PROJECT 1002507

EXTERIOR LIGHT FIXTURES

NOTE: ALL EXTERIOR LIGHTING SHALL BE FULL CUT-OFF AND / OR ANGLED TO PREVENT LIGHT FROM GLARING ON ADJACENT PROPERTIES AND ROADWAYS.

TYPE 1: WALL PACK UP 10'-0"

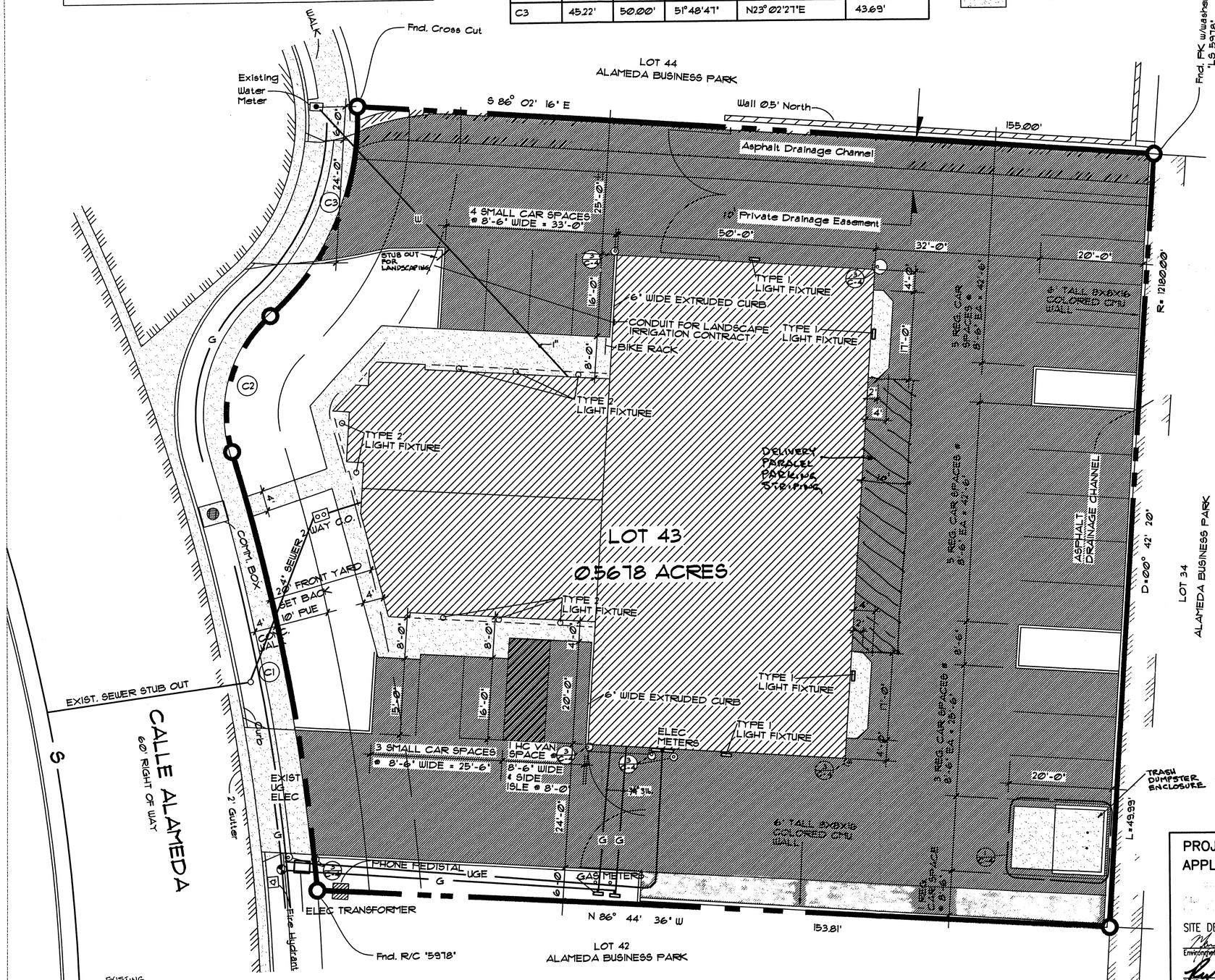
TYPE 2: RECESSED SOFFIT DOWNLIGHT

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CORD BEARING	CORD DIST.
C1	87.06'	410.00'	12°09'56"	N10°46'03"W	86.89'
C2	28.71'	25.00'	65°47'51"	N16°02'55"E	27.16'
C3	45.22'	50.00'	51°48'47"	N23°02'27"E	43.69'

