

QUAIL RIDGE

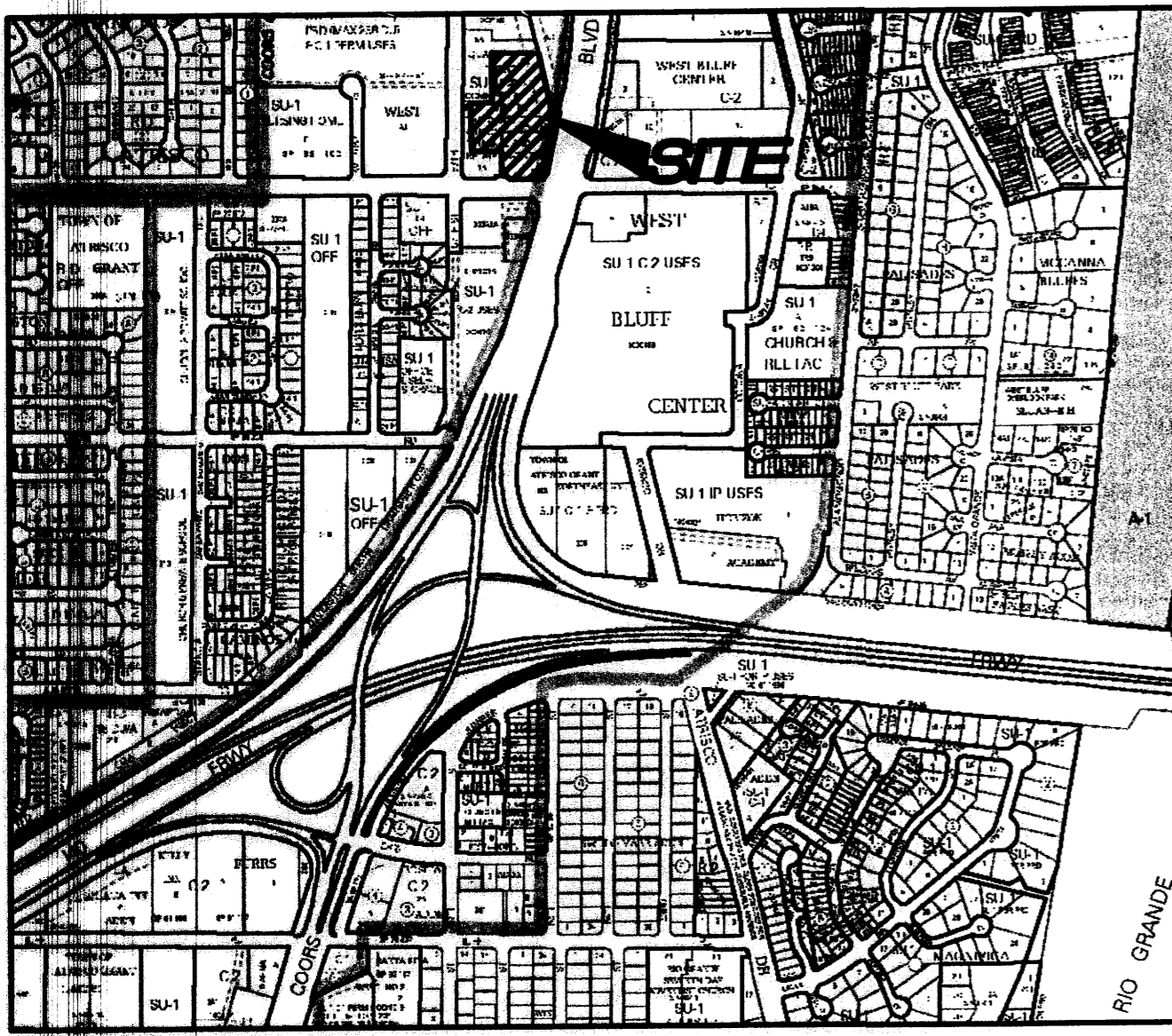
(BEING A REPLAT OF TRACTS 2, 3-A AND 4-A QUAIL RIDGE)

WITHIN

THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2005



VICINITY MAP
NOT TO SCALE

TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the existing property as shown hereon.

Bernalillo County Treasurer's Office _____ Date _____

GENERAL NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 1927) originated at the Albuquerque Control Survey Monument "12-H11".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. Field surveys were performed during the months of February and March 2003.
8. Documents used in the preparation of this survey are as follows:
 - A. Plat entitled "TRACTS 1 THRU 6, QUAIL RIDGE, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed May 18, 2004, in Volume 2004C, Folio 154, records of Bernalillo County, New Mexico.
 - B. Plat entitled "TRACTS 1-A, 3-A, 4-A AND 5-A, QUAIL RIDGE, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed May 18, 2004, in Volume 2004C, Folio 154, records of Bernalillo County, New Mexico.
 - C. Plat entitled "W.H. BRUNELL ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed January 25, 1972, in Volume C8, Folio 84, records of Bernalillo County, New Mexico.
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 - F. Plat entitled "PLAT OF TRACTS A-23-1-A AND A-24-1-A, TOWN OF ATRISCO GRANT (NORTHEAST UNIT), ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1992", filed December 2, 1992, in Volume 92C, Folio 261, records of Bernalillo County, New Mexico.
 - G. Plat entitled "PLAT OF TRACTS 333-A-1-A, 333-A-1-B AND 333-A-1-C, TOWN OF ATRISCO GRANT, UNIT 8, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MARCH 1994", filed October 10, 1995, in Volume 95C, Folio 363, records of Bernalillo County, New Mexico.
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 - K. Final Judgement, Certification of Payment and Order of Disbursement filed June 15, 1988, in Book Misc. 632A, Pages 383 - 391, records of Bernalillo County, New Mexico.
9. City of Albuquerque Zone Atlas Page: H-11-Z
10. U.C.L.S. Log Number: 20052660
11. Total number of existing tracts: 3
12. Total number of new tracts created: 3
13. Total mileage of full width streets created: 0 miles
14. Gross subdivision acreage: 3.5221 acres

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of :

- A. PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- C. QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
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Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

NOTE

City of Albuquerque Water and Sanitary Sewer Service to the properties shown hereon must be verified and coordinated with the Public Works Department, City of Albuquerque.

DISCLOSURE STATEMENT

The purpose of this plat is to create 3 new tracts from 3 existing tracts. Dedicate street right of way to the City of Albuquerque in fee simple with warranty covenants.

PROJECT NUMBER: **1002459**

Application Number: _____

PLAT APPROVAL

Utility Approvals: _____

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date **11/23/05**

QWest Telecommunications _____ Date _____

Comcast _____ Date _____

New Mexico Utilities _____ Date _____

City Approvals: _____

City Surveyor **[Signature]** _____ Date **11-8-05**

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Utilities Development _____ Date _____

Parks and Recreation Department _____ Date _____

AMA/CA _____ Date _____

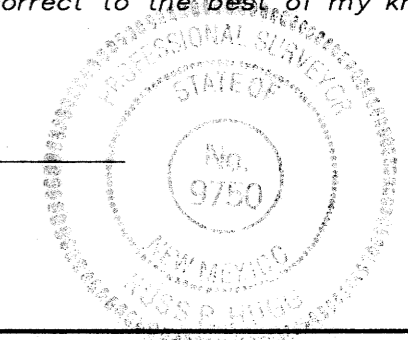
City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMP S No. 9750
October 13, 2005



SURV TEK, INC.

Consulting Surveyors Phone: 505-897-3366
9384 Valley View Drive N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

TRACTS 2-A, 3-A-1 AND 4-A-1
QUAIL RIDGE

(BEING A REPLAT OF TRACTS 2, 3-A AND 4-A QUAIL RIDGE)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2005

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Atrisco Grant in projected Section 11, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract 2, Quail Ridge, as the same is shown and designated on the plat filed May 18, 2004, in Volume 2004C, Folio 154, records of Bernalillo County, New Mexico.

AND

That certain parcel of land situate within the Town of Atrisco Grant in projected Section 11, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tracts 3-A and 4-A, Quail Ridge, as the same is shown and designated on the plat filed May 4, 2005, in Volume 2005C, Folio 139, records of Bernalillo County, New Mexico.

Said parcel contains 3.5221 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising TRACTS 2-A, 3-A-1 AND 4-A-1, QUAIL RIDGE (BEING A REPLAT OF TRACTS 2, 3-A AND 4-A, QUAIL RIDGE) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to the elimination of tract lines as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate additional street right of way to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant the public utility easements to the use of the public forever. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER: TRACTS 2, 3-A AND 4-A
QUAIL PLAZA, LLC

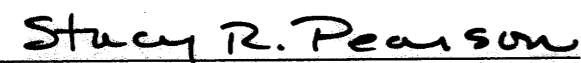


Ben Spencer, Member

ACKNOWLEDGEMENT

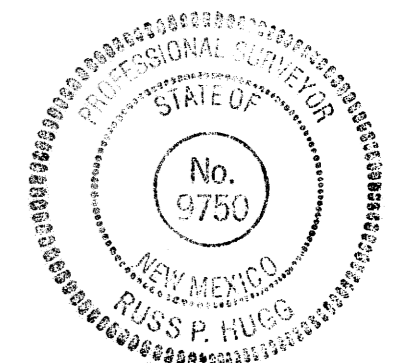
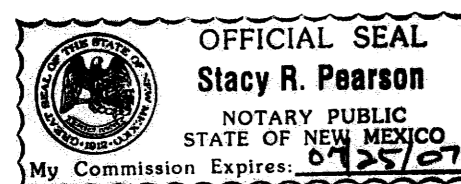
STATE OF New Mexico
COUNTY OF Sandoval

This instrument was acknowledged before me on this 28th day
of October, 2005, by Ben Spencer.



Notary Public

My Commission expires: 07/25/07



SURV TEK, INC.

Consulting Surveyors

9384 Valley View Drive N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

Phone: 505-897-3368

BOUNDARY INFORMATION, EXISTING EASEMENTS

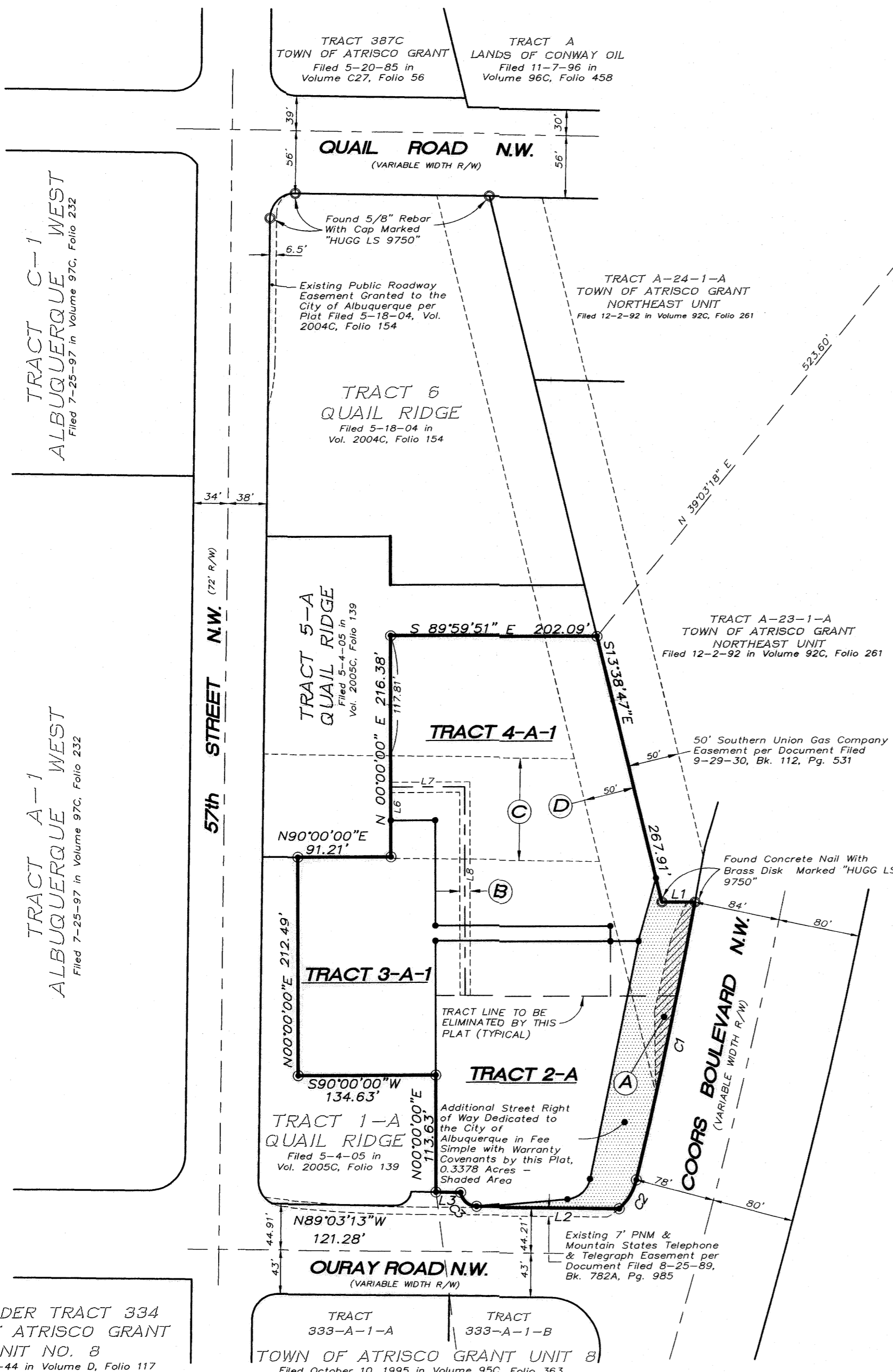
**TRACTS 2-A, 3-A-1 AND 4-A-1
QUAIL RIDGE**

(BEING A REPLAT OF TRACTS 2, 3-A AND 4-A QUAIL RIDGE)

WITHIN
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PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2005

SEE SHEET 4 OF 4 FOR NEW TRACT INFORMATION



Albuquerque Control Survey Monument
"12-H11"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1497456.42
X=365168.46
G-G=0.99967688
Delta Alpha=-00'15"34"
Elevation=5102.169 (NAVD29)

EXISTING EASEMENTS

- (A) Existing Public Sidewalk Easement per Plat Filed 5-18-04, Vol. 2004C, Folio 154 - (Hatched Area) To Remain
- (B) Existing 10' Private Sanitary Sewer Easement per Plat Filed 5-18-04, Vol. 2004C, Folio 154 - (Hatched Area) To Remain
- (C) Existing 100' Utility Easement per Plat Filed 1-25-72, Vol. C8, Folio 84, and Document Filed 8-16-56, Bk. D 360, Pg. 39 - To Remain
- (D) Existing 50' Easement Reserved for Utilities and Drainage per Vacation Ordinance No. 19-1972, Filed 6-13-98, Bk. Misc. 632A, Pg. 383 - To Remain

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

LINE TABLE

LINE	LENGTH	BEARING
L1	32.43'	S89°45'47"E
L2	139.66'	N89°19'00"W
L3	24.17'	N88°52'28"W
L4	59.55'	S15°45'52"W
L5	15.00'	N00°00'00"E
L6	32.13'	N00°00'00"E
L7	72.50'	N90°00'00"E
L8	203.13'	S00°00'00"W

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	275.89'	5646.45'	137.97'	275.87'	S12°08'14"W	2°47'58"
C2	33.32'	55.00'	17.19'	32.82'	S30°53'45"W	34°42'52"
C3	22.64'	16.00'	13.69'	20.80'	N48°46'33"W	81°04'54"
C4	31.97'	25.00'	18.59'	29.84'	N48°25'03"E	73°16'25"

CORNER LEGEND

- FOUND 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED
- SET 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"

REMAINDER TRACT 334
TOWN OF ATRISCO GRANT
UNIT NO. 8
Filed 12-4-44 in Volume D, Folio 117

TRACT 333-A-1-A
TRACT 333-A-1-B
TOWN OF ATRISCO GRANT UNIT 8
Filed October 10, 1995 in Volume 95C, Folio 363

Albuquerque Control Survey Monument
"11-H11"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1495852.97
X=364763.94
G-G=0.99967720
Delta Alpha=-00'15"36"
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SURV TEK, INC.
Consulting Surveyors
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NEW TRACTS

TRACTS 2-A, 3-A-1 AND 4-A-1

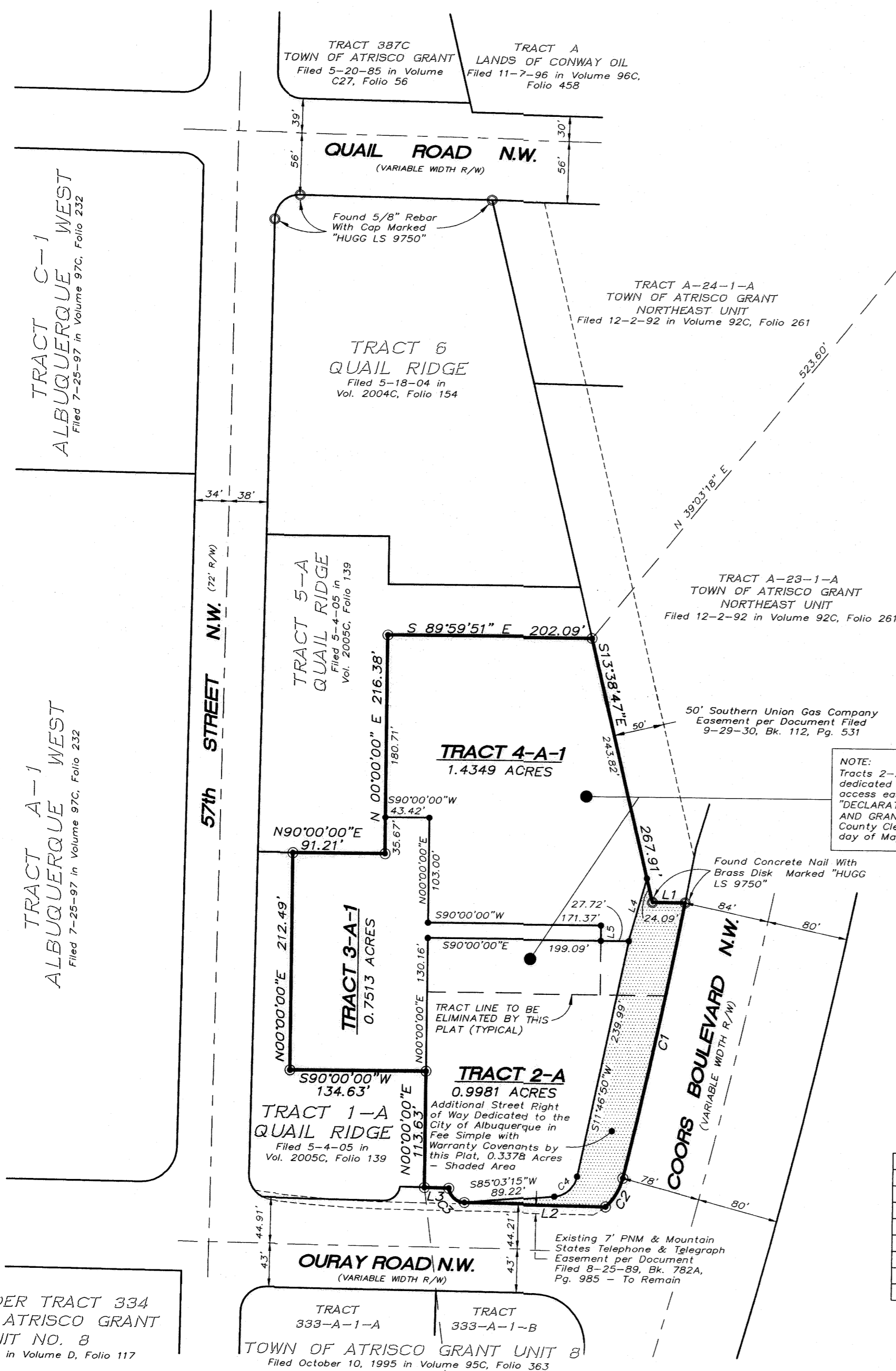
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 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2005

SEE SHEET 3 OF 4 FOR BOUNDARY
 INFORMATION AND EXISTING EASEMENTS

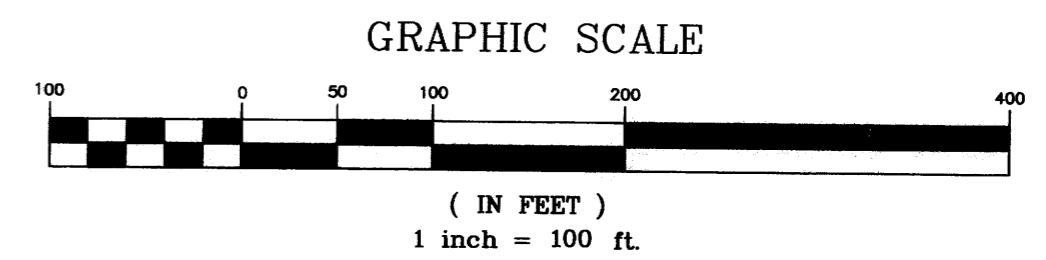


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NOTE:
 Tracts 2-A, 3-A-1 and 4-A-1 will gain access to the
 dedicated public streets as shown hereon by reciprocal
 access easements as defined in that certain
 "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS
 AND GRANT OF EASEMENTS", filed in the office of the
 County Clerk of Bernalillo County, New Mexico on the 18th
 day of May, 2004, in Book A77, Page 6952.



NOTE
 Said Tracts 2-A, 3-A-1 and 4-A-1 are subject to all restrictions,
 conditions and requirements as set forth in that certain "DECLARATION
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 filed in the office of the County Clerk of Bernalillo County, New Mexico
 on the 18th day of May, 2004, in Book A77, Page 6982.

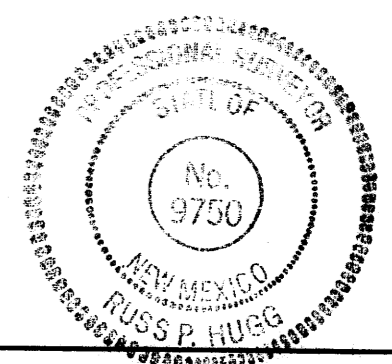
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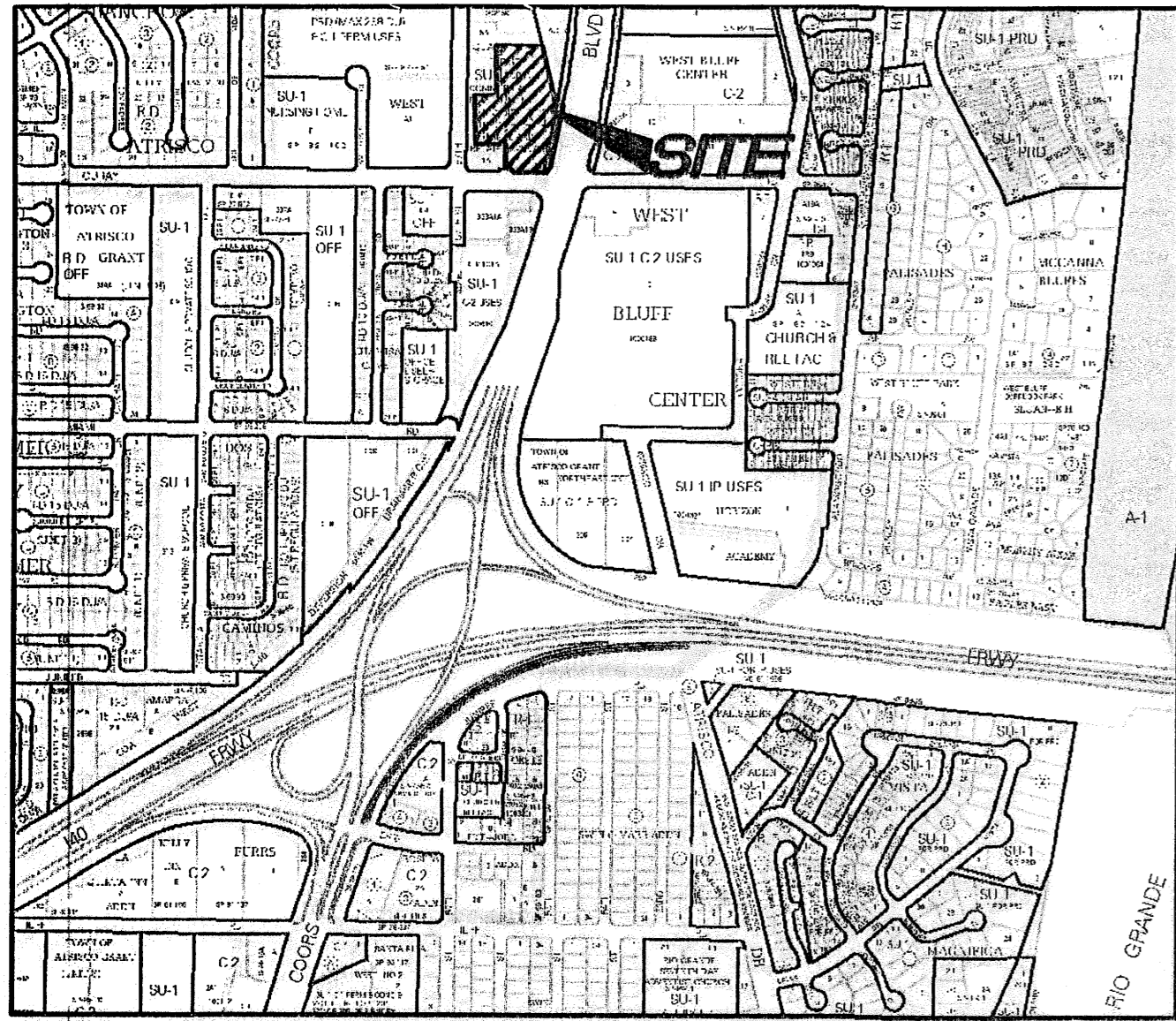
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SURVOTEK, INC.



VICINITY MAP
NOT TO SCALE

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6443484
Page: 1 of 4
84/28/2886 18:01A
Bk-2886C Pg-127
Mary Herrera Bern. Co. PLRT R 22.68

TRACTS 2-A, 3-A-1 AND 4-A-1
QUAIL RIDGE
(BEING A REPLAT OF TRACTS 2, 3-A AND 4-A QUAIL RIDGE)

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NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2005

TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the existing property as shown hereon.
UPC: 101105723140620602; 101105921240920601; 101105922242620603
Property owner Record: Husky Oil Co of Delaware

[Signature] 4-20-06
Bernalillo County Treasurer's Office Date

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- U.C.L.S. Log Number: 20052660
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- QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

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NOTE

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DISCLOSURE STATEMENT

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PROJECT NUMBER: 1002439

Application Number: 00218-2439

PLAT APPROVAL

Utility Approvals:	Date
PNM Electric Services	12-1-05
PNM Gas Services	12-09-05
QWest Telecommunications	12-12-05
Comcast	12-09-05
N/A	
New Mexico Utilities	
City Approvals:	
City Surveyor	11-8-05
N/A	
Real Property Division	
N/A	
Environmental Health Department	
Traffic Engineering, Transportation Division	11-23-05
Rogers & Green	11/23/05
Utilities Development	
Christina Hernandez	11/23/05
Parks and Recreation Department	
Brockley D. Bramham	11/23/05
AMAFC	
Bryan A. Bife	11/23/05
City Engineer	
Andrew Garcia	3/21/06
DRB Chairperson, Planning Department	

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMPS No. 9750
October 13, 2005

SURVOTEK, INC.
Consulting Surveyors
3834 West West Drive, Suite 100, Albuquerque, New Mexico 87114
Phone: 505 897-8366

2886855843
6443484
Page: 2 of 4
84/28/2886 18-81A
Bx-2886C Pg-127
Mary Herrera Bern. Co. PLAT R 22.99

TRACTS 2-A, 3-A-1 AND 4-A-1 QUAIL RIDGE

(BEING A REPLAT OF TRACTS 2, 3-A AND 4-A QUAIL RIDGE)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2005

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Atrisco Grant in projected Section 11, Township 10 North, Range 2 East, New Mexico, Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract 2, Quail Ridge, as the same is shown and designated on the plat filed May 18, 2004, in Volume 2004C, Folio 154, records of Bernalillo County, New Mexico.

AND


That certain parcel of land situate within the Town of Atrisco Grant in projected Section 11, Township 10 North, Range 2 East, New Mexico, Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tracts 3-A and 4-A, Quail Ridge, as the same is shown and designated on the plat filed May 4, 2005, in Volume 2005C, Folio 139, records of Bernalillo County, New Mexico.

Said parcel contains 3.5221 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising TRACTS 2-A, 3-A-1 AND 4-A-1, QUAIL RIDGE (BEING A REPLAT OF TRACTS 2, 3-A AND 4-A, QUAIL RIDGE) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to the elimination of tract lines as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate additional street right of way to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant the public utility easements to the use of the public forever. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER: TRACTS 2, 3-A AND 4-A
QUAIL PLAZA, LLC


Ben Spencer, Member

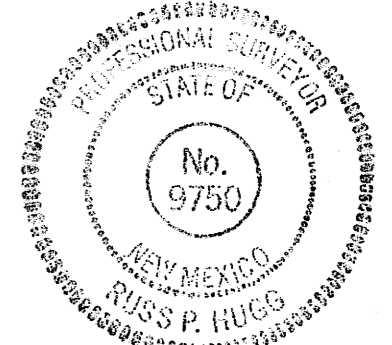
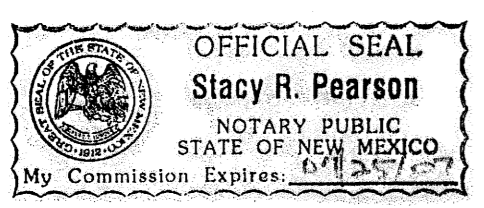
ACKNOWLEDGEMENT

STATE OF New Mexico
COUNTY OF SANDOVAL

This instrument was acknowledged before me on this 28th day
of October, 2005, by Ben Spencer.

Stacy R. Pearson
Notary Public

My Commission expires: 07/25/07



SURV+TEK, INC.

Consulting Surveyors
9904 Valley View Drive, N.W., Albuquerque, New Mexico 87114 Fax: 505-897-3377 Phone: 505-897-3386

BOUNDARY INFORMATION, EXISTING EASEMENTS

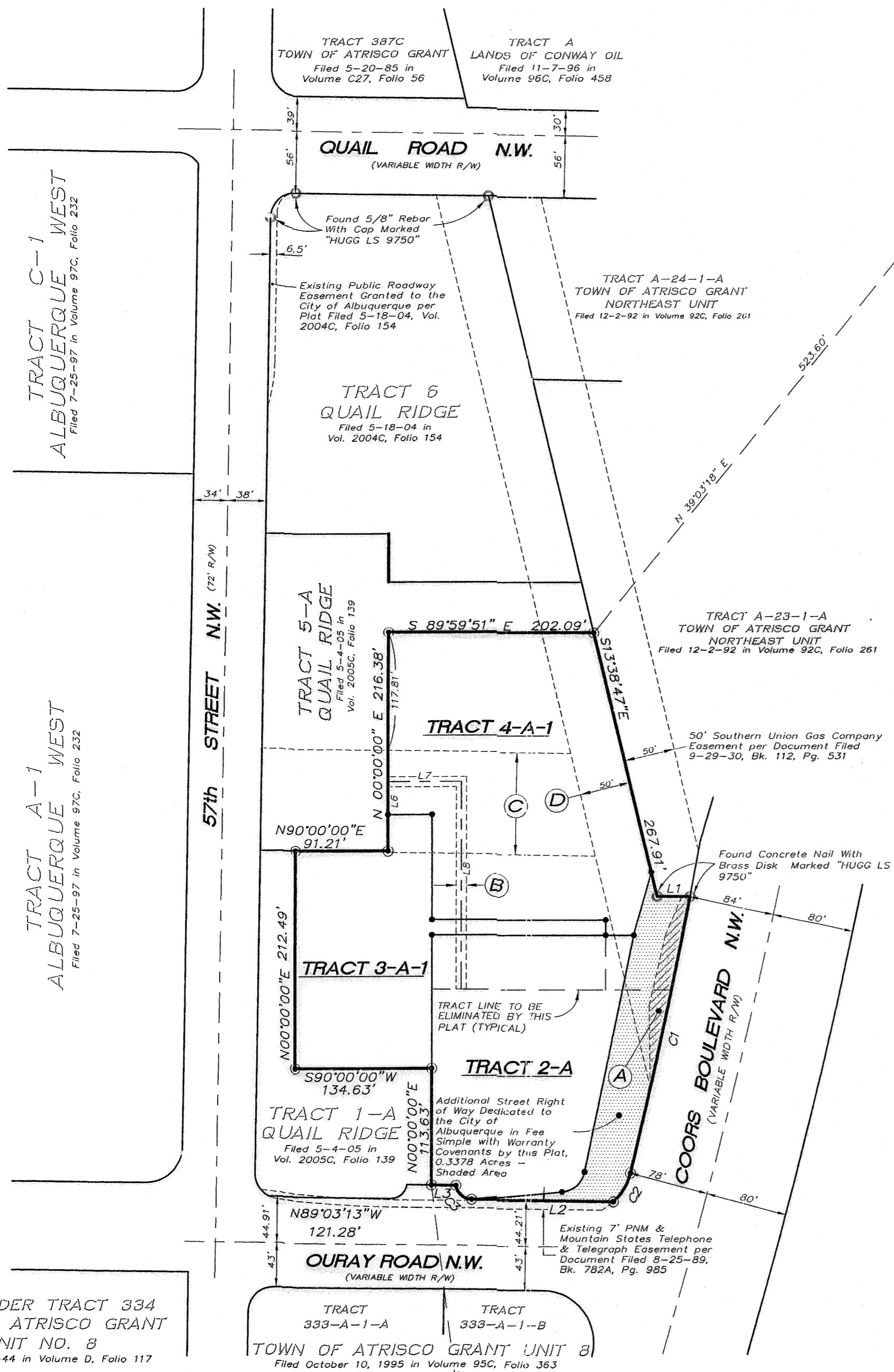
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Page: 3 of 4
04/28/2006 10:01A
Bk-2806C Pg-127
Mary Herrera Bern. Co. PLRT R 22.00

**TRACTS 2-A, 3-A-1 AND 4-A-1
QUAIL RIDGE**

(BEING A REPLAT OF TRACTS 2, 3-A AND 4-A QUAIL RIDGE)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2005

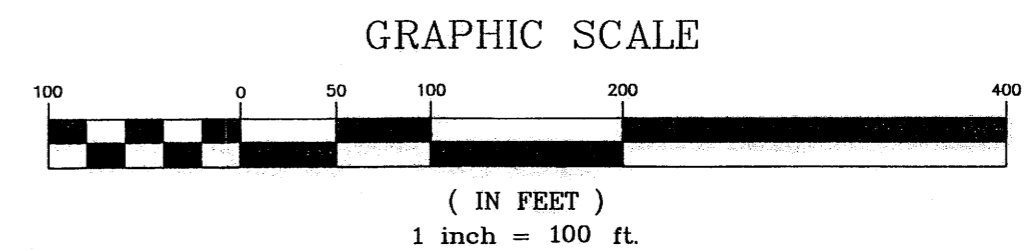
SEE SHEET 4 OF 4 FOR NEW TRACT INFORMATION



Albuquerque Control Survey Monument
"12-H11"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1497456.42
X=365168.46
G-C=0.99967688
Delta Alpha=-00'15"34"
Elevation=5102.169 (NAVD29)

EXISTING EASEMENTS

- (A) Existing Public Sidewalk Easement per Plat Filed 5-18-04, Vol. 2004C, Folio 154 - (Hatched Area) To Remain
- (B) Existing 10' Private Sanitary Sewer Easement per Plat Filed 5-18-04, Vol. 2004C, Folio 154 - (Hatched Area) To Remain
- (C) Existing 100' Utility Easement per Plat Filed 1-25-72, Vol. CB, Folio 84, and Document Filed 8-16-56, Bk. D 360, Pg. 39 - To Remain
- (D) Existing 50' Easement Reserved for Utilities and Drainage per Vacation Ordinance No. 19-1972, Filed 6-13-88, Bk. Misc. 632A, Pg. 383 - To Remain



LINE TABLE

LINE	LENGTH	BEARING
L1	32.43'	S89°45'47"E
L2	139.66'	N89°19'00"W
L3	24.17'	N88°52'28"W
L4	59.55'	S15°45'52"W
L5	15.00'	N00°00'00"E
L6	32.13'	N00°00'00"E
L7	72.50'	N90°00'00"E
L8	203.13'	S00°00'00"W

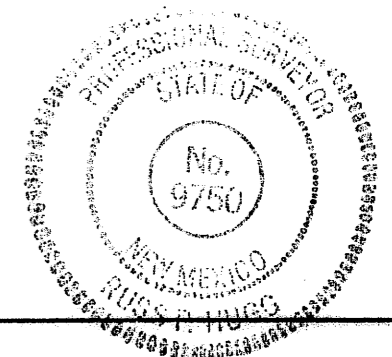
CORNER LEGEND

- FOUND 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED
- SET 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	275.89'	5646.45'	137.97'	275.87'	S12°08'14"W	2°47'58"
C2	33.32'	55.00'	17.19'	32.82'	S30°53'45"W	34°42'52"
C3	22.64'	16.00'	13.69'	20.80'	N48°46'33"W	81°04'54"
C4	31.97'	25.00'	18.59'	29.84'	N48°25'03"E	73°16'25"

Albuquerque Control Survey Monument
"11-H11"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1495852.97
X=364763.94
G-C=0.99967720
Delta Alpha=-00'15"36"
Elevation=5098.514 (NAVD29)



SURVOTEK, INC.

Consulting Surveyors
1024 Valley View Drive N.E. Albuquerque, New Mexico 87114 Fax: 505 897 3377
Phone: 505 897-3366

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Page: 4 of 4
04/28/2006 10:01A
Bk-2896C Pg-127
Mary Herrera Bern. Co. PLAT R 22.00

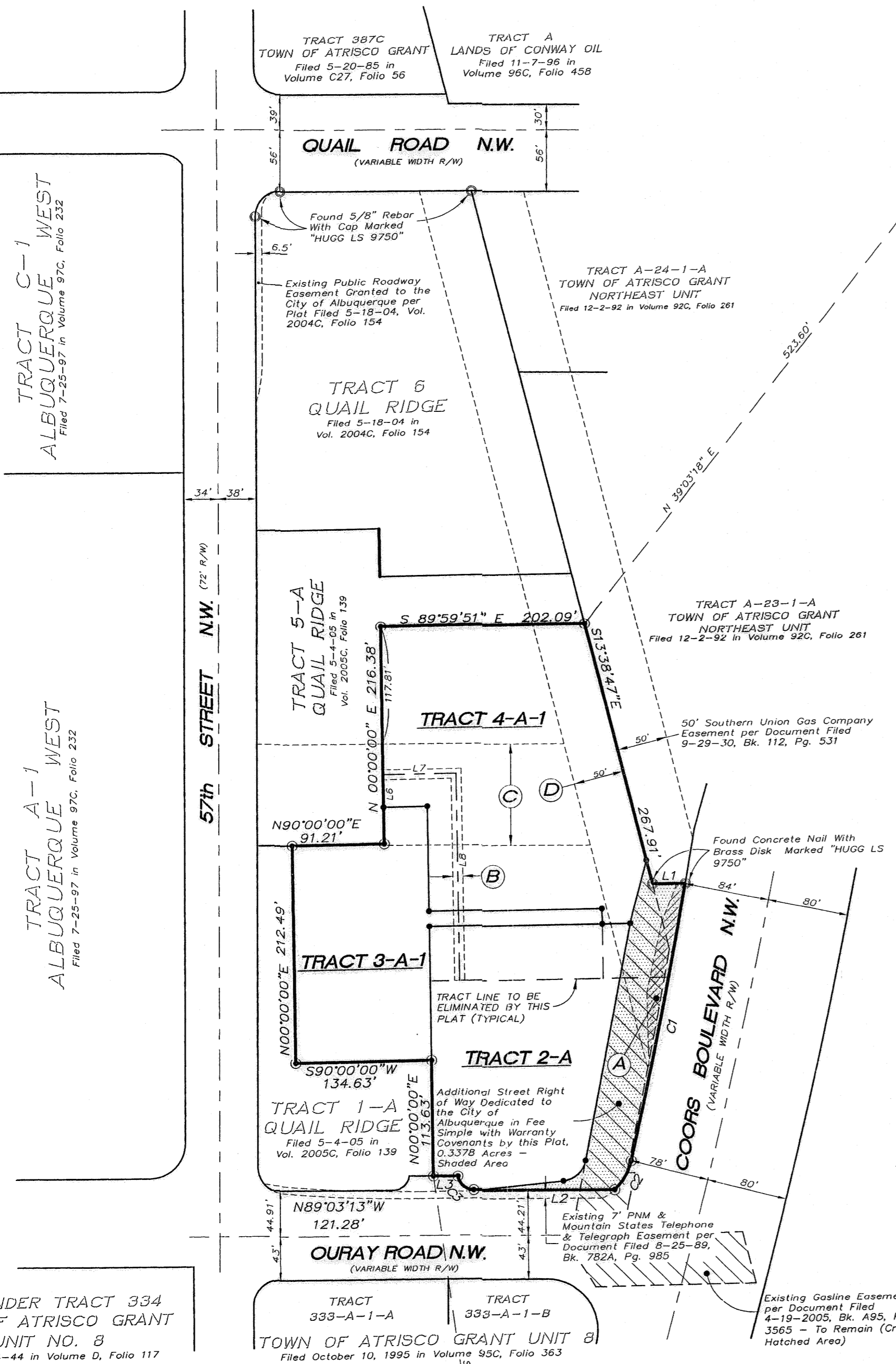
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OCTOBER, 2005

SEE SHEET 4 OF 4 FOR NEW TRACT INFORMATION



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"12-111"
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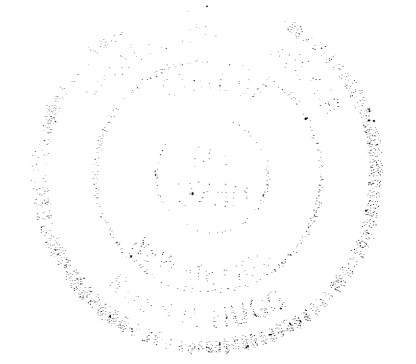
GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

CORNER LEGEND

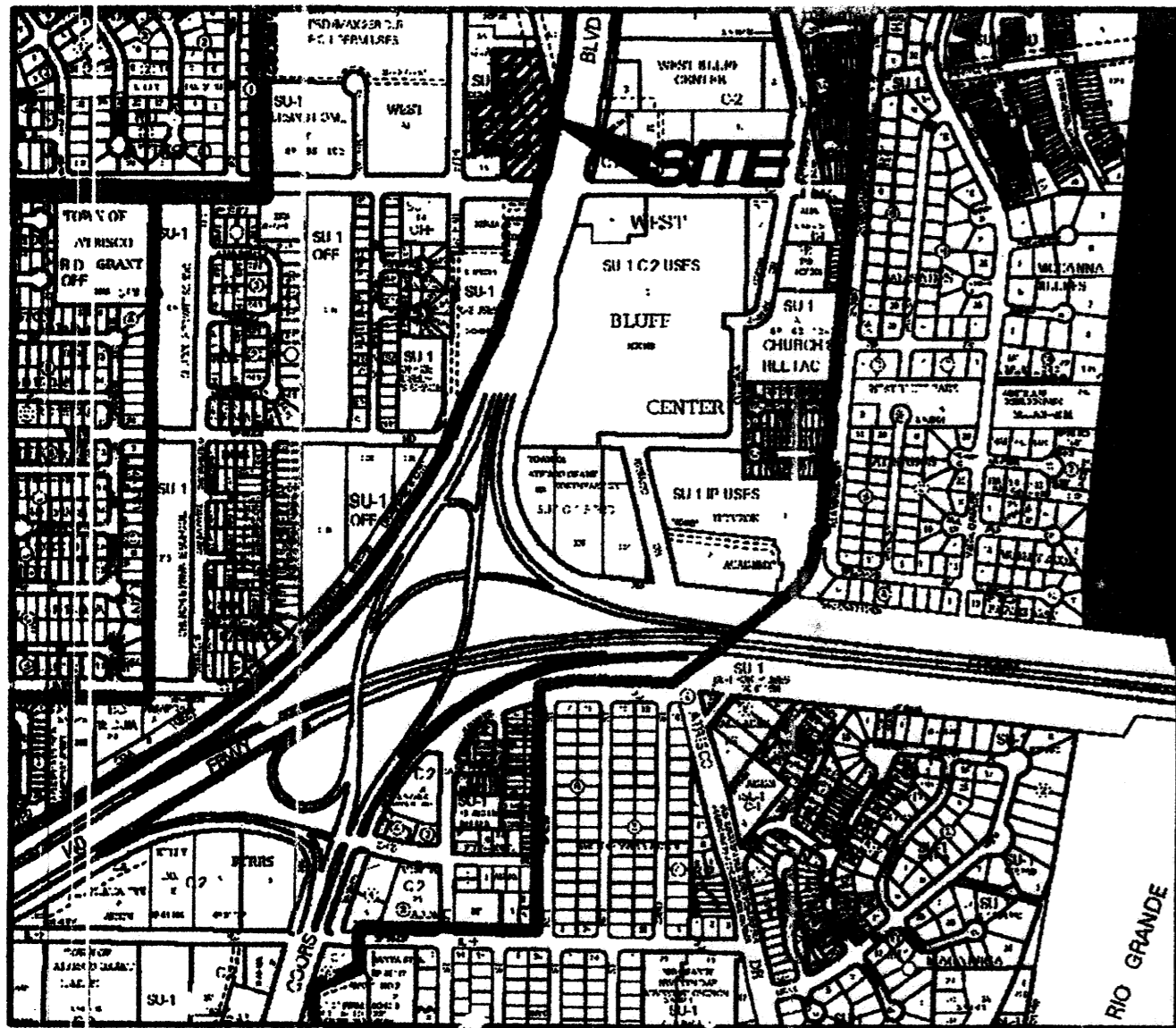
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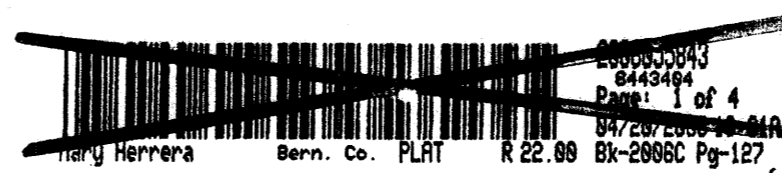
SURVOTEK, INC.

Consulting Surveyors

Phone: 505-897-3366



VICINITY MAP
NOT TO SCALE



TRACTS 2-A, 3-A-1 AND 4-A-1
QUAIL RIDGE

(BEING A REPLAT OF TRACTS 2, 3-A AND 4-A QUAIL RIDGE)

WITHIN
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PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2005

PROJECT NUMBER: **1002439**

Application Number: **05DRB-01738**

PLAT APPROVAL

Utility Approvals:

<u>Leah B. Mads</u>	<u>12-9-05</u>
PNM Electric Services	Date
<u>Leah B. Mads</u>	<u>12-09-05</u>
PNM Gas Services	Date
<u>Mary Anne Josola</u>	<u>12-12-05</u>
QWest Telecommunications	Date
<u>Rita Escobar</u>	<u>12-09-05</u>
Comcast	Date
<u>N/A</u>	
New Mexico Utilities	Date

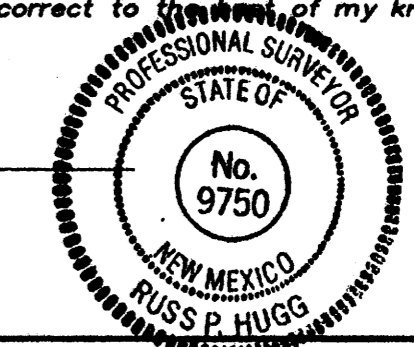
City Approvals:

<u>PLB J. Hall</u>	<u>11-8-05</u>
City Surveyor	Date
<u>N/A</u>	
Real Property Division	Date
<u>N/A</u>	
Environmental Health Department	Date
<u>SA M</u>	<u>11-23-05</u>
Traffic Engineering, Transportation Division	Date
<u>Roger A. Juan</u>	<u>11/23/05</u>
Utilities Development	Date
<u>Christine Dandora</u>	<u>11/23/05</u>
Parks and Recreation Department	Date
<u>Bradley D. Bingham</u>	<u>11/23/05</u>
AMA/FA	Date
<u>Bradley D. Bingham</u>	<u>11/23/05</u>
City Engineer	Date
<u>Andrew Garcia</u>	<u>3/21/06</u>
DRB Chairperson, Planning Department	Date

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
Russ P. Hugg
NMPS No. 9750
October 13, 2005



TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the existing property as shown hereon.

UPC: 101105923140620602; 101105921240920601; 101105922242620603

Property owner of Record: Husky Oil Co of Delaware

F. James
Bernalillo County Treasurer's Office

4-20-06
Date

PURPOSE OF THIS
CORRECTION PLAT
To correct various scrivener's
errors and to correct the
unintentional recording of
erroneous sheets 3 and 4.

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 1927) originated at the Albuquerque Control Survey Monument "12-H11".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the months of February and March 2003.
- Documents used in the preparation of this survey are as follows:
 - Plat entitled "TRACTS 1 THRU 6, QUAIL RIDGE, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed May 18, 2004, in Volume 2004C, Folio 154, records of Bernalillo County, New Mexico.
 - Plat entitled "TRACTS 1-A, 3-A, 4-A AND 5-A, QUAIL RIDGE, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed May 18, 2004, in Volume 2004C, Folio 154, records of Bernalillo County, New Mexico.
 - Plat entitled "W.H. BRUNELL ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed January 25, 1972, in Volume C8, Folio 84, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF LOTS A1, 387A, 387B & 387C, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1985", filed May 20, 1985, in Volume C27, Folio 56, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF TRACTS A-1 & C-1, ALBUQUERQUE WEST, ALBUQUERQUE, NEW MEXICO, MAY 1996", filed July 25, 1997, in Volume 97C, Folio 232, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF TRACTS A-23-1-A AND A-24-1-A, TOWN OF ATRISCO GRANT (NORTHEAST UNIT), ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1992", filed December 2, 1992, in Volume 92C, Folio 261, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF TRACTS 333-A-1-A, 333-A-1-B AND 333-A-1-C, TOWN OF ATRISCO GRANT, UNIT 8, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MARCH 1994", filed October 10, 1995, in Volume 95C, Folio 363, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF TRACT A, LANDS OF CONWAY OIL, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER, 1996", filed November 7, 1996, in Volume 96C, Folio 458, records of Bernalillo County, New Mexico.
 - Plat entitled "LOTS 1 AND 2, MICKEY D'S SUBDIVISION UNIT 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, OCTOBER, 1993", filed February 1, 1994, in Volume 94C, Folio 32, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1943", filed December 5, 1944, in Volume D, Folio 117, records of Bernalillo County, New Mexico.
 - Final Judgement, Certification of Payment and Order of Disbursement filed June 15, 1988, in Book Misc. 632A, Pages 383 - 391, records of Bernalillo County, New Mexico.
- City of Albuquerque Zone Atlas Page: H-11-Z
- U.C.L.S. Log Number: 20052660
- Total number of existing tracts: 3
- Total number of new tracts created: 3
- Total mileage of full width streets created: 0 miles
- Gross subdivision acreage: 3.5221 acres
- SU-1 FOR C-2 ZONING**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 101105922744120104
PROPERTY OWNER OF RECORD:
QUAIL PLAZA LLC
BERNALILLO COUNTY TREASURER'S OFFICE

5:17:07

SHEET 1 OF 4

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive or release any easement or easement rights to which it may be entitled.

NOTE

City of Albuquerque Water and Sanitary Sewer Service to the properties shown hereon must be verified and coordinated with the Public Works Department, City of Albuquerque.

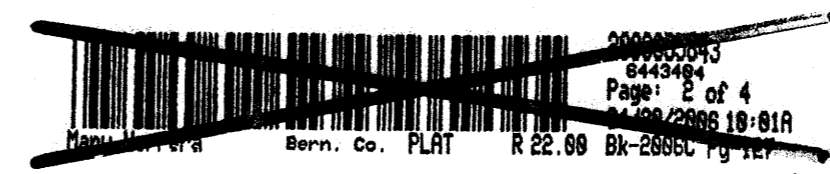
DISCLOSURE STATEMENT

The purpose of this plat is to create 3 new tracts from 3 existing tracts. Dedicate street right of way to the City of Albuquerque in fee simple with warranty covenants.



SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377
Phone: 505-897-3306



CONNECTION PLAT
TRACTS 2-A, 3-A-1 AND 4-A-1
QUAIL RIDGE

(BEING A REPLAT OF TRACTS 2, 3-A AND 4-A QUAIL RIDGE)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2005

LEGAL DESCRIPTION

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AND

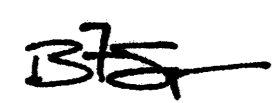
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Said parcel contains 3.5221 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising TRACTS 2-A, 3-A-1 AND 4-A-1, QUAIL RIDGE (BEING A REPLAT OF TRACTS 2, 3-A AND 4-A, QUAIL RIDGE) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to the elimination of tract lines as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate additional street right of way to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant the public utility easements to the use of the public forever. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

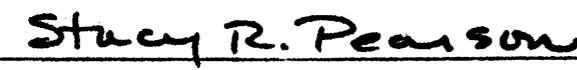
OWNER: TRACTS 2, 3-A AND 4-A
QUAIL PLAZA, LLC


Ben Spencer, Member

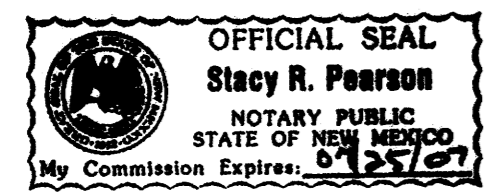
ACKNOWLEDGEMENT

STATE OF New Mexico
COUNTY OF Sandoval

This instrument was acknowledged before me on this 29th day
of October, 2005, by Ben Spencer.


Notary Public

My Commission expires: 07/25/07



BOUNDARY INFORMATION, EXISTING EASEMENTS

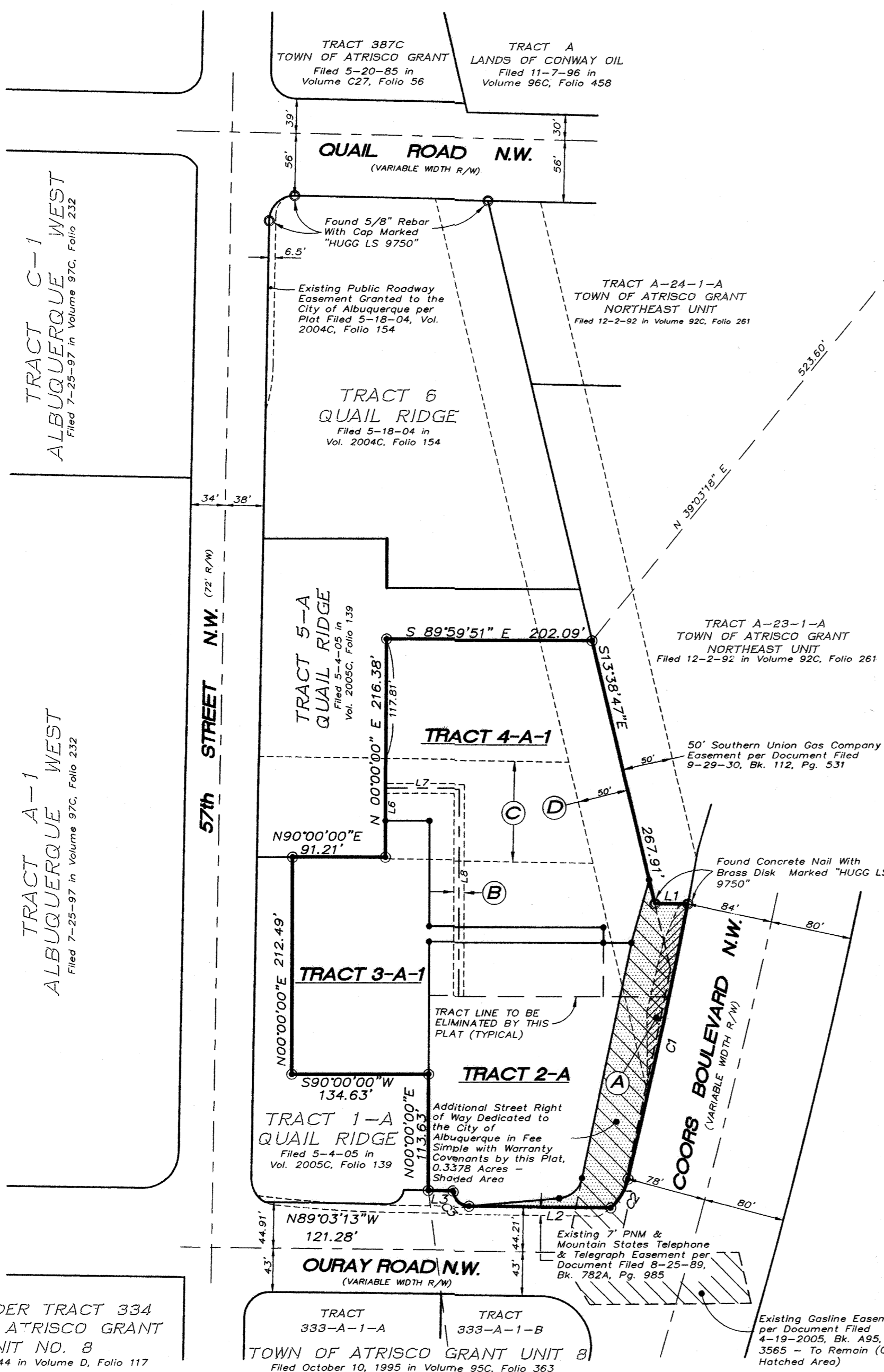
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Y=1497456.42
X=365168.46
G-G=0.99967688
Delta Alpha=-00'15"34"
Elevation=5102.169 (NAVD29)

EXISTING EASEMENTS

- (A) Existing Public Sidewalk Easement per Plat Filed 5-18-04, Vol. 2004C, Folio 154 - (Hatched Area) To Remain
- (B) Existing 10' Private Sanitary Sewer Easement per Plat Filed 5-18-04, Vol. 2004C, Folio 154 - (Hatched Area) To Remain
- (C) Existing 100' Utility Easement per Plat Filed 1-25-72, Vol. CB, Folio 84, and Document Filed 8-16-56, Bk. D 360, Pg. 39 - To Remain
- (D) Existing 50' Easement Reserved for Utilities and Drainage per Vacation Ordinance No. 19-1972, Filed 6-13-88, Bk. Misc. 632A, Pg. 383 - To Remain

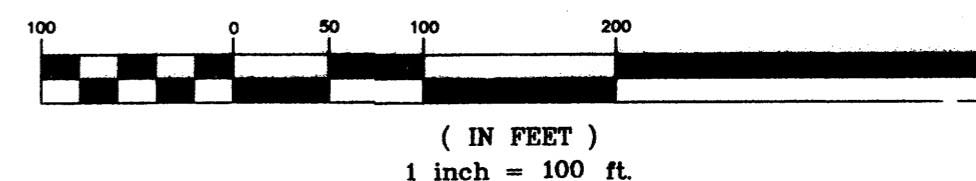
LINE TABLE

LINE	LENGTH	BEARING
L1	32.43'	S89°45'47"E
L2	139.66'	N89°19'00"W
L3	24.17'	N88°52'28"W
L4	59.55'	S15°45'52"W
L5	15.00'	N00°00'00"E
L6	32.13'	N00°00'00"E
L7	72.50'	N90°00'00"E
L8	203.13'	S00°00'00"W

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	275.89'	5646.45'	137.97'	275.87'	S12°08'14"W	2°47'58"
C2	33.32'	55.00'	17.19'	32.82'	S30°53'45"W	34°42'52"
C3	22.64'	16.00'	13.69'	20.80'	N48°46'33"W	81°04'54"
C4	31.97'	25.00'	18.59'	29.84'	N48°25'03"E	73°16'25"

GRAPHIC SCALE



CORNER LEGEND

- ⊙ FOUND 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED
- SET 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"

Albuquerque Control Survey Monument
"11-H11"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1495852.97
X=364763.94
G-G=0.99967720
Delta Alpha=-00'15"36"
Elevation=5098.514 (NAVD29)

REMAINDER TRACT 334
TOWN OF ATRISCO GRANT
UNIT NO. 8
Filed 12-4-44 in Volume D, Folio 117

TRACT 333-A-1-A
TRACT 333-A-1-B
TOWN OF ATRISCO GRANT UNIT 8
Filed October 10, 1995 in Volume 95C, Folio 363

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665582
Page: 3 of 4
85/17/2687 82-13P
Bk-2887C Pg-126

SURV TEK, INC.
Consulting Surveyors
9384 Valley View Drive N.W. Albuquerque, New Mexico 87114 Fax: 505-897-8377
Phone: 505-897-3366

NEW TRACTS

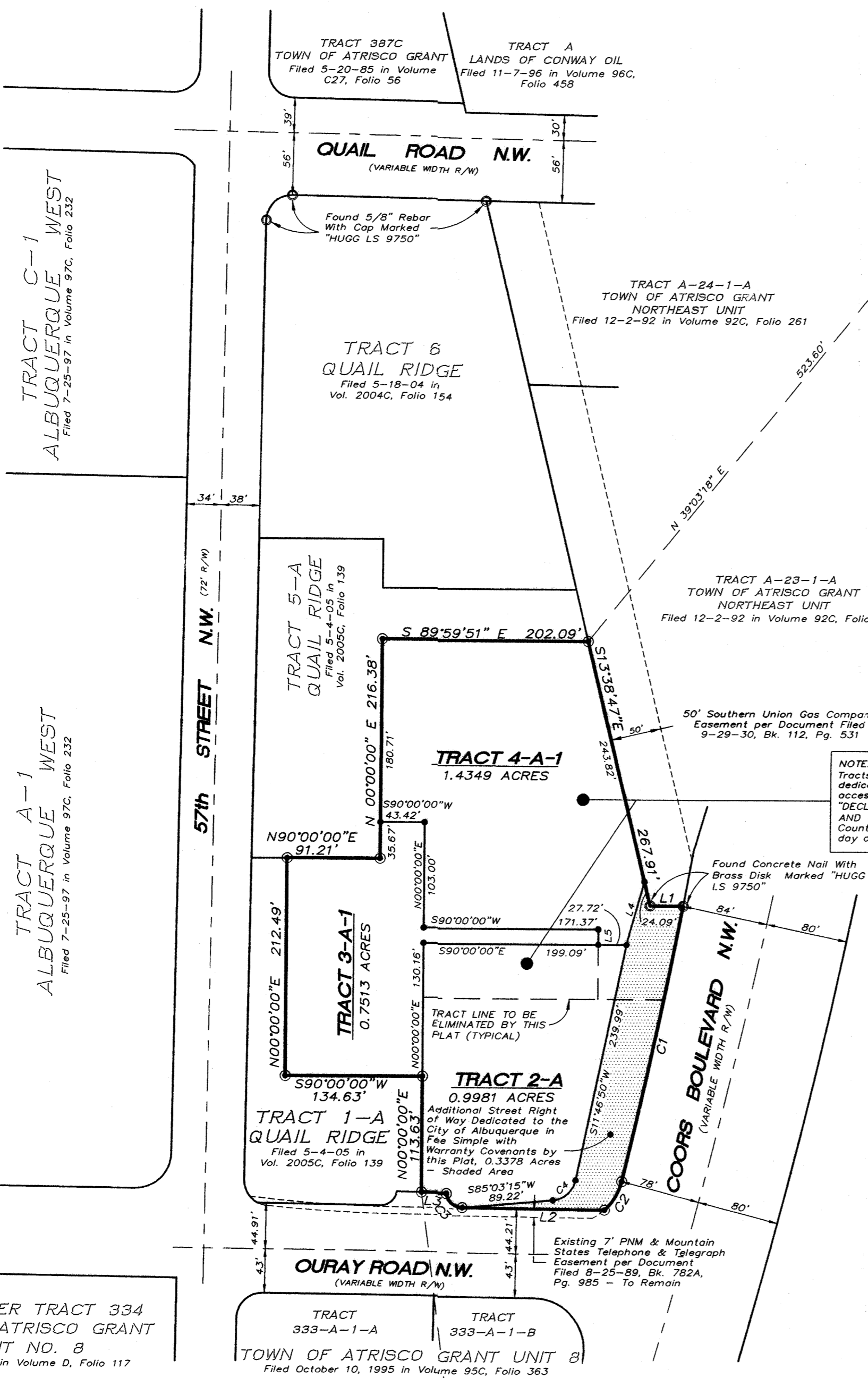
**CORRECTION PLAT
TRACTS 2-A, 3-A-1 AND 4-A-1
QUAIL RIDGE**

(BEING A REPLAT OF TRACTS 2, 3-A AND 4-A QUAIL RIDGE)

**WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

OCTOBER, 2005

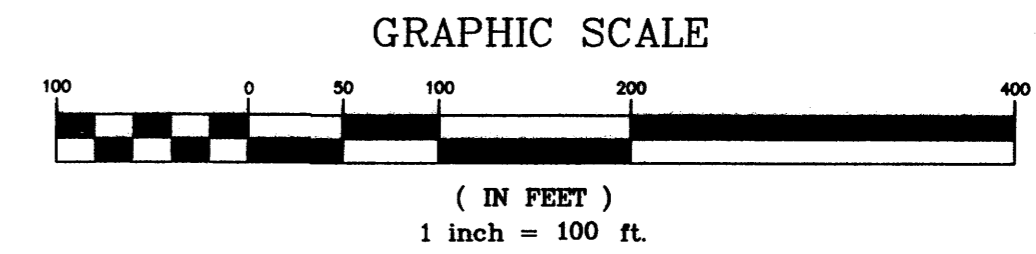
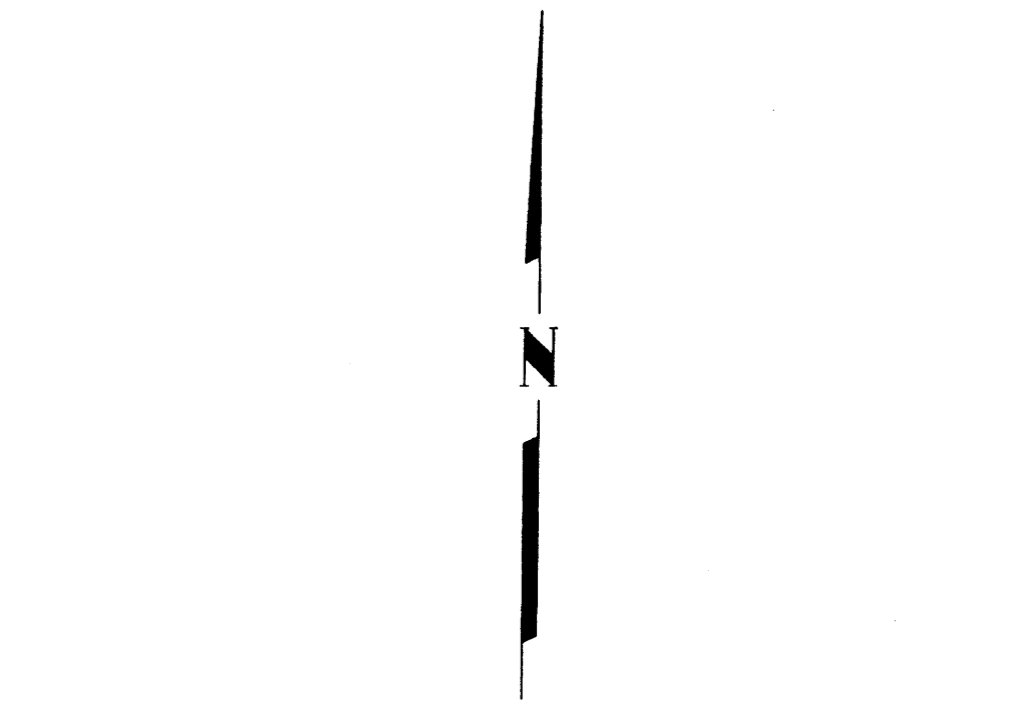
SEE SHEET 3 OF 4 FOR BOUNDARY
INFORMATION AND EXISTING EASEMENTS



Albuquerque Control Survey Monument
"12-H11"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1497456.42
X=365168.46
G-C=0.99967688
Delta Alpha=-00'15"34"
Elevation=5102.169 (NAVD29)

- CORNER LEGEND**
- FOUND 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"
 - FOUND PROPERTY CORNER AS INDICATED
 - SET 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"

NOTE:
Tracts 2-A, 3-A-1 and 4-A-1 will gain access to the dedicated public streets as shown herein by reciprocal access easements as defined in that certain "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 18th day of May, 2004, in Book A77, Page 6952.



NOTE
Said Tracts 2-A, 3-A-1 and 4-A-1 are subject to all restrictions, conditions and requirements as set forth in that certain "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 18th day of May, 2004, in Book A77, Page 6952.

LINE TABLE

LINE	LENGTH	BEARING
L1	32.43'	S89°45'47"E
L2	139.66'	N89°19'00"W
L3	24.17'	N88°52'28"W
L4	59.55'	S15°45'52"W
L5	15.00'	N00°00'00"E
L6	32.13'	N00°00'00"E
L7	72.50'	N90°00'00"E
L8	203.13'	S00°00'00"W

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	275.89'	5646.45'	137.97'	275.87'	S12°08'14"W	2°47'58"
C2	33.32'	55.00'	17.19'	32.82'	S30°53'45"W	34°42'52"
C3	22.64'	16.00'	13.69'	20.80'	N48°46'33"W	81°04'54"
C4	31.97'	25.00'	18.59'	29.84'	N48°25'03"E	73°16'25"

Albuquerque Control Survey Monument
"11-H11"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1495852.97
X=364763.94
G-C=0.99967720
Delta Alpha=-00'15"36"
Elevation=5098.514 (NAVD29)

REMAINDER TRACT 334
TOWN OF ATRISCO GRANT
UNIT NO. 8
Filed 12-4-44 in Volume D, Folio 117

TRACT 333-A-1-A
TRACT 333-A-1-B
TOWN OF ATRISCO GRANT UNIT 8
Filed October 10, 1995 in Volume 95C, Folio 363

2687872688
8555567
Page 4 of 4
85/17/2687 62:13P
Bk-2687C Pg-126

SURV TEK, INC.
Consulting Surveyors
9384 Valley View Drive N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3577
Phone: 505-897-3966

VACATION EXHIBIT

TRACTS 1 THRU 6

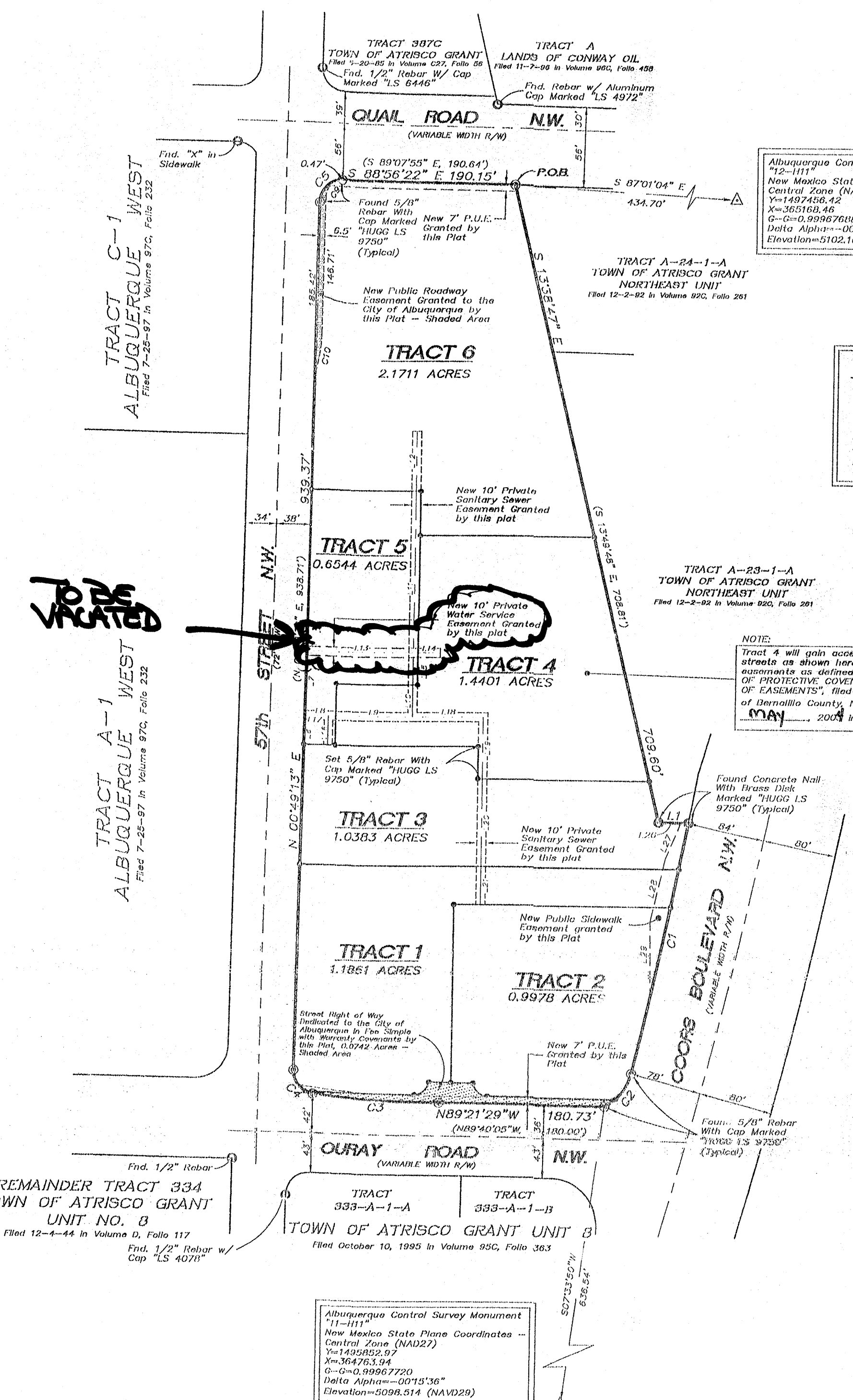
QUAIL RIDGE

(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)

WITHIN
 THE TOWN OF ATRISCO GRANT
 PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER, 2003

NEW EASEMENTS GRANTED BY THIS PLAT

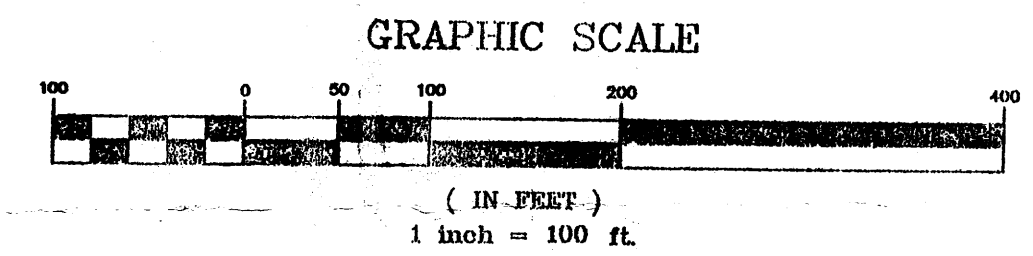


Albuquerque Control Survey Monument
 "12-1111"
 New Mexico State Plane Coordinates -
 Central Zone (NAD27)
 Y=1497456.42
 X=365168.46
 G=0-0.99967608
 Delta Alpha=-00'15"34"
 Elevation=5102.169 (NAVD29)

2891867185
 8888655
 Page: 4 of 4
 85/18/2884 18:45A
 Bk-2884C Pg-154

NOTE
 Said Tracts 1 through 6 are subject to all restrictions, conditions and requirements as set forth in that certain "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 18th day of May, 2003 in Book A11, Pages 698.

