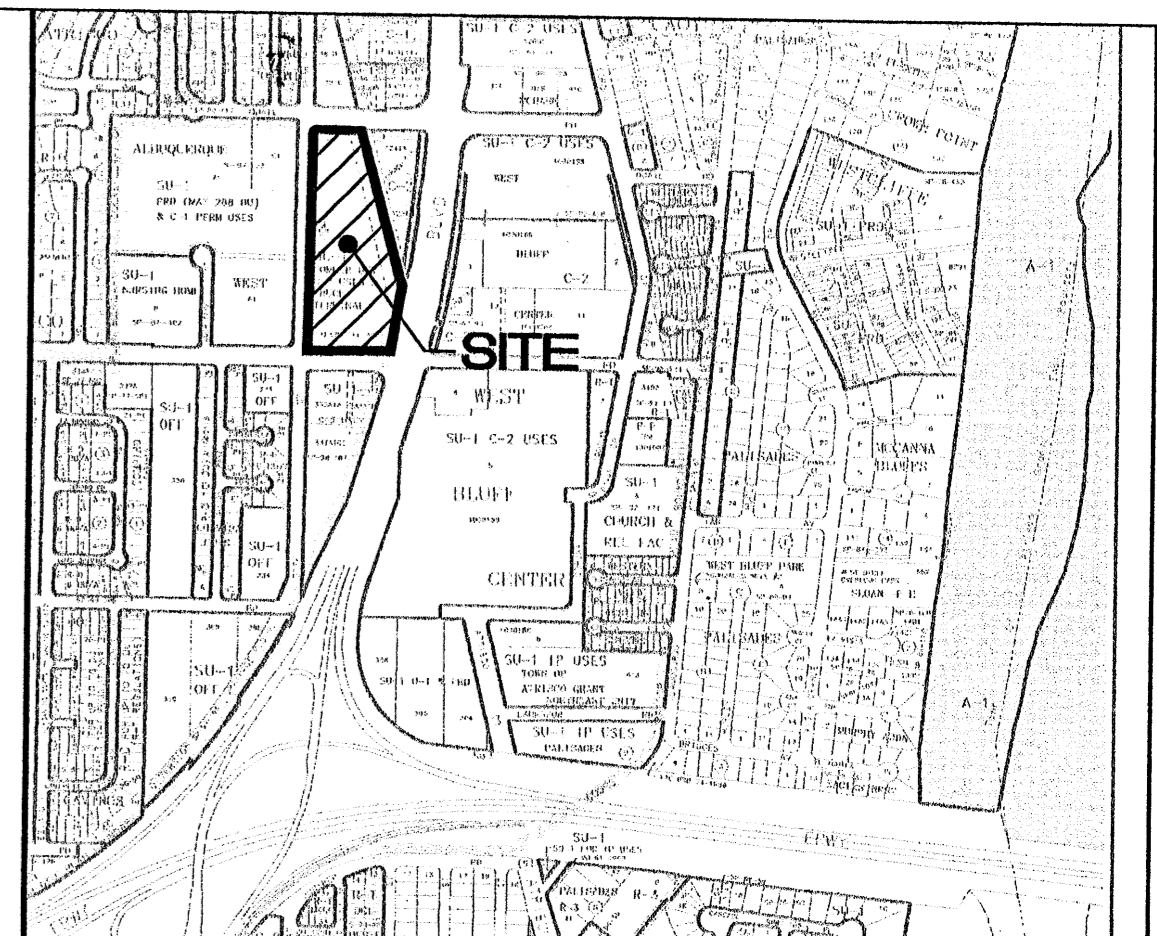
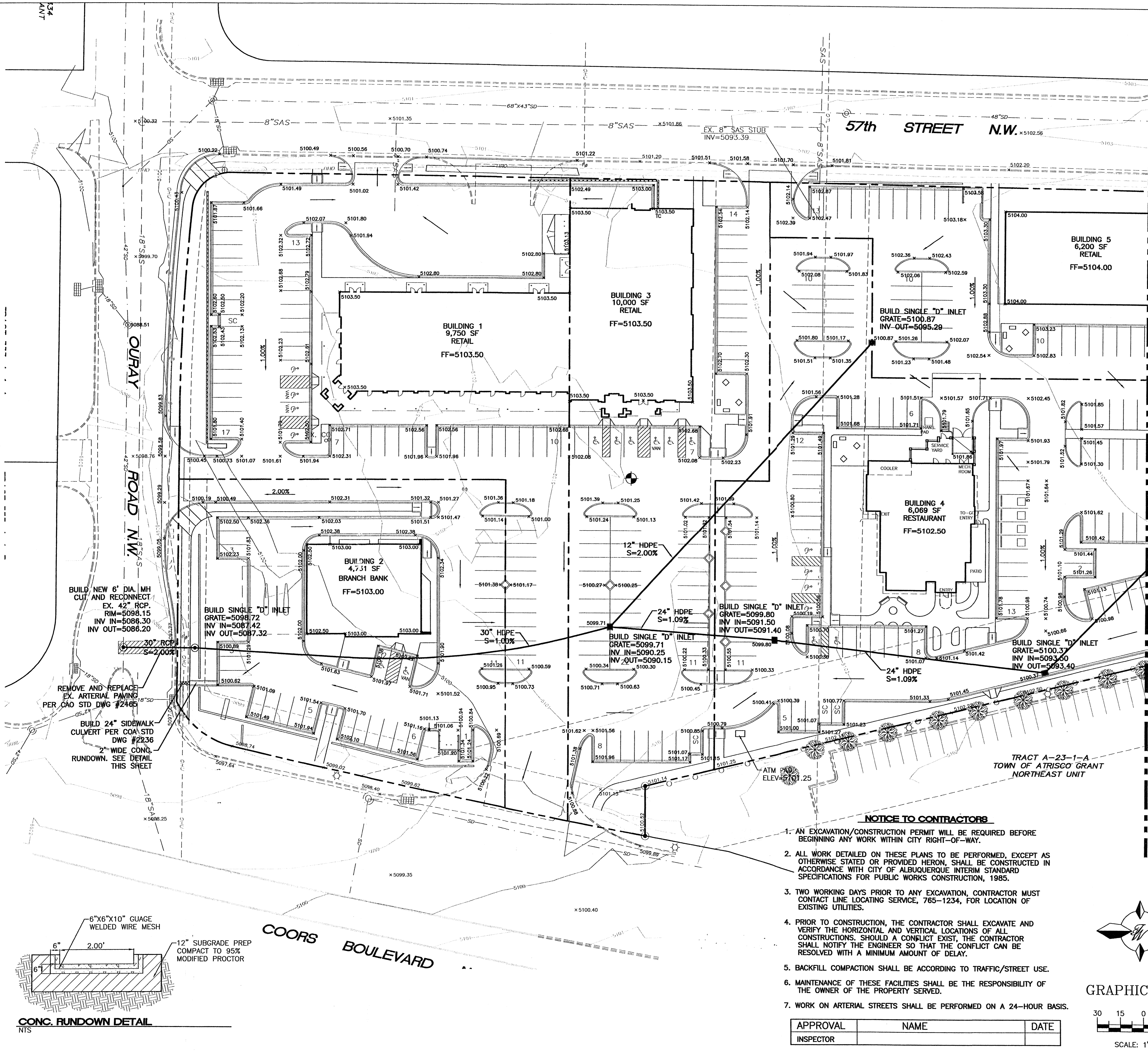
**SITE PLAN FOR BUILDING PERMIT**

**TERRA WEST, LLC**  
 8509 JEFFERSON NE  
 ALBUQUERQUE, NEW MEXICO 87113  
 (505)858-3100

**ENGINEER'S SEAL**  
 RONALD R. BOHANNAN  
 P.E. #7868

**DRAWN BY** BDG  
 DATE: 10/23/03  
 2296SPB-8-11-03X  
 SHEET # **3**  
 JOB # 220096





**LEGAL DESCRIPTION:**  
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8  
 ATRISCO GRANT & PORTION OF TR A21

**EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**

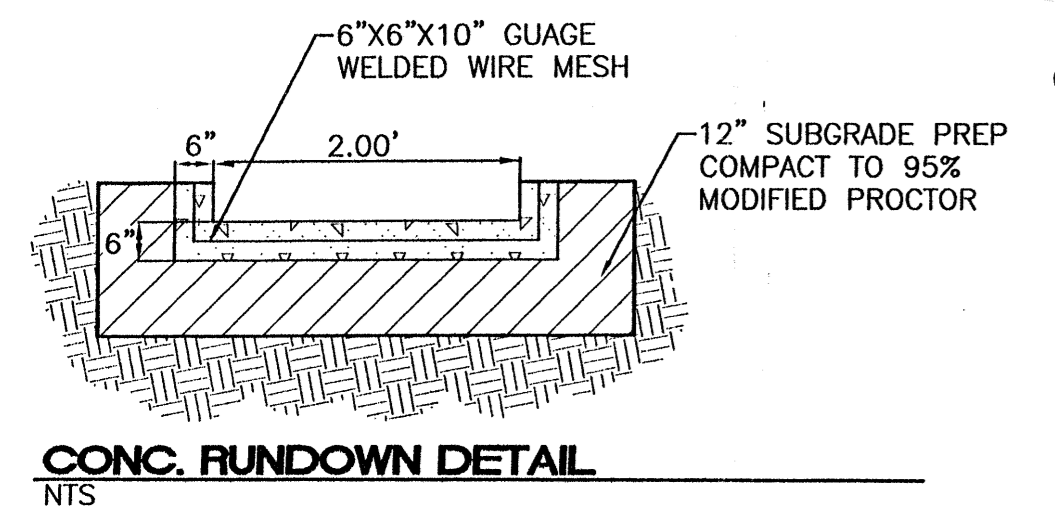
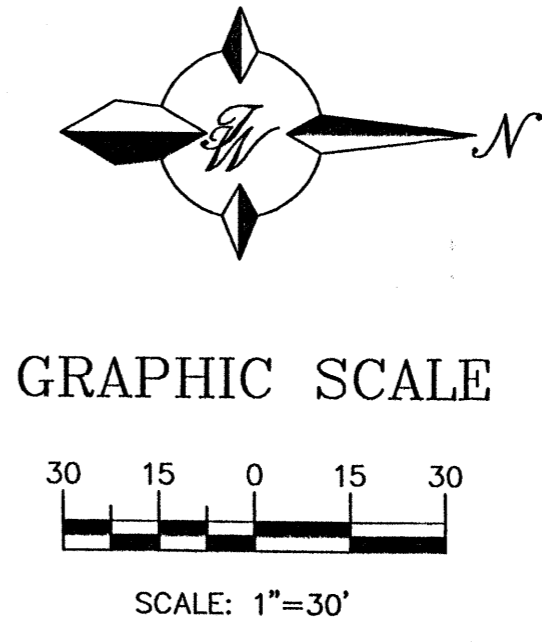
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

**LEGEND**

	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	NEW CURB

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

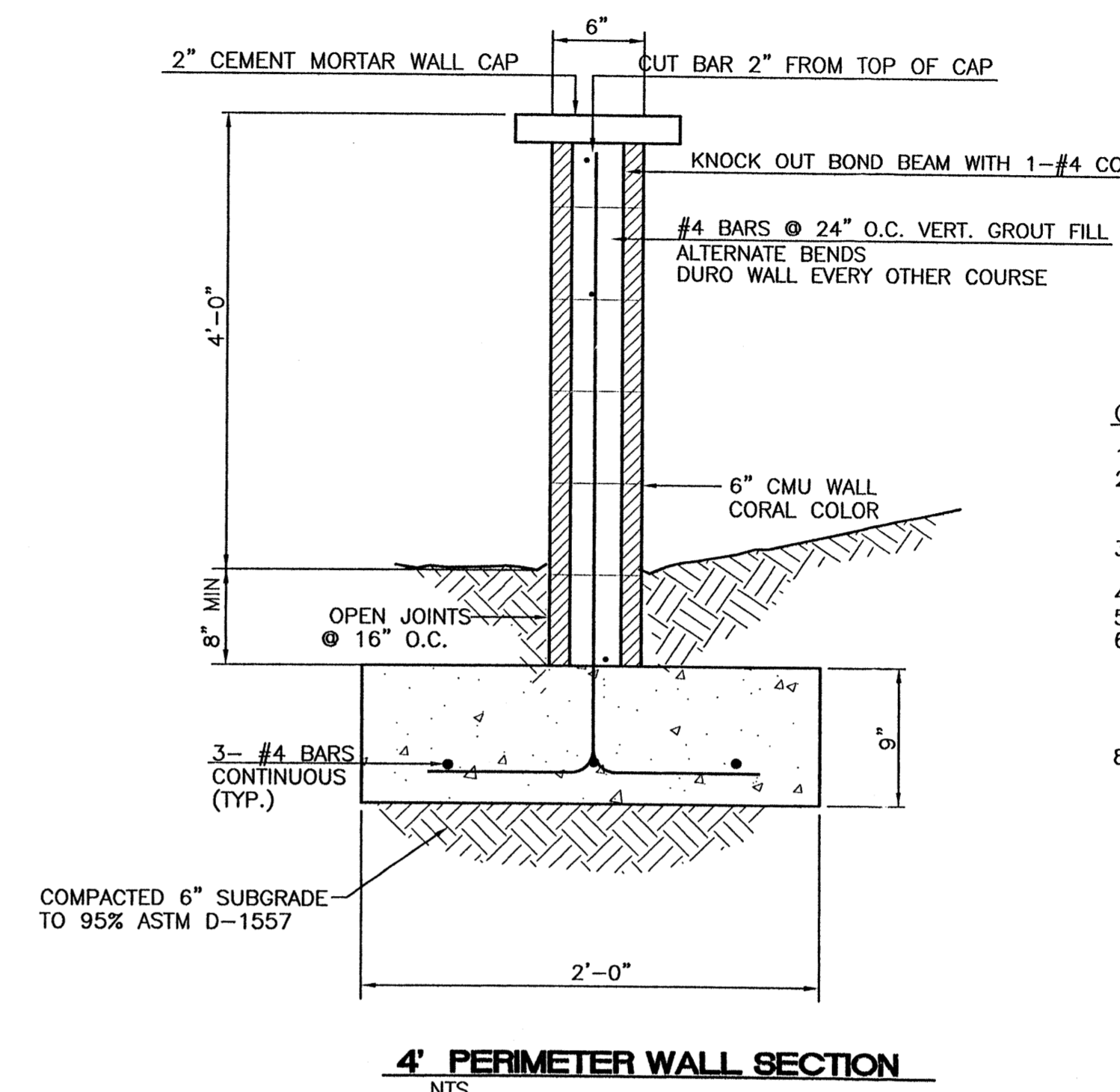
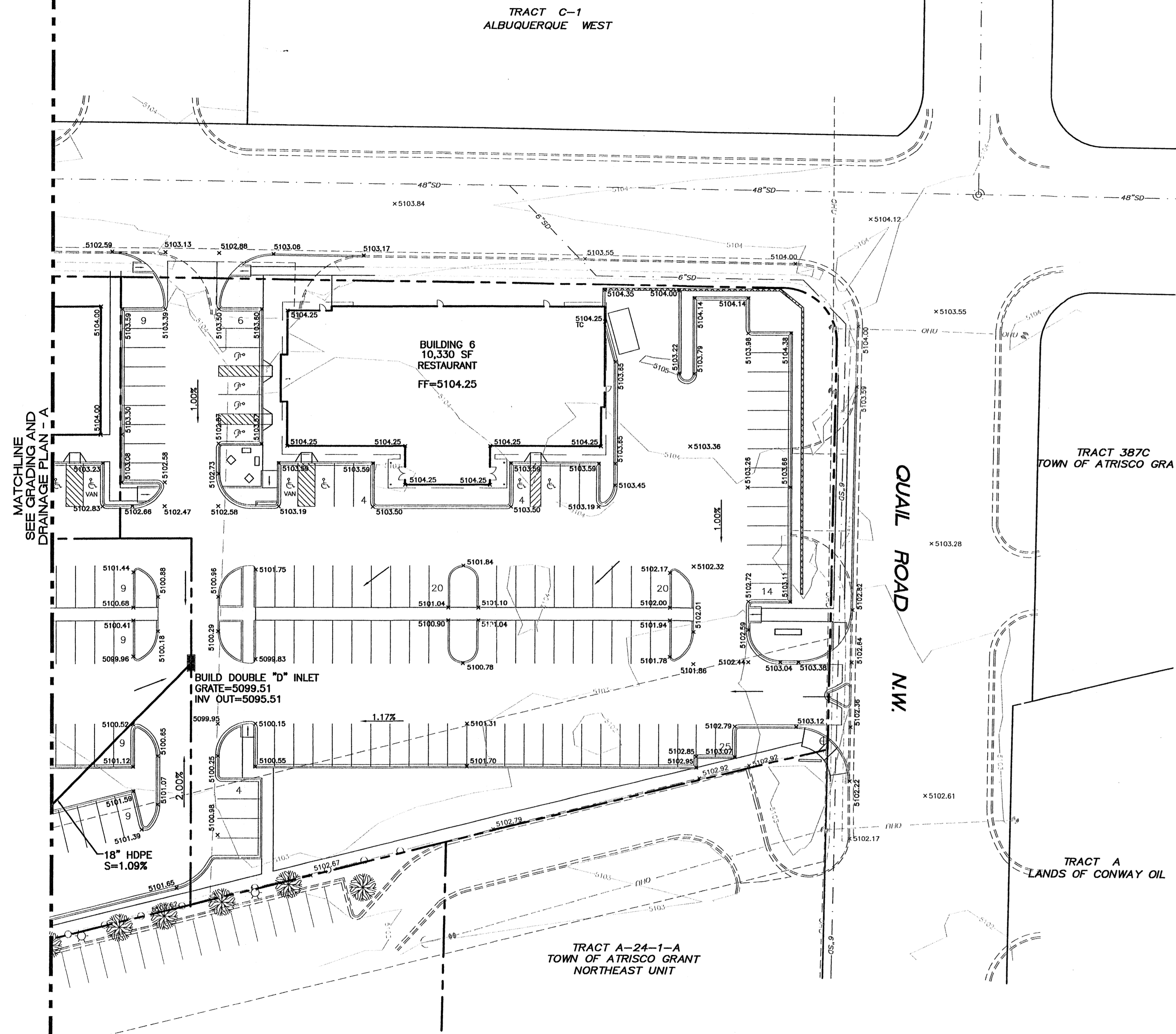
APPROVAL	NAME	DATE
INSPECTOR		