LEGEND

ASPHALT PAVING

CONCRETE WALK



1 SITE PLAN

SCALE: 1" = 10'-0"

5' 0' 10' 30'

SCALE IN FEET

NORTH

LEGAL DESCRIPTION

LOT NUMBERED FORTY-THREE OF ALAMEDA BUSINESS PARK, (A REPLAT OF TRACT B-1-A-1, LANDS OF SPRINGER BUILDING MATERIALS CORPORATION), ALBUQUERQUE, NEW MEXICO, AS THE SAME AS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 29, 1999, IN BOOK 99C, PAGE 167, AS DOC. NO. 1999085494.

STATE OF NEW MEXICO
GEORGE L. SANDERS
No. 1066
REGISTERED ARCHITECT
2/7/03

WAREHOUSE 50' X 95' = 4750 S.F. 1 PARKING SPACE PER 2000 S.F. = 3 SPACES

OFFICE = 2230 S.F. 1 PARKING SPACE PER 200 S.F. = 12 SPACES

TOTAL REQUIRED 15 SPACES

TOTAL PROVIDED		
	REG. CAR	14 SPACES
	HANDICAP	1 SPACES
	SMALL CAR	7 SPACES
	TOTAL	22 SPACES

THE TOTAL LANDSCAPED AREA REQUIRED SHALL EQUAL NOT LESS THAN 15% OF THE NET LOT AREA. NET = TOTAL AREA OF LOT MINUS THE AREA OF THE LOT COVERED BY BUILDINGS

LOT SIZE = 24,133 S.F.

-6980 S.F. BUILDING FOOTPRINT

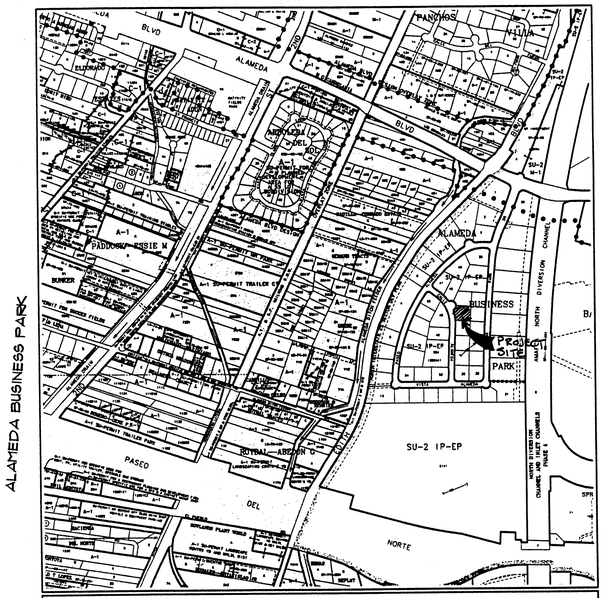
17,153 S.F.

X15%

2663 S.F. LANDSCAPING REQUIRED

3100 S.F. LANDSCAPING PROVIDED

FIRE PLANS CHECKING OFFICE
2-24-03
APPROVED
2.24.03



PROJECT NUMBER: 1002507

APPLICATION NUMBER: 03DRB-00302

SITE DEVELOPMENT PLAN APPROVAL:

Environmental Health Department	3/11/03 Date	Solid Waste Management	2-24-03 Date
Traffic Engineering, Transportation Division	3-12-03 Date	Utilities Development	3-12-03 Date
Parks and Recreation Department	3/12/03 Date	City Engineer	3/12/03 Date

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Development Process Manual.