NOTE
 Tract 4 will gain access to the dedicated public streets as shown hereon by reciprocal access easements as defined in that certain "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 18th day of May, 2003 in Book A11, pages 698.



CORNER LEGEND

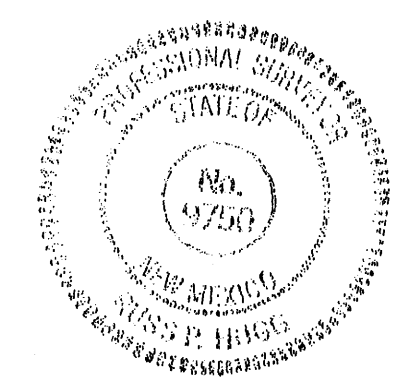
- FOUND 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"
- FOUND CONCRETE NAIL WITH BRASS DISK MARKED "HUGG LS 9750"
- SET 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"

LINE TABLE

LINE	LENGTH	BEARING
L1	32.43 (33.06)	S89°45'47"E (88°56'14"E)
L6	32.13	N00°49'13"E
L7	69.79	N00°49'13"E
L8	35.22	N90°00'00"E
L9	85.44	N90°00'00"E
L10	34.87	N00°00'00"E
L11	211.45	N00°00'00"E
L12	64.69	N00°00'00"E
L13	124.66	S00°00'00"W
L14	24.26	N90°00'00"W
L15	34.87	N00°00'00"E
L16	32.13	S00°00'00"W
L17	27.06	N90°00'00"E
L18	77.50	N90°00'00"E
L19	67.13	S00°00'00"W
L20	95.00	S00°00'00"W
L21	41.00	S00°00'00"W
L26	24.08	S89°45'47"E
L27	41.79	S22°31'57"W
L28	69.01	S13°02'16"W
L29	81.72	S00°45'05"E

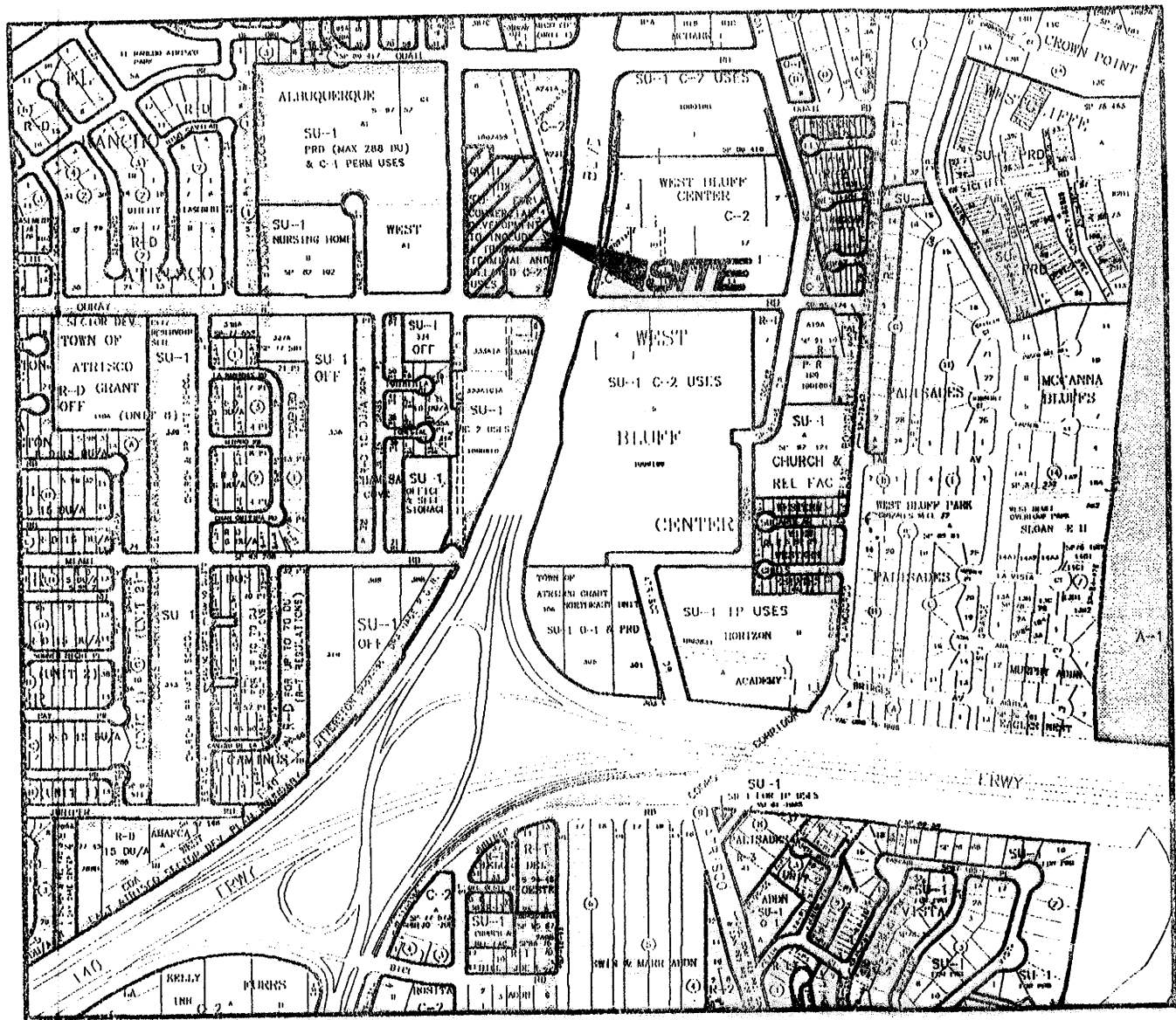
CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	5846.45' (5646.45')	275.63' (275.93')	137.97'	275.87' (275.90')	S12°58'14"W (S11°54'07"W)	2°47'58" (2°48'00")
C2	55.00' (58.00')	47.59' (47.63')	25.40'	46.12' (46.15')	S38°19'32"W (S38°06'34"W)	49°34'26" (49°36'56")
C3	1346.80' (1346.80')	139.56' (138.67')	69.84'	139.49' (138.61')	N86°43'49"W (N86°43'06"W)	5°56'13" (5°53'57")
C4	25.00' (25.00')	36.91' (36.91')	22.74'	33.64' (33.65')	N41°28'15"W (N41°26'14"W)	84°34'56" (84°35'47")
C5	25.00' (25.00')	39.37' (39.29')	25.11'	35.43' (35.37')	N45°56'25"E (N45°50'52"E)	90°14'25" (90°02'26")
C9	19.00'	29.92'	19.08'	26.93'	S45°56'25"W	90°14'25"
C10	157.00'	45.33'	22.83'	45.18'	N09°05'33"E	16°32'40"



SURVOTEK, INC.
 Consulting Surveyors

5645 Paradise Blvd. E. Albuquerque, New Mexico 87114 Phone: 505-897-3399
 5645 Paradise Blvd. W. Albuquerque, New Mexico 87114 Fax: 505-897-3377



VICINITY MAP
NOT TO SCALE

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

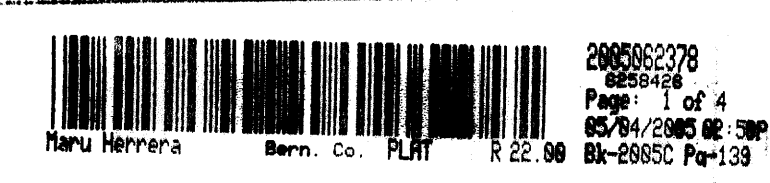
In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

NOTE

City of Albuquerque Water and Sanitary Sewer Service to the properties shown hereon must be verified and coordinated with the Public Works Department, City of Albuquerque.

DISCLOSURE STATEMENT

The purpose of this plat is to create 4 new tracts from 4 existing tracts. Grant private water line and private sanitary sewer easements. Show easements vacated by Application No. 05DRB-00615, Project No. 1002459



Bernalillo County
One Civic Center Blvd, Suite 202
Albuquerque, New Mexico 87102

TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the following property:
 TRACT 1: 101105920043520602
 TRACT 3: 101105920043520602
 TRACT 4: 101105920043520602
 TRACT 5: 101105920043520602

Conchita Lucero
Bernalillo County Treasurer's Office
5/1/05 Date

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 1927), originated at the Albuquerque Control Survey Monument "12-H11".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the months of February and March 2003.
- Documents used in the preparation of this survey are as follows:
 - Plat entitled "TRACTS 1 THRU 6, QUAIL RIDGE, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed May 18, 2004, in Volume 2004C, Folio 154, records of Bernalillo County, New Mexico.
 - Plat entitled "W.H. BRUNELL ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed January 25, 1972, in Volume C8, Folio 84, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF LOTS A1, 387A, 387B & 387C, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1985", filed May 20, 1985, in Volume C27, Folio 56, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF TRACTS A-1 & C-1, ALBUQUERQUE WEST, ALBUQUERQUE, NEW MEXICO, MAY 1996", filed July 25, 1997, in Volume 97C, Folio 232, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF TRACTS A-23-1-A AND A-24-1-A, TOWN OF ATRISCO GRANT (NORTHEAST UNIT), ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1992", filed December 2, 1992, in Volume 92C, Folio 261, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF TRACTS 333-A-1-A, 333-A-1-B AND 333-A-1-C, TOWN OF ATRISCO GRANT, UNIT B, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MARCH 1994", filed October 10, 1995, in Volume 95C, Folio 363, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF TRACT A, LANDS OF CONWAY OIL, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER, 1996", filed November 7, 1996, in Volume 96C, Folio 458, records of Bernalillo County, New Mexico.
 - Plat entitled "LOTS 1 AND 2, MICKEY D'S SUBDIVISION UNIT 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, OCTOBER, 1993", filed February 1, 1994, in Volume 94C, Folio 32, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1943", filed December 5, 1944, in Volume D, Folio 117, records of Bernalillo County, New Mexico.
 - Final Judgement, Certification of Payment and Order of Disbursement filed June 15, 1988, in Book Misc. 632A, Pages 383 - 391, records of Bernalillo County, New Mexico.
 - City of Albuquerque Zone Atlas Page: H-11-Z
 - U.C.L.S. Log Number 2005153301
 - Total number of existing tracts: 4
 - Total number of new tracts created: 4
 - Total mileage of full width streets created: 0 miles
 - Gross subdivision acreage: 4.3189 acres

TRACTS 1-A, 3-A, 4-A AND 5-A
QUAIL RIDGE

(BEING A REPLAT OF TRACTS 1, 3, 4 AND 5 QUAIL RIDGE)
 WITHIN
 THE TOWN OF ATRISCO GRANT
 PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2005

PROJECT NUMBER: 1002459
 Application Number: 05-00616

PLAT APPROVAL

Utility Approvals	<i>[Signature]</i>	4-28-05
PNM Electric Services	<i>[Signature]</i>	Date
PNM Gas Services	<i>[Signature]</i>	4-28-05
QWest Telecommunications	<i>[Signature]</i>	Date
Comcast	<i>[Signature]</i>	Date
New Mexico Utilities	N/A	Date
City Approvals	<i>[Signature]</i>	4-11-05
City Surveyor	<i>[Signature]</i>	Date
Real Property Division	N/A	Date
Environmental Health Department	<i>[Signature]</i>	4-20-05
Traffic Engineering/Transportation Division	<i>[Signature]</i>	4-20-05
Utilities Development	<i>[Signature]</i>	Date
Parks and Recreation Department	<i>[Signature]</i>	Date
AMAFCA	<i>[Signature]</i>	Date
City Engineer	<i>[Signature]</i>	Date
URB Chairperson, Planning Department	<i>[Signature]</i>	Date

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
 Russ P. Hugg
 NMPS No. 9750
 April 7, 2005



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Page: 2 of 4
85/04/2005 02:50P
Bk-0005C Pg-139

TRACTS 1-A, 3-A, 4-A AND 5-A
QUAIL RIDGE
(BEING A REPLAT OF TRACTS 1, 3, 4 AND 5 QUAIL RIDGE)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2005

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Atrisco Grant in projected Section 11, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tracts 1, 3, 4 and 5, Quail Ridge, as the same is shown and designated on the plat filed May 18, 2004, in Volume 2004C, Folio 154, records of Bernalillo County, New Mexico.

Said parcel contains 4.3189 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising TRACTS 1-A, 3-A, 4-A AND 5-A, QUAIL RIDGE (BEING A REPLAT OF TRACTS 1, 3, 4 AND 5, QUAIL RIDGE) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to the elimination of tract lines and vacation of easements as shown hereon. Said owner(s) and proprietor(s) do hereby grant private water service and private sanitary sewer easements as shown hereon. Said owner(s) and proprietor(s) do hereby grant the public utility easements to the use of the public forever, if any. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER: TRACTS 1, 3, 4 AND 5
Quail Plaza, LLC


Ben Spencer, Member

ACKNOWLEDGEMENT

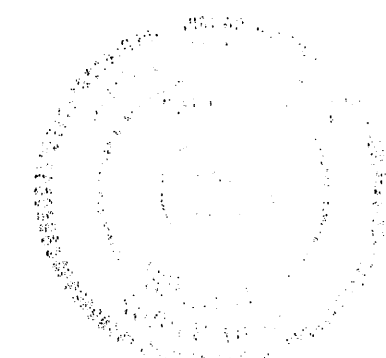
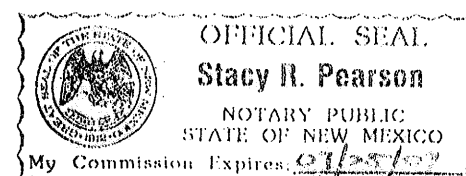
STATE OF New Mexico
SS
COUNTY OF Sandoval

This instrument was acknowledged before me on this 18th day

of April, 2005, by Ben Spencer.


Notary Public

My Commission expires: 07/05/07



SURVOTEK, INC.

BOUNDARY INFORMATION, EXISTING TRACTS AND EASEMENTS

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Page 3 of 4
05/04/2005 02:50P
Bk-2865C Pt-139

**TRACTS 1-A, 3-A, 4-A AND 5-A
QUAIL RIDGE**

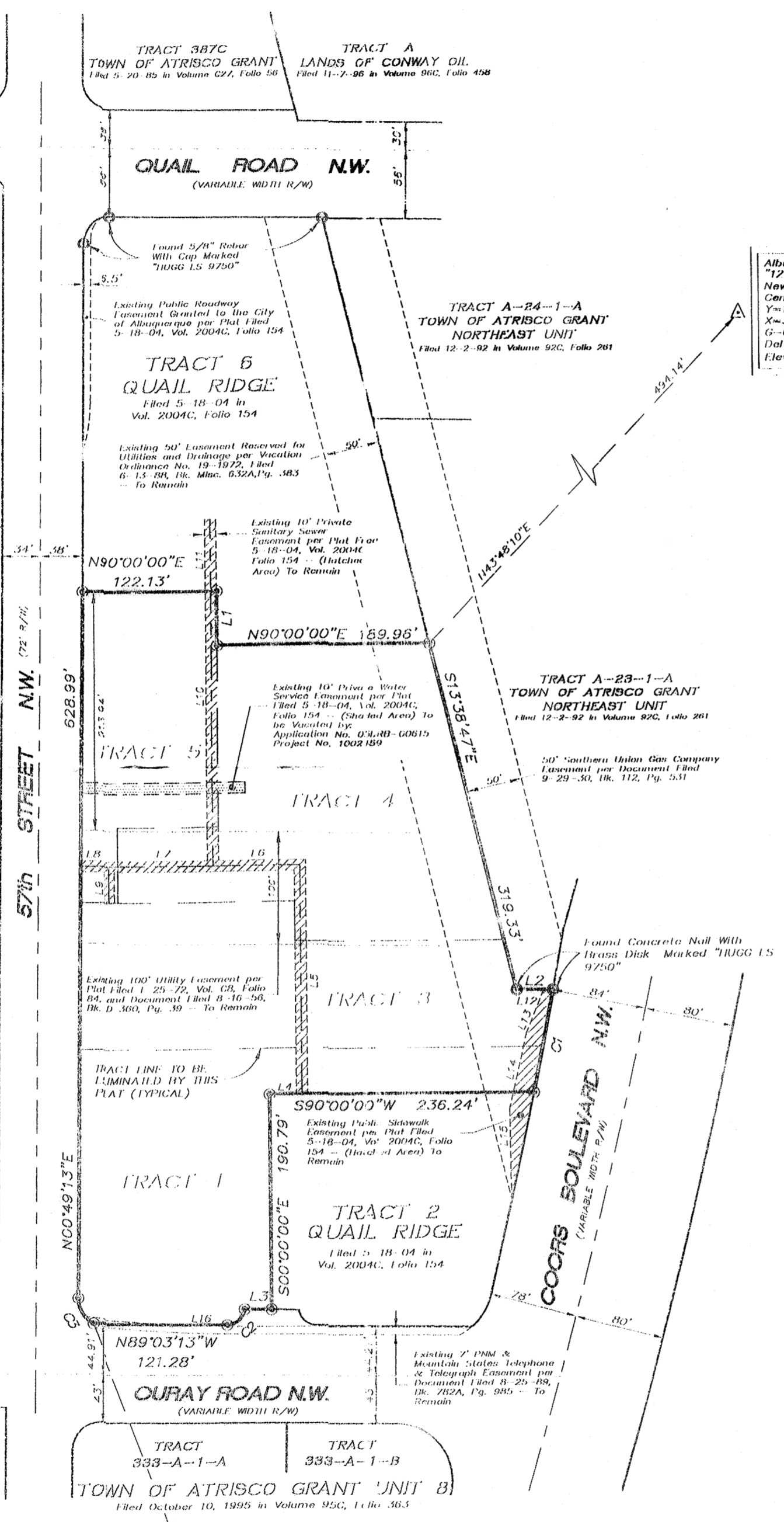
(BEING A REPLAT OF TRACTS 1, 3, 4 AND 5 QUAIL RIDGE)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2005

SEE SHEET 4 OF 4 FOR NEW TRACT AND EASEMENT INFORMATION

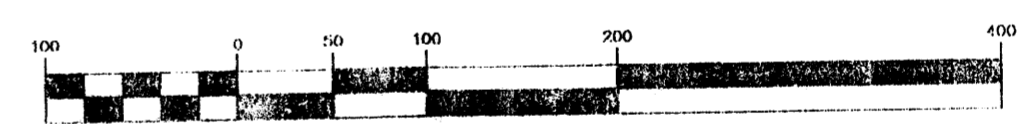
TRACT C-1 WEST
ALBUQUERQUE WEST
File 7-25-87 in Volume 87C, Folio 232

TRACT A-1 WEST
ALBUQUERQUE WEST
File 7-25-87 in Volume 87C, Folio 232



Albuquerque Control Survey Monument
"12-111"
New Mexico State Plane Coordinates
Central Zone (NAD27)
Y=1497456.42
X=363188.46
G-C=0.99967698
Delta Alpha=00°15'54"
Elevation=5102.169 (NAV129)

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

LINE TABLE

LINE	LENGTH	BEARING
L1	47.78'	S00°00'00"E
L2	32.43'	S89°45'47"E
L3	24.16'	N88°52'28"W
L4	29.08'	S90°00'00"W
L5	203.13'	N00°00'00"E
L6	77.50'	S90°00'00"W
L7	93.60'	S90°00'00"W
L8	26.99'	S90°00'00"W
L9	32.13'	S00°00'00"E
L10	246.33'	N00°00'00"E
L11	64.69'	N00°00'00"E
L12	24.08'	S89°45'47"E
L13	41.79'	S22°31'52"W
L14	69.01'	S13°02'16"W
L15	81.72'	S00°45'05"E
L16	46.12'	N89°03'13"W

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	93.00'	5646.45'	46.50'	92.99'	S11°12'33"W	0°56'37"
C2	22.64'	16.00'	13.69'	20.80'	S48°46'33"W	81°04'56"
C3	27.67'	25.00'	15.45'	26.28'	N30°53'25"W	63°25'16"
C4	83.31'	1339.80'	41.67'	83.29'	N84°47'46"W	3°33'48"

CORNER LEGEND

- ⊙ FOUND 5/8" REBAR WITH CAP MARKED "TRUGG 15 9750"
- FOUND PROPERTY CORNER AS INDICATED
- ⊙ SET 5/8" REBAR WITH CAP MARKED "TRUGG 15 9750"

REMAINDER TRACT 334
TOWN OF ATRISCO GRANT
UNIT NO. 8
Filed 12-4-44 in Volume D, Folio 11.

TRACT 333-A-1-A
TRACT 333-A-1-B
TOWN OF ATRISCO GRANT UNIT B
Filed October 10, 1995 in Volume 95C, Folio 363

Albuquerque Control Survey Monument
"11-111"
New Mexico State Plane Coordinates
Central Zone (NAD27)
Y=1495892.97
X=364763.94
G-C=0.99967724
Delta Alpha=00°15'54"
Elevation=5098.54 (NAV129)

SURVOTEK, INC.

Surveying & Mapping
10000 1st Avenue NE, Albuquerque, NM 87112
Phone: 505-897-3997
Fax: 505-897-3997

NEW TRACTS AND EASEMENTS

2095662378
 5256488
 Page: 4 of 4
 65/84/2005 02:58P
 BK-2965C Pg-138

**TRACTS 1-A, 3-A, 4-A AND 5-A
 QUAIL RIDGE**

(BEING A REPLAT OF TRACTS 1, 3, 4 AND 5 QUAIL RIDGE)

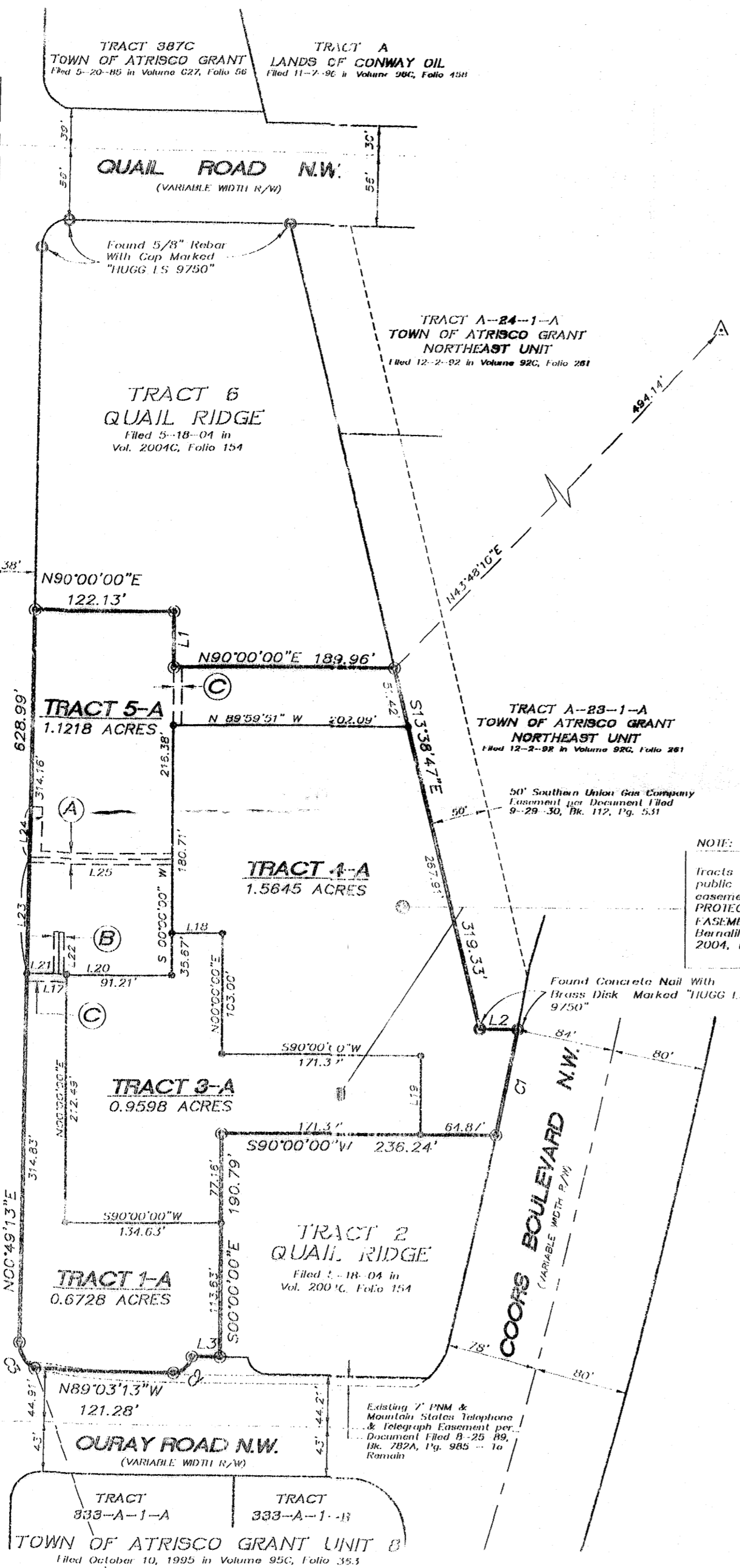
WITHIN
 THE TOWN OF ATRISCO GRANT
 PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2005

SEE SHEET 3 OF 4 FOR BOUNDARY
 INFORMATION, EXISTING TRACTS AND EASEMENTS

TRACT C-1
 ALBUQUERQUE WEST
 Filed 7-25-87 in Volume 97C, Folio 232

TRACT A-1
 ALBUQUERQUE WEST
 Filed 7-25-87 in Volume 97C, Folio 232

REMAINDER TRACT 334
 TOWN OF ATRISCO GRANT
 UNIT NO. B
 Filed 12-1-44 in Volume D, Folio 117



Albuquerque Control Survey Monument
 "12-111"
 New Mexico State Plane Coordinates
 Central Zone (NAD27)
 Y=147456.42
 X=30168.46
 C=0.99967688
 Delta Alpha=-00'15.54"
 Elevation=5102.169 (NAVD29)

- NEW EASEMENTS GRANTED
 BY THIS PLAT**
- (A) New 10' Private Water Service Easement Granted by this Plat.
 - (B) New 10' Private Sanitary Sewer Easement Granted by this Plat.
 - (C) New 7' Public Utility Easement Granted by this Plat.

NOTE:
 Tracts 3-A and 4-A will gain access to the dedicated public streets as shown hereon by reciprocal access easements as defined in that certain "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 18th day of May, 2004, in Book A77, Page 6952.

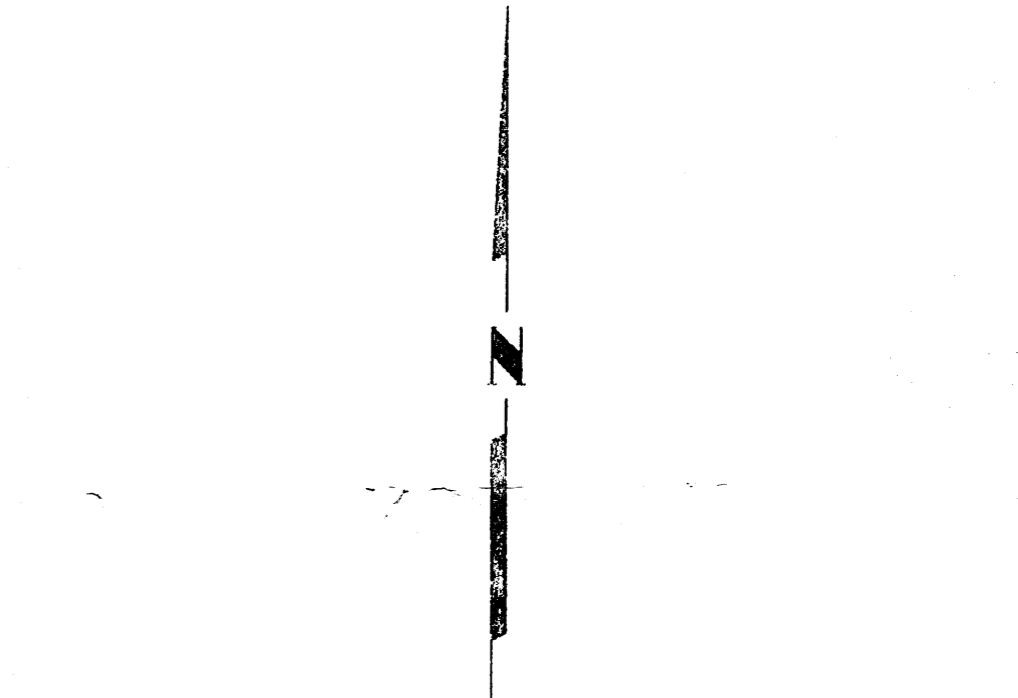
- CORNER LEGEND**
- (C) FOUND 5/8" REBAR WITH CAP MARKED "TRUGG LS 9750"
 - (O) FOUND PROPERTY CORNER AS INDICATED
 - (•) SET 5/8" REBAR WITH CAP MARKED "TRUGG LS 9750"

LINE TABLE

LINE	LENGTH	BEARING
L1	47.78'	S00°00'00"E
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CURVE TABLE

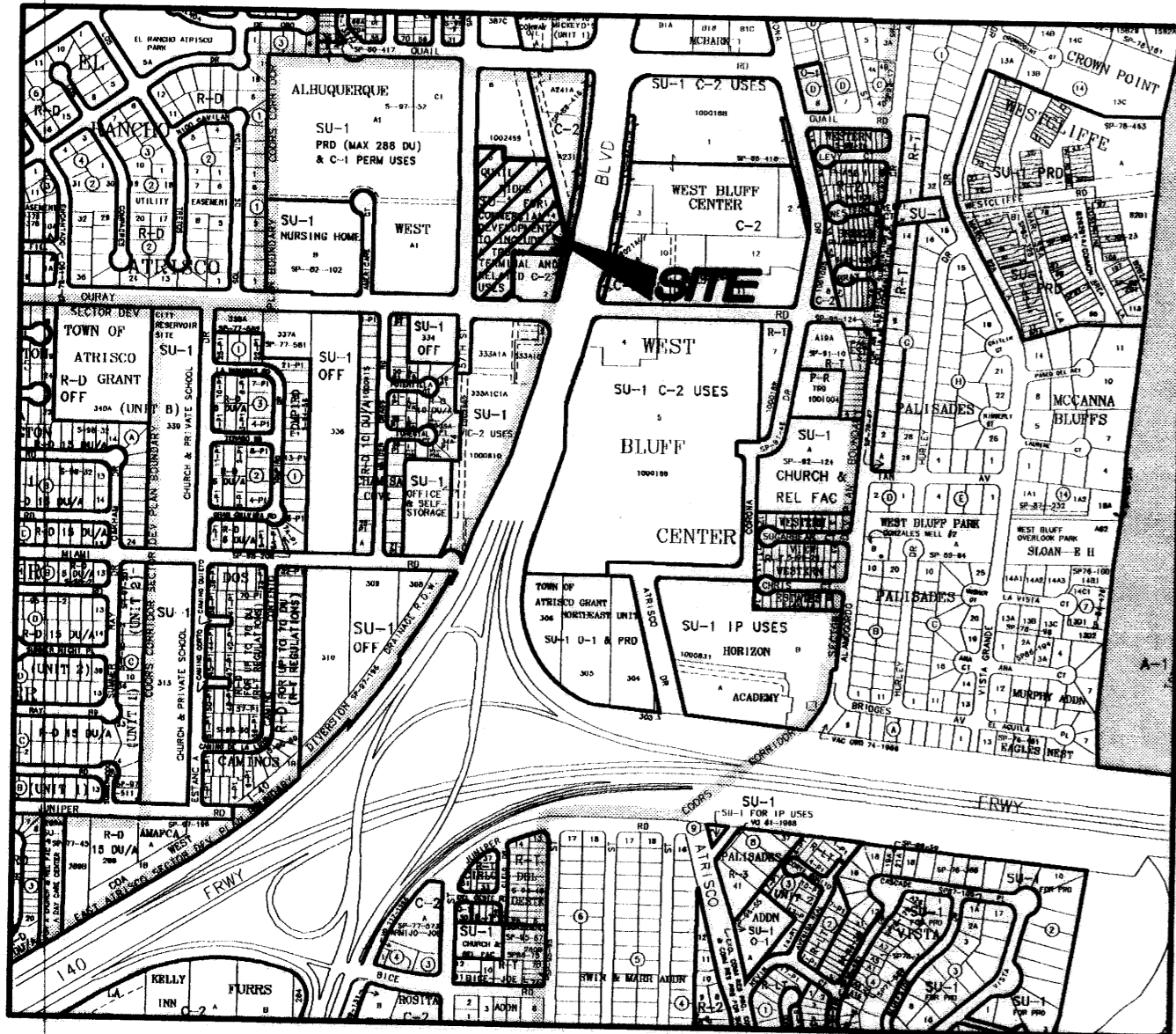
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NOTE
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Albuquerque Control Survey Monument
 "11-1111"
 New Mexico State Plane Coordinates
 Central Zone (NAD27)
 Y=1495852.97
 X=364763.94
 C=0.99967720
 Delta Alpha=-00'15.54"
 Elevation=5088.14 (NAVD29)

SURVOTEK, INC.



VICINITY MAP
NOT TO SCALE

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- C. QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- D. Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

NOTE

City of Albuquerque Water and Sanitary Sewer Service to the properties shown hereon must be verified and coordinated with the Public Works Department, City of Albuquerque.

DISCLOSURE STATEMENT

The purpose of this plat is to create 4 new tracts from 4 existing tracts. Grant private water line and private sanitary sewer easements. Show easements vacated by

TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the following property:

- TRACT 1: 10110000043520002
- TRACT 3: 10110000043520002
- TRACT 4: 10110000043520002
- TRACT 5: 10110000043520002

Bernalillo County Treasurer's Office _____ Date _____

GENERAL NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 1987) originated at the Albuquerque Control Survey Monument "12-M11".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. Field surveys were performed during the months of February and March 2003.
8. Documents used in the preparation of this survey are as follows:
 - A. Plat entitled "TRACTS 1 THRU 8, QUAIL RIDGE, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed May 18, 2004, in Volume 2004C, Folio 154, records of Bernalillo County, New Mexico.
 - B. Plat entitled "W.H. BRUNELL ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed January 25, 1972, in Volume C8, Folio 84, records of Bernalillo County, New Mexico.
 - C. Plat entitled "PLAT OF LOTS A1, 387A, 387B & 387C, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1985", filed May 20, 1985, in Volume C27, Folio 56, records of Bernalillo County, New Mexico.
 - D. Plat entitled "PLAT OF TRACTS A-1 & C-1, ALBUQUERQUE WEST, ALBUQUERQUE, NEW MEXICO, MAY 1996", filed July 25, 1992, in Volume 97C, Folio 232, records of Bernalillo County, New Mexico.
 - E. Plat entitled "PLAT OF TRACTS A-23-1-A AND A-24-1-A, TOWN OF ATRISCO GRANT (NORTHEAST UNIT), ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1992", filed December 2, 1992, in Volume 92C, Folio 261, records of Bernalillo County, New Mexico.
 - F. Plat entitled "PLAT OF TRACTS 333-A-1-A, 333-A-1-B AND 333-A-1-C, TOWN OF ATRISCO GRANT, UNIT 8, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MARCH 1994", filed October 10, 1995, in Volume 95C, Folio 363, records of Bernalillo County, New Mexico.
 - G. Plat entitled "PLAT OF TRACT A, LANDS OF CONWAY OIL, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER, 1996", filed November 7, 1996, in Volume 96C, Folio 458, records of Bernalillo County, New Mexico.
 - H. Plat entitled "LOTS 1 AND 2, MICKEY D'S SUBDIVISION UNIT 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, OCTOBER, 1993", filed February 1, 1994, in Volume 94C, Folio 32, records of Bernalillo County, New Mexico.
9. City of Albuquerque Zone Atlas Page: H-11-5
10. U.C.L.S. Log Number 2005153301
11. Total number of existing tracts: 4
12. Total number of new tracts created: 4
13. Total mileage of full width streets created: 0 miles
14. Gross subdivision acreage: 4.3189 acres

TRACTS 1-A, 3-A, 4-A AND 5-A
QUAIL RIDGE
(BEING A REPLAT OF TRACTS 1, 3, 4 AND 5 QUAIL RIDGE)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2005

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals

PRELIMINARY PLAT
APPROVED BY DRB
ON _____

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date _____

QWest Telecommunications _____ Date _____

Comcast _____ Date _____

New Mexico Utilities _____ Date _____

City Approvals: _____
City Surveyor: *[Signature]* 4-12-05
Date

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Utilities Department _____ Date _____

Parks and Recreation Department _____ Date _____

AMA/CA _____ Date _____

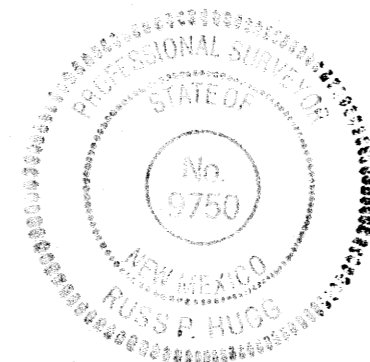
City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMP.S. No. 9750
April 7, 2005



SURV TEK, INC.

Consulting Surveyors
984 Valley View Drive N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

TRACTS 1-A, 3-A, 4-A AND 5-A
QUAIL RIDGE
(BEING A REPLAT OF TRACTS 1, 3, 4 AND 5 QUAIL RIDGE)
WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2005

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Atrisco Grant in projected Section 11, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tracts 1, 3, 4 and 5, Quail Ridge, as the same is shown and designated on the plat filed May 18, 2004, in Volume 2004C, Folio 154, records of Bernalillo County, New Mexico.

Said parcel contains 4.3189 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising TRACTS 1-A, 3-A, 4-A AND 5-A, QUAIL RIDGE (BEING A REPLAT OF TRACTS 1, 3, 4 AND 5, QUAIL RIDGE) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to the elimination of tract lines and vacation of easements as shown hereon. Said owner(s) and proprietor(s) do hereby grant private water service and private sanitary sewer easements as shown hereon. Said owner(s) and proprietor(s) do hereby grant the public utility easements to the use of the public forever, if any. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER: TRACTS 1, 3, 4 AND 5
Quail Plaza, LLC

BS

Ben Spencer, Member

ACKNOWLEDGEMENT

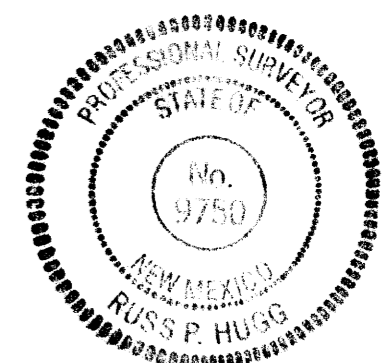
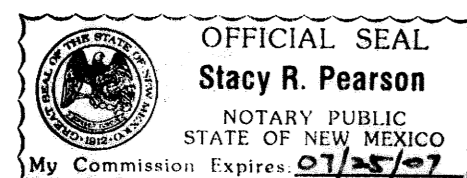
STATE OF New Mexico
COUNTY OF Sandoval

This instrument was acknowledged before me on this 12th day
of April, 2005, by Ben Spencer.

Stacy R. Pearson

Notary Public

My Commission expires: 07/25/07



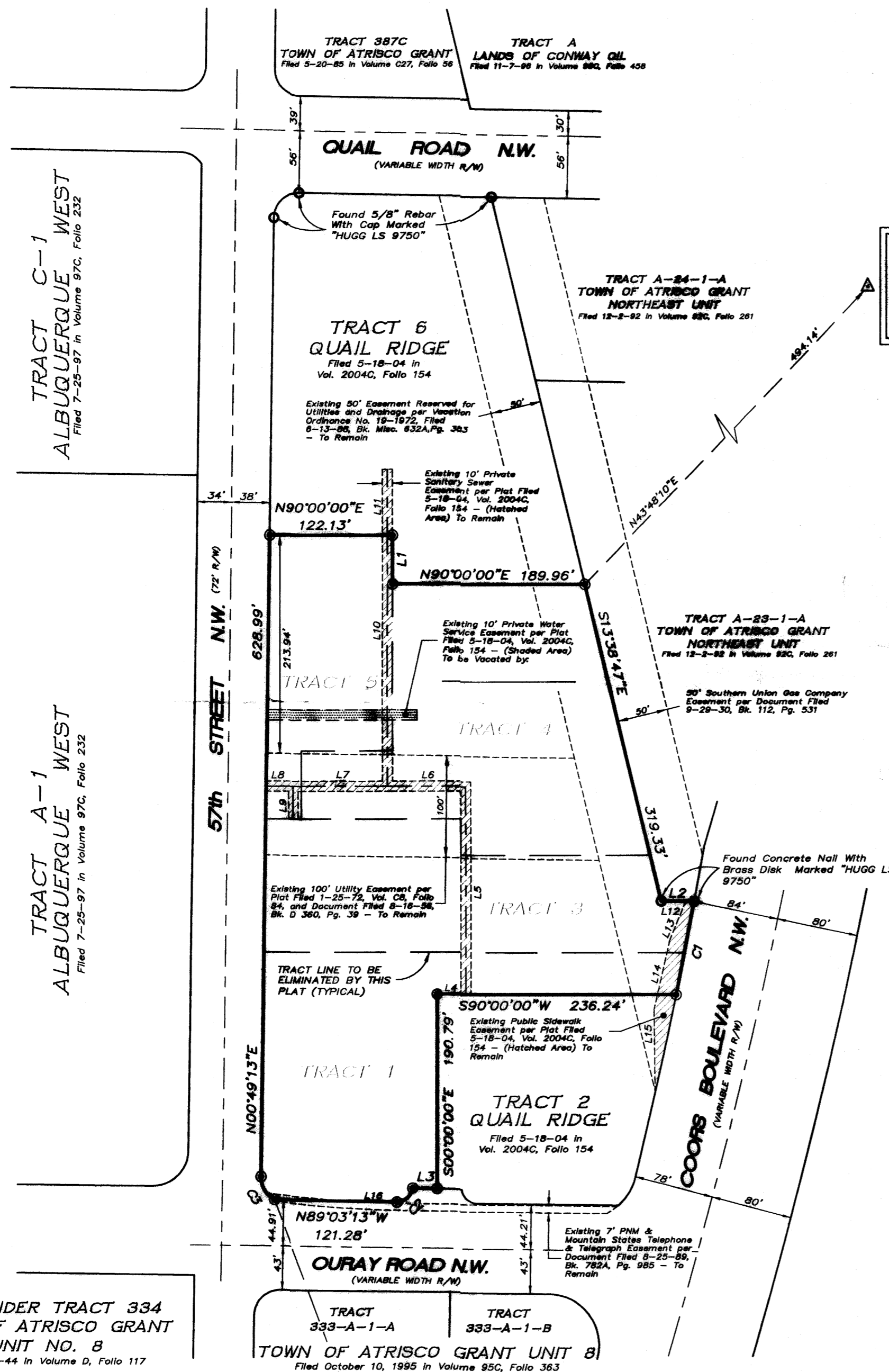
BOUNDARY INFORMATION, EXISTING TRACTS AND EASEMENTS

TRACTS 1-A, 3-A, 4-A AND 5-A QUAIL RIDGE

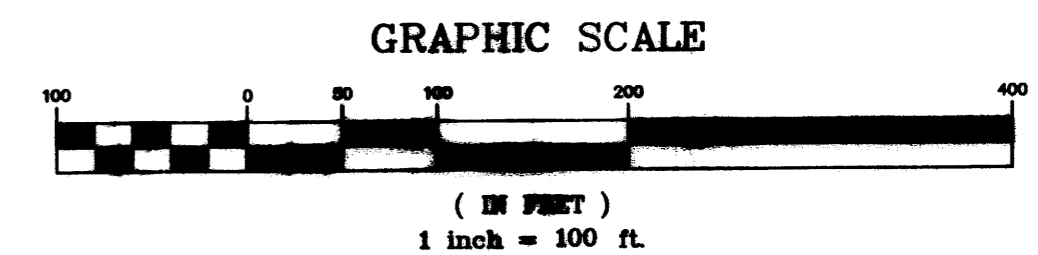
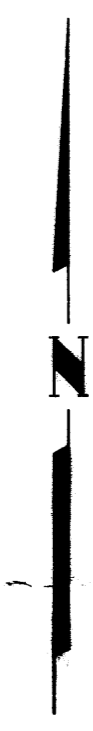
(BEING A REPLAT OF TRACTS 1, 3, 4 AND 5 QUAIL RIDGE)

WITHIN
 THE TOWN OF ATRISCO GRANT
 PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2005

SEE SHEET 4 OF 4 FOR NEW TRACT AND EASEMENT INFORMATION



Albuquerque Control Survey Monument
 "12-H11"
 New Mexico State Plane Coordinates -
 Central Zone (NAD27)
 Y=1487488.42
 X=381888.48
 C=0.0000007688
 Delta Alpha=0015'34"
 Elevation=5102.169 (NAVD29)



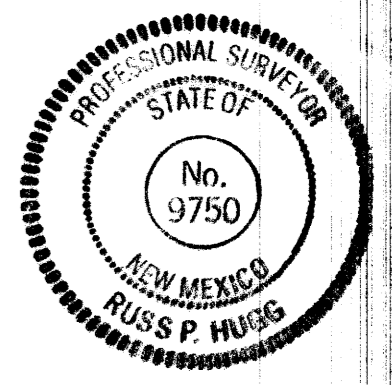
LINE TABLE

LINE	LENGTH	BEARING
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 - SET 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"



Albuquerque Control Survey Monument
 "11-H11"
 New Mexico State Plane Coordinates -
 Central Zone (NAD27)
 Y=1495852.97
 X=384763.94
 C=0.0000007720
 Delta Alpha=0015'36"
 Elevation=5098.514 (NAVD29)

SURVOTEK, INC.
 Consulting Surveyors
 9084 Valley View Drive N.W. Albuquerque, New Mexico 87114 Fax: 505-847-5877
 Phone: 505-847-5388

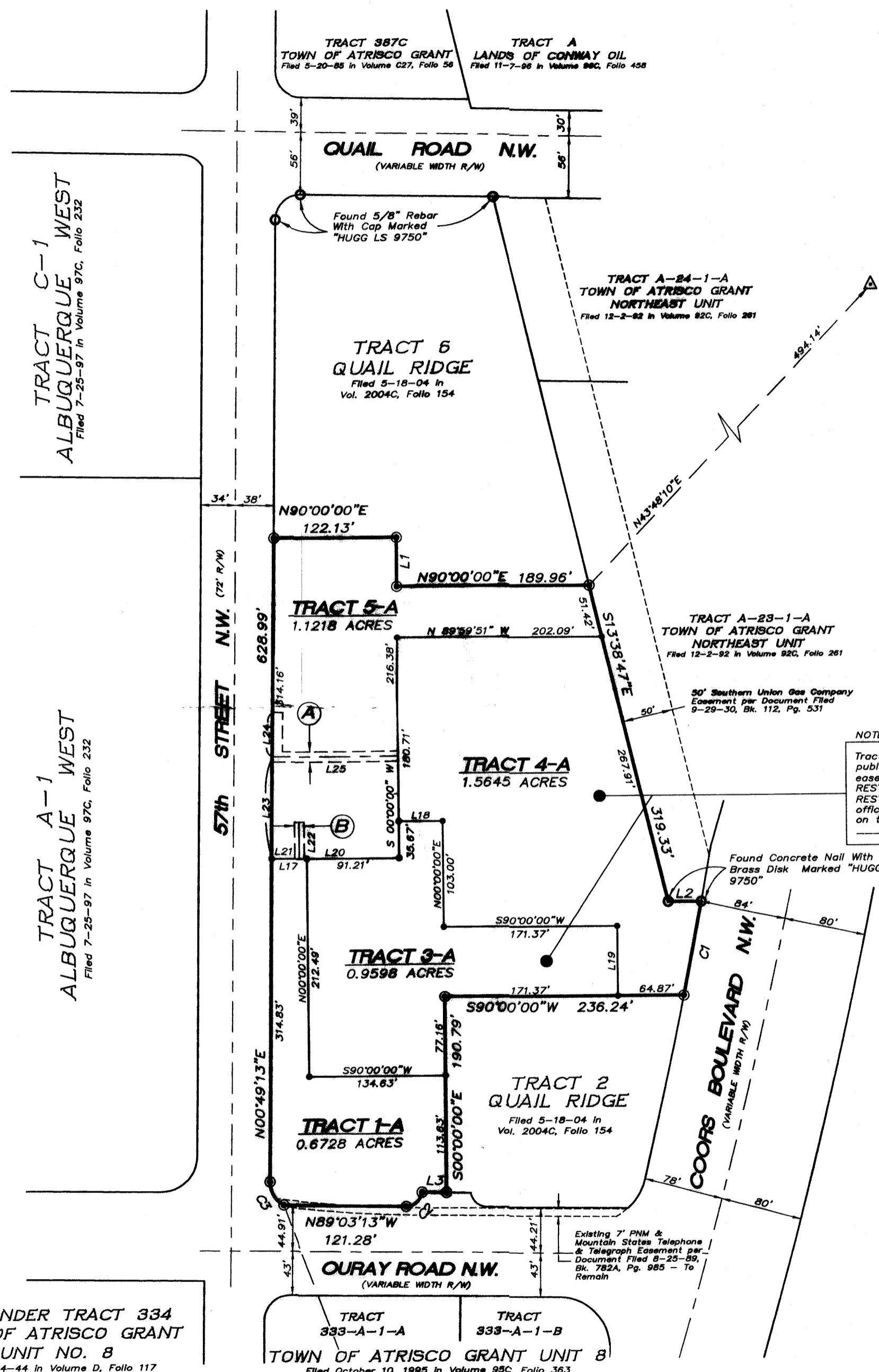
NEW TRACTS AND EASEMENTS

**TRACTS 1-A, 3-A, 4-A AND 5-A
QUAIL RIDGE**

(BEING A REPLAT OF TRACTS 1, 3, 4 AND 5 QUAIL RIDGE)

WITHIN
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PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2005

SEE SHEET 3 OF 4 FOR BOUNDARY
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X=385188.46
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CORNER LEGEND

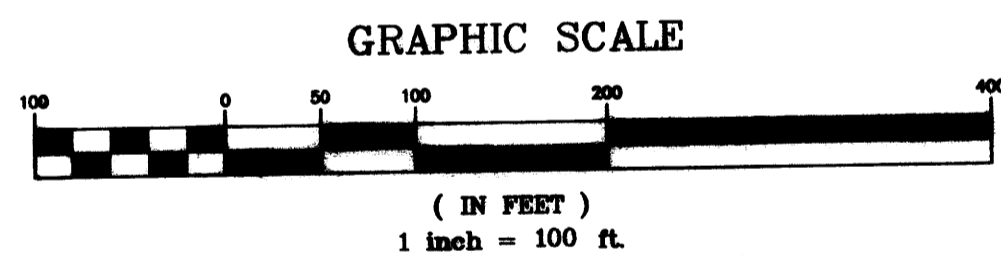
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CURVE TABLE

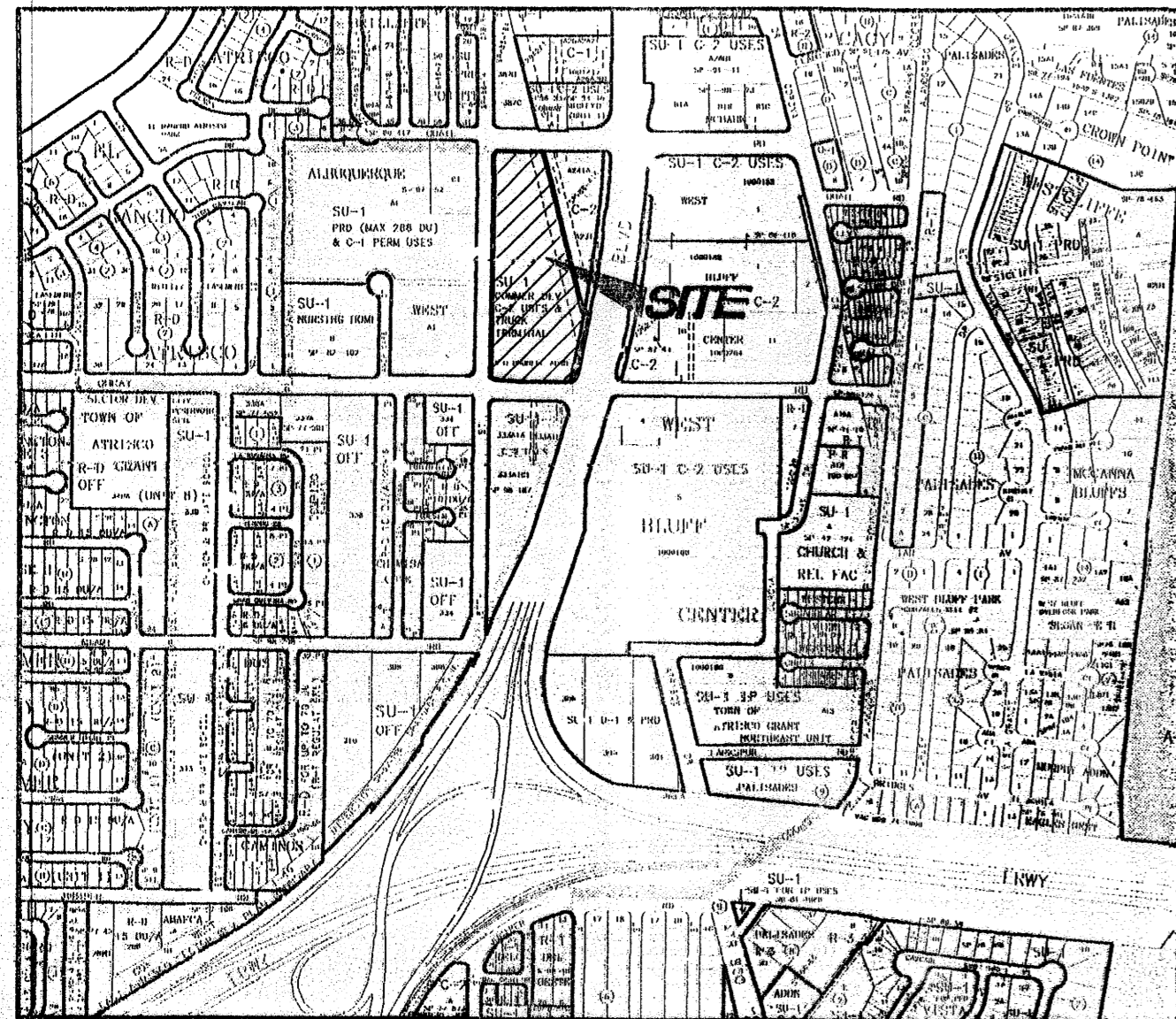
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SURVOTEK, INC.
Consulting Surveyors
8384 Valley View Drive N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3888 Fax: 505-897-3877



VICINITY MAP
NOT TO SCALE

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- C. QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- D. Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

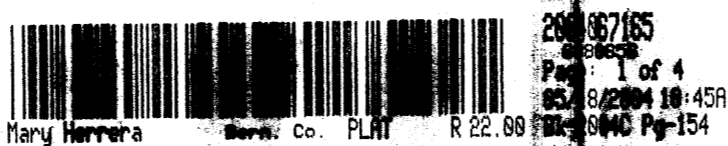
In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

NOTE

City of Albuquerque Water and Sanitary Sewer Service to the properties shown hereon must be verified and coordinated with the Public Works Department, City of Albuquerque.

DISCLOSURE STATEMENT

The purpose of this plat is to create 6 tracts. Grant private water line and private sanitary sewer easements. Dedicate street right of way to the City of Albuquerque in fee simple with warranty covenants. Grant public sidewalk easements.



TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the following property:

UPC# 10110592004320602

[Signature] 15 May 03
Bernalillo County Treasurer's Office Date

GENERAL NOTES

1. Bearings are New Mexico State Plane Old Bearings (Central Zone - NAD 1927) originated at the Albuquerque Control Survey Monument "12-MT".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. Field surveys were performed during the months of February and March 2003.
8. Documents used in the preparation of this survey are as follows:
 - A. Plat entitled "W.H. BRUNELL ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO," filed January 25, 1972, in Volume CB, Folio 84, records of Bernalillo County, New Mexico.
 - B. Plat entitled "PLAT OF LOTS A1, 387A, 387B & 387C, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1985", filed May 20, 1985, in Volume C27, Folio 20, records of Bernalillo County, New Mexico.
 - C. Plat entitled "PLAT OF TRACTS A-1 & C-1, ALBUQUERQUE WEST, ALBUQUERQUE, NEW MEXICO, MAY 1996", filed July 25, 1997, in Volume 97C, Folio 232, records of Bernalillo County, New Mexico.
 - D. Plat entitled "PLAT OF TRACTS A-23-1-A AND A-24-1-A, TOWN OF ATRISCO GRANT (NORTHEAST UNIT), ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1992", filed December 2, 1992, in Volume 92C, Folio 261, records of Bernalillo County, New Mexico.
 - E. Plat entitled "PLAT OF TRACTS 333-A-1-A, 333-A-1-B AND 333-A-1-C, TOWN OF ATRISCO GRANT, UNIT B, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MARCH 1994", filed October 10, 1995, in Volume 95C, Folio 363, records of Bernalillo County, New Mexico.
 - F. Plat entitled "PLAT OF TRACT A, LANDS OF CONWAY OIL, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER, 1996", filed November 7, 1996, in Volume 96C, Folio 458, records of Bernalillo County, New Mexico.
 - G. Plat entitled "LOTS 1 AND 2, MICKEY D'S SUBDIVISION UNIT 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, OCTOBER, 1993", filed February 1, 1994, in Volume 94C, Folio 32, records of Bernalillo County, New Mexico.
 - H. Plat entitled "PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1943", filed December 5, 1944, in Volume D, Folio 117, records of Bernalillo County, New Mexico.
 - I. Final Judgment, Certification of Payment and Order of Disbursement filed June 15, 1988, in Book Misc. 632A, Pages 383 - 391, records of Bernalillo County, New Mexico.
 - J. Title Report prepared for this property by First American Title Insurance Company, Commitment for Title Insurance No. NM02-101321-AL01, dated December 3, 2002.
9. City of Albuquerque Zone Atlas Page: H-11-Z
10. U.C.L.S. Log Number 2003342337
11. Total number of existing tracts: 1
12. Total number of new tracts created: 6
13. Total mileage of full width streets created: 0 miles
14. Gross subdivision acreage: 7.5620 acres
15. In the event additional right-of-way is secured from the site for the reconstruction of the I-40/Coors interchange that conflicts with the existing 45' high sign, the sign shall be removed at the expense of the owner and relocated to meet all applicable city policies and regulation requirements.

TRACTS 1 THRU 6
QUAIL RIDGE
(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)
WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2003

PROJECT NUMBER: 1002459

Application Number: 100-0010

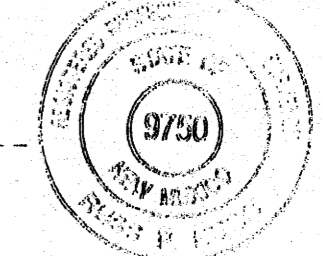
PLAT APPROVAL

Utility Approvals:	Date
PNM Electric Services	11-25-03
PNM Gas Services	11-25-03
QWest Telecommunications	12-19-03
Comcast	12-22-03
New Mexico Utilities	
City Approvals:	
City Surveyor	9-26-03
Real Property Division	
Environmental Health Department	
Traffic Engineering, Transportation Division	10/29/03
Utilities Development	10-29-03
Parks and Recreation Department	10/29/03
AMAFCA	10-29-03
City Engineer	5/19/04
DRB Chairperson, Planning Department	5-18-04

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMPS No. 9750
September 16, 2003



SURVOTEK, INC.
Consulting Surveyors
2000 Riverside Blvd., N.E. Albuquerque, New Mexico 87114
Phone: 505-807-5300
Fax: 505-807-5377

TRACTS 1 THRU 6
QUAIL RIDGE

(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2003

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Atrisco Grant in projected Section 11, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising the remaining portion of the W.H. Brunell Addition, as the same is shown and designated on the plat entitled "W.H. BRUNELL ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed January 25, 1972, in Volume CB, Folio 84, records of Bernalillo County, New Mexico, being more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

Beginning at the Northeast corner of the parcel herein described, said point being on the Southerly right of way line of Quail Road N.W. and also being the Northwest corner of Tract A-24-1-A, Town of Atrisco Grant, Northeast Unit, as the same is shown and designated on the plat entitled "PLAT OF TRACTS A-23-1-A AND A-24-1-A, TOWN OF ATRISCO GRANT (NORTHEAST UNIT), ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1992", filed December 2, 1992, in Volume 92C, Folio 261, records of Bernalillo County, New Mexico, from whence the Albuquerque Control Survey Monument "12-H11" bears S 87°01'04" E, 434.70 feet distant; Thence,

- S 13°38'47" E, 709.60 feet to a point, said point being the Southwest corner of Tract A-23-1-A, Town of Atrisco Grant, Northeast Unit, as the same is shown and designated on the plat entitled "PLAT OF TRACTS A-23-1-A AND A-24-1-A, TOWN OF ATRISCO GRANT (NORTHEAST UNIT), ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1992", filed December 2, 1992, in Volume 92C, Folio 261, records of Bernalillo County, New Mexico; Thence,
- S 89°45'47" E, 32.43 feet along the Southerly boundary line of said Tract A-23-1-A, Town of Atrisco Grant, Northeast Unit to a point on curve, said point being the Southeast corner of said Tract A-23-1-A, Town of Atrisco Grant, Northeast Unit, and also being a point on the Northwesterly right of way line of Coors Boulevard N.W.; Thence,
- Southwesterly, 275.89 feet along the arc of a curve to the right (said curve having a radius of 5646.45 feet, a central angle of 02°47'58" and a chord which bears S 12°08'14" W, 275.87 feet) to a point of compound curvature;
- Southwesterly, 47.59 feet along the arc of a curve to the right (said curve having a radius of 55.00 feet, a central angle of 49°34'26" and a chord which bears S 38°19'32" W, 46.12 feet) to a point of non-tangency, said point being on the Northerly right of way line of Ouray Road N.W.; Thence along said Northerly right of way line of Ouray Road N.W. for the following two courses,
- N 89°21'29" W, 180.73 feet to a point of curvature; Thence,
- Northwesterly, 139.56 feet along the arc of a curve to the right (said curve having a radius of 1346.80 feet, a central angle of 05°56'13" and a chord which bears N 86°43'49" W, 139.49 feet) to a point of compound curvature; Thence,
- Northwesterly, 36.91 feet along the arc of a curve to the right (said curve having a radius of 25.00 feet, a central angle of 84°34'56" and a chord which bears N 41°28'15" W, 33.64 feet) to a point of tangency, said point being on the Easterly right of way line of 57th Street N.W.; Thence,
- N 00°49'13" E, 939.37 feet to a point of curvature; Thence,
- Northeasterly, 39.37 feet along a curve to the right (said curve having a radius of 25.00 feet, a central angle of 90°14'25" and a chord which bears N 45°56'25" E, 35.43 feet) to a point of tangency, said point being on the Southerly right of way line of Quail Road N.W.; Thence,
- S 88°56'22" E, 190.15 feet to the point of beginning of the parcel herein described.

Said parcel contains 7.5620 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATED and now comprising TRACTS 1 THRU 6, QUAIL RIDGE (BEING A REPLAT OF THE W.H. BRUNELL ADDITION) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate street right of way to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant public sidewalk easements as shown hereon. Said owner(s) and proprietor(s) do hereby grant the public utility easements to the use of the public forever, as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER: W.H. BRUNELL ADDITION
SCM Property Company, LLC

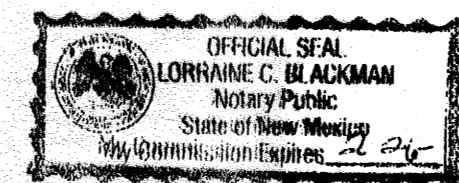
Steve Maestas, Managing Member

ACKNOWLEDGEMENT

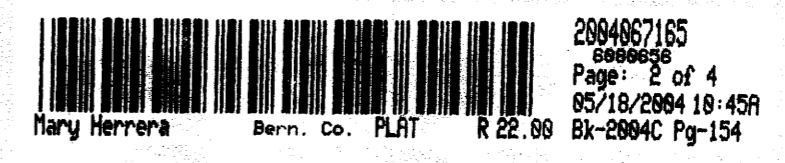
STATE OF SS
COUNTY OF

This instrument was acknowledged before me on this 17th day of September, 2003, by Steve Maestas

Lorraine Blackman
Notary Public



My Commission expires: 2-26-2006



SURVOTEK, INC.

Consulting Surveyors
1100 Broadway, Suite 1000, Albuquerque, New Mexico 87102
Phone: 505-897-8300
Fax: 505-897-8377

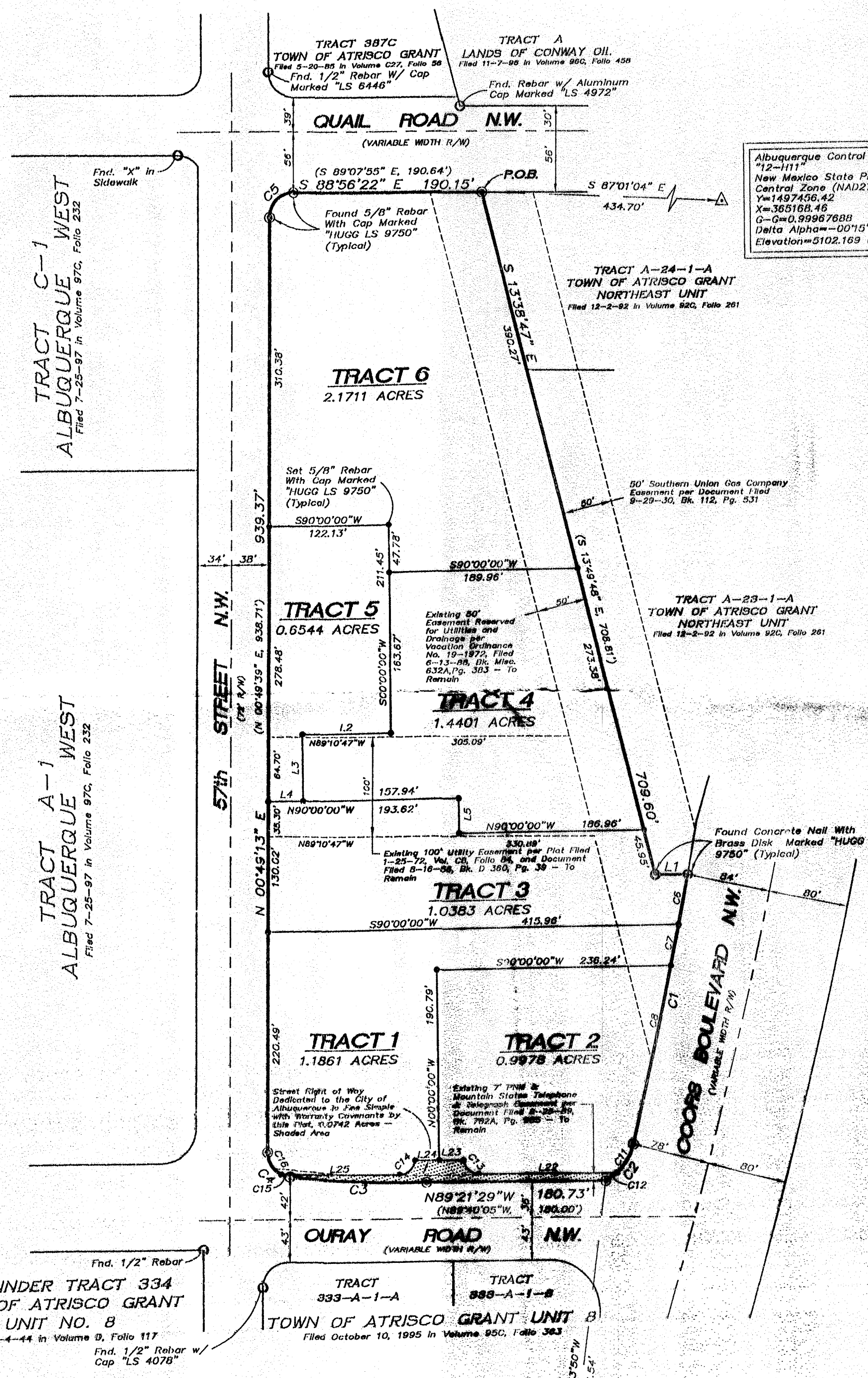
BOUNDARY INFORMATION AND EXISTING EASEMENTS

2884867165
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 Page: 3 of 4
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 Bk-2884C Pg-154
 Mary Herrera Bern. Co. PLAT R 22.88

**TRACTS 1 THRU 6
 QUAIL RIDGE**
 (BEING A REPLAT OF THE W.H. BRUNELL ADDITION)

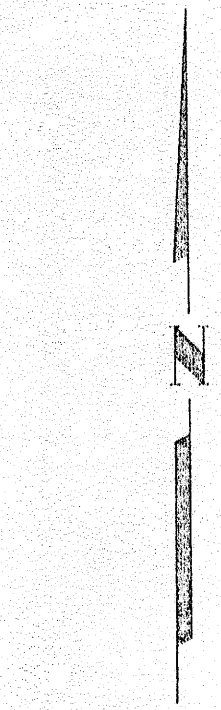
WITHIN
 THE TOWN OF ATRISCO GRANT
 PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2003

SEE SHEET 4 OF 4 FOR NEW EASEMENT INFORMATION

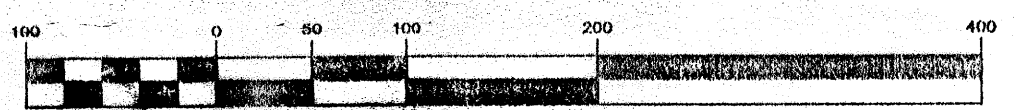


Albuquerque Control Survey Monument
 "12-1111"
 New Mexico State Plane Coordinates -
 Central Zone (NAD27)
 Y=1497456.42
 X=365168.48
 G-Q=0.99967688
 Delta Alpha=-00'15"34"
 Elevation=5102.169 (NAVD29)

Albuquerque Control Survey Monument
 "11-1111"
 New Mexico State Plane Coordinates
 Central Zone (NAD27)
 Y=1495852.97
 X=364763.94
 G-Q=0.99967720
 Delta Alpha=-00'15"36"
 Elevation=5098.514 (NAVD29)



GRAPHIC SCALE



(IN FEET)
 1 inch = 100 ft.