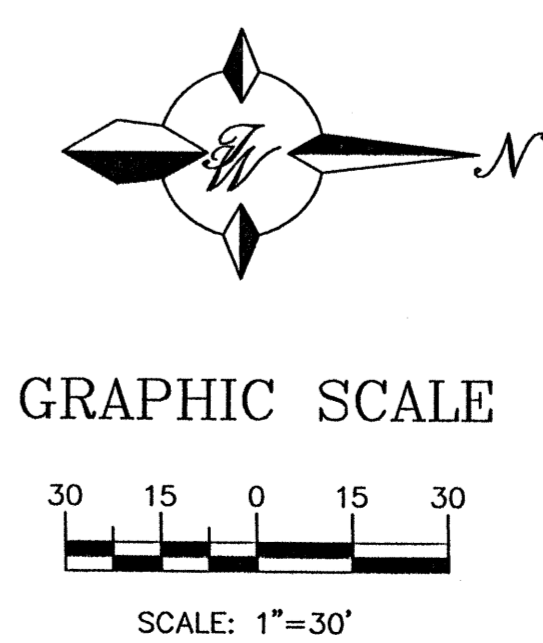
**ROUGH GRADING APPROVAL**

 RONALD R. BOHANNAN P.E. #7868	<b>QUAIL RIDGE SHOPPING CENTER</b> <b>GRADING AND DRAINAGE PLAN - A</b>	DRAWN BY: BDG DATE: 08/25/03 2296GRB-8-11-03X
	TIERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>4A</b> JOB # 220096





- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
  2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
  5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
  6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
  8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



<b>ROUGH GRADING APPROVAL</b>		
<b>ENGINEER'S SEAL</b>	<b>QUAIL RIDGE SHOPPING CENTER</b>	<b>DRAWN BY</b> BDG
	<b>GRADING AND DRAINAGE PLAN - B</b>	<b>DATE</b> 08/19/03
	<b>TERRA WEST, L.L.C.</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	<b>2296GRB-8-11-03X</b>
<b>RONALD R. BOHANNAN</b> P.E. #7868		<b>SHEET #</b> <b>4B</b>
		<b>JOB #</b> 220096

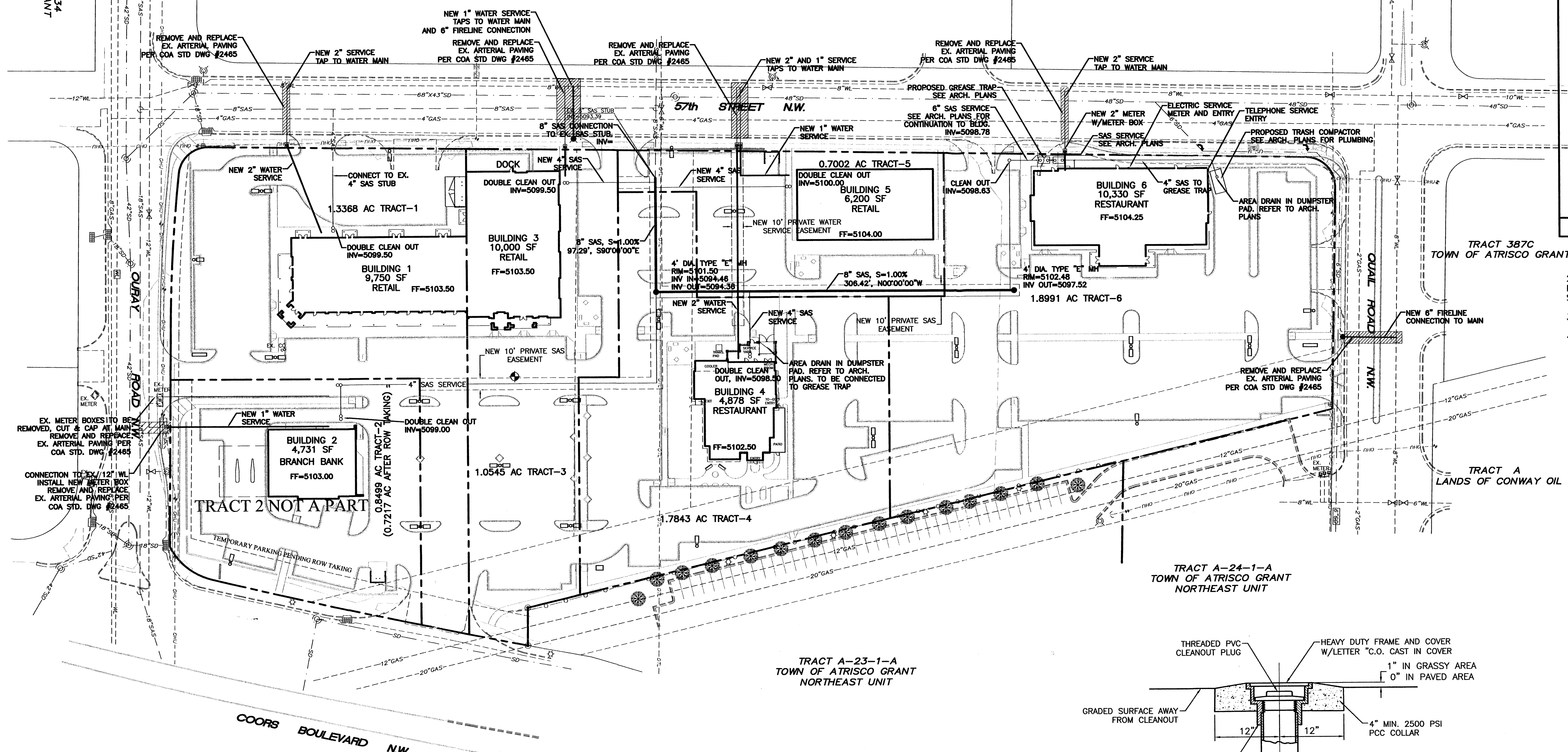


ER TRACT 334  
ATRISCO GRANT  
IT NO. 8

TRACT A-1  
ALBUQUERQUE WEST

TRACT A-1  
ALBUQUERQUE WEST

TRACT C-1  
ALBUQUERQUE WEST



**WATER SHUTOFF PLAN** SHUTOFF VALVES: #-

- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
- NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUTOFF PLAN
- APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
- SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.

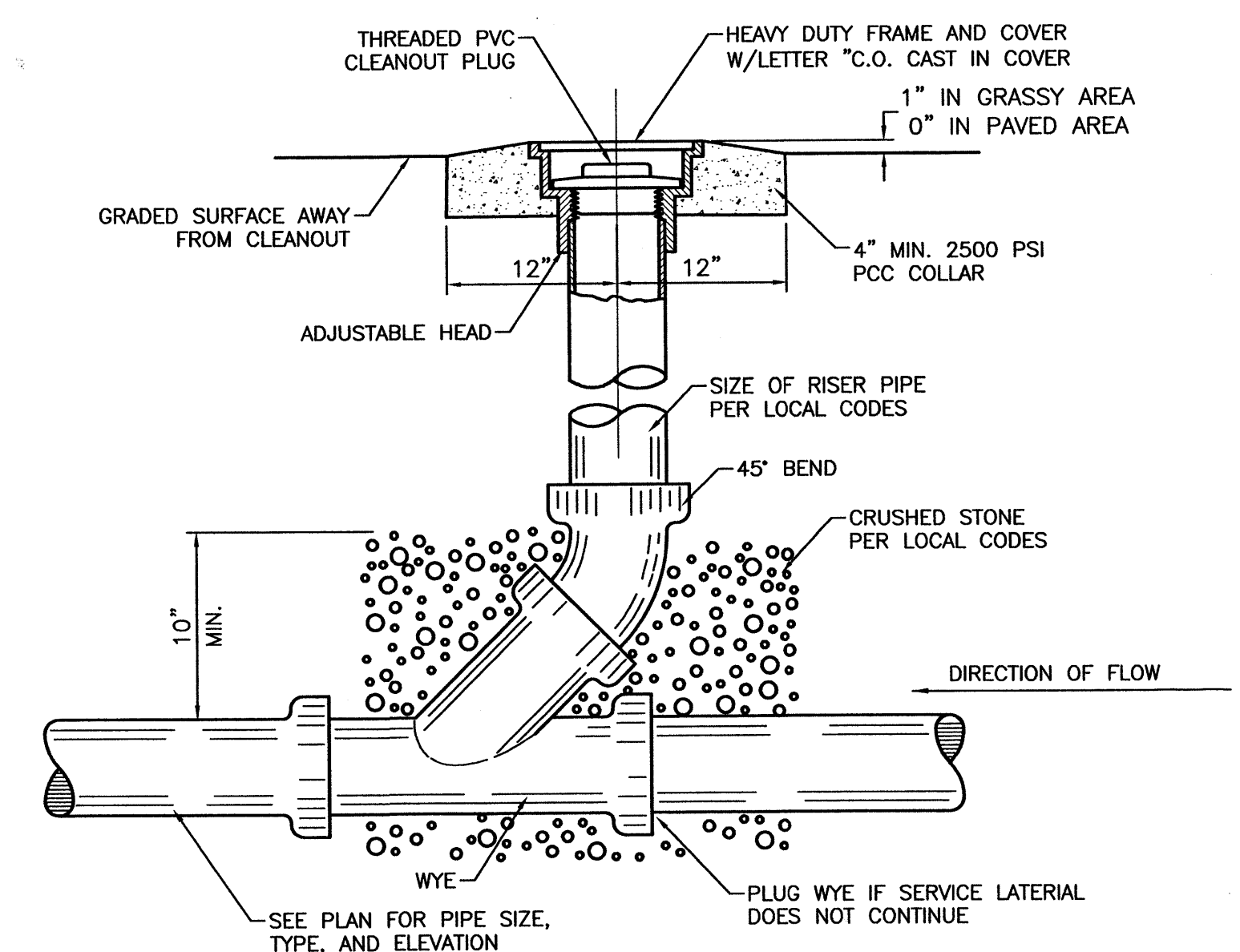
- GENERAL NOTES:**
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
  - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
  - ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  - CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  - SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.

**NOTICE TO CONTRACTORS**

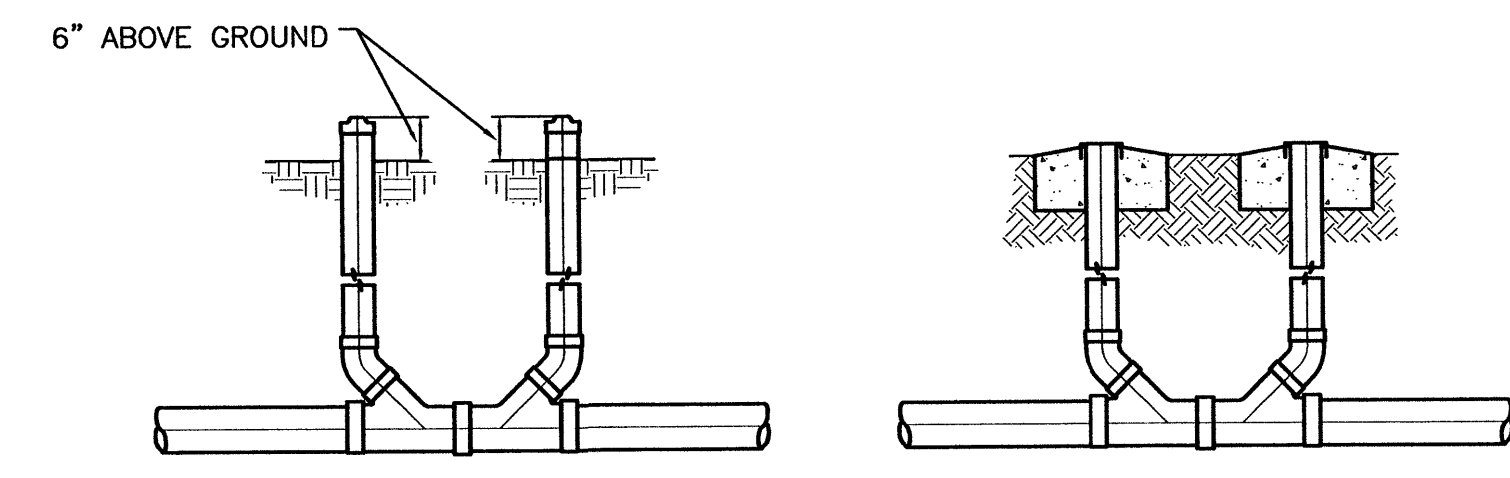
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (505)765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**LEGEND**

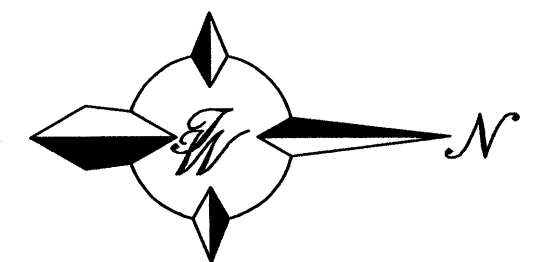
	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	PROPOSED CLEAN OUT
	PROPOSED DOUBLE CLEAN OUT
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	BOUNDARY LINE
	EASEMENT



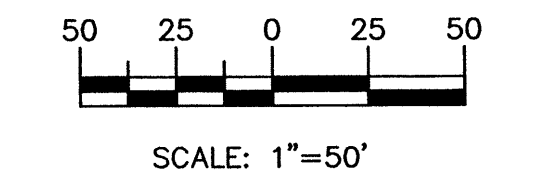
**SANITARY SEWER CLEAN-OUT**  
NTS



**SANITARY SEWER DOUBLE CLEAN-OUTS**  
NTS



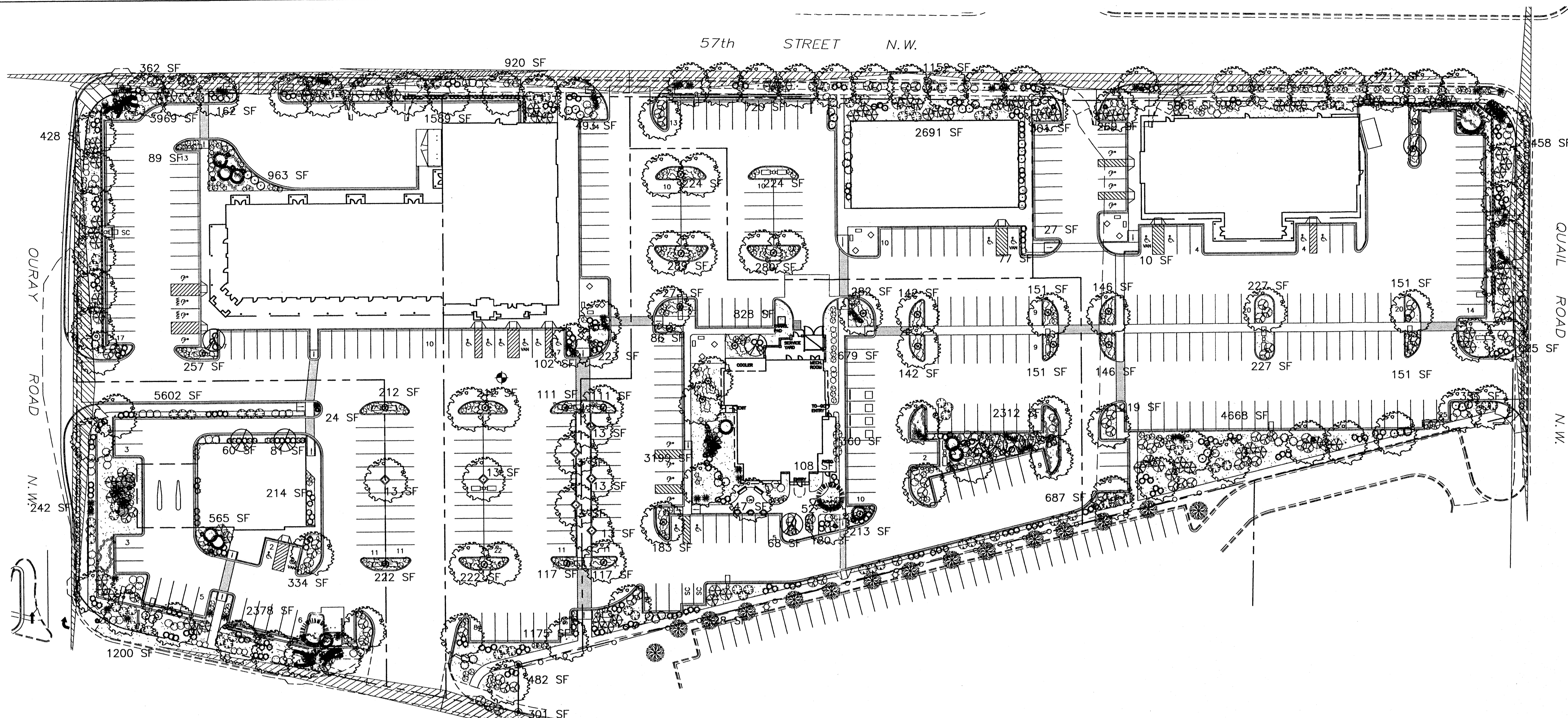
GRAPHIC SCALE



APD PLANS CHECKING OFFICE  
824-3011  
APPROVED FOR CONSTRUCTION  
HYDRAULIC ENGINEER  
R.C. Sanchez 10-28-03

ENGINEER'S SEAL	<b>QUAIL RIDGE SHOPPING CENTER</b>	DRAWN BY BDG
		DATE 10/27/03
	<b>MASTER UTILITY PLAN</b>	2296MUB-8-11-03X
		SHEET # <b>5</b>
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 220096





