



Completed
3-12-03
BA,

DRB CASE ACTION LOG

REVISED 1/16/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-00302 (SBP)	Project # 1002507
Project Name: ALAMEDA BUS. PK LOT 43	EPC Application No.:
Agent: Sanders & Associates Architects	Phone No.: 842-8413

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3/12/03 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

See comments dated _____

EPC comments (name) _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

Include 3 copies of the approved site plan along with the originals.

County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

Copy of recorded plat AND a DXF File for Planning.

Project Number 1002507



Marcia A. Pincus

03/07/03 01:02 PM

To: Sheran A. Matson/PWD/CABQ@COA

cc:

Subject: Re: Lot 43, Alameda Business Park, Zone Atlas Page C-16/DRB
Project #1002507 

this lot needs my signature.

Thanks



Sheran A. Matson

03/07/03 12:51 PM

To: Marcia A. Pincus/EHD/CABQ@COA

cc:

Subject: Lot 43, Alameda Business Park, Zone Atlas Page C-16/DRB
Project #1002507

Hi Marci

This lot is in for a site plan for BP approval on 3/12/03. My question is, would you like to sign off on this site plan or is it okay for me to put NA on your signature line? If you need to sign off, I will hold off on my signature until Mr. Sanders gets yours. Please let me know via reply to this e-mail.

Thanks!



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1002507

Item No. 12

Zone Atlas C-16

DATE ON AGENDA 3-12-03

INFRASTRUCTURE REQUIRED () YES (x) NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- (x) SITE PLAN FOR BUILDING PERMIT

No.	Comment
<input type="checkbox"/>	How are deliveries to take place and not effect the use of the parking stalls?

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002507

AGENDA ITEM NO: 12

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: March 12, 2003



DRB CASE ACTION LOG

REVISED 1/16/2003

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DRB Application No.: 03-00302 (SBP)
Project Name: ALAMEDA BUS. PK LOT 43
Agent: Sanders & Associates Architects

Project # 1002507
EPC Application No.: _____
Phone No.: 842-8413

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OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

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UTILITIES: _____

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PARKS / CIP: _____

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Project Number

1002507

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
3/12/03 Comments**

Item# 12

Project # 1002507

Application # 03DRB-00302

Subject: Alameda Business Park, Lot 43/SBP

The dumpster is not marked on the site plan.

Environmental Health Department must sign off on the site plan before Planning signs it .

The reference to the EPC should be removed from the signature block as EPC did not review this site plan. The site plan needs consistent page #s and the words "Site Plan for Building Permit" on each page.

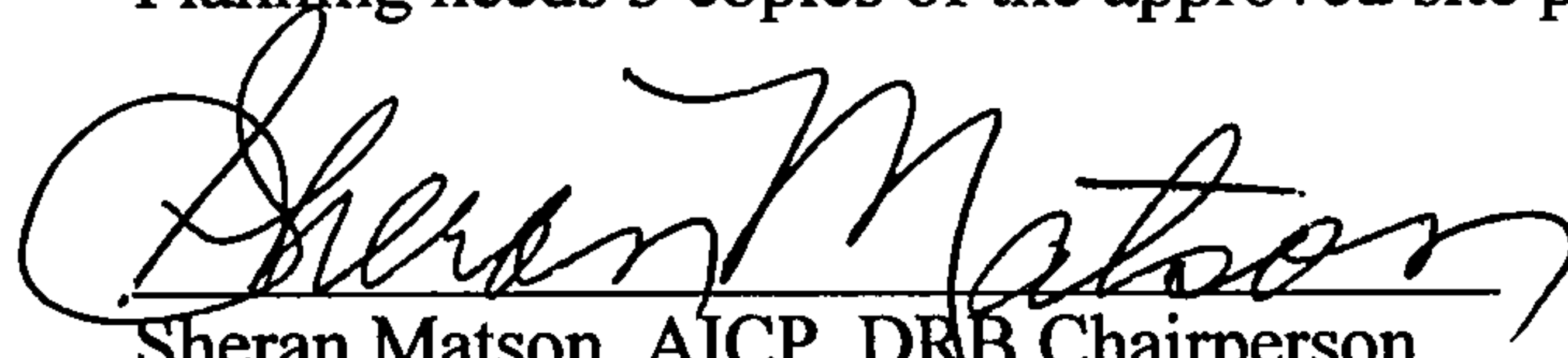
The south side of the property should have a 6' landscape buffer all the way to the east property line. There is enough parking spaces to lose the one to the south of what we assume is the dumpster.

Not all of the plants & trees listed on the landscape plan conform to the plants & trees listed on the Master Plan as required by that plan.

Materials and colors for the pitched roofs are to appear on the elevations page per the Master Plan.

Signs are not shown on the elevations page or the site plan. Signs should be shown and conform to the Master Plan requirements.

Planning needs 3 copies of the approved site plan for its files.


Sheran Matson, AICP DRB Chairperson
924-3880 Fax 924-3864

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 3774
CONNECTION TEL 92422280
SUBADDRESS
CONNECTION ID
ST. TIME 03/10 12:41
USAGE T 00'46
PGS. 2
RESULT OK



DEVELOPMENT REVIEW BOARD FAX FORM

TO: George Sanders

FAX NUMBER: 242-2280 # PAGES 2

SENT BY: Sheran Matson, DRB Chair DATE: 3/10/03

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1002507 APPLICATION NO: 03DRB-00302

FYI -

My comments on your site plan for Alameda B.P.

A



**DEVELOPMENT REVIEW BOARD
FAX FORM**

TO: George Sanders

FAX NUMBER: 242-2280 **# PAGES** 2

SENT BY: Sheran Matson, DRB Chair **DATE:** 3/10/03

PHONE NUMBER: 924-3880 **FAX #** 924-3864

PROJECT NO: 1002507 **APPLICATION NO:** 03DRB-00302

FYI -

My comments on your
site plan for Alameda B.P.

Call if you have questions.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
3/12/03 Comments**

Item# 12

Project # 1002507

Application # 03DRB-00302

Subject: Alameda Business Park, Lot 43/SBP

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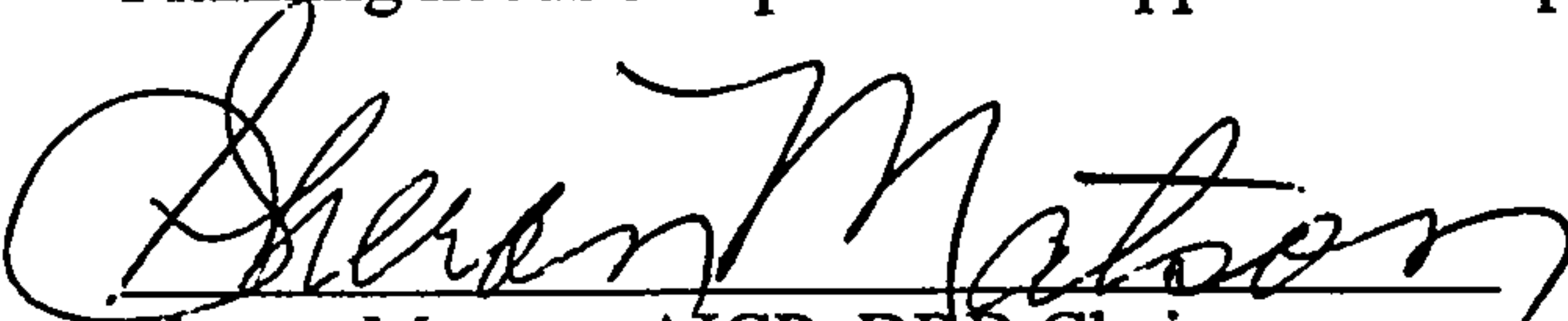
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Sheran Matson, AICP DRB Chairperson
924-3880 Fax 924-3864



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 12, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946 (VOICE) OR TELETYPEWRITER (TTY) 924-3361 - TTY USERS MAY ALSO ACCESS THE VOICE NUMBER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE BOARD SECRETARY MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. ADJOURNED: 12:25 P.M.
B. Changes and/or Additions to the Agenda
C. Announcements

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002115**
03DRB-00219 Major-Vacation of Pub
Right-of-Way

SURVEYS SOUTHWEST LTD agent(s) for ROB DICKSON request(s) the above action(s) for all or a portion of Lot(s) 7 & 8, (to be known as **COPPER LOFTS**), HUNINGS HIGHLAND ADDITION, zoned SU-2 / NCR, located on CENTRAL AVE SE, between ARNO SE and EDITH SE containing approximately 1 acre(s). (K-14) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

2. **Project # 1000184**
03DRB-00217 Major-Vacation of Pub
Right-of-Way

SURVEYS SOUTHWEST LTD agent(s) for ROB DICKSON request(s) the above action(s) for all or a portion of Tract(s) C-3A-1, BANNER SQUARE ADDITION (TO BE KNOWN AS **COPPER LOFTS**), zoned C-1, located on COPPER AVE NE, between CENTRAL AVE NE and ARNO ST NE containing approximately 1 acre(s). (K-14) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

Project # 1000184
03DRB-00223 Major-Vacation of Pub
Right-of-Way
03DRB-00224 Minor-Vacation of Public
Easements

SURVEYS SOUTHWEST LTD agent(s) for ROB DICKSON request(s) the above action(s) for all or a portion of Tract(s) A-7, BANNER SQUARE ADDITION (TO BE KNOWN AS **CAMPUS LOFTS**), zoned SU-1, SU-2/PUD, located on ARNO ST NE, between COPPER AVE NE and BROADWAY BLVD NE containing approximately 1 acre(s). (K-14) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. APPLICATION #03DRB-00224 WAS DEFERRED TO 4/2/03.**

Project # 1000184
03DRB-00225 Major-Vacation of Pub
Right-of-Way
03DRB-00226 Minor-Vacation of Private
Easements

SURVEYS SOUTHWEST LTD agent(s) for ROB DICKSON request(s) the above action(s) for all or a portion of Lot(s) C-2A-1, BANNER SQUARE ADDITION (TO BE KNOWN AS **MARKET LOFTS**), zoned C-1, located on ARNO ST NE, between CENTRAL AVE NE and EDITH BLVD NE containing approximately 1 acre(s). (K-14) **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

3. **Project # 1000234**
03DRB-00213 Major-Preliminary Plat Approval
03DRB-00214 Major-Vacation of Pub Right-of-Way
03DRB-00215 Minor-Sidewalk Variance
03DRB-00216 Minor-Temp Defer SDWK
03DRB-00354 Minor-SiteDev Plan Subd/EPC
03DRB-00355 Minor-SiteDev Plan BldPermit/EPC

BOHANNAN HUSTON INC agent(s) for MIKE WILLIAMS request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) A, HOLIDAY PARK - UNIT 10, (to be known as **RIDGE POINTE SUBDIVISION**) zoned SU-1/PRD, located on THE NORTHWEST CORNER OF COMANCHE NE AND TRAMWAY BLVD NE and containing approximately 5 acre(s). [REF: Z-99-131, 00CC-00179, 00DRB-00207] [Russell Brito, EPC Case Planner] (G-22) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/12/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/6/03 THE PRELIMINARY PLAT WAS APPROVED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE SIDEWALK VARIANCE WAS APPROVED FOR WAIVER OF SIDEWALKS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONT AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

4. **Project # 1001021**
03DRB-00221 Major-Vacation of Public Easements
03DRB-00222 Minor-Prelim&Final Plat Approval

MARK GOODWIN AND ASSOCIATES, PA, agent(s) for PIERRE AMESTOY JR request(s) the above action(s) for all or a portion of Tract(s) C-1, **IRVING LAND PARTNERS**, zoned M-1 light manufacturing zone, located on Irving Blvd NW between Eagle Ranch Rd NW and Golf Course Rd NW and containing approximately 9 acre(s). [REF: V-86-65] [DEFERRED FROM 3/12/03] (B-13) **THE ABOVE REQUEST WAS DEFERRED TO 3/19/03.**

5. **Project # 1001932**
03DRB-00220 Major-Vacation of Pub
Right-of-Way
03DRB-00353 Minor-Amnd Prelim Plat
Approval

MARK GOODWIN AND ASSOCIATES PA, agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of Tract(s) 391-393, Lots A-1 and SE portion of B-1, TOWN OF ATRISCO GRANT, El Rancho Atrisco, Phase II, (to be known as **WEST RIDGE SUBDIVISION**, zoned R-LT residential zone, located on UNSER BLVD NW AND OLD OURAY ROAD NW, and containing approximately 40 acre(s). [REF: 02DRB-01578, 02DRB-01579, 02DRB-01580] (H-9/H-10) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE AMENDED INFRASTRUCTURE LIST DATED 3/12/03 THE AMENDED PRELIMINARY PLAT WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ORIGINAL PRELIMINARY PLAT.**

6. **Project # 1002468**
03DRB-00195 Major-Vacation of Pub
Right-of-Way

GILBERT J LOVATO request(s) the above action(s) for all or a portion of Lot(s) 18, 19, 20 and 21, Block(s) 4, (to be known as **BELMONT PLACE ADDITION**, zoned R-1, located on 5TH ST NW, between GRIEGOS NW and BELLROSE NW containing approximately 1 acre(s). (G-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

7. **Project # 1001267**
03DRB-00021 Major-Preliminary Plat
Approval
03DRB-00022 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for KB HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 46-48, **DESERT PINE UNIT 4**, TOWN OF ATRISCO GRANT, zoned RD-9, located on SUNSET GARDENS SW, between EUCARIZ AVE SW and SUNSET GARDENS SW containing approximately 16 acre(s). [REF: 01DRB-01009, 01EPC-00728] [Deferred from 2/19/03 AND 3/5/03] (L-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/12/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/7/03 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONT AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