CORNER LEGEND

- FOUND 5/8" REDBAR WITH CAP MARKED "HUGG LS 9750"
- FOUND CONCRETE NAIL WITH BRASS DISK MARKED "HUGG LS 9750"
- SET 5/8" REDBAR WITH CAP MARKED "HUGG LS 9750"

LINE TABLE

LINE	LENGTH	BEARING
L1	32.43 (33.08)	S89°45'47"E (S89°53'14"E)
L2	90.44	N90°00'00"E
L3	67.00	N00°00'00"E
L4	35.68	S90°00'00"E
L5	35.00	N00°00'00"W
L6	139.64	N89°19'00"W
L7	24.12	N88°52'28"W
L8	24.12	N88°52'28"W
L9	121.28	N89°07'13"W

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	5846.45' (5846.45')	275.89' (275.93')	137.97'	275.87' (275.90')	S12°08'14"W (S11°54'07"W)	2°47'58" (2°48'00")
C2	55.00' (55.00')	47.59' (47.63')	25.40'	46.12' (46.15')	S38°19'32"W (S38°06'34"W)	49°34'26" (49°36'56")
C3	1346.80' (1346.80')	139.56' (139.67')	69.84'	139.49' (139.61')	N88°43'49"W (N88°43'06"W)	5°56'13" (5°53'57")
C4	25.00' (25.00')	36.91' (36.91')	22.74'	33.64' (33.65')	N41°28'15"W (N41°28'14"W)	84°34'56" (84°35'47")
C5	25.00' (25.00')	39.37' (39.29')	25.11'	35.43' (35.37')	N45°58'25"E (N45°50'52"E)	90°14'25" (90°02'26")
C6	5846.45'	51.16'	25.58'	51.16'	N10°59'49"E	0°31'09"
C7	5846.45'	41.84'	20.92'	41.84'	N11°28'07"E	0°25'28"
C8	5846.45'	182.90'	91.46'	182.89'	N12°36'32"E	1°51'21"
C11	33.32'	55.00'	17.19'	32.82'	N30°53'45"E	34°42'52"
C12	14.26'	55.00'	7.17'	14.22'	N55°40'58"E	14°51'34"
C13	22.64'	16.00'	13.89'	20.80'	S48°46'33"E	81°04'54"
C14	22.64'	16.00'	13.69'	20.80'	N48°46'33"E	81°04'56"
C15	9.23'	25.00'	4.67'	9.18'	S73°10'53"E	21°09'40"
C16	27.67'	25.00'	15.45'	26.28'	S30°53'25"E	63°25'16"



SURVOTEK, INC.

NEW EASEMENTS GRANTED BY THIS PLAT

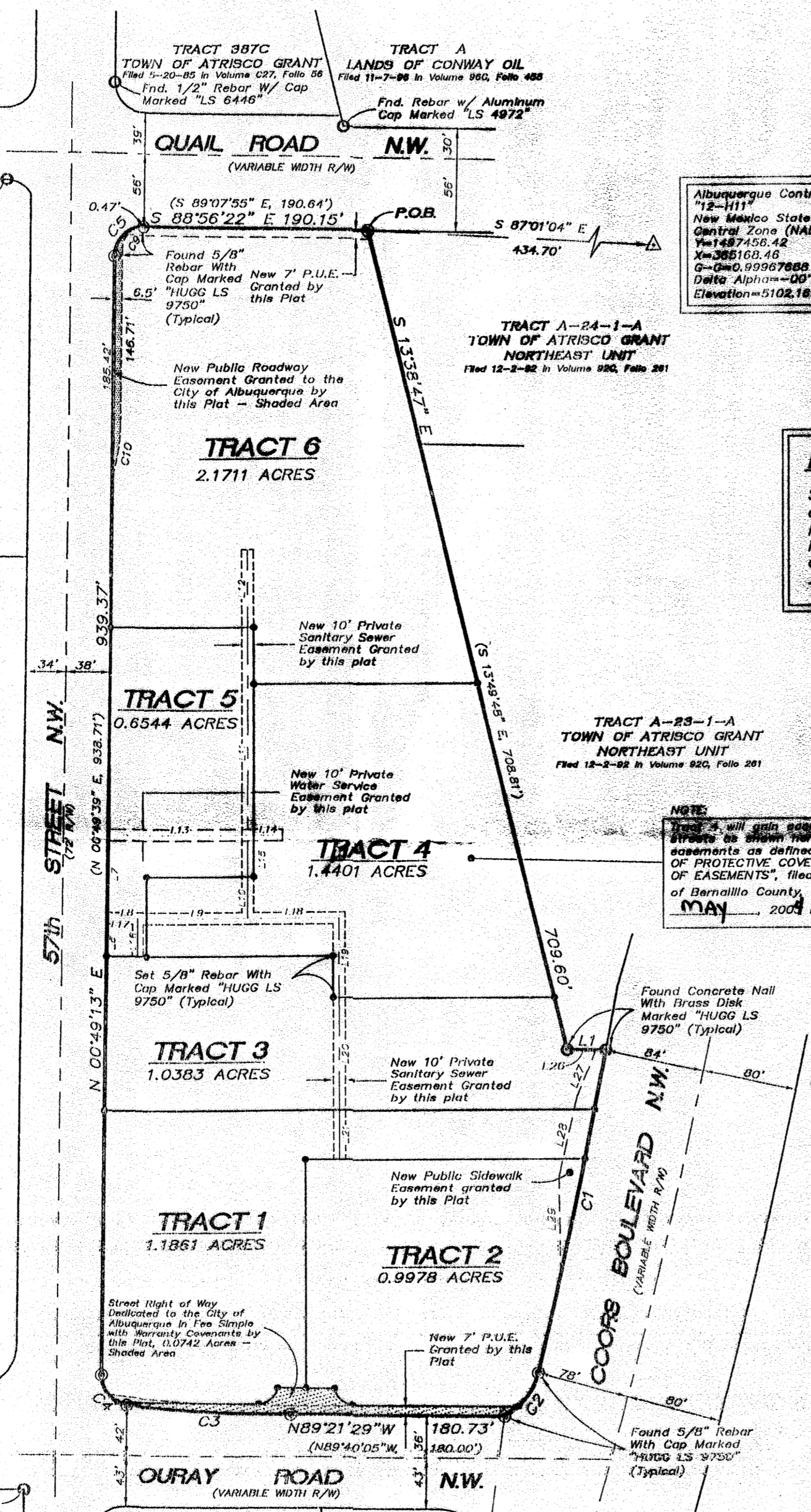
**TRACTS 1 THRU 6
QUAIL RIDGE**

(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2003

TRACT C-1
ALBUQUERQUE WEST
Filed 7-25-97 in Volume 97C, Folio 232

TRACT A-1
ALBUQUERQUE WEST
Filed 7-25-97 in Volume 97C, Folio 232

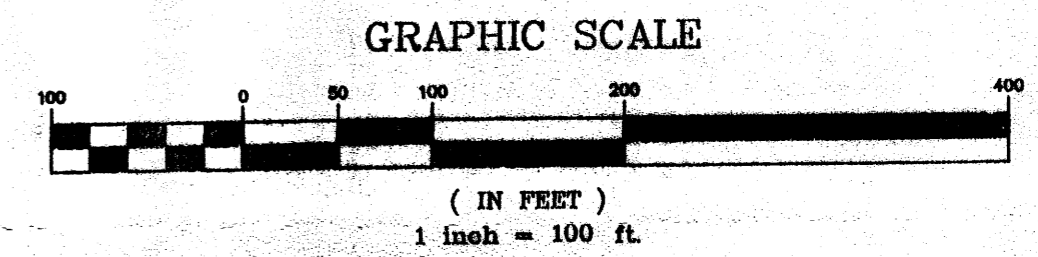


Albuquerque Control Survey Monument
"12-111"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1487456.42
X=385168.48
G=0.99967888
Delta Alpha=-0018'34"
Elevation=5102.168 (NAVD83)

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5888556
Page: 4 of 4
65/18/2884 18:45R
BK-2884C Pg-154

NOTE
Said Tracts 1 through 6 are subject to all restrictions, conditions and requirements as set forth in that certain "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 18th day of May, 2003 in Book A77, Pages 482-483.

NOTE
This plat will give access to the dedicated public streets as shown herein by reciprocal access easements as defined in that certain "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 18th day of May, 2003 in Book A77, pages 482-483.



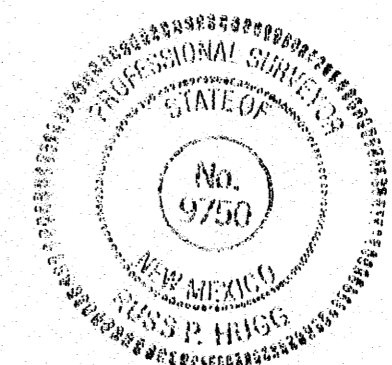
- CORNER LEGEND**
- FOUND 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"
 - FOUND CONCRETE NAIL WITH BRASS DISK MARKED "HUGG LS 9750"
 - SET 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"

LINE TABLE

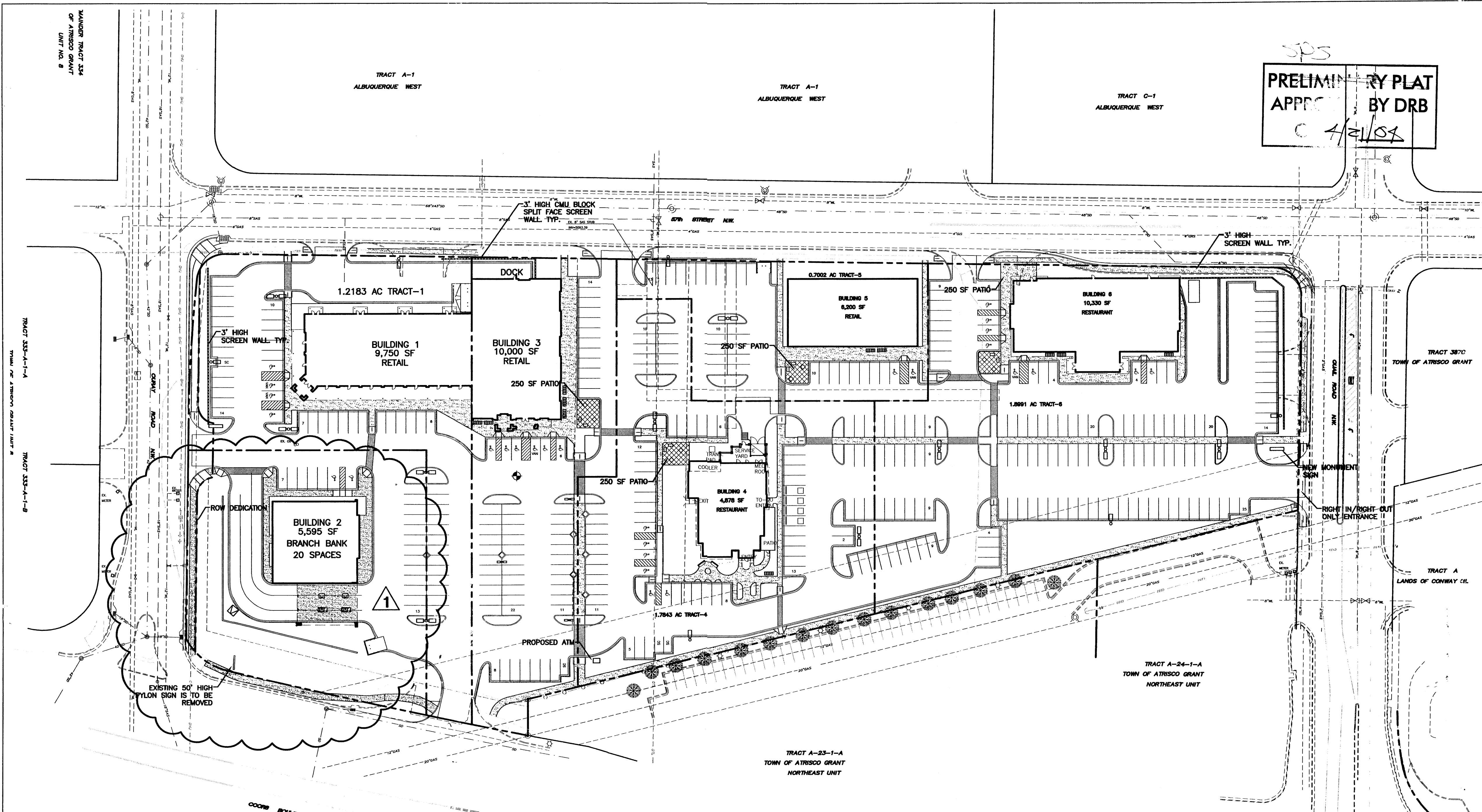
LINE	LENGTH	BEARING
L1	32.43 (33.06)	S89°45'47"E (S89°55'14"E)
L6	32.13	N00°49'13"E
L7	69.79	N00°49'13"E
L8	35.22	N90°00'00"E
L9	85.44	N90°00'00"E
L10	34.87	N00°00'00"E
L11	211.45	N00°00'00"E
L12	64.69	N00°00'00"E
L13	124.66	S00°00'00"W
L14	24.26	N90°00'00"W
L15	34.91	N00°00'00"E
L16	32.13	S00°00'00"W
L17	27.06	N90°00'00"E
L18	77.50	N90°00'00"E
L19	67.13	S00°00'00"W
L20	95.00	S00°00'00"W
L21	41.00	S00°00'00"W
L26	24.08	S89°45'47"E
L27	41.79	S22°31'57"W
L28	69.01	S13°02'16"W
L29	81.72	S00°45'05"E

CURVE TABLE

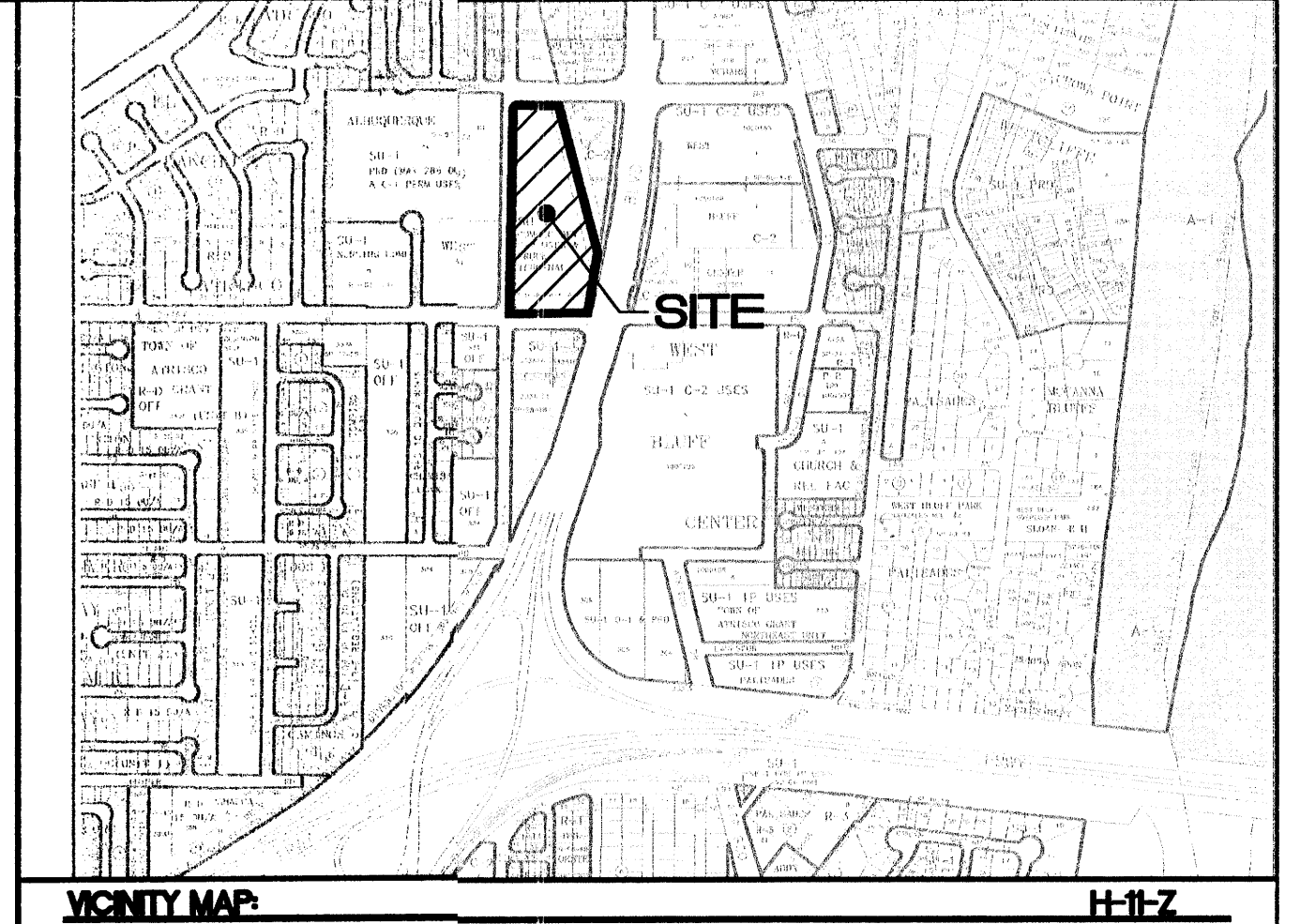
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	5646.45' (5646.45')	275.89' (275.93')	137.97'	275.87' (275.90')	S12°08'14"W (S11°54'07"W)	2°47'58" (2°48'00")
C2	55.00' (55.00')	47.59' (47.63')	25.40'	46.12' (46.15')	S38°19'32"W (S38°06'34"W)	49°34'26" (49°36'56")
C3	1346.80' (1346.80')	139.56' (138.67')	69.84'	139.49' (138.61')	N86°43'49"W (N86°43'06"W)	5°56'13" (5°53'57")
C4	25.00' (25.00')	36.91' (36.91')	22.74'	33.64' (33.65')	N41°28'15"W (N41°26'14"W)	84°34'56" (84°35'47")
C5	25.00' (25.00')	39.37' (39.37')	25.11'	35.43' (35.37')	N45°56'25"E (N45°50'52"E)	90°14'25" (90°02'26")
C9	19.00'	29.92'	19.08'	26.93'	S45°56'25"W	90°14'24"
C10	157.00'	45.33'	22.83'	45.18'	N09°05'33"E	16°32'40"



SURV TEK, INC.
Consulting Surveyors



SPS
PRELIMINARY PLAT
APPROVED BY DRB
 C 4/21/04



LEGAL DESCRIPTION:
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8 ATRISCO GRANT & PORTION OF TR A21

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - THIS SITE PLAN FOR SUBDIVISION IS FOR RESTAURANTS WITH A BEER AND WINE LICENSE ONLY. FURTHER APPROVAL FOR A RESTAURANT WITH A LIQUOR LICENSE BEYOND A BEER AND WINE LICENSE WILL REQUIRE ADMINISTRATIVE APPROVAL TO DETERMINE IF THERE IS SUFFICIENT OFF-STREET PARKING.
 - SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON. ALONG COORS BLVD. THE FRONT LANDSCAPED STREET YARD SHALL BE 15 FEET WIDE.
 - BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE C2 ZONE OF THE COMPREHENSIVE CITY ZONING CODE AND WITHIN THE COORS CORRIDOR PLAN, WHICHEVER IS MORE RESTRICTIVE.
 - SEE SHEET 6 FOR DETAILS.
 - ACCESS AT COORS BOULEVARD AND OURAY ROAD SHALL BE LIMITED TO RIGHT-TURN IN AND RIGHT-TURN OUT ACCESS ONLY CONSISTENT WITH THE COORS CORRIDOR PLAN.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - WHEN ADDITIONAL RIGHT OF WAY IS SECURED FROM THE SITE FOR THE RECONSTRUCTION OF THE I-40/COORS INTERCHANGE, THE EXISTING 45' HIGH PYLON SIGN SHALL BE REMOVED AT THE EXPENSE OF THE PROPERTY OWNER.

LINE TABLE

LINE	LENGTH	BEARING
L1	37.09	N89°21'29"W
L2	35.68	N90°00'00"E
L3	35.00	N00°00'00"W
L4	33.17	S00°00'00"E

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	36.91	25.00	S41°28'15"E	33.64
C2	47.59	55.00	N38°19'32"E	46.12
C3	182.90	5646.45	N12°36'32"E	182.89
C4	41.84	5646.45	N11°28'07"E	41.84
C5	51.16	5646.45	N10°59'49"E	51.16
C6	39.37	25.00	S45°56'25"W	35.43

SITE DATA TABLE

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG.	SEAT. CAP.	PRKG. REQ.	PRKG. HOV. REQ.	PRKG. HOV. PROV. REQ.	HC VAN REQ.	HC VAN PROV. REQ.	BIKE RACKS REQ.	MIN. FAR	MAX. FAR
1	1	1.2183	9,750	RETAIL	C-2			49	58	4	4	1	2	0.15	0.35
2	2	1.0383	10,000	RETAIL	C-2			50	62	4	6	1	3	0.15	0.35
3	3	1.4401	4,878	RESTAURANT	C-2		192	64	77	4	6	2	2	0.15	0.35
4	4	0.6544	6,200	RETAIL	C-2			31	33	2	2	1	1	0.15	0.35
5	5	2.1710	10,330	RESTAURANT	C-2		382	127	130	8	8	1	2	0.15	0.35
TOTAL		7.5615	47,080				345	393	24	28	7	7	12	0.15	0.35

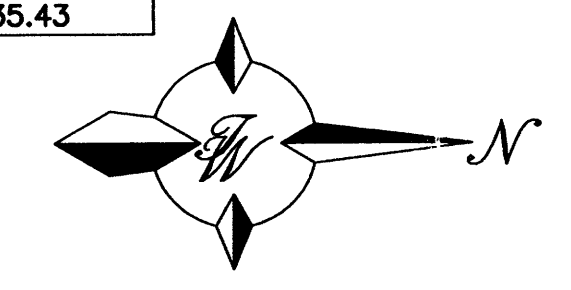
RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY
 1 PER 3 SEATS

PROJECT NUMBER: 1002459
APPLICATION NUMBER:

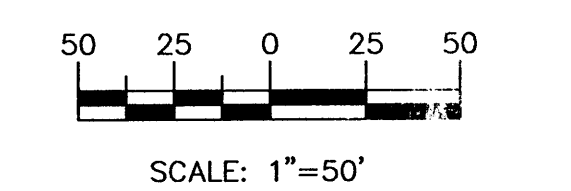
This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



GRAPHIC SCALE



- LEGEND**
- BOUNDARY LINE
 - - - - - EASEMENT
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB
 - PROPOSED SCREEN WALL
 - PROPOSED SIDEWALK
 - EXISTING BOUNDARY
 - PROPOSED CROSSWALK
 - PROPOSED BIKE RACK
 - PROPOSED PARKING LOT LIGHTING

NO.	DATE	REVISIONS	BY
1	12/24/03	CHANGED BUILDING 2 LAYOUT	BDC

ENGINEER'S SEAL

QUAIL RIDGE SHOPPING CENTER

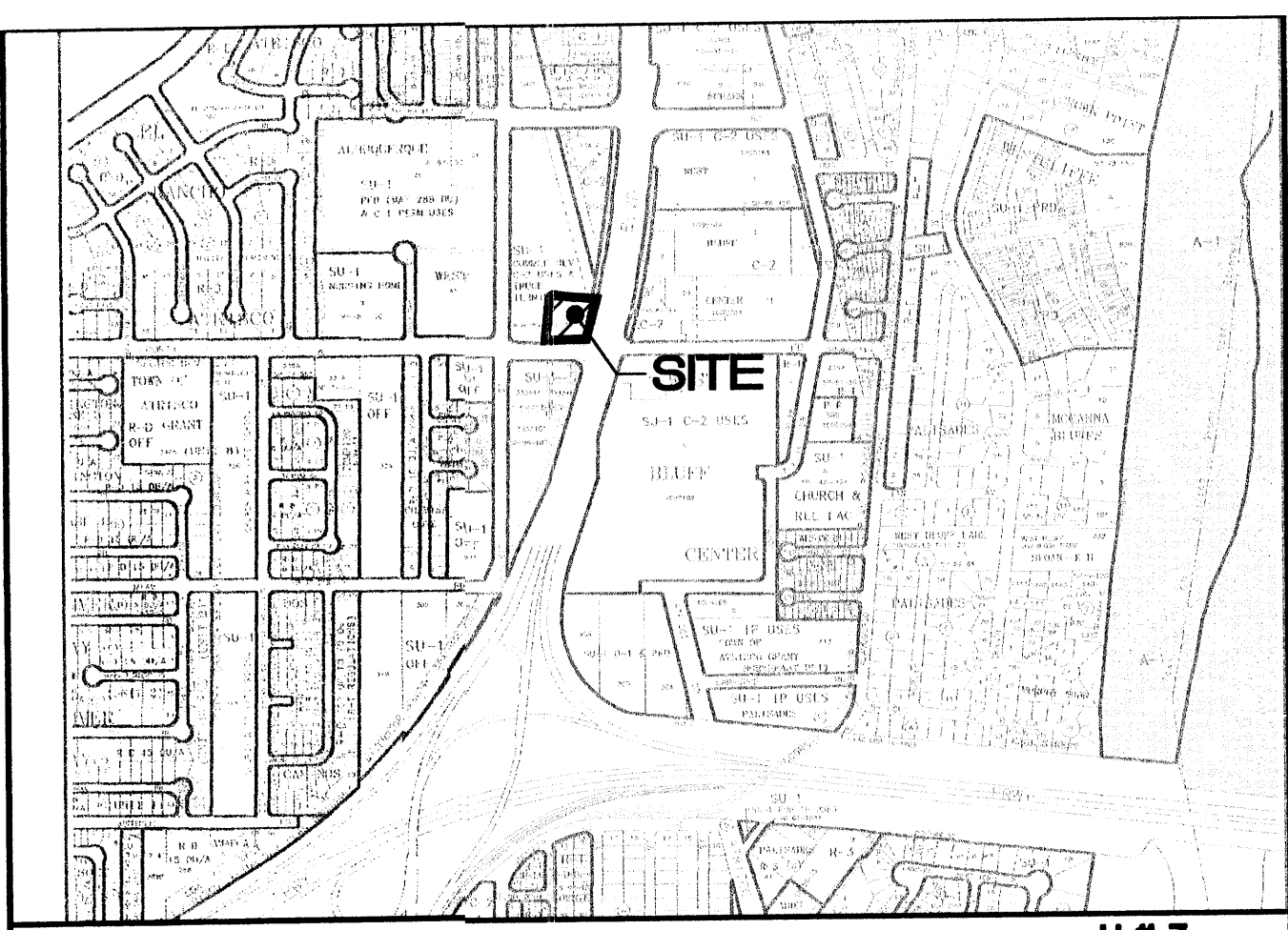
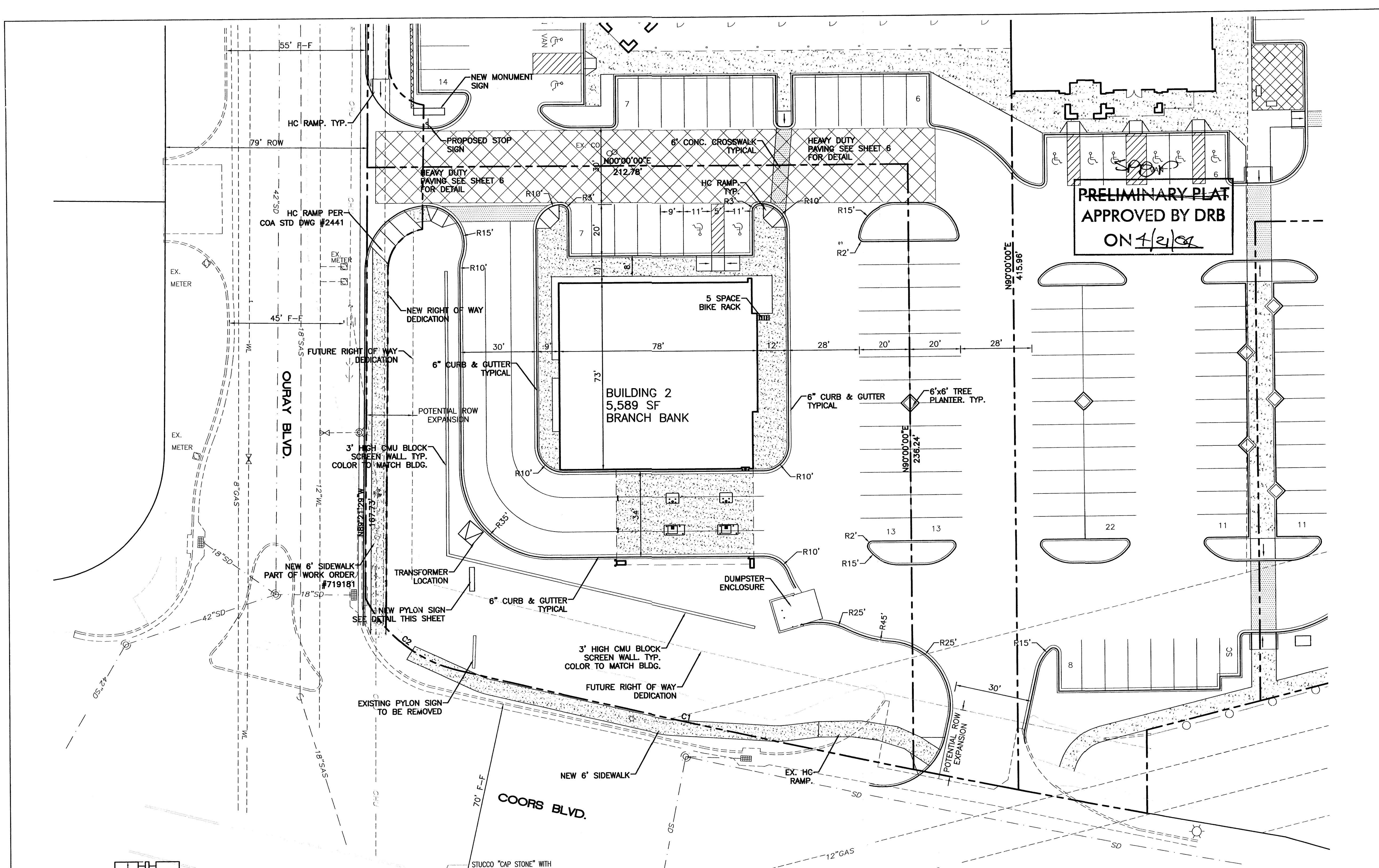
SITE PLAN FOR SUBDIVISION

TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

REVISIONS

DRAWN BY BDC
 DATE 04/20/04
 2296SPSB-12-01-03X
 SHEET # **2**
 JOB # 220096

RONALD R. BOHANNAN
 P.E. #7868



VICINITY MAP H-17

LEGAL DESCRIPTION:
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8 ATRISCO GRANT & PORTION OF TR A21

NOTES:

- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
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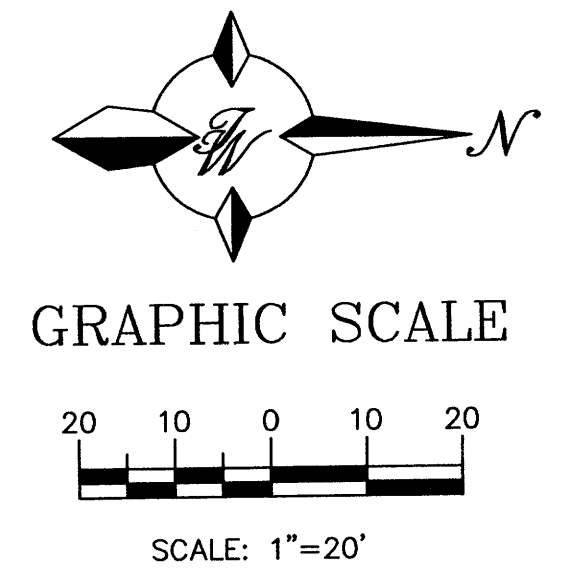
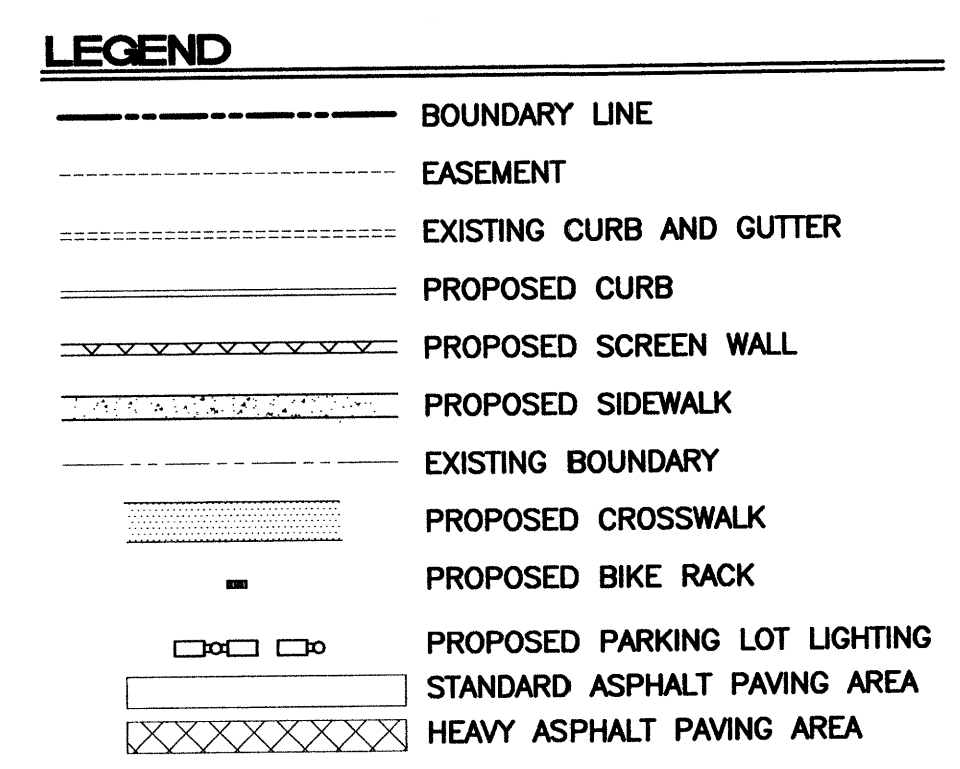
SITE DATA

PROPOSED USAGE:	BANK
LOT AREA:	1.039 AC
BUILDING AREA:	5,589 SF
ZONING:	SU-1 / C-2
MAX. BLDG. HEIGHT:	45' SOLAR SETBACK
PARKING PROVIDED:	20 SPACES
PARKING REQUIRED:	22 SPACES (WITH 10% BUS CREDIT)
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	2 SPACES 1 SPACES VAN ACCESSIBLE

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. LANDSCAPING PLAN
 - C3. GRADING AND DRAINAGE PLAN
 - C4. MASTER UTILITY PLAN
 - C5. ELEVATIONS
 - C6. DETAILS

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	182.90	5646.45	N12°36'32"E	182.89
C2	47.59	55.00	N38°19'32"E	46.12



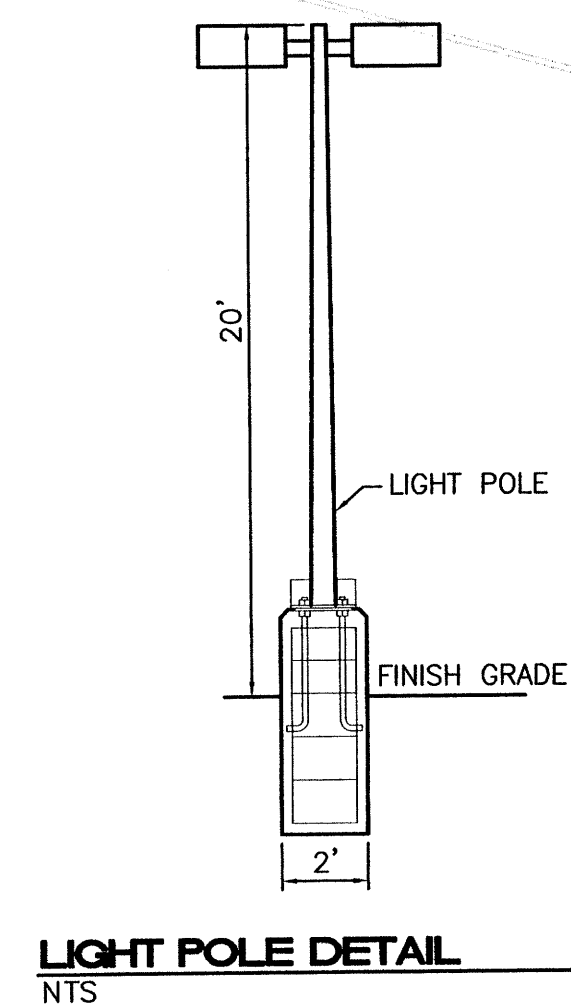
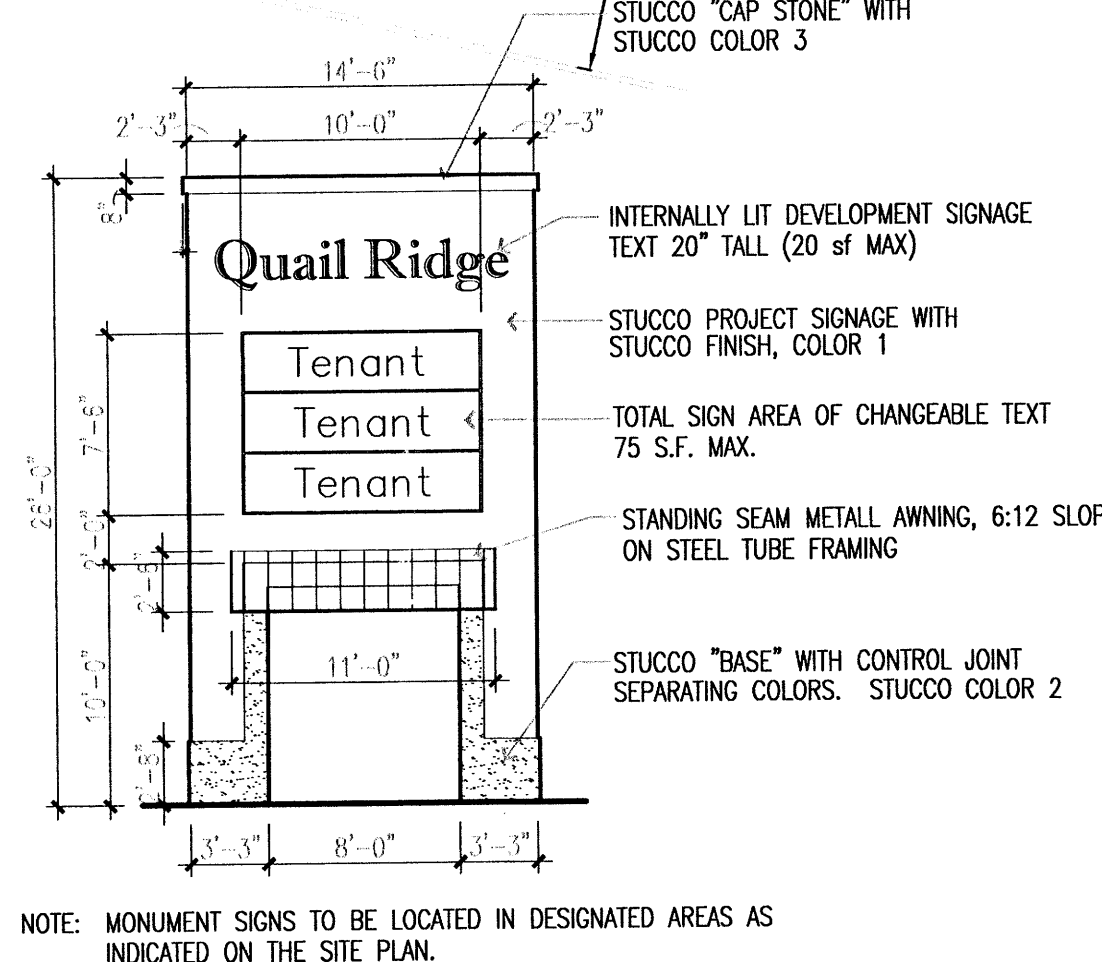
PROJECT NUMBER: -
APPLICATION NUMBER: -

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

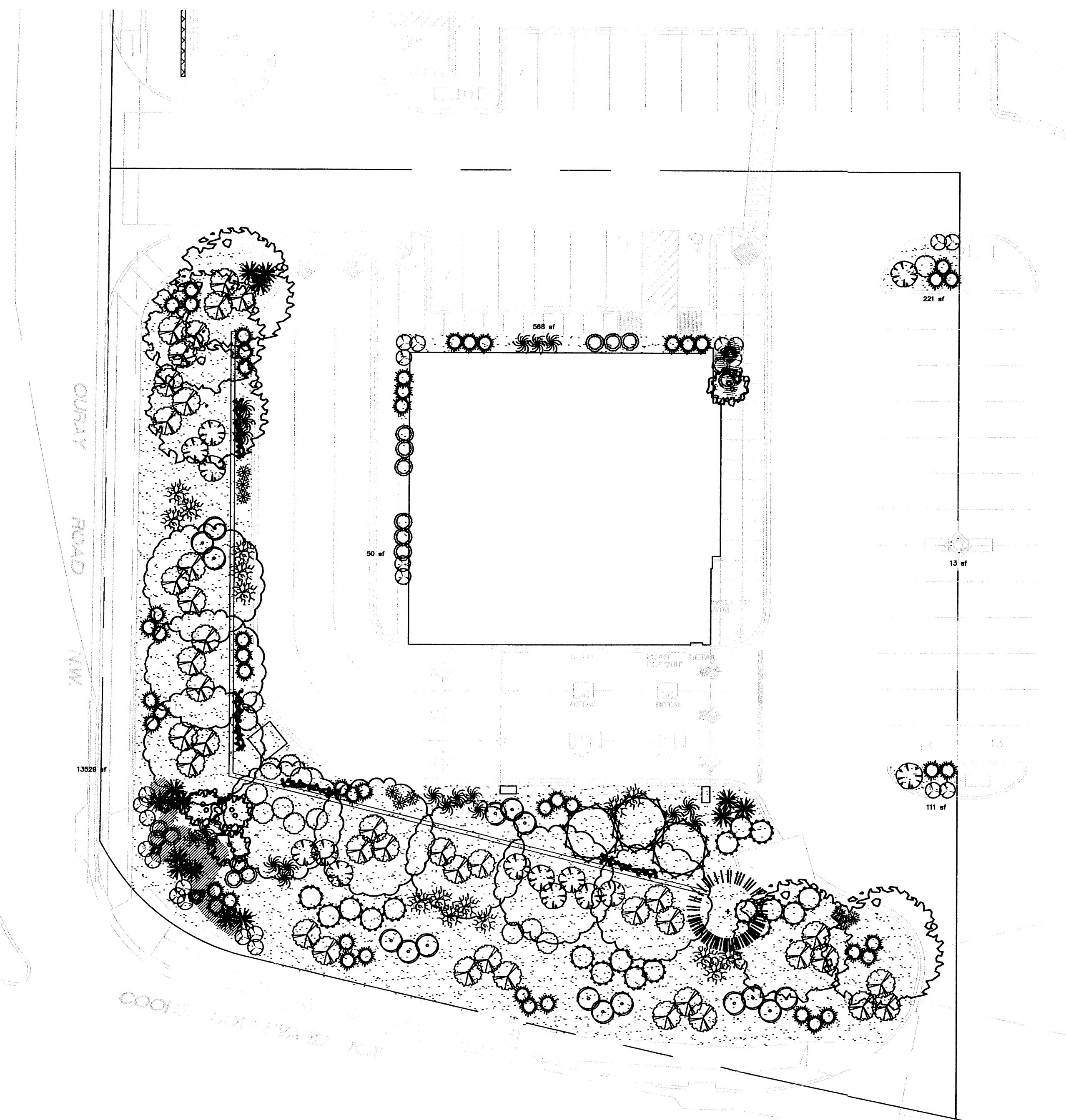
Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary 12/16/03



LIGHT POLE DETAIL
 NTS

NOTE: MONUMENT SIGNS TO BE LOCATED IN DESIGNATED AREAS AS INDICATED ON THE SITE PLAN.



LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

- Coors Blvd. Required 7 Provided 7
- Ouray RD Required 6 Provided 6

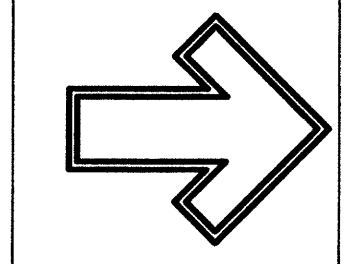
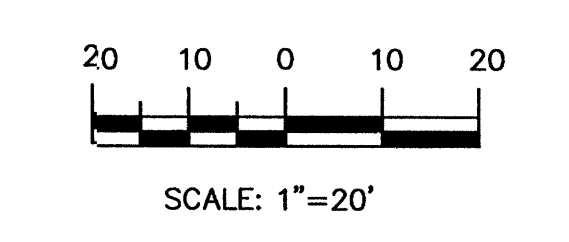
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	45231	square feet
TOTAL BUILDINGS AREA	5619	square feet
OFFSITE AREA	330	square feet
NET LOT AREA	49282	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	5892	square feet
TOTAL BED PROVIDED	14492	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	10869	square feet
TOTAL GROUND COVER PROVIDED	11005	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet
TOTAL LANDSCAPE PROVIDED	14822	square feet

PLANT LEGEND

- ARIZONA ASH (M) 5
Fraxinus velutina
2' Cal.
- RAYWOOD ASH (M) 8
Fraxinus oxycarpa raywood
2' Cal.
- AUSTRIAN PINE (H) 1
Pinus nigra
6"-8"
- DESERT WILLOW (L) 3
Chilopsis linearis
15 Gal.
- WASHINGTON HAWTHORN (H) 4
Crataegus phaenopyrum
15 Gal.
- MAHONIA (M) 18
Mahonia aquifolium
5 gal. 36SF
- RED YUCCA (L) 14
Hesperaloe parviflora
1 Gal.
- REGAL MIST (M) 16
Muhlenbergia rigida
1 gal 36sf
- DWARF MAIDENGRASS (M) 20
Miscanthus sinensis
5 Gal. 16sf
- LANAS/ SCOTCH BROOM (M) 16
Cytisus scoparius/ Genista hispanica
5 Gal.
- BLUE MIST SPIREA (M) 9
Caryopteris clandonensis
5 Gal.
- POWS CASTLE SAGE (L) 50
Artemisia x 'Pows Castle'
1 gal 25SF
- APACHE PLUME (L) 14
Fallugia paradoxa
5 Gal. 25sf
- ROSEMARY (M) 17
Rosmarinus officinalis
2 Gal. 36sf
- HONEYSUCKLE (M) 41
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
- CHAMISA (L) 14
Chrysothamnus nauseosus
1 Gal. 25sf
- WILDFLOWER 23
1 Gal. 4sf
- BOSTON IVY 4
Parthenocissus tricuspidata
1 Gal. 400sf
- OVERSIZED GRAVEL & 8 BOULDERS
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC

GRAPHIC SCALE



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph: (505) 898-9600
Fax: (505) 898-7737
it@hilltoplandscaping.com

LANDSCAPE ARCHITECTS SEAL

JAMES DE FLON #0007

BANK OF AMERICA
Coors Blvd. and Ouray Road
Albuquerque, NM

LANDSCAPE PLAN

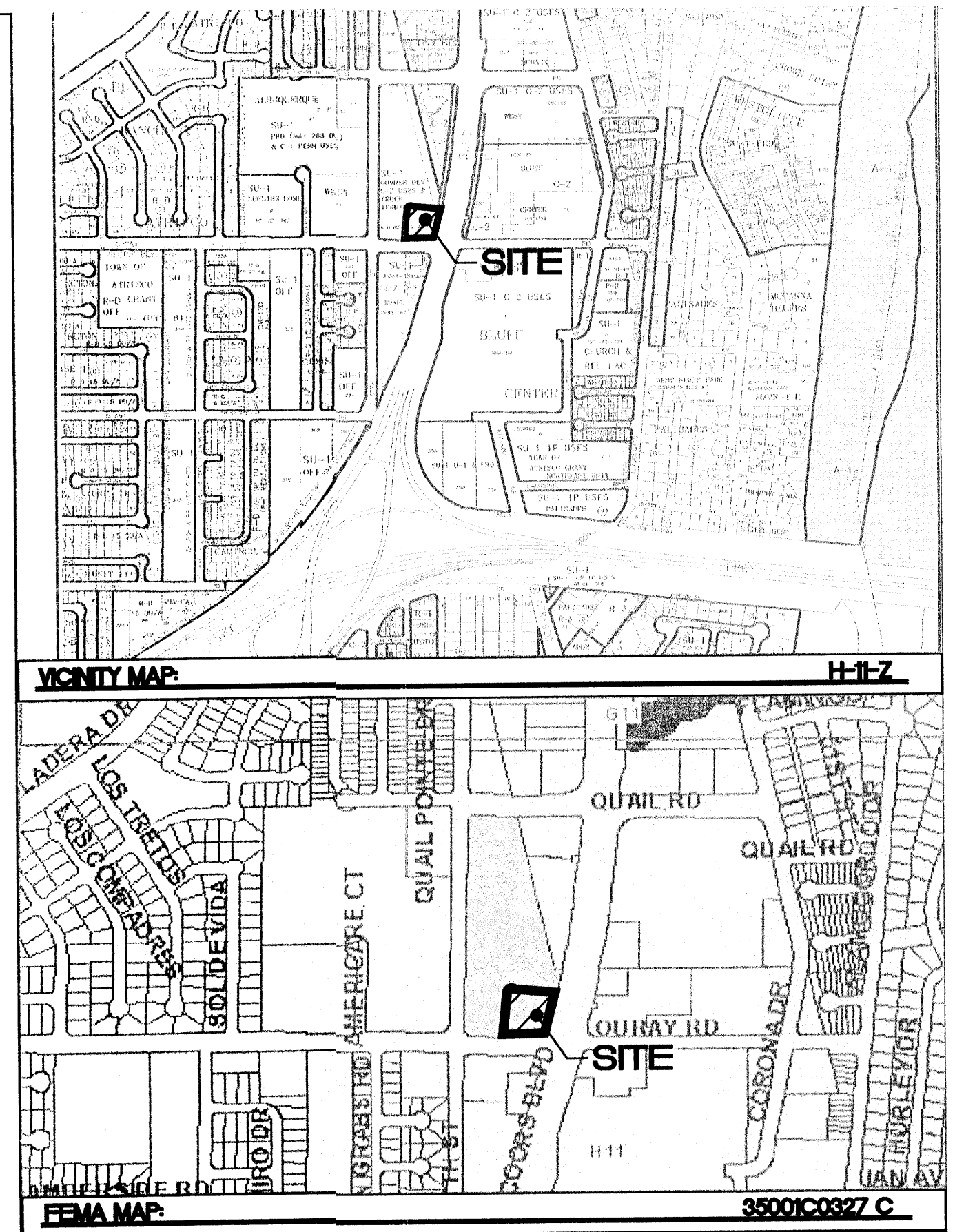
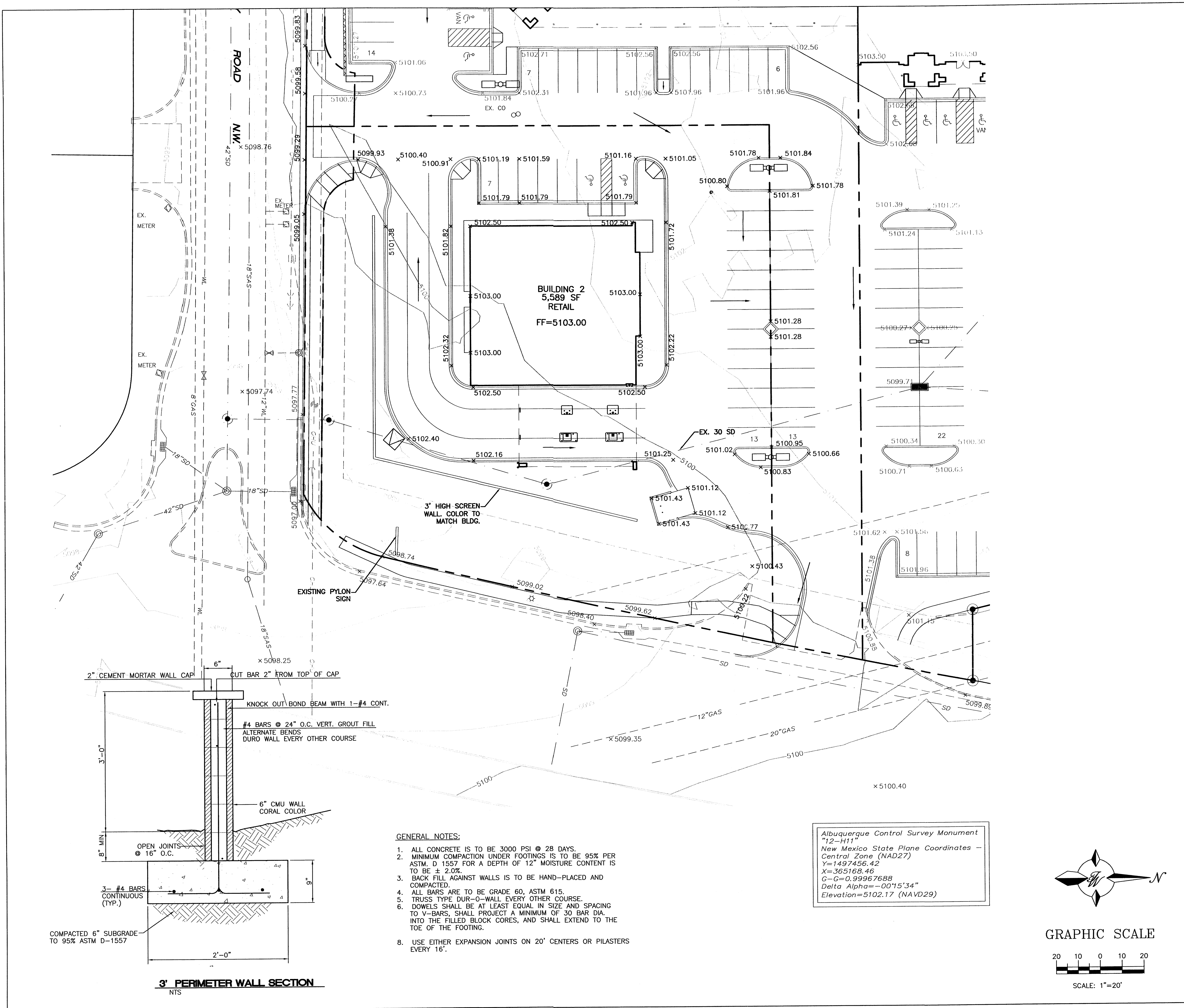
All creative ideas contained herein remain the property of the designer. Contractors and are protected by copyright laws. This is an original design and must not be reissued or copied unless applicable fees have been paid for job order placed.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: SU
REVISION: 1
DATE: 04/12/04

SHEET #
L1 of L1

1002459



LEGAL DESCRIPTION:
W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8
ATRISCO GRANT & PORTION OF TR A21

EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

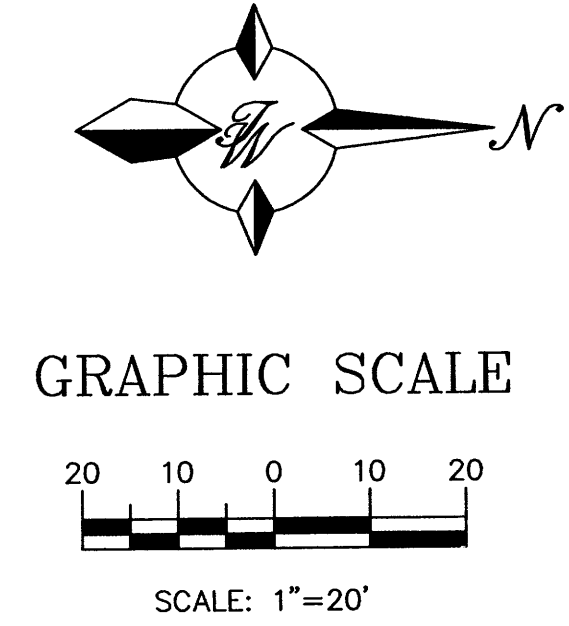
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

LEGEND

	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	NEW CURB

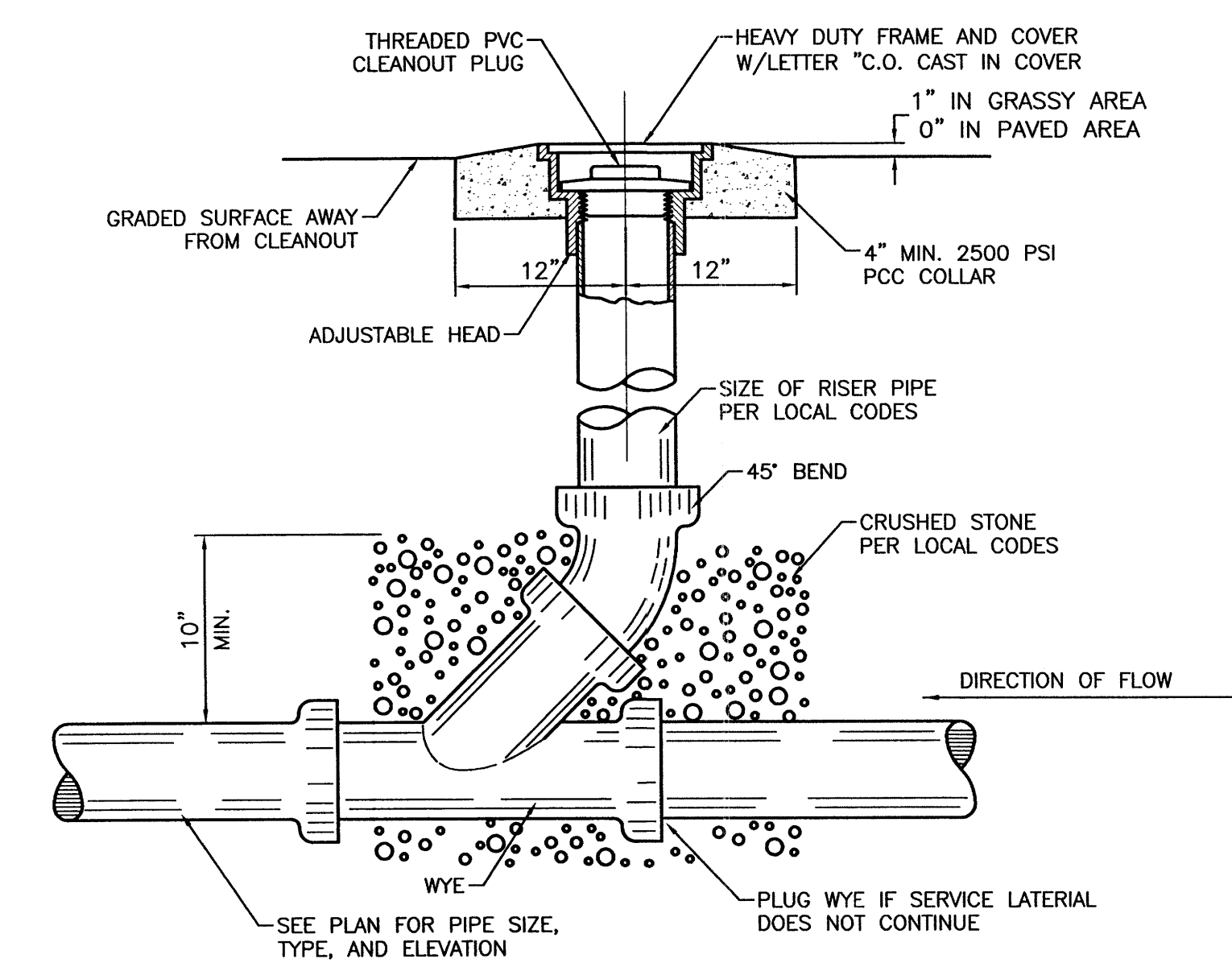
ROUGH GRADING APPROVAL

 RONALD R. BOHANNAN P.E. #7868	QUAIL RIDGE SHOPPING CENTER GRADING AND DRAINAGE PLAN	DRAWN BY BDG DATE 04/20/04 2296BKRE-12-01-03X
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 4 JOB # 220096

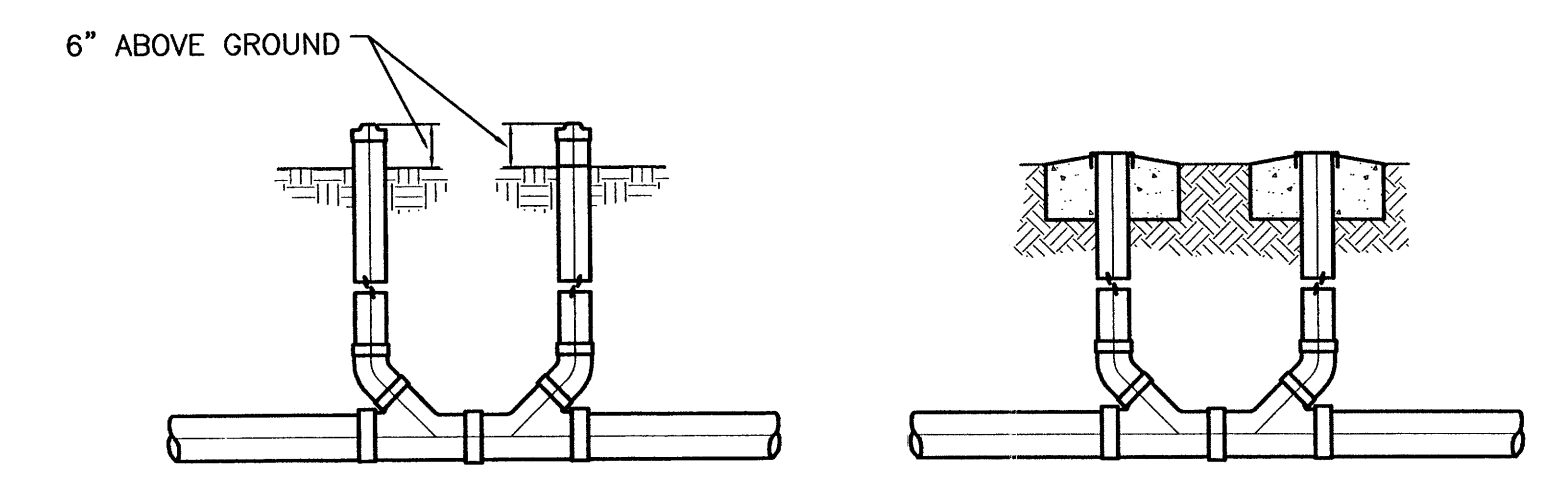


WATER SHUTOFF PLAN SHUTOFF VALVES: #

1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUTOFF PLAN
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.



SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

GENERAL NOTES:

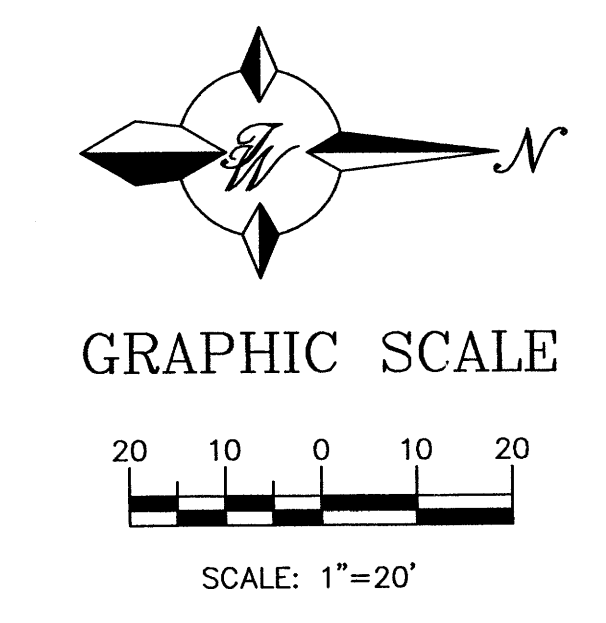
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN-OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.