**PLANT LEGEND**

- ASH (H) AND HONEY LOCUST (H) 112  
*Fraxinus pennsylvanica*  
*Gleditsia triacanthos*  
2" Cal.
- PINON PINE (M) OR NEW MEXICO OLIVE 10  
*Pinus edulis* 6-8"  
*Forestiera neomexicana* 15 Gal.
- SILVERBERRY (M) 95  
*Elaeagnus pungens*  
5 Gal. 100sf
- THREE-LEAF SUMAC (L) 36  
*Rhus trilobata*  
5 Gal. 36sf
- RED YUCCA (L) 51  
*Hesperaloe parviflora*  
5 Gal.
- RUSSIAN SAGE (M) 24  
*Perovskia atriplicifolia*  
5 Gal.
- APACHE PLUME (L) 96  
*Fallugia paradoxa*  
5 Gal. 25sf
- LANAS/ SCOTCH BROOM (M) 108  
*Cytisus scoparius*  
*Genista hispanica*  
5 Gal.
- BUFFALO JUNIPER/ GREYLEAF COTONEASTER 27  
*Juniperus sabina*  
*Cotoneaster buxifolius*  
5 Gal.  
Symbol indicates 3 plants
- 3/4" GRAY GRAVEL WITH FILTER FABRIC
- AUSTRIAN PINE (H) 3  
*Pinus nigra*  
6-8"
- FLOWERING PEAR (H) 9  
*Pyrus calleryana*  
2" Cal.
- PALM YUCCA (L) 10
- ROSEMARY (M) 151  
*Rosmarinus officianalis*  
2 Gal. 36sf
- POTENTILLA (M) 67  
*Potentilla fruticosa*  
2 Gal.
- AUTUMN SAGE (M) 107  
*Salvia greggii*  
2 Gal. 9sf
- HONEYSUCKLE (M) 90  
*Lonicera sempervirens*  
1 Gal. 200sf  
Unstaked-Groundcover
- CHAMISA (L) 100  
*Chrysothamnus nauseosus*  
1 Gal. 25sf
- WILDFLOWER 246  
1 Gal. 4sf
- TAM JUNIPER (M) 84  
*Juniperus sabina*  
5 Gal. 225sf  
Symbol indicates 3 plants
- HONEYSUCKLE (M) 48  
*Lonicera sempervirens*  
1 Gal. 200sf
- OVERSIZED GRAVEL & 48 BOULDERS

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

All planting beds 36 square feet or larger shall be planted with a mature minimum coverage of 75% live ground cover.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

One tree shall be planted per every 10 parking spaces per policy b.2 of the Coors Corridor Plan.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE CALCULATIONS**

NET LANDSCAPE AREA	332,376	square feet
TOTAL LOT AREA	44,325	square feet
TOTAL BUILDINGS AREA	0	square feet
OFFSITE AREA	288,051	square feet
NET LOT AREA	15%	square feet
LANDSCAPE REQUIREMENT	43,207	square feet
TOTAL LANDSCAPE PROVIDED	55,825	square feet
TOTAL BED PROVIDED	0	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet

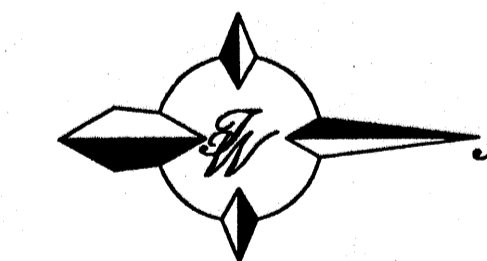
FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

**The Hilltop**

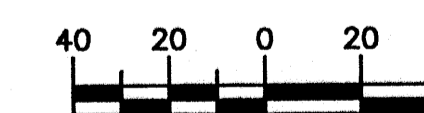
LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmd@hilltoplandscaping.com

THE HILLTOP expressly reserves the common law copyright and other property rights in these plans. These plans are not to be reproduced, changed or copied in any manner whatsoever, nor are they to be assigned to any third party without obtaining the express written permission and consent of THE HILLTOP.



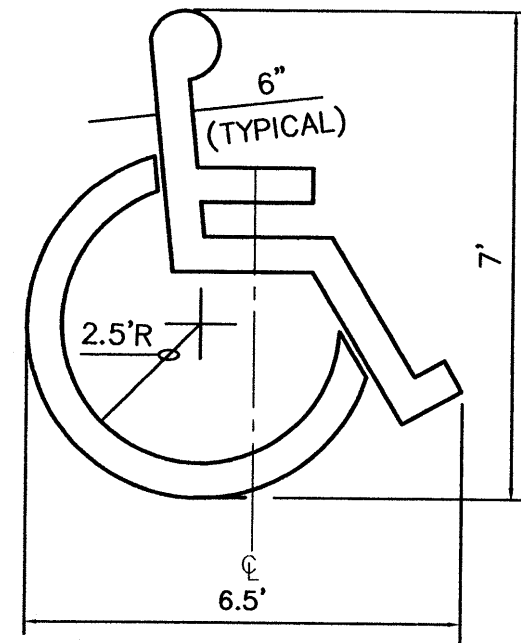
**GRAPHIC SCALE**



SCALE: 1"=40'

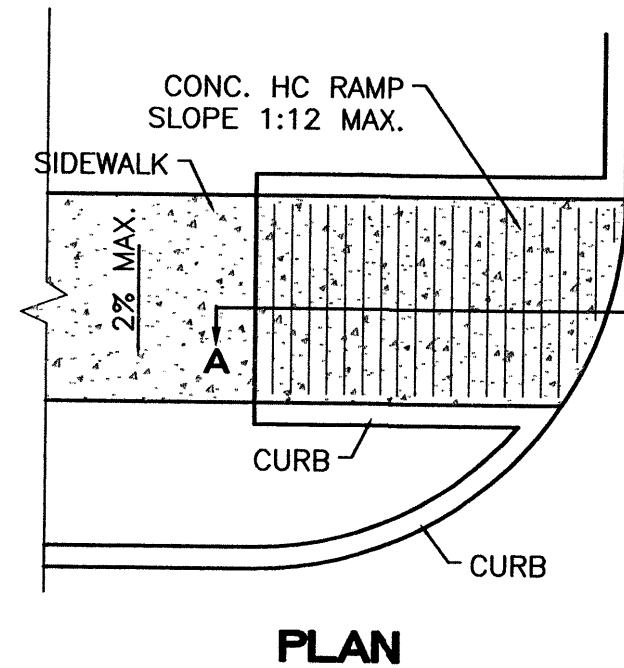
	57th AND QUAIL COMMERCIAL SITE	DRAWN BY DLB
	LANDSCAPE PLAN	DATE 08/25/03
	TERRA WEST, LLC	SHEET # 6 OF 11
	8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 220096



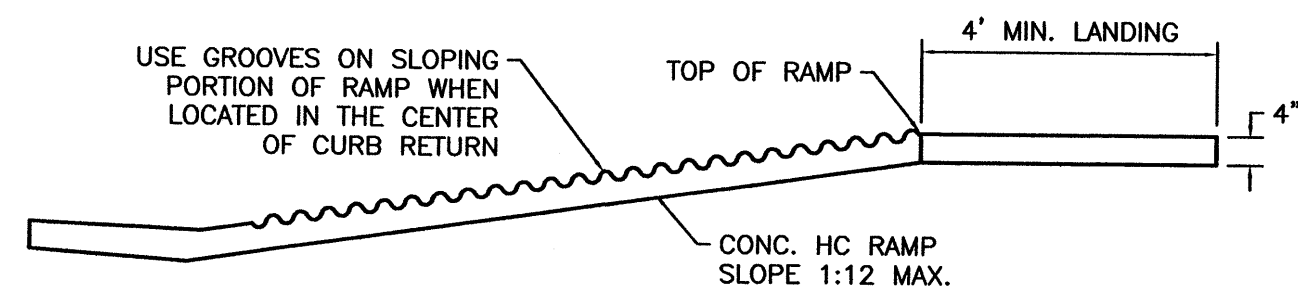


**ACCESSIBLE PARKING SYMBOL**

SCALE: NTS  
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



**PLAN**



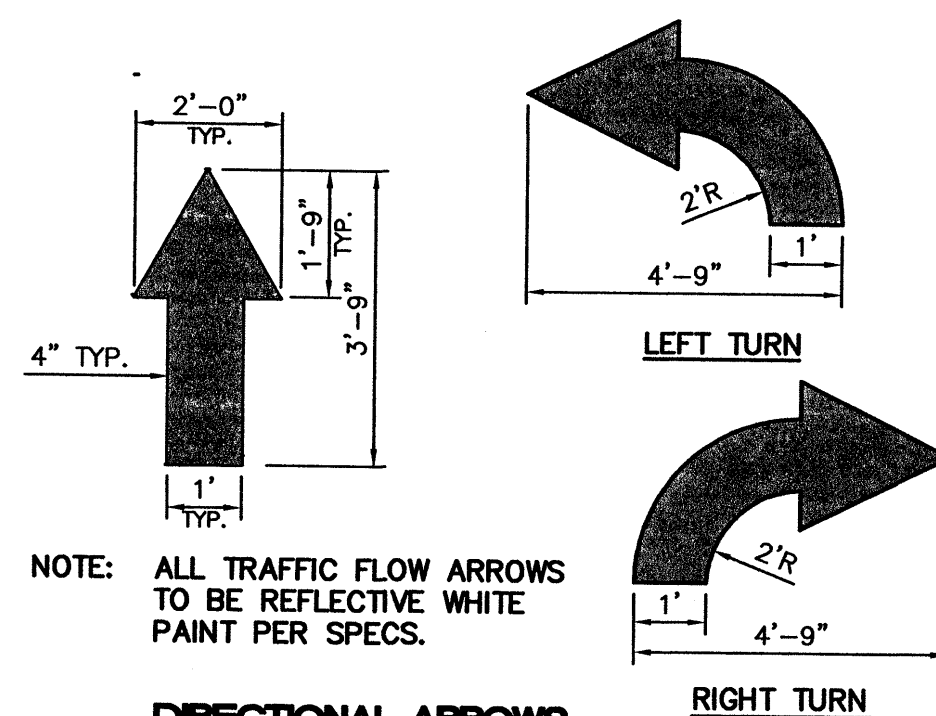
**SECTION A-A**

**UNIDIRECTIONAL HC RAMP**

SCALE: NTS

**NOTES:**

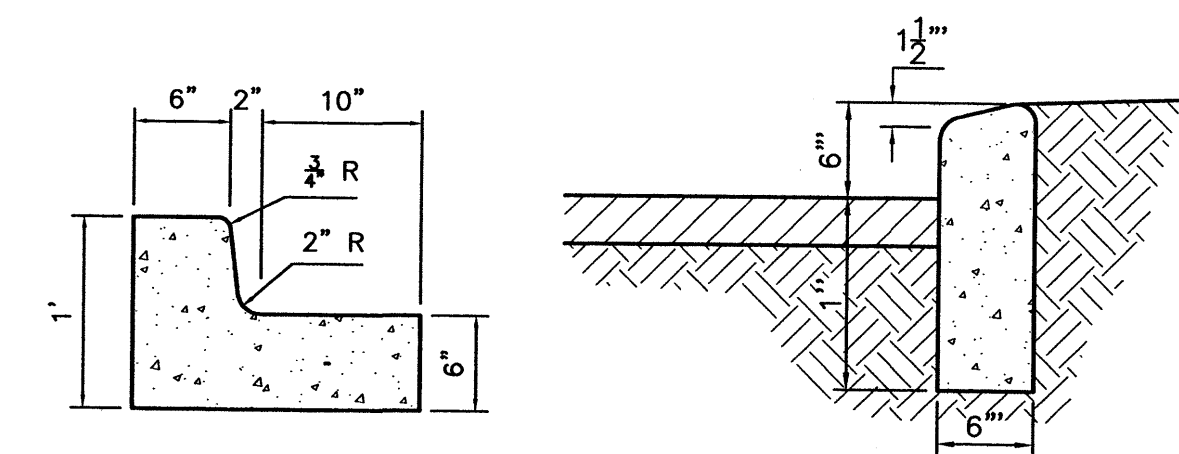
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE WHITE PAINT PER SPECS.

**DIRECTIONAL ARROWS**

NTS



**6 IN. CURB AND GUTTER**

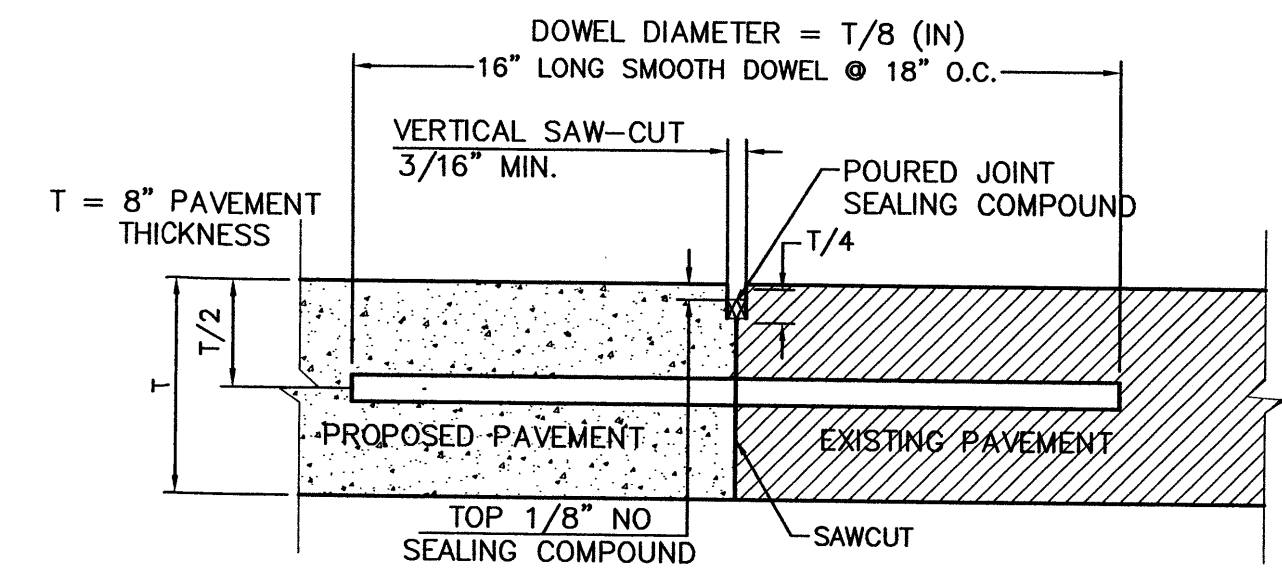
SCALE: 1"=1'

**CURB GENERAL NOTES:**

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12" MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

**6" HEADER CURB DETAIL**

1"=1'