City Planner, Planning Department — 3/12/03 Date

signature block.xls 11/5/02

BAKER CONSTRUCTION OFFICE/WAREHOUSE

LOT 43 CALLE ALAMEDA

ALBUQUERQUE, NEW MEXICO

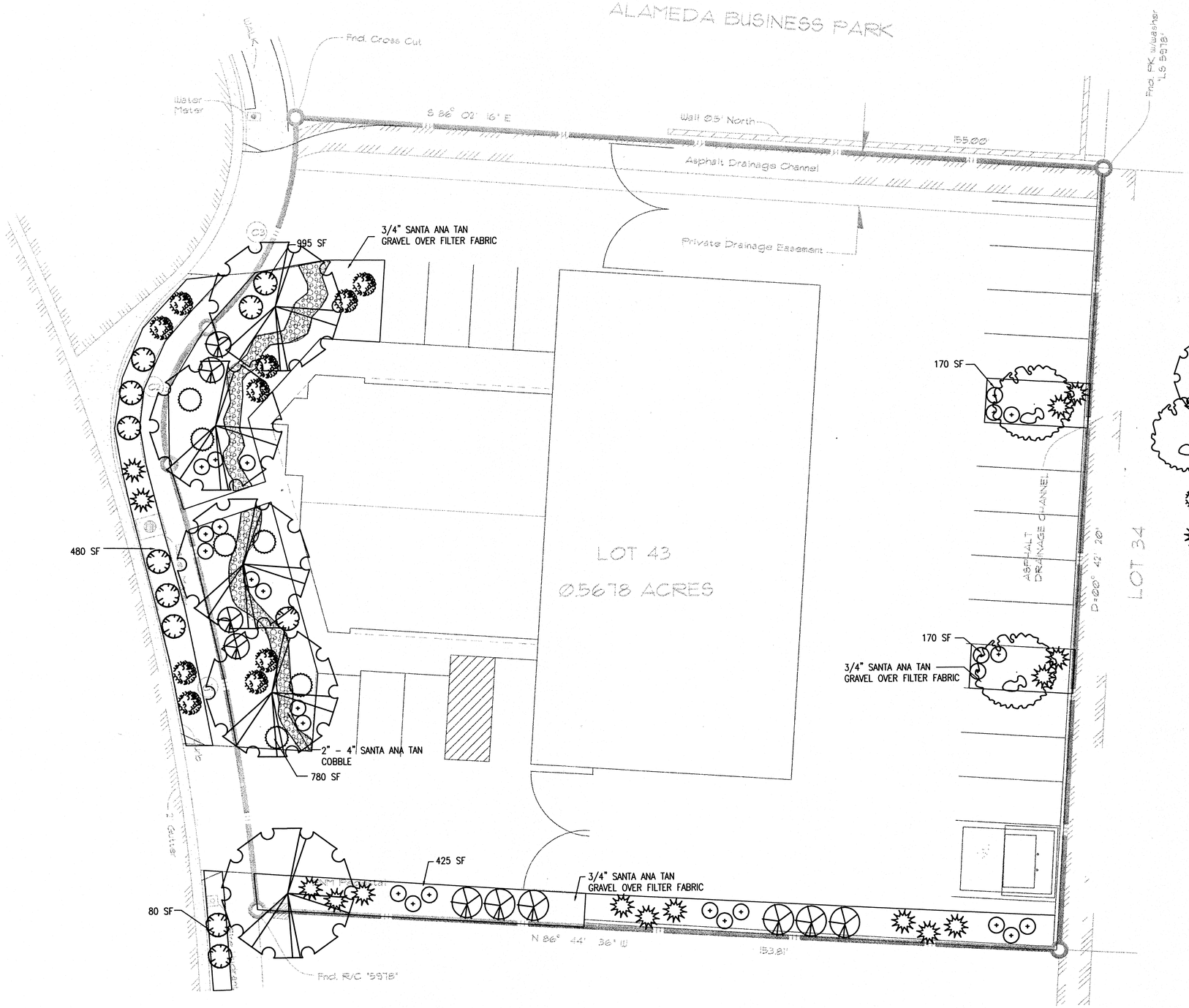
SANDERS & ASSOCIATES ARCHITECTS, P.C. 600 CENTRAL AVE. S.W. SUITE 111 ALBUQUERQUE N.M. 87102 (505) 842-8413 FAX (505) 242-2280

project no. 0218

sheet C-1 of

date 2-03-03

SITE PLAN FOR BUILDING PERMIT



1 SITE LANDSCAPING PLAN

SCALE: 1" = 10'-0"