NOTICE TO CONTRACTORS

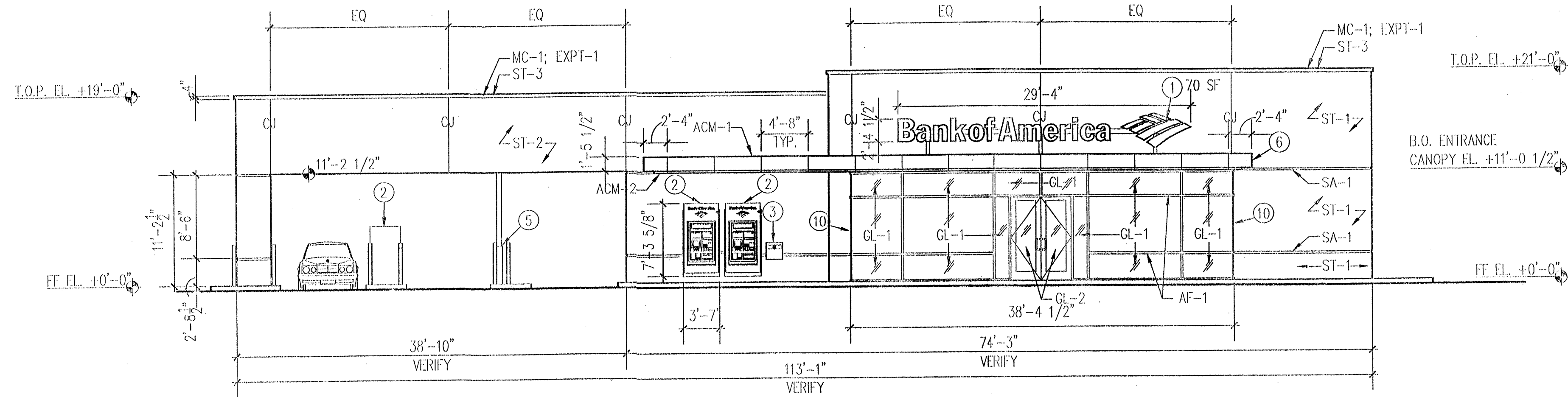
1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF SANTE FE STANDARD SPECIFICATIONS.
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (505)765-1234, FOR LOCATION OF EXISTING UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
5. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
6. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- ⊠ EXISTING METER
- ⊠ EXISTING VALVE W/BOX
- ⊠ EXISTING FIRE HYDRANT
- PROPOSED CLEAN OUT
- ∞ PROPOSED DOUBLE CLEAN OUT
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- EX. 16" WL --- EXISTING WATER LINE
- EX. 42" RCP --- EXISTING STORM SEWER LINE
- EX. --- EXISTING CURB & GUTTER
- 4" SD --- PROPOSED STORM SEWER LINE
- 8" SAS --- PROPOSED SANITARY SEWER LINE
- 8" WL --- PROPOSED WATERLINE
- --- BOUNDARY LINE
- --- EASEMENT



ENGINEER'S SEAL 	QUAIL RIDGE SHOPPING CENTER	DRAWN BY BDG
	CONCEPTUAL MASTER UTILITY PLAN	DATE 04/20/04
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		22968KME-12-01-03
		SHEET # 5
		JOB # 220096



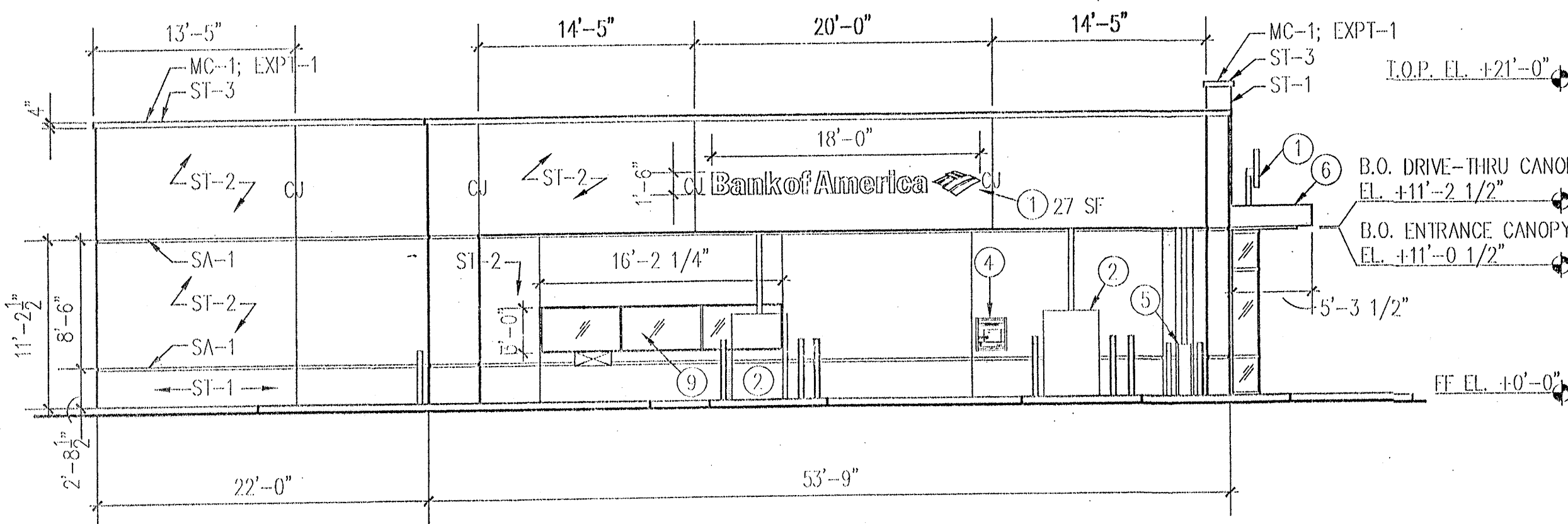
A NORTH ELEVATION
SCALE: 1/8" = 1'-0"

01

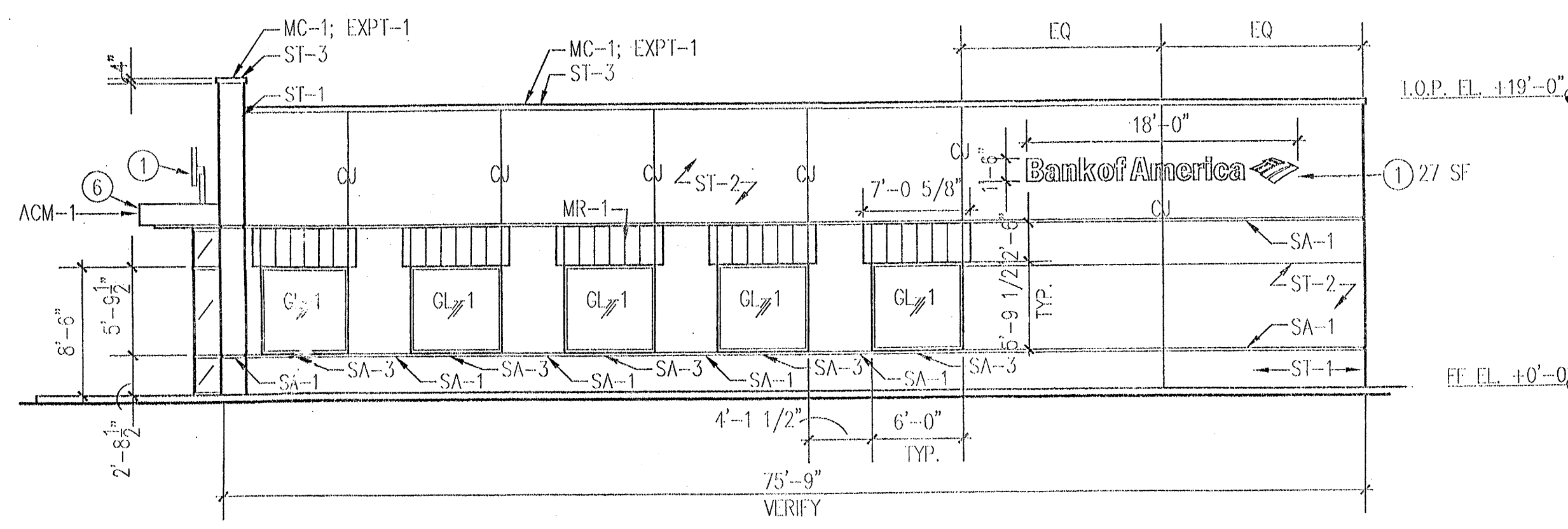
- ① SIGNAGE BY OWNER - COORDINATE SUPPORT POSTS ABOVE CANOPY PER PLAN - SEE STRUCT. (INTERNALLY ILLUMINATED CHANNEL LETTERS WITH RED AND/OR BLUE PLASTIC FACE PANELS)
- ② ATM BY OWNER - NARROW TRIM KIT
- ③ ATM ENVELOPE DISPENSER BY OWNER
- ④ NIGHT DEPOSITORY - BY OWNER
- ⑤ VACUUM AIR TUBE (VAT) BY OWNER
- ⑥ ENTRANCE CANOPY
- ⑦ CONDUCTOR HEAD AND DOWNSPOUT, PTD. EXPT-3
- ⑧ FLAG POLE AND MOUNTING BRACKETS. FLAGS BY OWNER
- ⑨ DRIVE THRU TELLER WINDOW BY OWNER
- ⑩ BUTT-JOINT CORNER GLAZING
- ⑪ THRU WALL OVERFLOW SCUPPER, PTD. EXPT-3
- ⑫ ALTERNATE ELECTRICAL CLOSET DOORS AND FRAMES, PTD. EXPT-3

EXTERIOR FINISH SCHEDULE

STUCCO / PLASTER (BASED ON PAREX STUCCO)	
ST-1	MATCH COLOR - "ADOBE BROWN" (DARK TAN)
ST-2	MATCH COLOR - "PUEBLO" (LIGHT TAN)
ST-3	MATCH COLOR "MARBLE WHITE" (OFF-WHITE)
ALUMINUM COMPOSIT METAL PANEL	
ACM-1	"BRITE RED" #JMC40021 BY ALPOLIC
ACM-2	"RWV WHITE" #3MM4RVW3.5 BY ALPOLIC
GLAZING	
GL-1	INSULATED GLAZING AS SPECIFIED
GL-2	MONOLITHIC GLAZING AS SPECIFIED
ALUMINUM GLAZING FRAMES	
AF-1	CURTAINWALL SYSTEM AS SPECIFIED
AF-2	STOREFRONT SYSTEM AS SPECIFIED
STUCCO ACCESSORIES	
SA-1	WIDE CHANNEL SCREED AS SPECIFIED
SA-2	NARROW CHANNEL SCREED AS SPECIFIED
SA-3	MODIFIED CHANNEL SCREED AS SPECIFIED
METAL COPING	
MC-1	PIREFINISHED METAL COPING
EXTERIOR PAINT (BASED ON BENJAMIN MOORE)	
EXPT-1	TO MATCH WALL COLOR
EXPT-2	TO MATCH WALL COLOR
EXPT-3	TO MATCH WALL COLOR
METAL ROOFING	
MR-1	METAL ROOFING: BERTRIDGE "R" PANEL; "CALVALUM" FINISH; DETAILING TO MATCH CENTER

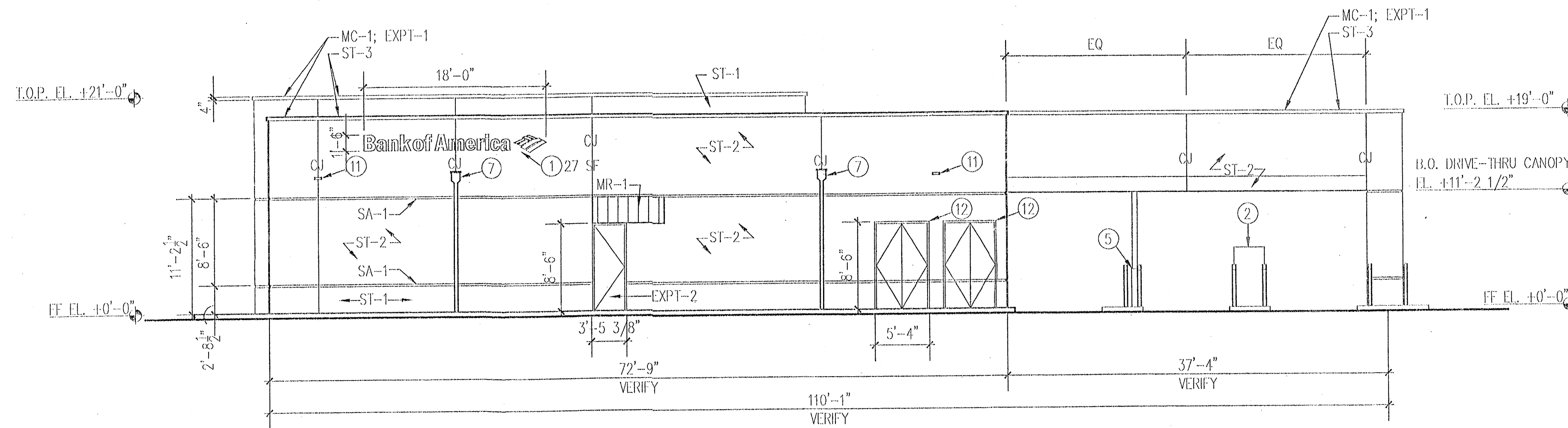


B EAST ELEVATION
SCALE: 1/8" = 1'-0"



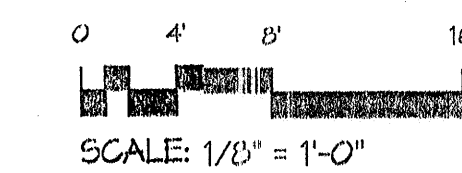
A WEST ELEVATION
SCALE: 1/8" = 1'-0"

02



A SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

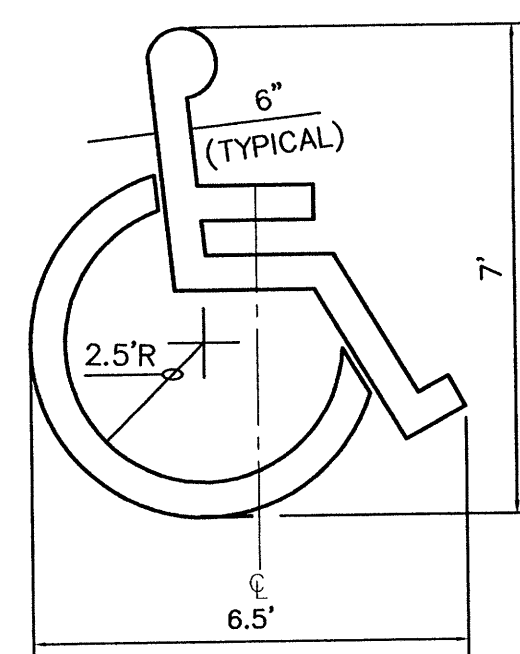
03



QUAIL PLAZA SHOPPING CENTER BUILDING ELEVATIONS	DRAWN BY GENSLER DATE 12/01/03 22960KSP-12-01-03X
	SHEET # C5 JOB # 03009

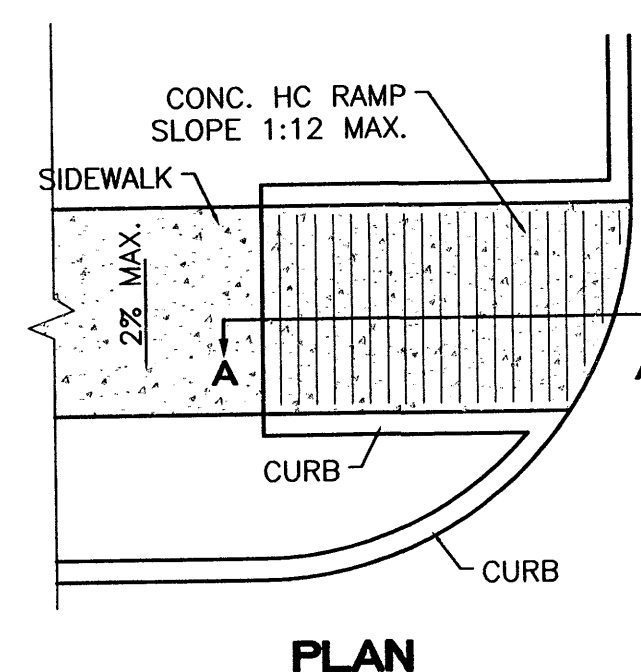
2500 Broadway
Suite 300
Santa Monica, CA 90404
Telephone 310.449.5600
Facsimile 310.449.5850

Gensler



ACCESSIBLE PARKING SYMBOL

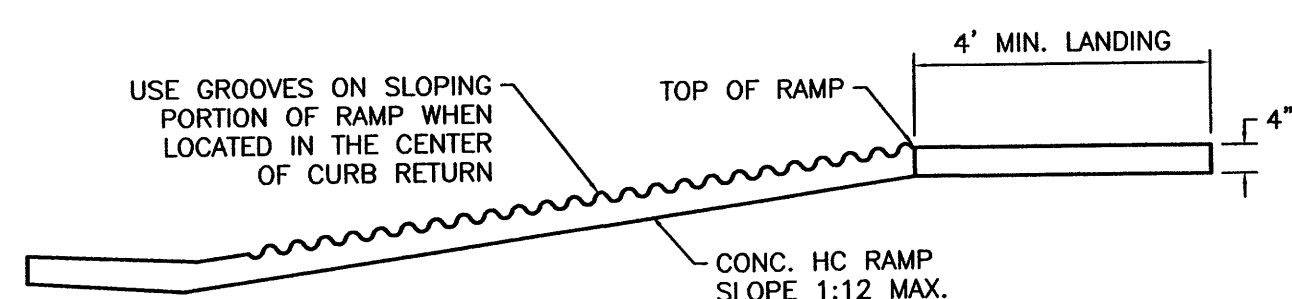
SCALE: NTS
 LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



PLAN

NOTES:

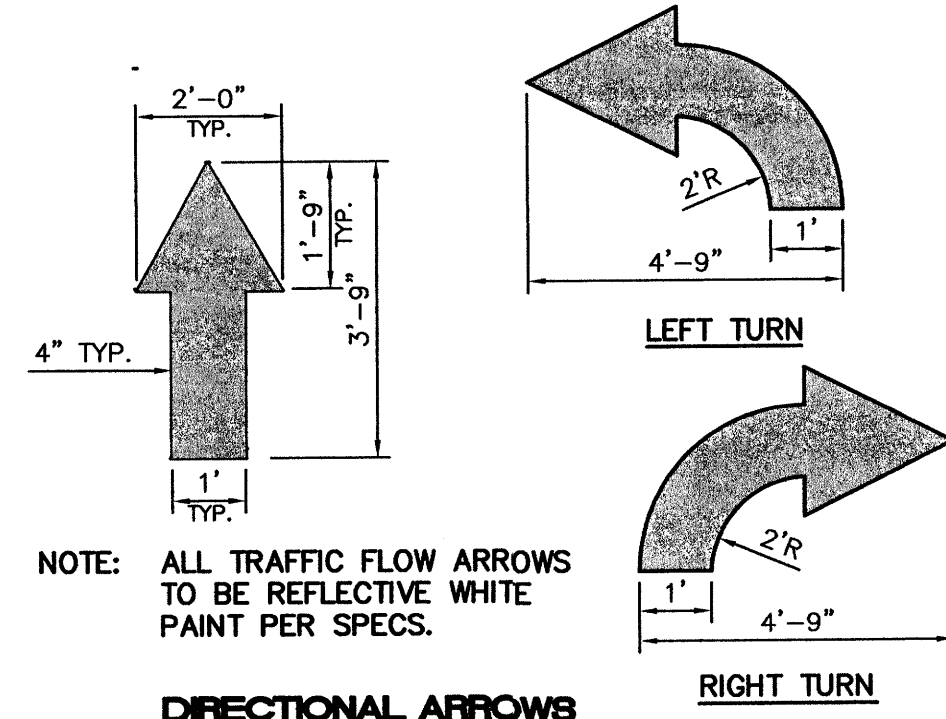
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



SECTION A-A

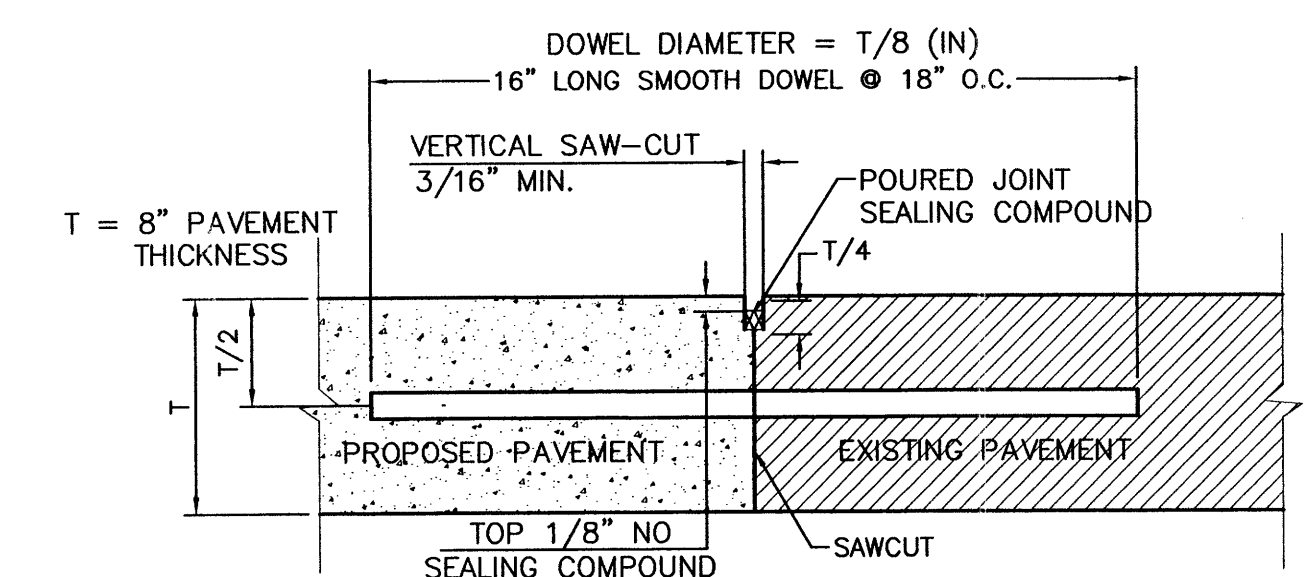
UNIDIRECTIONAL HC RAMP

SCALE: NTS



DIRECTIONAL ARROWS

NTS

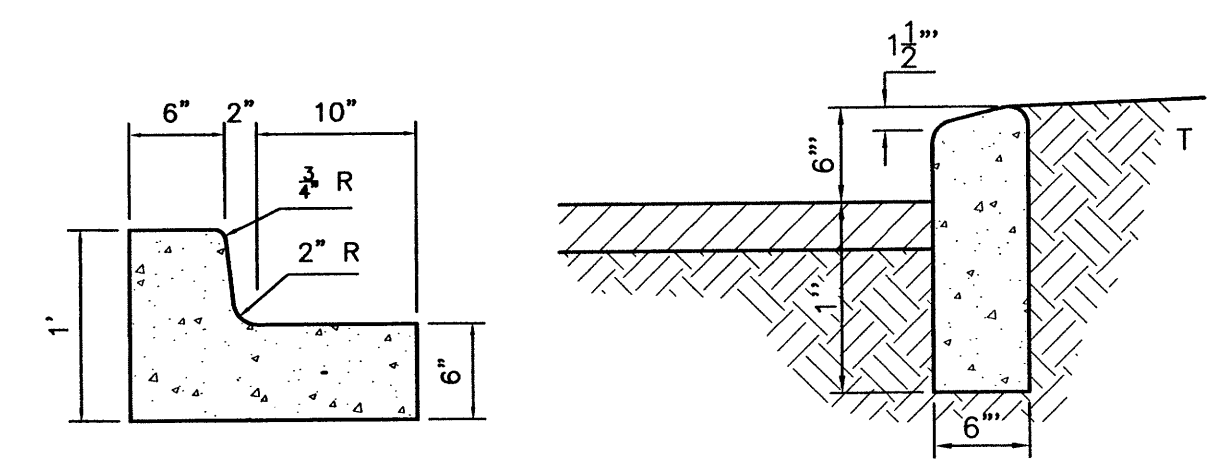


- NOTE:
1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
 2. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

BUTT JOINT

CONCRETE JOINT DETAILS

NTS



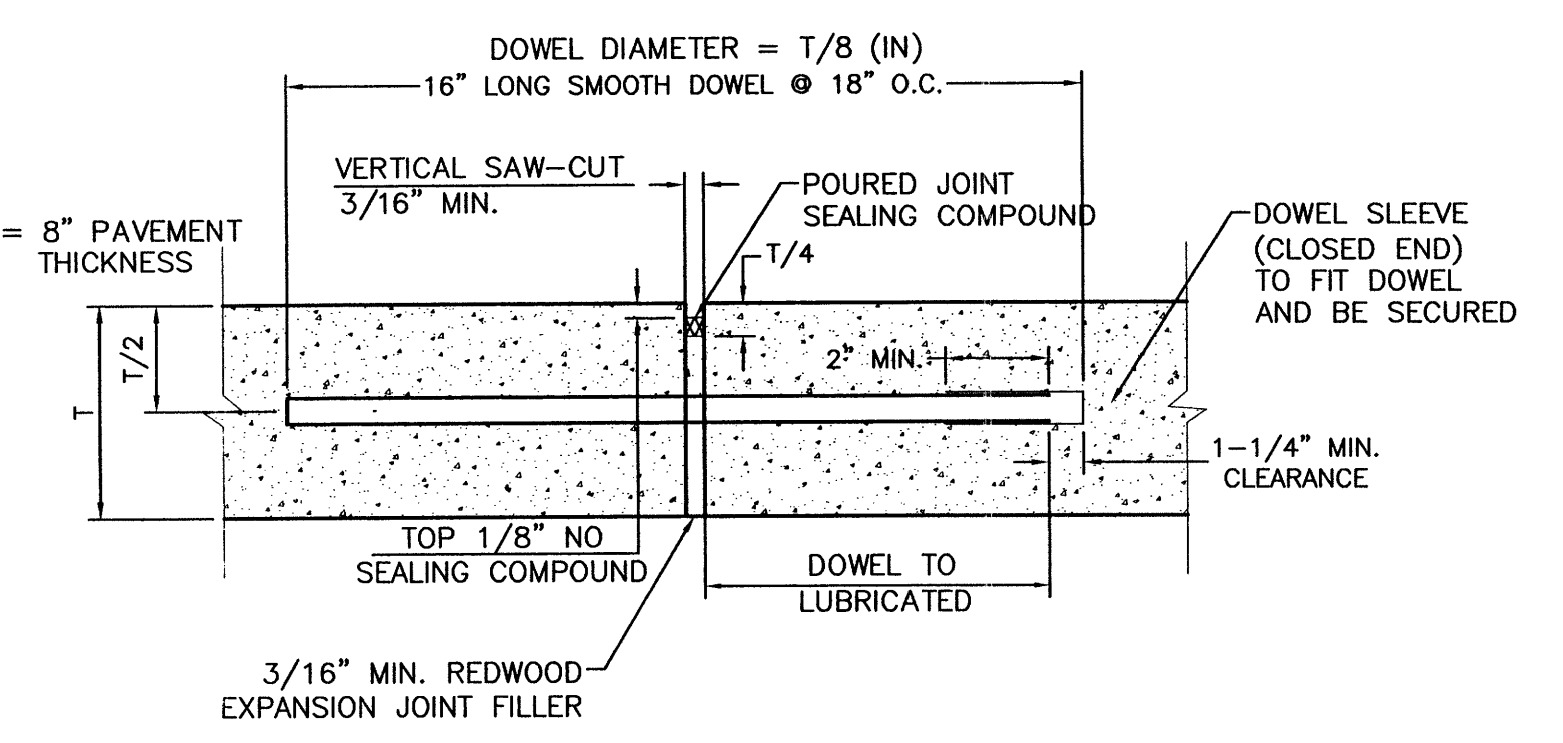
6 IN. CURB AND GUTTER

SCALE: 1"=1'

- CURB GENERAL NOTES:**
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

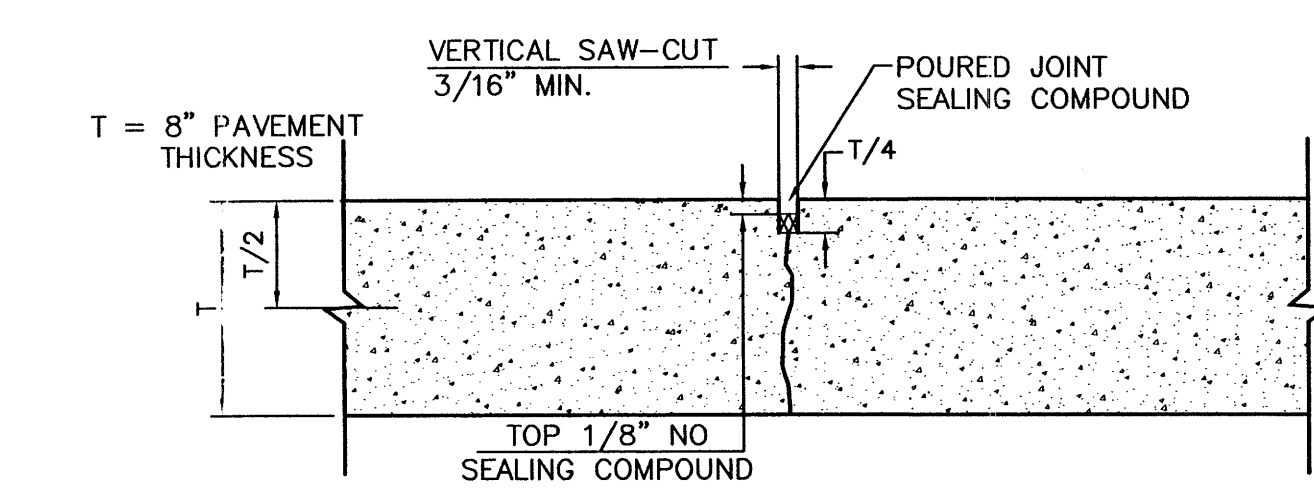
6" HEADER CURB DETAIL

1"=1'

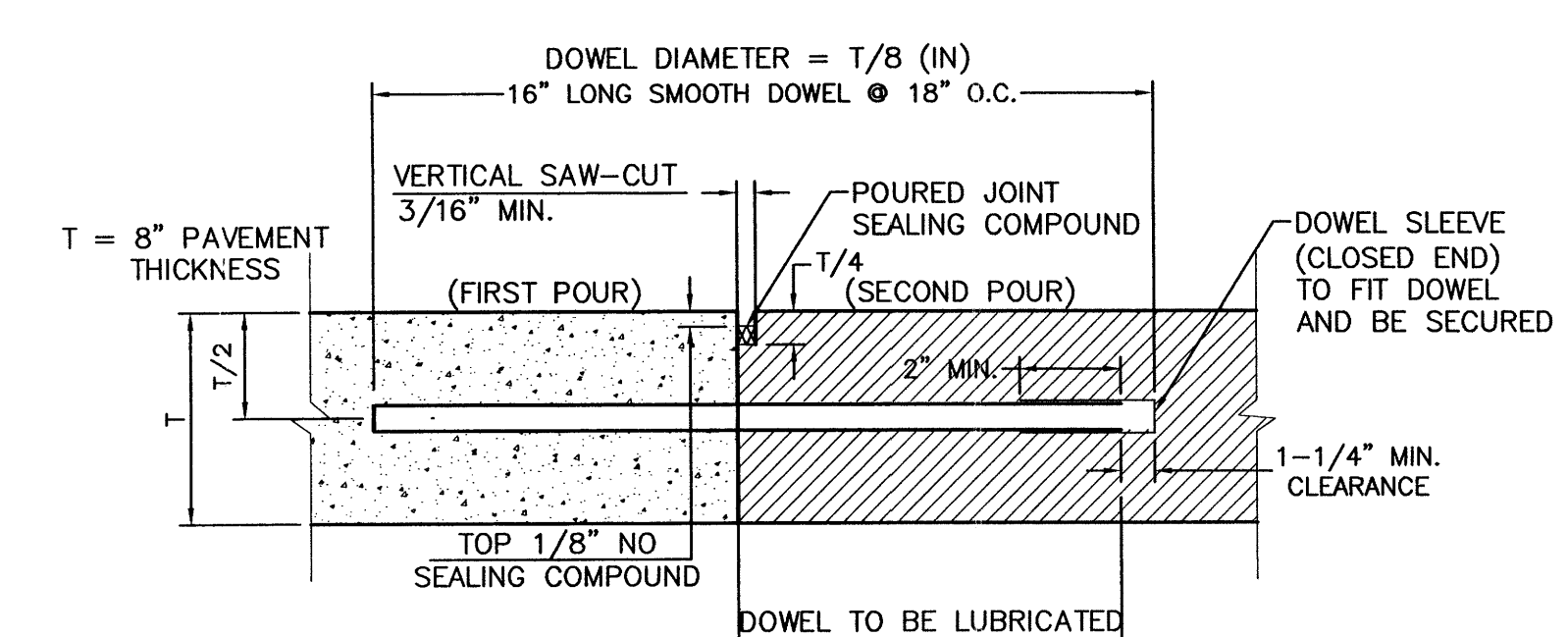


- NOTE:
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

TRANSVERSE EXPANSION JOINT

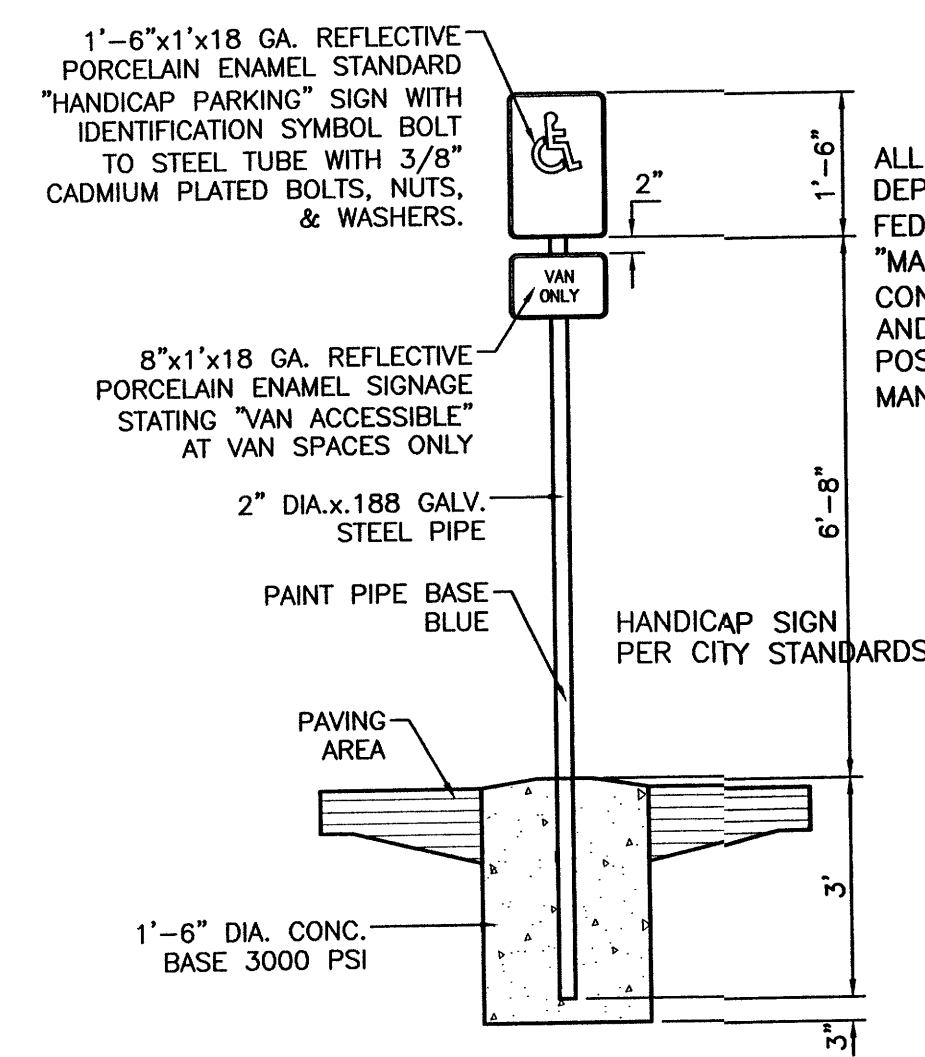


CONTRACTION JOINT



- NOTE:
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

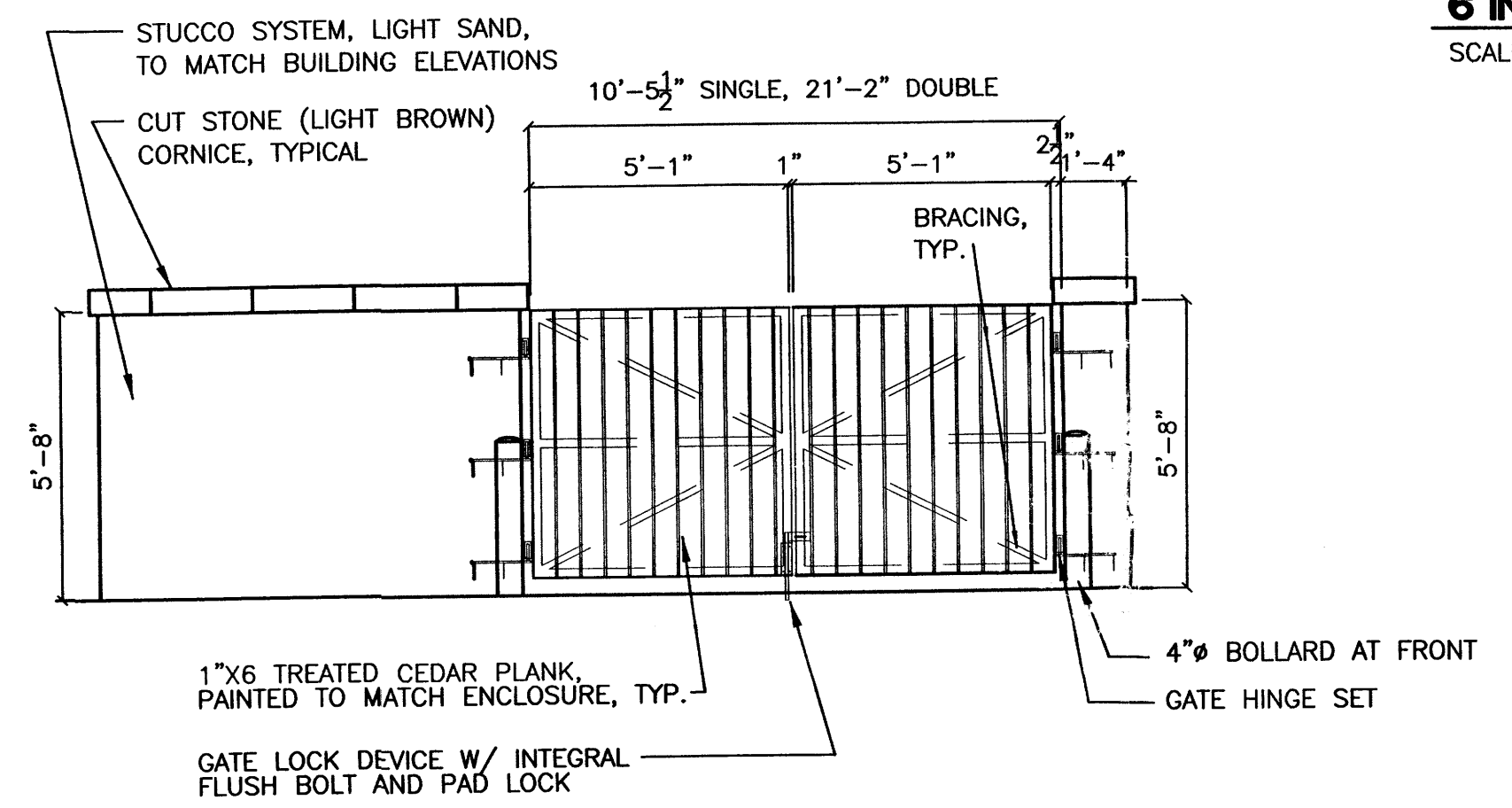
CONSTRUCTION JOINT



HANDICAP SIGN

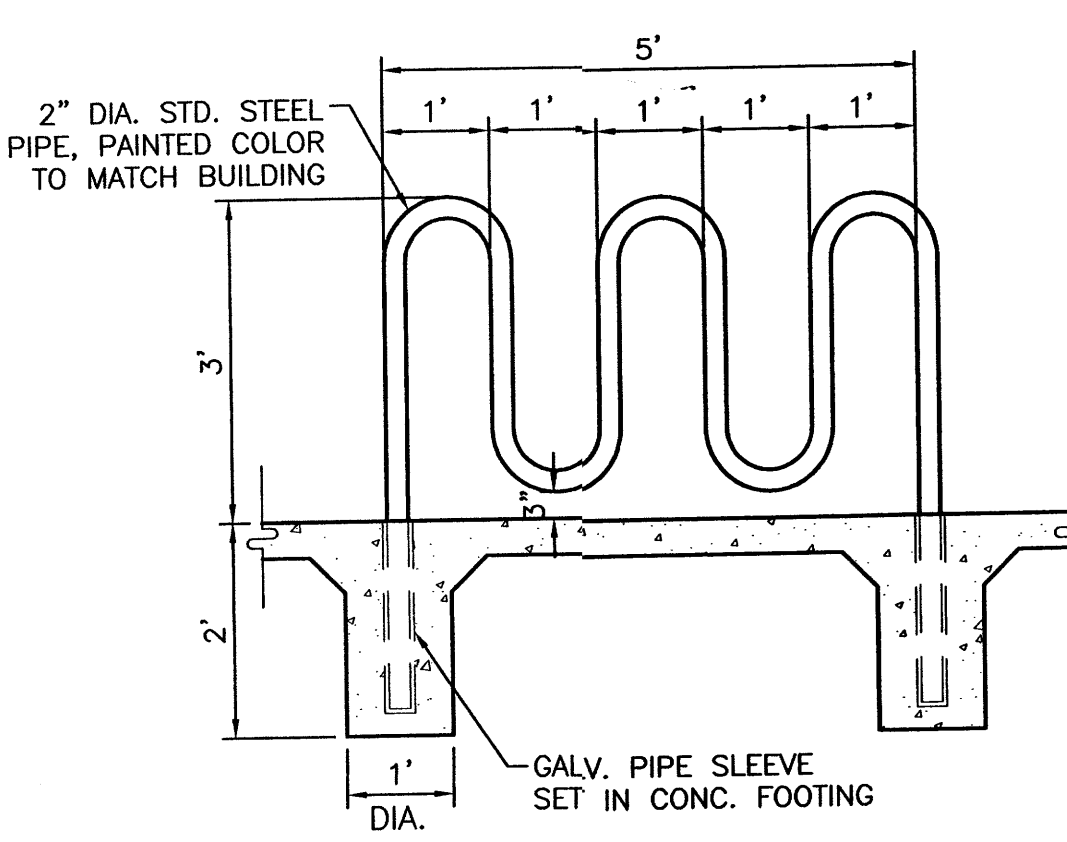
SCALE: 1/2"=1'

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



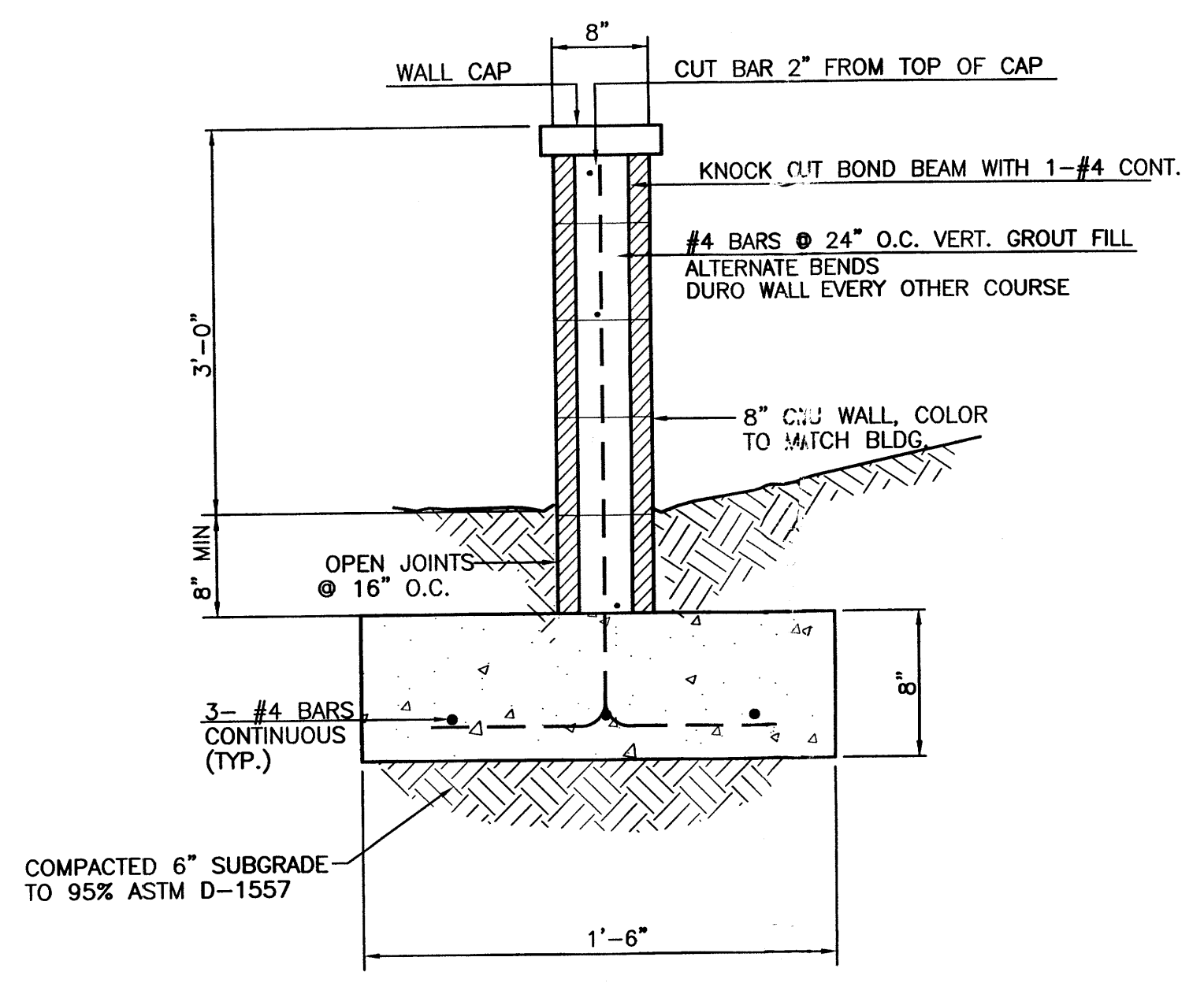
REFUSE ENCLOSURE ELEVATION

SCALE: 1"=10'



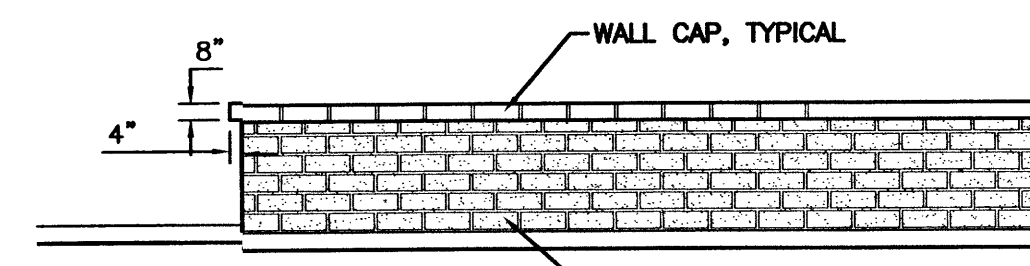
BIKE RACK DETAIL

SCALE: 1/2"=1'



3" SCREEN WALL SECTION

NTS



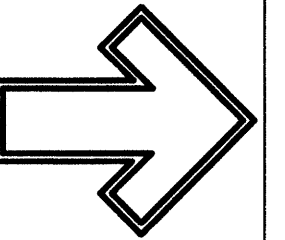
SEE SITE PLAN FOR HEIGHT OF WALL

SCREEN WALL DETAIL (TYP.)

NTS

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 2. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 3. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 4. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 5. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 6. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

	QUAIL RIDGE SHOPPING CENTER DETAILS	ENGINEER'S SEAL DRAWN BY BDG DATE 09/30/03 2296-DETAILS.DWG
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # C6 JOB # 220096



Cont. Lic. #26458
 1909 Edith N.E.
 Albuquerque, NM 87184
 Ph: (505) 888-9600
 Fax: (505) 888-7737
 info@toplandscaping.com

LANDSCAPE ARCHITECTS SEAL

JAMES DE FLON #0007

**BANK OF AMERICA
 Coors Blvd. and Ouray Road
 Albuquerque, NM**

LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and are not to be reproduced or used in any form without the prior written consent of The Hilltop Landscape Architects. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.




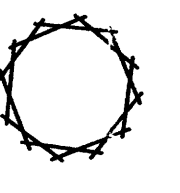













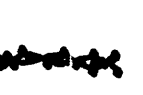


The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: SJ
 REVISION # 1
 DATE: 04/12/04

SHEET #
L1 of L1

100 2459

PLANT LEGEND

-  ARIZONA ASH (M) 5
Fraxinus velutina
2" Cal.
-  RAYWOOD ASH (M) 8
Fraxinus oxycarpa raywood
2" cal
-  AUSTRIAN PINE (H) 1
Pinus nigra
6'-8'
-  DESERT WILLOW (L) 3
Chilopsis linearis
15 Gal.
-  WASHINGTON HAWTHORN (H) 4
Crataegus phaenopyrum
15 Gal.
-  MAHONIA (M) 18
Mahonia aquifolium
5 gal. 36sf
-  RED YUCCA (L) 14
Hesperaloe parviflora
1 Gal.
-  REGAL MIST (M) 16
Muhlenbergia rigida
1 gal 36sf
-  DWARF MAIDENGRASS (M) 20
Miscanthus sinensis
5 Gal. 16sf
-  LANAS/ SCOTCH BROOM (M) 16
*Cytisus scoparius/
Genista hispanica*
5 Gal.
-  BLUE MIST SPIREA (M) 9
Caryopteris clandonensis
5 Gal.
-  POWS CASTLE SAGE (L) 50
Artemisia x 'Pows Castle'
1 gal 25SF
-  APACHE PLUME (L) 14
Fallugia paradoxa
5 Gal. 25sf
-  ROSEMARY (M) 17
Rosmarinus officinalis
2 Gal. 36sf
-  HONEYSUCKLE (M) 41
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
-  CHAMISA (L) 14
Chrysothamnus nauseosus
1 Gal. 25sf
-  WILDFLOWER 23
1 Gal. 4sf
-  BOSTON IVY 4
Parthenocissus tricuspidata
1 Gal. 400sf
-  OVERSIZED GRAVEL
& 8 BOULDERS
-  SANTA FE BROWN GRAVEL
WITH FILTER FABRIC

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:
 Coors Blvd. Required 7 Provided 7
 Ouray RD Required 6 Provided 6

LANDSCAPE CALCULATIONS

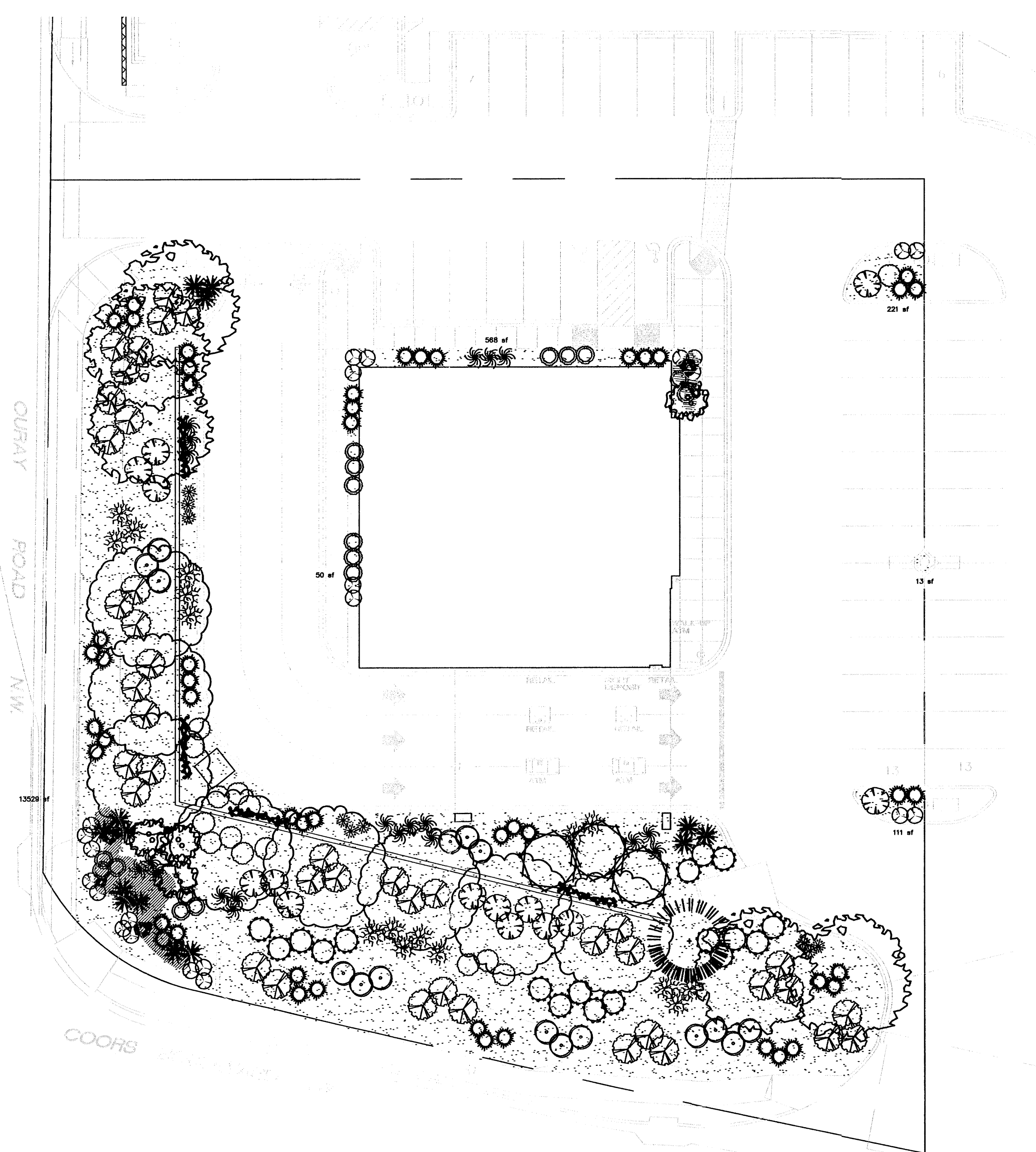
TOTAL LOT AREA	45231	square feet
TOTAL BUILDINGS AREA	5619	square feet
OFFSITE AREA	330	square feet
NET LOT AREA	49282	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	5892	square feet
TOTAL BED PROVIDED	14492	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	10869	square feet
TOTAL GROUNDCOVER PROVIDED	11005	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet
TOTAL LANDSCAPE PROVIDED	14822	square feet

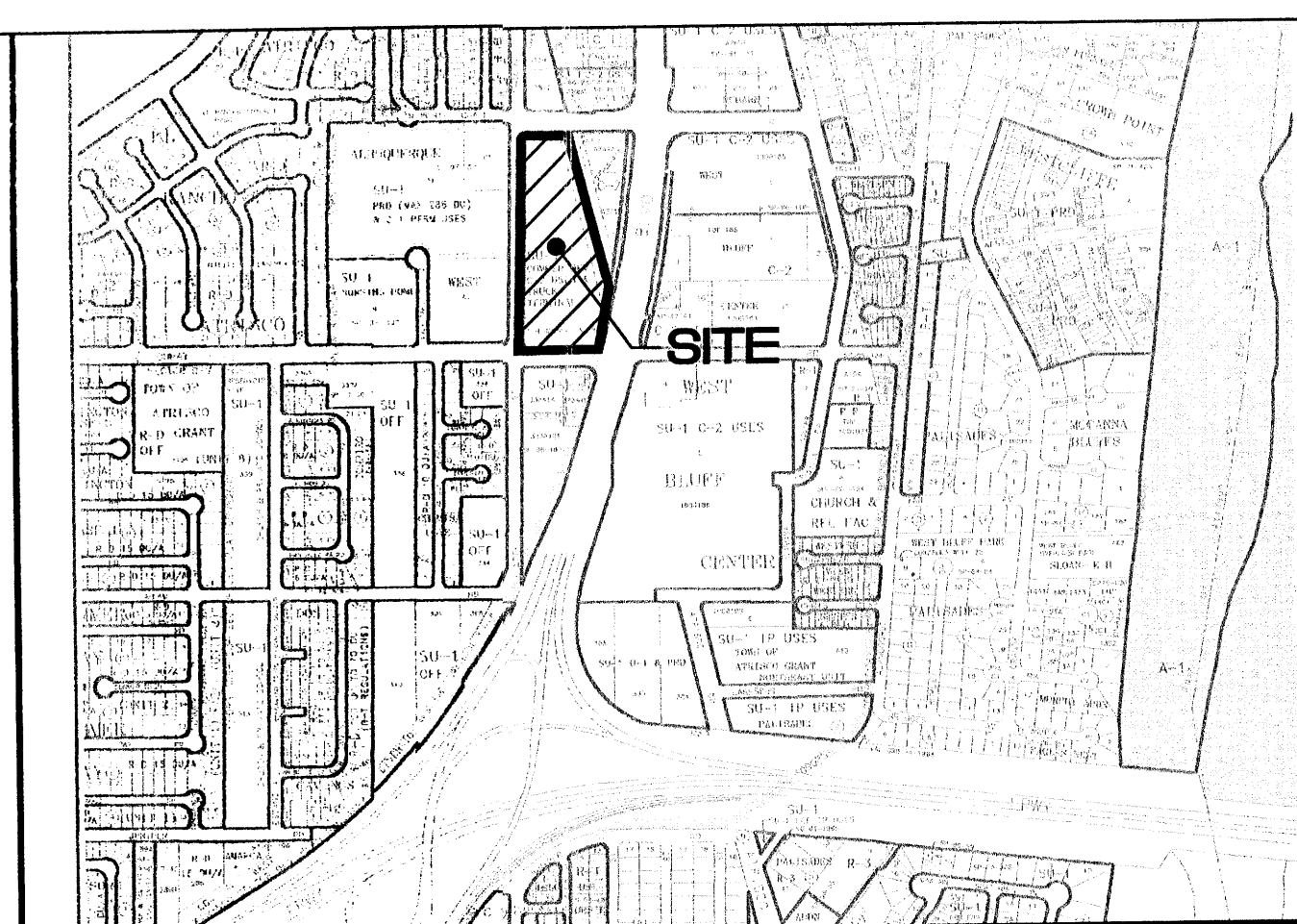
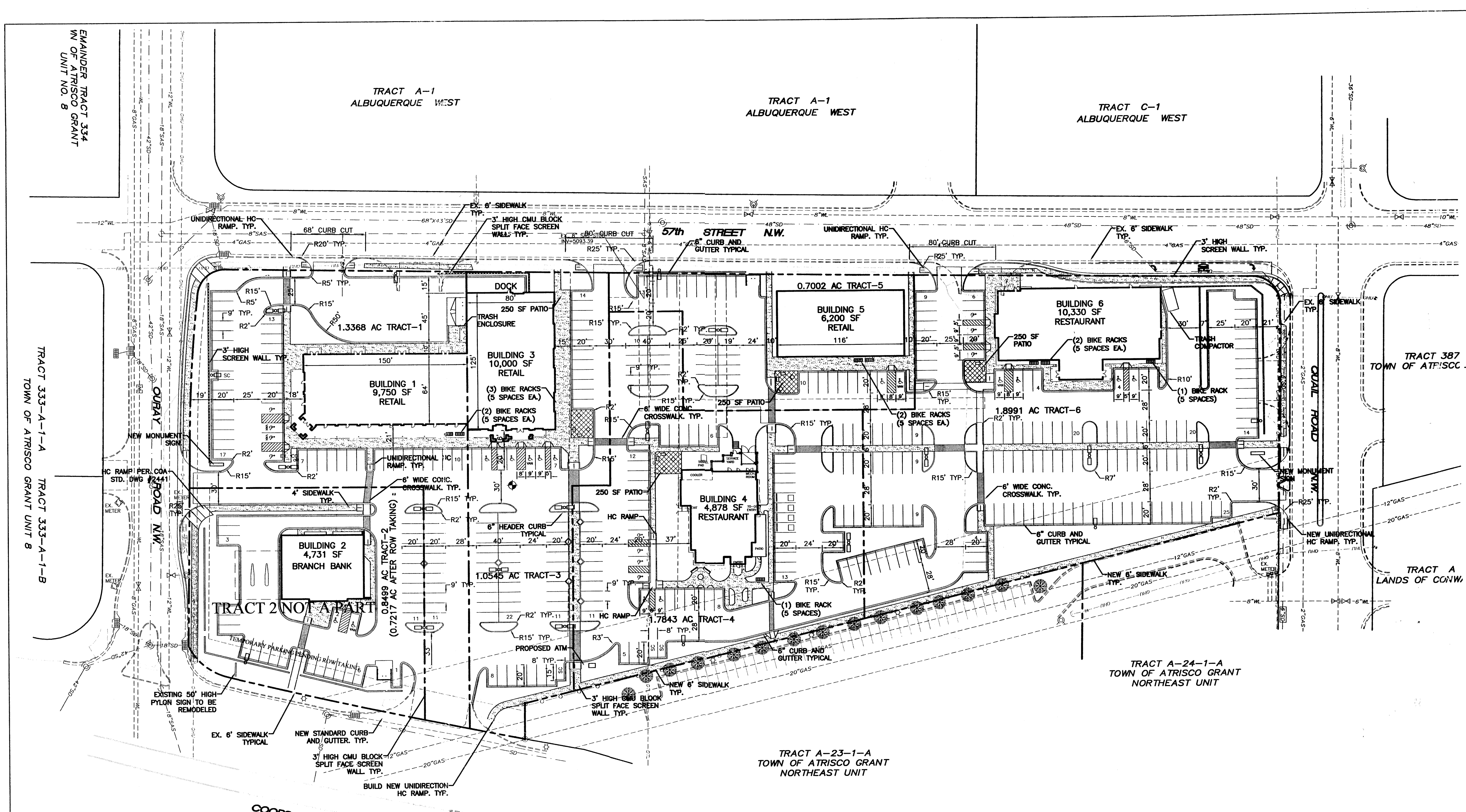
LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.
 Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.
 All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.
 Santa Fe Brown Gravel over Filter Fabric

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
 Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.





VICINITY MAP H-11-Z

LEGAL DESCRIPTION:
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8 ATRISCO GRANT & PORTION OF TR A21

- NOTES:**
1. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 4. MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE MONTANO PLAZA MASTER PLAN. MATCH BUILDING COLORS AND MATERIAL.
 5. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 6. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 18' HIGH.
 7. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 8. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 9. THIS SITE PLAN FOR SUBDIVISION IS FOR RESTAURANTS WITH A BEER AND WINE LICENSE ONLY. FURTHER APPROVAL FOR A RESTAURANT WITH A LIQUOR LICENSE BEYOND A BEER AND WINE LICENSE WILL REQUIRE ADMINISTRATIVE APPROVAL TO DETERMINE IF THERE IS SUFFICIENT OFF-STREET PARKING.
 10. ALL PATIO AREAS ON THE SOUTHEAST OR WEST SIDES OF BUILDINGS SHALL HAVE A MINIMUM OF 100 SF OF SHADED AREA, EITHER WITH TREES OR SHADE STRUCTURES.
 11. ALL PATIO AREAS SHALL HAVE A MINIMUM OF 8 LINEAR FEET OF FIXED SEATING.
 12. THE TOTAL SQUARE FOOTAGE FOR THE PORTION OF THE FREESTANDING SIGN THAT IDENTIFIES THE SHOPPING CENTER NAME SHALL BE LIMITED TO 20 SF.
 13. FREESTANDING SIGNS WILL MEET THE REQUIREMENTS FOR THE COORS CORRIDOR PLAN BY HAVING A SIGN FACE NO LARGER THAN 75 SF IN SIZE. THE NUMBER OF ITEMS AS IDENTIFIED IN THE COORS CORRIDOR PLAN WILL BE LIMITED TO 10.
 14. SEE SHEET 6 FOR DETAILS.
 15. PARKING BARRIERS SHALL BE PROVIDED TO PREVENT VEHICLES FROM EXTENDING OVER ANY PUBLIC SIDEWALK, ABUTTING LOT, PEDESTRIAN WALKWAYS, LANDSCAPE AREA OR ANY WALL OR FENCE. THE BARRIERS NEED TO BE A MINIMUM OF TWO FEET FROM ANY PUBLIC SIDEWALK, ABUTTING LOT, PEDESTRIAN WALKWAYS, LANDSCAPE AREA OR ANY WALL OR FENCE IN ACCORDANCE WITH SECTION 14-16-3-1(E)(2) OF THE COMPREHENSIVE CITY ZONING CODE.
 16. PAVING SHALL BE ASPHALT CONCRETE UNLESS OTHERWISE NOTED.

EMANDER TRACT 334
 W OF ATRISCO GRANT
 UNIT NO. 8

 TRACT 333-A-1-A
 TRACT 333-A-1-B
 TOWN OF ATRISCO GRANT UNIT 8

LINE TABLE

LINE	LENGTH	BEARING
L1	37.09	N89°21'28"W
L2	35.68	N90°00'00"E
L3	35.00	N00°00'00"W
L4	33.17	S00°00'00"E

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING	CHORD
C1	36.91	25.00	S41°28'15"E	33.64	
C2	47.59	55.00	N38°19'32"E	46.12	
C3	182.90	5846.45	N12°36'32"E	182.89	
C4	41.84	5846.45	N11°28'07"E	41.84	
C5	51.16	5846.45	N10°59'49"E	51.16	
C6	39.37	25.00	S45°56'25"W	35.43	

SITE DATA TABLE

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG.	SEAT. CAP.	PRKG. REQ.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE RACKS REQ.	MIN. FAR	MAX. FAR	
1	1	1.3368	9,750	RETAIL	C-2			49	58	4	4	1	2	0.15	0.35	
2	2	0.8499	4,731	BRANCH BANK	C-2									0.15	0.35	
3	3	1.0545	10,000	RETAIL	C-2		50	62	4	6	1	1	3	0.15	0.35	
4	4	1.7843	4,878	RESTAURANT	C-2		192	64	77	4	6	2	3	0.15	0.35	
5	5	0.7002	6,200	RETAIL	C-2			31	33	2	2	1	1	0.15	0.35	
6	6	1.8991	10,330	RESTAURANT	C-2		382	127	130	8	8	1	1	0.15	0.35	
TOTAL		7.625	47,080					345	393	24	28	7	7	12	0.15	0.35

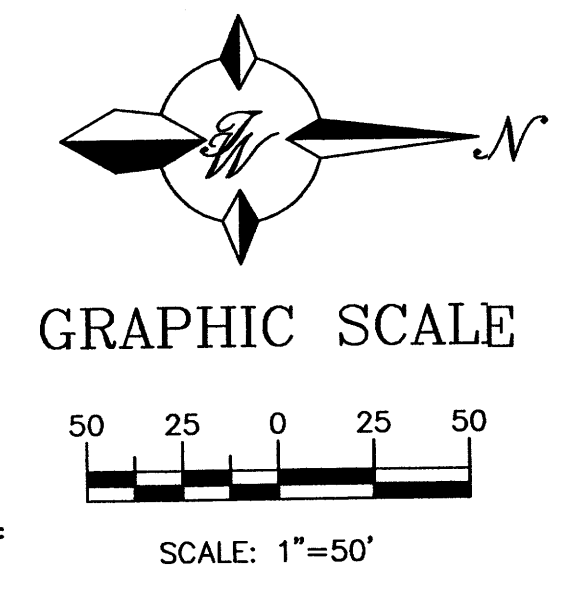
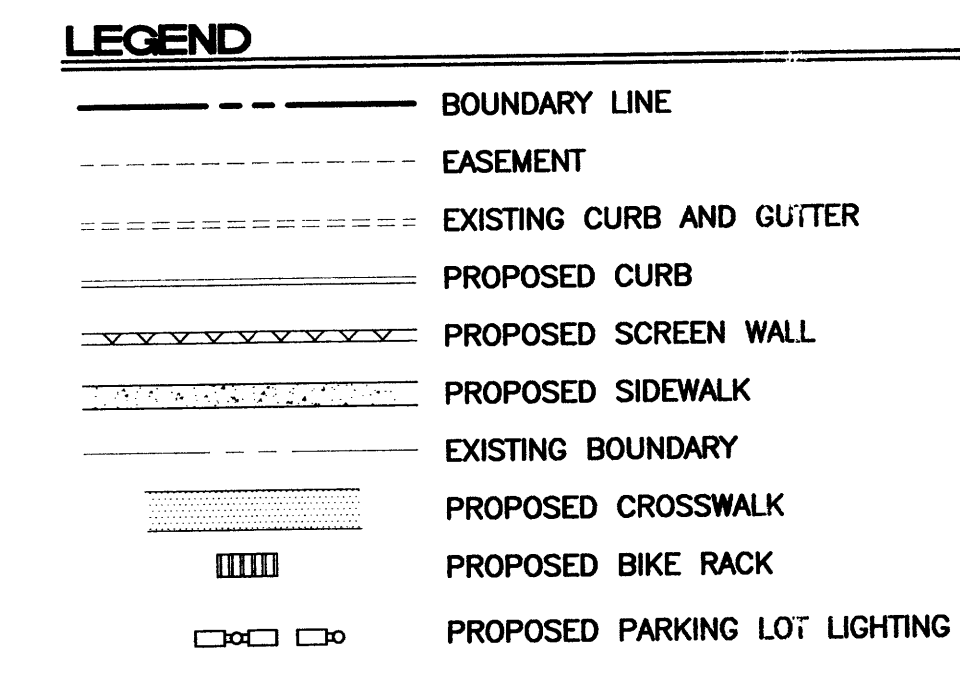
RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY
 1 PER 3 SEATS

PROJECT NUMBER: 1002459
APPLICATION NUMBER: 03 DRB 01759

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
<i>Roger A. Green</i>	10/29/03
Utilities Development	Date
<i>Christina Sandoval</i>	10/29/03
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
<i>Michael Holton</i>	1-29-04
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



ENGINEER'S SEAL

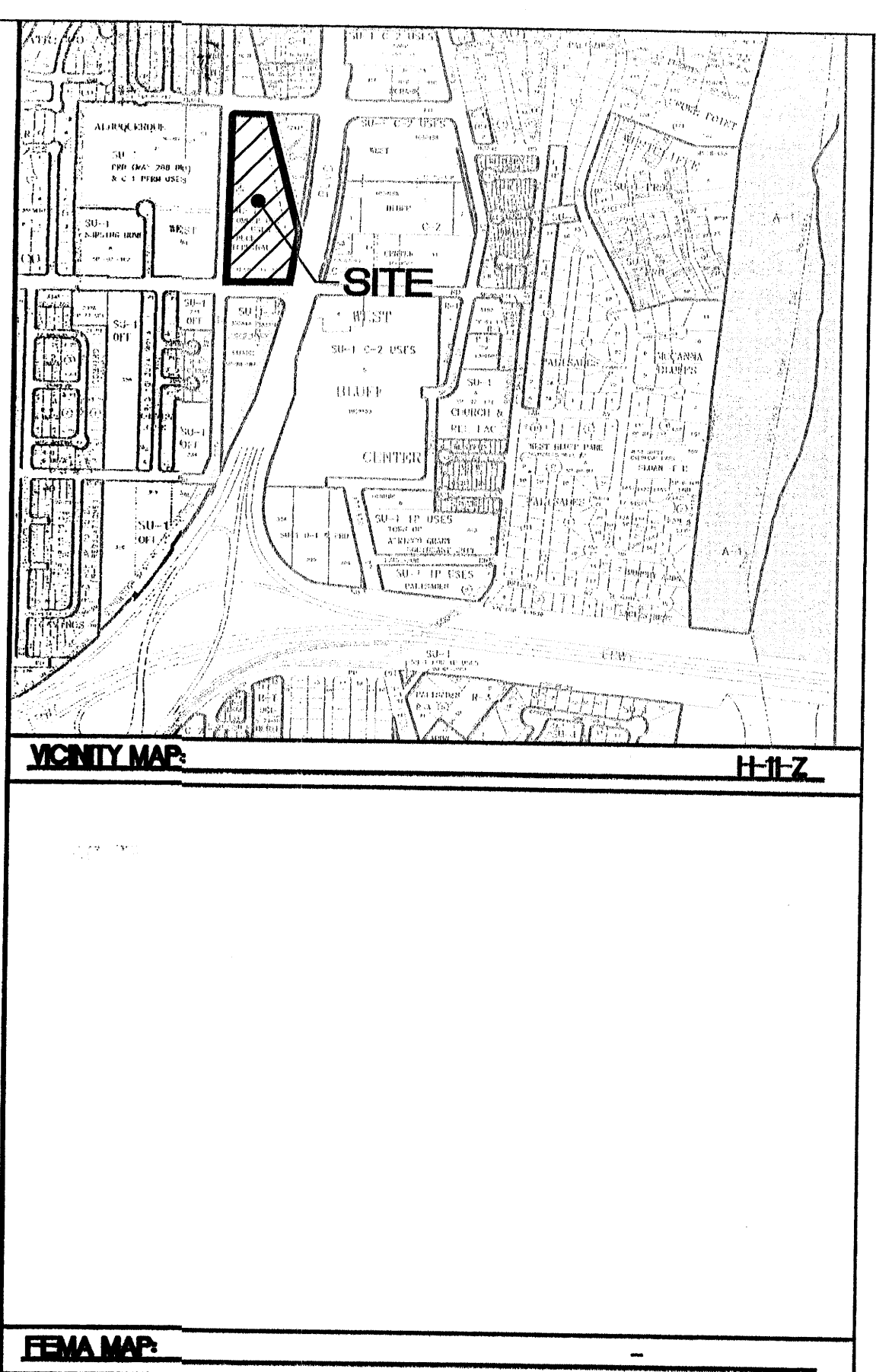
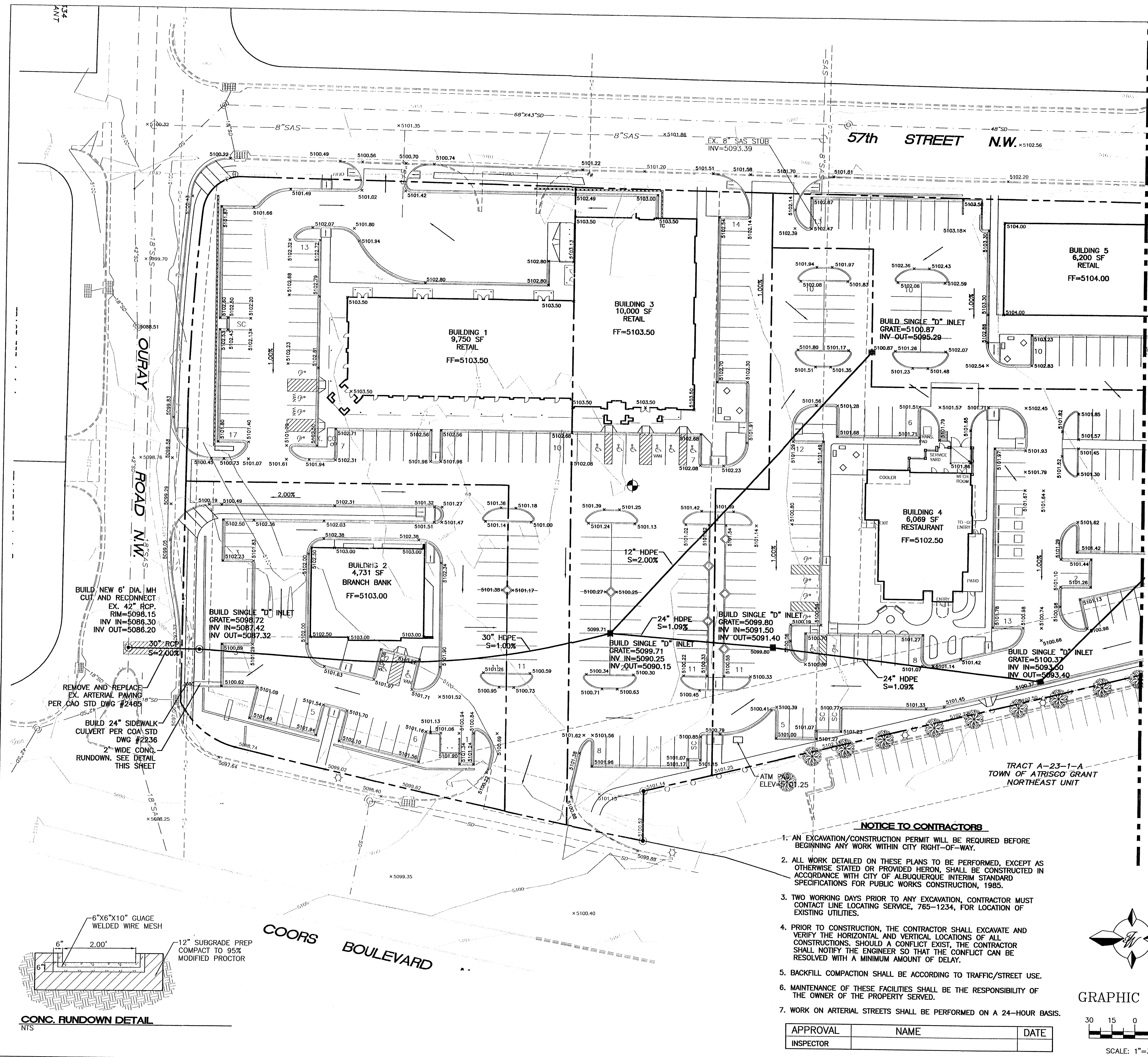
QUAIL RIDGE SHOPPING CENTER

SITE PLAN FOR BUILDING PERMIT

TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

APPROVED/NOT APPROVED
 HYDRANT(S) ONLY
R.C. SANCHEZ 10-28-03
 EXPIRES 10-28-07

DRAWN BY: BDG
 DATE: 10/23/03
 2296SPB-8-11-03X
 SHEET # **3**
 JOB # 220096



LEGAL DESCRIPTION
W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8
ATRISCO GRANT & PORTION OF TR A21

EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

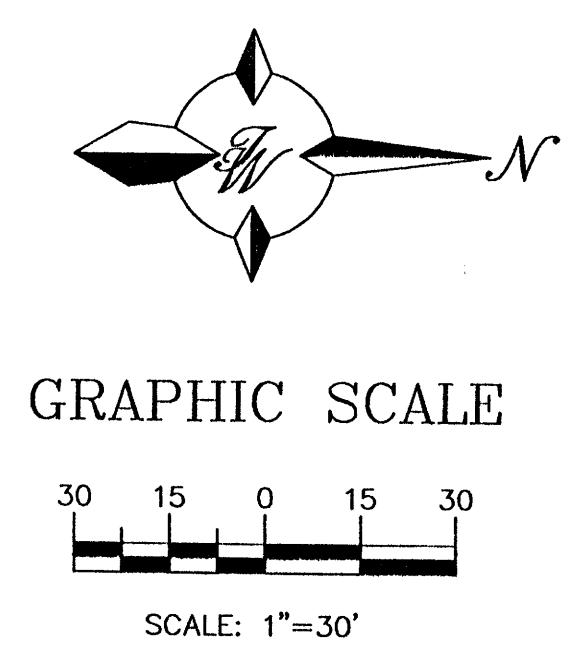
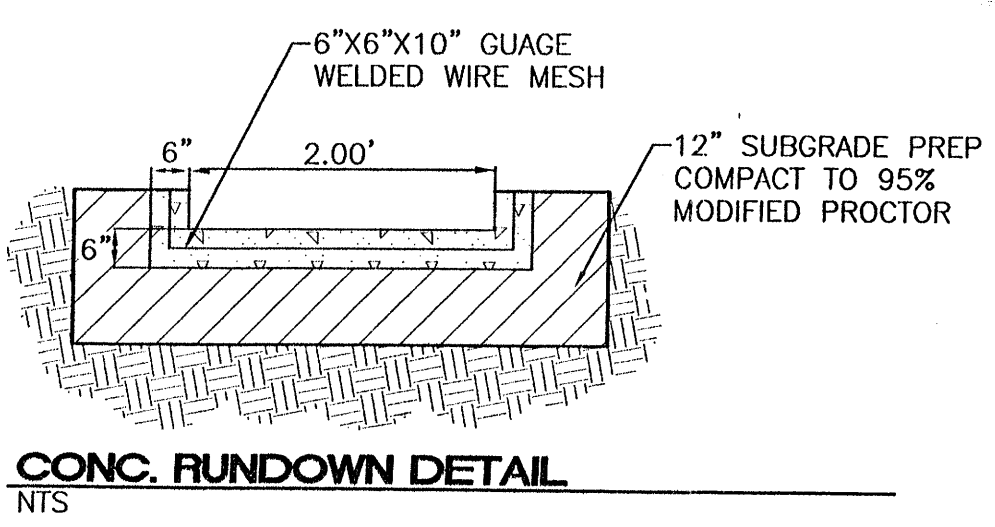
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