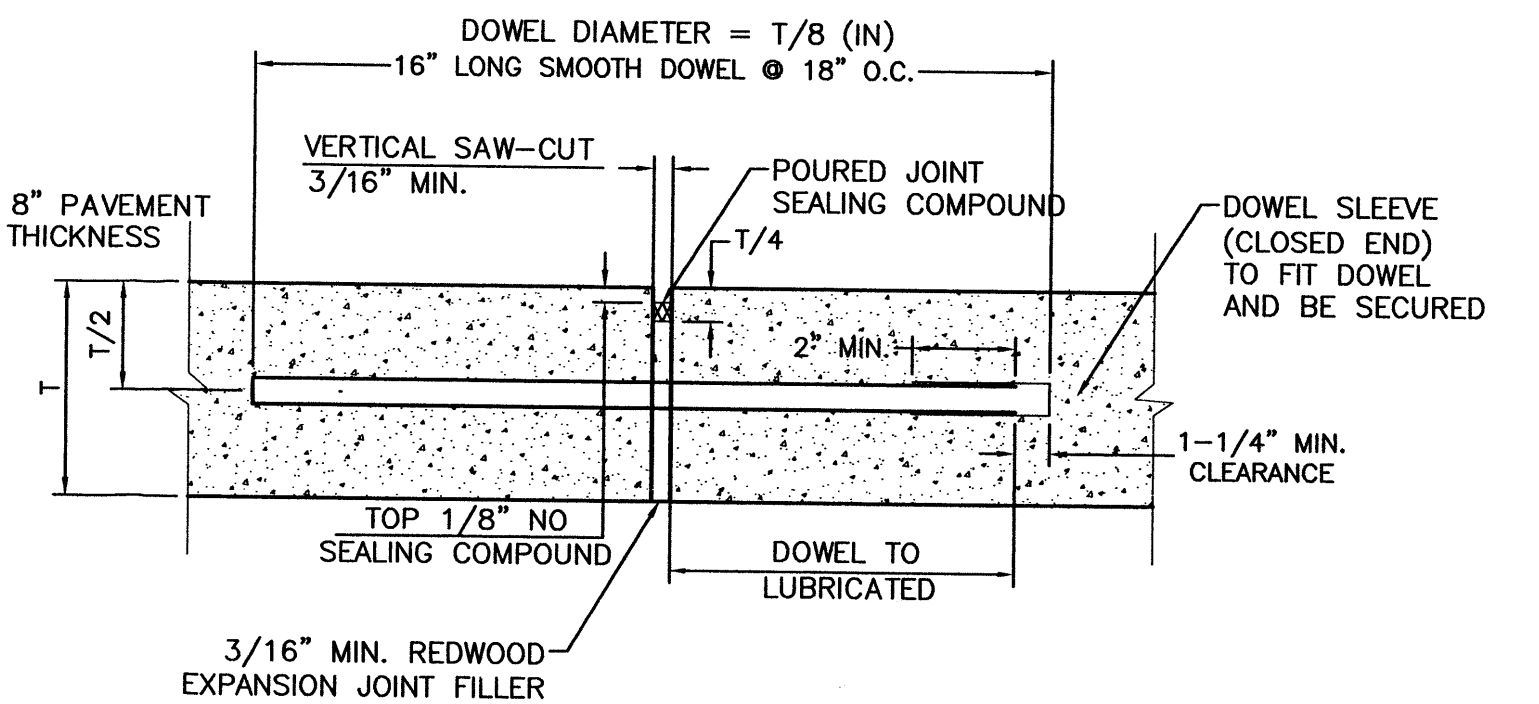


- NOTE:
1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
  2. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

**BUTT JOINT**

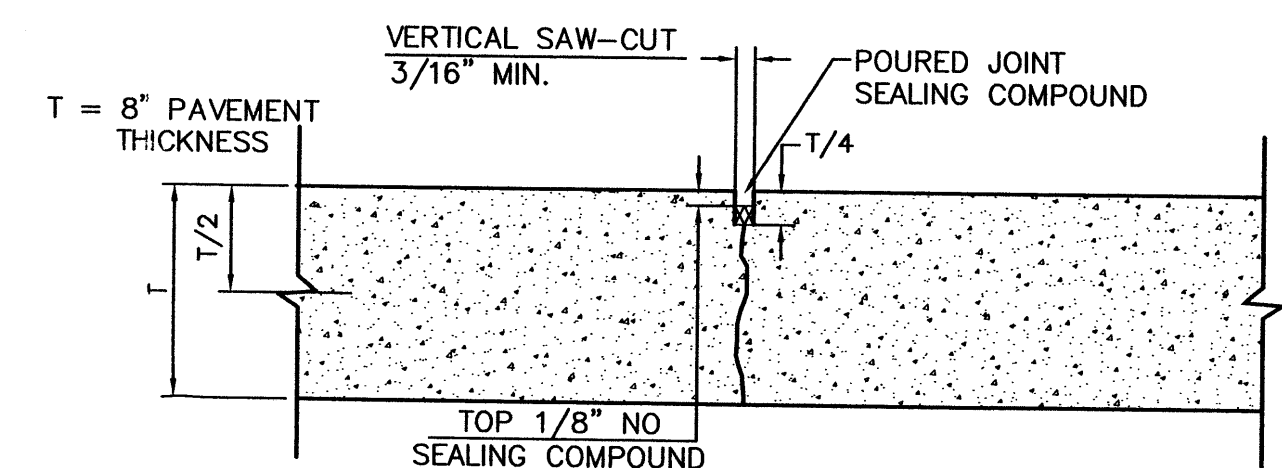
**CONCRETE JOINT DETAILS**

NTS

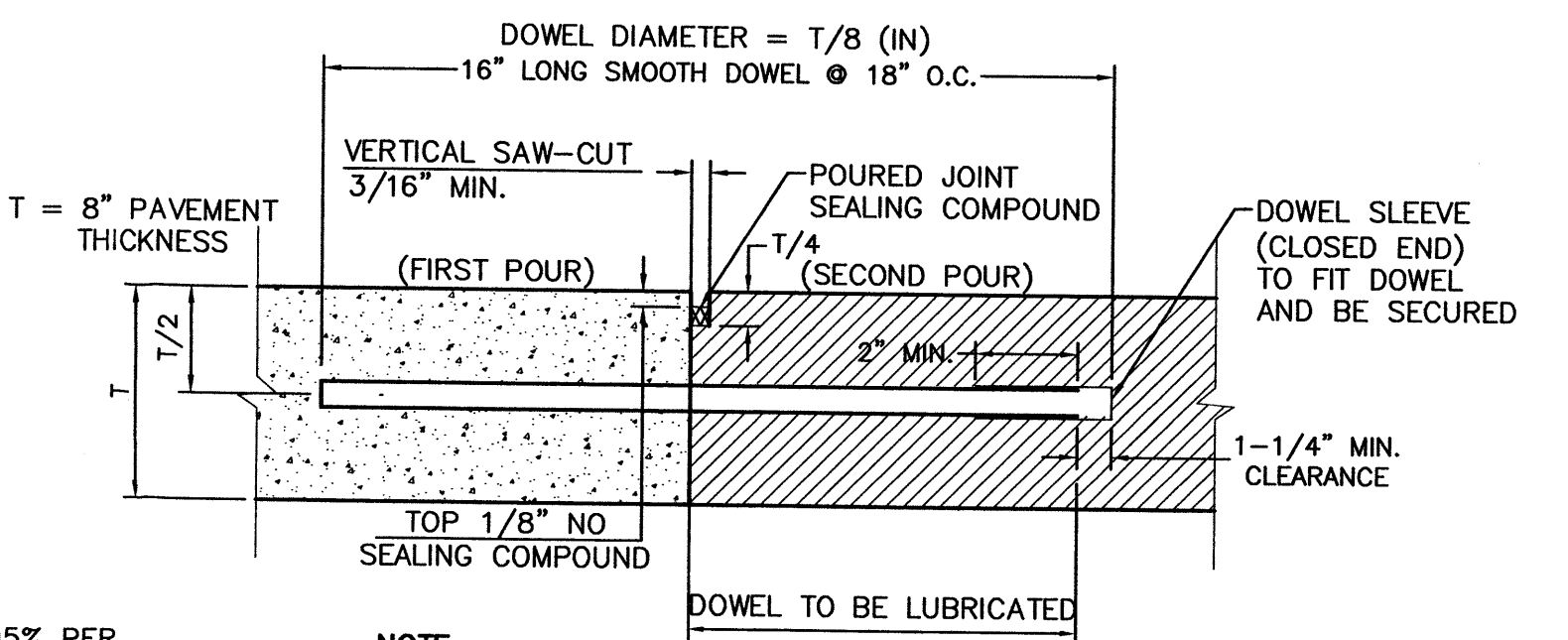


- NOTE:
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

**TRANSVERSE EXPANSION JOINT**

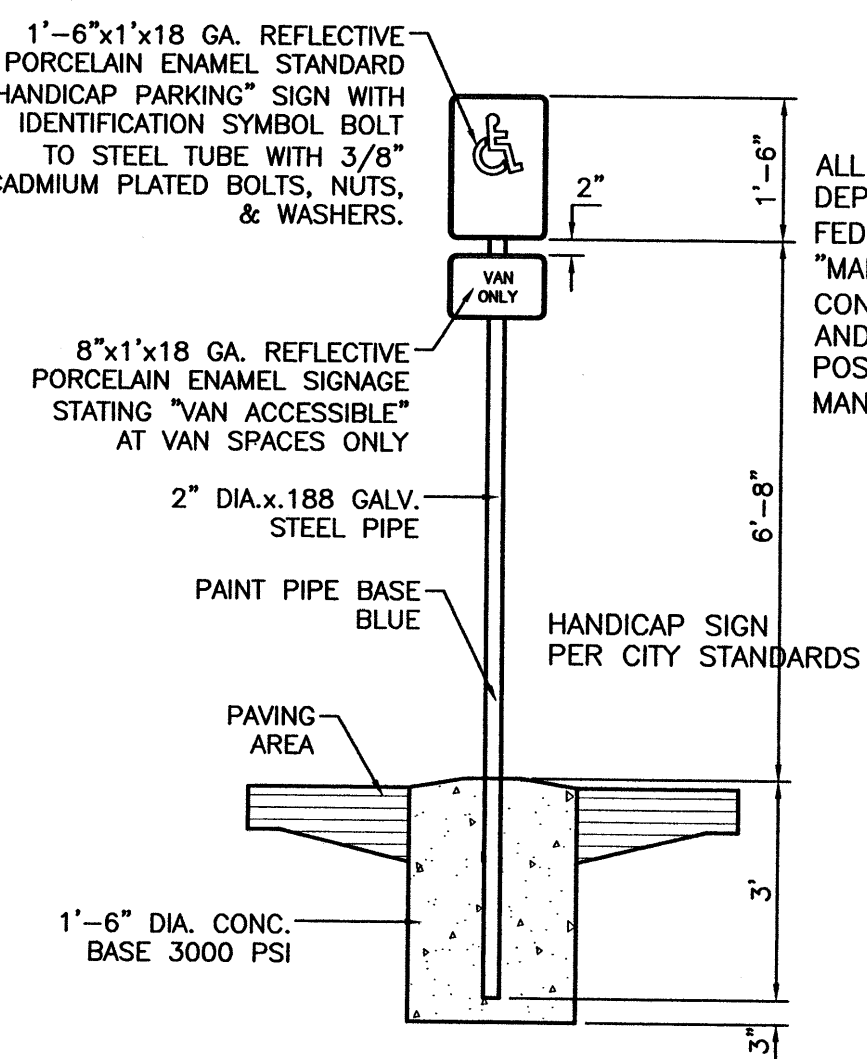


**CONTRACTION JOINT**



- NOTE:
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

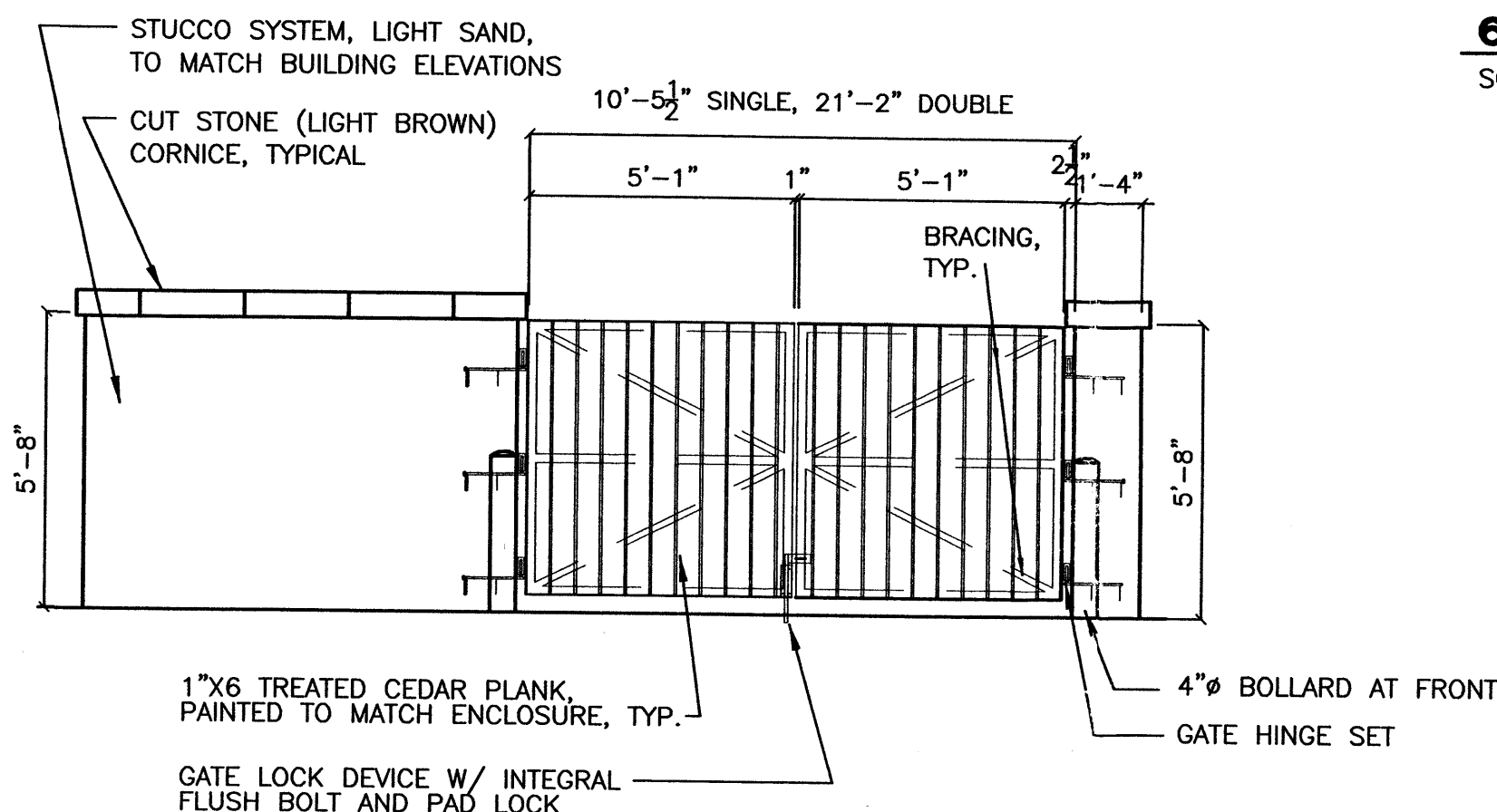
**CONSTRUCTION JOINT**



ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

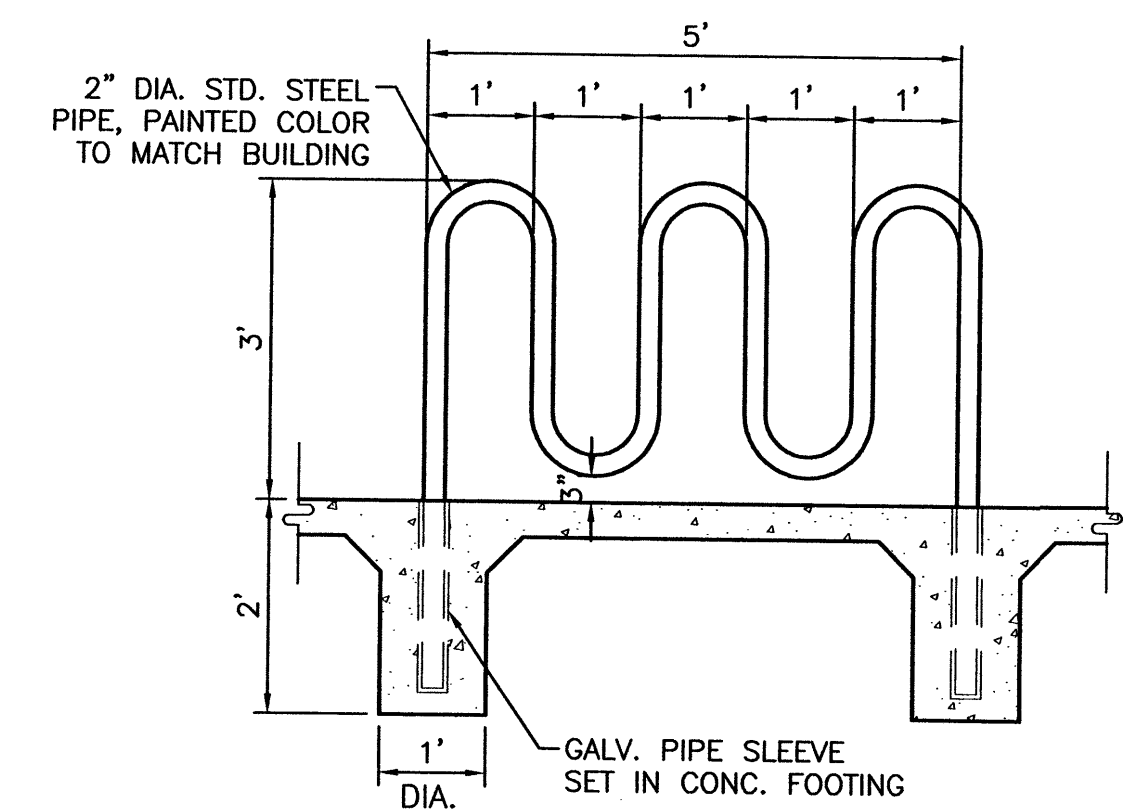
**HANDICAP SIGN**

SCALE: 1/2"=1'