5' 0' 10' 30'

SCALE IN FEET

NORTH

LEGAL DESCRIPTION

LOT NUMBERED FORTY-THREE OF ALAMEDA BUSINESS PARK, (A REPLAT OF TRACT B-1-A-1, LANDS OF SPRINGER BUILDING MATERIALS CORPORATION), ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 29, 1999, IN BOOK 99C, PAGE 167, AS DOC. NO. 1999085484.

WAREHOUSE 53' X 80' = 4150 S.F.		1 PARKING SPACE PER 1000 S.F. = 3 SPACES	
OFFICE =	2330 S.F.	1 PARKING SPACE PER 200 S.F. = 12 SPACES	
TOTAL REQUIRED			15 SPACES
TOTAL PROVIDED	REG. CAR		14 SPACES
	HANDICAP		1 SPACES
	SMALL CAR		7 SPACES
	TOTAL		22 SPACES

THE TOTAL LANDSCAPED AREA REQUIRED SHALL EQUAL NOT LESS THAN 15% OF THE NET LOT AREA. NET = TOTAL AREA OF LOT MINUS THE AREA OF THE LOT COVERED BY BUILDINGS

LOT SIZE = 24,133 S.F.
-6980 S.F. BUILDING FOOTPRINT
17,153 S.F.
X15%
2663 S.F. LANDSCAPING REQUIRED

3100 S.F. LANDSCAPING PROVIDED

PLANT LEGEND

symbol	qty	botanical name	common name	size	water use
	5	Robinia Ambigua	Purple Robe Locust	2" cal	L
	2	Chilopsis lineans	Desert Willow	15 gal	M
	11	Rhus trilobata	Three-leaf Sumac	5 gal	M
	10	Atriplex Canescens	Four Wing Saltbush	5 gal	L
	10	Fallugia Paradoxa	Apache Plume	5 gal	L
	15	Chrysothamnus Nauseosus	Chamisa	5 gal	L
	6	Lonicera Sempervirens	Coral Honeysuckle	5 gal	M
	25	Lonicera Japonica Halliana	Hall's Honeysuckle	1 gal	M

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTES

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH 2" - 4" OR 3/4" SANTA ANA TAN GRAVEL AT 2" - 3" DEPTH OVER FILTER FABRIC

APROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THAN 50' FROM A TREE

Heads Up
LANDSCAPE CONTRACTORS
7525 SECOND ST. NW
ALBUQUERQUE, NM
(505) 898-9615
LICENSE 18890
www.headsuplandscape.com