8. **Project # 1001376**
02DRB-01965 Major-Preliminary Plat
Approval
02DRB-01966 Major-Vacation of Pub
Right-of-Way
02DRB-01967 Minor-Sidewalk Waiver
02DRB-01968 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for MESA VERDE DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 8-25 & 10-23, Block(s) 3 & 4, Tract(s) 1, (to be known as **DESERT RIDGE TRAILS, NORTH**, NORTH ALBUQUERQUE ACRES, zoned R-D residential and related uses zone, developing area, 4 D/U per AC, located WEST OF WYOMING BLVD NE, between BEVERLY HILLS AVE NE and FLORENCE AVE NE containing approximately 32 acre(s). [REF: 02DRB-01363] [Deferred from 2/19/03 AND 3/5/03] (B-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/12/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/10/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: THE EXECUTION OF EASEMENTS IS REQUIRED WHERE OFFSITE PONDS ARE PLANNED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONT AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

9. **Project # 1000858**
03DRB-00350 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for ABQ INVESTORS request(s) the above action(s) for all or a portion of Tract(s) A-2A-1, **LUEKING PARK COMPLEX (#2 & #3)**, zoned SU-1 Office Park / PRD / Related uses, located on LUECKING PARK DR NE, between PAN AMERICAN FRWY NE and PATHWAY AVE NE containing approximately 8 acre(s). [REF: 02EPC-01939, AA-01236-01894, Z-97-115, DRB-97-417] [Makita Hill, EPC Case Planner] (G-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO CHECK EPC COMMENTS.**

10. **Project # 1001004**
03DRB-00357 Minor-SiteDev Plan
BldPermit/EPC

ENEDELIA GUAJARDO agent(s) for CASA DEL REY MINISTRIES request(s) the above action(s) for all or a portion of Tract(s) 9, **WEST BLUFF CENTER**, zoned PR parking reserve, located on CORONA DR NW, between OURAY NW and ALAMOGORDO NW containing approximately 1 acre(s). [REF: 02EPC-01778, 02EPC-01779] [Juanita Vigil, EPC Case Planner] (H-11) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO SHOW HANDICAP RAMPS AND DIMENSIONS, TO CHANGE WALL FROM 8" TO 6" THICK AND TO PLANNING TO CHECK EPC COMMENTS.**

11. **Project # 1002330**
03DRB-00347 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING INC agent(s) for JIM HAKEEM request(s) the above action(s) for all or a portion of Tract(s) G-1 & G-2, **MONTGOMERY COMPLEX**, zoned SU-1 special use zone, for Church & Rel. Facilities, located on MONTGOMERY BLVD NE, between CARLISLE BLVD NE and NORTH I-25 FRONTAGE RD NE containing approximately 3 acre(s). [REF: 02EPC-01687, 02EPC-01688] **[Russell Brito (for Len Malry) EPC Case Planner]** [Deferred from 3/12/03] (F-16) **DEFERRED AT THE AGENT'S REQUEST TO 3/19/03.**

12. **Project # 1002507**
03DRB-00302 Minor-SiteDev Plan
BldPermit

SANDERS & ASSOCIATES, ARCHITECTS agent(s) for MIKE BAKER request(s) the above action(s) for all or a portion of Lot(s) 43, **ALAMEDA BUSINESS PARK (LOT 43)**, zoned SU-2 IP - EP, located on CALLE ALAMEDA NE, between PASSEO ALAMEDA NE and VISTA ALAMEDA NE containing approximately 1 acre(s). [REF: DRB-98-223, 1000624] (C-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

13. **Project # 1002518**
03DRB-00346 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP agent(s) for TEDDY POLK, BARBARA POLK, GWENDOLYN VANDAMME, THOMAS KRYFCO, MARGARET KRYFCO request(s) the above action(s) for all or a portion of Lot(s) 41, **ALVARADO GARDENS, UNIT 3**, zoned RA-2, located on GLENWOOD RD NW, between GLENWOOD RD NW and DECKER AVE NW containing approximately 1 acre(s). (G-12) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU, TRANSPORTATION DEVELOPMENT FOR DEDICATION OF 9 FEET FROM FACE OF CURB, A 4 FOOT SIDEWALK AND CURB ON DECKER, AND TO PLANNING FOR DXF FILE.**

14. **Project # 1001582**
03DRB-00348 Minor-Extension of
Preliminary Plat
03DRB-00407 Minor- Final Plat Approval

BOHANNAN HUSTON INC agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Lot(s) 1-63, **LA MESILLA SUBDIVISION**, zoned R-D, located on 86th ST SW, between SAGE RD SW and SAN YGNACIA RD SW containing approximately 10 acre(s). [REF: 02400-00107] (L-9) **THE EXTENSION OF PRELIMINARY PLAT WAS WITHDRAWN AT THE AGENT'S REQUEST. THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS, FOR OPEN SPACE REQUIREMENT AND TO PLANNING FOR DXF FILE.**

15. **Project # 1002322**
03DRB-00349 Minor-Prelim&Final Plat
Approval

MULE BARN ENTERPRISES agent(s) for ACME REAL ESTATE FUND, LLC request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 23, **ORIGINAL TOWNSITE OF WESTLAND**, zoned SU-2 special neighborhood zone, IP, located on the NORTH SIDE OF SUNSET GARDENS RD SW, between 90th ST SW and 94th ST NW containing approximately 8 acre(s). [REF: 02DRB-01666 SK] [DEFERRED FROM 3/12/03] (L-9) **DEFERRED TO ADVERTISE THE CASE TO 4/9/03.**

16. **Project # 1001932**
03DRB-00220 Major-Vacation of Pub
Right-of-Way

MARK GOODWIN & ASSOCIATES, PA agent(s) for KB HOME NM, INC. request(s) the above action(s) for all or a portion of Lot(s) 5A1A, B1, A1, 393, 392, 391, Tract 5A1-A, **VOLCANO BUSINESS PARK, TRACTS A-1 AND B-1, EL RANCHO ATRISCO, PHASE 2, AND ALL OF LANDS OF PLAINES ELECTRIC COOPERATIVE INC., AND ALL OF VACATED OLD OURAY ROAD, WESTRIDGE SUBDIVISION, TOWN OF ATRISCO GRANT**, zoned SU-1 special use zone, for IP, C-1 & Public Utilities, located on Unser Blvd NW, between Old Ouray Rd NW and Ouray Rd NW, containing approximately 24 acre(s). [REF: 02DRB-00690] (H-9/H-10) **DUPLICATE REQUEST. WAS NOT HEARD.**

17. **Project # 1001112**
02DRB-00898 Minor-Prelim&Final Plat
Approval

RICHARD HALL agent(s) for JOHN SPARKS request(s) the above action(s) for all or a portion of Tract(s) S1/2 OF 33, **ALVARADO GARDENS ADDITION**, zoned RA-2, located on RIO GRANDE BLVD. NW, between CANDELARIA NW and GRIEGOS NW. [Final Plat was Indefinitely deferred from 6/19/02] (G-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR PARK DEDICATION, CITY ENGINEER FOR LETTER OF ACCEPTANCE AND TO PLANNING FOR THE DXF FILE.**

18. **Project # 1001206**
03DRB-00081 Minor-Prelim&Final Plat
Approval

SURV-TEK, INC. agent(s) for BLACK DEVELOPMENT ONE, LLC request(s) the above action(s) for all or a portion of Tract(s) 2A, 3E-1, 3F-1 & 3G-1, **BLACK RANCH**, zoned O-1, SU-1/C-1 & SU-1/C-2, located South and East of VALLEY VIEW PL NW, between COORS BLVD NW and CORRALES CANAL containing approximately 10 acre(s). [REF: DRB-90-121, DRB-92-340, 02DRB-01560, 02DRB-01561& 62] [The Preliminary Plat was approved 1/29/03, Final Plat Indef. Deferred] [DEFERRED FROM 3/12/03] (C-13) **DEFERRED AT THE AGENT'S REQUEST TO 3/19/03.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

19. **Project # 1002517**
03DRB-00345 Minor-Sketch Plat or Plan

ALFRED ANCHETA & DIANA STETSON request(s) the above action(s) for all or a portion of Lot(s) 23 and 24, Block(s) 4, **SANDIA PLAZA SUBDIVISION**, zoned R-1, located on GRANDE DR NW, between 12th ST NW and GUADALUPE NW containing approximately 1 acre(s). (F-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1002519**
03DRB-00352 Minor-Sketch Plat or Plan

MARK GOODWIN & ASSOCIATES PA agent(s) for SAN PEDRO EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 16, Tract(s) 2, Block(s) 5, (to be known as **TOWNHOMES @ LA CUEVA**) NORTH ALBUQUERQUE ACRES, Unit 3, zoned R-D (7/DU/Ac) located on WYOMING BLVD NE, between WILSHIRE NE and SIGNAL NE containing approximately 1 acre(s). [REF: 1001935, 02DRB-01847] (C-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1002520**
03DRB-00356 Minor-Sketch Plat or Plan

LARRY READ & ASSOCIATES, INC., agent(s) for HACIENDAS BY THE CARLISLES request(s) the above action(s) for all or a portion of Lot(s) 15 & 16, Block(s) 4, **NORTH ALBUQUERQUE ACRES, TRACT 2**, zoned R-D residential and related uses zone, developing area, located on the SOUTH. SIDE ALAMEDA AVE NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 2 acre(s). (C-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Approval of the Development Review Board minutes for February 26, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 12:25 P.M.

A City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

SUBDIVISION Supplemental form **S**

Major Subdivision action
 Minor Subdivision action
 Vacation **V**
 Variance (Non-Zoning)

ZONING Supplemental form **Z**

Annexation & Zone Establishment
 Sector Plan
 Zone Change
 Text Amendment

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes
 ...for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC) **L**

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Mike Baker PHONE: (505) 898-0100
 ADDRESS: P.O. Box 92227 FAX: (505) 898-0200
 CITY: Albuquerque STATE N.M. ZIP 87199 E-MAIL: _____
 Proprietary interest in site: Owner
 AGENT (if any): Sanders & Associates Architects PHONE: (505) 842-8413
 ADDRESS: 600 Central S.E. Suite 111 FAX: (505) 242-2280
 CITY: Albuquerque STATE N.M. ZIP 87102 E-MAIL: _____

DESCRIPTION OF REQUEST: Site Development plan approval for building permit for 6,970 s.f. office warehouse on lot #43 of the Alameda Business Park.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 43 Block: _____ Unit: _____
 Subdiv. / Addn Alameda Business Park
 Current Zoning: SU-2, IP - EP Proposed zoning: _____
 Zone Atlas page(s): C-16-Z No. of existing lots: _____ No. of proposed lots: _____
 Total area of site (acres): .5678 ac Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No, but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? no
 UPC No _____ MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Calle Alameda N.E.
 Between: Paseo Alameda and Vista Alameda

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____

DRB 98223 1000624


Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE George Sanders DATE 2/25/03
 (Print) George Sanders, ATA Applicant Agent

FOR OFFICIAL USE ONLY

Form revised September 2001

	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING	<u>03DRB - 00302</u>	<u>SBP</u>		\$ <u>385.</u>
<input type="checkbox"/> All checklists are complete				\$ _____
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>MAR 12 2003</u>			Total \$ <u>385.</u>

 2/25/03
 Planner signature / date

Project # 1002507

624

P
NP

55 ⁹	5	Pub
474	7+8	Pub
37 ⁹	59	Pub
<u>452</u>	49	NP

02 708
03 20

10 20 30 40 50 60 70 80 90 100

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist *ONSP*
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

George Sanders, AIA Applicant name (print)
George Sanders 2/25/03 Applicant signature / date