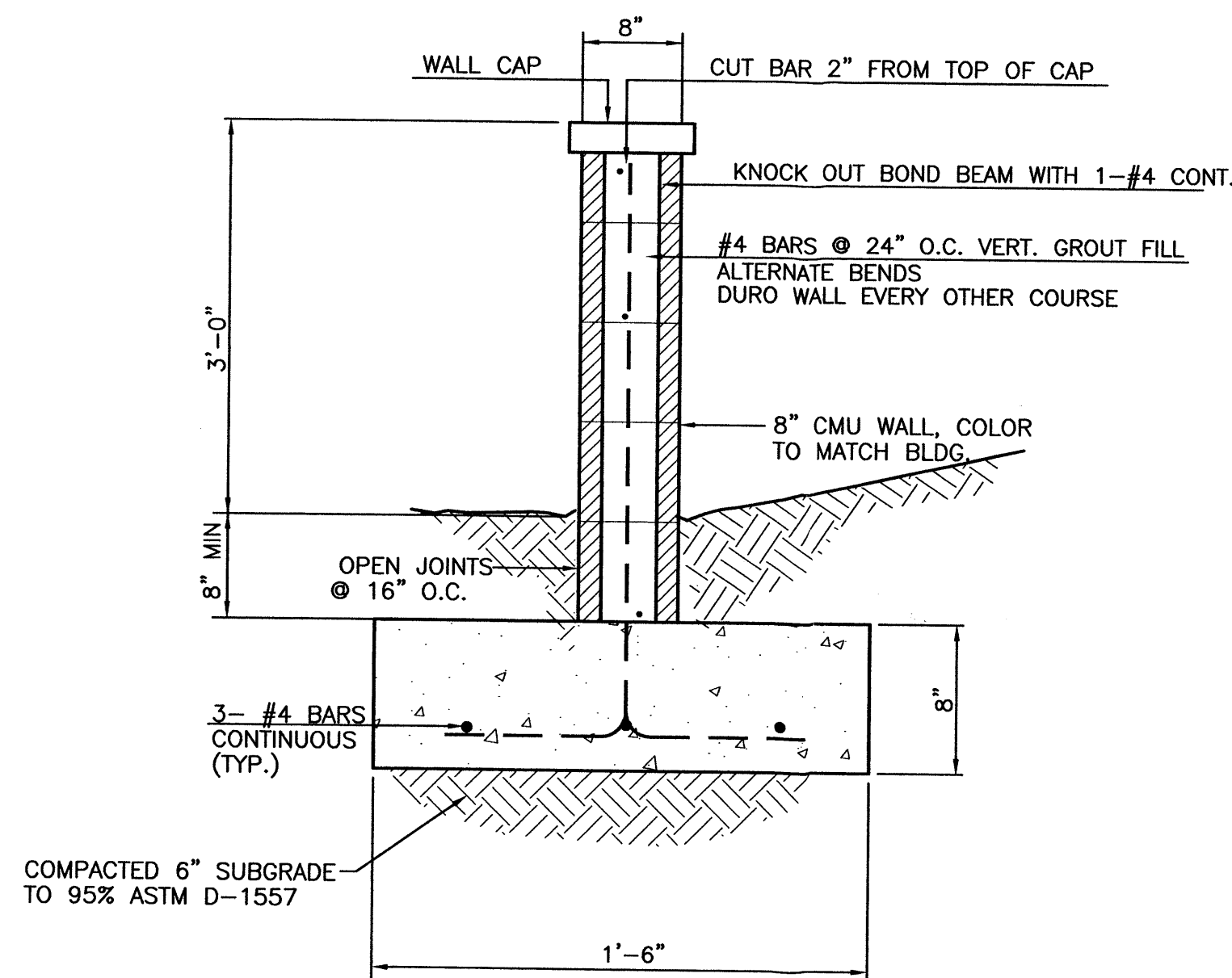
**REFUSE ENCLOSURE ELEVATION**

SCALE: 1"=10'



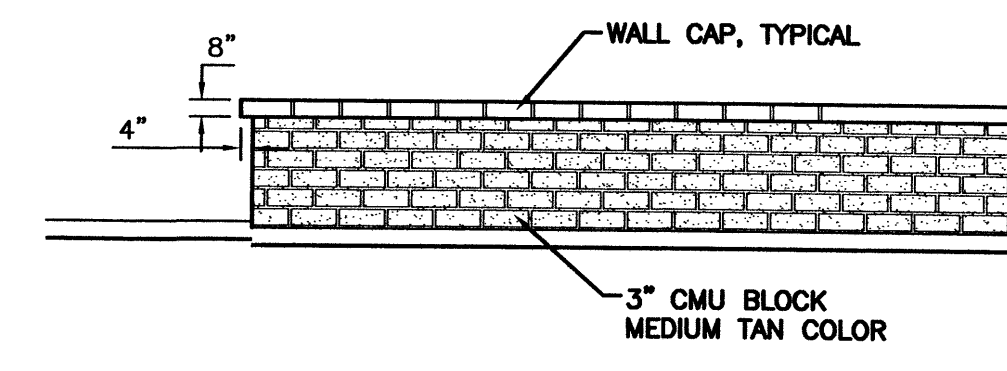
**BIKE RACK DETAIL**

SCALE: 1/2"=1'



**3' SCREEN WALL SECTION**

NTS



SEE SITE PLAN FOR HEIGHT OF WALL

**SCREEN WALL DETAIL (TYP.)**

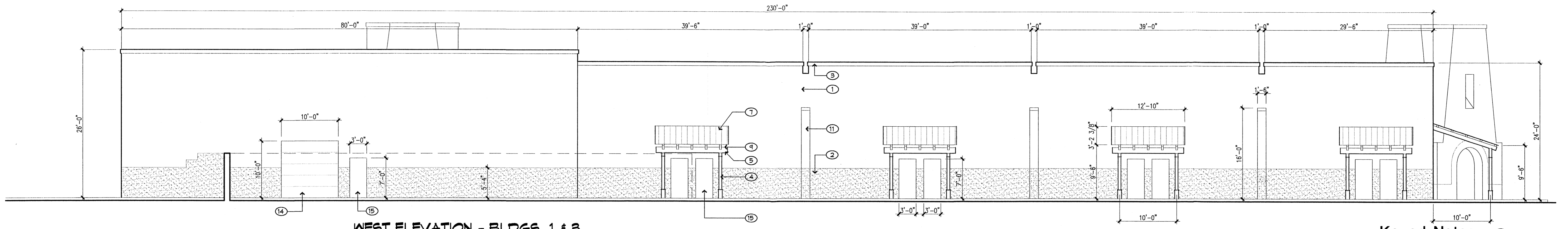
NTS

**GENERAL NOTES:**

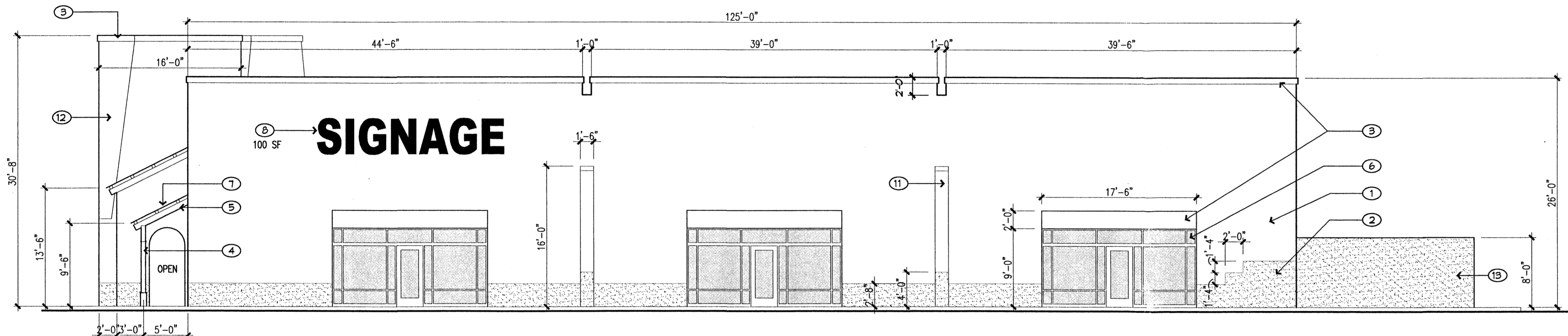
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

	<b>QUAIL RIDGE SHOPPING CENTER</b>	DRAWN BY BDG
	<b>DETAILS</b>	DATE 09/30/03 2296-DETAILS.DWG
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>C7</b>	JOB # 220096

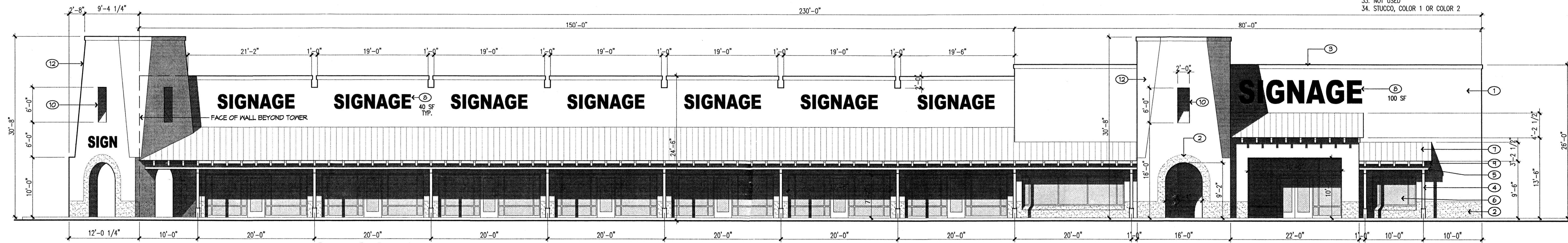




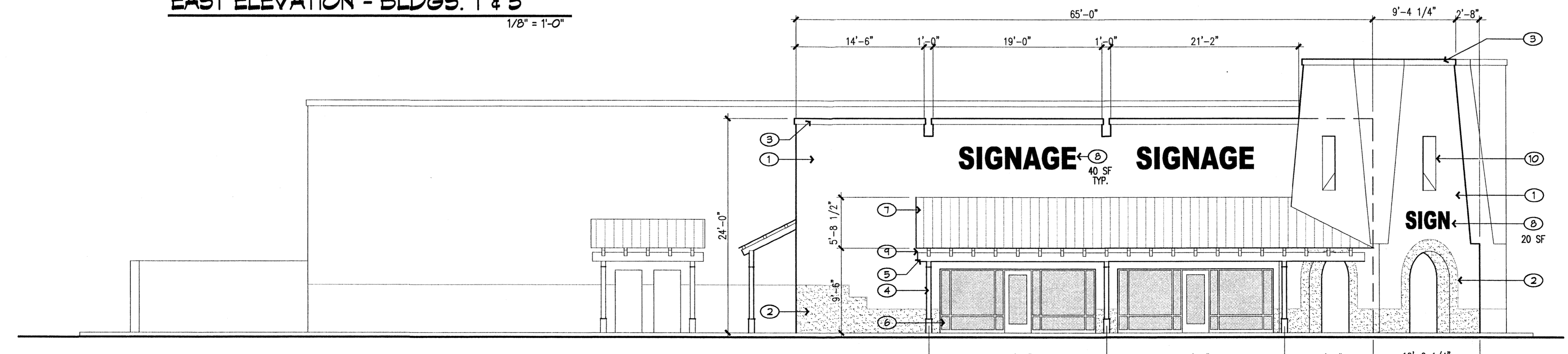
**WEST ELEVATION - BLDGS. 1 & 3**  
1/8" = 1'-0"



**NORTH ELEVATION - BLDGS. 1 & 3**  
1/8" = 1'-0"



**EAST ELEVATION - BLDGS. 1 & 3**  
1/8" = 1'-0"



**SOUTH ELEVATION - BLDGS. 1 & 3**  
1/8" = 1'-0"

**General Notes**

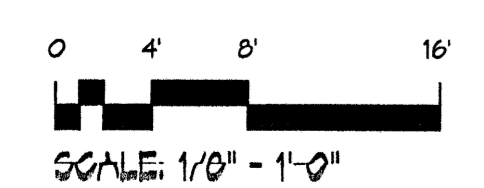
1. ALL BUILDING SIGNAGE SHALL COMPLY WITH C-2 SIGN REGULATIONS, 5' HIGH MAX
  - 10% OF WALL AREA ON SIDES FACING COORS
  - 10% OF WALL AREA ON SIDES FACING QUAIL
  - 10% OF WALL AREA ON SIDES FACING OURAY
  - 10% OF WALL AREA ON SIDES FACING 57TH
2. PARAPETS SHALL BE AT LEAST AS HIGH AS THE TOP OF THE TALLEST ROOFTOP MECHANICAL EQUIPMENT, OR STUCCOED ROOF MOUNTED SCREENS SHALL BE PROVIDED AT LEAST AS HIGH AS THE TOP OF THE EQUIPMENT THEY SCREEN
3. DOOR AND WINDOW OPENINGS SHALL BE RECESSED AT LEAST 4" FROM THE FACE OF THE ADJACENT WALL SURFACE.
4. 3' HIGH SCREEN WALLS AT PARKING AREA PERIMETER (SHOWN ON SITE PLAN) SHALL BE STUCCOED COLOR 2

**Exterior Finishes**

1. Stucco 1: Field Color: STO "Pueblo"
2. Stucco 2: Accent Color: STO "Adobe Brown"
3. Stucco 3: Parapets and Lintels: STO "Marble White"
4. Columns and Portal Structure: Steel painted Benjamin Moore "White"
5. Painted Trim (rafter tails, etc): Benjamin Moore "White"
6. Ornamental Metal Fencing/Site Furniture: Benjamin Moore "White"
7. Metal Roofing: Berridge "R" Panel, "Galvalum" finish
8. Special Paving: Concrete paving scored at 24" oc with integral color. Color: Davis, Baja Red

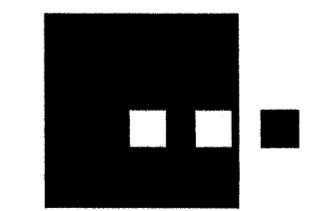
**Keyed Notes**

1. STUCCO WALL SURFACE, COLOR 1
2. STUCCO WAINSCOT AND TRIM, COLOR 2
3. STUCCO PARAPET CAPS AND LINTELS, COLOR 3
4. STEEL TUBE COLUMNS WITH BAR AND PLATE DETAILS, PAINTED WHITE
5. OPEN FRAME STEEL TUBE PORTAL STRUCTURE, PAINTED WHITE
6. ALUMINUM STOREFRONT, WHITE FINISH, WITH CLEAR GLASS
7. METAL ROOFING, GALVALUM FINISH
8. SURFACE MOUNTED, INTERNALLY LIT SIGNAGE: INDIVIDUAL METAL CHANNEL LETTERS WITH ACRYLIC FACES. EXPOSED RACEWAYS ARE NOT ALLOWED. BOX SIGNS ARE NOT ALLOWED EXCEPT FOR LOGOS.
9. SHIELDED INDIRECT FLOURESCENT LIGHTING ON TOP OF PORTAL BEAMS.
10. 12" DEEP RECESSED DECORATIVE OPENING
11. 4" DEEP PILASTER WITH FINISHES TO MATCH ADJACENT WALL SURFACE
12. TAPERING CHAMFERED CORNERS ON TOWER ELEMENTS.
13. STUCCOED SCREEN WALL, COLOR 2
14. OVERHEAD DOOR, PAINTED WHITE
15. HOLLOW METAL DOOR AND FRAME, PAINTED WHITE
16. EXPOSED TIMBER FRAME.
17. CLAY TILE ROOFING
18. CULTURED STONE
19. WINDOW FRAME, PAINTED.
20. WOOD SHUTTERS, PAINTED.
21. CANVAS AWNING
22. METAL GUTTER AND DOWNSPOUT
23. METAL PARAPET CAP
24. NEON SIGNAGE
25. LIGHT FIXTURE
26. NOT USED
27. TILE SIGNAGE WITH NEON LETTERING
28. SIGNAGE, PAINTED.
29. NOT USED
30. COMPOSITION SHINGLE ROOFING.
31. WOOD GATE
32. CULTURED STONE COLUMNS WITH WOOD FENCE.
33. NOT USED
34. STUCCO, COLOR 1 OR COLOR 2