STATE OF NEW MEXICO
JOHN GILLIES BRALY
128
REGISTERED LANDSCAPE ARCHITECT

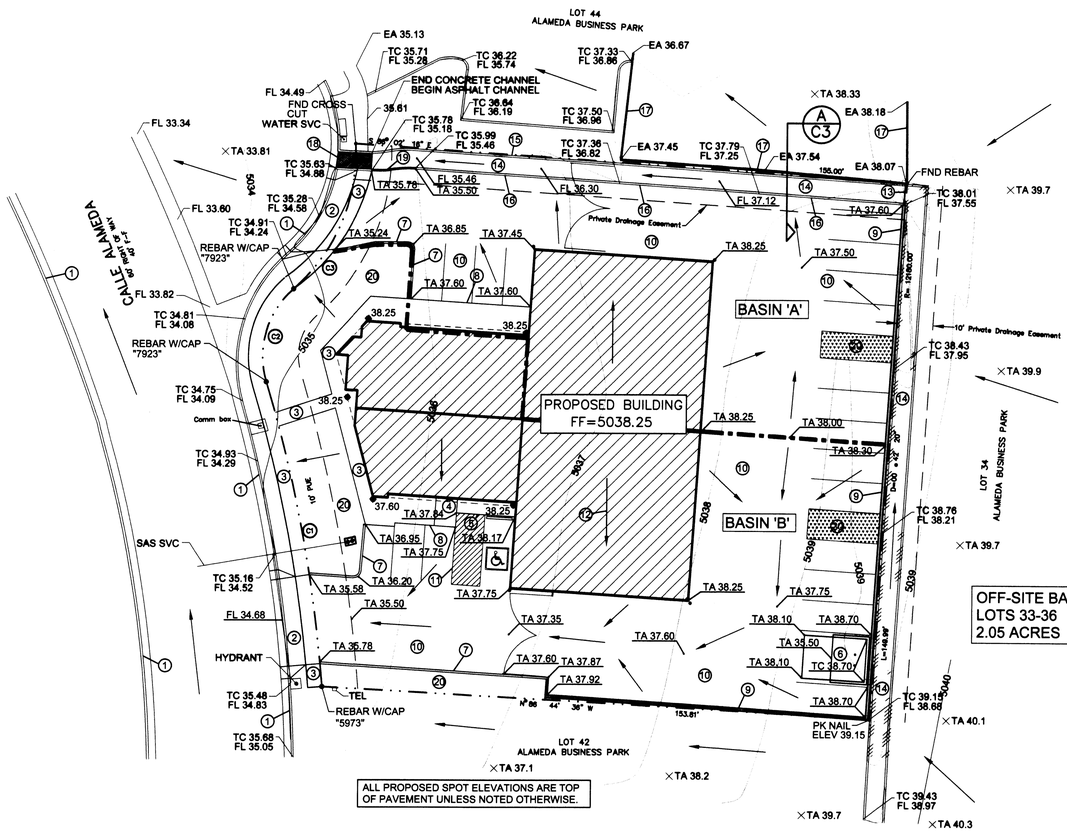
BAKER CONSTRUCTION OFFICE/WAREHOUSE

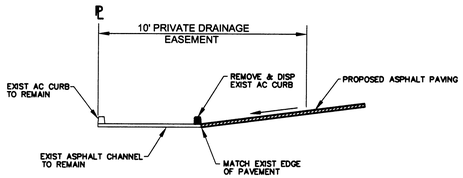
LOT 43 CALLE ALAMEDA
ALBUQUERQUE, NEW MEXICO

SANDERS & ASSOCIATES ARCHITECTS, P.C. 600 CENTRAL AVE. S.W. SUITE 111 ALBUQUERQUE N.M. 87102 (505) 842-8413 FAX (505) 242-2280

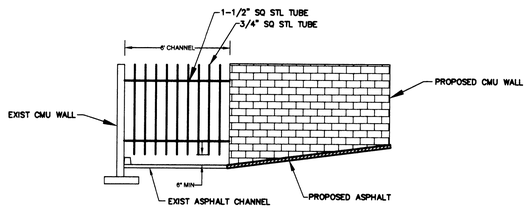
project no 0218
sheet C-2 of *
date 2-03-03

SITE PLAN FOR BUILDING PERMIT





EASEMENT SWALE SECTION (A/C3) NTS



IRON FENCE DETAIL (B/C3) NTS

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CORD BEARING	CORD DIST.
C1	87.06'	410.00'	12°09'56"	N10°46'03"W	86.89'
C2	28.71'	25.00'	65°47'51"	N16°02'55"E	27.16'
C3	45.22'	50.00'	51°48'47"	N23°02'27"E	43.69'

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF WAY
NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1985.
3. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS