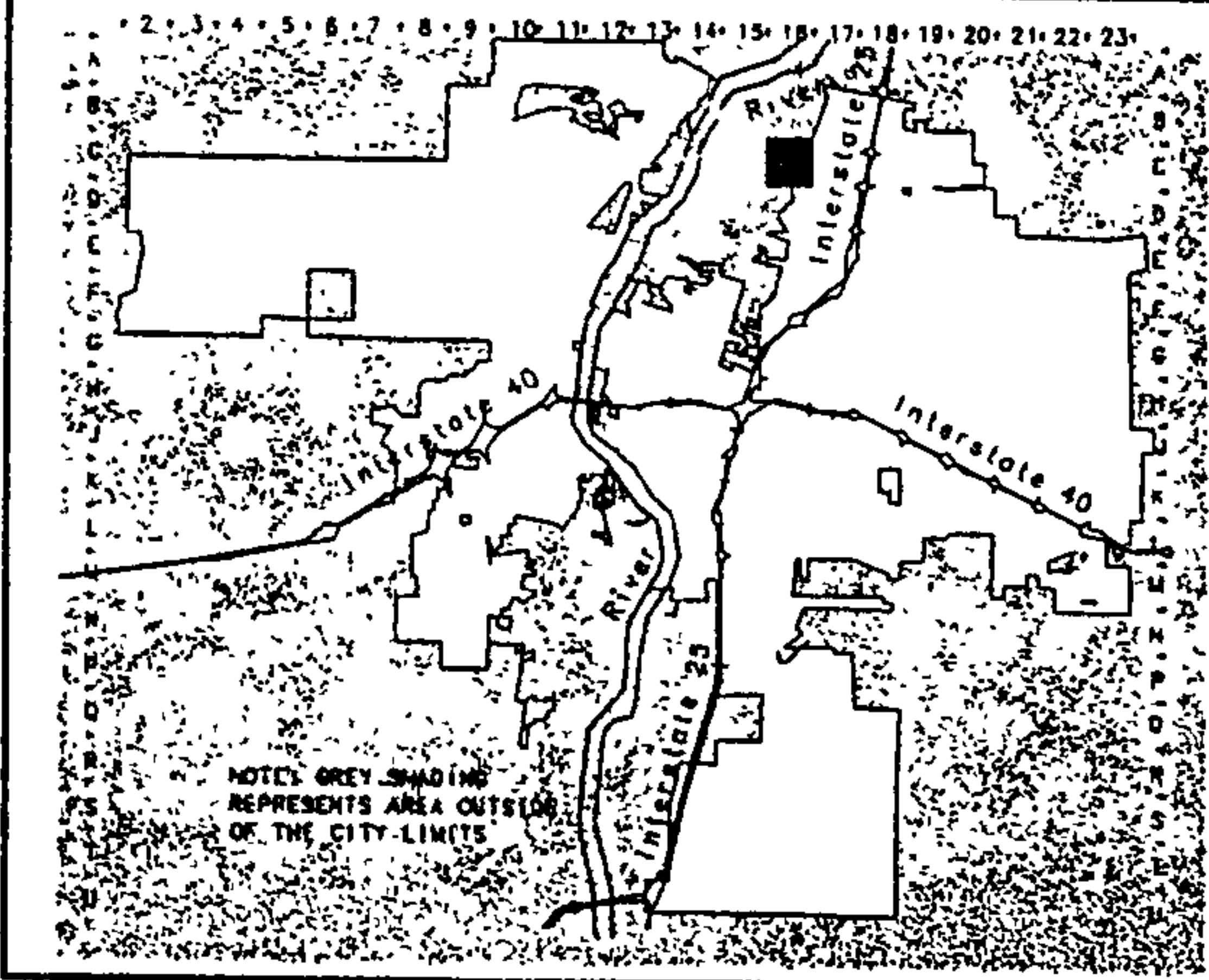
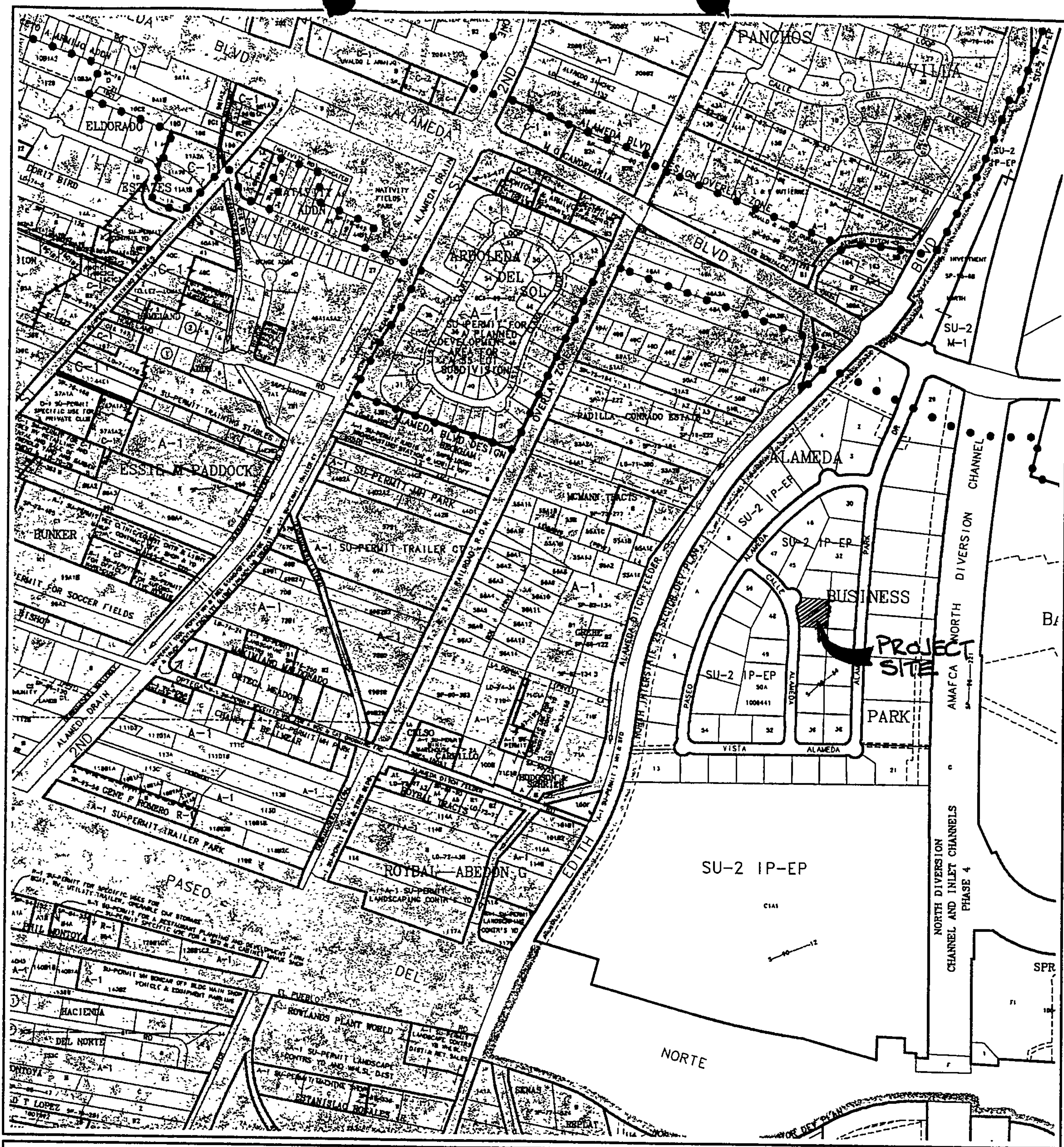
Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
03DRB - 00302

JM 2/25/03
 Planner signature / date

Project # 1002507



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page

C-16-Z

Map Amended through January 21, 2003

SANDERS & ASSOCIATES ARCHITECTS, P. C.

600 CENTRAL AVENUE S.W. SUITE 111 ALBUQUERQUE, NEW MEXICO 87102 [505] 842-8413 FAX [505] 242-2280
Architecture Landscape Architecture Interior Design

February 14, 2003

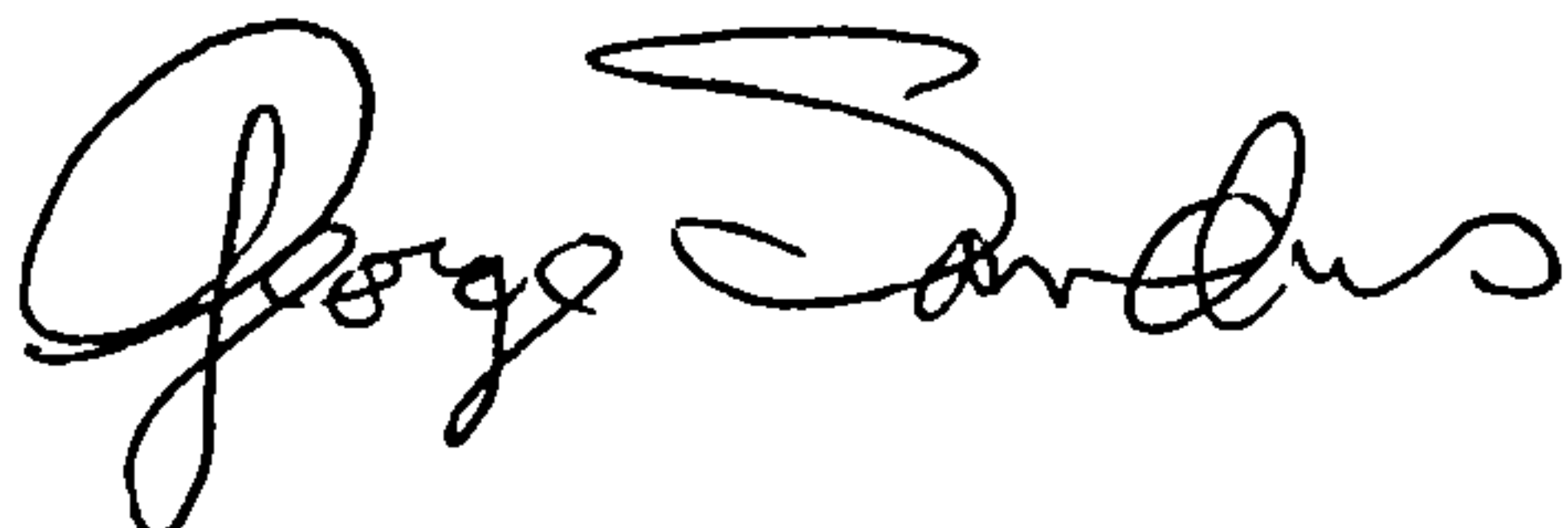
Development Review Board
City of Albuquerque

To Whom It May Concern:

We present the attached site plan and related drawings for Site Development Plan for Building Permit approval. The proposed building is on lot number 43 in the Alameda Business Park. The proposed building will be an office / warehouse occupancy consisting of 4,750 s.f. of warehouse and 2,230 s.f. of office. The proposed development conforms to the requirements of the North I-25 Sector Development Plan, The Alameda Design Overlay Zone, the North Valley Area Plan, and the IP, Industrial Park Zone.

The refuse collection and outdoor storage areas will be screened by a 6' tall colored masonry wall surrounding the back 2/3rds of the property. All loading and unloading of commercial vehicles will occur behind the building and behind the masonry site wall. The setback requirements of 20' front yard, 10' side yard, and 10' rear setback have been met or exceeded. The structure height and width falls within the required 45 degree angle planes drawn from the horizontal at the mean grade along each boundary of the premises as required. Landscaping requirements of the Alameda Business Park have been met as is evidenced on the attached landscaping plan with the exception of the required 6' landscaping buffer on the north property line which it is our understanding will be waived because of an existing asphalted drainage easement along this north property line which drains the adjacent property to the east. Building colors and materials conform to existing colors and materials of buildings within and adjacent to the Alameda Business Park.

Sincerely,

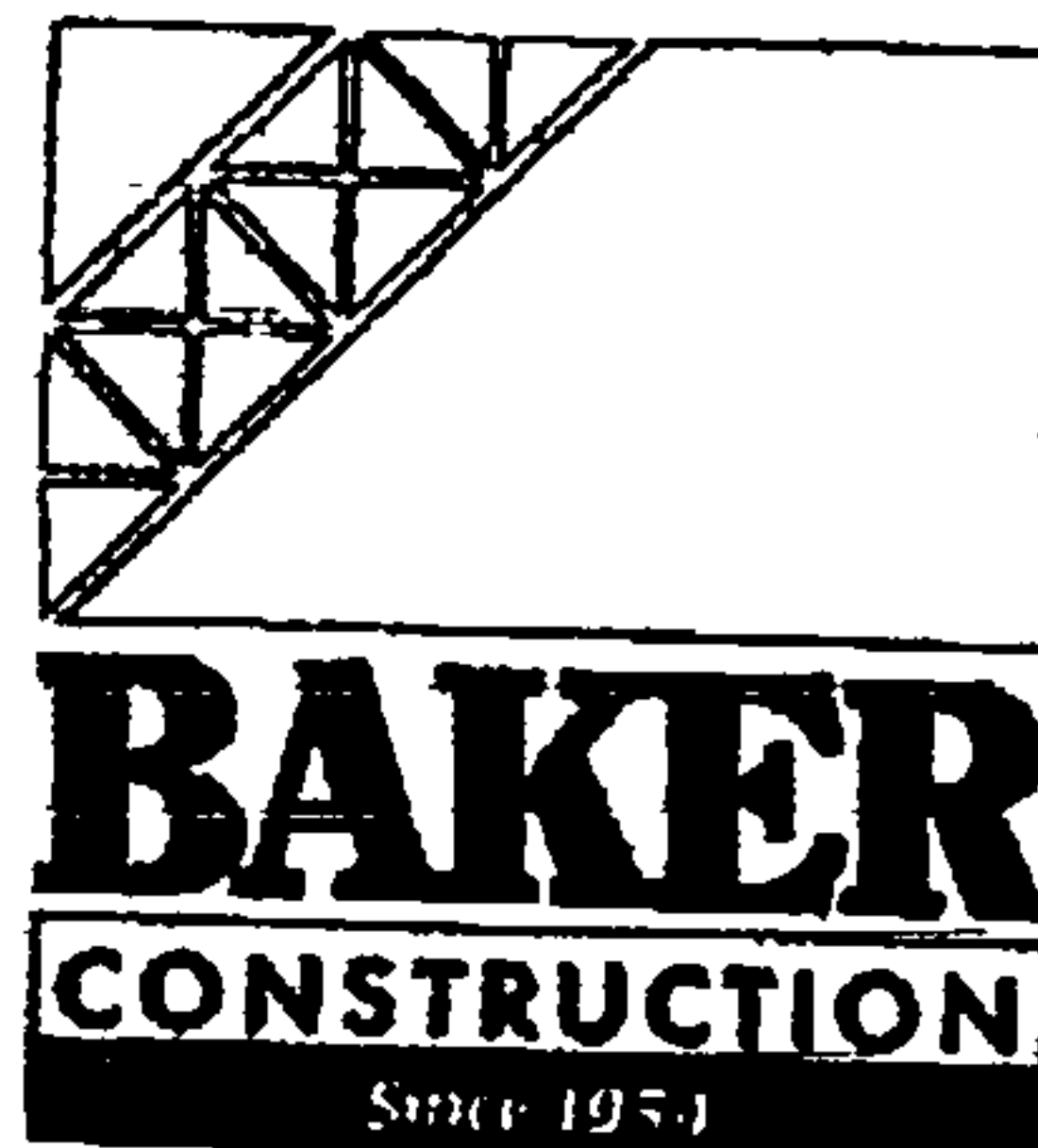


George Sanders, AIA

February 21, 2003

George Sanders
Sanders and Associates Architects

Re: Baker Office/Warehouse
Calle Alameda NE
Albuq., NM



MEMBER, AGC OF AMERICA

Dear George,

Please consider this letter an authorization for you and Sanders and Associates to represent us for our project on Calle Alameda NE when you apply to DRB for approval,

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Baker", with a stylized flourish at the end.