# Quail Plaza

Site Development Plan  
for Building Permit  
DRB Package

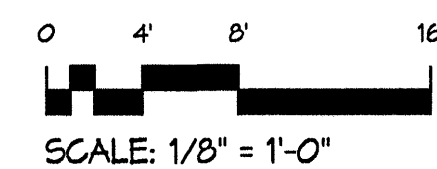
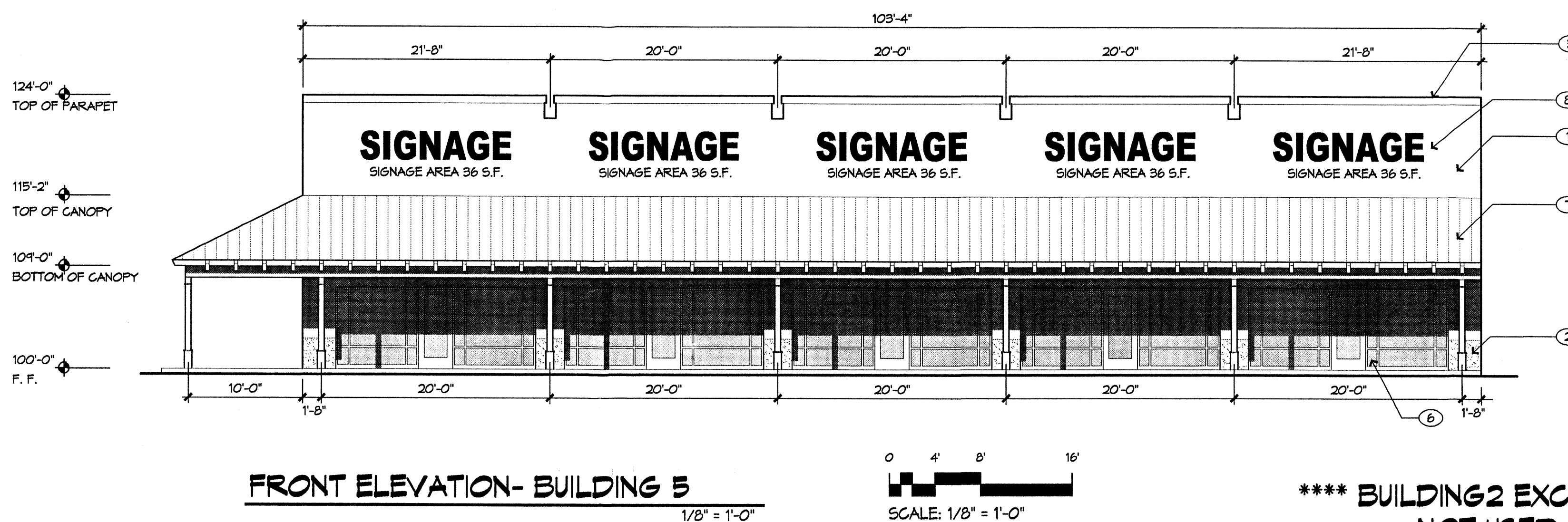
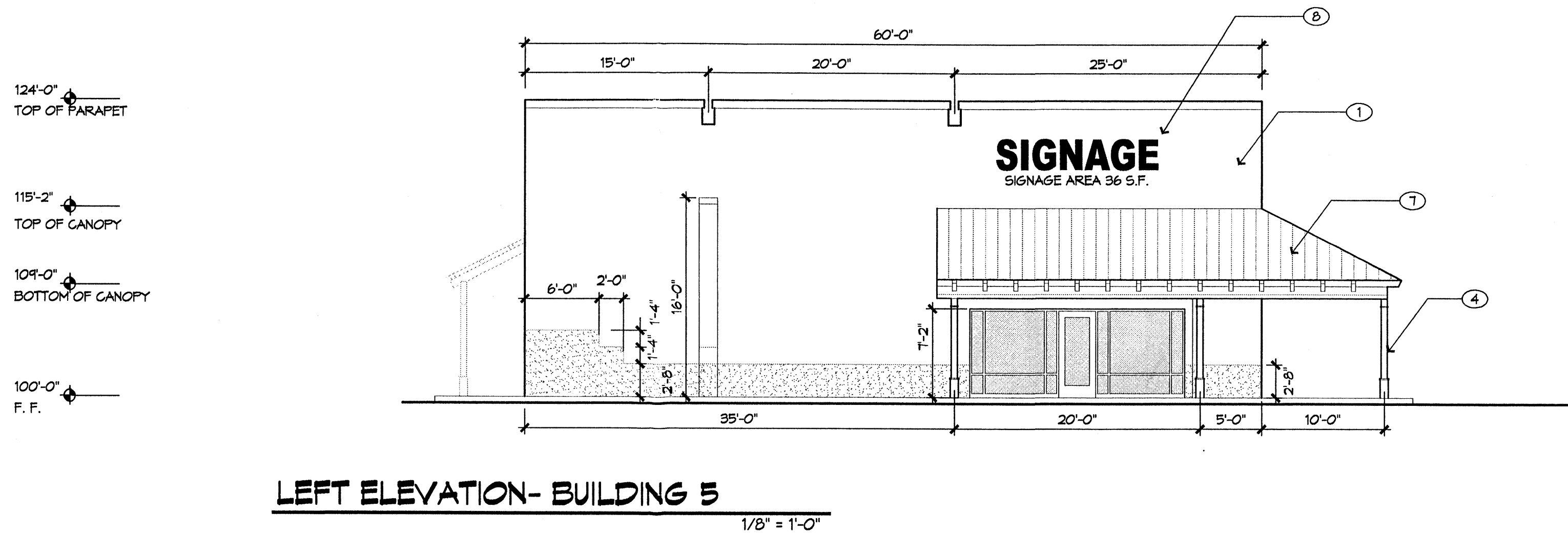
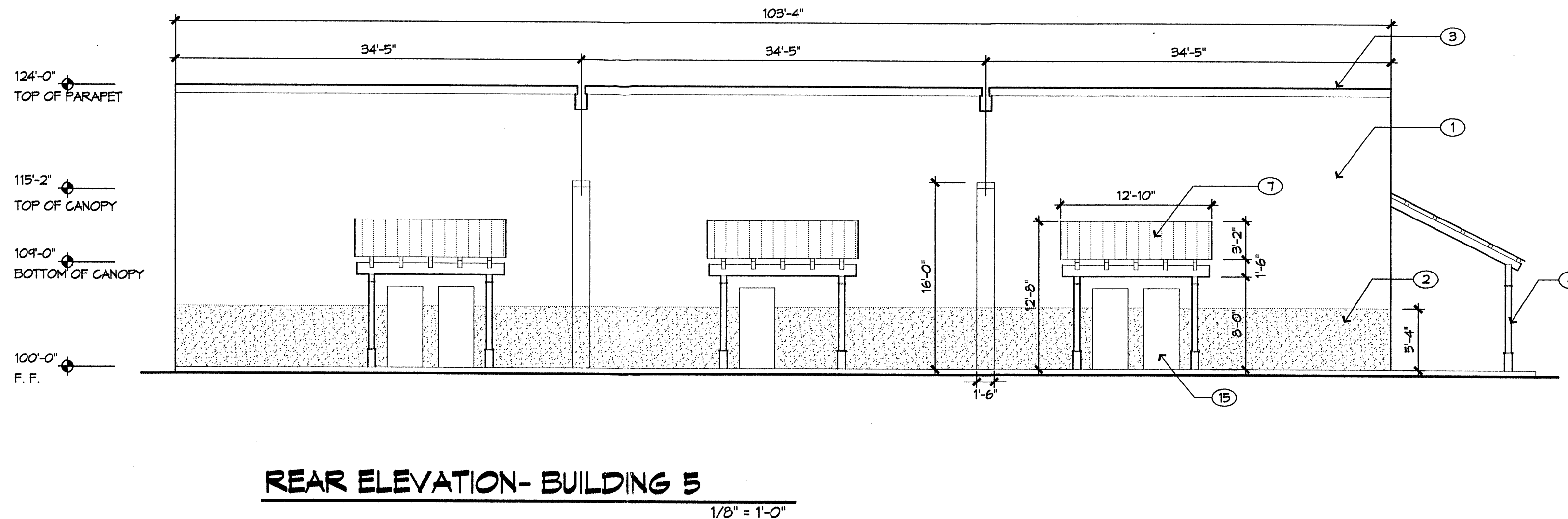
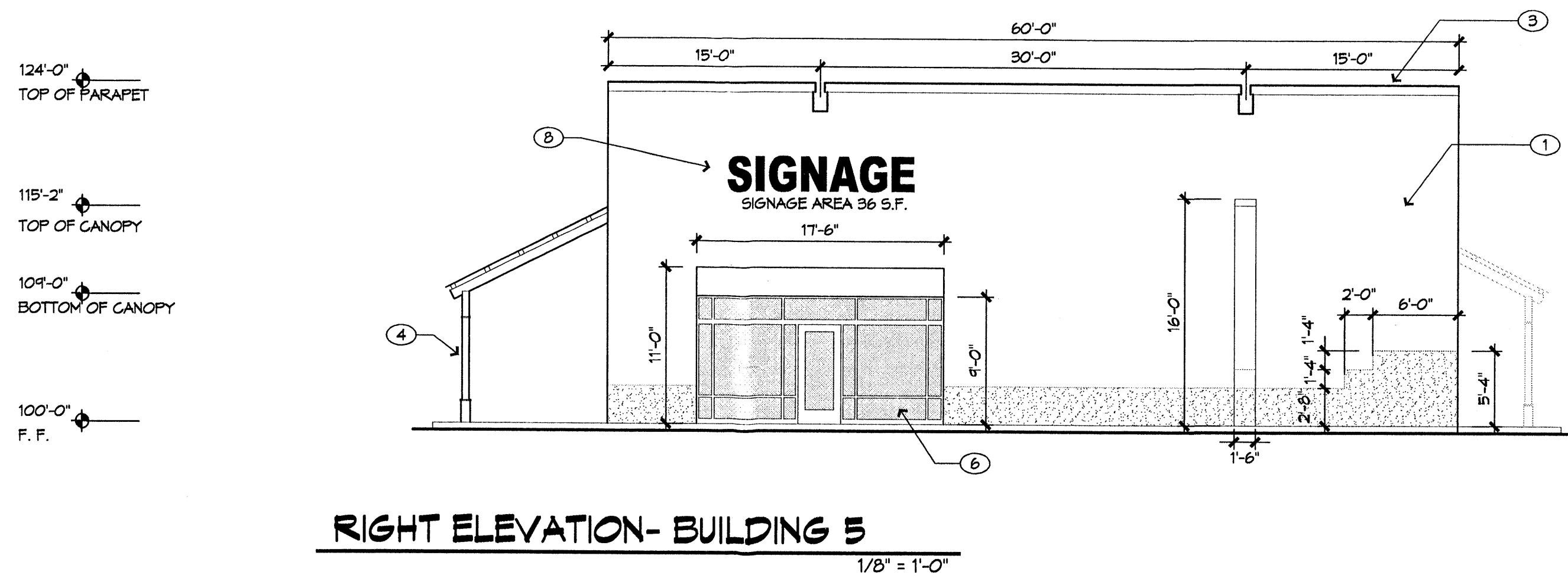


## Dekker/Perich/Sabatini

architecture ■ interiors ■ planning ■ engineering  
6801 Jefferson NE, Suite 100 Albuquerque, NM 87109  
505 761-9700 fax 761-4222

03009 August 26, 2003





**General Notes**

- ALL BUILDING SIGNAGE SHALL COMPLY WITH C-2 SIGN REGULATIONS, 5' HIGH MAX
  - 10% OF WALL AREA ON SIDES FACING COORS
  - 10% OF WALL AREA ON SIDES FACING QUAIL
  - 10% OF WALL AREA ON SIDES FACING OURAY
  - 10% OF WALL AREA ON SIDES FACING 57TH
- PARAPETS SHALL BE AT LEAST AS HIGH AS THE TOP OF THE TALLEST ROOFTOP MECHANICAL EQUIPMENT, OR STUCCOED ROOF MOUNTED SCREENS SHALL BE PROVIDED AT LEAST AS HIGH AS THE TOP OF THE EQUIPMENT THEY SCREEN
- DOOR AND WINDOW OPENINGS SHALL BE RECESSED AT LEAST 4" FROM THE FACE OF THE ADJACENT WALL SURFACE.
- 3' HIGH SCREEN WALLS AT PARKING AREA PERIMETER (SHOWN ON SITE PLAN) SHALL BE STUCCOED COLOR 2

**Keyed Notes**

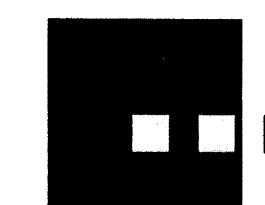
- STUCCO WALL SURFACE, COLOR 1
- STUCCO WAINSCOT AND TRIM, COLOR 2
- STUCCO PARAPET CAPS AND LINTELS, COLOR 3
- STEEL TUBE COLUMNS WITH BAR AND PLATE DETAILS, PAINTED WHITE
- OPEN FRAME STEEL TUBE PORTAL STRUCTURE, PAINTED WHITE
- ALUMINUM STOREFRONT, WHITE FINISH, WITH CLEAR GLASS
- METAL ROOFING, GALVALUM FINISH
- SURFACE MOUNTED, INTERNALLY LIT SIGNAGE; INDIVIDUAL METAL CHANNEL LETTERS WITH ACRYLIC FACES. EXPOSED RACEWAYS ARE NOT ALLOWED. BOX SIGNS ARE NOT ALLOWED EXCEPT FOR LOGOS.
- SHIELDED INDIRECT FLOURESCENT LIGHTING ON TOP OF PORTAL BEAMS.
- 12" DEEP RECESSED DECORATIVE OPENING
- 4" DEEP PILASTER WITH FINISHES TO MATCH ADJACENT WALL SURFACE
- TAPERING CHAMFERED CORNERS ON TOWER ELEMENTS.
- STUCCOED SCREEN WALL, COLOR 2
- OVERHEAD DOOR, PAINTED WHITE
- HOLLOW METAL DOOR AND FRAME, PAINTED WHITE
- EXPOSED TIMBER FRAME.
- CLAY TILE ROOFING
- CULTURED STONE
- WINDOW FRAME, PAINTED.
- WOOD SHUTTERS, PAINTED.
- CANVAS AWNING
- METAL GUTTER AND DOWNSPOUT
- METAL PARAPET CAP
- NEON SIGNAGE
- LIGHT FIXTURE
- NOT USED
- TILE SIGNAGE WITH NEON LETTERING
- SIGNAGE, PAINTED.
- NOT USED
- COMPOSITION SHINGLE ROOFING.
- WOOD GATE
- CULTURED STONE COLUMNS WITH WOOD FENCE.
- NOT USED
- STUCCO, COLOR 1 OR COLOR 2

**Exterior Finishes**

- Stucco 1: Field Color: STO "Pueblo"
- Stucco 2: Accent Color: STO "Adobe Brown"
- Stucco 3: Parapets and Lintels: STO "Marble White"
- Columns and Portal Structure: Steel painted Benjamin Moore "White"
- Painted Trim (rafter tails, etc): Benjamin Moore "White"
- Ornamental Metal Fencing/Site Furniture: Benjamin Moore "White"
- Metal Roofing: Berridge "R" Panel, "Galvalum" finish
- Special Paving: Concrete paving scored at 24" oc with integral color. Color: Davis, Baja Red