INSPECTOR DATE

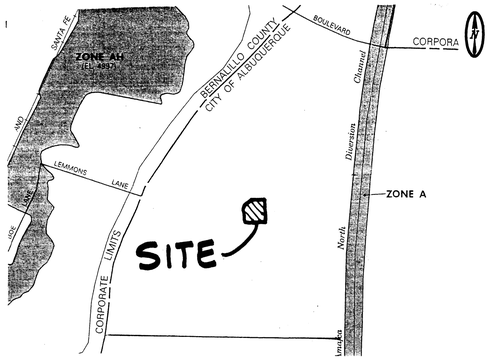
HYDROLOGY – AHYMO								
Precipitation Zone 2							P360 = 2.35 in	
Basin	Basin	Land Treatment (acre)				Ew	V100	Q100
	area (Ac)	A	B	C	D	(in)	(af)	(cfs)
Existing Conditions								
SITE	0.57	0	0	0.57	0	1.13	0.5370	1.80
OFFSITE	2.05	0	0	2.05	0	1.13	0.1930	6.47
Developed Conditions								
SITE	0.57	0	0.03	0.06	0.48	1.95	0.0926	2.5
A	0.23	0	0.02	0.03	0.27	1.95	0.0520	1.4
B	0.25	0	0.01	0.02	0.22	1.95	0.0406	1.1
OFFSITE	2.05	0	0.10	0.20	1.75	1.95	0.3331	9.0

GRADING & DRAINAGE PLAN

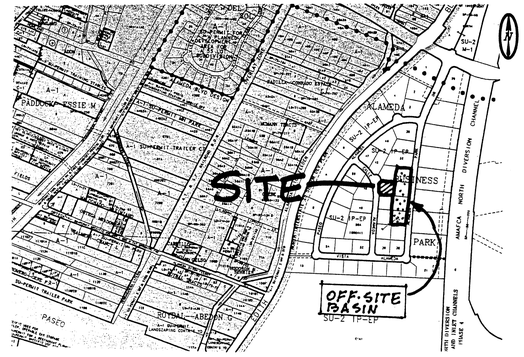
SCALE: 1" = 20'-0"

NORTH

C:\02556\02556-G&D.dwg 02/14/03 11:42:24 AM MST



FIRM PANEL 35001C0136
SCALE: 1"=500'



LOCATION MAP ZONE ATLAS MAP C16
NOT TO SCALE

GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of Baker Office/Warehouse located at 8524 Calle Alameda NE. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements.

EXISTING CONDITIONS

The project site is approximately 0.57 acres in size and is located at 8524 Calle Alameda NE, just north of Vista Alameda. The project site is particularly described as Lot 43, Alameda Business Park. The site is bounded by industrial properties on the east, north and south, and Calle Alameda on the west Site topography slopes from east to west at approximately 2 percent, draining to Calle Alameda. The site is also north and east by Masterplan drainage channels that convey runoff from an off-site consisting of Lots 33 thru 36 (2.05-acres). All off-site runoff discharges through 2 existing sidewalk culverts to Calle Alameda. From the site all on-site and off-site runoff drains to improvements provided by Alameda Business Park. Masterplan drainage improvements constructed for the development convey all runoff to an existing retention pond located to the north on Tract A. The retention pond drains by a sump pump to the AMAFCA North Diversion Channel.

As shown by the attached FIRM Panel, this site is not impacted by a Flood Hazard Zone.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of the Baker Office/Warehouse with associated site improvements. The Plan shows the contours and elevations required to properly grade and construct the required paving and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions. The drainage criteria for the site was established by the Drainage Masterplan for Alameda Business Park, prepared by Bohannan Huston, dated February 19, 1999.

All drainage flows will be managed on-site and discharge to the Masterplan drainage improvements that convey all runoff to an existing retention pond located to the north. Basin A drains north to the north easement channel. The channel will be modified as shown by Section 'A'. Basin B drains west to Calle Alameda through the proposed south drivepad.

EROSION CONTROL

Temporary erosion control will be required during the construction phase to protect downstream property and improvements from sediment and uncontrolled runoff. This Plan recommends the placement of silt fencing along the construction boundaries to mitigate sediment deposition into the adjoining properties and public streets. and public streets. it is the contractors responsibility to propoerly maintain these facilities during the construction phase of the project.

CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

DRAINAGE PLAN NOTES

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

LEGEND

ITEM	EXISTING	PROPOSED
MOUNTABLE CURB		
STD CURB & GUTTER		
DROP INLET		
OVERHEAD ELEC	OHU	
UNDERGROUND ELEC, GAS, TEL, TV	UGT	
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	99.3	99.31
SPOT ELEV.	16.7	16.7
SEWER SERVICE		
POWER POLE (GUYED)	PP	
CENTERLINE		
RETAINING WALL		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
STREET LIGHT		
DIRECTION OF FLOW		
DRAINAGE SWALE		
DRAINAGE BASIN DIVIDE		

PROPERTY ADDRESS

8524 Calle Alameda NE

LEGAL DESCRIPTION

Lot 43, Alameda Business Park

MAPPING

Topographic and Field Measurements by
Brasher & Lorenz
Dated January, 2003

PROJECT BENCHMARK

AMAFCA BRASS TABLET "NDC-7-1B2"
station is located along NDC west frontage road at STA 150+55, approx 0.4 mile south of Alameda Blvd. ELEV = 5064.40 feet MSLD

KEYED NOTES

1. EXISTING STD CURB & GUTTER
2. SAWCUT EXIST STD C & G. CONSTRUCT 24' DRIVEPAD PER COA STD DWG 2425
3. CONSTRUCT 4' SIDEWALK
4. CONSTRUCT HANDICAP RAMP. SEE SITE PLAN
5. NO CURB AT ACCESSIBLE AREA. PROVIDE CONCRETE TIRE STOP AS SHOWN
6. CONSTRUCT REFUSE ENCLOSURE. SEE SITE PLAN
7. CONSTRUCT 6" EXTRUDED CONCRETE CURB
8. CONSTRUCT TURNDOWN SIDEWALK. SEE SITE PLAN
9. INSTALL 6' HIGH CMU WALL. SEE SITE PLAN
10. CONSTRUCT ASPHALT PAVEMENT. SEE SITE PLAN
11. PAINTED STRIPING PER COA CRITERIA
12. DIRECTION OF ROOF DRAINAGE
13. INSTALL 6 LF IRON FENCE AT CHANNEL. SEE DETAIL (B)
14. EXISTING ASPHALT CHANNEL. SEE SECTION (A)
15. EXISTING AC CURB TO REMAIN
16. REMOVE & DISPOSE OF EXISTING AC CURB AS SHOWN
17. EXISTING CMU WALL
18. INSTALL 2 – 24" CHECKERED PLATES AT EXIST SW CULVERT PER COA STD DWG 2236
19. CONSTRUCT 12 LF-6" CONCRETE HEADER CURB AS SHOWN
20. LANDSCAPING

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

DENNIS A. LORENZ
NEW MEXICO
9647
REGISTERED PROFESSIONAL ENGINEER
2-10-03

BAKER CONSTRUCTION OFFICE/WAREHOUSE
LOT 43 CALLE ALAMEDA
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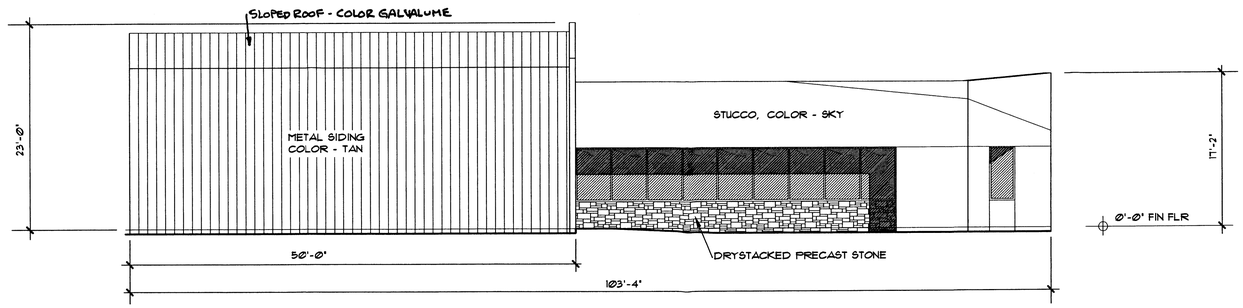
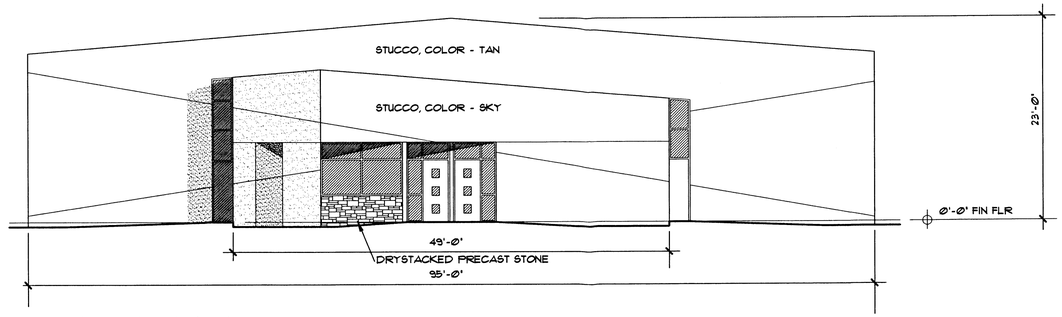
project no. 0218
sheet C-3
date 12-26-02