Mike Baker

SITE DEVELOPMENT PLAN CHECKLIST FOR BUILDING PERMITS

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Since development proposals vary in type and scale, there may be application requirements that are not included here. Site development plan submitted will ordinarily be composed of the following plan sheets:

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading Plan
4. Building Elevations

Submitted shall be organized in the above manner. In addition, 8 1/2" by 11" reductions must be included with plan submitted. The following checklist describes the minimum information necessary for element. Applicant shall check off all items shown on the site plan or label as NA, if not applicable.

SHEET #1 - SITE PLAN

A. General Information

1. Scale

Under 1.0 acre	1" = 10'
1.0 - 5.0 acres	1" = 20'
Over 5 acres	1" = 50'
Over 20 acres	1" = 100'
Other scales as approved by staff	

2. Bar Scale

3. North Arrow

4. Scaled Vicinity Map

5. Existing structures on site and site adjacent to the proposal that impact, or are impacted by the project.

6. Property lines

7. Existing and proposed easement (identify each)

B. Proposed Development

1. Structural

A. Existing and proposed structures on the property and in the adjacent properties including privacy and retaining walls

B. Square footage of each structure

C. Proposed of each structure

D. Temporary structures, sign and other improvements

E. Wall(s), fence(s), and screening: height, length, color, and materials.
Show cross-sections for retaining walls.

F. Dimensions of all principal site elements

N/A G. Loading facilities

H. Site lighting (height, type, and intensity)

2. Non-Structural and Parking

- A. Parking design with spaces numbered per aisle and totaled.
- 1. Location
 - 2. Arrangements
 - 3. Dimensions
 - 4. Turning spaces
 - 5. Drives
 - 6. Aisles
 - 7. Ingress
 - 8. Egress
 - 9. Number of spaces required: $\frac{15}{22}$
Provided: $\frac{22}{22}$
 - 10. Handicapped parking, spaces required: $\frac{1}{1}$
Provided: $\frac{1}{1}$
- B. Bicycle racks, spaces required: $\frac{1}{1}$
Provided: $\frac{1}{1}$
- C. Refuse container and enclosure, if applicable.

C. Street and Circulation

- 1. Identification and location of public or private streets and alleys with proper name, existing and proposed width dimensions.
- N/A 2. Curve radii
- 3. Right-of-Way width
- 4. Pavement width, flow line to flow line including medians and median cuts.
- 5. Sidewalk widths and locations, existing and proposed.
- N/A 6. Rail spurs, if applicable
- N/A 7. Location of traffic signs and signals related to the functioning of the proposal.
- N/A 8. Bikeways
- N/A 9. Bus facilities, including bays and shelters where required.
- 10. Curb cut size and type.
- N/A 11. Provisions for non-auto transportation, including transit and bicycle related improvements and pedestrian linkage.

D. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

E. Phasing

- N/A 1. Proposed phasing of improvements and provision for interim facilities. Information on future phasing should be included, if applicable.

SHEET #2 - LANDSCAPING PLAN

**If appropriate maybe shown on sheet #1, site plan with the approval of planning staff.
See article 6-1-1-1 at all water conservation/water waste and maintenance statement.**

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavements, sidewalks, slope pavings, curb, and gutters, etc.).
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.).
 - C. Ponding areas either for drainage or landscaping/recreational use.
- 7. Identify nature, location and size of shrubbery and trees (common and/or botanical names).
 - N/A A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Irrigation System
- 9. Planting Beds
- N/A 10. Turf Area - only 20% of landscaped area can be high water turf, in square feet and percentage.
- 11. Responsibility for maintenance
- 12. Statement of Water Waste, etc.
- 13. Landscaped area requirement, in square feet and percent: 2,663s.f. 15%
- 14. Landscaped area provided, in square and percent: 3,100 s.f. 17.5%

SHEET #3 - GRADING PLAN

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required).
- 5. Property Lines
- 6. Existing and proposed easements
- 7. Proposed contours and/or spot elevations
- 8. Retaining walls

B. Proposal

- 1. Grading submittals, ponding areas, erosion and sediment control facilities:
 - A. Conceptual grading and drainage plan
 - B. Drainage plan (maybe required for other submittals)
 - C. Drainage Report (maybe required for other submittals)
- N/A A. Cross Sections
Provide cross section for all perimeter property lines at the point of the greatest grade change: Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point

X B. **Spot Elevation**
Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.

X C. **Grade Changes**
Identify grade change on the site greater than 2 feet with shading or a single cross-hatch. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch.

SHEET #4 - BUILDING AND STRUCTURES OF ELEVATIONS TO SCALE

A. General Information

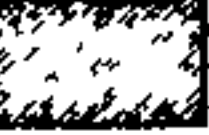
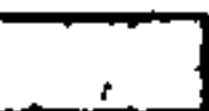
- X 1. Scale (minimum of 1/8" or as approved by Planning Staff).
- X 2. Bar Scale
- X 3. Facade orientation (elevation of all sides of the buildings)
- X 4. Dimension, to scale if not shown in plan including overall height and width, and dimensions of major facade elements.
- X 5. Location materials and colors of windows and building entrances
- X 6. Materials and colors of buildings and structures

B. Signage

- N/A 1. Elevations
- N/A 2. Location
- N/A 3. Height and width
- N/A 4. Sign face area
- N/A 5. Lighting
- N/A 6. Materials and Colors
- N/A 7. Additional information including, renderings, perspective drawings may be submitted.
- N/A A. Samples
 - N/A 1. Presentation Models
 - N/A 2. Photos

EXTERIOR LIGHT FIXTURES
 NOTE: ALL EXTERIOR LIGHTING SHALL BE FULL CUT-OFF AND / OR ANGGLED TO PREVENT LIGHT FROM GLARING ON ADJACENT PROPERTIES AND ROADWAYS.
 TYPE 1: WALL PACK UP 18"-8"
 TYPE 2: RECESSED SOWIT DOWNLIGHT

CURVE	LENGTH	RADIUS	DELTA	CORD BEARING	CORD DIST
C1	81.06'	410.00'	12°09'56"	N10°46'03"W	86.29'
C2	28.71'	25.00'	65°47'51"	N16°02'55"E	27.16'
C3	45.27'	50.00'	51°48'41"	N23°02'21"E	43.69'

LEGEND
 ASPHALT PAVING
 CONCRETE WALK

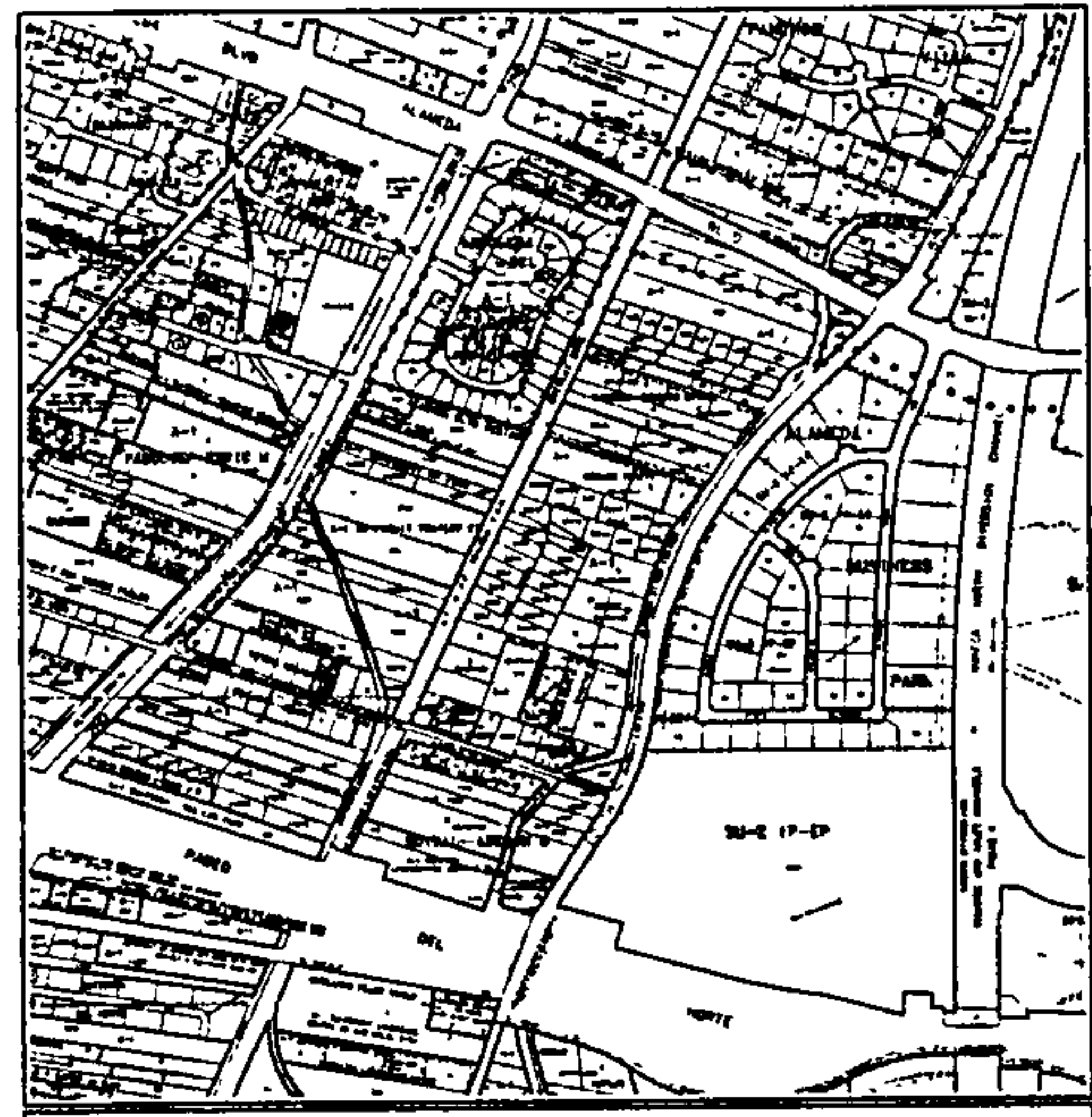
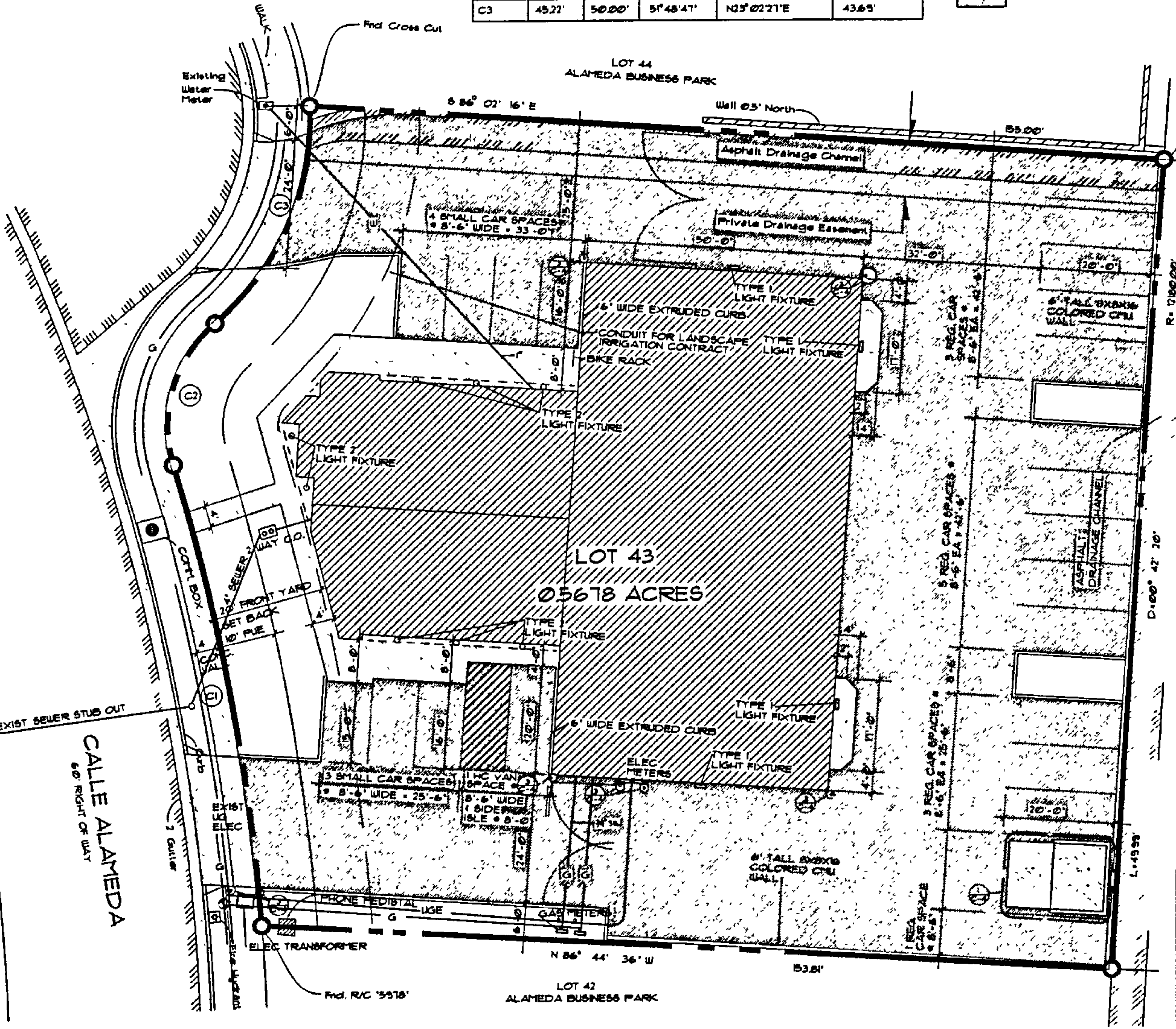
LEGAL DESCRIPTION
 LOT NUMBERED FORTY-THREE OF ALAMEDA BUSINESS PARK (A REPLAT OF TRACT B-1-A-1 LANDS OF SPRINGER BUILDING MATERIALS CORPORATION), ALBUQUERQUE, NEW MEXICO AS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 25, 1998, IN BOOK 98C, PAGE 167, AS DOC. NO. 199808494