**Quail Plaza**

Site Development Plan  
for Building Permit  
DRB Package



**Dekker/Perich/Sabatini**  
architecture ■ interiors ■ planning ■ engineering

6801 Jefferson NE, Suite 100 Albuquerque, NM 87109  
505 761-9700 fax 761-4222

03009

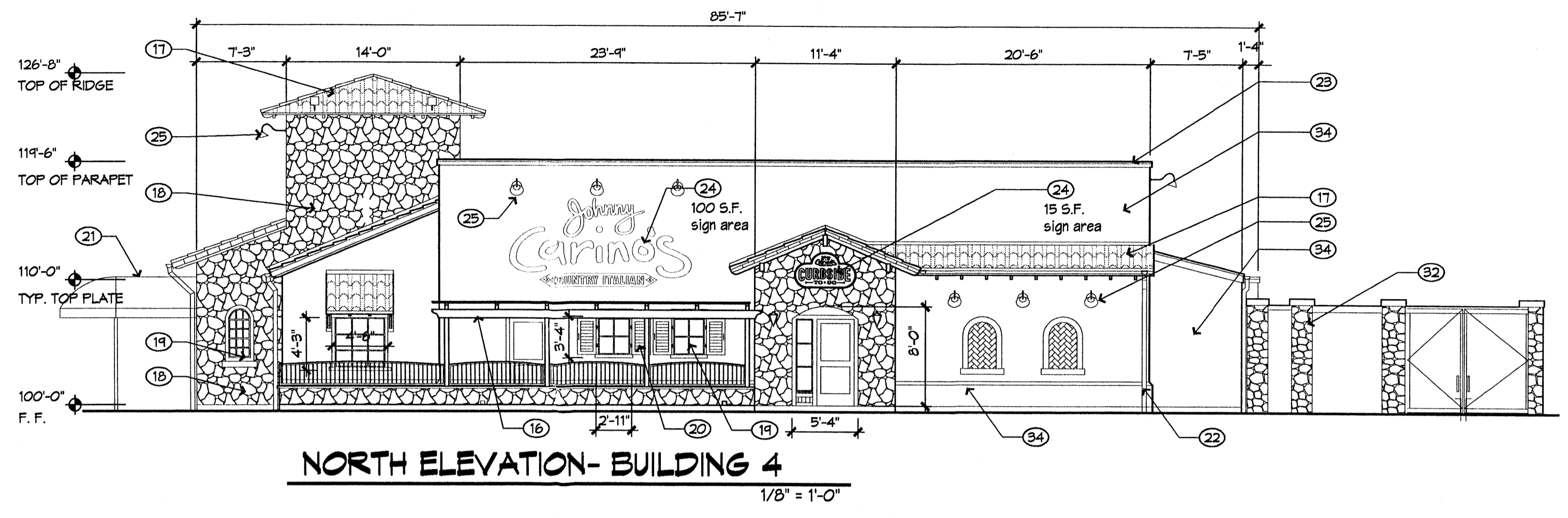
August 26, 2003

Sheet

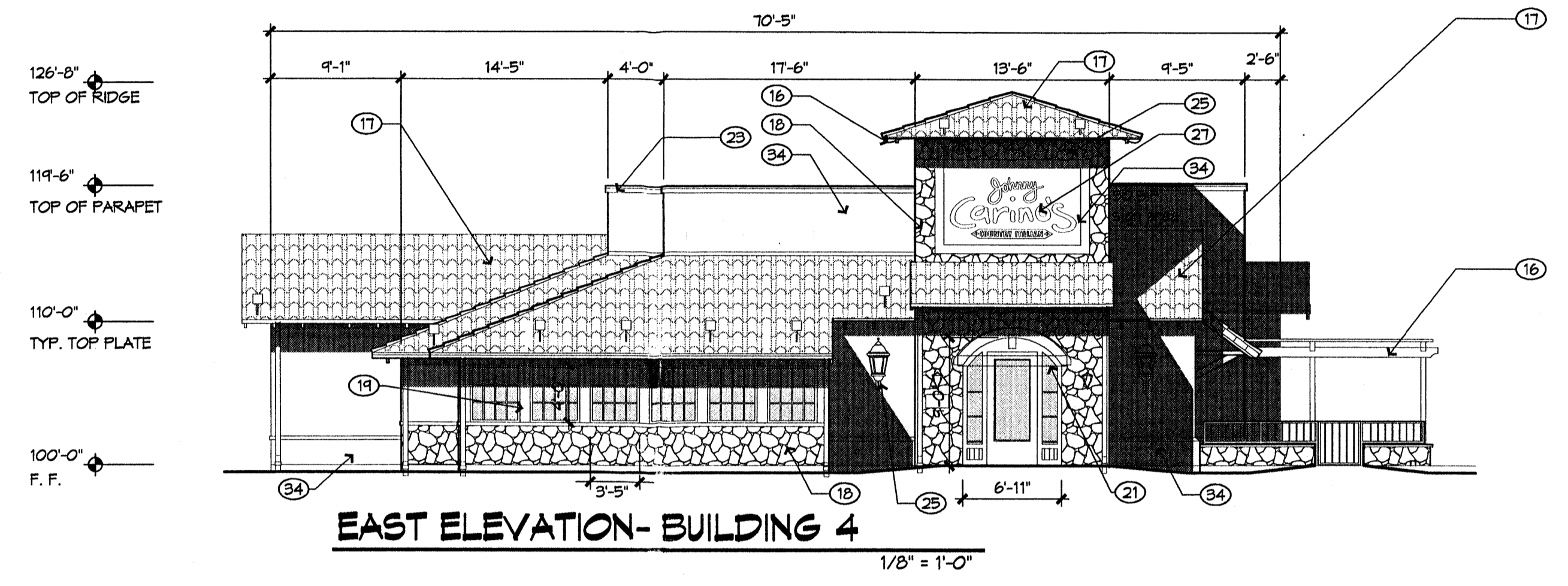
9 of 11

\*\*\*\* BUILDING 2 EXCLUDED \*\*\*\*  
NOT USED

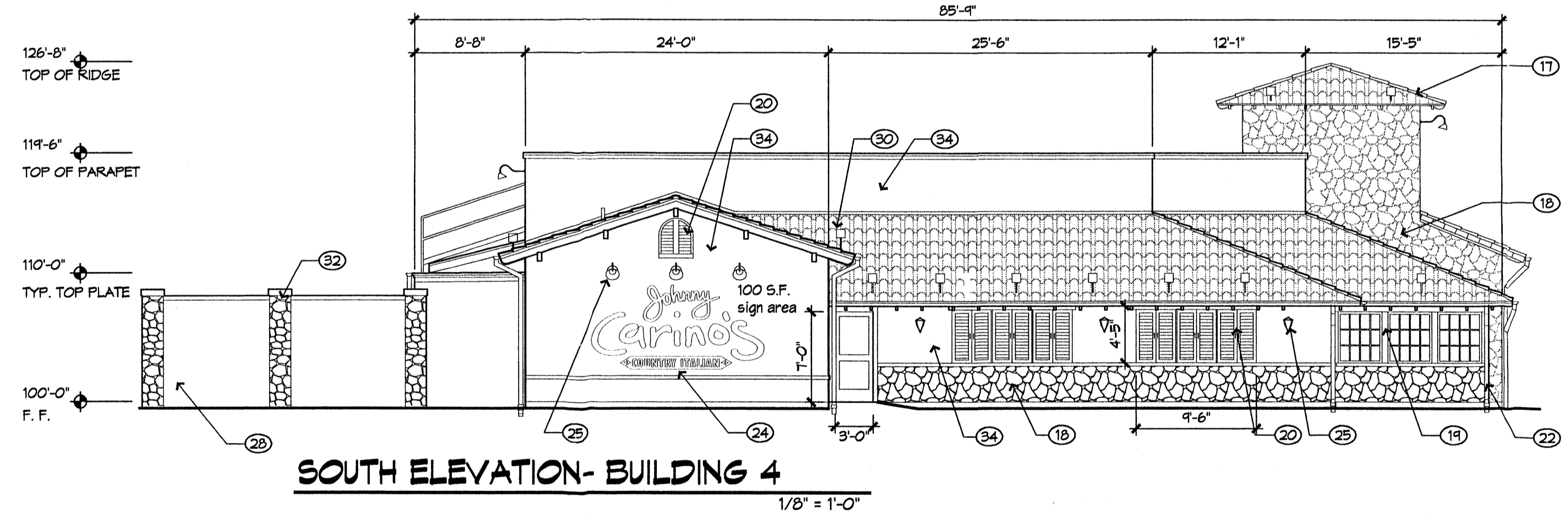




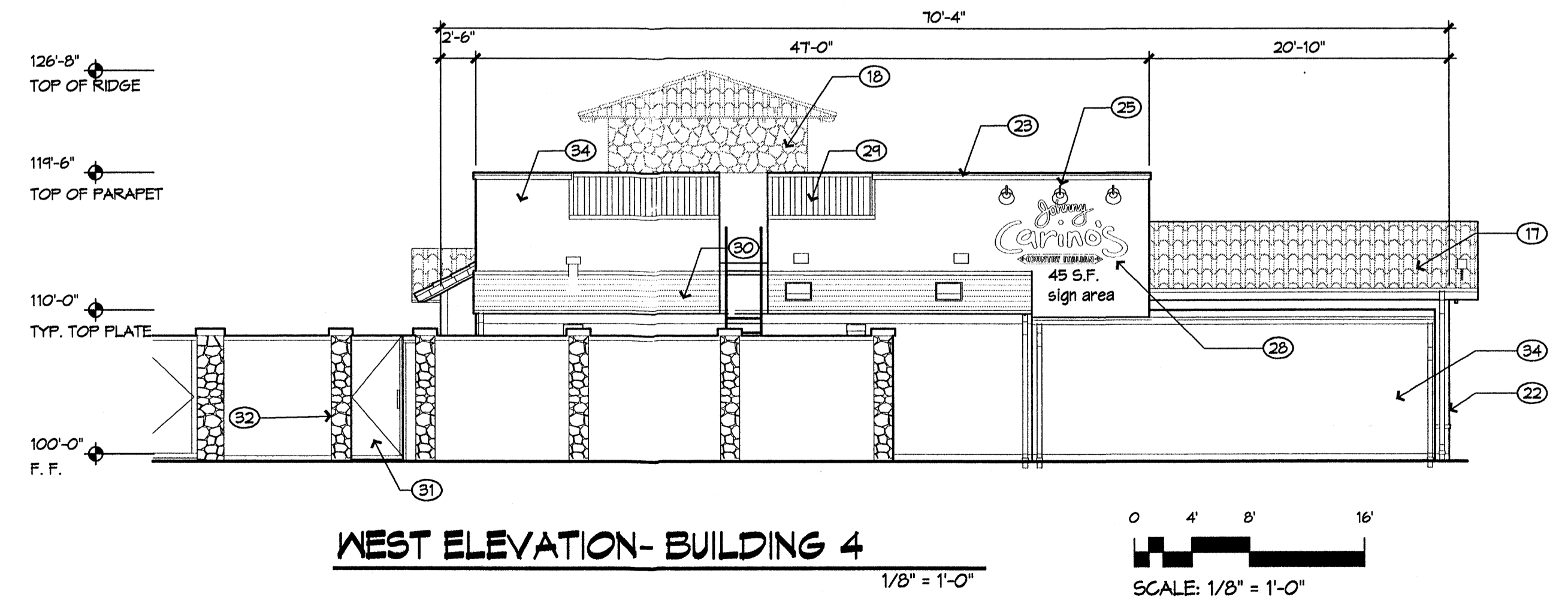
**NORTH ELEVATION- BUILDING 4**  
1/8" = 1'-0"



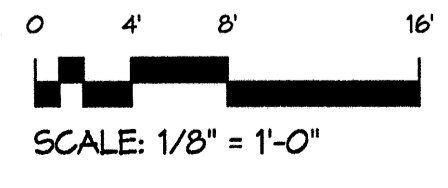
**EAST ELEVATION- BUILDING 4**  
1/8" = 1'-0"



**SOUTH ELEVATION- BUILDING 4**  
1/8" = 1'-0"



**WEST ELEVATION- BUILDING 4**  
1/8" = 1'-0"



**General Notes**

1. ALL BUILDING SIGNAGE SHALL COMPLY WITH C-2 SIGN REGULATIONS, 5' HIGH MAX
  - 10% OF WALL AREA ON SIDES FACING COORS
  - 10% OF WALL AREA ON SIDES FACING QUAIL
  - 10% OF WALL AREA ON SIDES FACING OURAY
  - 10% OF WALL AREA ON SIDES FACING 57TH
2. PARAPETS SHALL BE AT LEAST AS HIGH AS THE TOP OF THE TALLEST ROOFTOP MECHANICAL EQUIPMENT, OR STUCCOED ROOF MOUNTED SCREENS SHALL BE PROVIDED AT LEAST AS HIGH AS THE TOP OF THE EQUIPMENT THEY SCREEN
3. DOOR AND WINDOW OPENINGS SHALL BE RECESSED AT LEAST 4" FROM THE FACE OF THE ADJACENT WALL SURFACE.
4. 3' HIGH SCREEN WALLS AT PARKING AREA PERIMETER (SHOWN ON SITE PLAN) SHALL BE STUCCOED COLOR 2

**Keyed Notes** ← ○

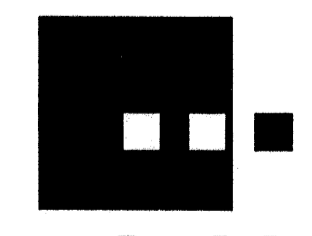
1. STUCCO WALL SURFACE, COLOR 1
2. STUCCO WAINSCOT AND TRIM, COLOR 2
3. STUCCO PARAPET CAPS AND LINTELS, COLOR 3
4. STEEL TUBE COLUMNS WITH BAR AND PLATE DETAILS, PAINTED WHITE
5. OPEN FRAME STEEL TUBE PORTAL STRUCTURE, PAINTED WHITE
6. ALUMINUM STOREFRONT, WHITE FINISH, WITH CLEAR GLASS
7. METAL ROOFING, GALVALUM FINISH
8. SURFACE MOUNTED, INTERNALLY LIT SIGNAGE: INDIVIDUAL METAL CHANNEL LETTERS WITH ACRYLIC FACES. EXPOSED RACEWAYS ARE NOT ALLOWED. BOX SIGNS ARE NOT ALLOWED EXCEPT FOR LOGOS.
9. SHIELDED INDIRECT FLOURESCENT LIGHTING ON TOP OF PORTAL BEAMS.
10. 12" DEEP RECESSED DECORATIVE OPENING
11. 4" DEEP PLASTER WITH FINISHES TO MATCH ADJACENT WALL SURFACE
12. TAPERING CHAMFERED CORNERS ON TOWER ELEMENTS.
13. STUCCOED SCREEN WALL, COLOR 2
14. OVERHEAD DOOR, PAINTED WHITE
15. HOLLOW METAL DOOR AND FRAME, PAINTED WHITE
16. EXPOSED TIMBER FRAME.
17. CLAY TILE ROOFING
18. CULTURED STONE
19. WINDOW FRAME, PAINTED.
20. WOOD SHUTTERS, PAINTED.
21. CANVAS AWNING
22. METAL GUTTER AND DOWNSPOUT
23. METAL PARAPET CAP
24. NEON SIGNAGE
25. LIGHT FIXTURE
26. NOT USED
27. TILE SIGNAGE WITH NEON LETTERING
28. SIGNAGE - PAINTED.
29. NOT USED
30. COMPOSITION SHINGLE ROOFING.
31. WOOD GATE
32. CULTURED STONE COLUMNS WITH WOOD FENCE.
33. NOT USED
34. STUCCO, COLOR 1 OR COLOR 2

**Exterior Finishes**

1. Stucco 1: Field Color: STO "Pueblo"
2. Stucco 2: Accent Color: STO "Adobe Brown"
3. Stucco 3: Parapets and Lintels: STO "Marble White"
4. Columns and Portal Structure: Steel painted Benjamin Moore "White"
5. Painted Trim (rafter tails, etc): Benjamin Moore "White"
6. Ornamental Metal Fencing/Site Furniture: Benjamin Moore "White"
7. Metal Roofing: Berridge "R" Panel, "Galvalum" finish
8. Special Paving: Concrete paving scored at 24" oc with integral color. Color: Davis, Baja Red

# Quail Plaza

Site Development Plan  
for Building Permit  
DRB Package



**Dekker/Perich/Sabatini**  
architecture • interiors • planning • engineering

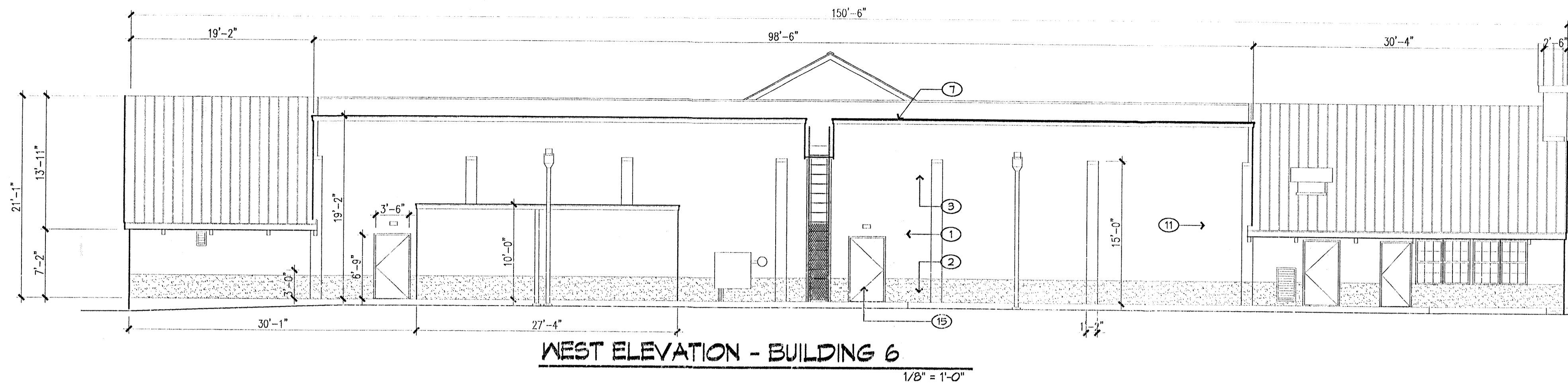
6801 Jefferson NE, Suite 100  
Albuquerque, NM 87109