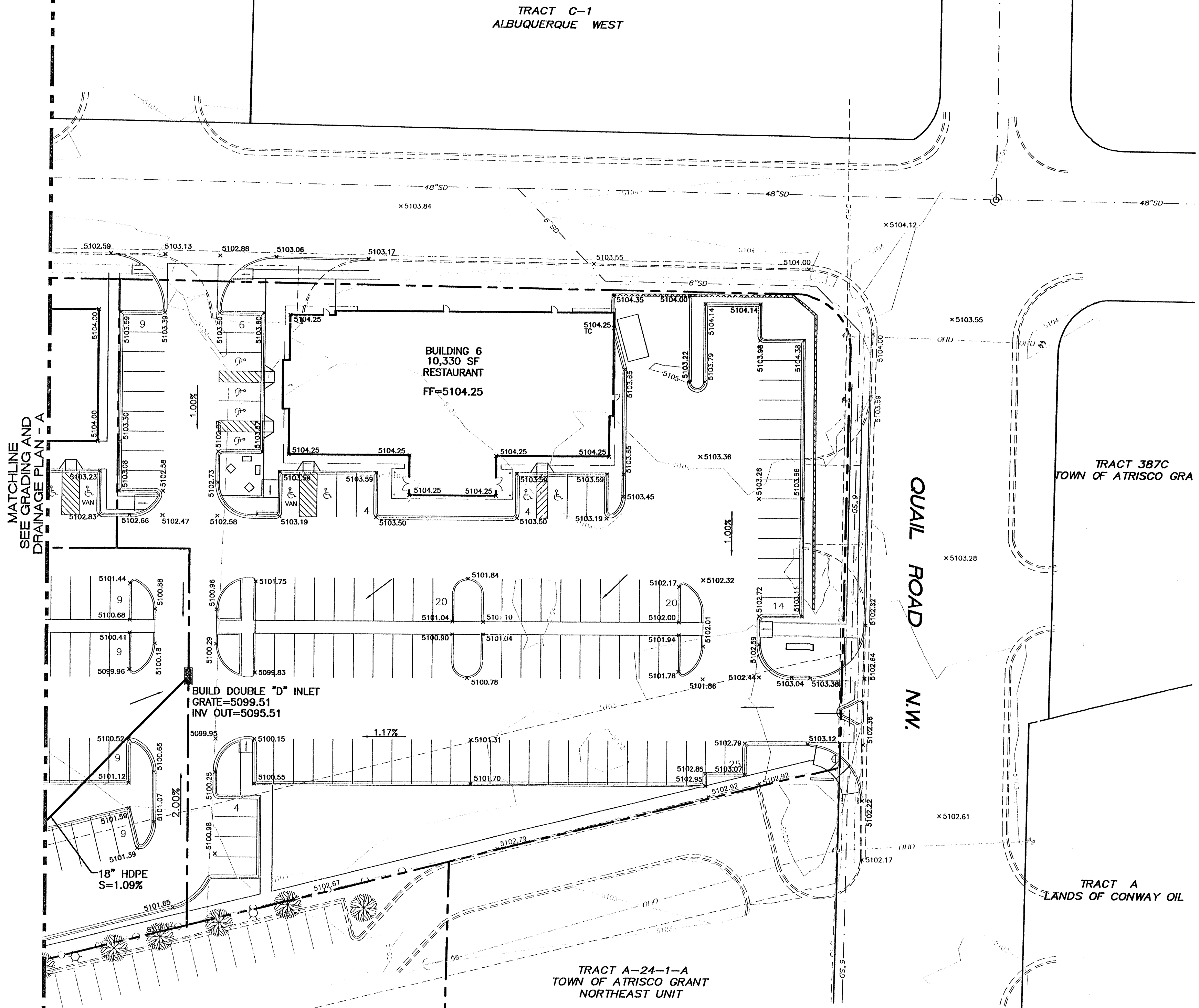
LEGEND

	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	NEW CURB

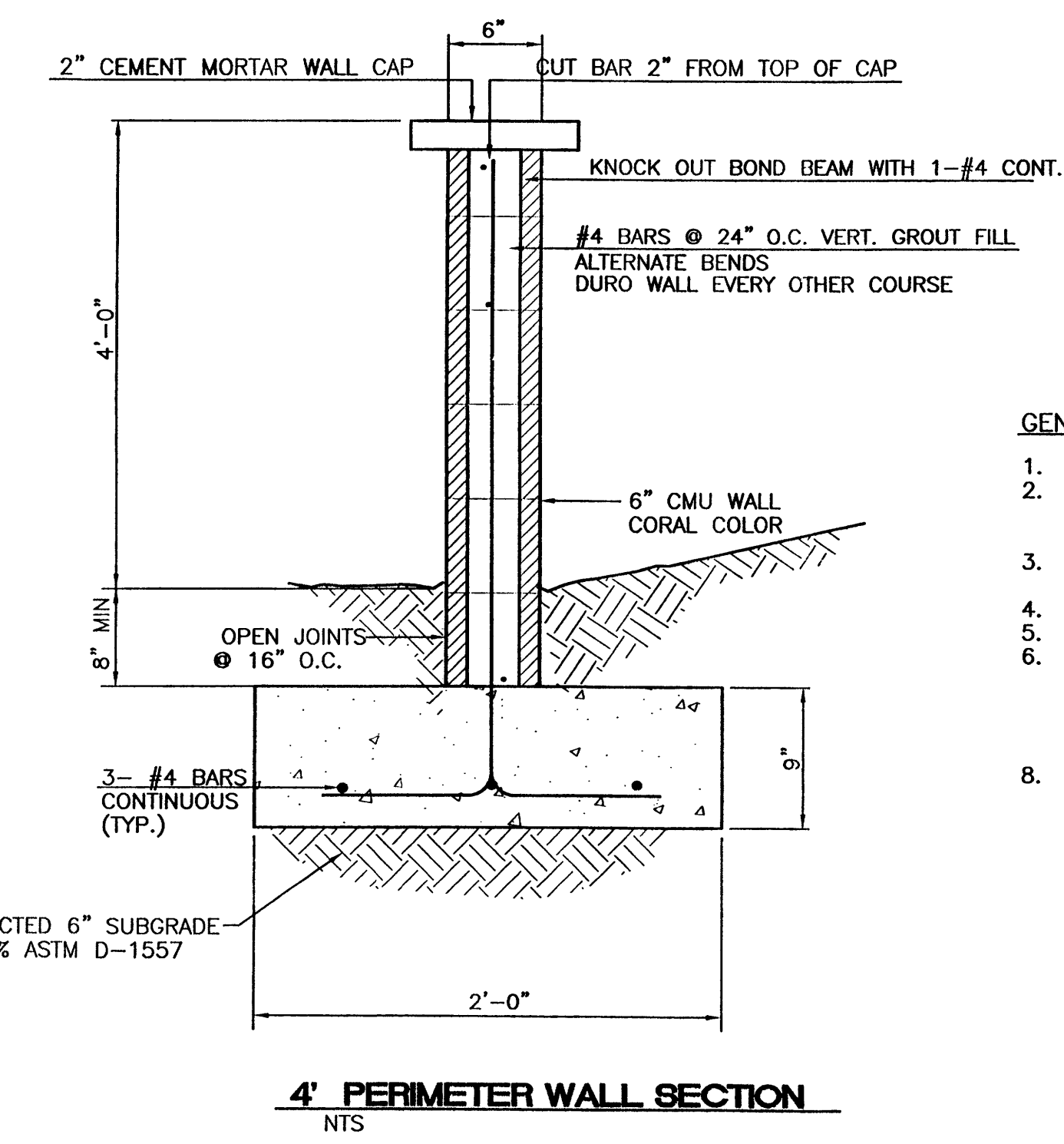
ROUGH GRADING APPROVAL

 ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	QUAIL RIDGE SHOPPING CENTER GRADING AND DRAINAGE PLAN - A	DRAWN BY: BDG DATE: 08/25/03 2296GRB-B-11-03X
		SHEET # 4A JOB # 220096
TIERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		

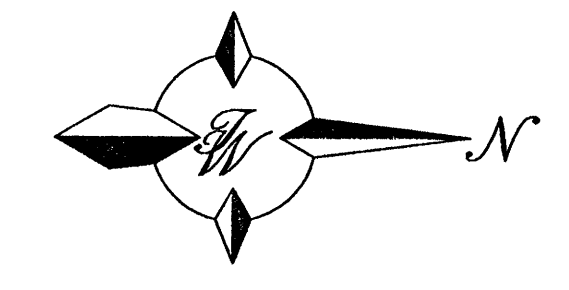




MATCHLINE
SEE GRADING AND
DRAINAGE PLAN - A



- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



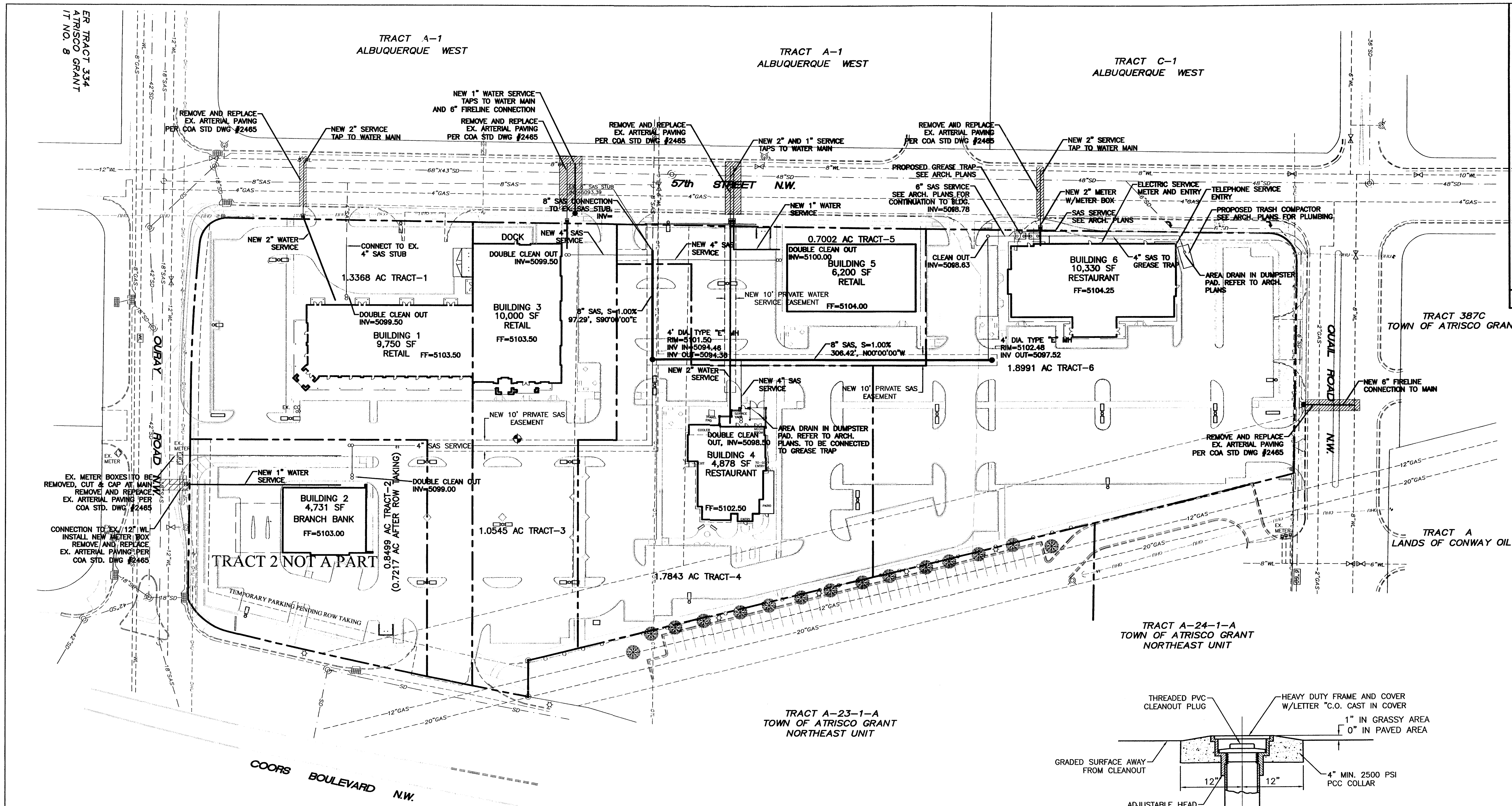
GRAPHIC SCALE



SCALE: 1"=30'

ROUGH GRADING APPROVAL

	QUAIL RIDGE SHOPPING CENTER GRADING AND DRAINAGE PLAN - B	DRAWN BY: BDC DATE: 08/19/03 2296GRB-8-11-03X
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 4B JOB # 220096



WATER SHUTOFF PLAN SHUTOFF VALVES: #-

ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.

- NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUTOFF PLAN.
- APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
- SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.

GENERAL NOTES:

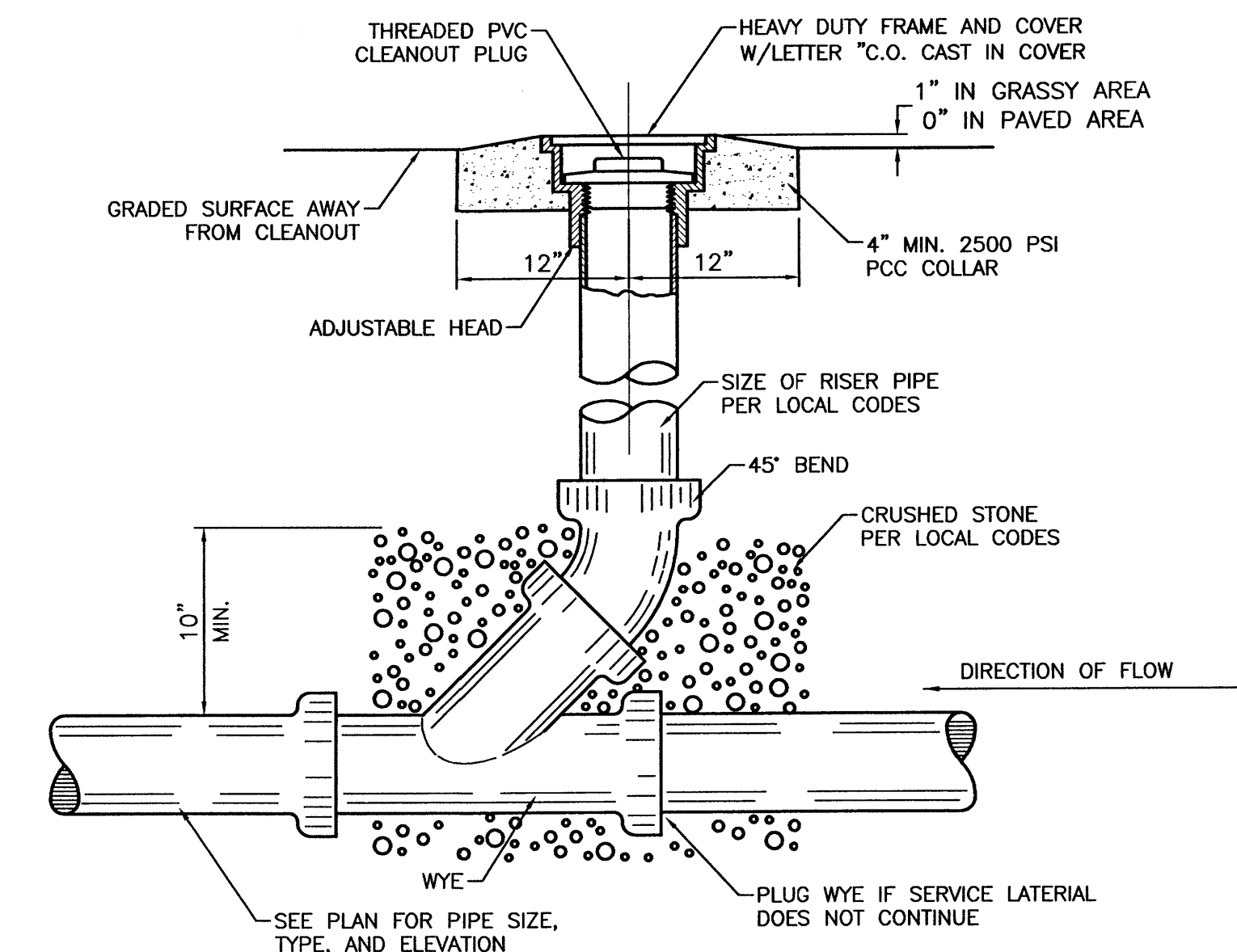
- 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
- ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.

NOTICE TO CONTRACTORS

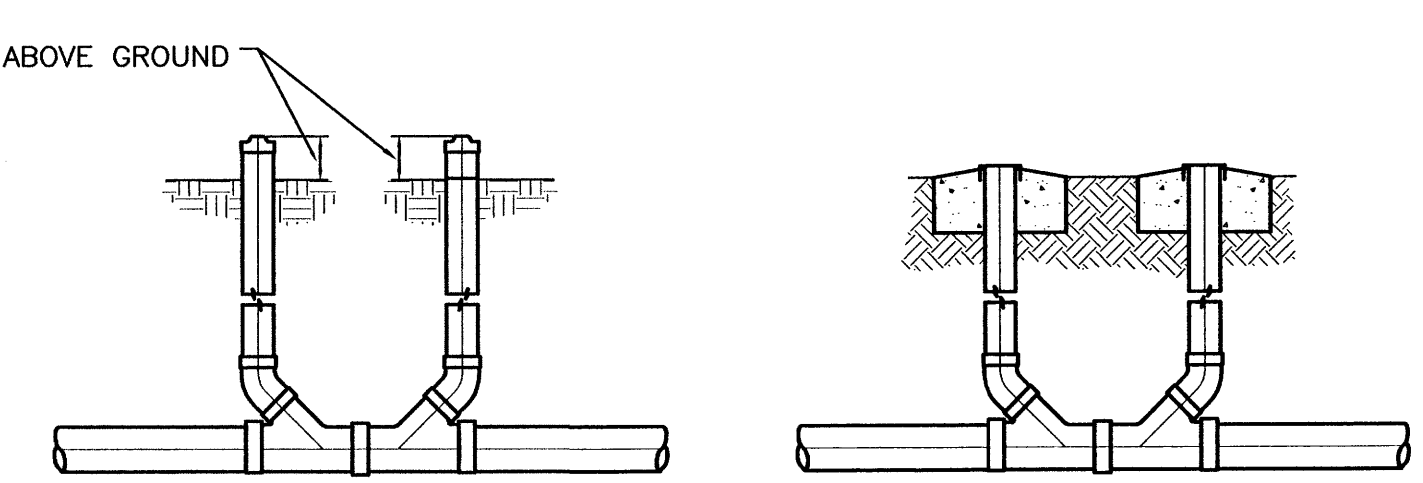
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (505)765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

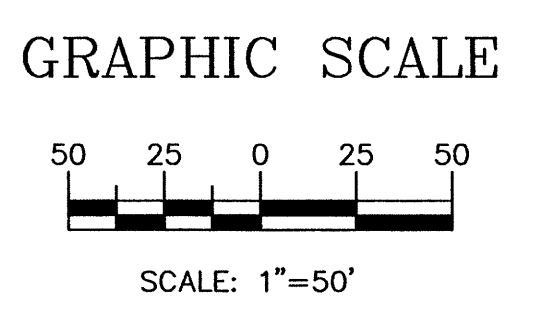
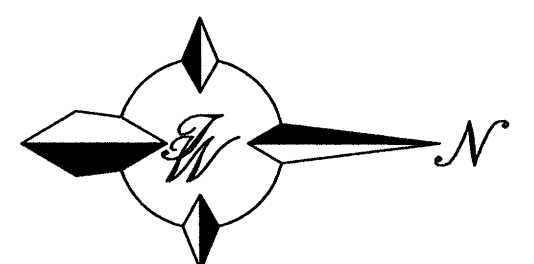
	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	PROPOSED CLEAN OUT
	PROPOSED DOUBLE CLEAN OUT
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	BOUNDARY LINE
	EASEMENT



SANITARY SEWER CLEAN-OUT
NTS



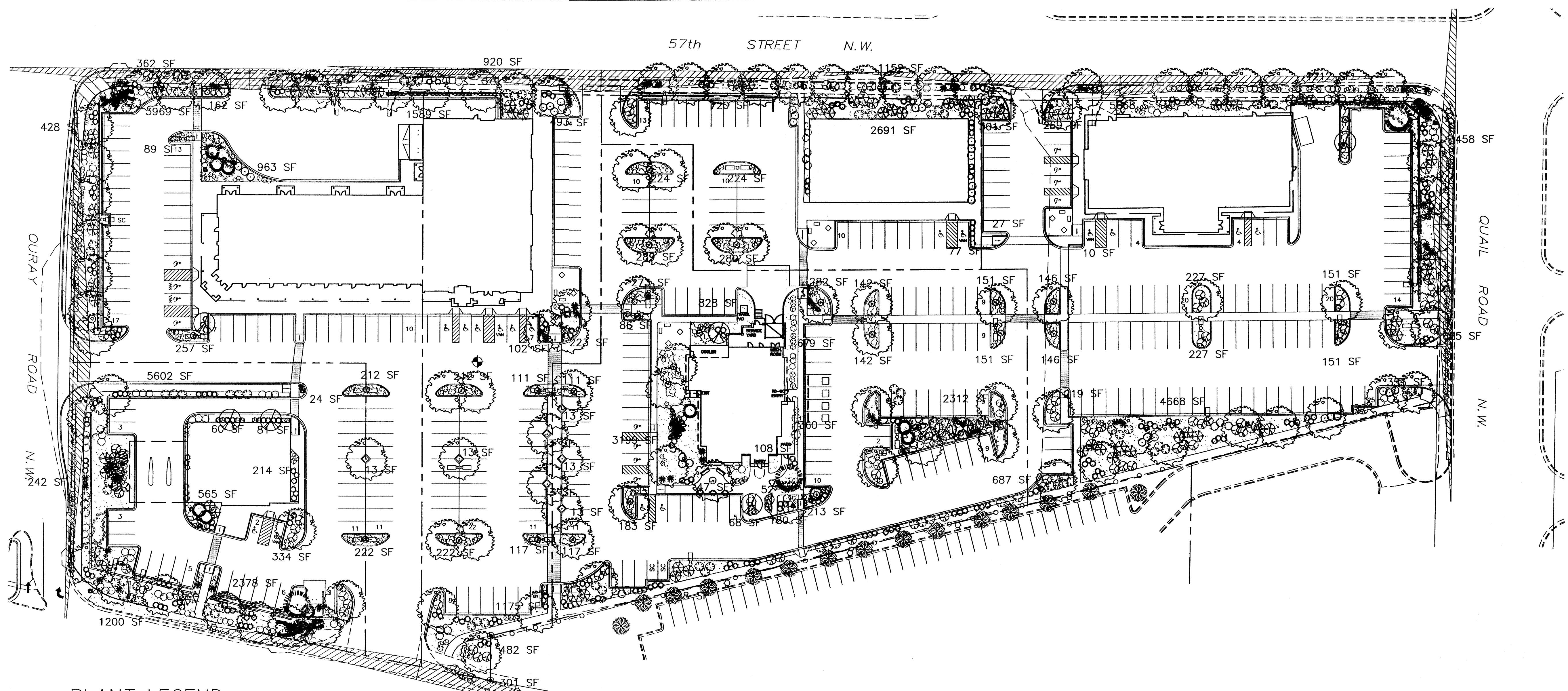
SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



AND PLANS CHECKED BY: 024-8611
APPROVED: 10-28-03
R.C. [Signature]

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	QUAIL RIDGE SHOPPING CENTER	DRAWN BY BDG
	MASTER UTILITY PLAN	DATE 10/27/03
		2296MUB-8-11-03X
		SHEET #
		5
		JOB # 220096

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100



PLANT LEGEND

- ASH (H) AND HONEY LOCUST (H) 112
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- PINON PINE (M) OR NEW MEXICO OLIVE 10
Pinus edulis 6-8'
Forestiera neomexicana 15 Gal.
- SILVERBERRY (M) 95
Elaeagnus pungens
5 Gal. 100sf
- THREE-LEAF SUMAC (L) 36
Rhus trilobata
5 Gal. 36sf
- RED YUCCA (L) 51
Hesperaloe parviflora
5 Gal.
- RUSSIAN SAGE (M) 24
Perovskia atriplicifolia
5 Gal.
- APACHE PLUME (L) 96
Fallugia paradoxa
5 Gal. 25sf
- LANAS/ SCOTCH BROOM (M) 108
Cytisus scoparius/
Genista hispanica
5 Gal.
- BUFFALO JUNIPER / 27
GREYLEAF COTONEASTER
Juniperus sabina/
Cotoneaster buxifolius
5 Gal.
Symbol indicates 3 plants
- 3/4" GRAY GRAVEL
WITH FILTER FABRIC
- AUSTRIAN PINE (H) 3
Pinus nigra
6-8'
- FLOWERING PEAR (H) 9
Pyrus calleryana
2" Cal.
- PALM YUCCA (L) 10
- ROSEMARY (M) 151
Rosmarinus officinalis
2 Gal. 36sf
- POTENTILLA (M) 67
Potentilla fruticosa
2 Gal.
- AUTUMN SAGE (M) 107
Salvia greggii
2 Gal. 9sf
- HONEYSUCKLE (M) 90
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
- CHAMISA (L) 100
Chrysothamnus nauseosus
1 Gal. 25sf
- WILDFLOWER 246
1 Gal. 4sf
- TAM JUNIPER (M) 84
Juniperus sabina
5 Gal. 225sf
Symbol indicates 3 plants
- HONEYSUCKLE (M) 48
Lonicera sempervirens
1 Gal. 200sf
- OVERSIZED GRAVEL
& 48 BOULDERS

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

All planting beds 36 square feet or larger shall be planted with a mature minimum coverage of 75% live ground cover.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

One tree shall be planted per every 10 parking spaces per policy b.2 of the Coors Corridor Plan.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

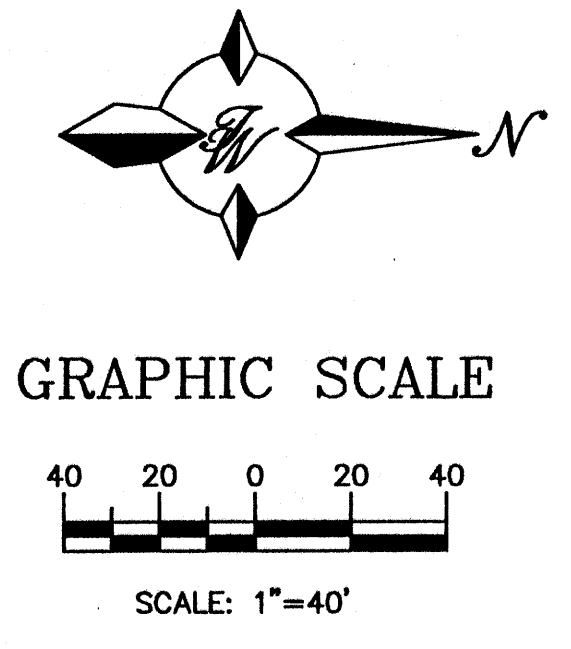
LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	332,376	square feet
TOTAL LOT AREA	44,325	square feet
TOTAL BUILDINGS AREA	0	square feet
OFFSITE AREA	288,051	square feet
NET LOT AREA	15%	square feet
LANDSCAPE REQUIREMENT	43,207	square feet
TOTAL LANDSCAPE PROVIDED	55,825	square feet
TOTAL BED PROVIDED	55,825	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet

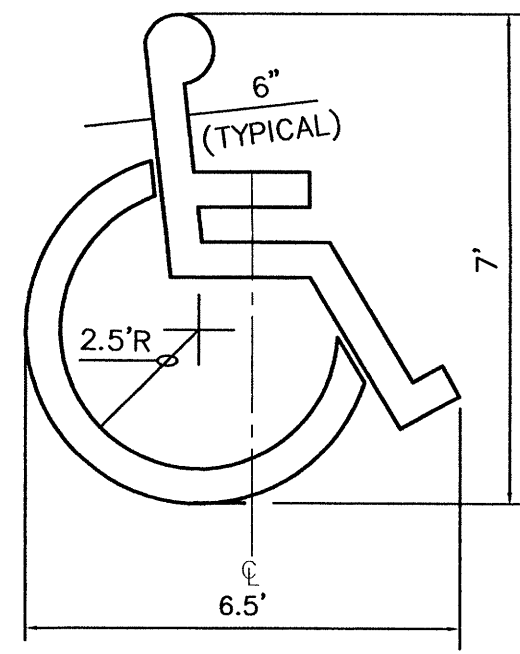
FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com

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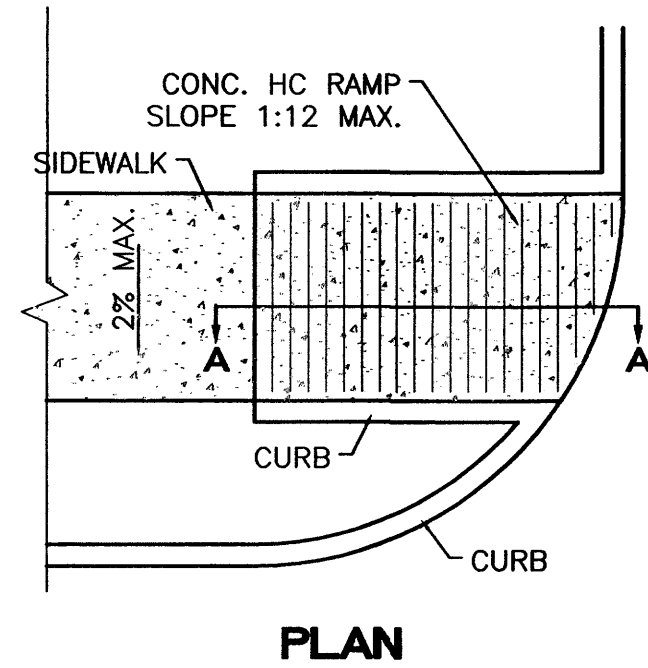


	57th AND QUAIL COMMERCIAL SITE	DRAWN BY DLB
	LANDSCAPE PLAN	DATE 08/25/03
		HTLS-01
		SHEET #
		6 OF 11
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 220096



ACCESSIBLE PARKING SYMBOL

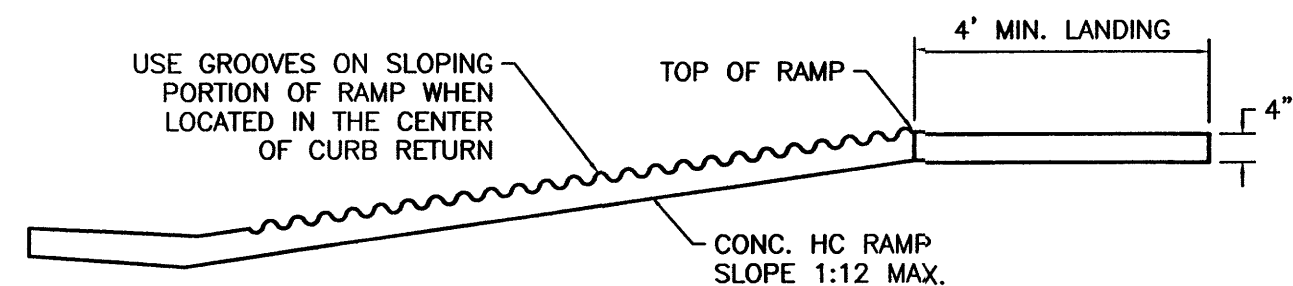
SCALE: NTS
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



PLAN

NOTES:

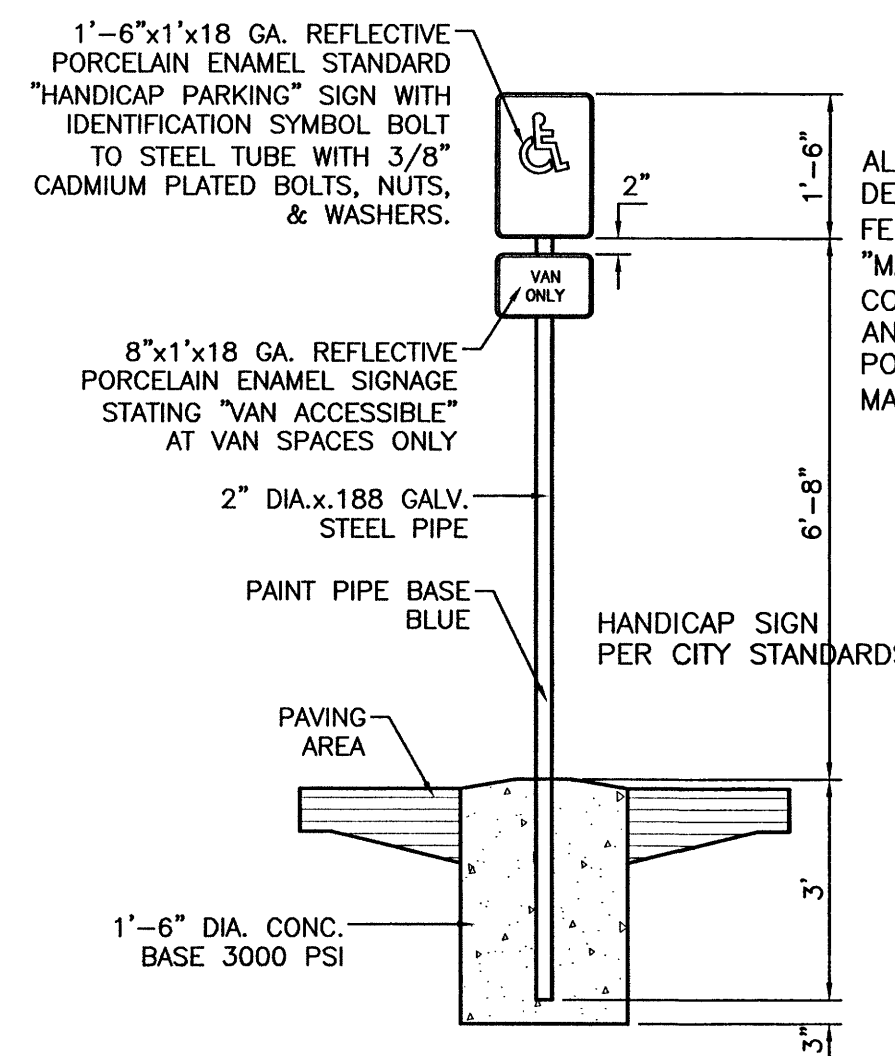
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



SECTION A-A

UNIDIRECTIONAL HC RAMP

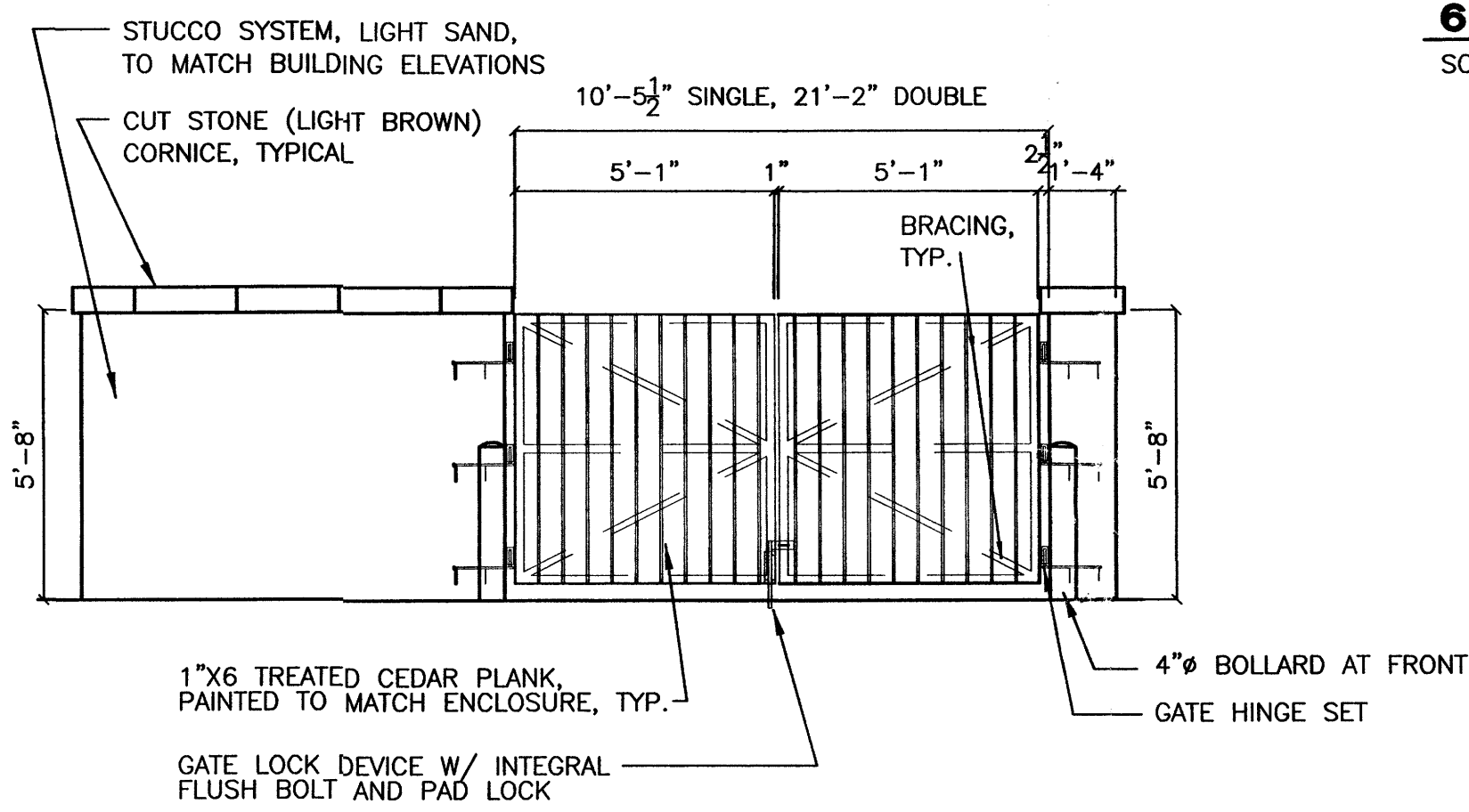
SCALE: NTS



HANDICAP SIGN

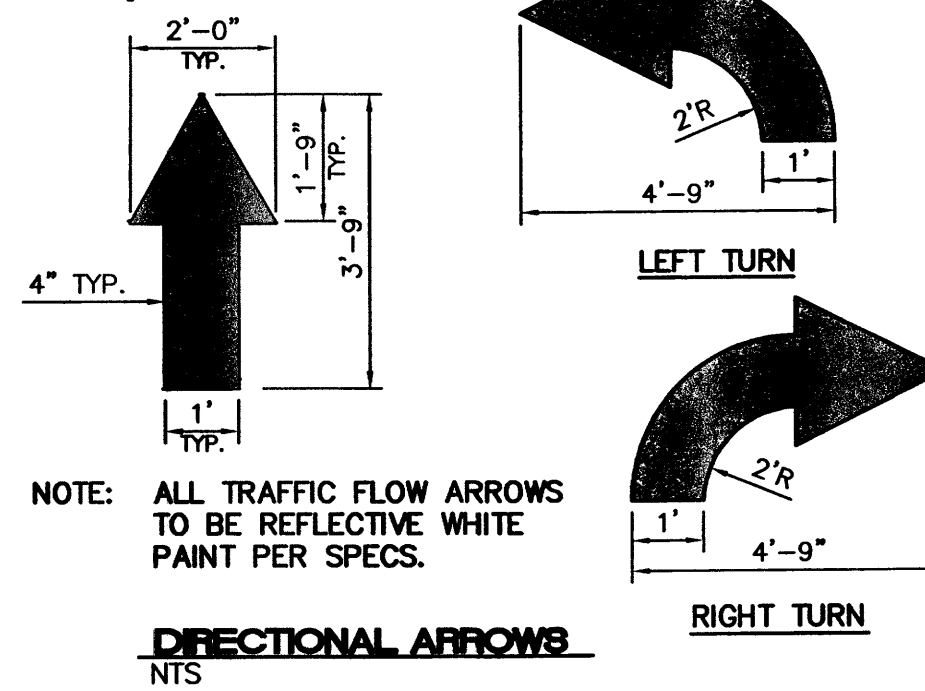
SCALE: 1/2"=1'

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



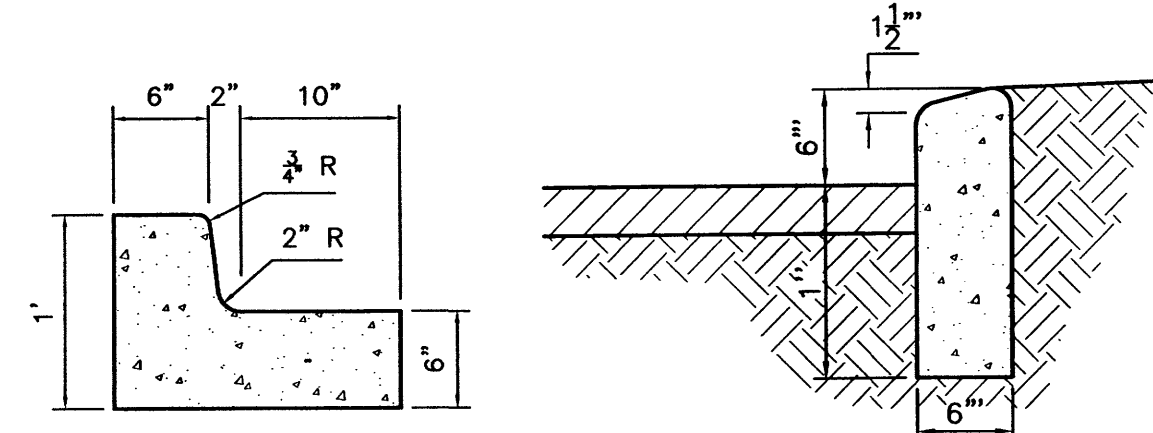
REFUSE ENCLOSURE ELEVATION

SCALE: 1"=10'



DIRECTIONAL ARROWS

NTS



6 IN. CURB AND GUTTER

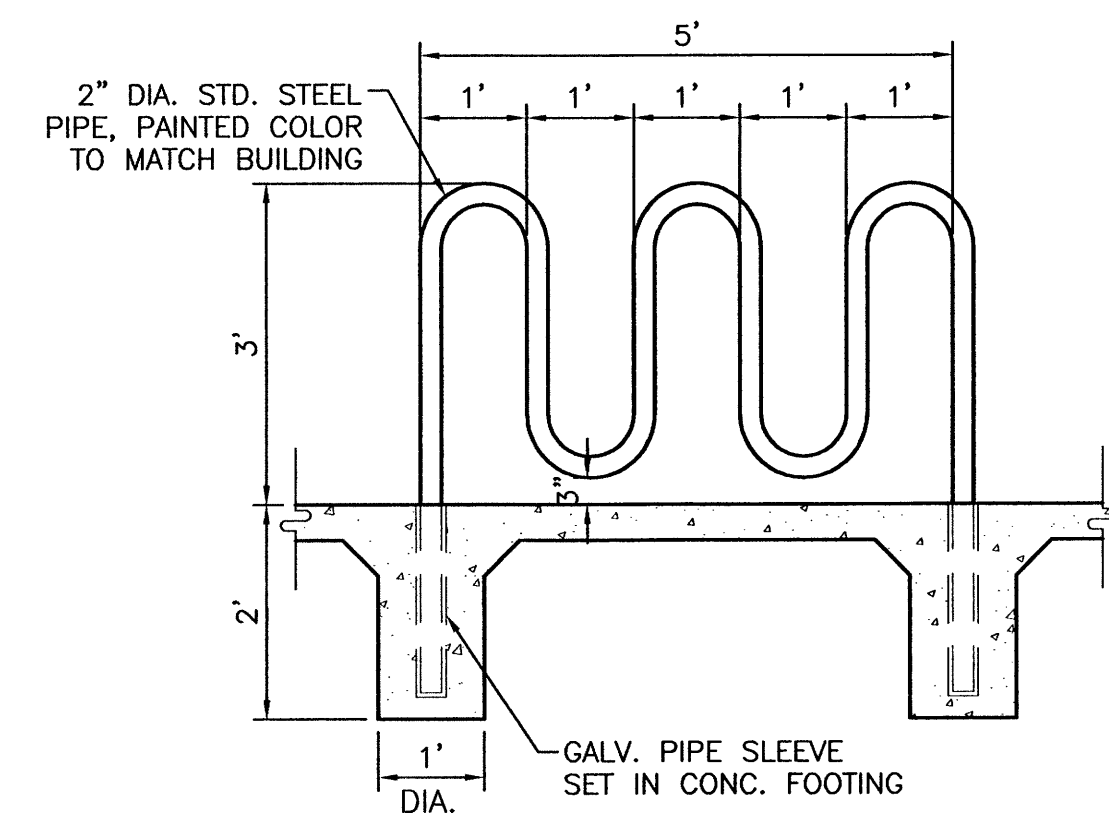
SCALE: 1"=1'

CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

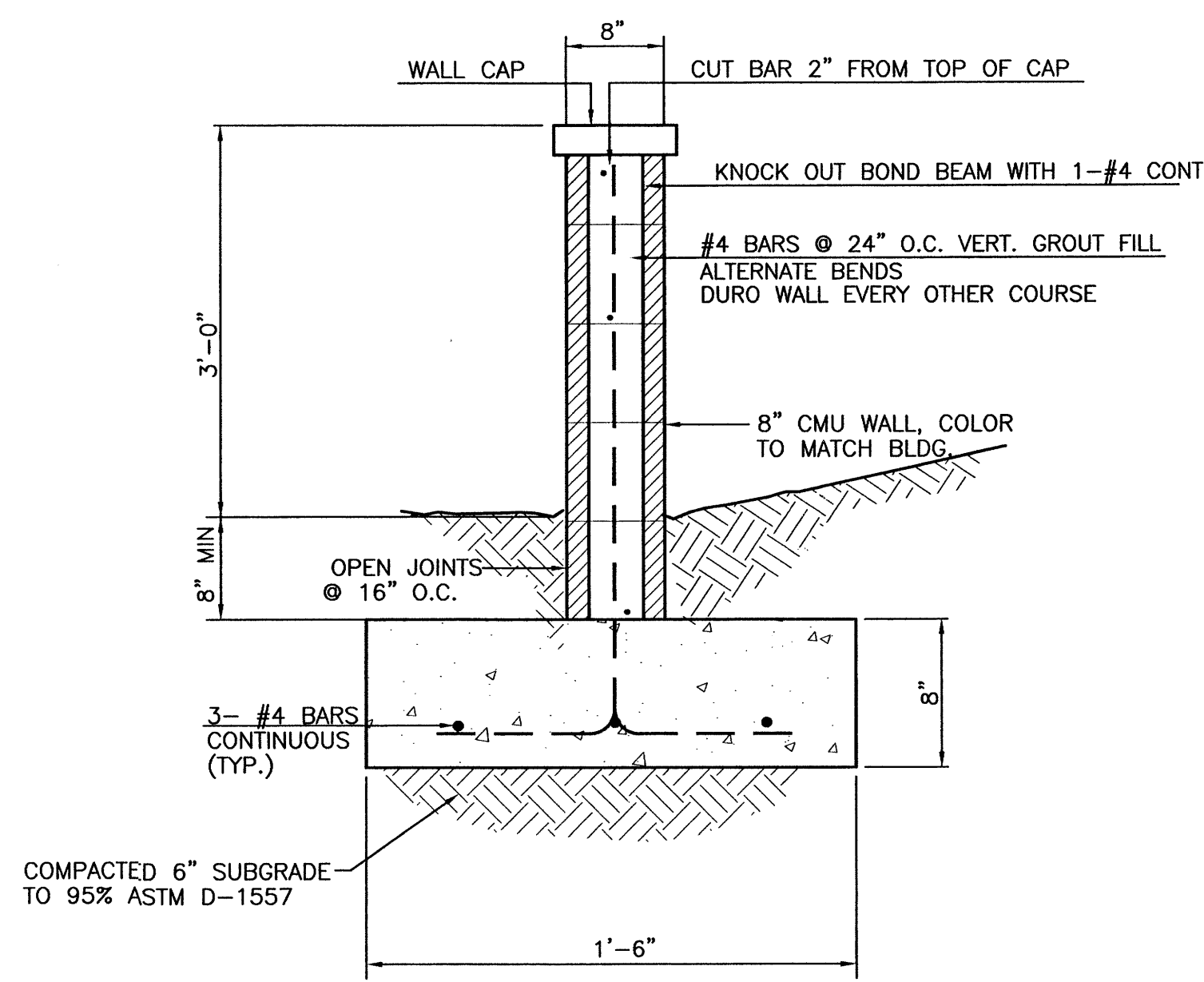
6" HEADER CURB DETAIL

1"=1'



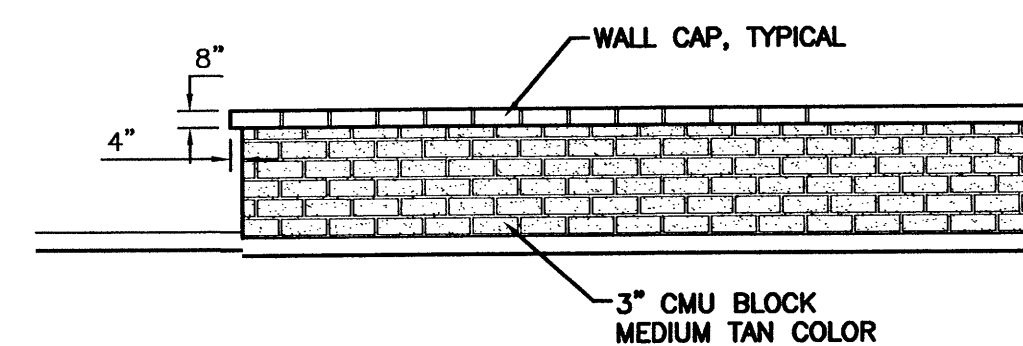
BIKE RACK DETAIL

SCALE: 1/2"=1'



3' SCREEN WALL SECTION

NTS

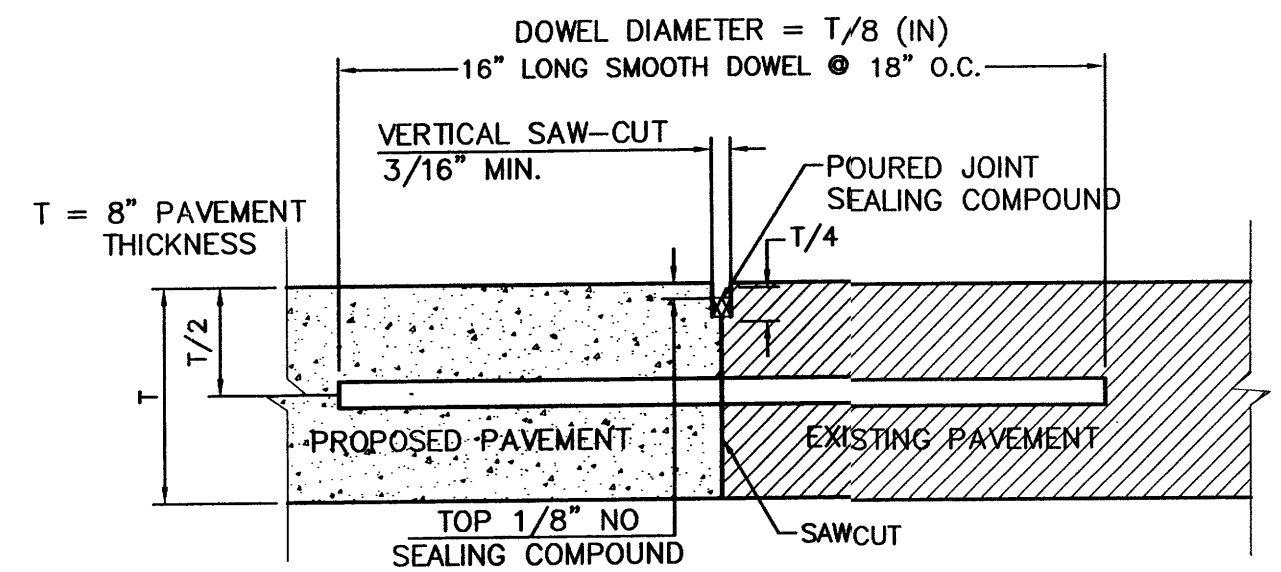


SCREEN WALL DETAIL (TYP.)

NTS

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



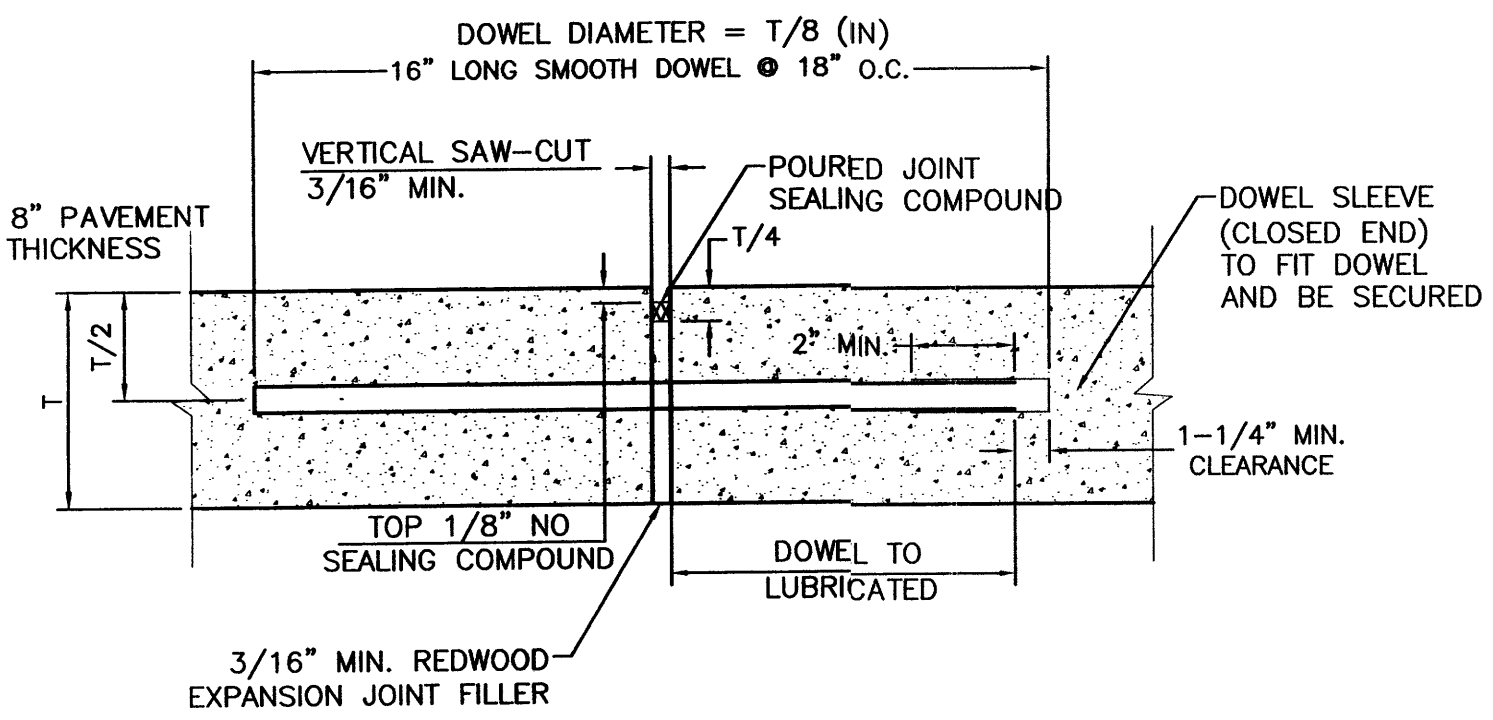
BUTT JOINT

CONCRETE JOINT DETAILS

NTS

NOTE:

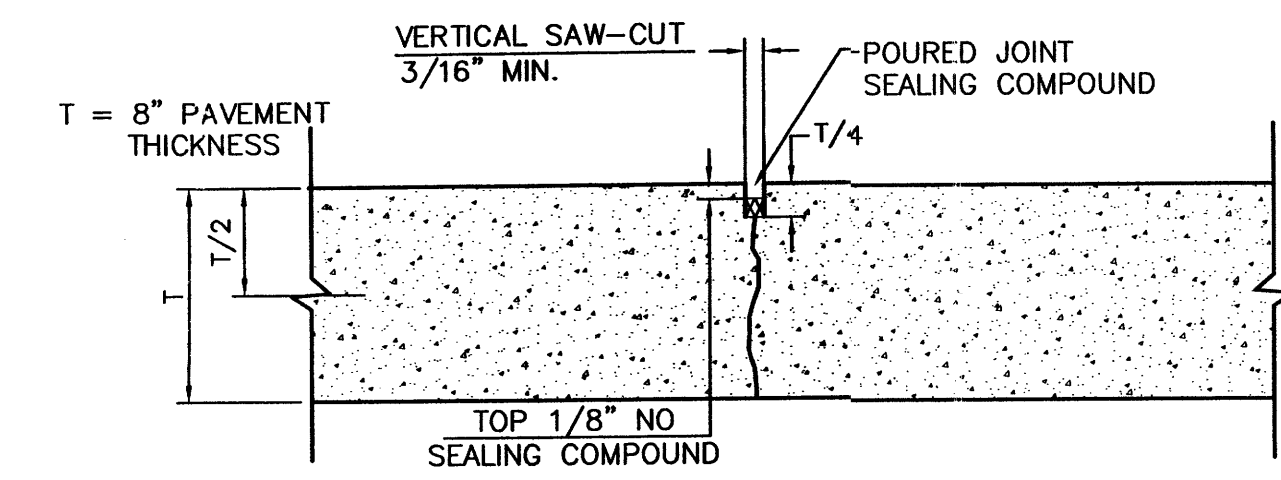
1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
2. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.



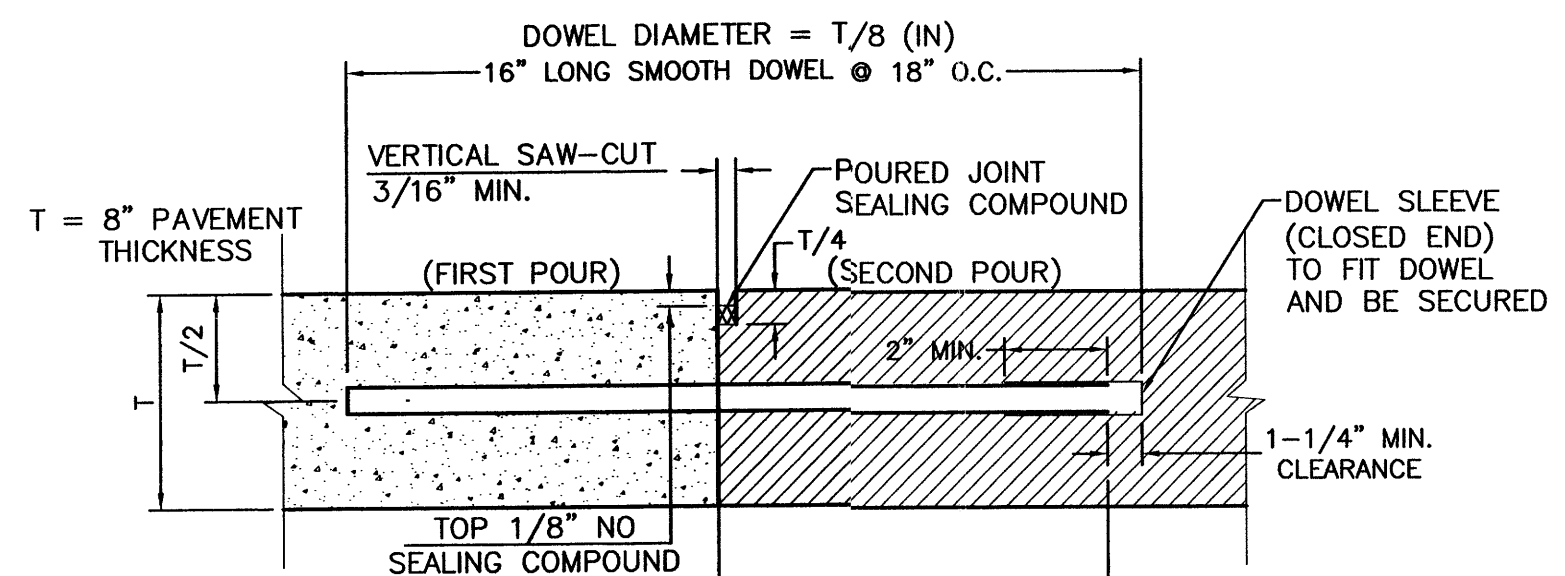
TRANSVERSE EXPANSION JOINT

NOTE:

1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.



CONTRACTION JOINT

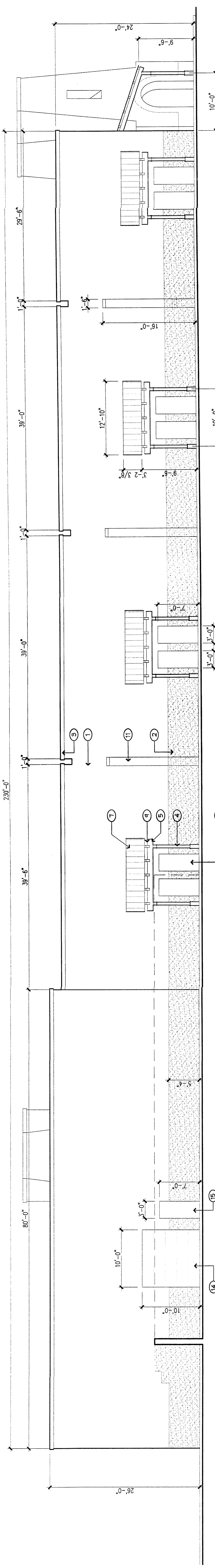


CONSTRUCTION JOINT

NOTE:

1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

	QUAIL RIDGE SHOPPING CENTER	DRAWN BY BDG
	DETAILS	DATE 09/30/03
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		2296-DETAILS.DWG
SHEET # C7		JOB # 220096



WEST ELEVATION - BLDGS. 1 & 3
1/8" = 1'-0"

General Notes

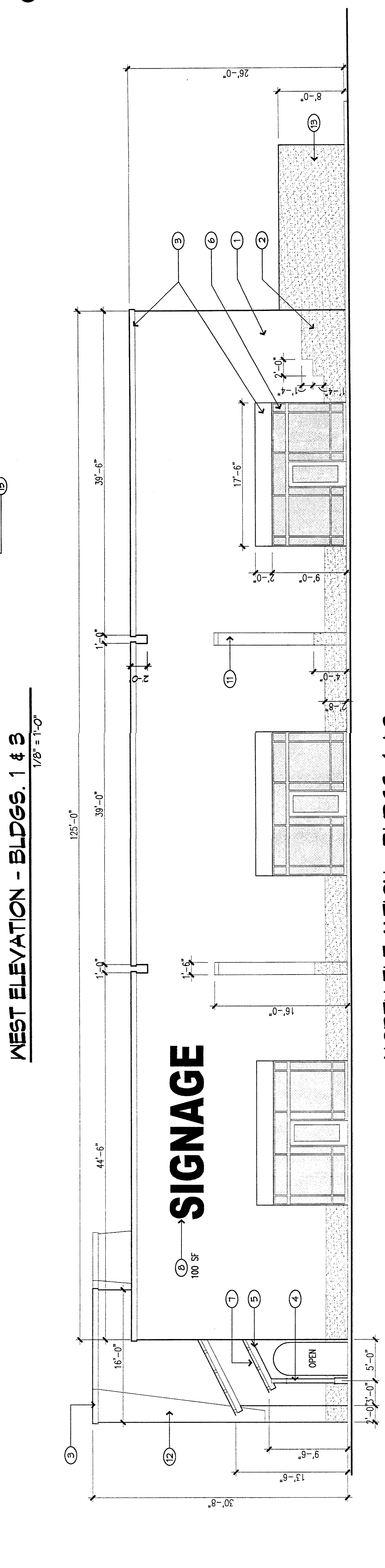
1. ALL BUILDING SIGNAGE SHALL COMPLY WITH C-2 SIGN REGULATIONS, 5' HIGH MAX
 - 10% OF WALL AREA ON SIDES FACING COURTS
 - 10% OF WALL AREA ON SIDES FACING OURAY
 - 10% OF WALL AREA ON SIDES FACING 57TH
2. PARAPETS SHALL BE AT LEAST AS HIGH AS THE TOP OF THE TALLEST ROOFTOP MECHANICAL EQUIPMENT OR STUCCOED ROOF MOUNTED SCREENS SHALL BE PROVIDED AT LEAST AS HIGH AS THE TOP OF THE EQUIPMENT THEY SCREEN
3. DOOR AND WINDOW OPENINGS SHALL BE RECESSED AT LEAST 4" FROM THE FACE OF THE ADJACENT WALL SURFACE.
4. 3" HIGH SCREEN WALLS AT PARKING AREA PERIMETER (SHOWN ON SITE PLAN) SHALL BE STUCCOED COLOR 2

Keyed Notes

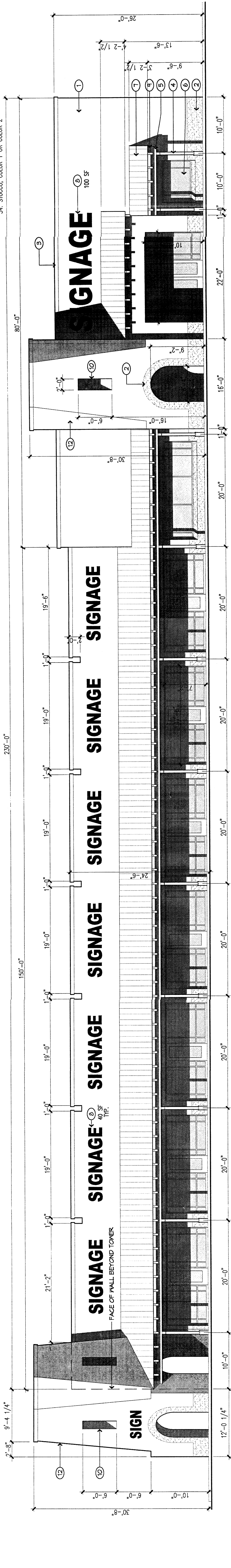
1. STUCCO WALL SURFACE, COLOR 1
2. STUCCO WANSKOT AND TRIM, COLOR 2
3. STUCCO PARAPET CAPS AND LINTELS, COLOR 3
4. STEEL TUBE COLUMNS WITH BAR AND PLATE DETAILS, PAINTED WHITE
5. OPEN FRAME STEEL TUBE PORTAL STRUCTURE, PAINTED WHITE
6. ALUMINUM STOREFRONT, WHITE FINISH, WITH CLEAR GLASS
7. METAL ROOFING, GALVALUM FINISH
8. SURFACE MOUNTED, INTERNALLY LIT SIGNAGE: INDIVIDUAL METAL CHANNEL. LETTERS ARE NOT ALLOWED EXCEPT FOR LOGOS.
9. SHIELDED INDIRECT FLUORESCENT LIGHTING ON TOP OF PORTAL BEAMS.
10. 4" DEEP PLASTER WITH FINISHES TO MATCH ADJACENT WALL SURFACE
11. TAPERING CHAMFERED CORNERS ON TOWER ELEMENTS.
12. STUCCOED SCREEN WALL, COLOR 2
13. OVERHEAD DOOR, PAINTED WHITE
14. HOLLOW METAL DOOR AND FRAME, PAINTED WHITE
15. EXPOSED TIMBER FRAME.
16. CLAY TILE ROOFING
17. WINDOW FRAME, PAINTED.
18. WOOD SHUTTERS, PAINTED.
19. CANVAS AWNING
20. METAL GUTTER AND DOWNSPOUT
21. METAL PARAPET CAP
22. NEON SIGNAGE
23. NOT USED
24. TILE SIGNAGE WITH NEON LETTERING
25. NOT USED
26. SIGNAGE, PAINTED.
27. NOT USED
28. COMPOSITION SHINGLE ROOFING.
29. WOOD GATE
30. PRECAST STONE COLUMNS WITH WOOD FENCE.
31. NOT USED
32. NOT USED
33. STUCCO, COLOR 1 OR COLOR 2

Exterior Finishes

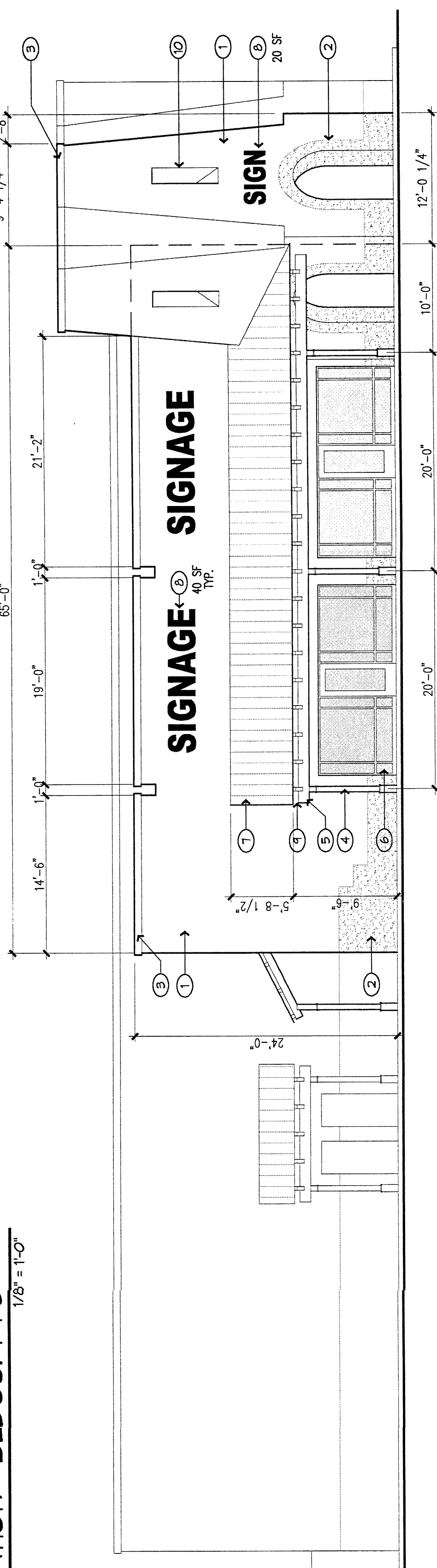
1. Stucco 1: Field Color: STO "Pueblo"
2. Stucco 2: Accent Color: STO "Adobe Brown"
3. Stucco 3: Parapets and Lintels: STO "Marble White"
4. Columns and Portal Structure: Steel painted Benjamin Moore "White"
5. Painted Trim (copper nails, etc): Benjamin Moore "White"
6. Ornamental Metal Fencing/Site Furniture: Benjamin Moore "White"
7. Metal Roofing: Bertridge "Panel", Galvalum "Finish"
8. Special Painting: Concrete painting acc'd at 24" oc with integral color. Color: Ibis, Lapis Red



NORTH ELEVATION - BLDGS. 1 & 3
1/8" = 1'-0"



EAST ELEVATION - BLDGS. 1 & 3
1/8" = 1'-0"

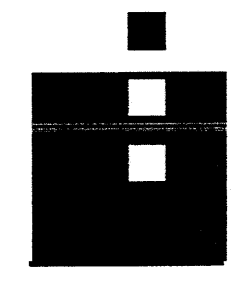


SOUTH ELEVATION - BLDGS. 1 & 3
1/8" = 1'-0"



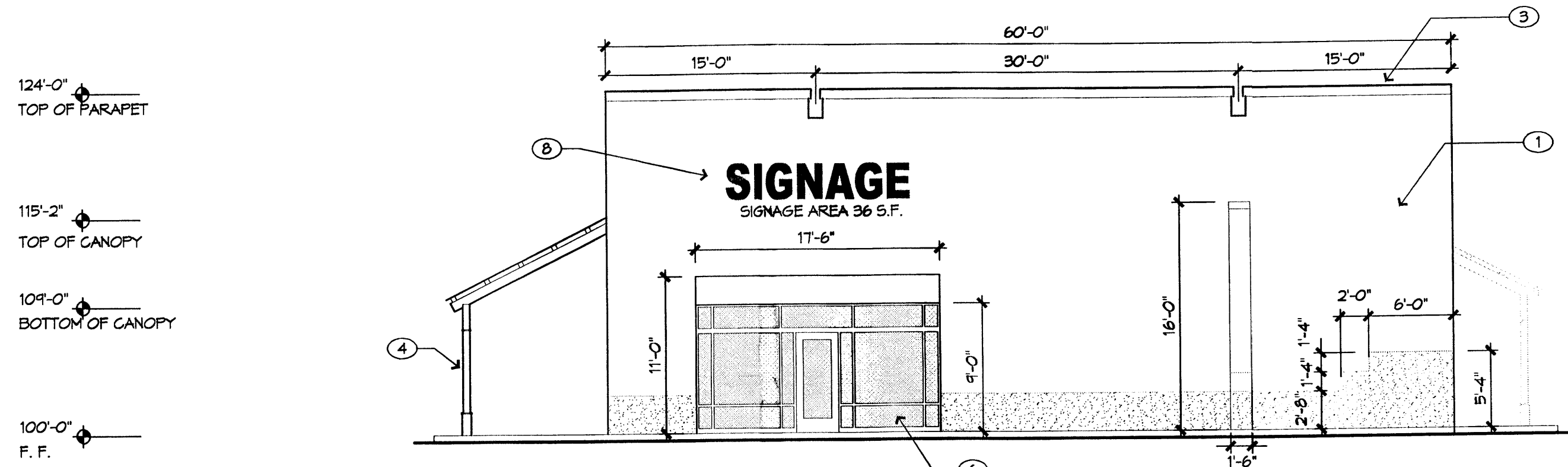
Quail Plaza

Site Development Plan
for Building Permit
DRB Package

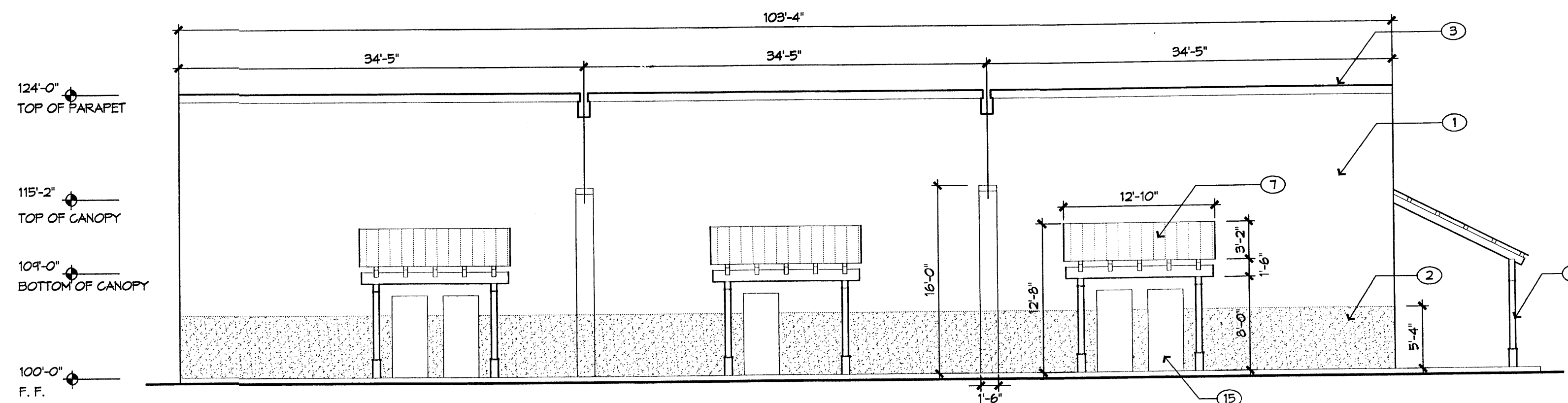


Dekker/Perich/Sabatini
architecture - interiors - planning - engineering
6801 Jefferson NE, Suite 100
Albuquerque, NM 87109
505.761.9700
fax 761.4222