WAREHOUSE 54' X 90' = 4760 SF | 1 PARKING SPACE PER 2000 SF = 3 SPACES
 OFFICE = 2230 SF | 1 PARKING SPACE PER 200 SF = 12 SPACES

TOTAL REQUIRED	15 SPACES	
TOTAL PROVIDED	REG. CAR HANDICAP SMALL CAR	14 SPACES 1 SPACES 7 SPACES
	TOTAL	22 SPACES

THE TOTAL LANDSCAPED AREA REQUIRED SHALL EQUAL NOT LESS THAN 5% OF THE NET LOT AREA. NET = TOTAL AREA OF LOT MINUS THE AREA OF THE LOT COVERED BY BUILDINGS

LOT SIZE = 24,733 SF
 - 6200 SF BUILDING FOOTPRINT
 17,733 SF
 X 5%
 2663 SF LANDSCAPING REQUIRED
 3460 SF LANDSCAPING PROVIDED



PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) dated _____ and that the findings and conditions in the Official Notification in the Official Notice of Decision have been complied with.

SITE DEVELOPMENT PLAN APPROVAL:

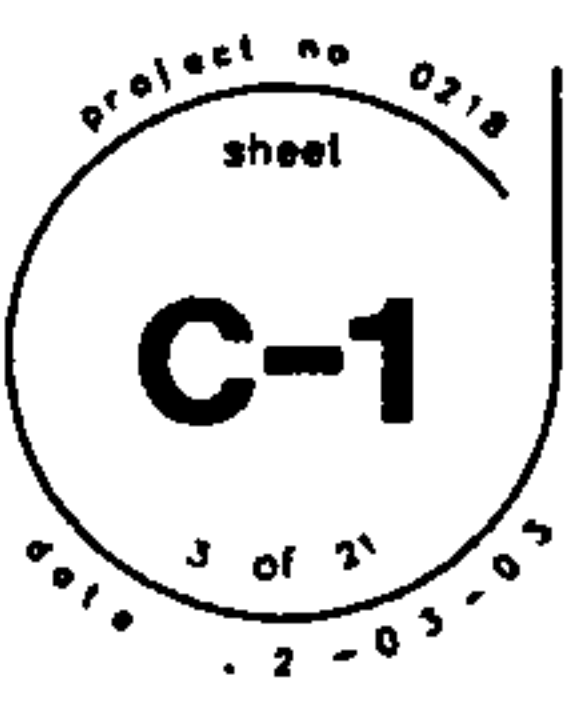
Environmental Health Department	Date _____	Solid Waste Management	Date _____
Public Engineering, Transportation Division	Date _____	Utilities Development	Date _____
Parks and Recreation Department	Date _____	City Engineer	Date _____

APPROVAL AND CONDITIONAL ACCEPTANCE, as specified by the Development Process Manual.

City Planner Planning Department Date _____ Signature: [Blank] 11/5/02

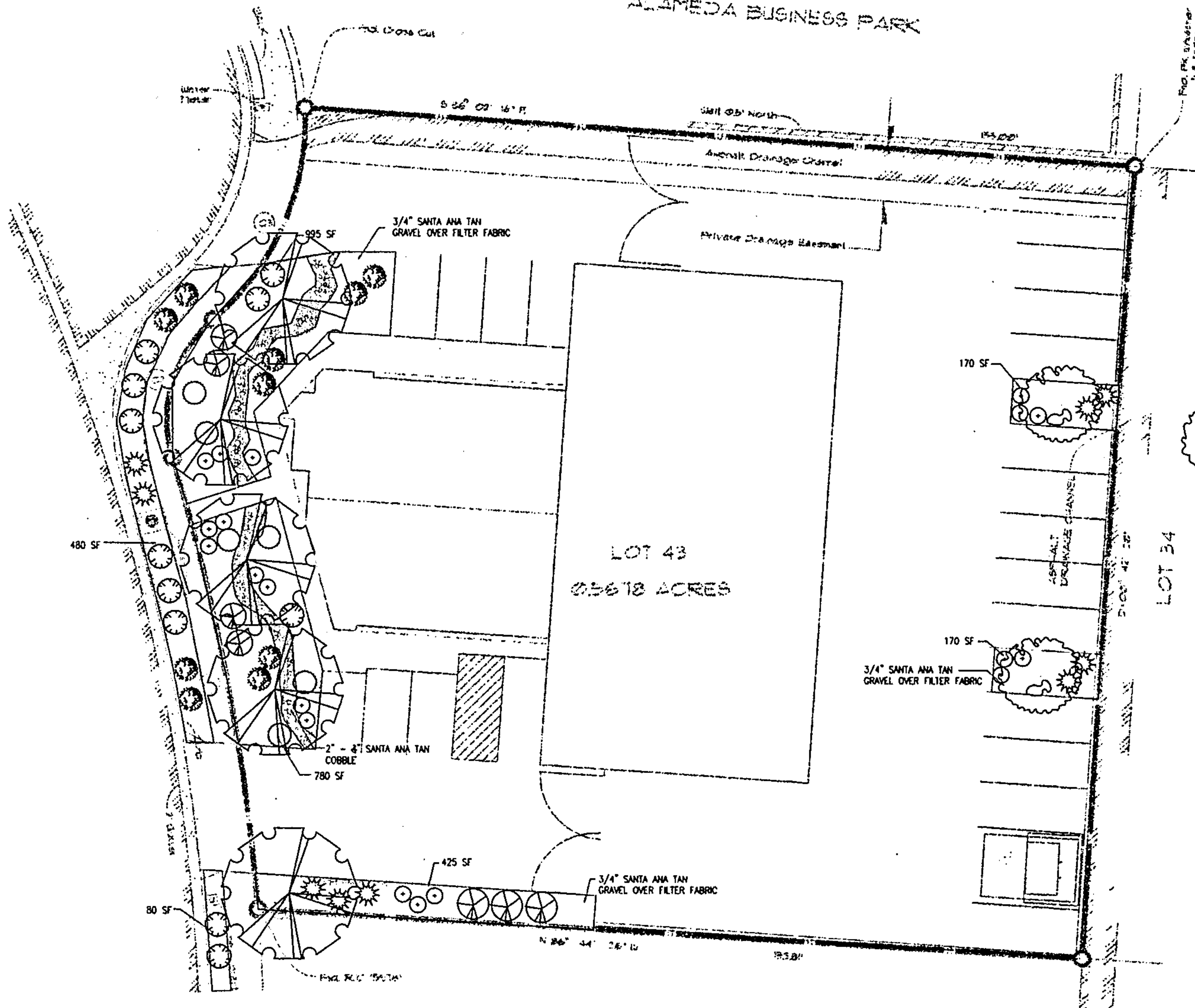


BAKER CONSTRUCTION OFFICE/WAREHOUSE
 LOT 43 CALLE ALAMEDA
 ALBUQUERQUE, NEW MEXICO
 SANDERS & ASSOCIATES ARCHITECTS, P.C. 600 CENTRAL AVE. S.W. SUITE 111 ALBUQUERQUE N.M. 87102 (505) 842-8413 FAX (505) 242-2280



LOT 44
ALAMEDA BUSINESS PARK

LOT 43
0.5618 ACRES



LEGAL DESCRIPTION
LOT 43, TRACT 10, ALAMEDA BUSINESS PARK, COUNTY OF BERNILLO, STATE OF NEW MEXICO, BEING THE SAME AS SHOWN AND DESCRIBED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO, ON APRIL 28, 1994, BOOK 09, PAGE 07, AS CORRECTED BY...

RECOMMENDED	12" SPACED	12 SPACES
PROVIDED	12" SPACED	12 SPACES
TOTAL PROVIDED	12 SPACES	12 SPACES
TOTAL REQUIRED	12 SPACES	12 SPACES

THE TOTAL LANDSCAPED AREA REQUIRED SHALL EQUAL NOT LESS THAN 5% OF THE NET LOT AREA. NET = TOTAL AREA OF LOT MINUS THE AREA OF THE LOT COVERED BY BUILDINGS

LOT SIZE = 24,133 SF.
 - 6,980 SF. BUILDING FOOTPRINT
 17,153 SF.
 X 5%
 2663 SF. LANDSCAPING REQUIRED
 3460 SF. LANDSCAPING PROVIDED

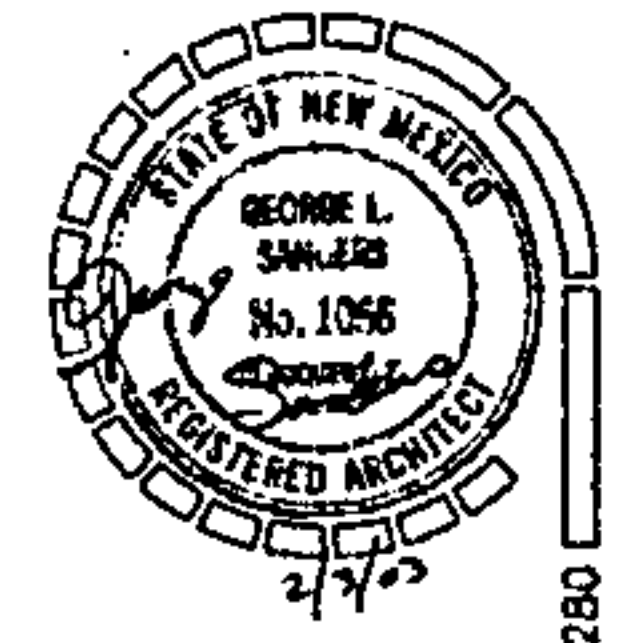
PLANT LEGEND

symbol	qty	botanical name	common name	size	water use
(Symbol)	5	Gladiolus truncatus	Honey Locust	2" cal	M
(Symbol)	2	Chrysothamnus	Desert Willow	15 gal	M
(Symbol)	11	Rhus trilobata	Three-leaf Sumac	5 gal	M
(Symbol)	10	Caryopteris x candanensis	Blue Mist Spruce	5 gal	M
(Symbol)	7	Ferocactus atropurpureus	Russian Sage	5 gal	M
(Symbol)	9	Juniperus horizontalis	Creeeping Juniper	5 gal	L
(Symbol)	6	Cotoneaster lucidus	Cotoneaster	5 gal	L
(Symbol)	19	Levander angustifolia	Lavender	1 gal	M

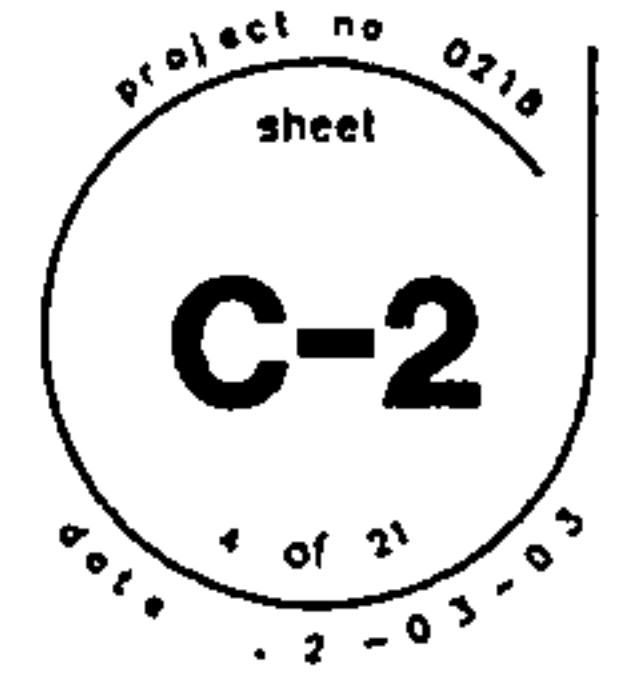
PLANTING RESTRICTIONS APPROACH
 A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTES
 MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER.
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM.
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH.
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY.
 LANDSCAPE AREAS TO BE MULCHED WITH 2" - 4" OR 3/4" SANTA ANA TAN GRAVEL AT 2" - 3" DEPTH OVER FILTER FABRIC.
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE.
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS.
 NO PARKING SPACE SHALL BE MORE THAN 50' FROM A TREE.