505 761-9700  
fax 761-4222

03009

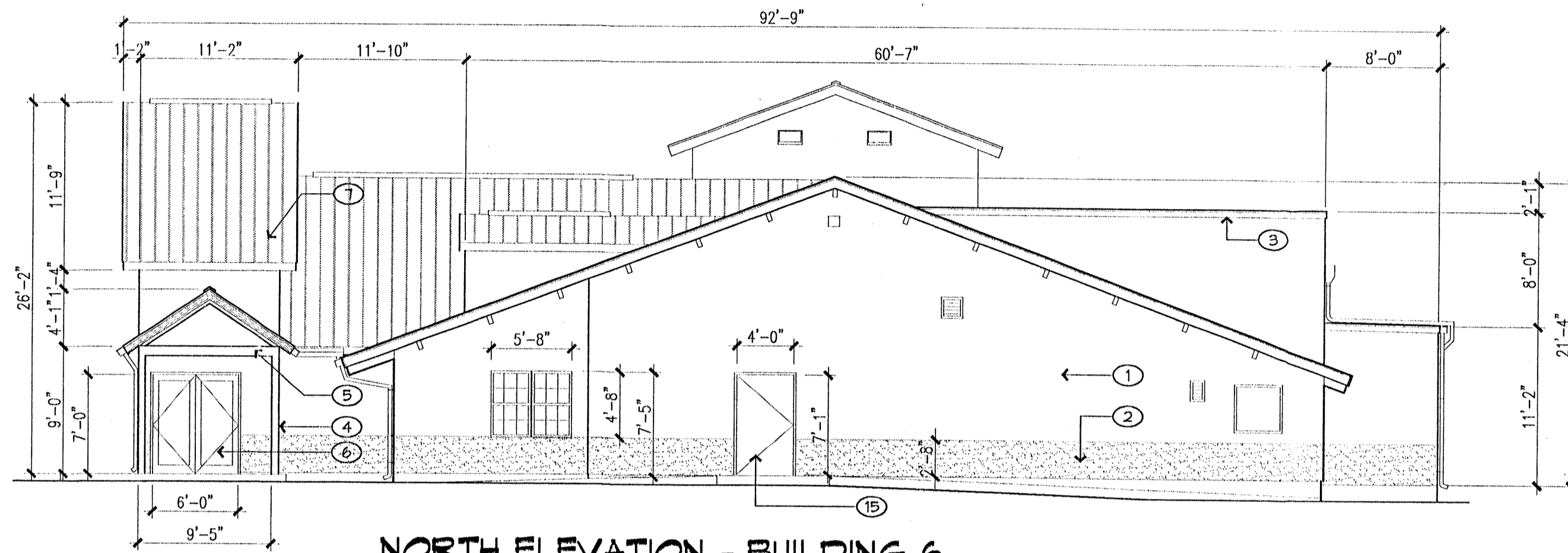
August 26, 2003





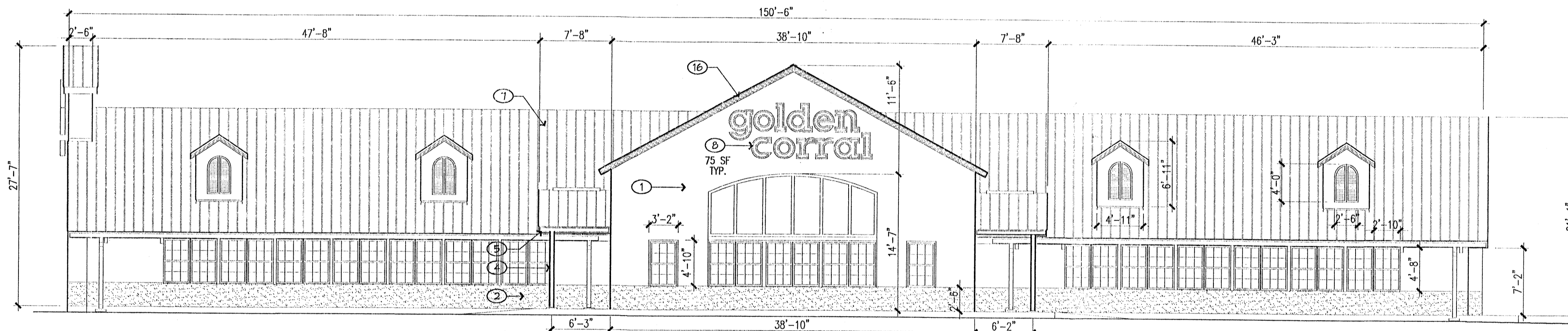
WEST ELEVATION - BUILDING 6

1/8" = 1'-0"



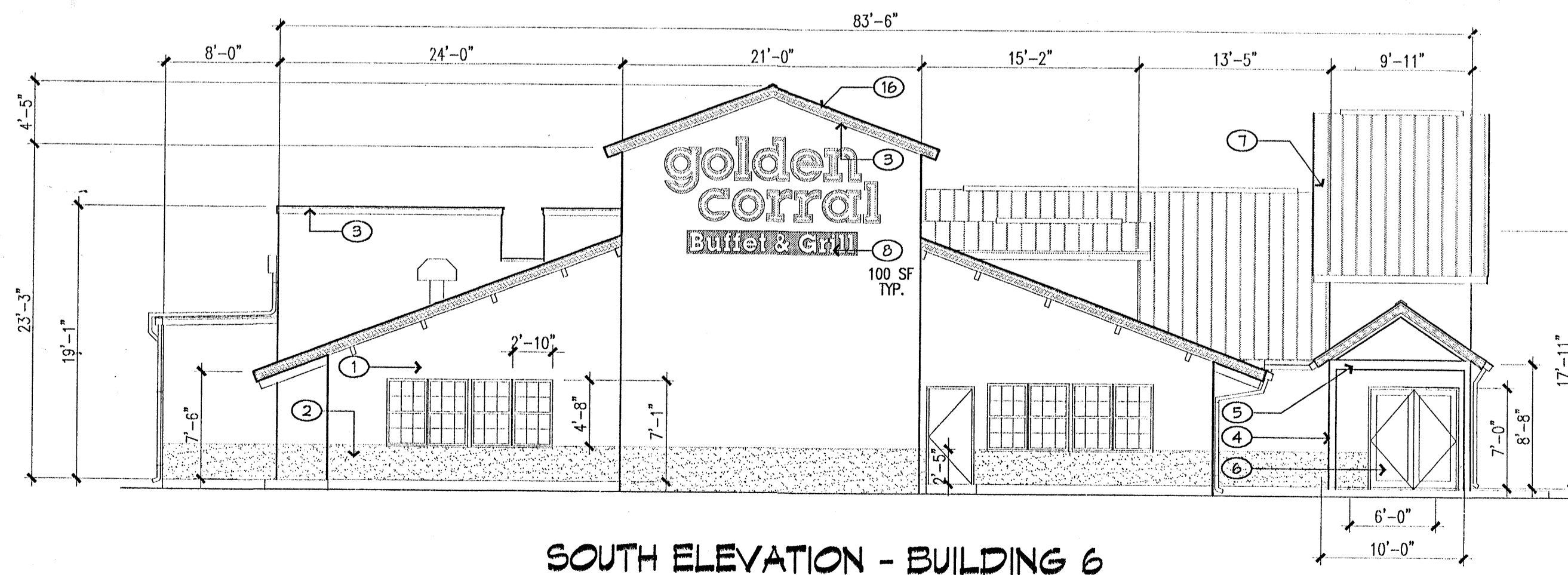
NORTH ELEVATION - BUILDING 6

1/8" = 1'-0"



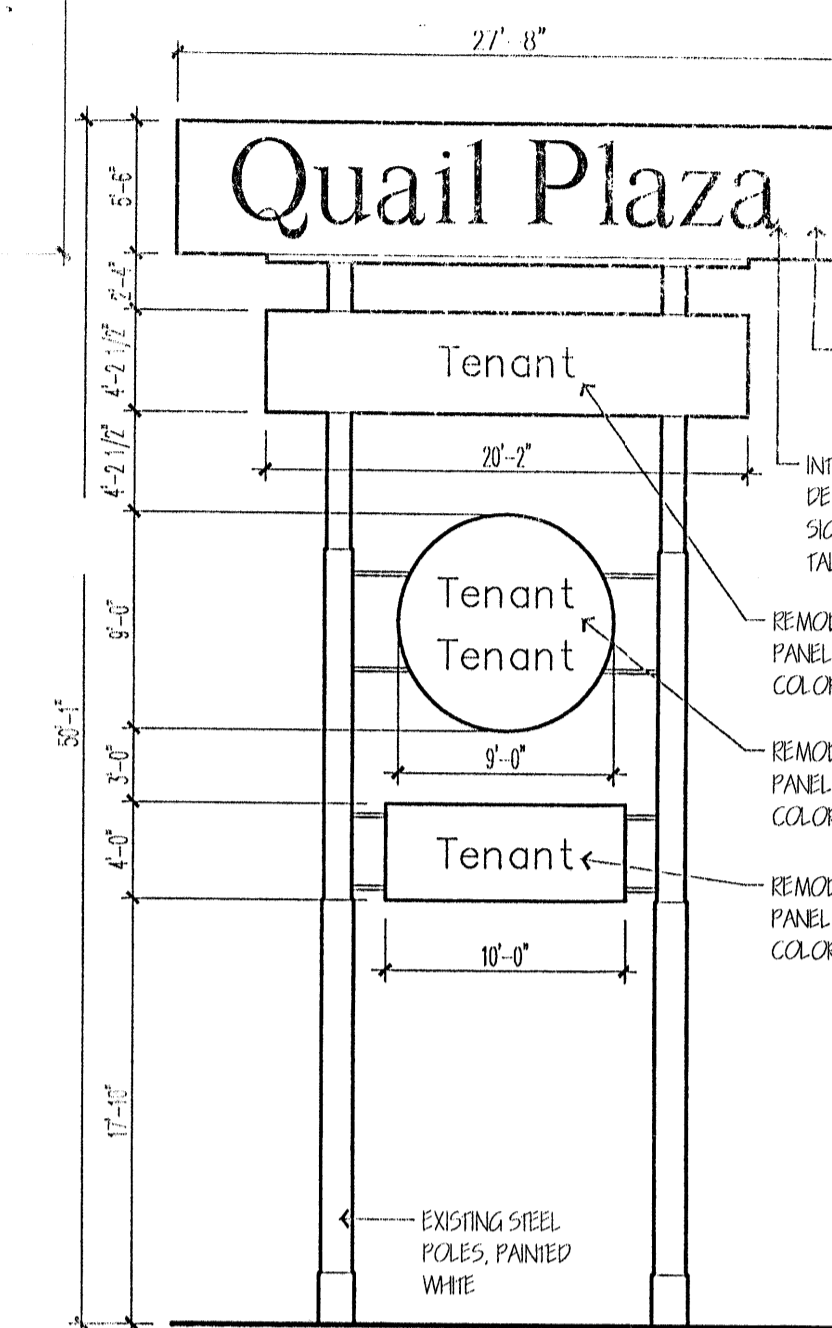
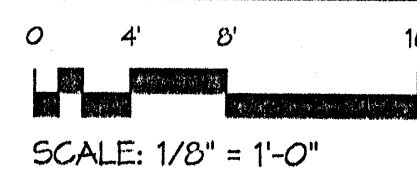
EAST ELEVATION - BUILDING 6

1/8" = 1'-0"



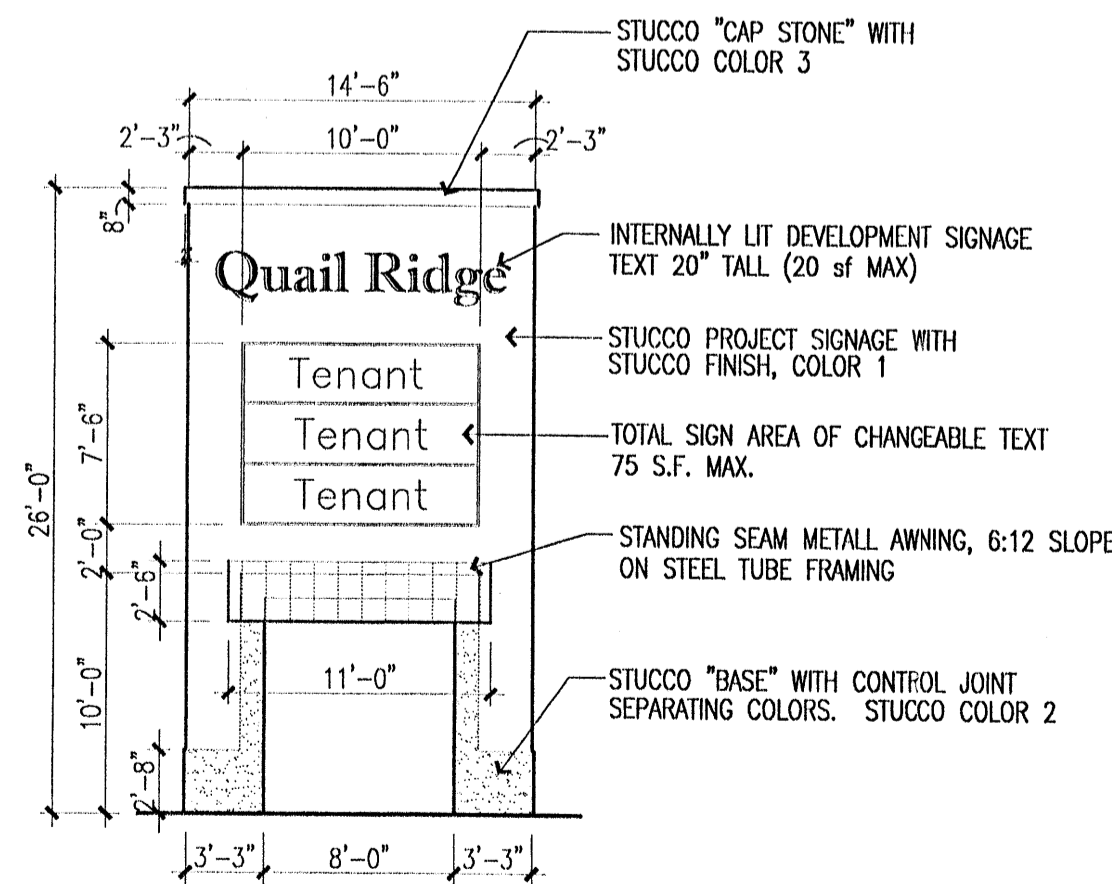
SOUTH ELEVATION - BUILDING 6

1/8" = 1'-0"



REFURBISHED EXISTING SIGN

1/8" = 1'-0"



TYPICAL PROJECT SIGN

1/8" = 1'-0"

**General Notes**

- ALL BUILDING SIGNAGE SHALL COMPLY WITH C-2 SIGN REGULATIONS, 5' HIGH MAX
  - 10% OF WALL AREA ON SIDES FACING COORS
  - 10% OF WALL AREA ON SIDES FACING QUAIL
  - 10% OF WALL AREA ON SIDES FACING OURAY
  - 10% OF WALL AREA ON SIDES FACING 57TH
- PARAPETS SHALL BE AT LEAST AS HIGH AS THE TOP OF THE TALLEST ROOFTOP MECHANICAL EQUIPMENT, OR STUCCOED ROOF MOUNTED SCREENS SHALL BE PROVIDED AT LEAST AS HIGH AS THE TOP OF THE EQUIPMENT THEY SCREEN
- DOOR AND WINDOW OPENINGS SHALL BE RECESSED AT LEAST 4" FROM THE FACE OF THE ADJACENT WALL SURFACE.
- 3' HIGH SCREEN WALLS AT PARKING AREA PERIMETER (SHOWN ON SITE PLAN) SHALL BE STUCCOED COLOR 2

**Keyed Notes**

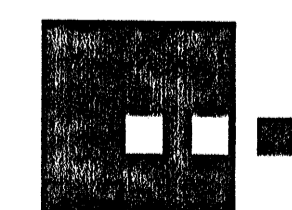
- STUCCO WALL SURFACE, COLOR 1
- STUCCO WAINSCOT AND TRIM, COLOR 2
- STUCCO PARAPET CAPS AND LINTELS, COLOR 3
- STEEL TUBE COLUMNS WITH BAR AND PLATE DETAILS, PAINTED WHITE
- OPEN FRAME STEEL TUBE PORTAL STRUCTURE, PAINTED WHITE
- ALUMINUM STOREFRONT, WHITE FINISH, WITH CLEAR GLASS
- METAL ROOFING, GALVALUM FINISH
- SURFACE MOUNTED, INTERNALLY LIT SIGNAGE: INDIVIDUAL METAL CHANNEL LETTERS WITH ACRYLIC FACES. EXPOSED RACEWAYS ARE NOT ALLOWED. BOX SIGNS ARE NOT ALLOWED EXCEPT FOR LOGOS.
- SHIELDED INDIRECT FLOURESCENT LIGHTING ON TOP OF PORTAL BEAMS.
- 12" DEEP RECESSED DECORATIVE OPENING
- 4" DEEP PILASTER WITH FINISHES TO MATCH ADJACENT WALL SURFACE
- TAPERING CHAMFERED CORNERS ON TOWER ELEMENTS.
- STUCCOED SCREEN WALL, COLOR 2
- OVERHEAD DOOR, PAINTED WHITE
- HOLLOW METAL DOOR AND FRAME, PAINTED WHITE
- EXPOSED TIMBER FRAME.
- CLAY TILE ROOFING
- CULTURED STONE
- WINDOW FRAME, PAINTED.
- WOOD SHUTTERS, PAINTED.
- CANVAS AWNING
- METAL CUTTER AND DOWNSPOUT
- METAL PARAPET CAP
- NEON SIGNAGE
- LIGHT FIXTURE
- NOT USED
- TILE SIGNAGE WITH NEON LETTERING
- SIGNAGE, PAINTED.
- NOT USED
- COMPOSITION SHINGLE ROOFING.
- WOOD GATE
- CULTURED STONE COLUMNS WITH WOOD FENCE.
- NOT USED
- STUCCO, COLOR 1 OR COLOR 2

**Exterior Finishes**

- Stucco 1: Field Color: STO "Pueblo"
- Stucco 2: Accent Color: STO "Adobe Brown"
- Stucco 3: Parapets and Lintels: STO "Marble White"
- Columns and Portal Structure: Steel painted Benjamin Moore "White"
- Painted Trim (rafter tails, etc): Benjamin Moore "White"
- Ornamental Metal Fencing/Site Furniture: Benjamin Moore "White"
- Metal Roofing: Berridge "R" Panel, "Galvalum" finish
- Special Paving: Concrete paving scored at 24" oc with integral color. Color: Davis, Baja Red

# Quail Plaza

Site Development Plan  
for Building Permit  
DRB Package



**Dekker/Perich/Sabatini**  
architecture ■ interiors ■ planning ■ engineering

6801 Jefferson NE, Suite 100  
Albuquerque, NM 87109

505 761-9700  
fax 761-4222

03009 August 26, 2003