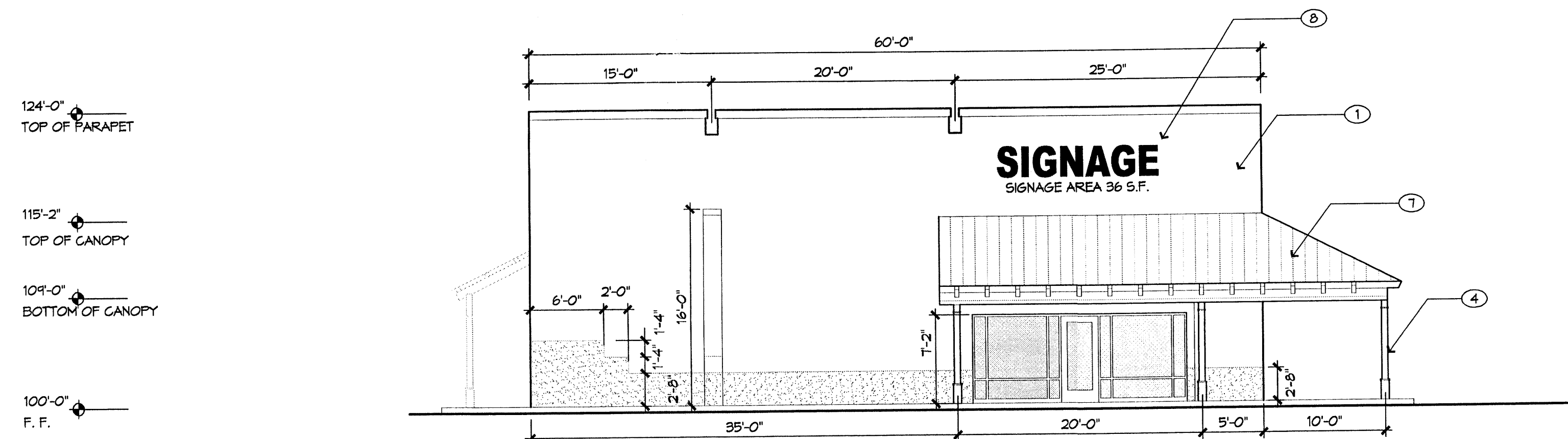
030009 August 26, 2003



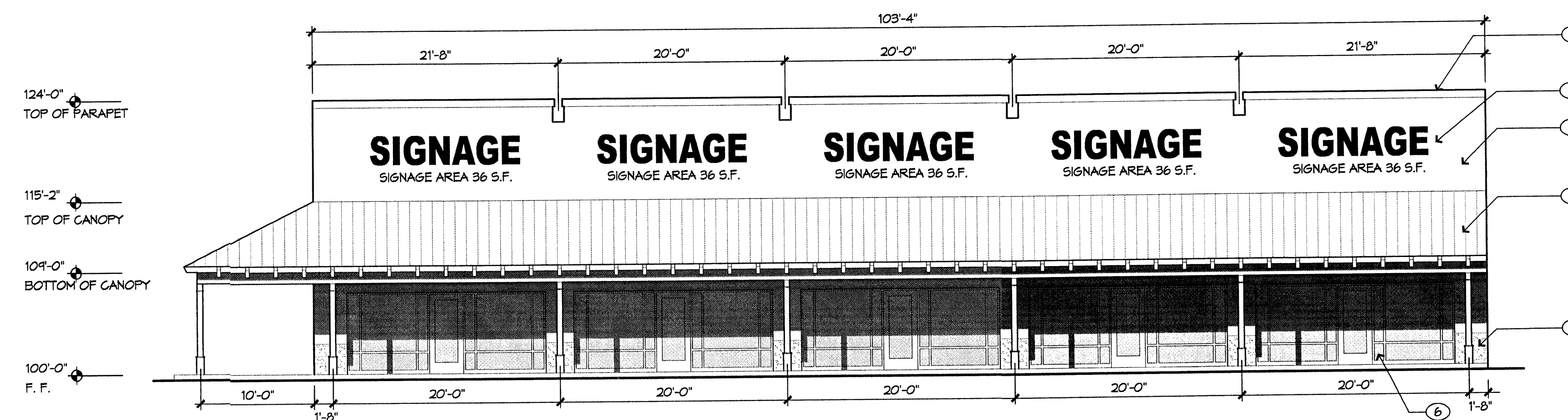
RIGHT ELEVATION- BUILDING 5
1/8" = 1'-0"



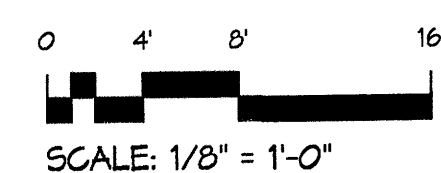
REAR ELEVATION- BUILDING 5
1/8" = 1'-0"



LEFT ELEVATION- BUILDING 5
1/8" = 1'-0"



FRONT ELEVATION- BUILDING 5
1/8" = 1'-0"



**** BUILDING 2 EXCLUDED ****
NOT USED

General Notes

1. ALL BUILDING SIGNAGE SHALL COMPLY WITH C-2 SIGN REGULATIONS, 5' HIGH MAX
 - 10% OF WALL AREA ON SIDES FACING COORS
 - 10% OF WALL AREA ON SIDES FACING QUAIL
 - 10% OF WALL AREA ON SIDES FACING OURAY
 - 10% OF WALL AREA ON SIDES FACING 57TH
2. PARAPETS SHALL BE AT LEAST AS HIGH AS THE TOP OF THE TALLEST ROOFTOP MECHANICAL EQUIPMENT, OR STUCCOED ROOF MOUNTED SCREENS SHALL BE PROVIDED AT LEAST AS HIGH AS THE TOP OF THE EQUIPMENT THEY SCREEN
3. DOOR AND WINDOW OPENINGS SHALL BE RECESSED AT LEAST 4" FROM THE FACE OF THE ADJACENT WALL SURFACE.
4. 3' HIGH SCREEN WALLS AT PARKING AREA PERIMETER (SHOWN ON SITE PLAN) SHALL BE STUCCOED COLOR 2

Keyed Notes

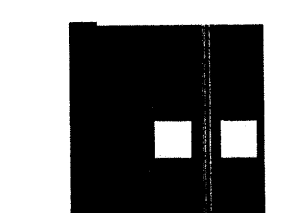
1. STUCCO WALL SURFACE, COLOR 1
2. STUCCO WAINSCOT AND TRIM, COLOR 2
3. STUCCO PARAPET CAPS AND LINTELS, COLOR 3
4. STEEL TUBE COLUMNS WITH BAR AND PLATE DETAILS, PAINTED WHITE
5. OPEN FRAME STEEL TUBE PORTAL STRUCTURE, PAINTED WHITE
6. ALUMINUM STOREFRONT, WHITE FINISH, WITH CLEAR GLASS
7. METAL ROOFING, GALVALUM FINISH
8. SURFACE MOUNTED, INTERNALLY LIT SIGNAGE: INDIVIDUAL METAL CHANNEL LETTERS WITH ACRYLIC FACES. EXPOSED RACEWAYS ARE NOT ALLOWED. BOX SIGNS ARE NOT ALLOWED EXCEPT FOR LOGOS.
9. SHIELDED INDIRECT FLOURESCENT LIGHTING ON TOP OF PORTAL BEAMS.
10. 12" DEEP RECESSED DECORATIVE OPENING
11. 4" DEEP PLASTER WITH FINISHES TO MATCH ADJACENT WALL SURFACE
12. TAPERING CHAMFERED CORNERS ON TOWER ELEMENTS.
13. STUCCOED SCREEN WALL, COLOR 2
14. OVERHEAD DOOR, PAINTED WHITE
15. HOLLOW METAL DOOR AND FRAME, PAINTED WHITE
16. EXPOSED TIMBER FRAME.
17. CLAY TILE ROOFING
18. CULTURED STONE
19. WINDOW FRAME, PAINTED.
20. WOOD SHUTTERS, PAINTED.
21. CANVAS AWNING
22. METAL GUTTER AND DOWNSPOUT
23. METAL PARAPET CAP
24. NEON SIGNAGE
25. LIGHT FIXTURE
26. NOT USED
27. TILE SIGNAGE WITH NEON LETTERING
28. SIGNAGE, PAINTED.
29. NOT USED
30. COMPOSITION SHINGLE ROOFING.
31. WOOD GATE
32. CULTURED STONE COLUMNS WITH WOOD FENCE.
33. NOT USED
34. STUCCO, COLOR 1 OR COLOR 2

Exterior Finishes

1. Stucco 1: Field Color: STO "Pueblo"
2. Stucco 2: Accent Color: STO "Adobe Brown"
3. Stucco 3: Parapets and Lintels: STO "Marble White"
4. Columns and Portal Structure: Steel painted Benjamin Moore "White"
5. Painted Trim (rafter tails, etc): Benjamin Moore "White"
6. Ornamental Metal Fencing/Site Furniture: Benjamin Moore "White"
7. Metal Roofing: Berridge "R" Panel, "Galvalum" finish
8. Special Paving: Concrete paving scored at 24" oc with integral color. Color: Davis, Baja Red

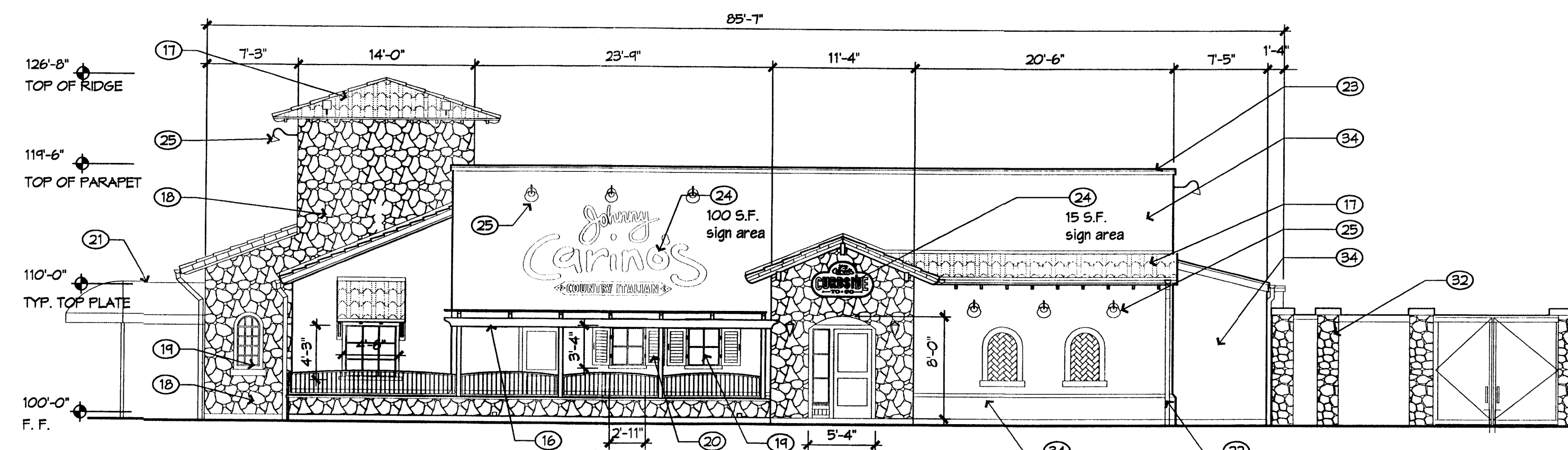
Quail Plaza

Site Development Plan
for Building Permit
DRB Package

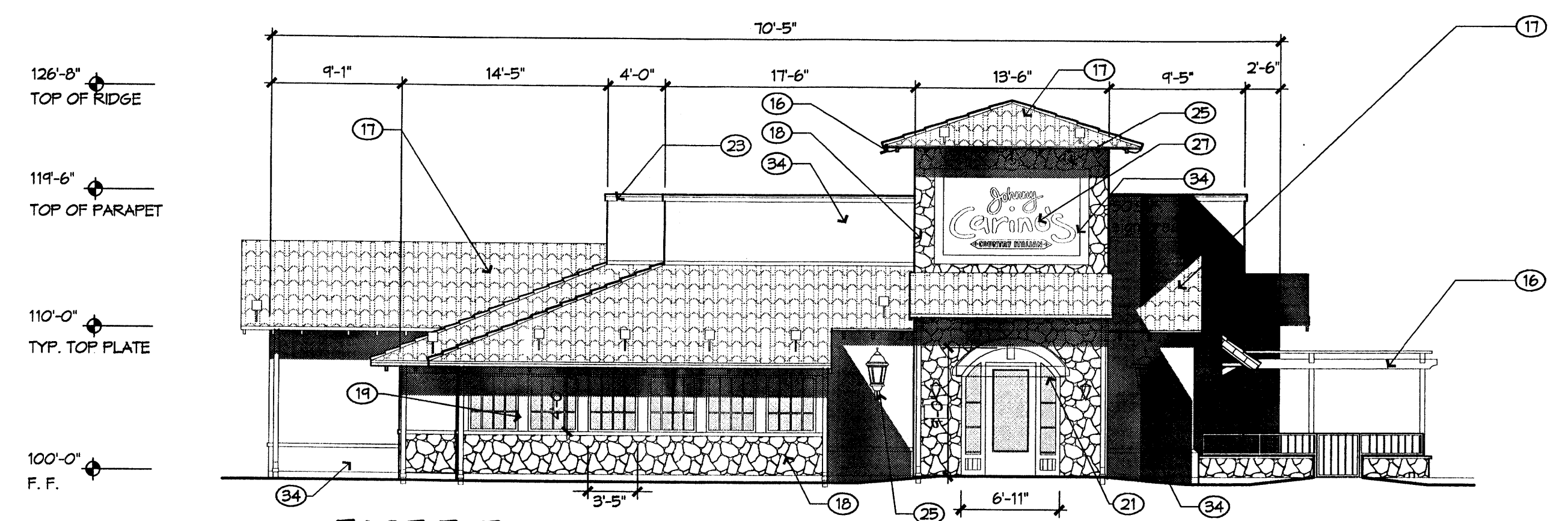


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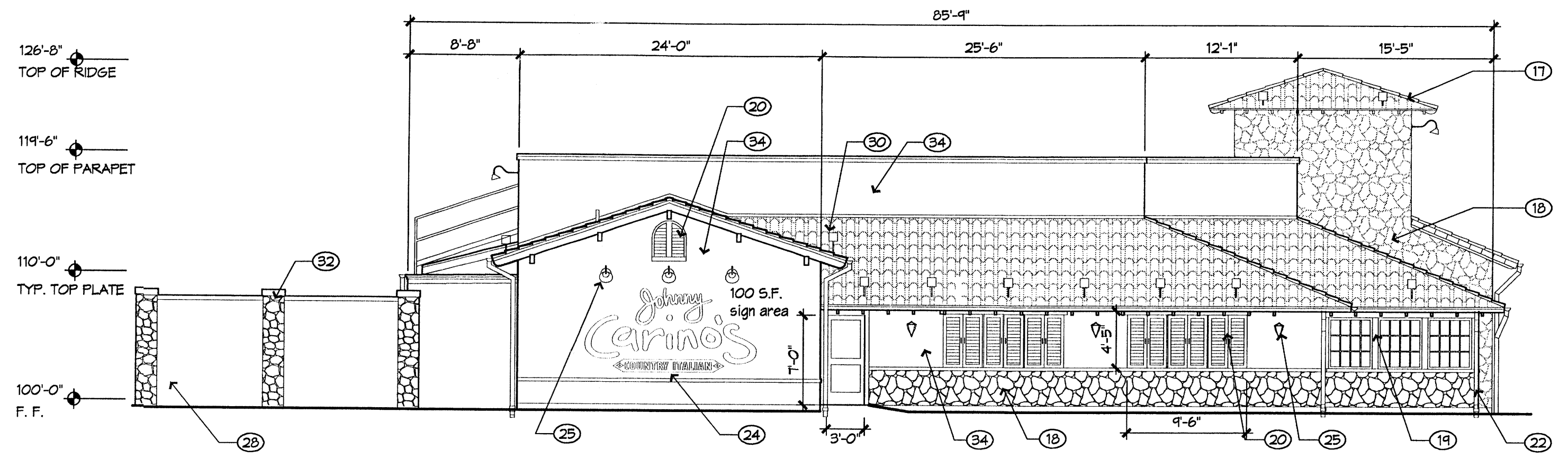
6801 Jefferson NE, Suite 100 Albuquerque, NM 87109
505 761-9700 fax 761-4222
03009 August 26, 2003



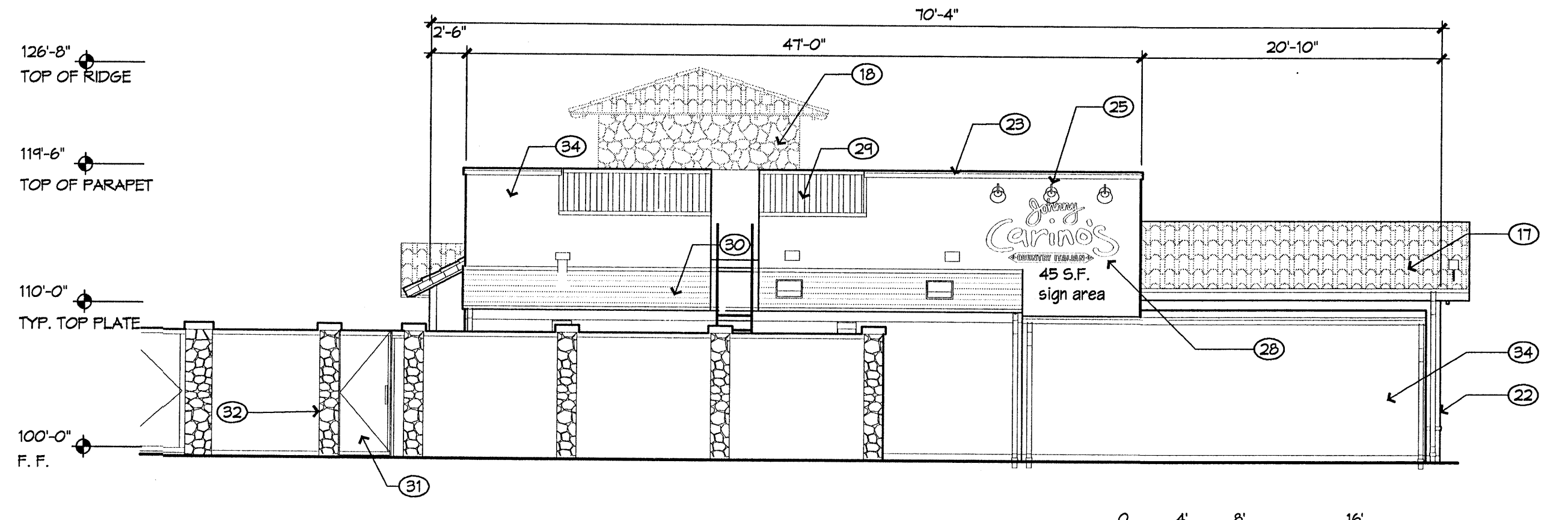
NORTH ELEVATION- BUILDING 4
1/8" = 1'-0"



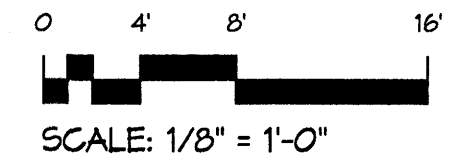
EAST ELEVATION- BUILDING 4
1/8" = 1'-0"



SOUTH ELEVATION- BUILDING 4
1/8" = 1'-0"



WEST ELEVATION- BUILDING 4
1/8" = 1'-0"



General Notes

1. ALL BUILDING SIGNAGE SHALL COMPLY WITH C-2 SIGN REGULATIONS, 5' HIGH MAX
 - 10% OF WALL AREA ON SIDES FACING COORS
 - 10% OF WALL AREA ON SIDES FACING QUAIL
 - 10% OF WALL AREA ON SIDES FACING OURAY
 - 10% OF WALL AREA ON SIDES FACING 57TH
2. PARAPETS SHALL BE AT LEAST AS HIGH AS THE TOP OF THE TALLEST ROOFTOP MECHANICAL EQUIPMENT, OR STUCCOED ROOF MOUNTED SCREENS SHALL BE PROVIDED AT LEAST AS HIGH AS THE TOP OF THE EQUIPMENT THEY SCREEN
3. DOOR AND WINDOW OPENINGS SHALL BE RECESSED AT LEAST 4" FROM THE FACE OF THE ADJACENT WALL SURFACE.
4. 3' HIGH SCREEN WALLS AT PARKING AREA PERIMETER (SHOWN ON SITE PLAN) SHALL BE STUCCOED COLOR 2

Keyed Notes

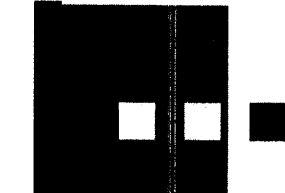
1. STUCCO WALL SURFACE, COLOR 1
2. STUCCO WAINSCOT AND TRIM, COLOR 2
3. STUCCO PARAPET CAPS AND LINTELS, COLOR 3
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20. WOOD SHUTTERS, PAINTED.
21. CANVAS AWNING
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25. LIGHT FIXTURE
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32. CULTURED STONE COLUMNS WITH WOOD FENCE.
33. NOT USED
34. STUCCO, COLOR 1 OR COLOR 2

Exterior Finishes

1. Stucco 1: Field Color: STO "Pueblo"
2. Stucco 2: Accent Color: STO "Adobe Brown"
3. Stucco 3: Parapets and Lintels: STO "Marble White"
4. Columns and Portal Structure: Steel painted Benjamin Moore "White"
5. Painted Trim (rafter tails, etc): Benjamin Moore "White"
6. Ornamental Metal Fencing/Site Furniture: Benjamin Moore "White"
7. Metal Roofing: Berridge "R" Panel, "Galvalum" finish
8. Special Paving: Concrete paving scored at 24" oc with integral color. Color: Davis, Baja Red

Quail Plaza

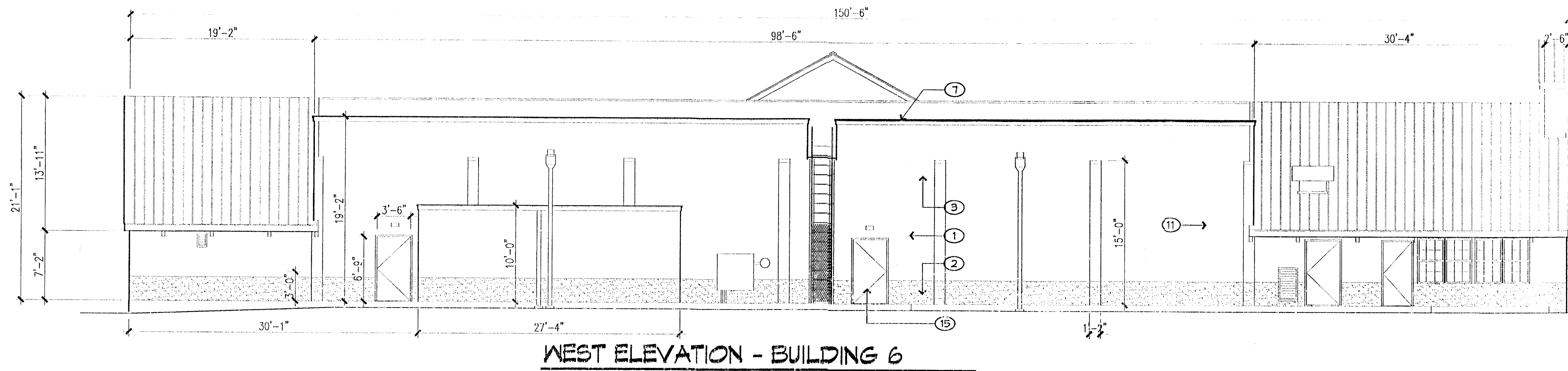
Site Development Plan
for Building Permit
DRB Package



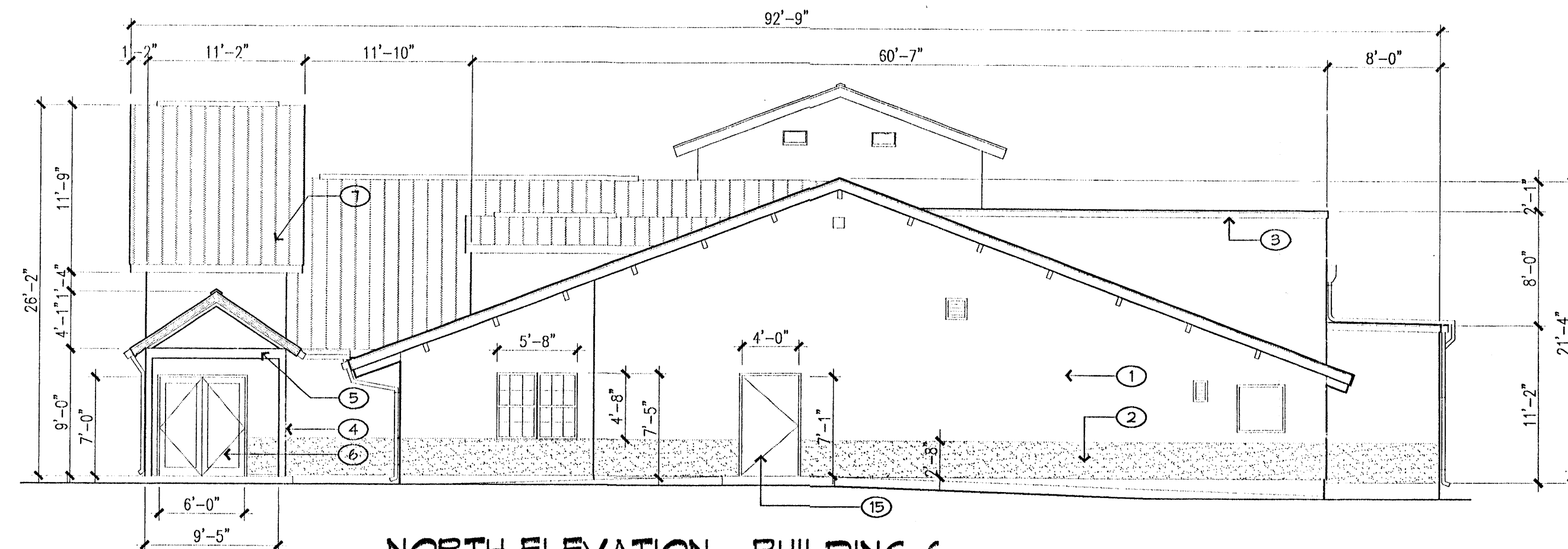
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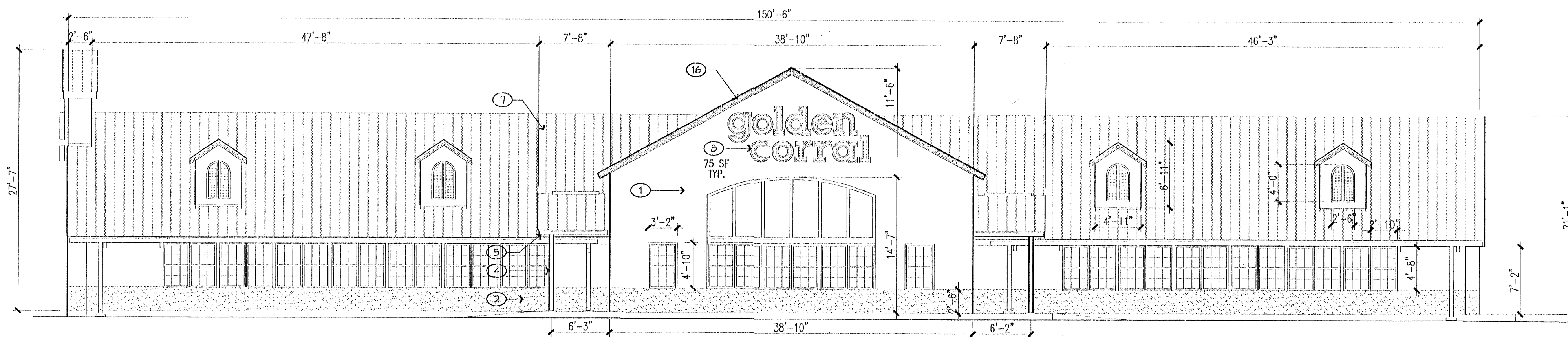
03009 August 26, 2003



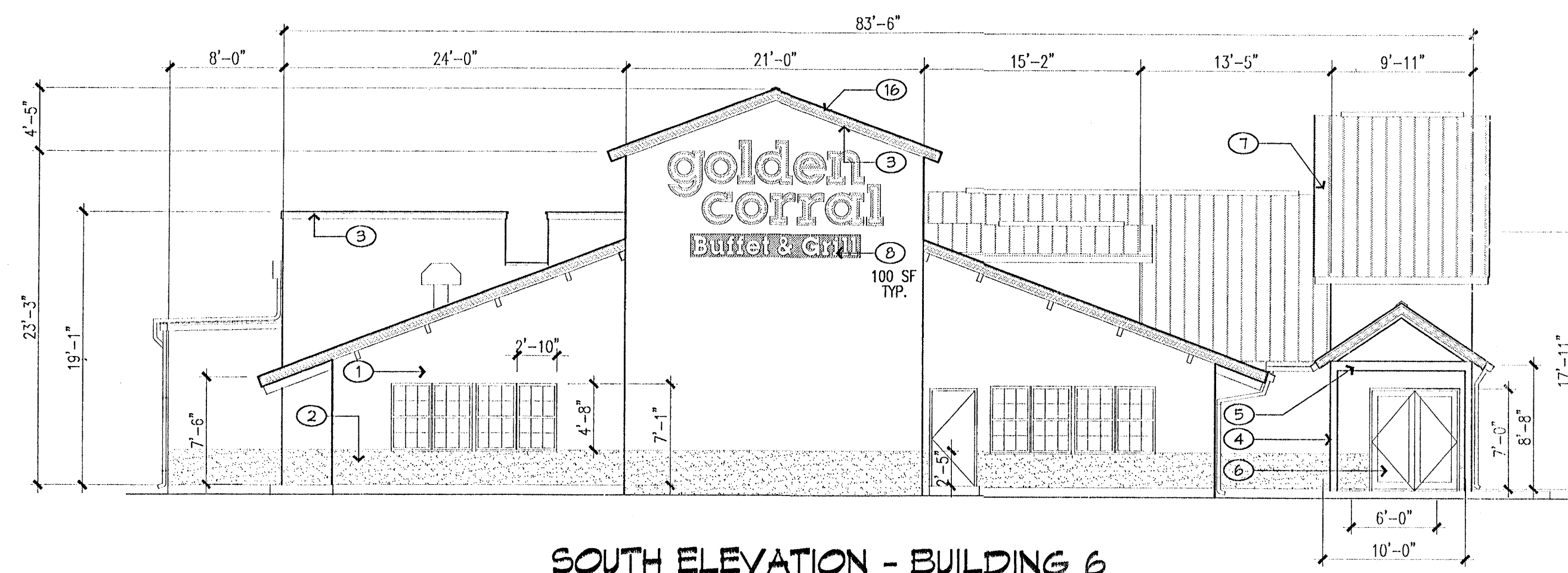
WEST ELEVATION - BUILDING 6
1/8" = 1'-0"



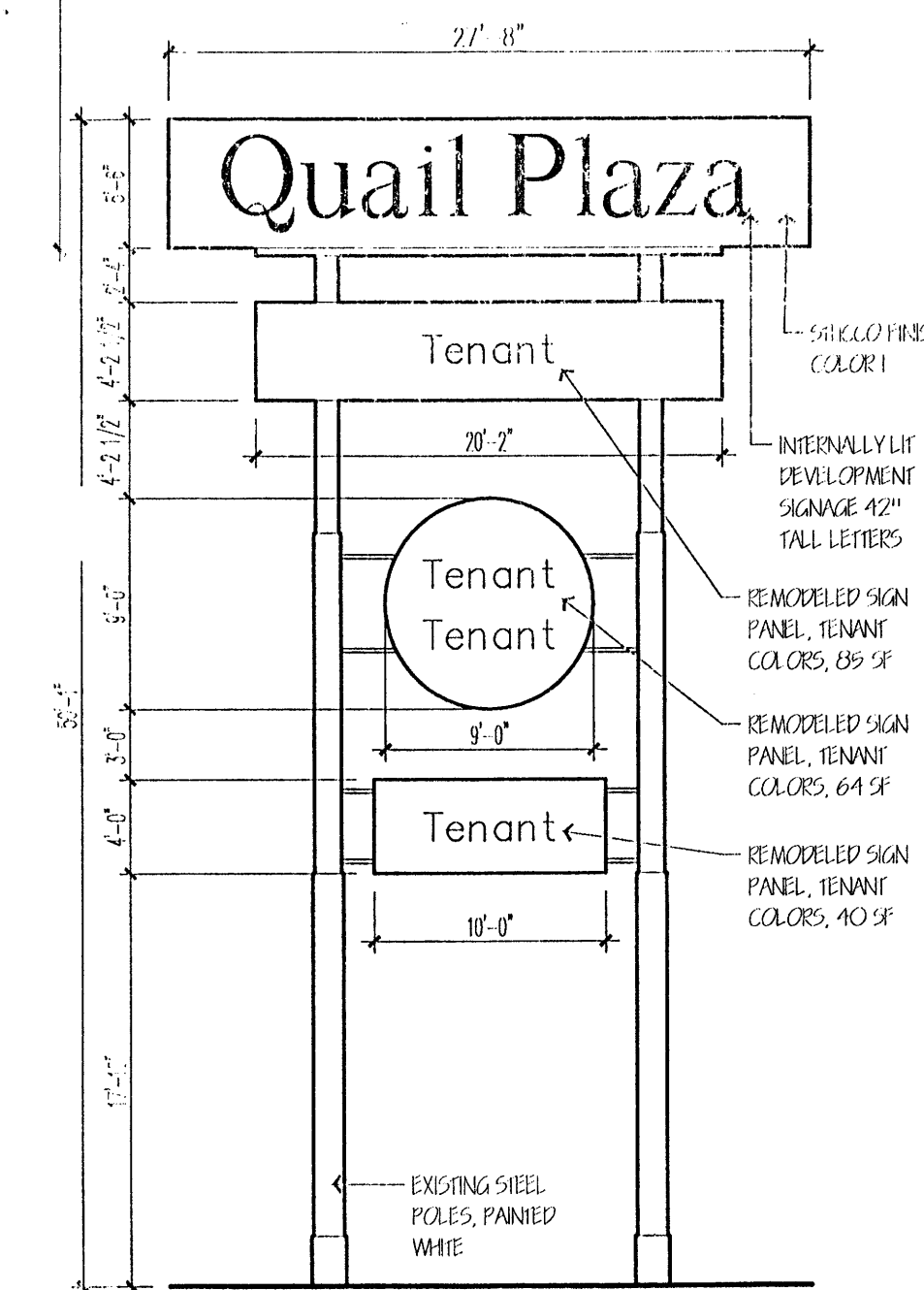
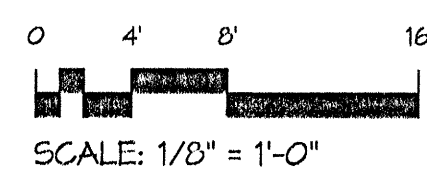
NORTH ELEVATION - BUILDING 6
1/8" = 1'-0"



EAST ELEVATION - BUILDING 6
1/8" = 1'-0"



SOUTH ELEVATION - BUILDING 6
1/8" = 1'-0"



REFURBISHED EXISTING SIGN
1/8" = 1'-0"

NOTE: EXISTING POLE SIGN AT THE INTERSECTION OF COORS AND OURAY TO BE REMODELED AS THE MAIN DEVELOPMENT SIGNAGE

General Notes

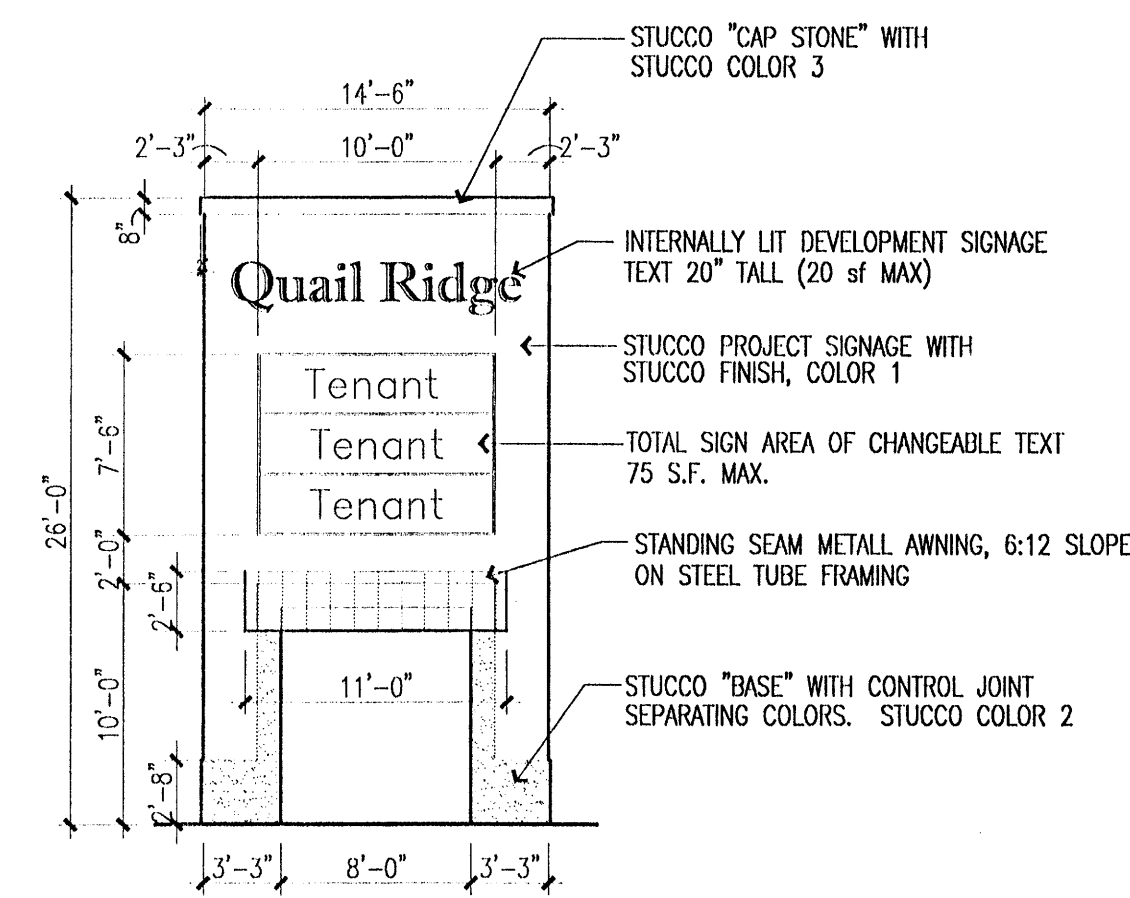
- ALL BUILDING SIGNAGE SHALL COMPLY WITH C-2 SIGN REGULATIONS, 5' HIGH MAX
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 - 10% OF WALL AREA ON SIDES FACING QUAIL
 - 10% OF WALL AREA ON SIDES FACING OURAY
 - 10% OF WALL AREA ON SIDES FACING 5TH
- PARAPETS SHALL BE AT LEAST AS HIGH AS THE TOP OF THE TALLEST ROOFTOP MECHANICAL EQUIPMENT, OR STUCCOED ROOF MOUNTED SCREENS SHALL BE PROVIDED AT LEAST AS HIGH AS THE TOP OF THE EQUIPMENT THEY SCREEN
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- 3' HIGH SCREEN WALLS AT PARKING AREA PERIMETER (SHOWN ON SITE PLAN) SHALL BE STUCCOED COLOR 2

Keyed Notes

- STUCCO WALL SURFACE, COLOR 1
- STUCCO WAINSCOT AND TRIM, COLOR 2
- STUCCO PARAPET CAPS AND LINTELS, COLOR 3
- STEEL TUBE COLUMNS WITH BAR AND PLATE DETAILS, PAINTED WHITE
- OPEN FRAME STEEL TUBE PORTAL STRUCTURE, PAINTED WHITE
- ALUMINUM STOREFRONT, WHITE FINISH, WITH CLEAR GLASS
- METAL ROOFING, GALVALUM FINISH
- SURFACE MOUNTED, INTERNALLY LIT SIGNAGE: INDIVIDUAL METAL CHANNEL LETTERS WITH ACRYLIC FACES. EXPOSED RACEWAYS ARE NOT ALLOWED. BOX SIGNS ARE NOT ALLOWED EXCEPT FOR LOGOS.
- SHIELDED INDIRECT FLOUORESCENT LIGHTING ON TOP OF PORTAL BEAMS.
- 12" DEEP RECESSED DECORATIVE OPENING
- 4" DEEP PLASTER WITH FINISHES TO MATCH ADJACENT WALL SURFACE
- TAPERING CHAMFERED CORNERS ON TOWER ELEMENTS.
- STUCCOED SCREEN WALL, COLOR 2
- OVERHEAD DOOR, PAINTED WHITE
- HOLLOW METAL DOOR AND FRAME, PAINTED WHITE
- EXPOSED TIMBER FRAME.
- CLAY TILE ROOFING
- CULTURED STONE
- WINDOW FRAME, PAINTED.
- WOOD SHUTTERS, PAINTED.
- CANVAS AWNING
- METAL GUTTER AND DOWNSPOUT
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- NEON SIGNAGE
- LIGHT FIXTURE
- NOT USED
- TILE SIGNAGE WITH NEON LETTERING
- SIGNAGE, PAINTED.
- NOT USED
- COMPOSITION SHINGLE ROOFING.
- WOOD GATE
- CULTURED STONE COLUMNS WITH WOOD FENCE.
- NOT USED
- STUCCO. COLOR 1 OR COLOR 2

Exterior Finishes

- Stucco 1: Field Color: STO "Pueblo"
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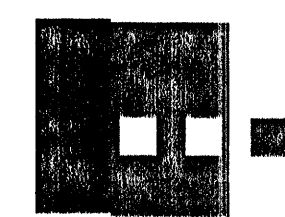


TYPICAL PROJECT SIGN
1/8" = 1'-0"

NOTE: MONUMENT SIGNS TO BE LOCATED IN DESIGNATED AREAS AS INDICATED ON THE SITE PLAN.

Quail Plaza

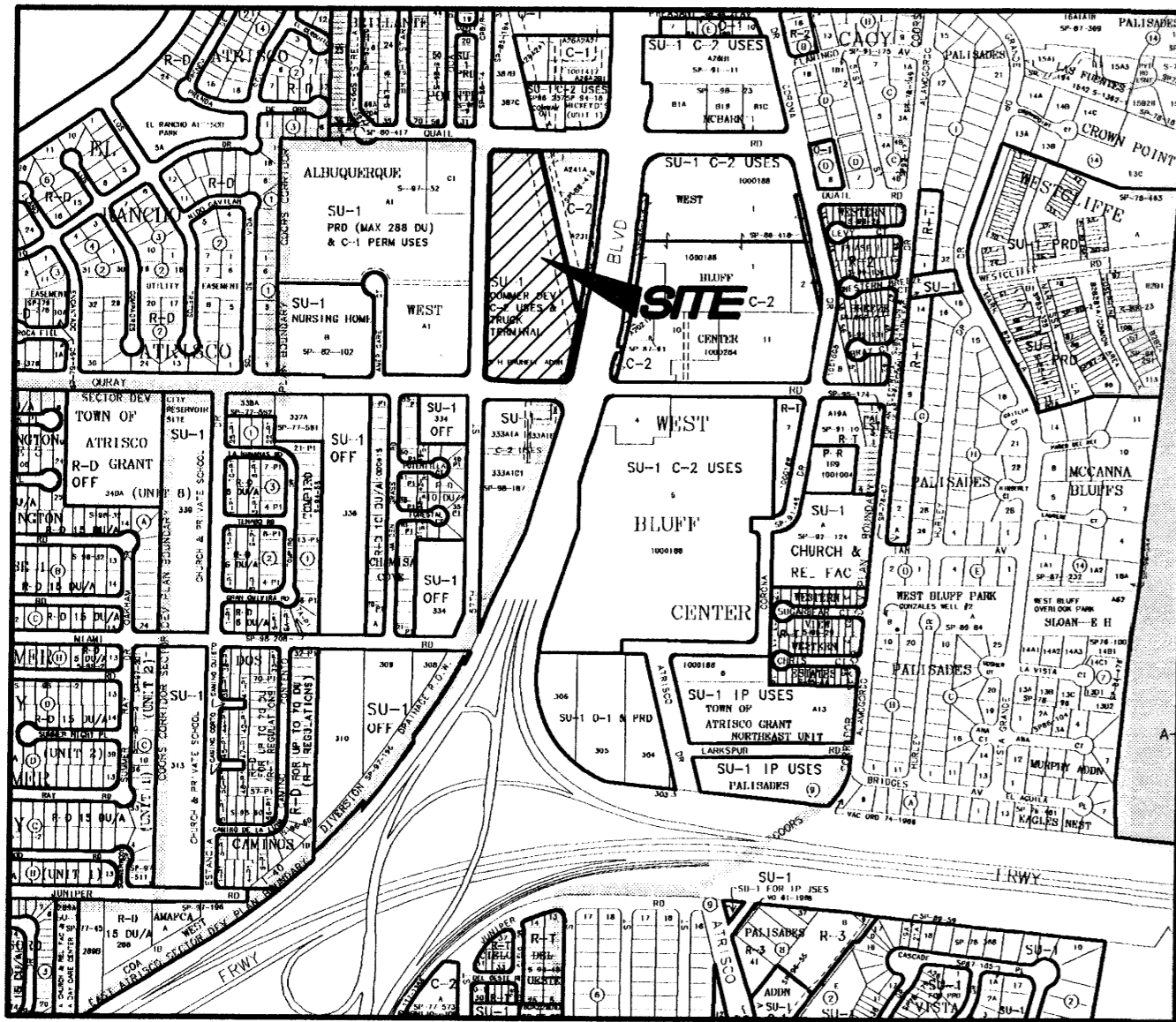
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Albuquerque, NM 87109
505 761-9700
fax 761-4222

03009 August 26, 2003



VICINITY MAP
NOT TO SCALE

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- C. QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- D. Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

NOTE

City of Albuquerque Water and Sanitary Sewer Service to the properties shown hereon must be verified and coordinated with the Public Works Department, City of Albuquerque.

DISCLOSURE STATEMENT

The purpose of this plat is to create 6 tracts. Grant private water line and private sanitary sewer easements.

TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the following property:

UPC# 101105920043520602

Bernalillo County Treasurer's Office _____ Date _____

GENERAL NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 1927) originated at the Albuquerque Control Survey Monument "12-H11".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. Field surveys were performed during the months of February and March 2003.
8. Documents used in the preparation of this survey are as follows:
 - A. Plat entitled "W.H. BRUNELL ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed January 25, 1972, in Volume C8, Folio 84, records of Bernalillo County, New Mexico.
 - B. Plat entitled "PLAT OF LOTS A1, 3E & 4, 387B & 387C, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1985", filed May 20, 1985, in Volume C27, Folio 56, records of Bernalillo County, New Mexico.
 - C. Plat entitled "PLAT OF TRACTS A-1 & C-1, ALBUQUERQUE WEST, ALBUQUERQUE, NEW MEXICO, MAY 1996", filed July 25, 1997, in Volume 97C, Folio 232, records of Bernalillo County, New Mexico.
 - D. Plat entitled "PLAT OF TRACTS A-23-1-A AND A-24-1-A, TOWN OF ATRISCO GRANT (NORTHEAST UNIT), ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1992", filed December 2, 1992, in Volume 92C, Folio 261, records of Bernalillo County, New Mexico.
 - E. Plat entitled "PLAT OF TRACTS 333-A-1-A, 333-A-1-B AND 333-A-1-C, TOWN OF ATRISCO GRANT, UNIT B, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MARCH 1994", filed October 10, 1995, in Volume 95C, Folio 363, records of Bernalillo County, New Mexico.
 - F. Plat entitled "PLAT OF TRACT A, LANDS OF CONWAY OIL, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER, 1996", filed November 7, 1996, in Volume 96C, Folio 458, records of Bernalillo County, New Mexico.
 - G. Plat entitled "LOTS 1 AND 2, MICKY D'S SUBDIVISION UNIT 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, OCTOBER, 1993", filed February 1, 1994, in Volume 94C, Folio 32, records of Bernalillo County, New Mexico.
 - H. Plat entitled "PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1943", filed December 5, 1944, in Volume D, Folio 117, records of Bernalillo County, New Mexico.
9. Final Judgement, Certification of Payment and Order of Disbursement filed June 15, 1988, in Book Misc. 632A, Pages 383 - 391, records of Bernalillo County, New Mexico.
10. Title Report prepared for this property by First American Title Insurance Company, Commitment for Title Insurance No. NM02-101321-AL01, dated December 3, 2002.
9. City of Albuquerque Zone Atlas Page: H-11-Z
10. U.C.L.S. Log Number 2003342337
11. Total number of existing tracts: 1
12. Total number of new tracts created: 6
13. Total mileage of full width streets created: 0 miles
14. Gross subdivision acreage: 7.5620 acres

TRACTS 1 THRU 6
QUAIL RIDGE
(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2003

PROJECT NUMBER: 1002459

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services	Date <u>10/29/03</u>
PNM Gas Services	Date _____
QWest Telecommunications	Date _____
Comcast	Date _____
New Mexico Utilities	Date _____
City Approvals:	
<u>[Signature]</u> City Surveyor	Date <u>9-26-03</u>
Real Property Division	Date _____
Environmental Health Department	Date _____
Traffic Engineering, Transportation Division	Date _____
Utilities Development	Date _____
Parks and Recreation Department	Date _____
AMAFCA	Date _____
City Engineer	Date _____
DRB Chairperson, Planning Department	Date _____

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMPS No. 9750
September 16, 2003

SURVOTEK, INC.

Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114

Phone: 505-897-3366
Fax: 505-897-3377

TRACTS 1 THRU 6
QUAIL RIDGE

(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)

WITHIN
 THE TOWN OF ATRISCO GRANT
 PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER, 2003

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Atrisco Grant in projected Section 11, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising the remaining portion of the W.H. Brunell Addition, as the same is shown and designated on the plat entitled "W.H. BRUNELL ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed January 25, 1972, in Volume C8, Folio 84, records of Bernalillo County, New Mexico, being more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

Beginning at the Northeast corner of the parcel herein described, said point being on the Southerly right of way line of Quail Road N.W. and also being the Northwest corner of Tract A-24-1-A, Town of Atrisco Grant, Northeast Unit, as the same is shown and designated on the plat entitled "PLAT OF TRACTS A-23-1-A AND A-24-1-A, TOWN OF ATRISCO GRANT (NORTHEAST UNIT), ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1992", filed December 2, 1992, in Volume 92C, Folio 261, records of Bernalillo County, New Mexico, from whence the Albuquerque Control Survey Monument "12-H11" bears S 87°01'04" E, 434.70 feet distant; Thence,

- S 13°38'47" E, 709.60 feet to a point, said point being the Southwest corner of Tract A-23-1-A, Town of Atrisco Grant, Northeast Unit, as the same is shown and designated on the plat entitled "PLAT OF TRACTS A-23-1-A AND A-24-1-A, TOWN OF ATRISCO GRANT (NORTHEAST UNIT), ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1992", filed December 2, 1992, in Volume 92C, Folio 261, records of Bernalillo County, New Mexico; Thence,
- S 89°45'47" E, 32.43 feet along the Southerly boundary line of said Tract A-23-1-A, Town of Atrisco Grant, Northeast Unit to a point on curve, said point being the Southeast corner of said Tract A-23-1-A, Town of Atrisco Grant, Northeast Unit, and also being a point on the Northwesterly right of way line of Coors Boulevard N.W.; Thence,
- Southwesterly, 275.89 feet along the arc of a curve to the right (said curve having a radius of 5646.45 feet, a central angle of 02°47'58" and a chord which bears S 12°08'14" W, 275.87 feet) to a point of compound curvature;
- Southwesterly, 47.59 feet along the arc of a curve to the right (said curve having a radius of 55.00 feet, a central angle of 49°34'26" and a chord which bears S 38°19'32" W, 46.12 feet) to a point of non-tangency, said point being on the Northerly right of way line of Ouray Road N.W.; Thence along said Northerly right of way line of Ouray Road N.W. for the following two courses,
- N 89°21'29" W, 180.73 feet to a point of curvature; Thence,
- Northwesterly, 139.56 feet along the arc of a curve to the right (said curve having a radius of 1346.80 feet, a central angle of 05°56'13" and a chord which bears N 86°43'49" W, 139.49 feet) to a point of compound curvature; Thence,
- Northwesterly, 36.91 feet along the arc of a curve to the right (said curve having a radius of 25.00 feet, a central angle of 84°34'56" and a chord which bears N 41°28'15" W, 33.64 feet) to a point of tangency, said point being on the Easterly right of way line of 57th Street N.W.; Thence,
- N 00°49'13" E, 939.37 feet to a point of curvature; Thence,
- Northeasterly, 39.37 feet along a curve to the right (said curve having a radius of 25.00 feet, a central angle of 90°14'25" and a chord which bears N 45°56'25" E, 35.43 feet) to a point of tangency, said point being on the Southerly right of way line of Quail Road N.W.; Thence,
- S 88°56'22" E, 190.15 feet to the point of beginning of the parcel herein described.

Said parcel contains 7.5620 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising TRACTS 1 THRU 6, QUAIL RIDGE (BEING A REPLAT OF THE W.H. BRUNELL ADDITION) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public utility easements to the use of the public forever, as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER: W.H. BRUNELL ADDITION
 SCM Property Company, LLC



Steve Maestas, Managing Member

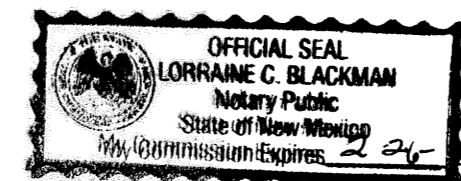
ACKNOWLEDGEMENT

STATE OF SS
 COUNTY OF

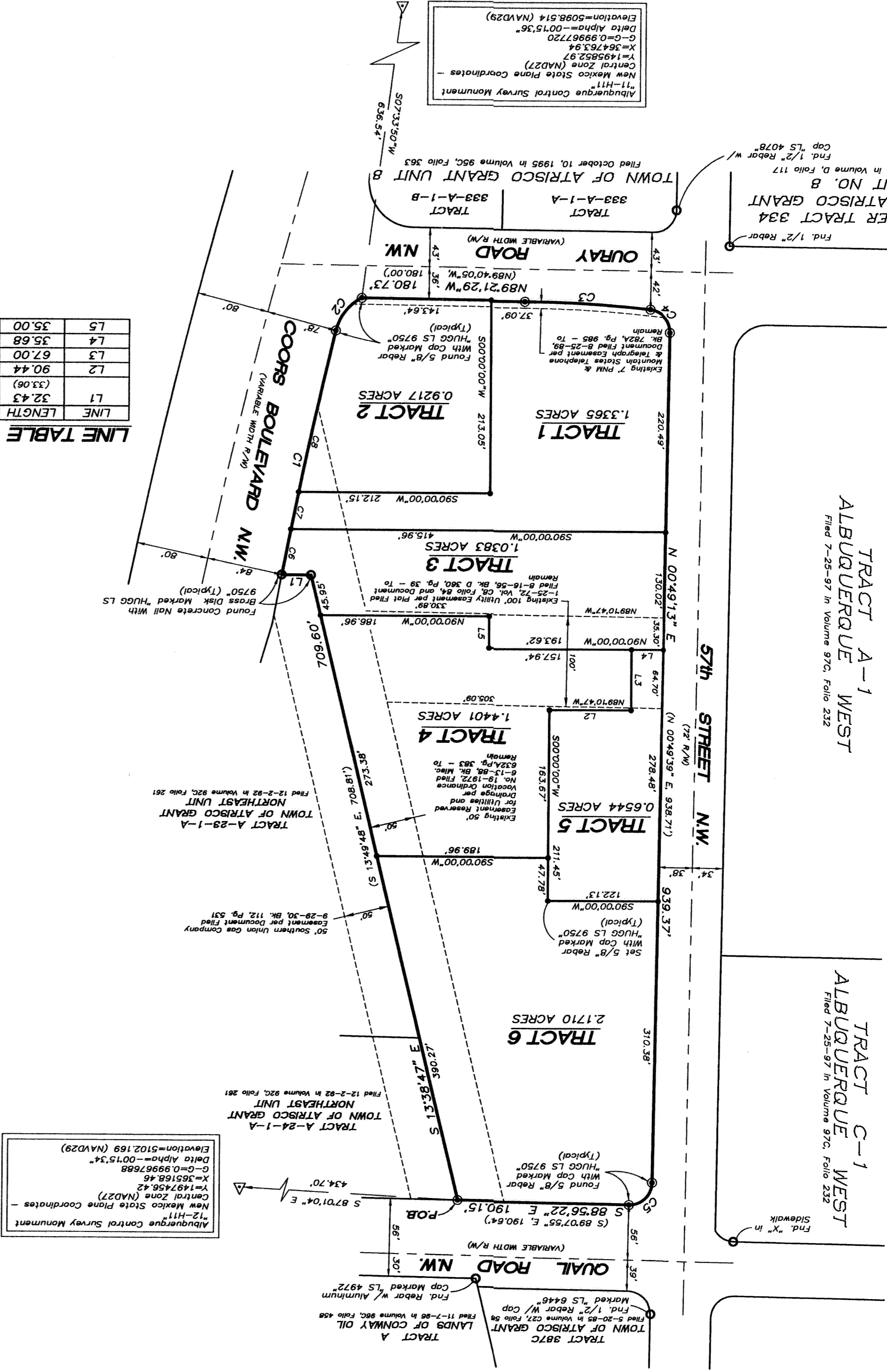
This instrument was acknowledged before me on this 17th day of September, 2003, by Steve Maestas and Lorraine C. Blackman

Lorraine C. Blackman
 Notary Public

My Commission expires: 2-26-2006



BOUNDARY INFORMATION AND EXISTING EASEMENTS



Albuquerque Control Survey Monument
 "12-111"
 New Mexico State Plane Coordinates -
 Central Zone (NAD27)
 Y=1497456.42
 X=365168.46
 G-O=0.99967688
 Data Alpha=-001534"
 Elevation=5102.169 (NAVD29)

Albuquerque Control Survey Monument
 "11-111"
 New Mexico State Plane Coordinates -
 Central Zone (NAD27)
 Y=1495525.97
 X=364763.94
 G-O=0.99967720
 Data Alpha=-001536"
 Elevation=5098.514 (NAVD29)

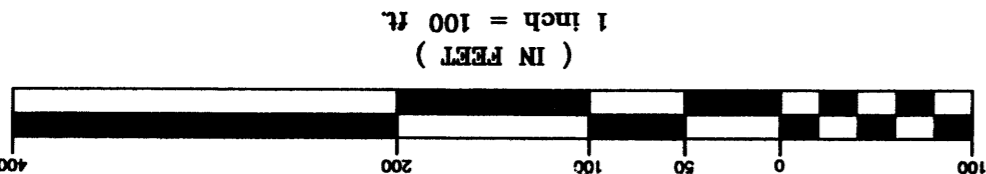
LINE TABLE

LINE	LENGTH	BEARING
L1	32.43	S89°45'47"E
L2	90.44	N90°00'00"E
L3	67.00	N00°00'00"E
L4	35.68	S90°00'00"E
L5	35.00	N00°00'00"W

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	5646.45'	275.89'	137.97'	275.87'	S12°08'14"W	2°47'58"
C2	55.00'	47.59'	25.40'	46.12'	S38°19'32"W	49°34'26"
C3	1346.80'	139.56'	69.84'	139.49'	N86°43'49"W	5°56'13"
C4	25.00'	36.91'	22.74'	33.64'	N41°28'15"W	84°34'56"
C5	25.00'	39.37'	25.11'	35.43'	N45°56'25"E	90°14'25"
C6	5646.45'	51.16'	25.58'	51.16'	N10°59'49"E	0°31'09"
C7	5646.45'	41.84'	20.92'	41.84'	N11°28'07"E	0°25'28"
C8	5646.45'	182.90'	91.46'	182.89'	N12°36'32"E	1°51'21"

- CORNER LEGEND**
- FOUND 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"
 - FOUND CONCRETE NAIL WITH BRASS DISK MARKED "HUGG LS 9750"
 - ⊙ SET 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"



SEE SHEET 4 OF 4 FOR NEW EASEMENT INFORMATION

SEPTEMBER, 2003

PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
 THE TOWN OF ATRISCO GRANT
 WITHIN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

QUAIL RIDGE TRACTS 1 THRU 6

(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)



SURV TEK, INC.

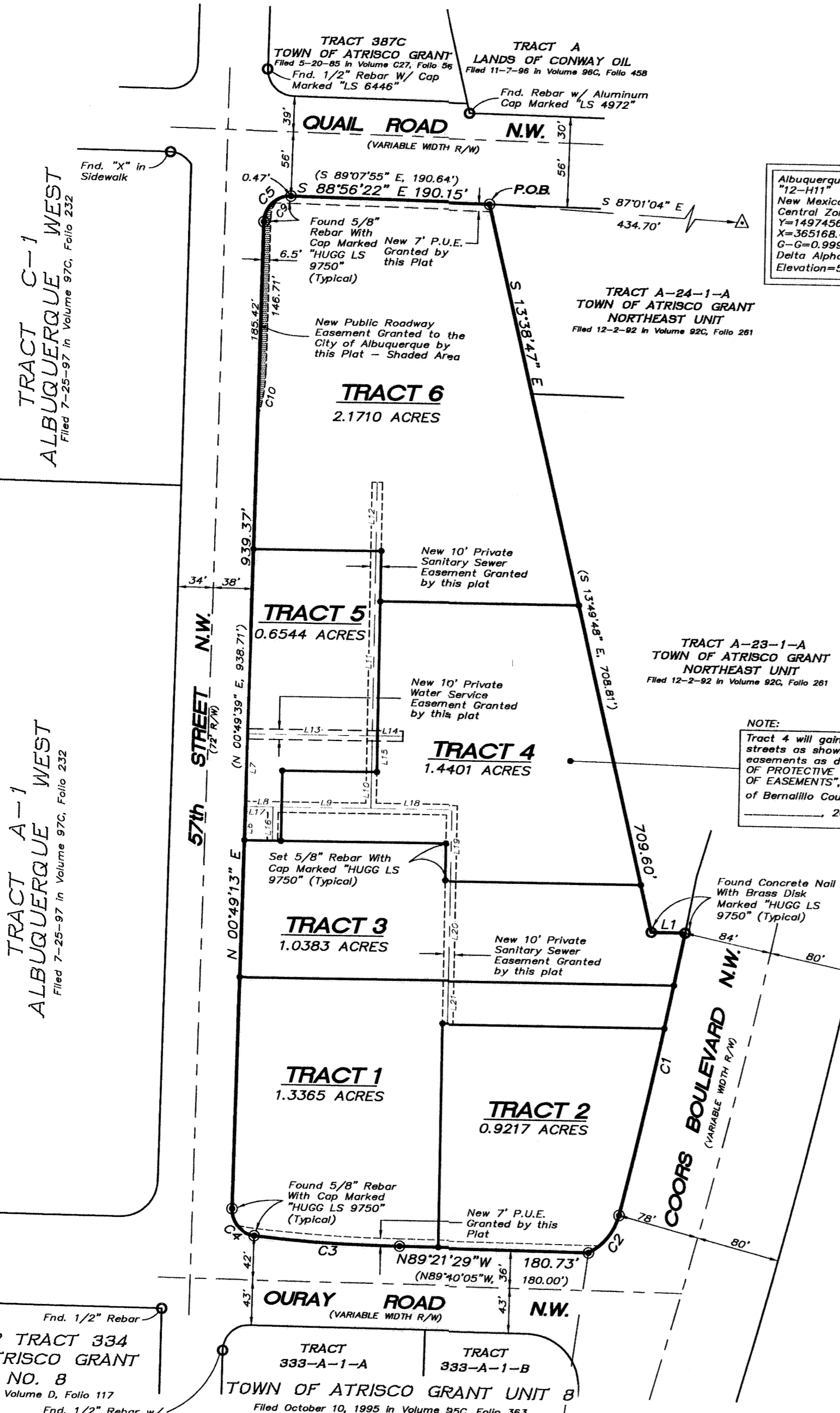
NEW EASEMENTS GRANTED BY THIS PLAT

**TRACTS 1 THRU 6
QUAIL RIDGE**

(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

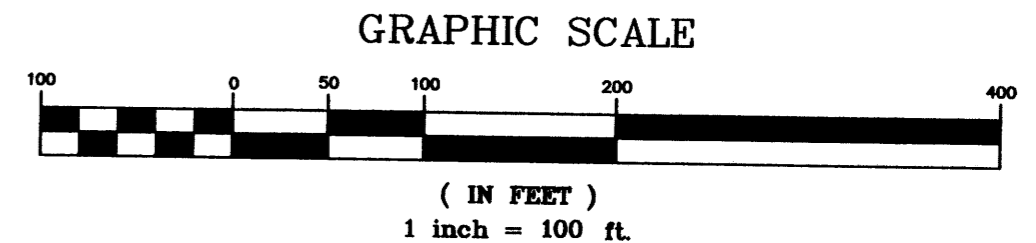
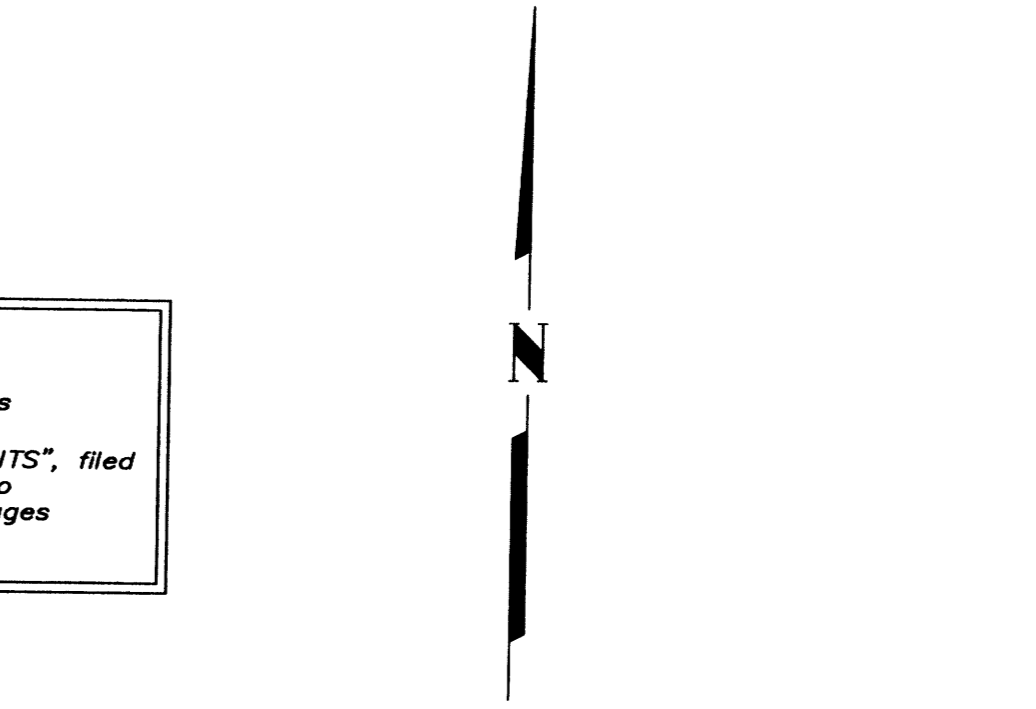
SEPTEMBER, 2003



Albuquerque Control Survey Monument
"12-H11"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1497456.42
X=365168.46
G-G=0.99967688
Delta Alpha=-00'15"34"
Elevation=5102.169 (NAVD29)

NOTE
Said Tracts 1 through 6 are subject to all restrictions, conditions and requirements as set forth in that certain "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the _____ day of _____, 2003 in Book _____, Pages _____.

NOTE:
Tract 4 will gain access to the dedicated public streets as shown hereon by reciprocal access easements as defined in that certain "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the _____ day of _____, 2003 in Book _____, Pages _____.