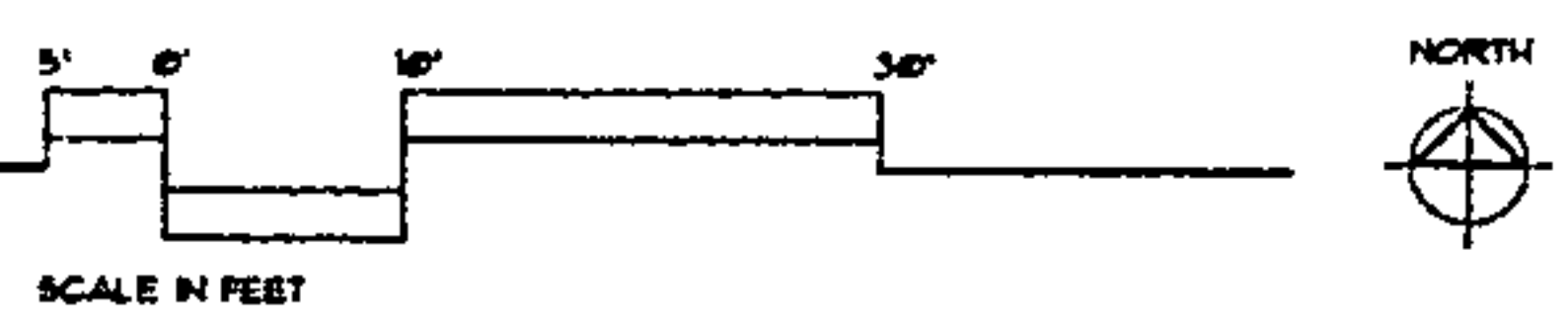
HeadSup
 LANDSCAPE CONTRACTORS
 7525 SECOND ST. NW
 ALBUQUERQUE, NM
 (505) 898-9615
 LICENSE 18890
 www.headsuplandscape.com



BAKER CONSTRUCTION OFFICE/WAREHOUSE
 LOT 43 CALLE ALAMEDA
 ALBUQUERQUE, NEW MEXICO
 SANDERS & ASSOCIATE ARCHITECTS, P.C. 600 CENTRAL AVE. S.W. SUITE 111 ALBUQUERQUE N.M. 871

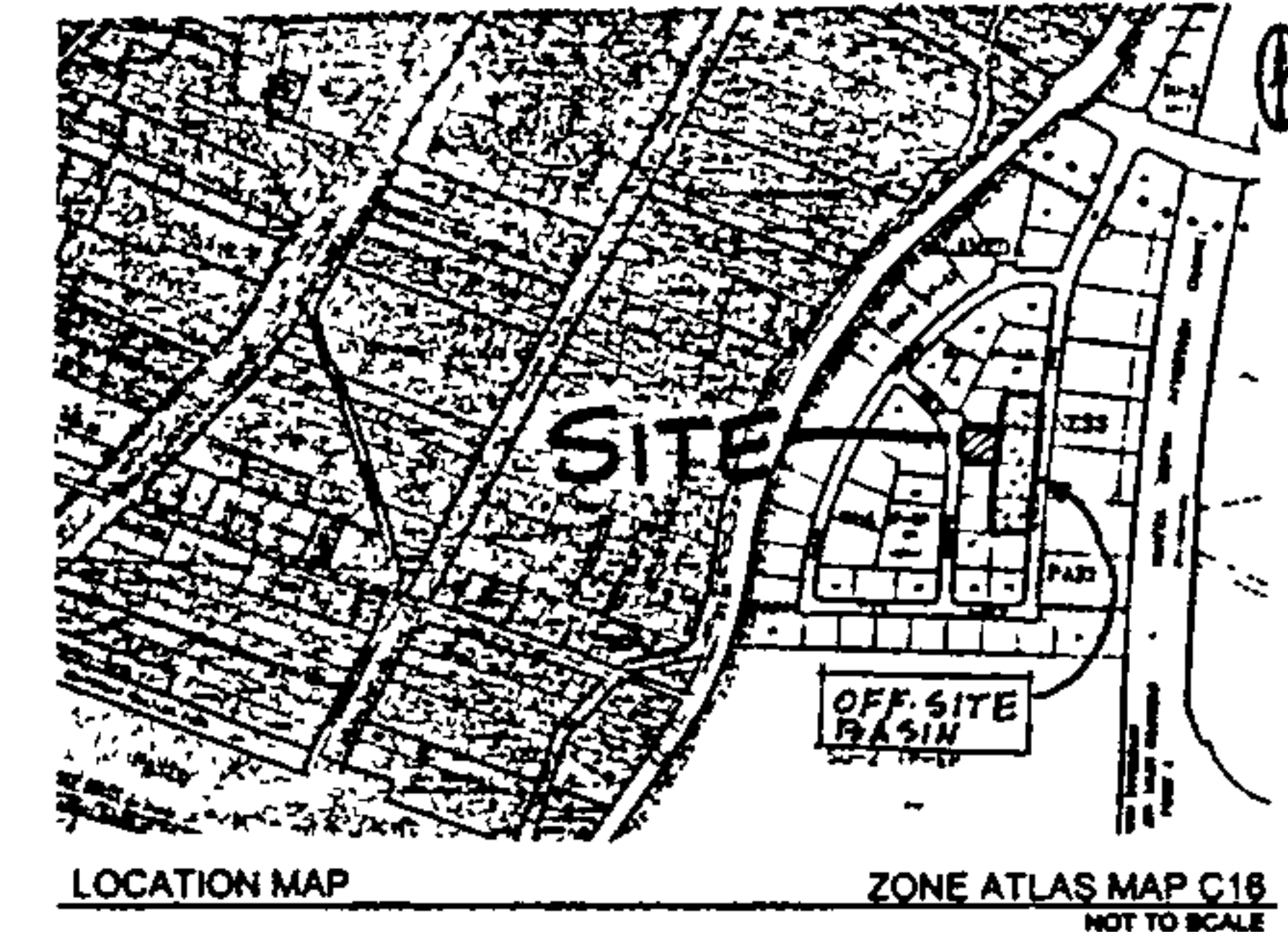
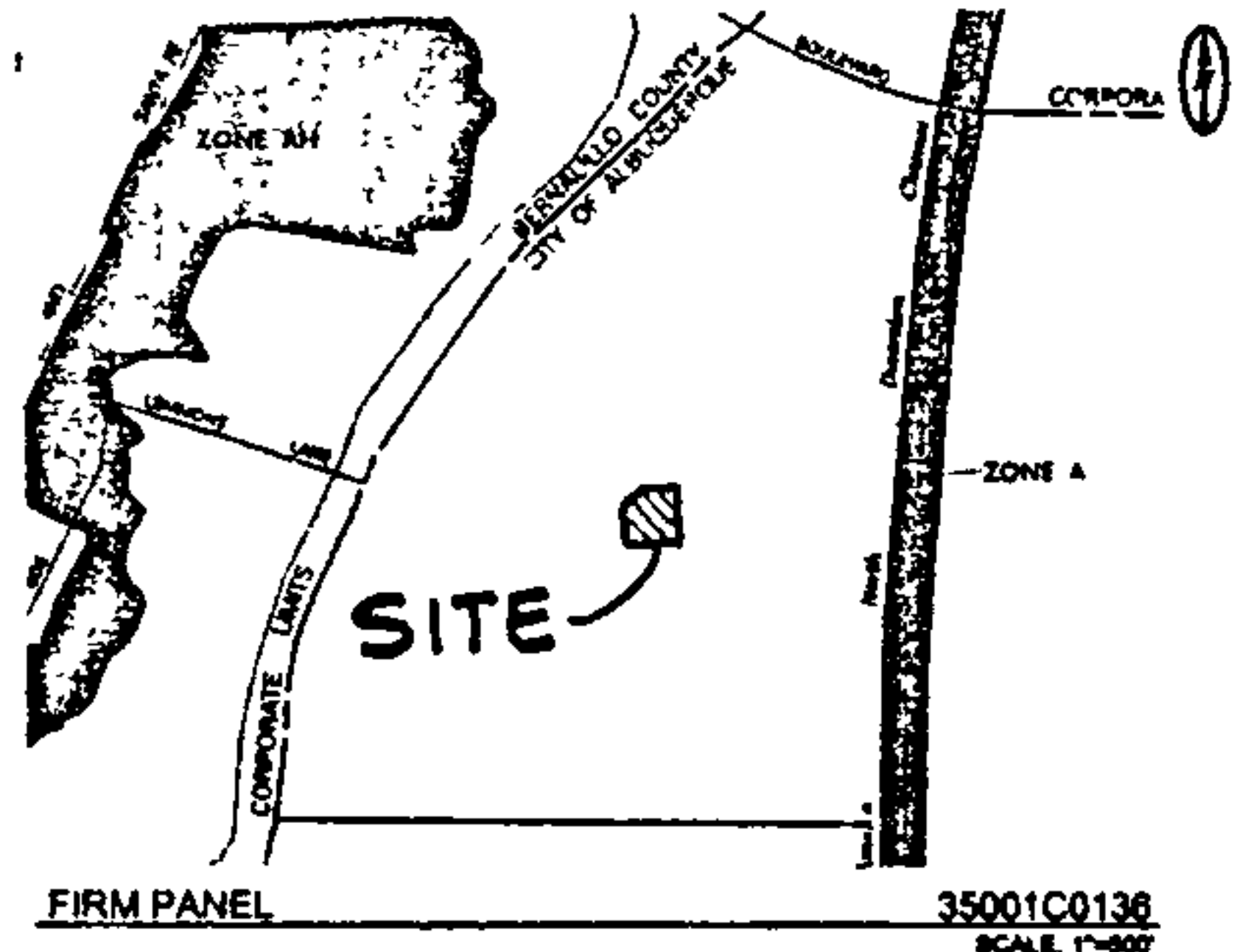
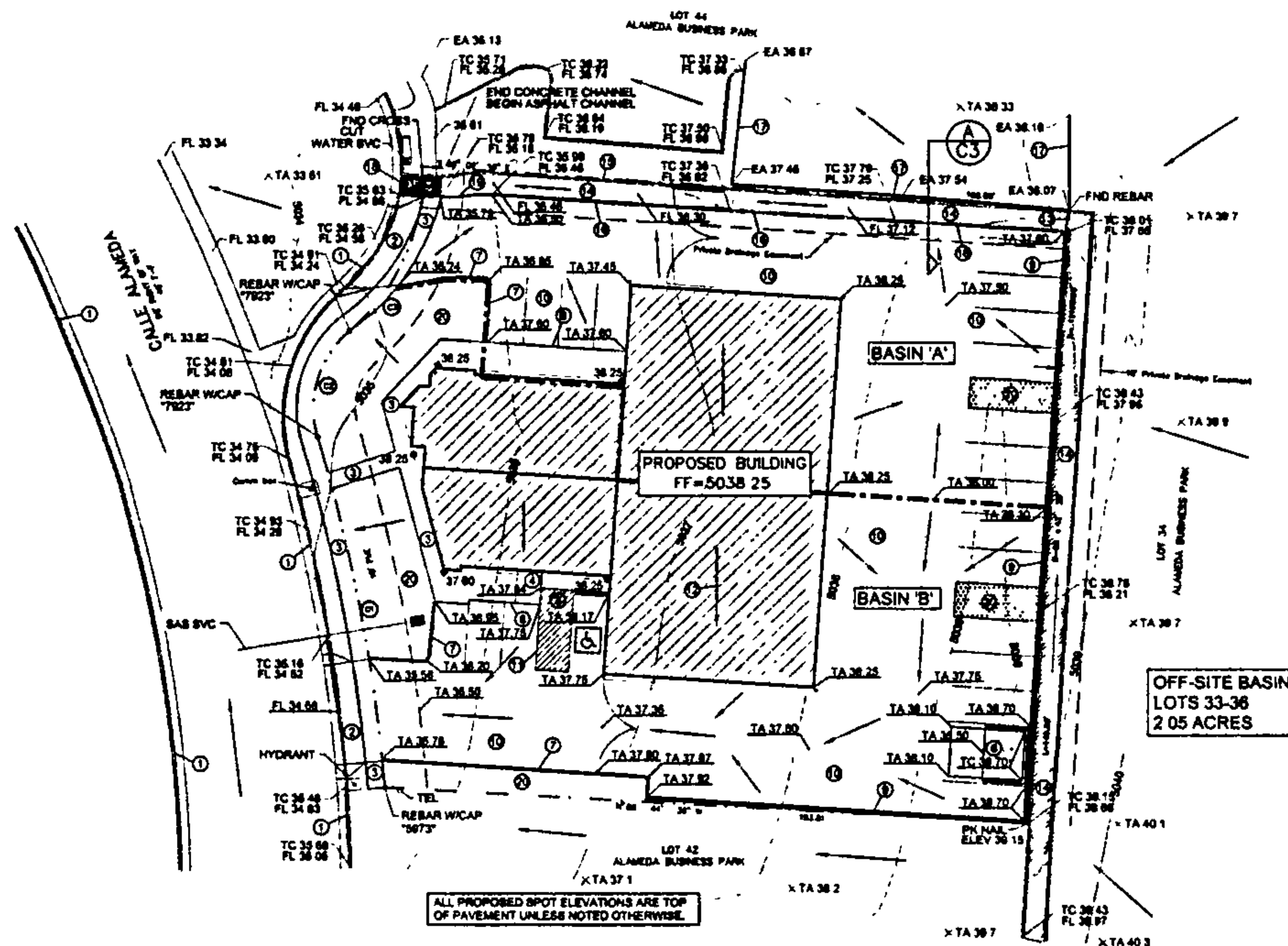


1 SITE LANDSCAPING PLAN
 SCALE: 1" = 10'-0"



5) 842-8413 FAX (505) 242-2280





GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of Baker Office/Warehouse located at 8524 Calle Alameda NE. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements.