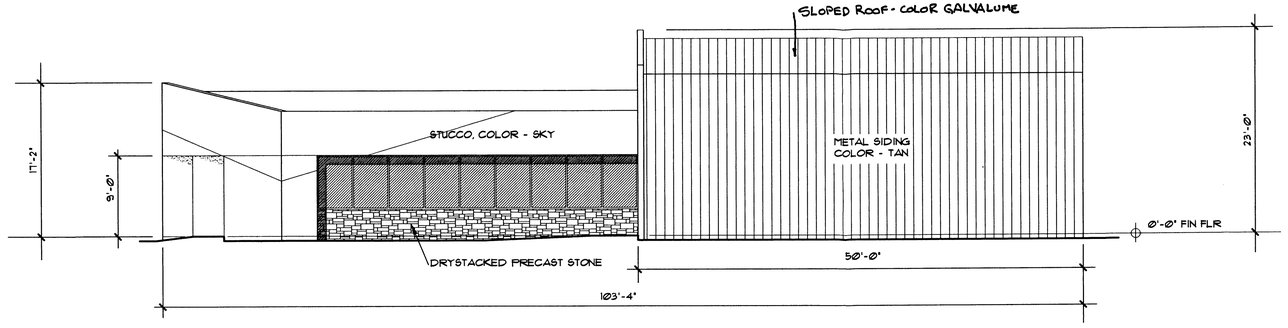
SITE PLAN FOR BUILDING PERMIT



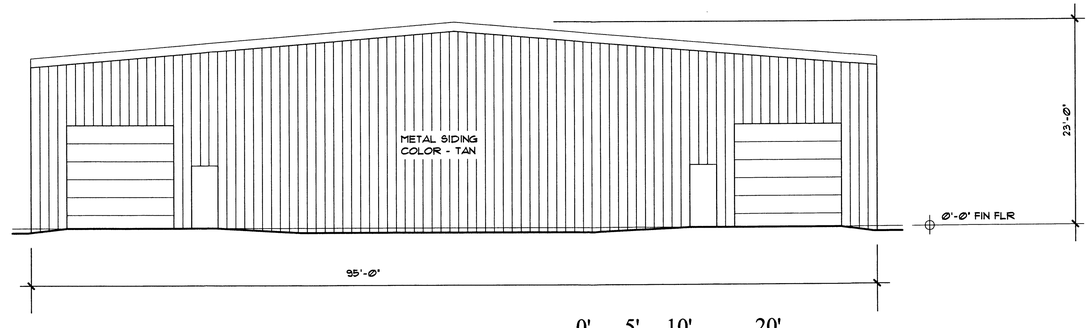
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

0' 5' 10' 20'

BAKER CONSTRUCTION OFFICE/WAREHOUSE

LOT 43 CALLE ALAMEDA
ALBUQUERQUE, NEW MEXICO

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project no. 0218
sheet
C-4
x of x
date 12-27-02

SITE PLAN FOR BUILDING PERMIT