CORNER LEGEND

- FOUND 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"
- FOUND CONCRETE NAIL WITH BRASS DISK MARKED "HUGG LS 9750"
- SET 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"

LINE TABLE

LINE	LENGTH	BEARING
L1	32.43	S89°45'47"E (89°55'14"E)
L6	32.13	N00°49'13"E
L7	69.79	N00°49'13"E
L8	35.22	N90°00'00"E
L9	85.44	N90°00'00"E
L10	34.87	N90°00'00"E
L11	211.45	N00°00'00"E
L12	64.69	N00°00'00"E
L13	124.66	S00°00'00"W
L14	24.26	N90°00'00"W
L15	34.91	N00°00'00"E
L16	32.13	S00°00'00"W
L17	27.06	N90°00'00"E
L18	77.50'	N90°00'00"E
L19	67.13'	S00°00'00"W
L20	95.00'	S00°00'00"W
L21	41.00'	S00°00'00"W

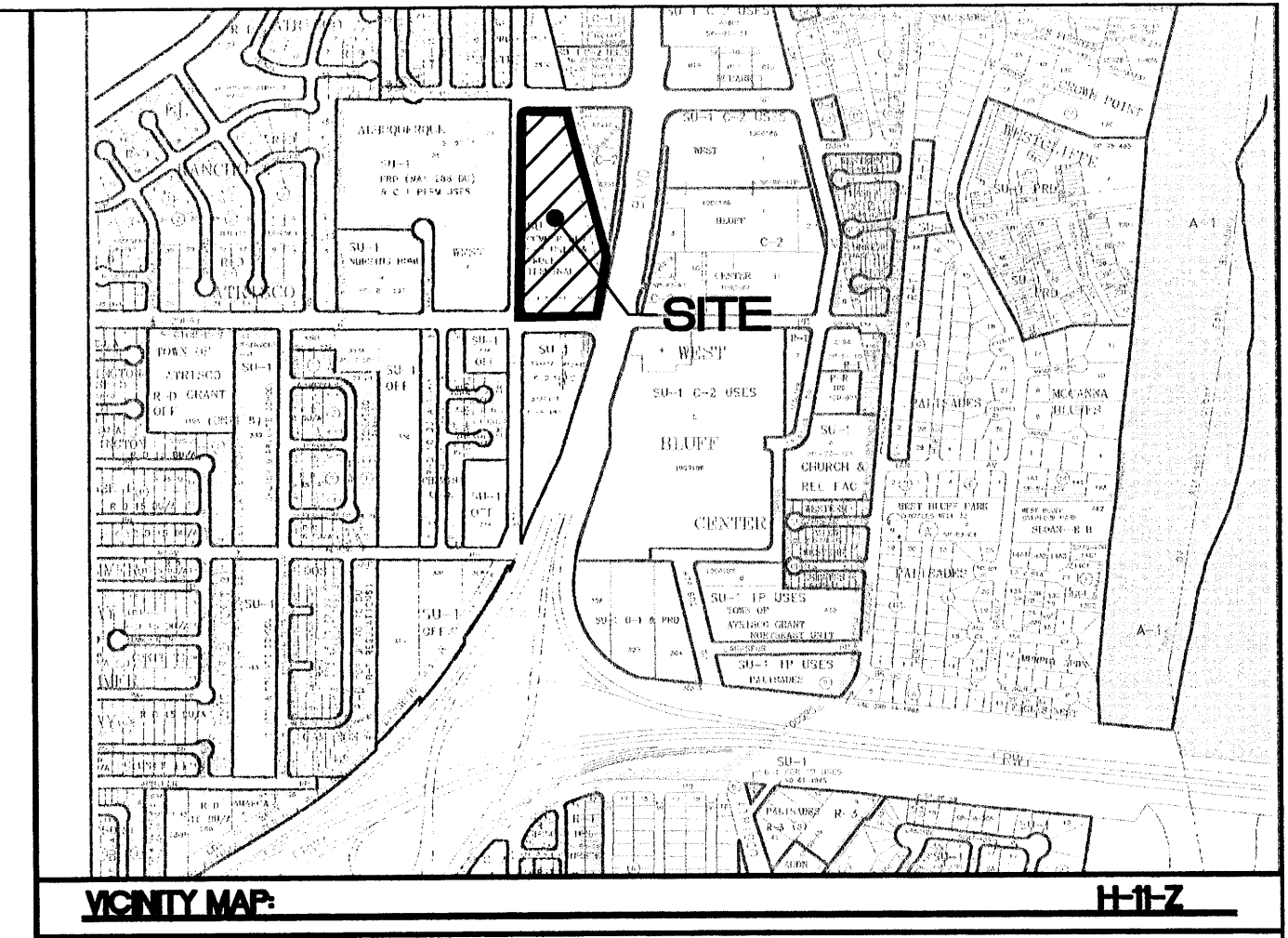
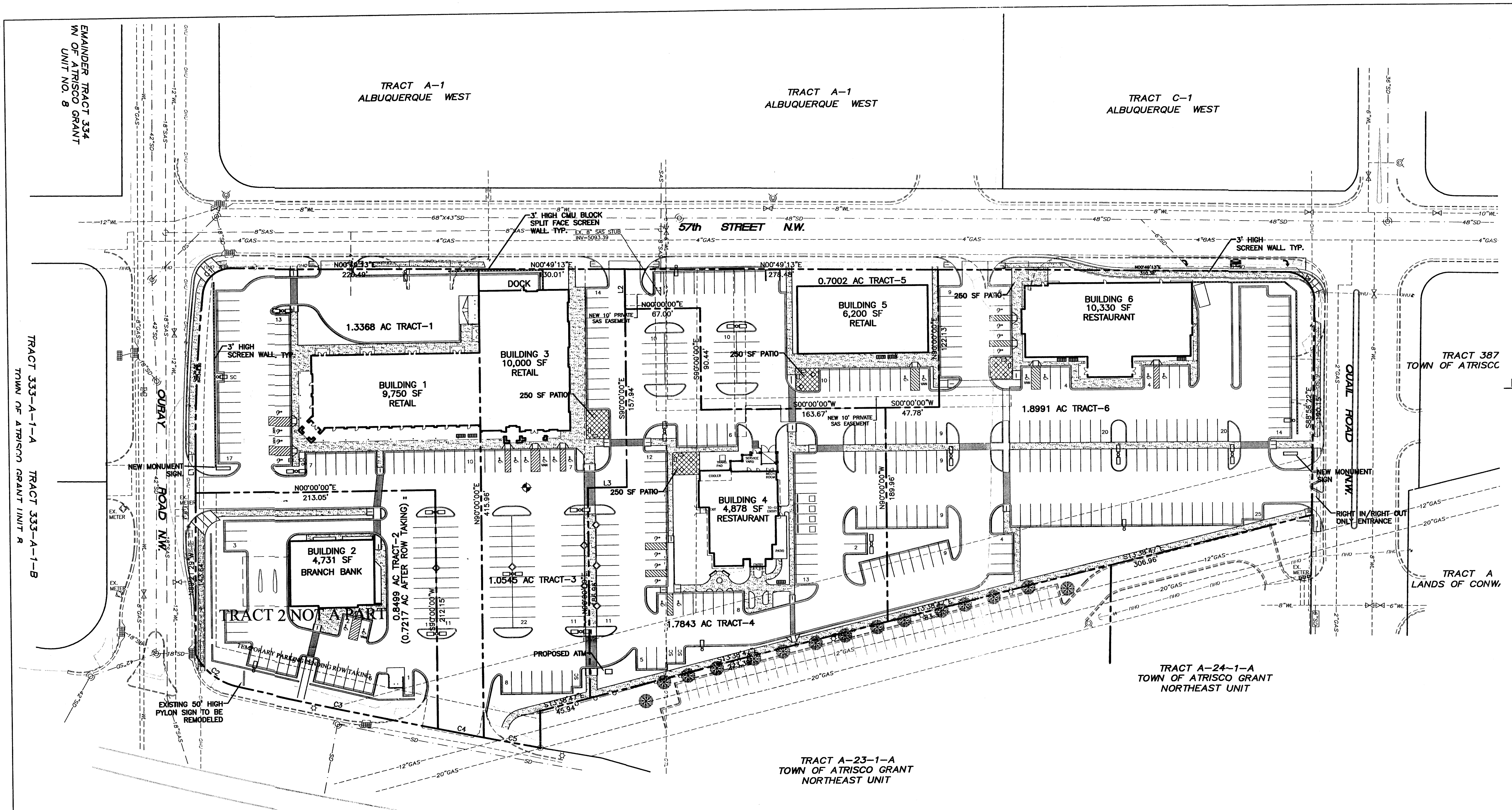
CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	5646.45' (5646.45')	275.89' (275.93')	137.97'	275.87' (275.90')	S12°08'14"W (S11°54'07"W)	2°47'58" (2°48'00")
C2	55.00' (55.00')	47.59' (47.63')	25.40'	46.12' (46.15')	S38°19'32"W (S38°06'34"W)	49°34'26" (49°36'56")
C3	1346.80' (1346.80')	139.56' (138.67')	69.84'	139.49' (138.61')	N86°43'49"W (N86°43'06"W)	5°56'13" (5°53'57")
C4	25.00' (25.00')	36.91' (36.91')	22.74'	33.64' (33.65')	N41°28'15"W (N41°28'14"W)	84°34'56" (84°35'47")
C5	25.00' (25.00')	39.37' (39.29')	25.11'	35.43' (35.37')	N45°56'25"E (N45°50'52"E)	90°14'25" (90°02'26")
C9	19.00'	29.92'	19.08'	26.93'	S45°56'25"W	90°14'24"
C10	157.00'	45.33'	22.83'	45.18'	N09°05'33"E	16°32'40"

Albuquerque Control Survey Monument
"11-H11"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1499852.97
X=364763.94
G-G=0.99967720
Delta Alpha=-00'15"36"
Elevation=5098.514 (NAVD29)



SURV TEK, INC.
Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377



LEGAL DESCRIPTION:
 W & H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8 ATRISCO GRANT & PORTION OF TR A21

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - THIS SITE PLAN FOR SUBDIVISION IS FOR RESTAURANTS WITH A BEER AND WINE LICENSE ONLY. FURTHER APPROVAL FOR A RESTAURANT WITH A LIQUOR LICENSE BEYOND A BEER AND WINE LICENSE WILL REQUIRE ADMINISTRATIVE APPROVAL TO DETERMINE IF THERE IS SUFFICIENT OFF-STREET PARKING.
 - SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON. ALONG COORS BLVD. THE FRONT LANDSCAPED STREET YARD SHALL BE 15 FEET WIDE.
 - BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE COMPREHENSIVE CITY ZONING CODE AND WITHIN THE COORS CORRIDOR PLAN, WHICHEVER IS MORE RESTRICTIVE.
 - SEE SHEET 6 FOR DETAILS

LINE TABLE

LINE	LENGTH	BEARING
L1	37.09	N89°21'29"W
L2	35.68	N90°00'00"E
L3	35.00	N00°00'00"W
L4	33.17	S00°00'00"E

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	36.91	25.00	S41°28'15"E	33.64
C2	47.59	55.00	N38°19'32"E	46.12
C3	182.90	5846.45	N12°36'32"E	182.89
C4	41.84	5846.45	N11°28'07"E	41.84
C5	51.16	5846.45	N10°59'49"E	51.16
C6	39.37	25.00	S45°56'25"W	35.43

SITE DATA TABLE

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG.	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE RACKS REQ.	MIN. FAR	MAX. FAR
1	1	1.3368	9,750	RETAIL	C-2		49	58	4	4	1	1	1	3	0.15	0.35
2	2	0.8499	4,731	BRANCH	C-2		24	33	2	2	1	1	1	1	0.15	0.35
3	3	1.0545	10,000	RETAIL	C-2		50	62	4	6	1	1	1	3	0.15	0.35
4	4	1.7843	4,878	RESTAURANT	C-2		192	64	77	4	6	2	2	3	0.15	0.35
5	5	0.7002	6,200	RETAIL	C-2		31	33	2	2	1	1	1	1	0.15	0.35
6	6	1.8991	10,330	RESTAURANT	C-2		382	127	130	8	8	1	1	2	0.15	0.35
TOTAL		7.625	47,080													

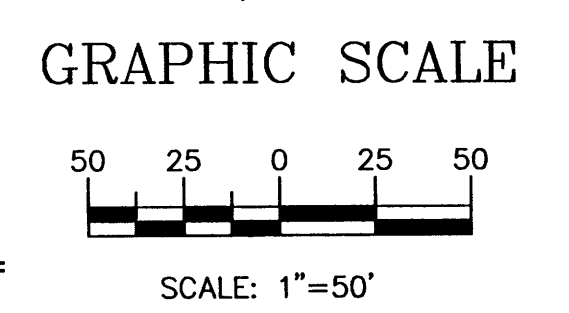
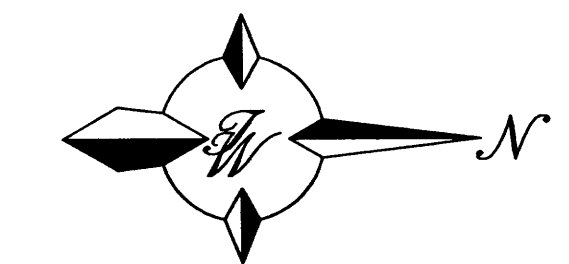
RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Certification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



- LEGEND**
- BOUNDARY LINE
 - - - EASEMENT
 - - - EXISTING CURB AND GUTTER
 - PROPOSED CURB
 - PROPOSED SCREEN WALL
 - PROPOSED SIDEWALK
 - EXISTING BOUNDARY
 - PROPOSED CROSSWALK
 - PROPOSED BIKE RACK
 - PROPOSED PARKING LOT LIGHTING

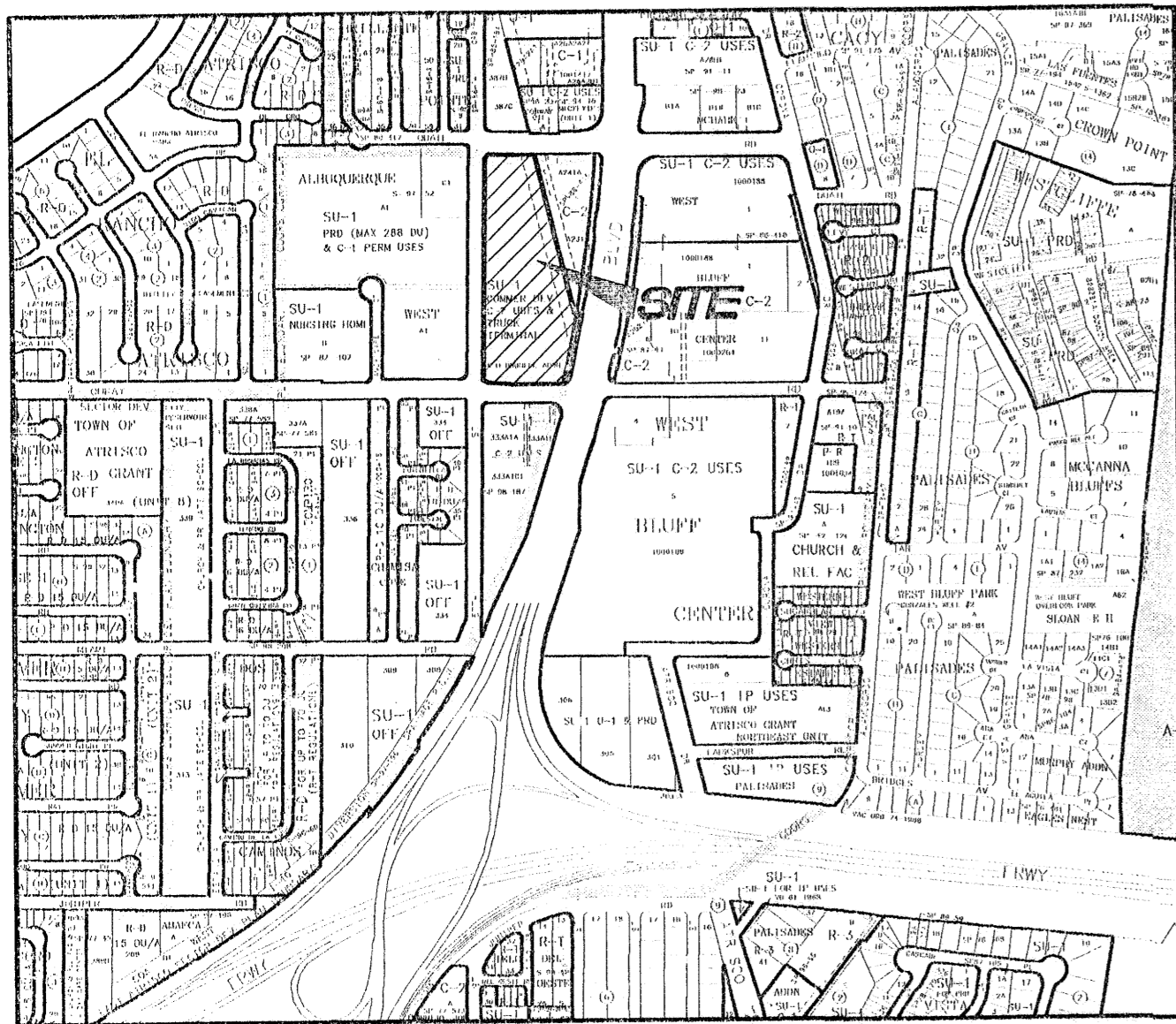
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	QUAIL RIDGE SHOPPING CENTER SITE PLAN FOR SUBDIVISION	DRAWN BY BDG DATE 10/23/03 2296SPSB-8-11-03X
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 2 JOB # 220096

AGJS

TRACTS 1 THRU 6 QUAIL RIDGE

(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2003



VICINITY MAP
NOT TO SCALE



TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the following property:

UPC# 101105920043520602

Russ P. Hugg
Bernalillo County Treasurer's Office
Date: 15 May 04

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 1927) originated at the Albuquerque Control Survey Monument "12-H11".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the months of February and March 2003.
- Documents used in the preparation of this survey are as follows:
 - Plat entitled "W.H. BRUNELL ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed January 25, 1972, in Volume CB, Folio 84, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF LOTS A1, 387A, 387B & 387C, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1985", filed May 20, 1985, in Volume C27, Folio 56, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF TRACTS A-1 & C-1, ALBUQUERQUE WEST, ALBUQUERQUE, NEW MEXICO, MAY 1996", filed July 25, 1997, in Volume 97C, Folio 232, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF TRACTS A-23-1-A AND A-24-1-A, TOWN OF ATRISCO GRANT (NORTHEAST UNIT), ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1992", filed December 2, 1992, in Volume 92C, Folio 261, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF TRACTS 333-A-1-A, 333-A-1-B AND 333-A-1-C, TOWN OF ATRISCO GRANT, UNIT 8, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MARCH 1994", filed October 10, 1995, in Volume 95C, Folio 363, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT OF TRACT A, LANDS OF CONWAY OIL, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER, 1996", filed November 7, 1996, in Volume 96C, Folio 458, records of Bernalillo County, New Mexico.
 - Plat entitled "LOTS 1 AND 2, MICKEY D'S SUBDIVISION UNIT 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, OCTOBER, 1993", filed February 1, 1994, in Volume 94C, Folio 32, records of Bernalillo County, New Mexico.
 - Plat entitled "PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1943", filed December 5, 1944, in Volume D, Folio 117, records of Bernalillo County, New Mexico.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- QWest Corporation for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

NOTE

City of Albuquerque Water and Sanitary Sewer Service to the properties shown hereon must be verified and coordinated with the Public Works Department, City of Albuquerque.

DISCLOSURE STATEMENT

The purpose of this plat is to create 6 tracts. Grant private water line and private sanitary sewer easements. Dedicate street right of way to the City of Albuquerque in fee simple with warranty covenants. Grant public sidewalk easements.

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services	11-22-03
PNM Gas Services	11-22-03
QWest Telecommunications	12-19-03
Comcast	11-22-03
New Mexico Utilities	

City Approvals:

City Surveyor	10-27-03
Real Property Division	
Environmental Health Department	
Traffic Engineering, Transportation Division	
Utilities Development	10-27-03
Parks and Recreation Department	
AMA/FCA	
City Engineer	5/14/04
DRB Chairperson, Planning Department	5-18-04

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
Russ P. Hugg
NMPS No. 9750
September 16, 2003



SURVOTEK, INC.

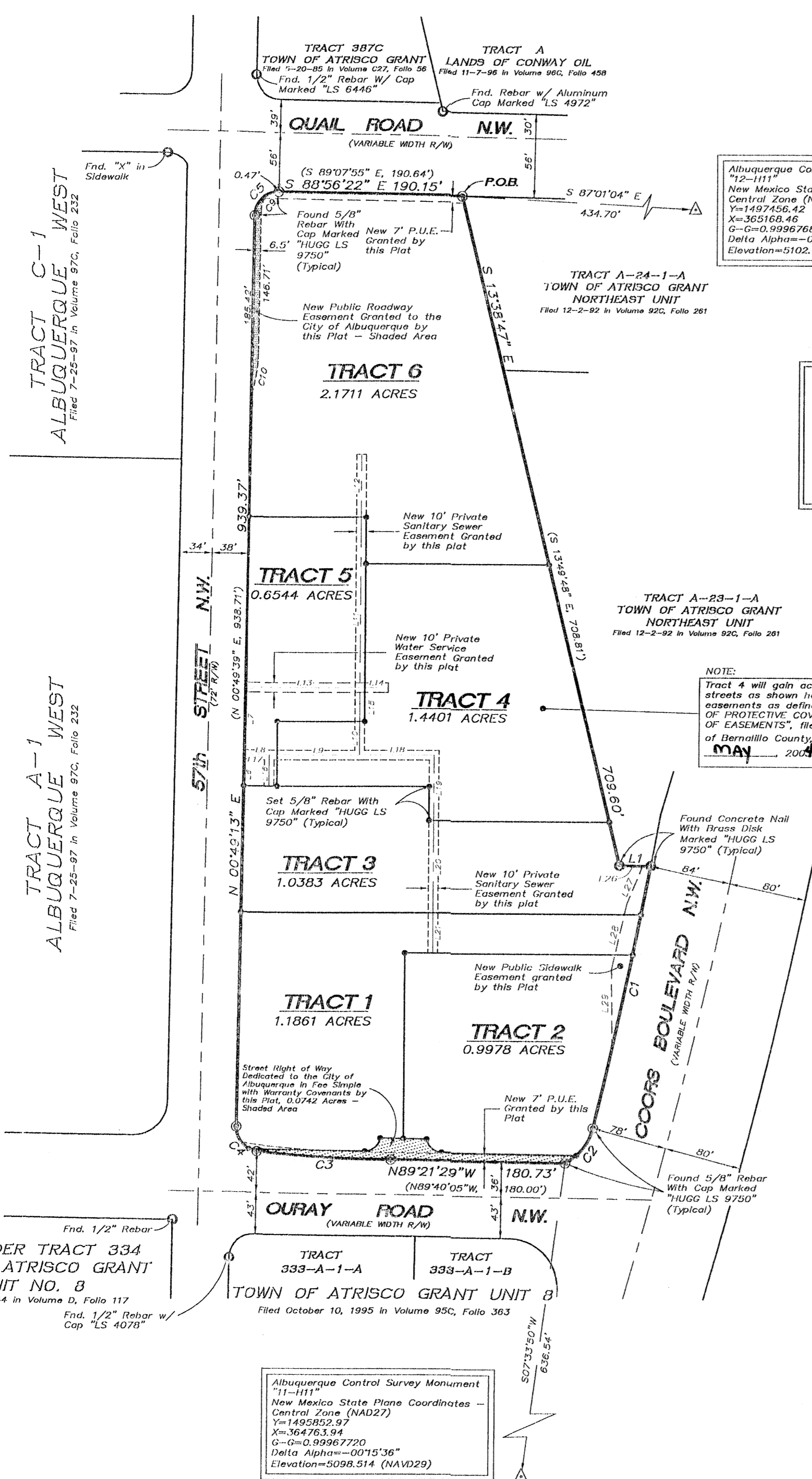
Consulting Surveyors
2015 Broadway Blvd., N.E. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

NEW EASEMENTS GRANTED BY THIS PLAT

**TRACTS 1 THRU 6
QUAIL RIDGE**

(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2003



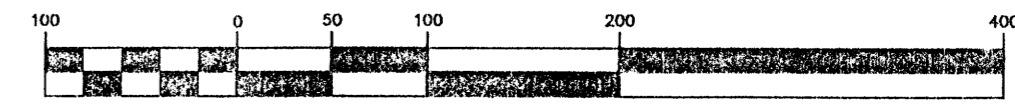
Albuquerque Control Survey Monument
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New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1497456.42
X=365168.46
G-G=0.99967688
Delta Alpha=-0015'34"
Elevation=5102.169 (NAVD29)

2884867165
6888658
Page: 4 of 4
95/18/2884 18:45A
Bk-2884C Pg-154

NOTE
Said Tracts 1 through 6 are subject to all restrictions, conditions and requirements as set forth in that certain "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 18th day of May, 2003 in Book A71, Pages 6982.

NOTE:
Tract 4 will gain access to the dedicated public streets as shown hereon by reciprocal access easements as defined in that certain "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 18th day of May, 2003 in Book A71, pages 6982.

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

CORNER LEGEND

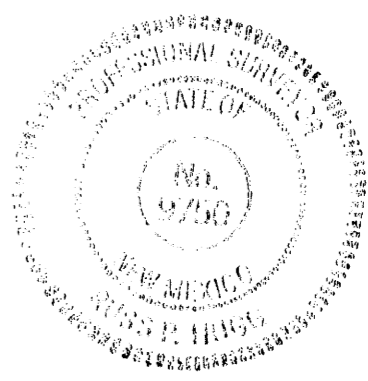
- FOUND 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"
- FOUND CONCRETE NAIL WITH BRASS DISK MARKED "HUGG LS 9750"
- SET 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"

LINE TABLE

LINE	LENGTH	BEARING
L1	32.43 (33.06)	S89°45'47"E (S89°55'14"E)
L6	32.13	N00°49'13"E
L7	69.79	N00°49'13"E
L8	35.22	N90°00'00"E
L9	85.44	N90°00'00"E
L10	34.87	N00°00'00"E
L11	211.45	N00°00'00"E
L12	64.69	N00°00'00"E
L13	124.66	S00°00'00"W
L14	24.26	N90°00'00"E
L15	34.91	N00°00'00"E
L16	32.13	S00°00'00"W
L17	27.06	N90°00'00"E
L18	77.50'	N90°00'00"E
L19	67.13'	S00°00'00"W
L20	95.00'	S00°00'00"W
L21	41.00'	S00°00'00"W
L26	24.08'	S89°45'47"E
L27	41.79'	S22°31'57"W
L28	69.01'	S13°02'16"W
L29	81.72'	S00°45'05"E

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	5646.45' (5646.45')	275.89' (275.93')	137.97'	275.87' (275.90')	S12°08'14"W (S11°54'07"W)	2°47'56" (2°48'00")
C2	55.00' (55.00')	47.59' (47.63')	25.40'	46.12' (46.15')	S38°19'32"W (S38°06'34"W)	49°34'26" (49°36'56")
C3	1346.80' (1346.80')	139.56' (138.67')	69.84'	139.49' (138.61')	N86°43'49"W (N86°43'06"W)	5°56'13" (5°53'57")
C4	25.00' (25.00')	36.91' (36.91')	22.74'	33.64' (33.65')	N41°28'15"W (N41°28'14"W)	84°34'56" (84°35'47")
C5	25.00' (25.00')	39.37' (39.29')	25.11'	35.43' (35.37')	N45°56'25"E (N45°50'52"E)	90°14'25" (90°02'26")
C9	19.00'	29.92'	19.08'	26.93'	S45°56'25"W	90°14'24"
C10	157.00'	45.33'	22.83'	45.18'	N09°05'33"E	16°32'40"



SURVOTEK, INC.

Consulting Surveyors
10000 Barrio Blvd. N.E. Albuquerque, New Mexico 87114
Phone: 505-897-3300
Fax: 505-897-3377

TRACTS 1 THRU 6
QUAIL RIDGE

(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2003

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Atrisco Grant in projected Section 11, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising the remaining portion of the W.H. Brunell Addition, as the same is shown and designated on the plat entitled "W.H. BRUNELL ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed January 25, 1972, in Volume C8, Folio 84, records of Bernalillo County, New Mexico, being more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

Beginning at the Northeast corner of the parcel herein described, said point being on the Southerly right of way line of Quail Road N.W. and also being the Northwest corner of Tract A-24-1-A, Town of Atrisco Grant, Northeast Unit, as the same is shown and designated on the plat entitled "PLAT OF TRACTS A-23-1-A AND A-24-1-A, TOWN OF ATRISCO GRANT (NORTHEAST UNIT), ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1992", filed December 2, 1992, in Volume 92C, Folio 261, records of Bernalillo County, New Mexico, from whence the Albuquerque Control Survey Monument "12-H11" bears S 87°01'04" E, 434.70 feet distant; Thence,

- S 13°38'47" E, 709.60 feet to a point, said point being the Southwest corner of Tract A-23-1-A, Town of Atrisco Grant, Northeast Unit, as the same is shown and designated on the plat entitled "PLAT OF TRACTS A-23-1-A AND A-24-1-A, TOWN OF ATRISCO GRANT (NORTHEAST UNIT), ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1992", filed December 2, 1992, in Volume 92C, Folio 261, records of Bernalillo County, New Mexico; Thence,
 - S 89°45'47" E, 32.43 feet along the Southerly boundary line of said Tract A-23-1-A, Town of Atrisco Grant, Northeast Unit to a point on curve, said point being the Southeast corner of said Tract A-23-1-A, Town of Atrisco Grant, Northeast Unit, and also being a point on the Northwesterly right of way line of Coors Boulevard N.W.; Thence,
 - Southwesterly, 275.89 feet along the arc of a curve to the right (said curve having a radius of 5646.45 feet, a central angle of 02°47'58" and a chord which bears S 12°08'14" W, 275.87 feet) to a point of compound curvature;
 - Southwesterly, 47.59 feet along the arc of a curve to the right (said curve having a radius of 55.00 feet, a central angle of 49°34'26" and a chord which bears S 38°19'32" W, 46.12 feet) to a point of non-tangency, said point being on the Northerly right of way line of Ouray Road N.W.; Thence along said Northerly right of way line of Ouray Road N.W. for the following two courses,
 - N 89°21'29" W, 180.73 feet to a point of curvature; Thence,
 - Northwesterly, 139.56 feet along the arc of a curve to the right (said curve having a radius of 1346.80 feet, a central angle of 05°56'13" and a chord which bears N 86°43'49" W, 139.49 feet) to a point of compound curvature; Thence,
 - Northwesterly, 36.91 feet along the arc of a curve to the right (said curve having a radius of 25.00 feet, a central angle of 84°34'56" and a chord which bears N 41°28'15" W, 33.64 feet) to a point of tangency, said point being on the Easterly right of way line of 57th Street N.W.; Thence,
 - N 00°49'13" E, 939.37 feet to a point of curvature; Thence,
 - Northeasterly, 39.37 feet along a curve to the right (said curve having a radius of 25.00 feet, a central angle of 90°14'25" and a chord which bears N 45°56'25" E, 35.43 feet) to a point of tangency, said point being on the Southerly right of way line of Quail Road N.W.; Thence,
 - S 88°56'22" E, 190.15 feet to the point of beginning of the parcel herein described.
- Said parcel contains 7.5620 acres, more or less.

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Page: 2 of 4
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FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising TRACTS 1 THRU 6, QUAIL RIDGE (BEING A REPLAT OF THE W.H. BRUNELL ADDITION) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate street right of way to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant public sidewalk easements as shown hereon. Said owner(s) and proprietor(s) do hereby grant the public utility easements to the use of the public forever, as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER: W.H. BRUNELL ADDITION
SCM Property Company, LLC

Steve Maestas

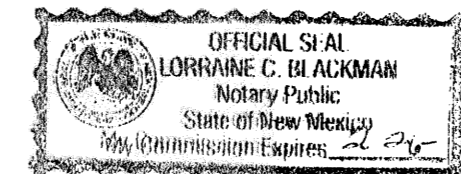
Steve Maestas, Managing Member

ACKNOWLEDGEMENT

STATE OF SS
COUNTY OF

This instrument was acknowledged before me on this 17th day of September, 2003, by Steve Maestas and Lorraine C. Blakeman.

Lorraine Blakeman
Notary Public



My Commission expires: 2-26-2006



BOUNDARY INFORMATION AND EXISTING EASEMENTS

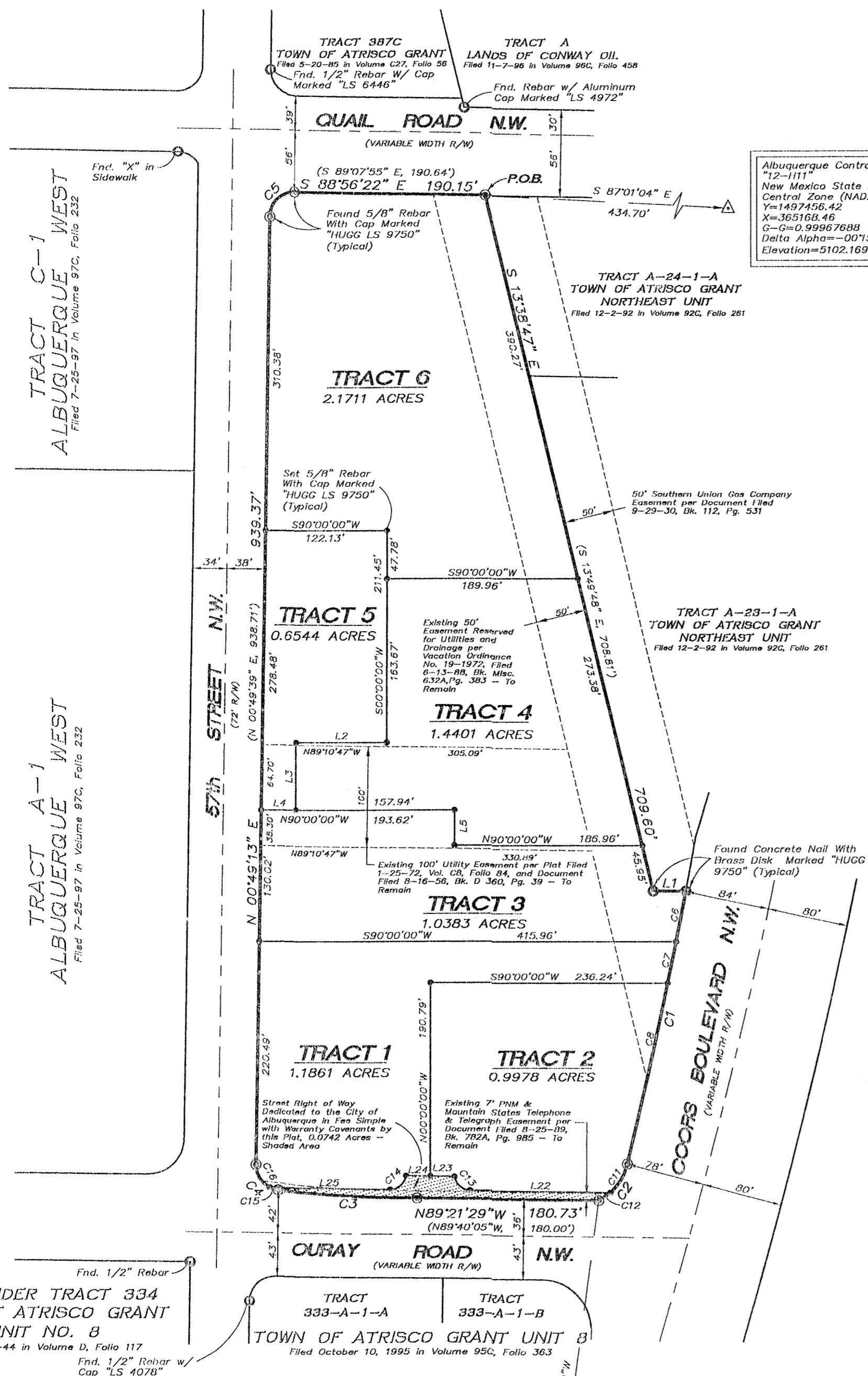
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Page: 3 of 4
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Mary Herrera Bern. Co. PLAT R 22. 88

**TRACTS 1 THRU 6
QUAIL RIDGE**

(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)

WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2003

SEE SHEET 4 OF 4 FOR NEW EASEMENT INFORMATION

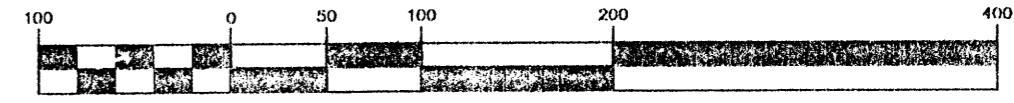


Albuquerque Control Survey Monument
"12-111"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1497458.42
X=365168.46
G=0.99967688
Delta Alpha=-00'15'34"
Elevation=5102.169 (NAVD29)

Albuquerque Control Survey Monument
"11-111"
New Mexico State Plane Coordinates -
Central Zone (NAD27)
Y=1495852.97
X=364763.94
G=0.99967720
Delta Alpha=-00'15'36"
Elevation=5098.514 (NAVD29)



GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

CORNER LEGEND

- ⊙ FOUND 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"
- FOUND CONCRETE NAIL WITH BRASS DISK MARKED "HUGG LS 9750"
- SET 5/8" REBAR WITH CAP MARKED "HUGG LS 9750"

LINE TABLE

LINE	LENGTH	BEARING
L1	32.43 (33.06)	S89°45'47"E (S89°55'14"E)
L2	90.44	N90°00'00"E
L3	67.00	N00°00'00"E
L4	35.68	S90°00'00"E
L5	35.00	N00°00'00"W
L22	139.66'	N89°19'00"W
L23	24.17'	N88°52'28"W
L24	24.16'	N88°52'28"W
L25	121.28'	N89°00'13"W

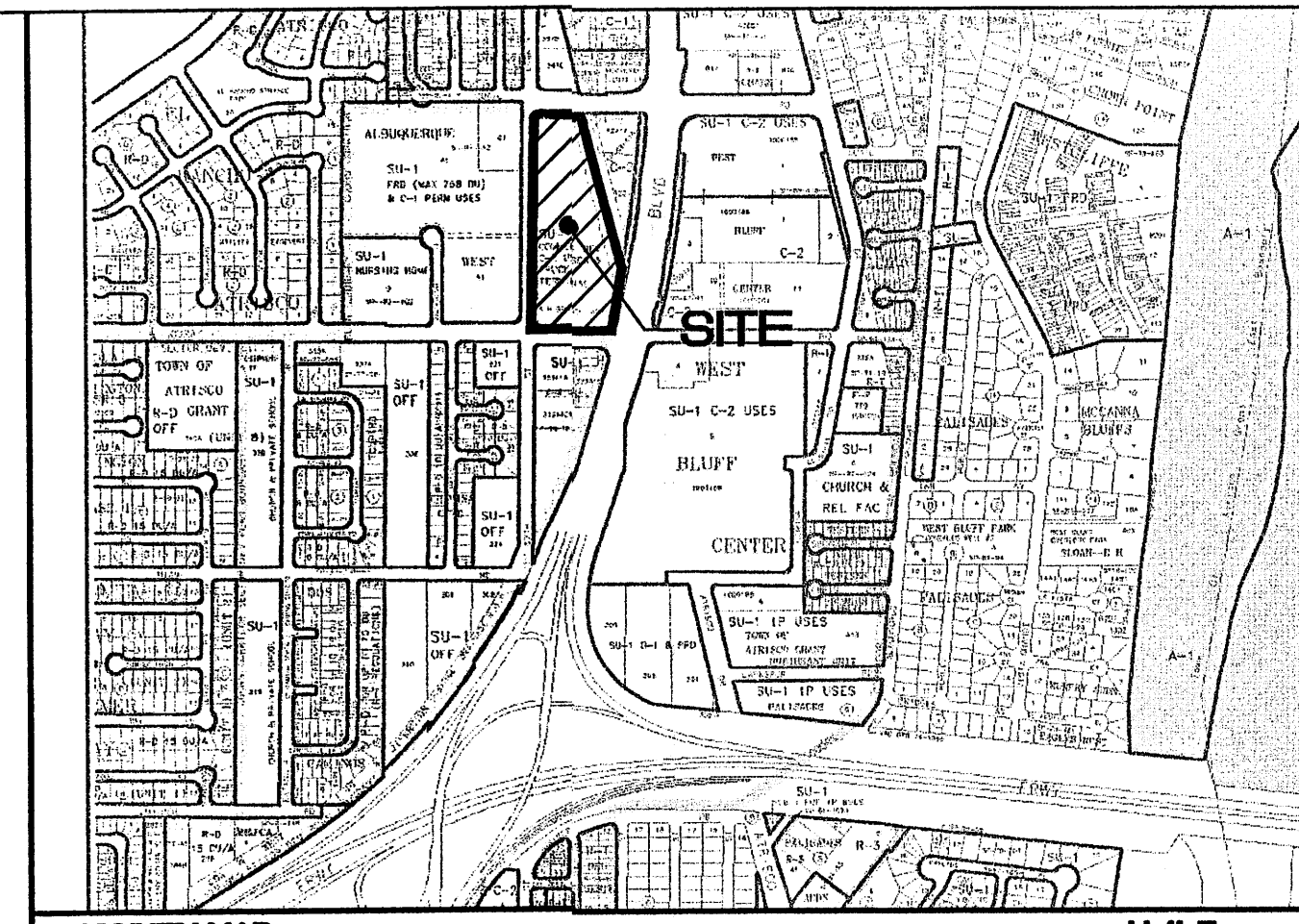
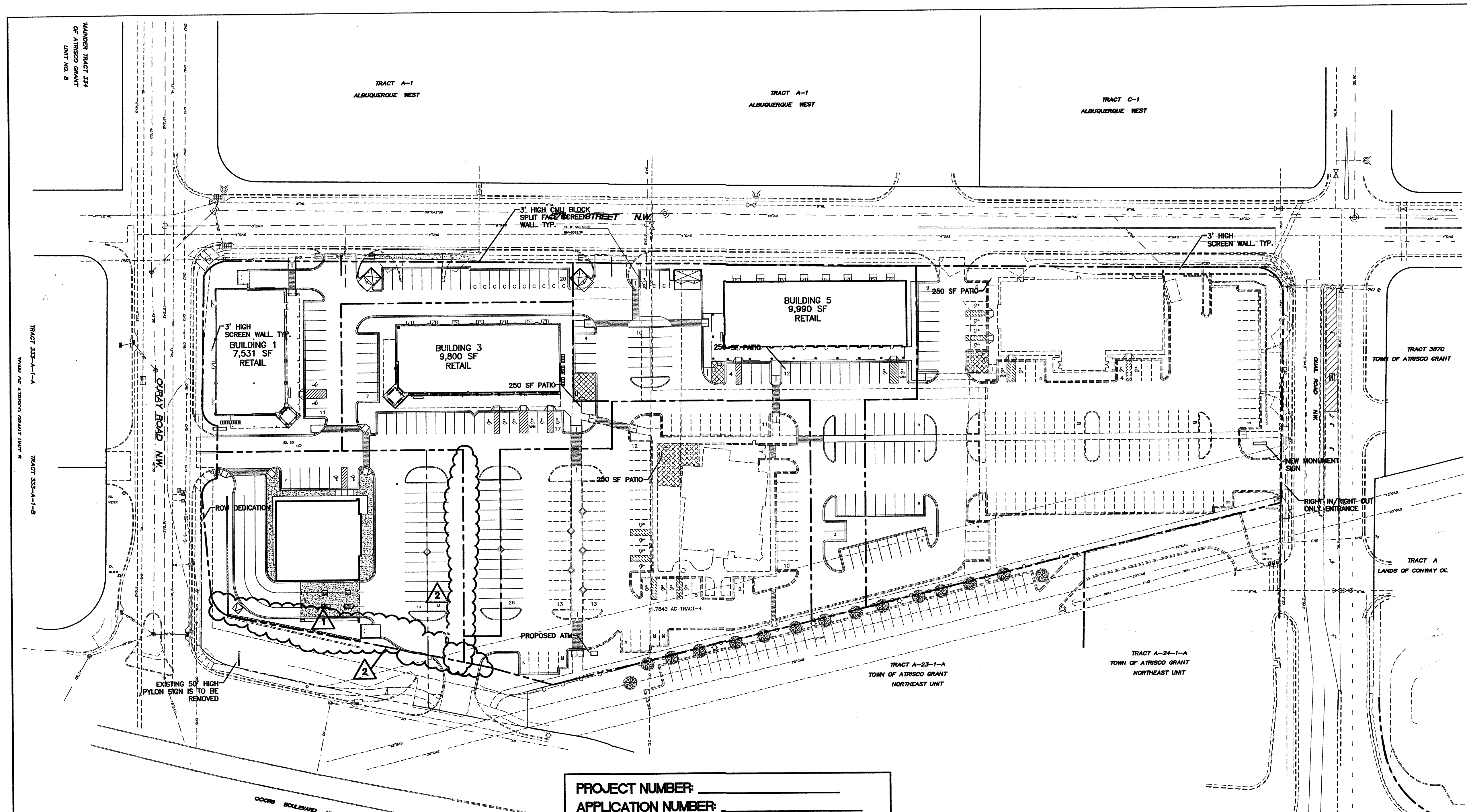
CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	5646.45' (5646.45')	275.89' (275.93')	137.97'	275.87' (275.90')	S12°08'14"W (S11°54'07"W)	2°47'58" (2°48'00")
C2	55.00' (55.00')	47.59' (47.63')	25.40'	46.12' (46.15')	S38°19'32"W (S38°06'34"W)	49°34'26" (49°36'56")
C3	1346.80' (1346.80')	139.56' (138.67')	69.84'	139.49' (138.61')	N86°43'49"W (N86°43'06"W)	5°56'13" (5°53'57")
C4	25.00' (25.00')	36.91' (36.91')	22.74'	33.64' (33.65')	N41°28'15"W (N41°28'14"W)	84°34'56" (84°35'47")
C5	25.00' (25.00')	39.37' (39.29')	25.11'	35.43' (35.37')	N45°56'25"E (N45°50'52"E)	90°14'25" (90°02'26")
C6	5646.45'	51.16'	25.58'	51.16'	N10°59'49"E	0°31'09"
C7	5646.45'	41.84'	20.92'	41.84'	N11°28'00"E	0°25'28"
C8	5646.45'	182.90'	91.46'	182.89'	N12°36'32"E	1°51'21"
C11	33.32'	55.00'	17.19'	32.82'	N30°53'45"E	34°42'52"
C12	14.26'	55.00'	7.17'	14.22'	N55°40'58"E	14°51'34"
C13	22.64'	16.00'	13.69'	20.80'	S48°46'33"E	81°04'54"
C14	22.64'	16.00'	13.69'	20.80'	N48°46'33"E	81°04'56"
C15	9.23'	25.00'	4.67'	9.18'	S73°10'53"E	21°09'40"
C16	27.67'	25.00'	15.45'	26.28'	S30°53'25"E	63°25'16"



SURVOTEK, INC.

Professional Surveyors
Phone: 505-807-2500



LEGAL DESCRIPTION
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8 ATRISCO GRANT & PORTION OF TR A21

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - THIS SITE PLAN FOR SUBDIVISION IS FOR RESTAURANTS WITH A BEER AND WINE LICENSE ONLY. FURTHER APPROVAL FOR A RESTAURANT WITH A LIQUOR LICENSE BEYOND A BEER AND WINE LICENSE WILL REQUIRE ADMINISTRATIVE APPROVAL TO DETERMINE IF THERE IS SUFFICIENT OFF-STREET PARKING.
 - SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON. ALONG COORS BLVD. THE FRONT LANDSCAPED STREET YARD SHALL BE 15 FEET WIDE.
 - BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE C2 ZONE OF THE COMPREHENSIVE CITY ZONING CODE AND WITHIN THE COORS CORRIDOR PLAN, WHICHEVER IS MORE RESTRICTIVE.
 - SEE SHEET 6 FOR DETAILS.
 - ACCESS AT COORS BOULEVARD AND CURAY ROAD SHALL BE LIMITED TO RIGHT-TURN IN AND RIGHT-TURN OUT ACCESS ONLY CONSISTENT WITH THE COORS CORRIDOR PLAN.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - WHEN ADDITIONAL RIGHT OF WAY IS SECURED FROM THE SITE FOR THE RECONSTRUCTION OF THE I-40/COORS INTERCHANGE, THE EXISTING 45' HIGH PYLON SIGN SHALL BE REMOVED AT THE EXPENSE OF THE PROPERTY OWNER.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

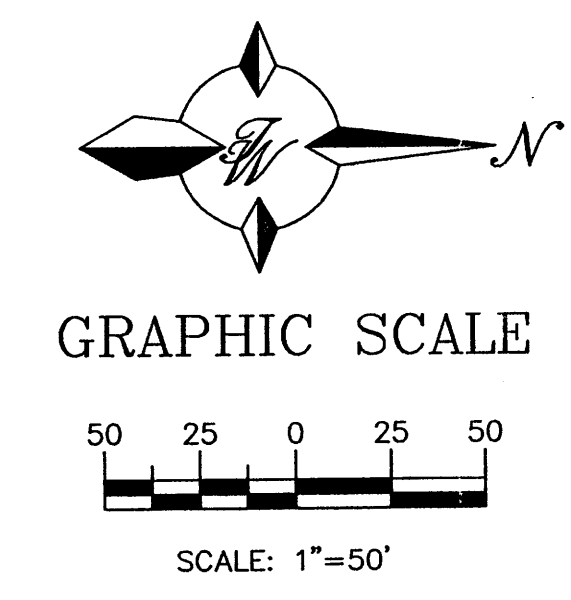
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

Original Signature Block 03 Dec 01 1998 1002457

ADMINISTRATIVE AMENDMENT
 File # 05 AH 01858 Project # 1002457
 Amend property line setback along Coors Blvd and parking to entire site.
 Monica Hanna 10/26/05
 APPROVED BY _____ DATE _____

- LEGEND**
- BOUNDARY LINE
 - - - EASEMENT
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB
 - PROPOSED SCREEN WALL
 - PROPOSED SIDEWALK
 - EXISTING BOUNDARY
 - PROPOSED CROSSWALK
 - PROPOSED BIKE RACK
 - □ □ PROPOSED PARKING LOT LIGHTING



SITE DATA TABLE

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG.	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE RACKS REQ.	MIN. FAR	MAX. FAR		
1	1	1.2183	9,750	RETAIL	C-2		49	30	4	4	1	1	2	0.15	0.35			
2	2	1.0394	4,731	BANK	C-2		24	33	2	2	1	1	1	0.15	0.35			
3	3	1.0383	10,000	RETAIL	C-2		50	37	4	6	1	1	3	0.15	0.35			
4	4	1.4401	4,878	RESTAURANT	C-2		192	48	89	4	6	2	2	3	0.15	0.35		
5	5	0.8544	6,200	RETAIL	C-2		31	47	2	2	1	1	1	0.15	0.35			
6	6	2.1710	10,330	RESTAURANT	C-2		382	96	130	8	8	1	1	2	0.15	0.35		
TOTAL							7,5615	47,080		345	366	24	28	7	7	12	0.15	0.35

RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 4 SEATS

NO.	DATE	REVISIONS	BY
9-13-05		UPDATED PARKING CALCS	DY
7-25-05		NEW ROW AND PROPERTY LINE	BDG
7-25-05		MOVED SCREEN WALL AND DUMPSTER LOCATION FARTHER WEST	BDG

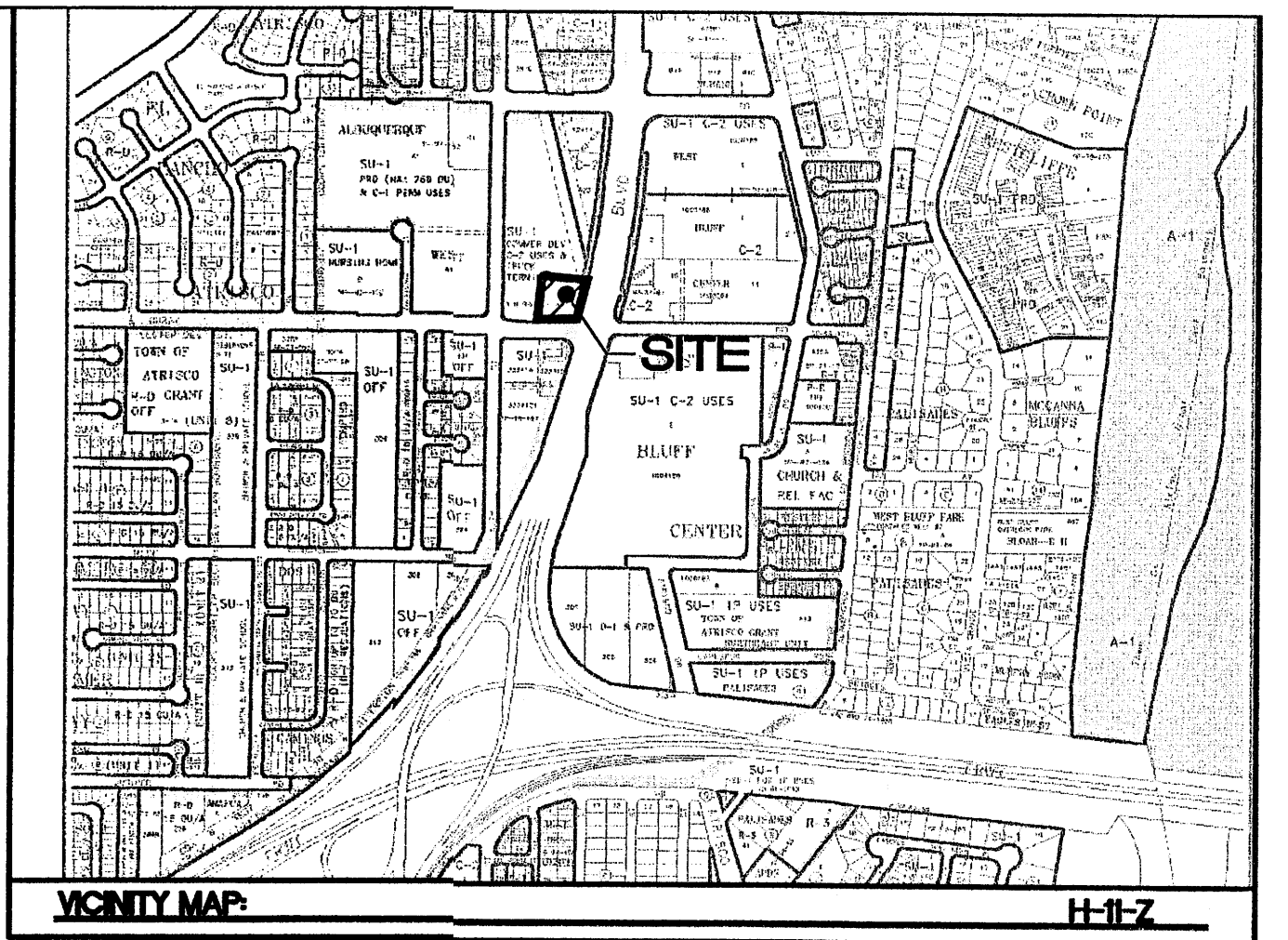
NO.	DATE	REVISIONS	BY
05/20/04		MOVED BUILDING EAST	BDG
12/24/03		CHANGED BUILDING 2 LAYOUT	BDG

REVISIONS

ENGINEER'S SEAL	QUAIL RIDGE SHOPPING CENTER	DRAWN BY	BDG
	ADMINISTRATIVE ADMMENDMENT	DATE	09/29/05
	SITE PLAN FOR SUBDIVISION	2296-SP5B-9-29-05	
	TIERRA WEST, LLC	SHEET #	2
	8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB #	220096

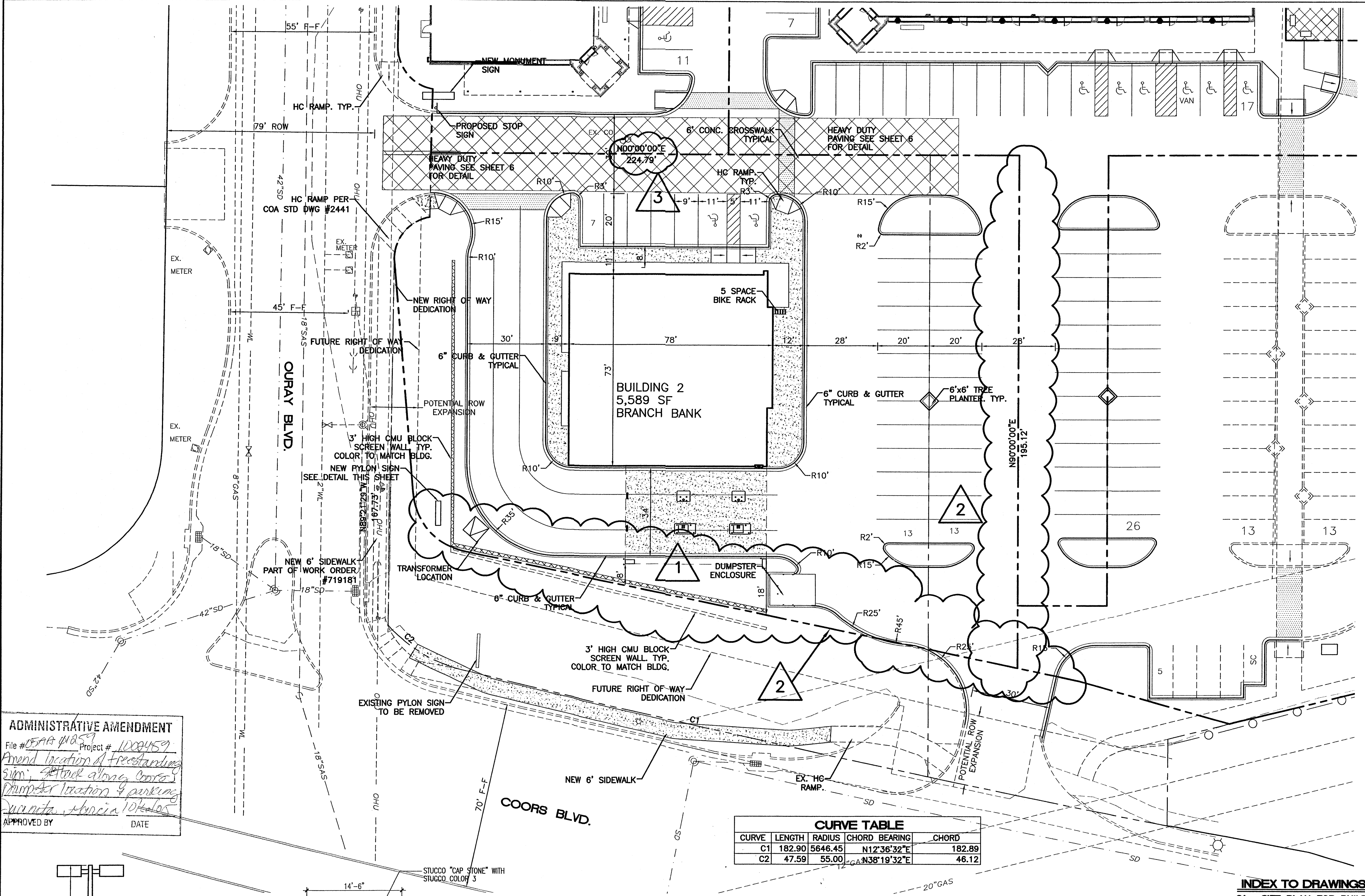
RONALD R. BOHANNAN
P.E. #7868

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LEGAL DESCRIPTION
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8 ATRISCO GRANT & PORTION OF TR A21

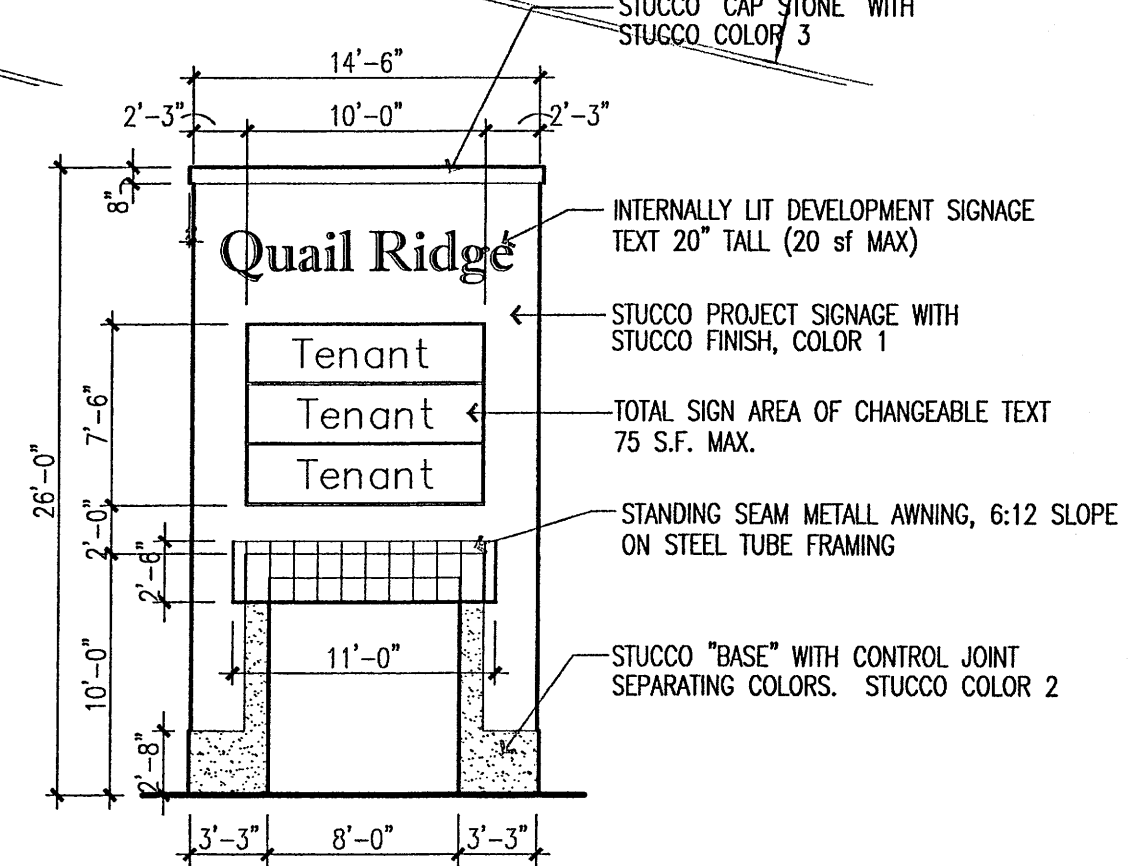
- NOTES**
1. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 5. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 8. THIS SITE PLAN FOR SUBDIVISION IS FOR RESTAURANTS WITH A BEER AND WINE LICENSE ONLY. FURTHER APPROVAL FOR A RESTAURANT WITH A LIQUOR LICENSE BEYOND A BEER AND WINE LICENSE WILL REQUIRE ADMINISTRATIVE APPROVAL TO DETERMINE IF THERE IS SUFFICIENT OFF-STREET PARKING.
 9. SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON. ALONG COORS BLVD. THE FRONT LANDSCAPED STREET YARD SHALL BE 15 FEET WIDE.
 10. BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE COMPREHENSIVE CITY ZONING CODE AND WITHIN THE COORS CORRIDOR PLAN, WHICHEVER IS MORE RESTRICTIVE.
 11. SEE SHEET 6 FOR DETAILS.
 12. ACCESS AT COORS BOULEVARD AND OURAY ROAD SHALL BE LIMITED TO RIGHT-TURN IN AND RIGHT-TURN OUT ACCESS ONLY CONSISTENT WITH THE COORS CORRIDOR PLAN.
 13. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW BY STUCCO PARAPETS OR STUCCO MOUNTED SCREENS, FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.



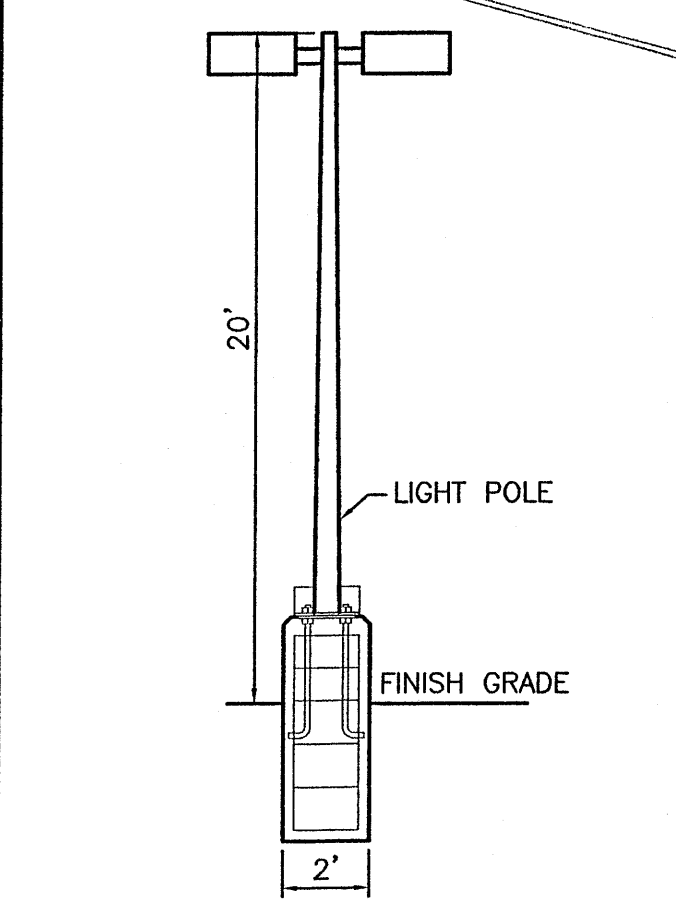
ADMINISTRATIVE AMENDMENT
 File # 2004-1857 Project # 1002459
 Amend location of freestanding sign, set back along Coors Blvd. Dumpster location & parking. Quail Ridge, Associa 10/10/05
 APPROVED BY _____ DATE _____

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	182.90	5646.45	N12°36'32"E	182.89
C2	47.59	55.00	N38°19'32"E	46.12



NOTE: MONUMENT SIGNS TO BE LOCATED IN DESIGNATED AREAS AS INDICATED ON THE SITE PLAN.



LIGHT POLE DETAIL
 NTS

PROJECT NUMBER: -
APPLICATION NUMBER: -
 Is an Infrastructure List required? () Yes () No. If Yes, then a set of approved DRG plans with a work order is required for construction within Public Right-of-Way or for construction of public improvements.
DRB SITE DEVELOPMENT PLAN APPROVAL

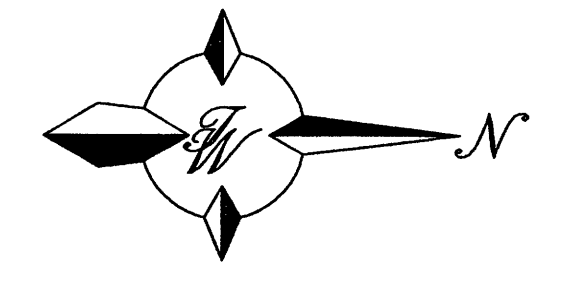
Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary 12/16/03

LEGEND

---	BOUNDARY LINE
---	EASEMENT
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB
---	PROPOSED SCREEN WALL
---	PROPOSED SIDEWALK
---	EXISTING BOUNDARY
---	PROPOSED CROSSWALK
---	PROPOSED BIKE RACK
---	PROPOSED PARKING LOT LIGHTING
---	STANDARD ASPHALT PAVING AREA
---	HEAVY ASPHALT PAVING AREA

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. LANDSCAPING PLAN
 - C3. GRADING AND DRAINAGE PLAN
 - C4. MASTER UTILITY PLAN
 - C5. ELEVATIONS
 - C6. DETAILS



GRAPHIC SCALE
 SCALE: 1"=20'

REVISIONS

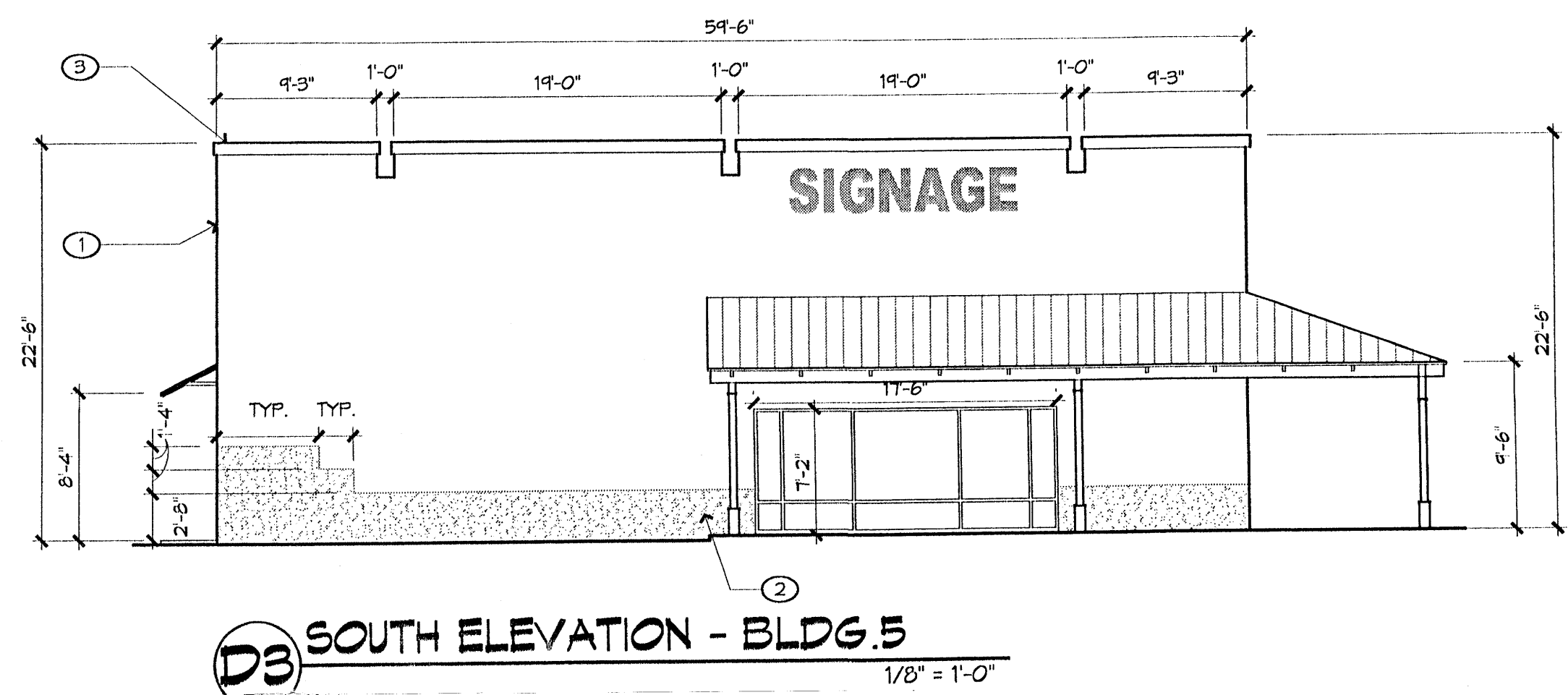
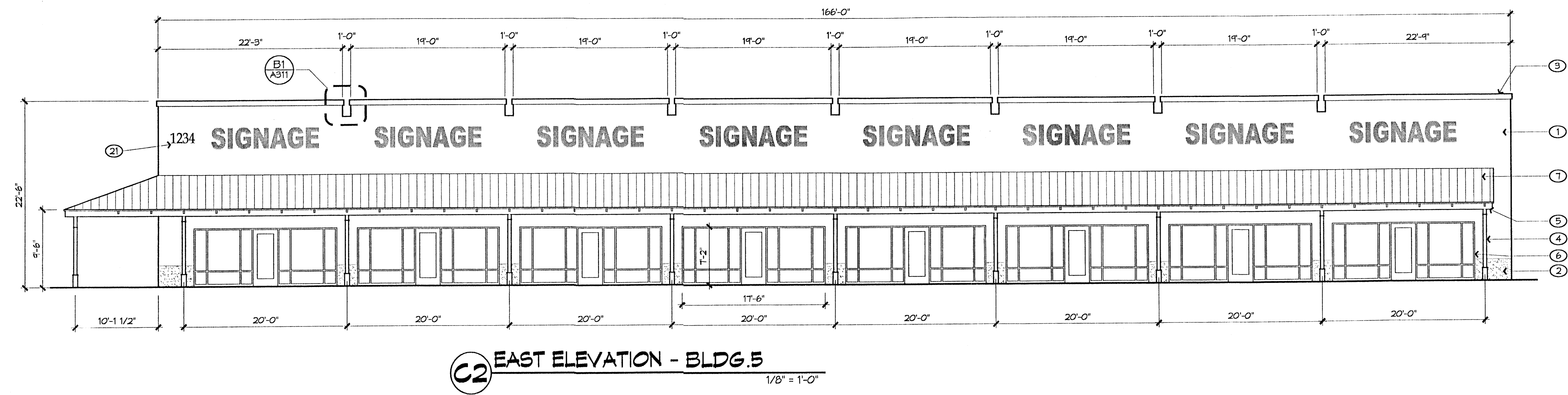
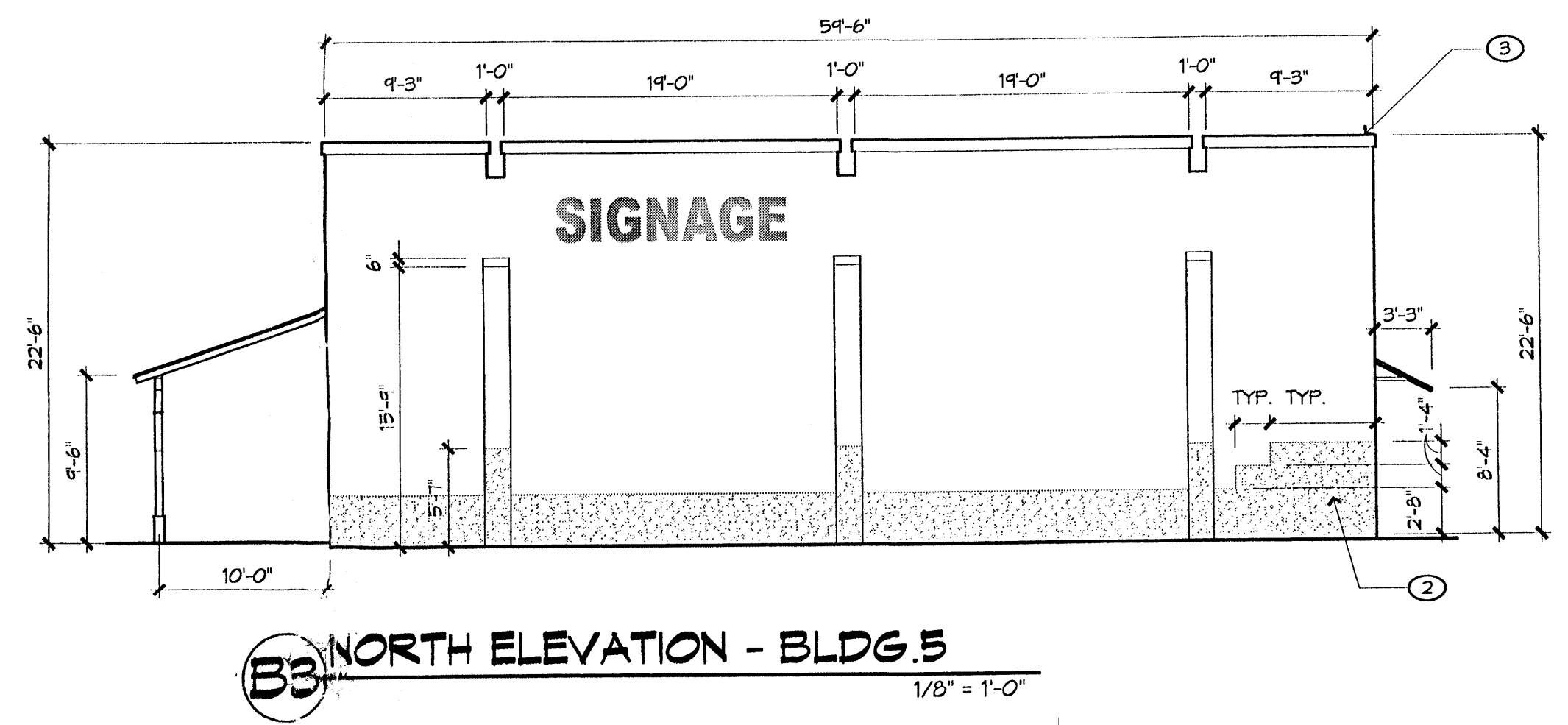
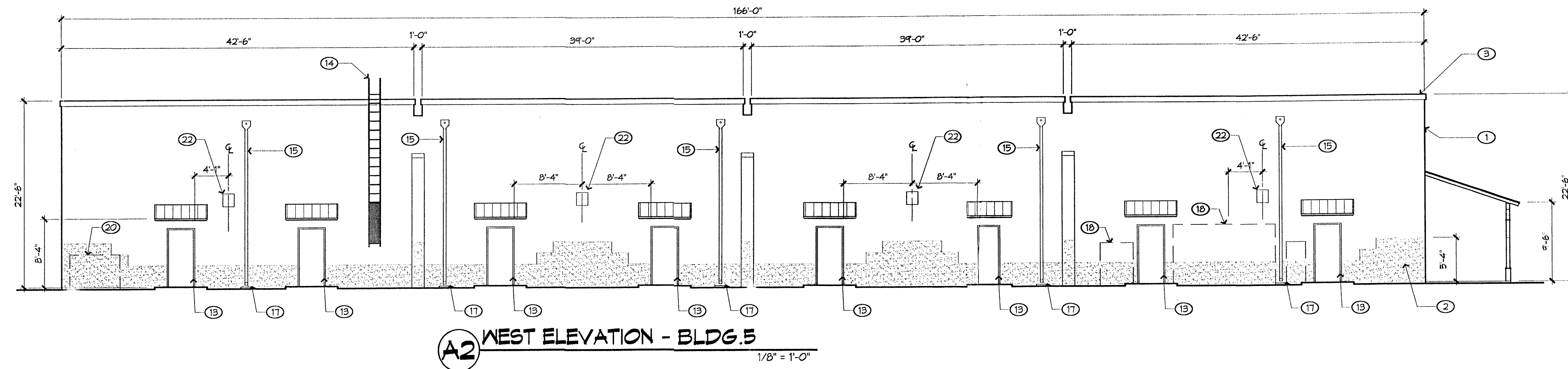
NO.	DATE	REMARKS	BY
1	9-29-05	DISTANCE SHORTENED DUE TO PROPERTY LINE CHANGE	DY
2	7-25-05	NEW ROW AND PROPERTY LINE	BDG
3	7-25-05	MOVED SCREEN WALL AND DUMPSTER LOCATION FARTHER WEST	BDG

SITE DATA

PROPOSED USAGE:	BANK
LOT AREA:	1.039 AC
BUILDING AREA:	5,589 SF
ZONING:	SU-1 / C-2
MAX. BLDG. HEIGHT:	45' SOLAR SETBACK
PARKING PROVIDED:	33 SPACES
PARKING REQUIRED:	22 SPACES (WITH 10% BUS CREDIT)
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	2 SPACES
	1 SPACES VAN ACCESSIBLE

ENGINEER'S SEAL	QUAIL RIDGE SHOPPING CENTER	DRAWN BY BDG
	SITE PLAN FOR BUILDING PERMIT AA	DATE 09/29/05
		2491-BKSPE-9-29-05
		SHEET #
		C1
		JOB # 220096
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	

Z:\2004\24091\Drawings\AA_C02\2491-BKSPE-9-29-05.dwg 9/30/2005 8:08:21 AM MDT



GENERAL NOTES

- A. ALL BUILDING SIGNAGE SHALL COMPLY WITH C-2 SIGN REGULATIONS, 5' HIGH MAX
 - 10% OF WALL AREA ON SIDES FACING COORS
 - 10% OF WALL AREA ON SIDES FACING QUAIL
 - 10% OF WALL AREA ON SIDES FACING OURAY
 - 10% OF WALL AREA ON SIDES FACING 5TH
- B. PARAPETS SHALL BE AT LEAST AS HIGH AS THE TOP OF THE TALLEST ROOFTOP MECHANICAL EQUIPMENT, OR STUCCOED ROOF MOUNTED SCREENS SHALL BE PROVIDED AT LEAST AS HIGH AS THE TOP OF THE EQUIPMENT THEY SCREEN
- C. DOOR AND WINDOW OPENINGS SHALL BE RECESSED AT LEAST 4" FROM THE FACE OF THE ADJACENT WALL SURFACE.