EXISTING CONDITIONS

The project site is approximately 0.57 acres in size and is located at 8524 Calle Alameda NE, just north of Vista Alameda. The project site is particularly described as Lot 43, Alameda Business Park. The site is bounded by industrial properties on the east, north and south, and Calle Alameda on the west. Site topography slopes from east to west at approximately 2 percent, draining to Calle Alameda. The site is also north and east by Masterplan drainage channels that convey runoff from an off-site consisting of Lots 33 thru 36 (2.05-acres). All off-site runoff discharges through 2 existing sidewalk culverts to Calle Alameda. From the site all on-site and off-site runoff drains to improvements provided by Alameda Business Park Masterplan drainage improvements constructed for the development convey all runoff to an existing retention pond located to the north on Tract A. The retention pond drains by a pump to the AMAFCA North Diversion Channel.

As shown by the attached FIRM Panel, this site is not impacted by a Flood Hazard Zone.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of the Baker Office/Warehouse with associated site improvements. The Plan shows the contours and elevations required to properly grade and construct the required paving and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions. The drainage criteria for the site was established by the Drainage Masterplan for Alameda Business Park, prepared by Bohannon Huslar, dated February 19, 1999.

All drainage flows will be managed on-site and discharge to the Masterplan drainage improvements that convey all runoff to an existing retention pond located to the north. Basin A drains north to the north easement channel. The channel will be modified as shown by Section A. Basin B drains west to Calle Alameda through the proposed south driveway.

EROSION CONTROL

Temporary erosion control will be required during the construction phase to protect downstream property and improvements from sediment and uncontrolled runoff. This Plan recommends the placement of silt fencing along the construction boundaries to mitigate sediment deposition into the adjoining properties and public streets, and public streets. It is the contractor's responsibility to properly maintain these facilities during the construction phase of the project.

CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

LEGEND

ITEM	EXISTING	PROPOSED
MOUNTABLE CURB	—	—
STD CURB & GUTTER	—	—
DROP INLET	—	—
OVERHEAD ELEC	—	—
UNDERGROUND ELEC, GAS, TEL, TV	—	—
FLOWLINE ELEV	FL 0.14	FL 0.14
TOP OF CURB ELEV	98.3	98.7
SPOT ELEV	16.7	16.7
SEWER SERVICE	—	—
POWER POLE (OVERHEAD)	—	—
CENTERLINE	—	—
RETAINING WALL	—	—
TOP OF ASPHALT ELEV	TA 16.2	TA 16.2
STREET LIGHT	—	—
DIRECTION OF FLOW	—	—
DRAINAGE SHALE	—	—
DRAINAGE BASIN DIVIDE	—	—

PROPERTY ADDRESS

8524 Calle Alameda NE

LEGAL DESCRIPTION

Lot 43, Alameda Business Park

MAPPING

Topographic and Field Measurements by Brasher & Lorenz, Dated January, 2003

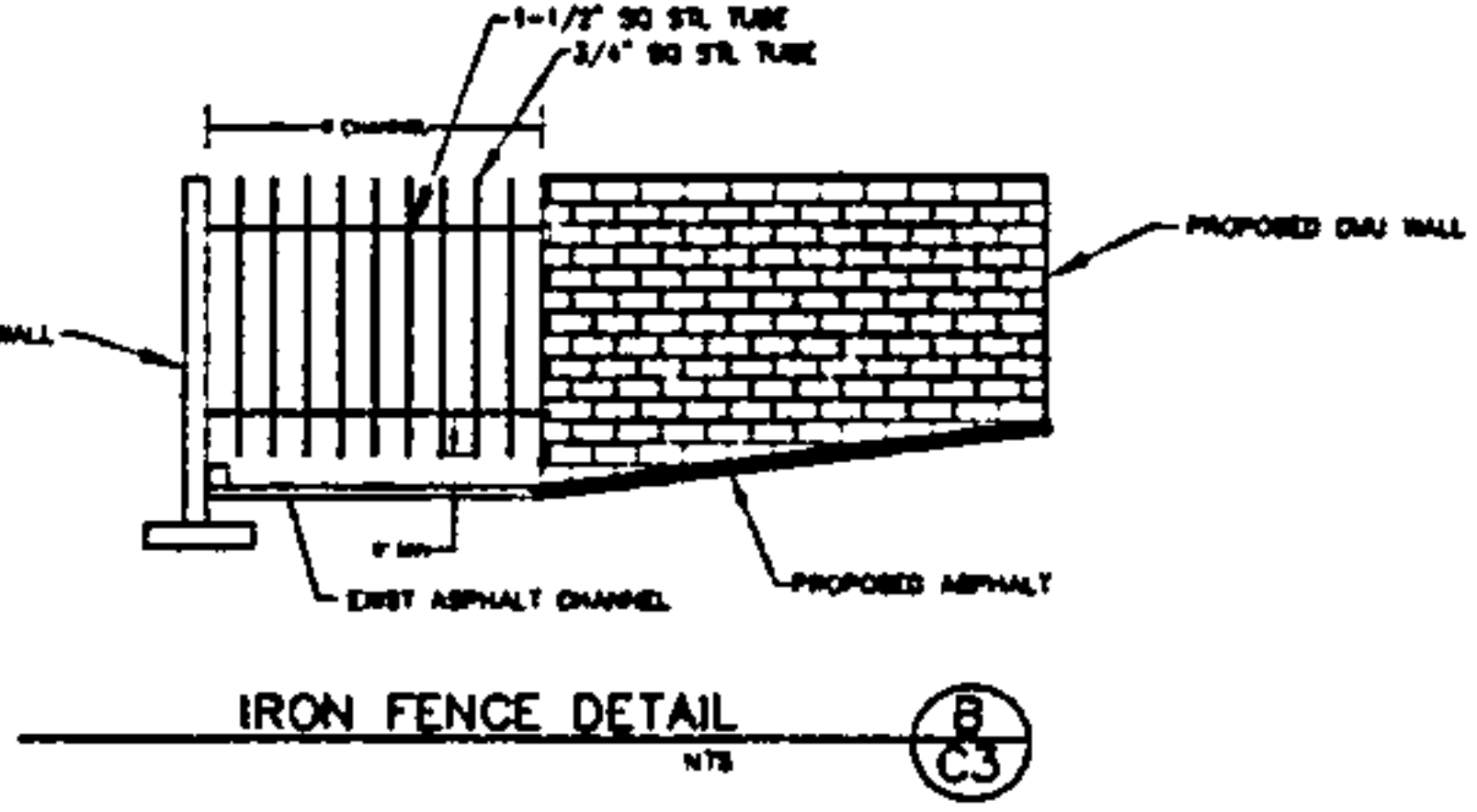
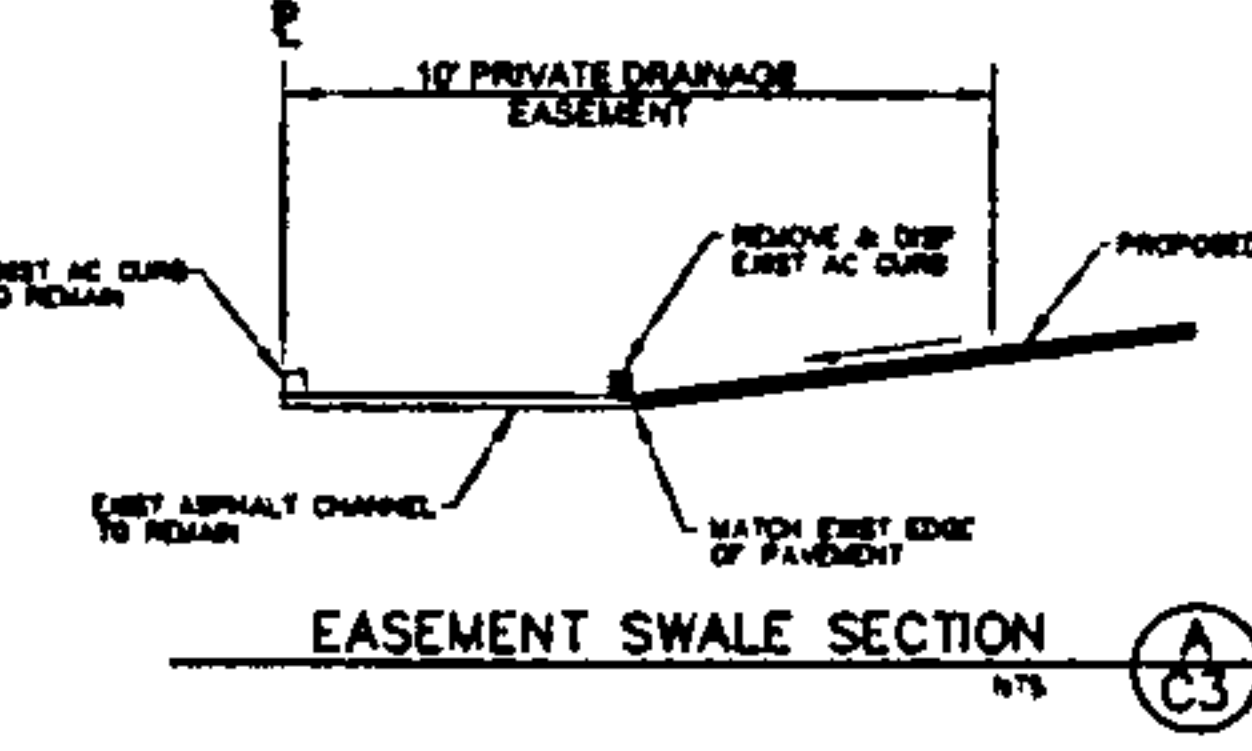
PROJECT BENCHMARK

AMAFCA BRASS TABLET "NDC-7-182" station is located along NDC west frontage road at STA 150+53, approx 0.4 mile south of Alameda Blvd. ELEV = 5064.40 feet MSLD

KEYED NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on an engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

- EXISTING STD CURB & GUTTER
- SAWTOOTH 2025' STD C & G. CONSTRUCT 24' DRIVEPAD PER COA STD DWG 2425
- CONSTRUCT 4' SIDEWALK
- CONSTRUCT HANDICAP RAMP SEE SITE PLAN
- NO CURB AT ACCESSIBLE AREA. PROVIDE CONCRETE TIRE STOP AS SHOWN
- CONSTRUCT REFUSE ENCLOSURE SEE SITE PLAN
- CONSTRUCT 6" EXTRUDED CONCRETE CURB
- CONSTRUCT TURNDOWN SIDEWALK. SEE SITE PLAN
- INSTALL 6" HIGH CMU WALL. SEE SITE PLAN
- CONSTRUCT ASPHALT PAVEMENT SEE SITE PLAN
- PAINTED STRIPPING PER COA CRITERIA
- DIRECTION OF ROOF DRAINAGE
- INSTALL 6 LF IRON FENCE AT CHANNELED. SEE DETAIL (B)
- EXISTING ASPHALT CHANNEL. SEE SECTION (A)
- EXISTING AC CURB TO REMAIN
- REMOVE & DISPOSE OF EXISTING AC CURB AS SHOWN
- EXISTING CMU WALL
- INSTALL 2 - 24" CHECKERED PLATES AT EXIST SW CULVERT PER COA STD DWG 2236
- CONSTRUCT 12 LF-6" CONCRETE HEADER CURB AS SHOWN
- LANDSCAPING



DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988.
- THREE WORKING DAYS PRIOR TO ANY EXCAVATION THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 786-1234 FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A SHOULDER BASIS.