KEYED NOTES

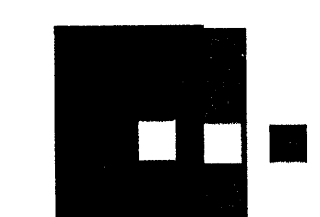
- 1. TWO COAT STUCCO SYSTEM, COLOR: FIELD COLOR: STO 'TRIEBLO'
- 2. TWO COAT STUCCO SYSTEM, COLOR: ACCENT COLOR: STO 'ADOBE BROWN'
- 3. GALV. PARAPET CAPS, COLOR: 'MARBLE WHITE'
- 4. STEEL TUBE COLLING WITH BAR AND PLATE DETAILS, PAINTED WHITE
- 5. TS BEAM, PAINT
- 6. ALUMINUM STOREFRONT
- 7. METAL ROOFING PANELS, GALVALUM FINISH, OVER STRUCTURAL DECKING
- 8. SURFACE MOUNTED, INTERNALLY LIT SIGNAGE, INDIVIDUAL METAL CHANNEL LETTERS WITH ACRYLIC FACES. EXPOSED RACEWAYS ARE NOT ALLOWED. BOX SIGNS ARE NOT ALLOWED EXCEPT FOR LOGOS, BY TENANT
- 9. LIGHT FIXTURE ON TOP OF PORTAL BEAMS, COORDINATE WITH ELECTRICAL
- 10. RECESSED OPENING
- 11. PLASTER WITH FINISHES TO MATCH ADJACENT WALL SURFACE
- 12. TAPERING CHAMFERED CORNERS ON TOWER ELEMENTS.
- 13. HOLLOW METAL DOOR AND FRAME, PAINTED WHITE
- 14. ROOF ACCESS LADDER
- 15. SCUPPER/CONDUCTOR HEAD/DOWNSPOUT, RE: DETAIL D4/A211
- 16. ROOF DRAIN & OVERFLOW ROOF DRAIN NOZZLE, RE: D3/A111
- 17. PRECAST CONC. SPLASH BLOCK
- 18. AREA FOR ELECTRICAL PANELS, COORDINATE WITH ELECTRICAL, PAINT EQUIP. TO MATCH ADJACENT STUCCO
- 19. MECHANICAL ROOF TOP UNIT, RE: MECHANICAL
- 20. AREA FOR GAS METER, COORDINATE WITH MECHANICAL
- 21. BUILDING ADDRESS, 15" HIGH ACRYLIC LETTERS, FONT: BOOK ANTIQUA
- 22. LIGHT FIXTURE, RE: ELECTRICAL

EXTERIOR FINISHES

- 1. COLUMNS AND PORTAL STRUCTURE: STEEL PAINTED BENJAMIN MOORE - ACADIA WHITE - AC-40
- 2. PAINTED TRIM (RAFTER TAILS, ETC): BENJAMIN MOORE - ACADIA WHITE - AC-40
- 3. ORNAMENTAL METAL FENCING/SITE FURNITURE: BENJAMIN MOORE - ACADIA WHITE - AC-40
- 4. METAL ROOFING: BERRIDGE 'R' PANEL, 'GALVALUM' FINISH

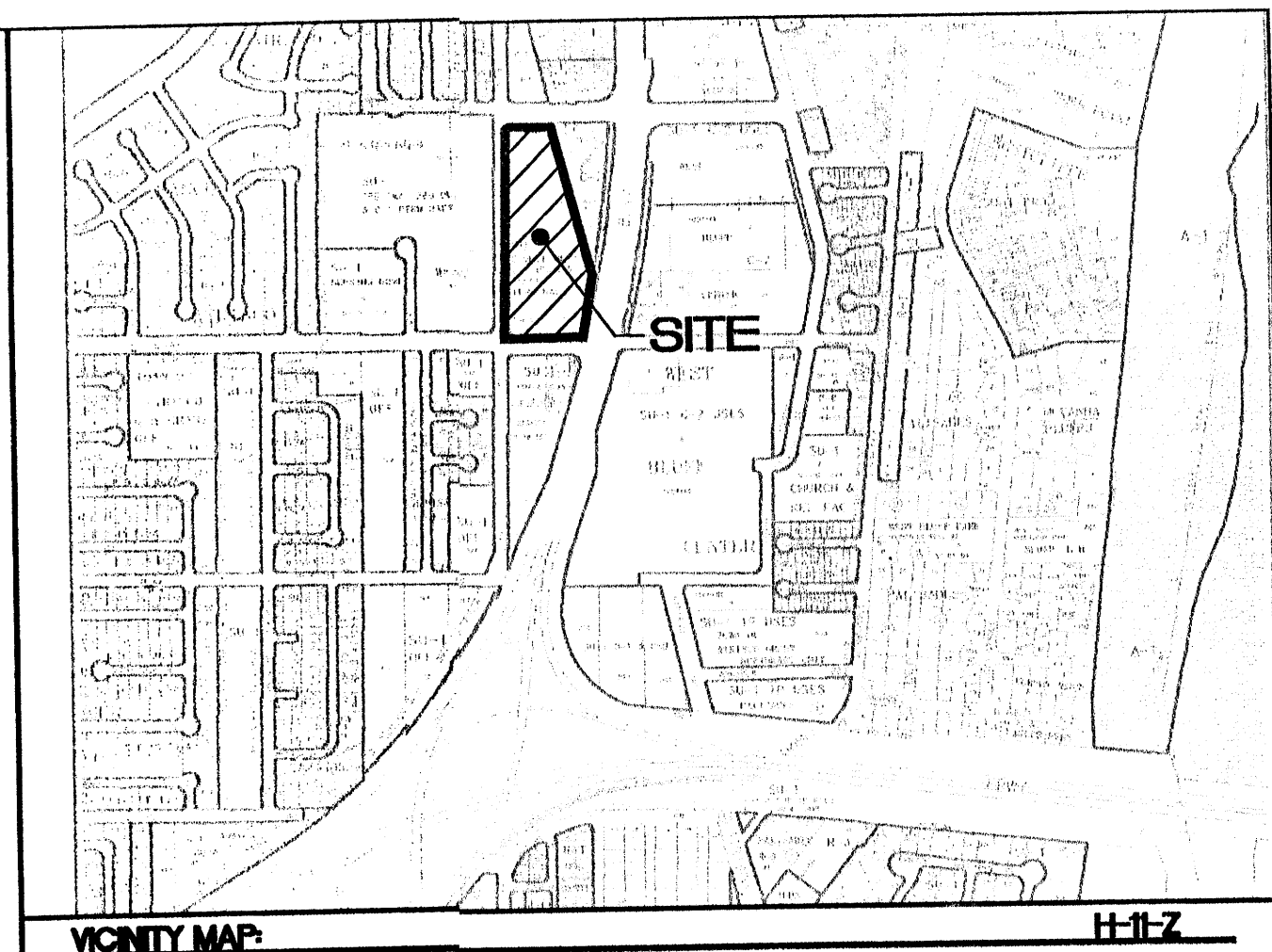
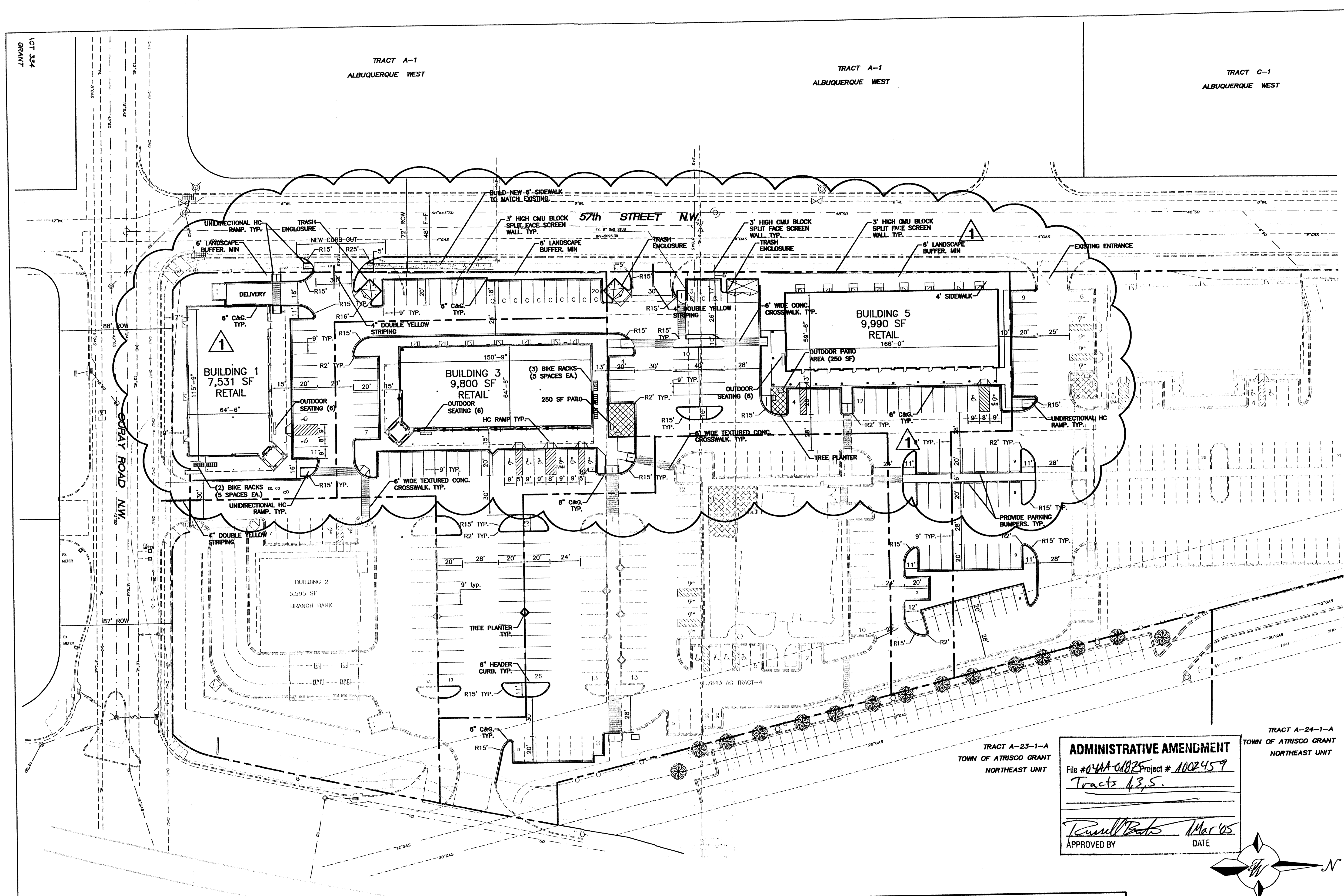
Quail Plaza

Site Development Plan
for Building Permit
Administrative
Amendment



Dekker/Perich/Sabatini

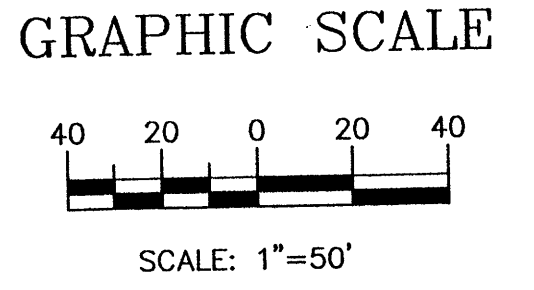
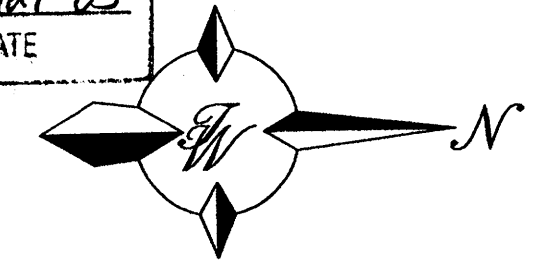
architecture ■ interiors ■ planning ■ engineering
6801 Jefferson NE, Suite 100 Albuquerque, NM 87109 505 761-9700
03009 fax 761-4222



LEGAL DESCRIPTION:
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8 ATRISCO GRANT & PORTION OF TR A21

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE MONTANO PLAZA MASTER PLAN. MATCH BUILDING COLORS AND MATERIAL.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - THIS SITE PLAN FOR SUBDIVISION IS FOR RESTAURANTS WITH A BEER AND WINE LICENSE ONLY. FURTHER APPROVAL FOR A RESTAURANT WITH A LIQUOR LICENSE BEYOND A BEER AND WINE LICENSE WILL REQUIRE ADMINISTRATIVE APPROVAL TO DETERMINE IF THERE IS SUFFICIENT OFF-STREET PARKING.
 - ALL PATIO AREAS ON THE SOUTHEAST OR WEST SIDES OF BUILDINGS SHALL HAVE A MINIMUM OF 100 SF OF SHADED AREA, EITHER WITH TREES OR SHADE STRUCTURES.
 - ALL PATIO AREAS SHALL HAVE A MINIMUM OF 8 LINEAR FEET OF FIXED SEATING.
 - THE TOTAL SQUARE FOOTAGE FOR THE PORTION OF THE FREESTANDING SIGN THAT IDENTIFIES THE SHOPPING CENTER NAME SHALL BE LIMITED TO 20 SF.
 - FREESTANDING SIGNS WILL MEET THE REQUIREMENTS FOR THE COORS CORRIDOR PLAN BY HAVING A SIGN FACE NO LARGER THAN 75 SF IN SIZE. THE NUMBER OF ITEMS AS IDENTIFIED IN THE COORS CORRIDOR PLAN WILL BE LIMITED TO 10.
 - SEE SHEET 6 FOR DETAILS.
 - PARKING BARRIERS SHALL BE PROVIDED TO PREVENT VEHICLES FROM EXTENDING OVER ANY PUBLIC SIDEWALK, ABUTTING LOT, PEDESTRIAN WALKWAYS, LANDSCAPE AREA OR ANY WALL OR FENCE. THE BARRIERS NEED TO BE A MINIMUM OF TWO FEET FROM ANY PUBLIC SIDEWALK, ABUTTING LOT, PEDESTRIAN WALKWAYS, LANDSCAPE AREA OR ANY WALL OR FENCE IN ACCORDANCE WITH SECTION 16-16-3-1(E)(2) OF THE COMPREHENSIVE CITY ZONING CODE.
 - PAVING SHALL BE ASPHALT CONCRETE UNLESS OTHERWISE NOTED.
 - OUTDOOR SEATING ADJACENT TO BUILDING FACADES THAT ARE GREATER THAN 100' SHALL REQUIRE 1 SEAT PER 25 LINEAR FEET.
 - ALL CONCRETE CROSSWALKS TO BE TEXTURED, SEE ARCH PLANS.
 - ALL 3' HIGH SCREEN WALLS TO BE SPLIT FACE BLOCK.

ADMINISTRATIVE AMENDMENT
 File # 044A-01025 Project # 1102459
 Tracts 4,3,5.
 Approved by: *Russell B. Bots* Date: *March*



LEGEND

- BOUNDARY LINE
- EASEMENT
- EXISTING CURB AND GUTTER
- PROPOSED CURB
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK
- EXISTING BOUNDARY
- PROPOSED CROSSWALK
- PROPOSED BIKE RACK

NO.	DATE	REVISIONS	BDG BY
1	11-01-04	REVISED BUILDING LAYOUTS, REVISED LAND AREAS	BDG BY
REVISIONS			
ENGINEER'S SEAL		QUAIL RIDGE SHOPPING CENTER ADMINISTRATIVE AMENDMENT SITE PLAN FOR BUILDING PERMIT	DRAWN BY BDC DATE 02/09/05
RONALD R. BOHANNAN P.E. #7868		TERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2491SPB-2-08-05X SHEET # 1 JOB # 24091

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

SITE DATA TABLE

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE RACKS REQ.	MIN. FAR	MAX. FAR
1	1	0.6728	7,531	RETAIL	C-2	-	38	31	2	2	1	1	2	0.15	0.35
2	2	0.9978	4,731	BANK	C-2	-	24	20	2	2	1	1	1	0.15	0.35
3	3	0.9598	9,800	RETAIL	C-2	-	49	50	4	6	1	1	3	0.15	0.35
4	4	1.5643	4,878	RESTAURANT	C-2	192	64	90	4	6	2	2	3	0.15	0.35
5	5	1.1218	9,900	RETAIL	C-2	-	50	44	2	2	1	1	1	0.15	0.35
6	6	2.1711	10,330	RESTAURANT	C-2	382	127	130	8	8	1	1	2	0.15	0.35
TOTAL		7.625	47,170				352	365	22	26	7	7	12	0.15	0.35

RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

Dekker Perich Sabatini

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

ARCHITECT

ENGINEER

PROJECT

Quail Plaza Retail Shops Buildings Coors and Quail, NW Albuquerque, New Mexico

REVISIONS

- △
- △
- △
- △
- △
- △

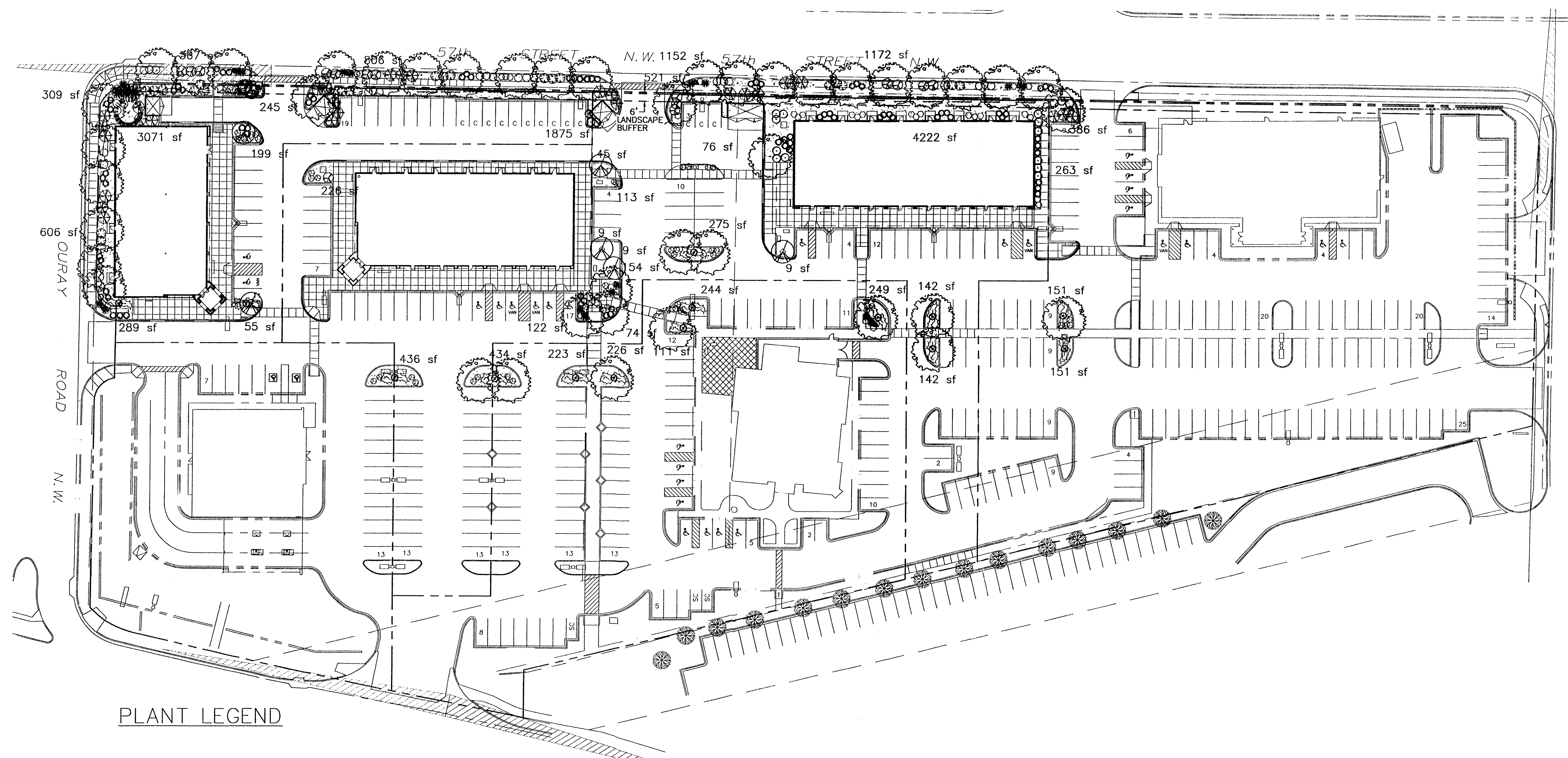
DRAWN BY drr
REVIEWED BY CMD
DATE 2-11-05
PROJECT NO. 04114
DRAWING NAME

LANDSCAPE PLAN

SHEET NO.

L001

1 OF 1



PLANT LEGEND

- ASH (H) AND HONEY LOCUST (H) 43
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- PINUS PINE (M) OR NEW MEXICO OLIVE 2
Pinus edulis 6-8
Forestiera neomexicana 15 Gal.
- SILVERBERRY (M) 30
Elaeagnus pungens
5 Gal. 80sf
- THREE-LEAF SUMAC (L) 3
Rhus trilobata
5 Gal. 36sf
- RED YUCCA (L) 20
Hesperaloe parviflora
5 Gal. 4 sf
- RUSSIAN SAGE (M) 16
Perovskia atriplicifolia
5 Gal. 12 sf
- APACHE PLUME (L) 24
Fallugia paradoxa
5 Gal. 25sf
- LANAS/ SCOTCH BROOM (M) 24
Cytisus scoparius
Genista hispanica
5 Gal. 16 sf
- 3/4" GRAY GRAVEL WITH FILTER FABRIC
- AUSTRIAN PINE (H) 1
Pinus nigra
6-8
- FLOWERING PEAR (H) 6
Pyrus calleryana
2" Cal.
- PALM YUCCA (L) 2
- ROSEMARY (M) 54
Rosmarinus officinalis
2 Gal. 25sf
- POTENTILLA (M) 2
Potentilla fruticosa
2 Gal. 4sf
- AUTUMN SAGE (M) 42
Salvia greggii
2 Gal. 9sf
- HALL'S HONEYSUCKLE (M)
Japonica Halliana
1 Gal. 144sf
Unstaked-Groundcover
- CHAMISA (L) 24
Chrysothamnus nauseosus
1 Gal. 25sf
- WILDFLOWER 54
1 Gal. 4sf
- TAM JUNIPER (M) 42
Juniperus sabina
5 Gal. 144sf
Symbol indicates 3 plants
- HONEYSUCKLE (M) 31
Lonicera sempervirens
1 Gal. 144sf
- OVERSIZED GRAVEL & 17 BOULDERS

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	119,790	square feet
TOTAL BUILDINGS AREA	27,231	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	92,559	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	13,884	square feet
TOTAL BED PROVIDED	19,159	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	14,369	square feet
TOTAL GROUNDCOVER PROVIDED	19,108	square feet
TOTAL LANDSCAPE PROVIDED	19,159	square feet

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

57th STREET NW
Required # 23 Provided # 23

OURAY ROAD NW
Required # 5 Provided # 5

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

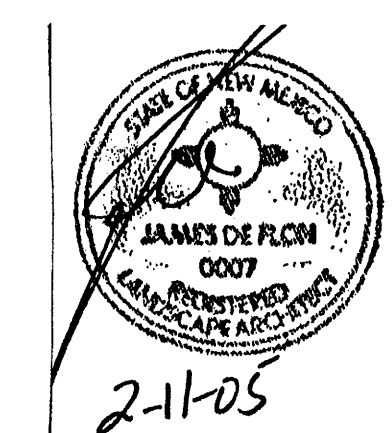
~~FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.~~

SITE DATA TABLE

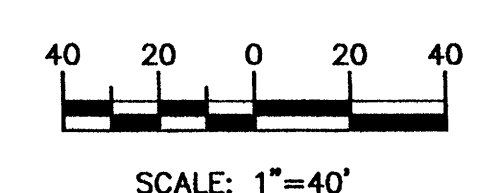
TRACT	BUILDING No.	AREA (SQ)	BUILDING AREA	USE	ZONING	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE BACKS REQ.	MIN. FAR.	MAX. FAR.
1	1	0.6728	7,531	RETAIL	C-2	36	31	2	2	1	1	1	2	0.15	0.35
2	2	0.9970	4,731	BANK	C-2	24	20	2	2	1	1	1	1	0.15	0.35
3	3	0.9598	8,000	RETAIL	C-2	48	50	4	6	1	1	3	3	0.15	0.35
4	4	1.5643	9,878	RESTAURANT	C-2	192	84	90	4	6	2	2	3	0.15	0.35
5	5	1.5218	8,900	RETAIL	C-2	50	44	2	2	1	1	1	1	0.15	0.35
6	6	2.1711	10,330	RESTAURANT	C-2	382	127	130	8	6	1	1	2	0.15	0.35
TOTAL	7,625	47,170				352	385	22	28	7	7	12	3	0.15	0.35

INTERDISCIPLINE COORDINATION REVIEW

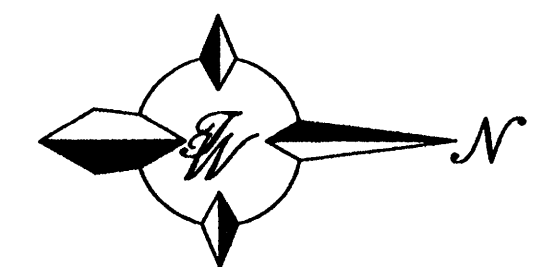
Discipline	Reviewed By	Date	Back Checked By	Date
Architectural PM				
Architectural PA				
Architectural PD				
Civil				
Structural				
Mechanical				
Electrical				
Fire Protection				
Interiors				
Design Manager				
Landscaping				



GRAPHIC SCALE

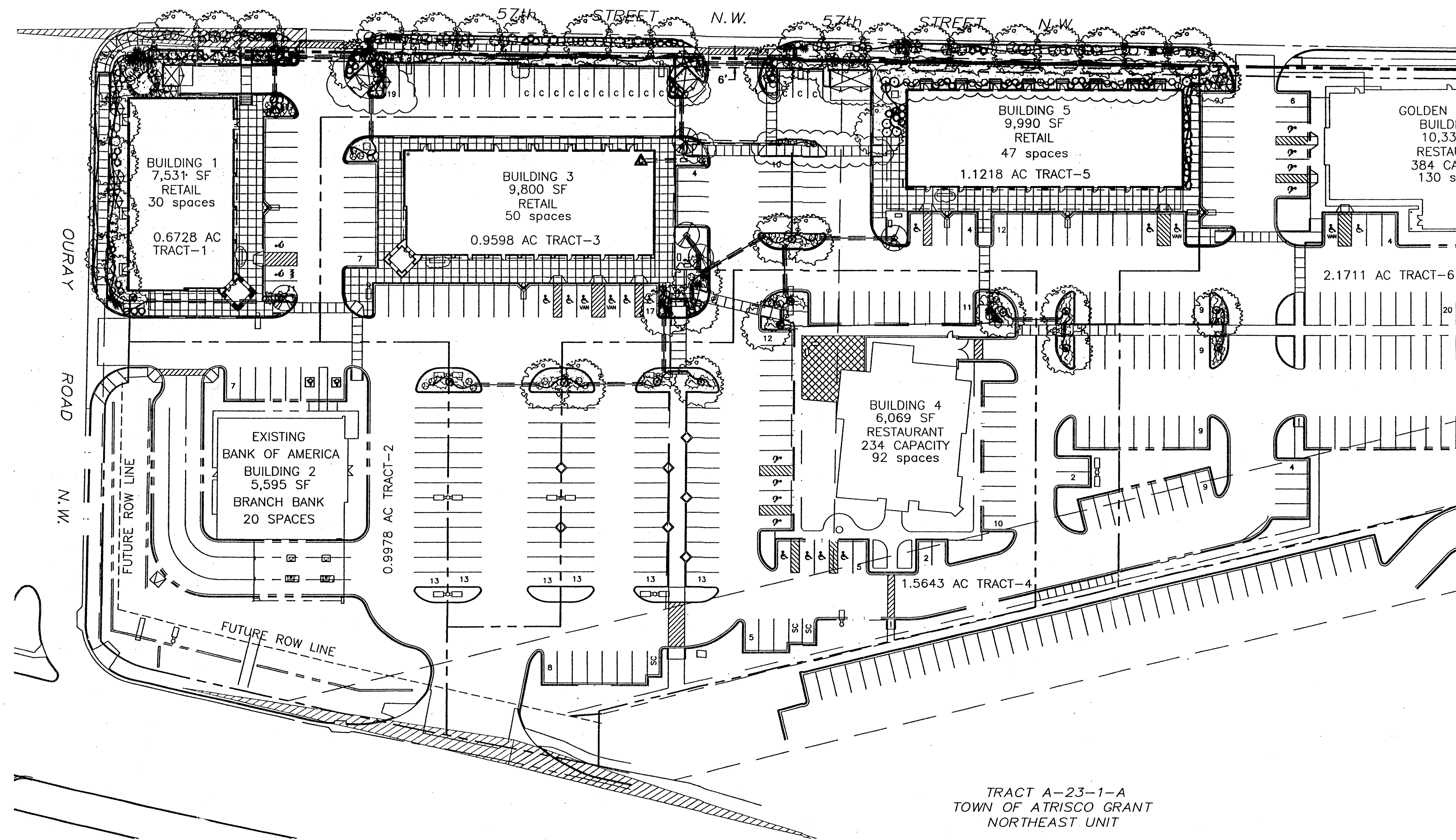


SCALE: 1"=40'



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith NE,
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com

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TRACT A-23-1-A
TOWN OF ATRISCO GRANT
NORTHEAST UNIT

IRRIGATION LEGEND

- ▲ CONTROLLER, LOCATION TO BE DETERMINED IN FIELD
- BACKFLOW PREVENTOR
- HOT BOX
- LATERAL, SIZE PER PLAN (UNSIZED PIPE TO BE 3/4")
- ~ DRIP LINE, SIZE PER PLAN (UNSIZED DRIP LINE TO BE 1/2")
- ≡≡ SLEEVE, 2X PIPE TO BE SLEEVED.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

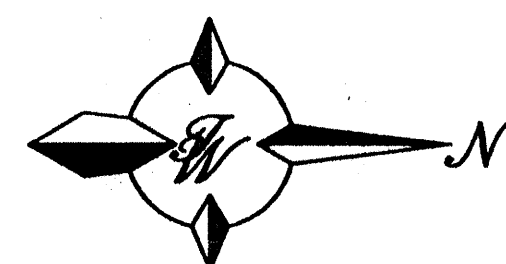
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field.

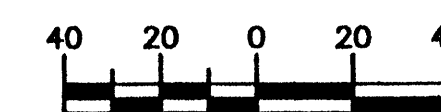
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

INTERDISCIPLINE COORDINATION REVIEW				
Discipline	Reviewed By	Date	Back Checked By	Date
Architectural PM				
Architectural PA				
Architectural PD				
Civil				
Structural				
Mechanical				
Electrical				
Fire Protection				
Interiors				
Design Manager				
Landscaping				

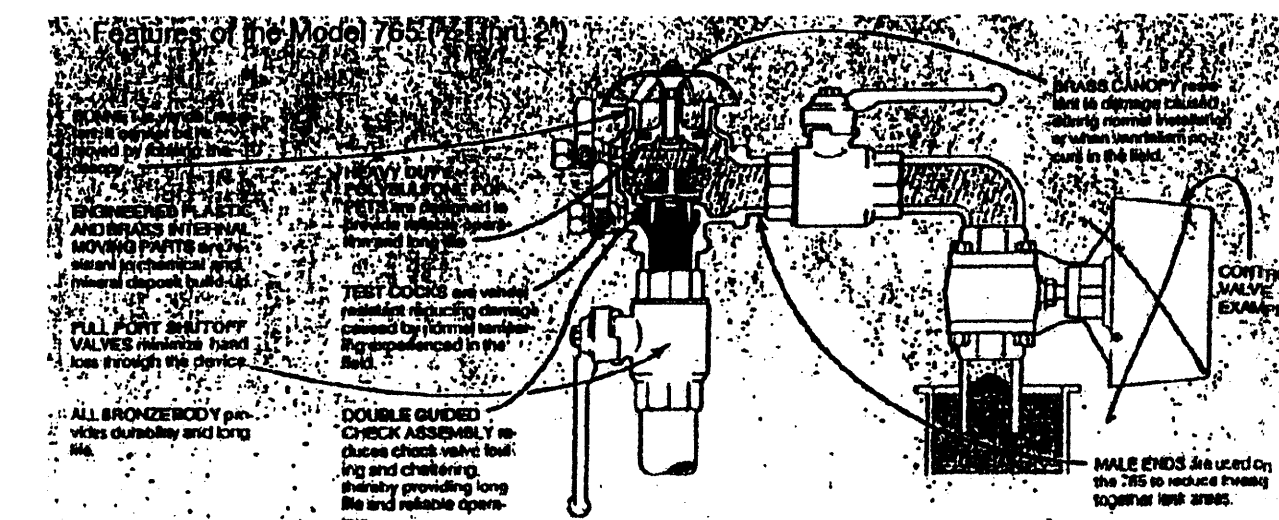
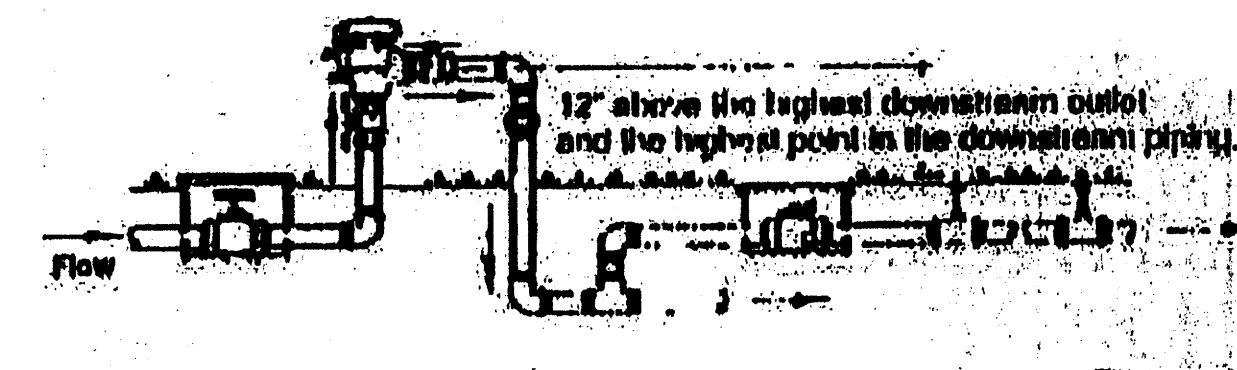


GRAPHIC SCALE



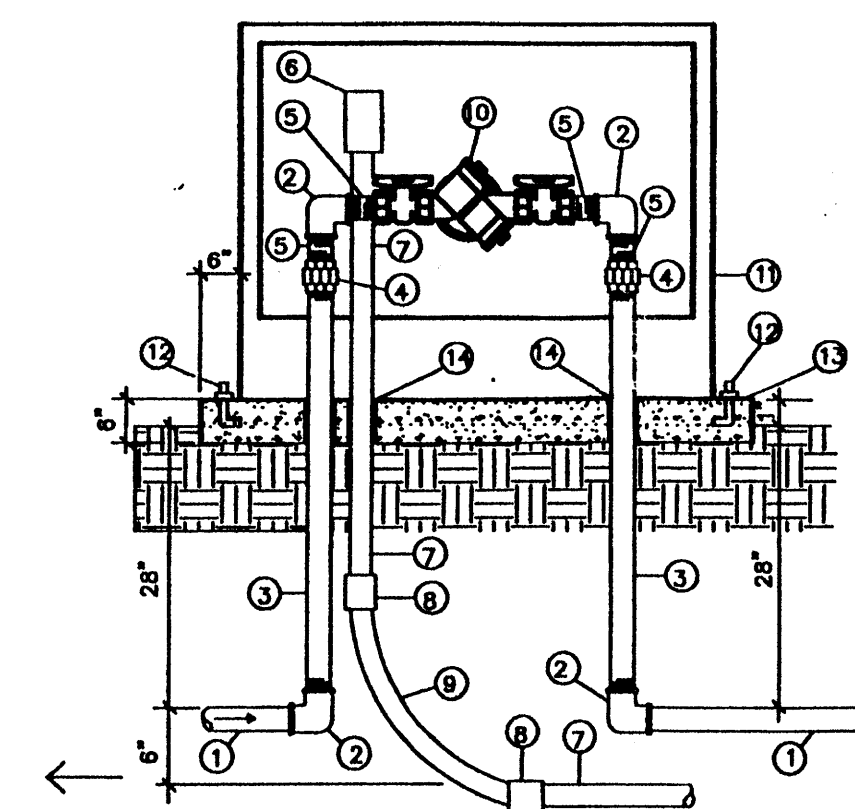
SCALE: 1"=40'

Febco Model 765



BACKFLOW PREVENTOR DETAIL

NO SCALE



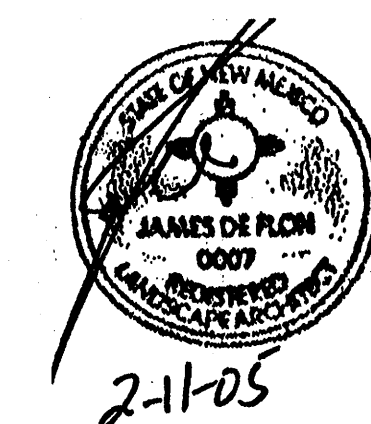
TO WATER METER

- ① PVC MAINLINE (SEE LEGEND)
- ② GALVANIZED ELBOW
- ③ GALVANIZED NIPPLE - 42" LENGTH
- ④ GALVANIZED UNION
- ⑤ GALVANIZED NIPPLE - 3" LENGTH
- ⑥ JUNCTION BOX FOR HEAT TAPE
- ⑦ RIGID STEEL CONDUIT
- ⑧ WATERTIGHT CONNECTOR
- ⑨ RIGID STEEL SWEEP ELL
- ⑩ PRESSURE BACKFLOW FEBCO MODEL 765 PREVENTOR OR APPROVED EQUAL
- ⑪ INSULATED ENCLOSURE (SEE LEGEND)
- ⑫ ANCHOR BOLTS
- ⑬ 3000 PSI CONCRETE PAD WITH TOOLED EDGES
- ⑭ PVC SLEEVE

NOTE:
CONTRACTOR SHALL SUPPLY AND INSTALL WINTERGARD WET H612 HEAT CABLE AROUND EXPOSED PIPES AND BACKFLOW PREVENTOR. MINIMUM 1:3 SPIRALLING RATIO.

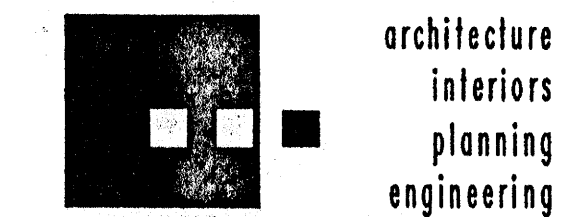
HOT BOX DETAIL

NO SCALE



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

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Fax (505) 898-7737
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Dekker Perich Sabatini

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Suite 100
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dps@dpsabq.com

ARCHITECT

ENGINEER

PROJECT

Quail Plaza
Retail Shops Buildings
Coors and Quail, NW
Albuquerque, New Mexico

REVISIONS

- △
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- △
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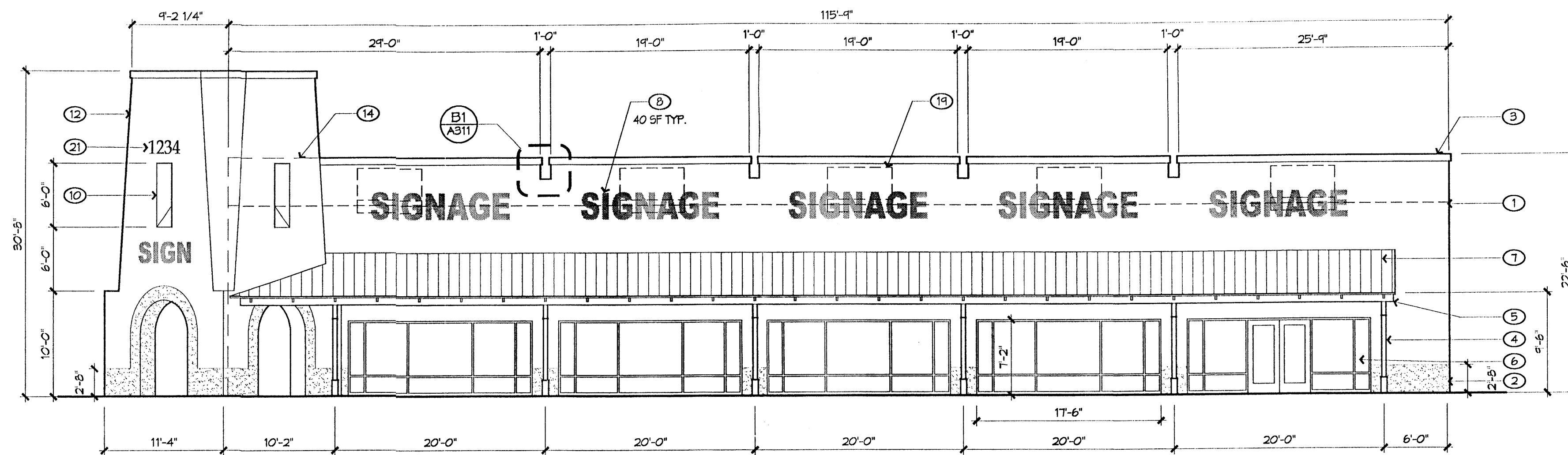
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REVIEWED BY	CMD
DATE	2/11/05
PROJECT NO.	04114
DRAWING NAME	

IRRIGATION PLAN

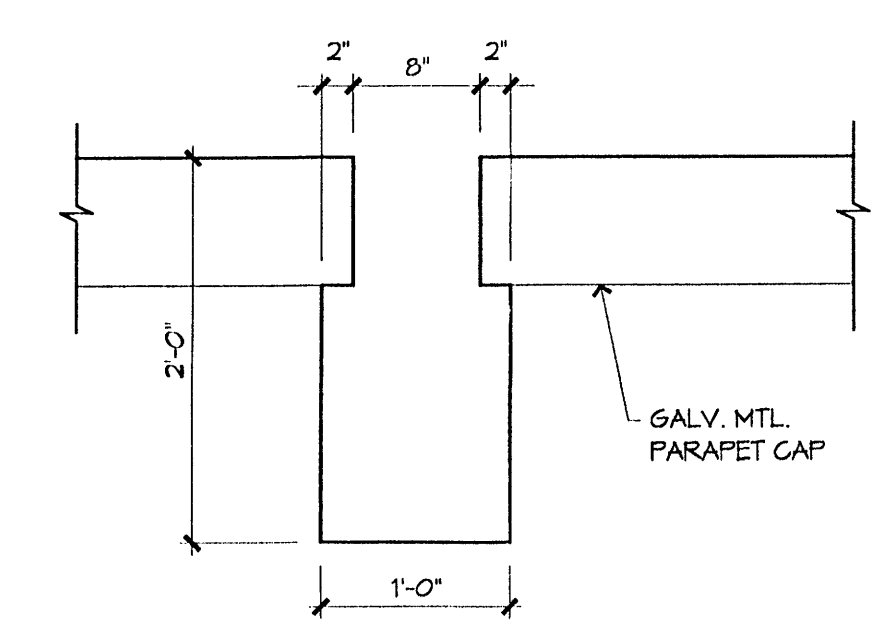
SHEET NO.

L002

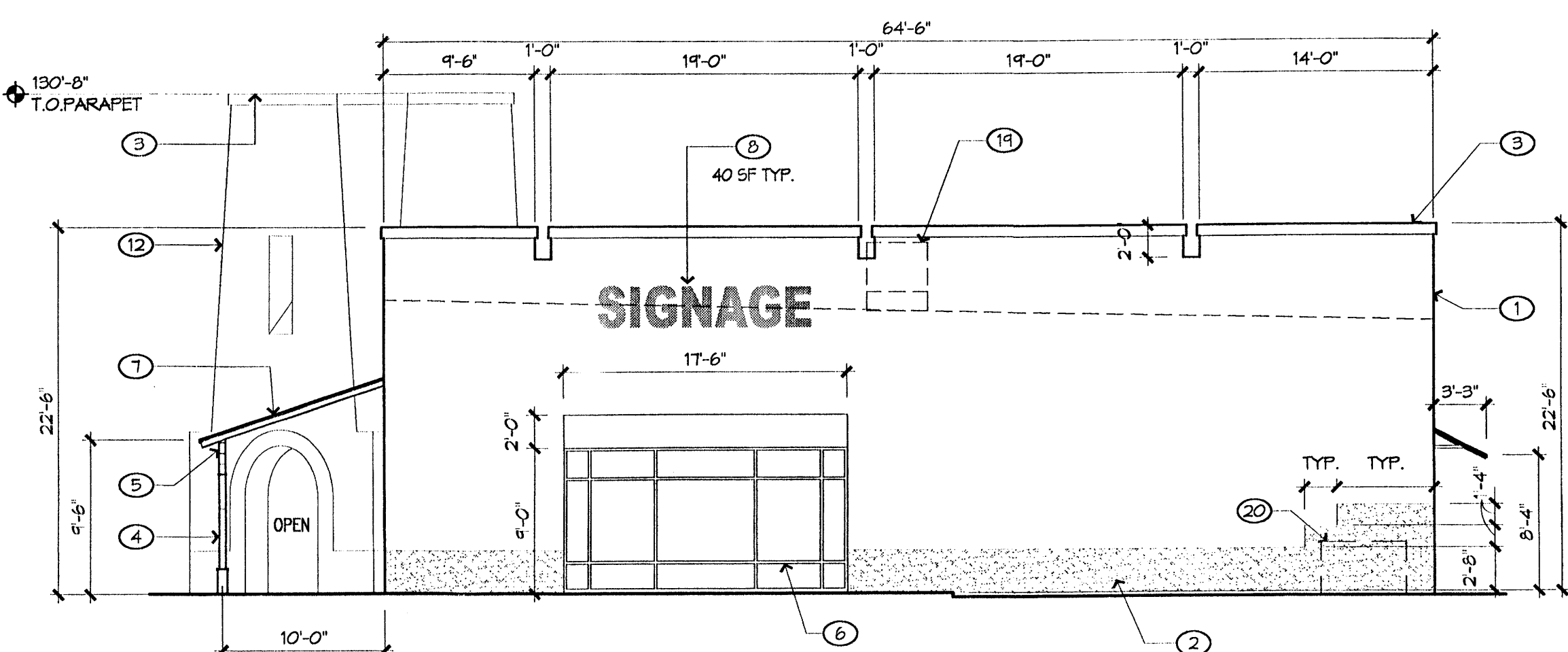
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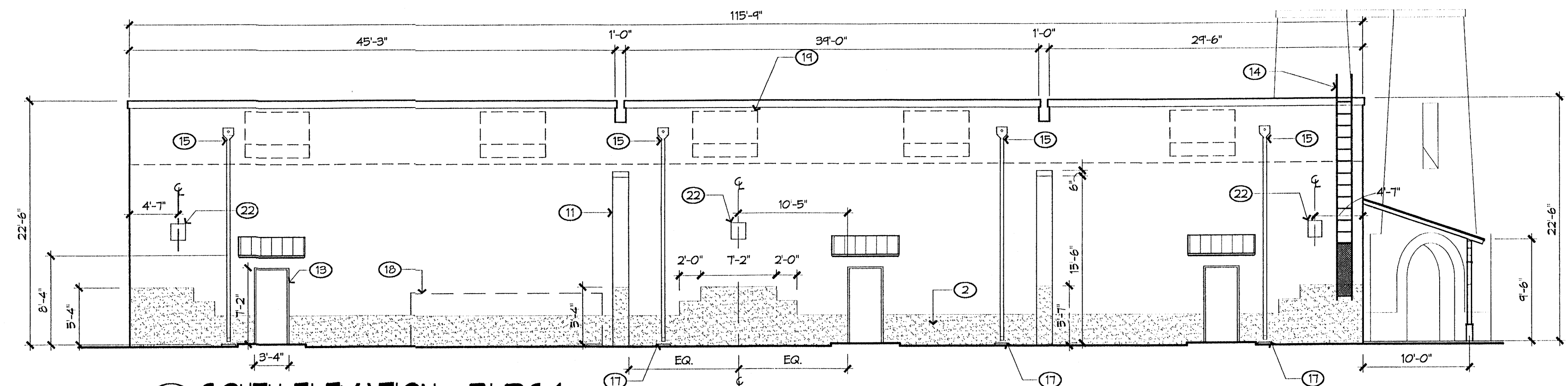
A2 NORTH ELEVATION - BLDG.1
1/8" = 1'-0"



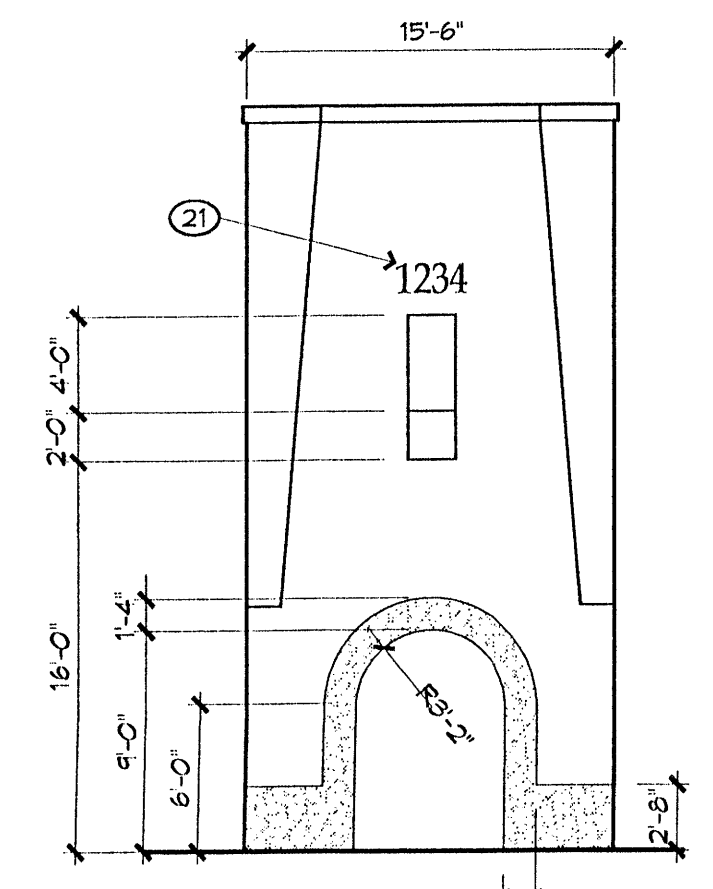
B1 DETAIL
1/8" = 1'-0"



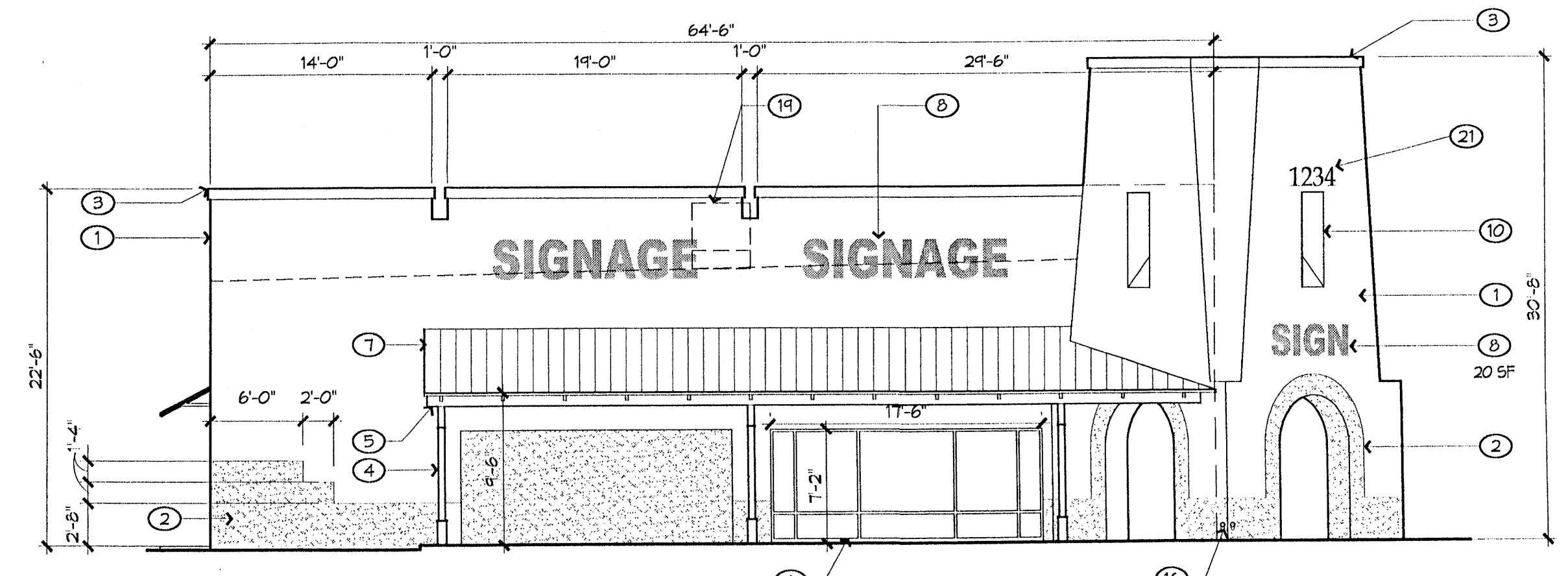
B3 WEST ELEVATION - BLDG.1
1/8" = 1'-0"



C2 SOUTH ELEVATION - BLDG.1
1/8" = 1'-0"



D1 TOWER ELEVATION
1/8" = 1'-0"



D3 EAST ELEVATION - BLDG.1
1/8" = 1'-0"

GENERAL NOTES

- A. ALL BUILDING SIGNAGE SHALL COMPLY WITH C-2 SIGN REGULATIONS, 5' HIGH MAX
 - 10% OF WALL AREA ON SIDES FACING COORS
 - 10% OF WALL AREA ON SIDES FACING QUAIL
 - 10% OF WALL AREA ON SIDES FACING COURAY
 - 10% OF WALL AREA ON SIDES FACING 5TH
- B. PARAPETS SHALL BE AT LEAST AS HIGH AS THE TOP OF THE TALLEST ROOFTOP MECHANICAL EQUIPMENT, OR STUCCOED ROOF MOUNTED SCREENS SHALL BE PROVIDED AT LEAST AS HIGH AS THE TOP OF THE EQUIPMENT THEY SCREEN
- C. DOOR AND WINDOW OPENINGS SHALL BE RECESSED AT LEAST 4" FROM THE FACE OF THE ADJACENT WALL SURFACE.

KEYED NOTES

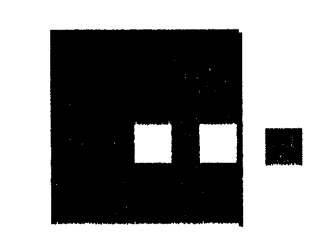
- 1. TWO COAT STUCCO SYSTEM, COLOR: FIELD COLOR: STO "PUEBLO"
- 2. TWO COAT STUCCO SYSTEM, COLOR: ACCENT COLOR: STO "ADOBE BROWN"
- 3. GALV. PARAPET CAPS, COLOR: "MARBLE WHITE"
- 4. STEEL TUBE COLUMNS WITH BAR AND PLATE DETAILS, PAINTED WHITE
- 5. TS BEAM, PAINT
- 6. ALUMINUM STOREFRONT
- 7. METAL ROOFING PANELS, GALVALUM FINISH, OVER STRUCTURAL DECKING
- 8. SURFACE MOUNTED, INTERNALLY LIT SIGNAGE, INDIVIDUAL METAL CHANNEL LETTERS WITH ACRYLIC FACES. EXPOSED RACEWAYS ARE NOT ALLOWED. BOX SIGNS ARE NOT ALLOWED EXCEPT FOR LOGOS. BY TENDANT
- 9. LIGHT FIXTURE ON TOP OF PORTAL BEAMS, COORDINATE WITH ELECTRICAL
- 10. RECESSED OPENING
- 11. PILASTER WITH FINISHES TO MATCH ADJACENT WALL SURFACE
- 12. TAPERING CHAMFERED CORNERS ON TOWER ELEMENTS
- 13. HOLLOW METAL DOOR AND FRAME, PAINTED WHITE
- 14. ROOF ACCESS LADDER
- 15. SCUPPER/CONDUCTOR HEAD/DOWNSPOUT, RE: DETAIL D4/A2/11
- 16. ROOF DRAIN & OVERFLOW ROOF DRAIN NOZZLE, RE: D3/A1/11
- 17. PRECAST CONG. SPLASH BLOCK
- 18. AREA FOR ELECTRICAL PANELS, COORDINATE WITH ELECTRICAL, PAINT EQUIP. TO MATCH ADJACENT STUCCO
- 19. MECHANICAL ROOF TOP UNIT, RE: MECHANICAL
- 20. AREA FOR GAS METER, COORDINATE WITH MECHANICAL
- 21. BUILDING ADDRESS, 15" HIGH ACRYLIC LETTERS, FONT: BOOK ANTIQUA
- 22. LIGHT FIXTURE, RE: ELECTRICAL

EXTERIOR FINISHES

- 1. COLUMNS AND PORTAL STRUCTURE: STEEL, PAINTED BENJAMIN MOORE - ACADIA WHITE - AC-4
- 2. PAINTED TRIM (RAFTER TAILS, ETC): BENJAMIN MOORE - ACADIA WHITE - AC-40
- 3. ORNAMENTAL METAL FENCING/SITE FURNITURE: BENJAMIN MOORE - ACADIA WHITE - AC-40
- 4. METAL ROOFING: BERKEDGE "K" PANEL, "GALVALUM" FINISH

Quail Plaza

Site Development Plan
for Building Permit
Administrative
Amendment

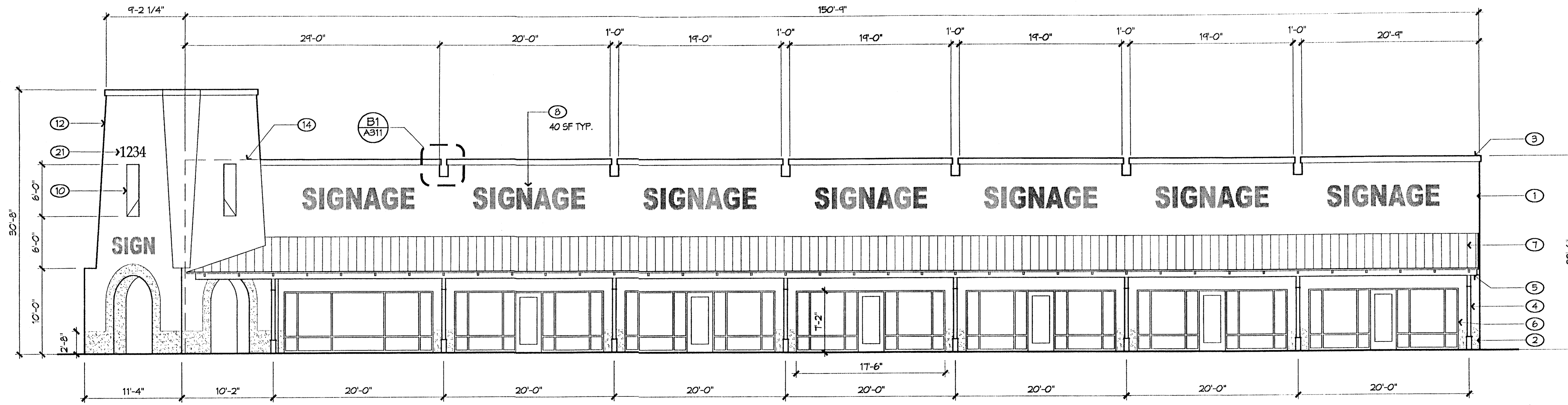


Dekker/Perich/Sabatini

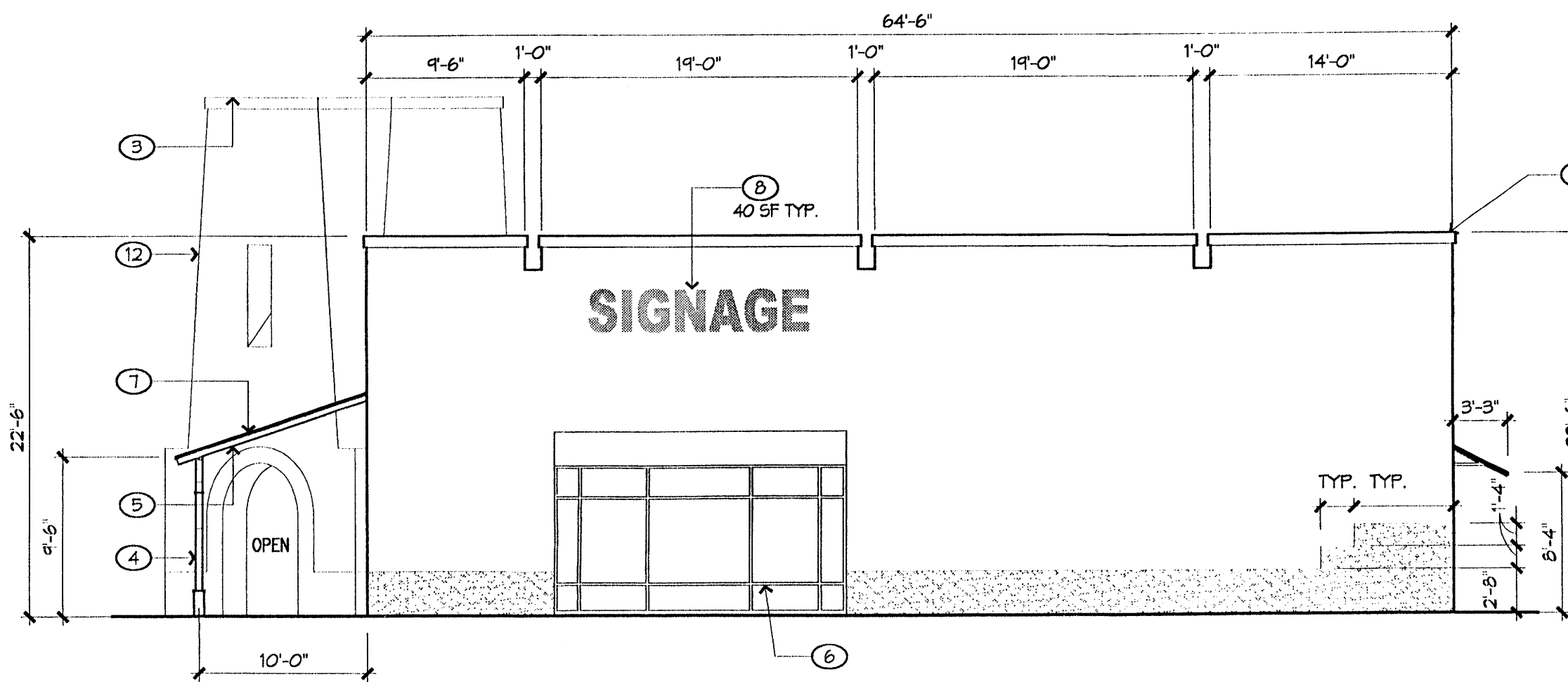
architecture ■ interiors ■ planning ■ engineering
6801 Jefferson NE, Suite 100
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505 761-9700
fax 761-4222

03009

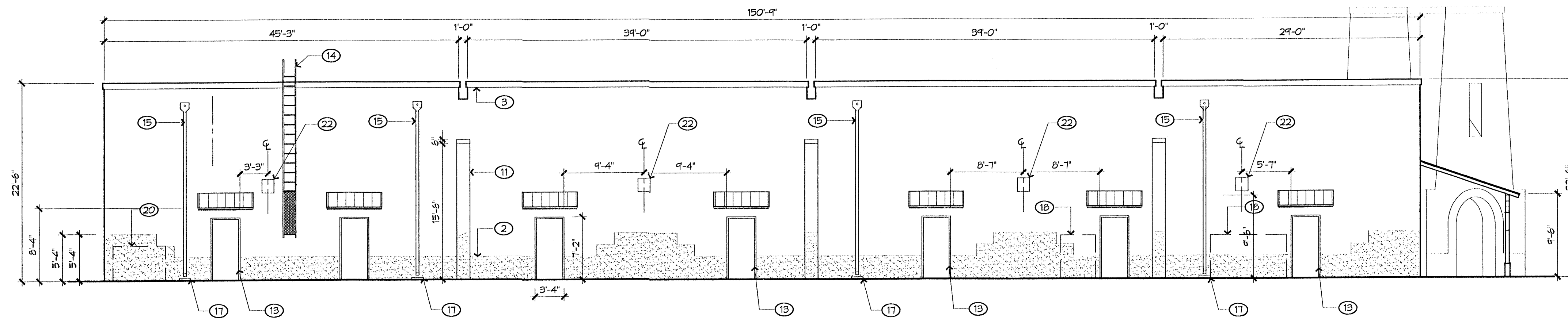
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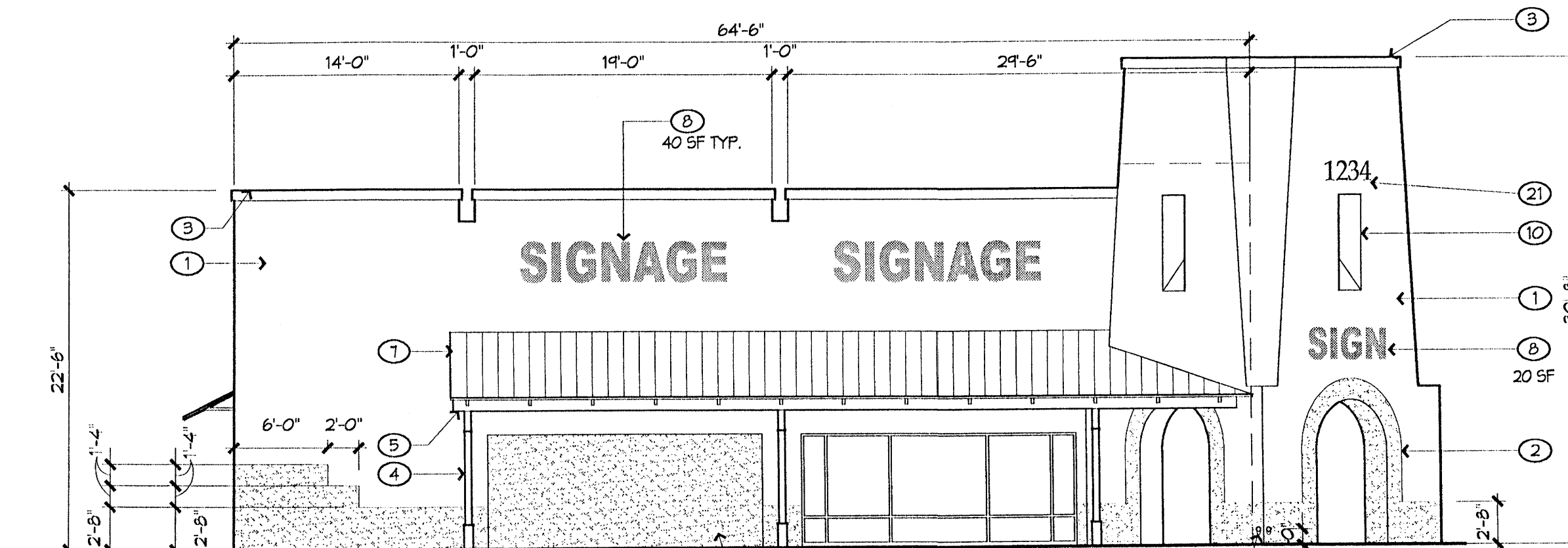
A2 EAST ELEVATION - BLDG.3
1/8" = 1'-0"



B3 NORTH ELEVATION - BLDG.3
1/8" = 1'-0"



C2 WEST ELEVATION - BLDG.3
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D3 SOUTH ELEVATION - BLDG.3
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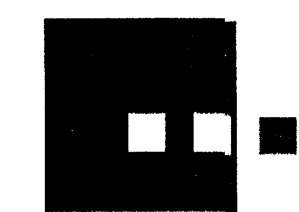
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- 14. ROOF ACCESS LADDER
- 15. SCUPPER/CONDUCTOR HEAD/DOWNSPOUT, RE. DETAIL D4/A291
- 16. ROOF DRAIN & OVERFLOW ROOF DRAIN NOZZLE, RE. D3/A191
- 17. PRECAST CONG. SPLASH BLOCK
- 18. AREA FOR ELECTRICAL PANELS, COORDINATE WITH ELECTRICAL, PAINT EQUIP. TO MATCH ADJACENT STUCCO
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