APPROVALS
INSPECTOR _____ DATE _____

CURVE	LENGTH	RADIUS	DELTA	CORR BEARING	CORR DIST.
C1	87.86'	416.07'	12°09'36"	119°46'02"	88.89'
C2	36.71'	38.98'	89°47'31"	119°02'56"	37.16'
C3	44.22'	38.98'	89°47'31"	123°08'27"	43.88'

HYDROLOGY - AHYMO						
Precipitation Zone 2						
Basin	Area (Ac)	A	B	C	D	E _w (cfs)
Site	0.57	0	0	0.57	0	1.13
OFFSITE	2.05	0	0	2.05	0	1.13
Developed Conditions						
Site	0.57	0	0.03	0.06	0.48	1.95
A	0.23	0	0.02	0.03	0.27	1.95
B	0.25	0	0.01	0.02	0.22	1.95
OFFSITE	2.05	0	0.10	0.20	1.75	1.95

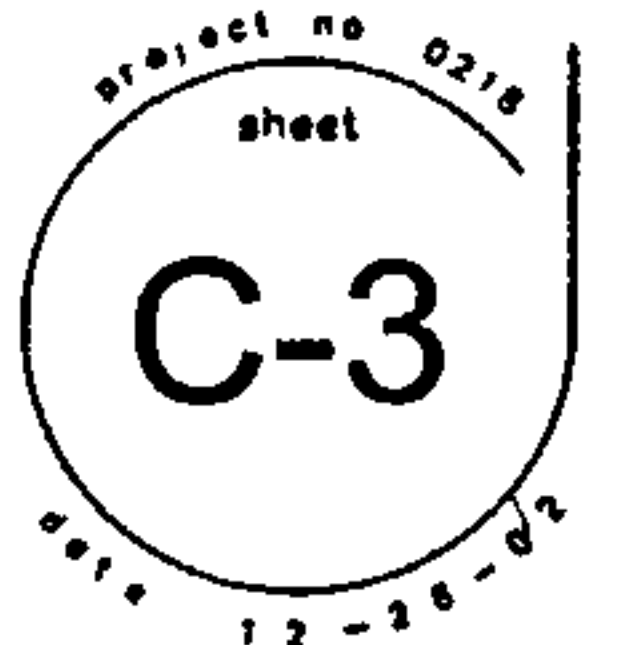
GRADING & DRAINAGE PLAN

SCALE: 1" = 20'-0"

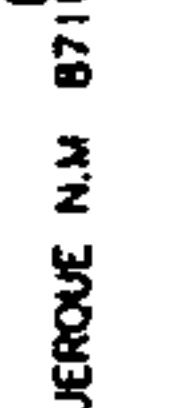


BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-885-8888 Fax: 505-885-8188

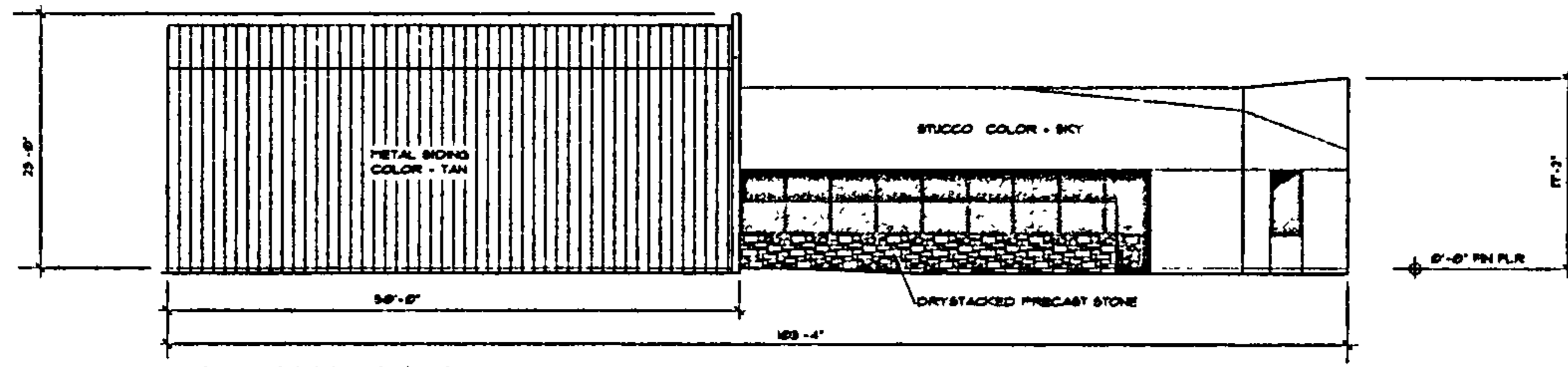
BAKER CONSTRUCTION OFFICE/WAREHOUSE
LOT 43 CALLE ALAMEDA
ALBUQUERQUE, NEW MEXICO
SANDERS & ASSOCIATE ARCHITECTS, P.C.



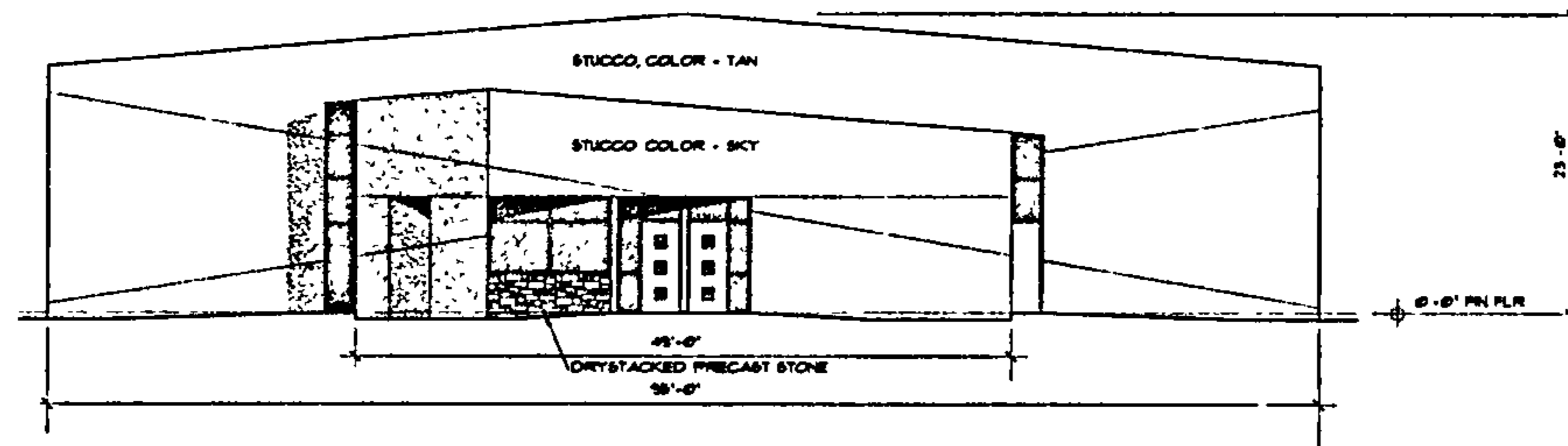
842-8413 FAX (505) 242-2280



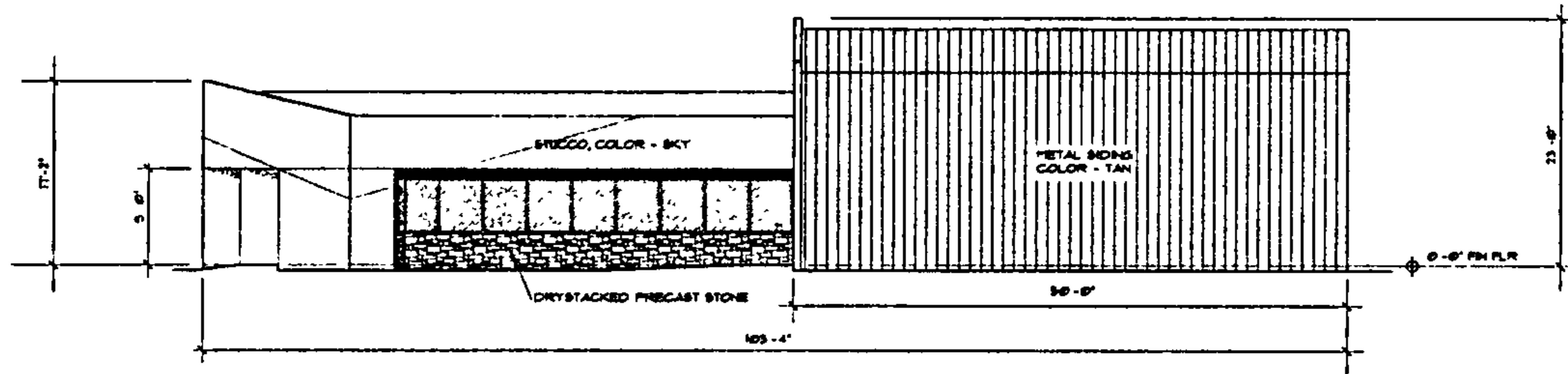
600 CENTRAL AVE. S.W. SUITE 111 ALBUQUERQUE N.M. 87102



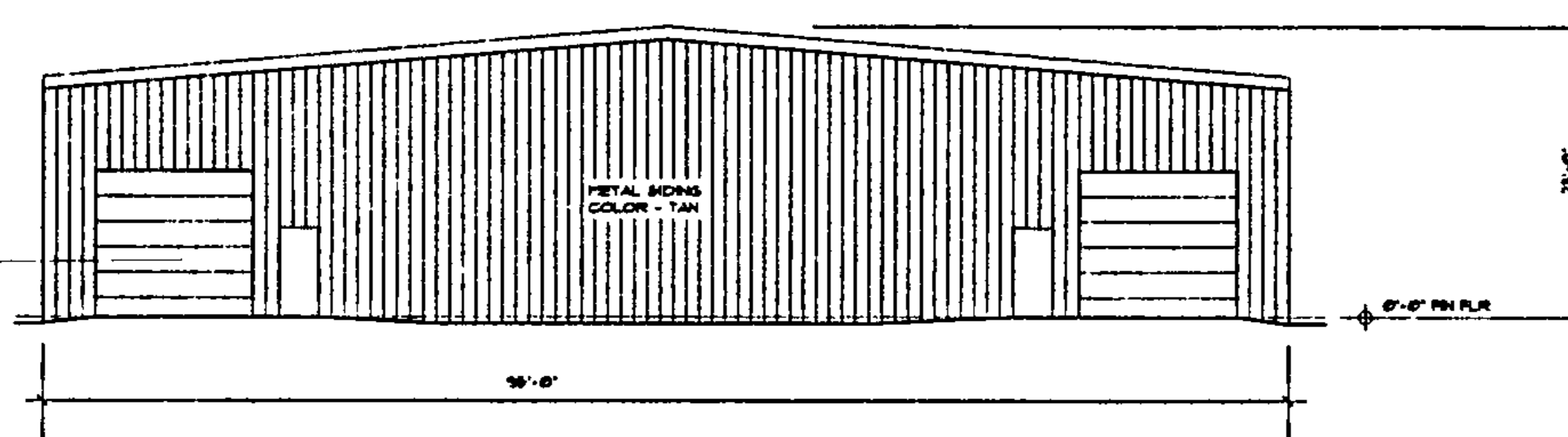
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



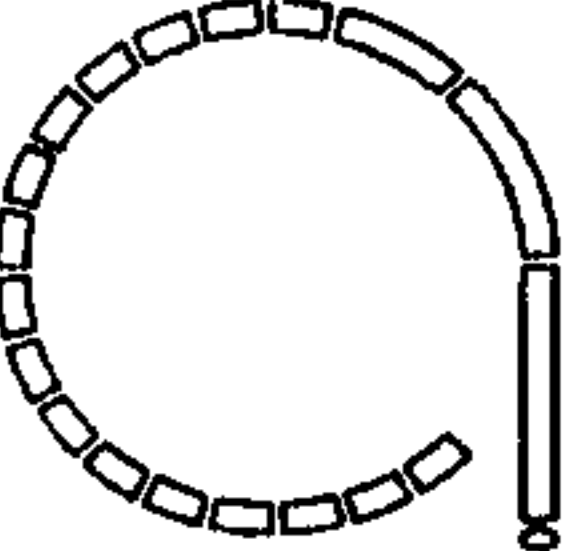
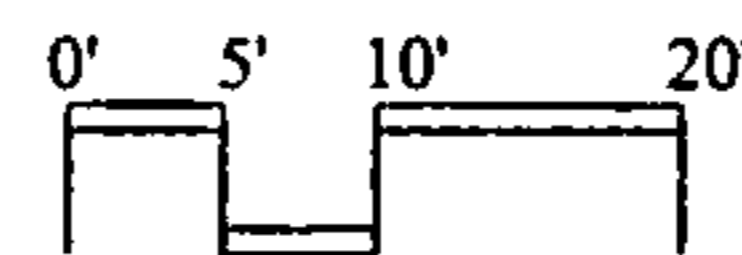
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



BAKER CONSTRUCTION OFFICE/WAREHOUSE

LOT 43 CALLE ALAMEDA
ALBUQUERQUE, NEW MEXICO

SANDERS & ASSOCIATE ARCHITECTS, P.C. 800 CENTRAL AVE. S.W. SUITE 111 ALBUQUERQUE, N.M. 87102-0005 842-8413 FAX (505) 242-2280

Project no 0218
sheet
A-2
x of x
12-27-02

EXISTING FENCE
TO REMAIN

VICINITY MAP

ZONE ATLAS MAP NO. C-16

AMENDED 8/4/99 N.T.S.

SITE DEVELOPMENT PLAN NOTES:

1. PROPOSED DEVELOPMENT PLAN MUST CONFORM TO THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN, THE ALAMEDA DESIGN OVERLAY ZONE, THE NORTH VALLEY AREA PLAN, AND THE IP INDUSTRIAL PARK ZONE.
2. SITE DEVELOPMENT PLANS AND LANDSCAPE PLANS ARE REQUIRED FOR PERMISSIVE USES ON ALL LOTS. LOTS 23, AND 4-56 SHALL BE APPROVED BY THE PLANNING DIRECTOR. LOTS 1, 4-12, AND 51-55 SHALL BE APPROVED BY THE PLANNING DIRECTOR FOLLOWING NOTIFICATION OF AND OPPORTUNITY FOR REVIEW BY THE ALAMEDA NORTH VALLEY NEIGHBORHOOD ASSOCIATION.
3. ALL REFUSE COLLECTION AND OUTDOOR STORAGE AREAS SHALL BE VISUALLY SCREENED FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT PROPERTY LINES. SCREENING SHALL CONSIST OF OPAQUE MATERIALS. SOLID WALLS OR PROPERTY FENCINGS SHALL BE AT LEAST SIX FT HIGH AND BE CONSTRUCTED OF MATERIALS WHICH BLEND WITH THE ARCHITECTURAL STYLE OF BUILDINGS ON SITE.
4. ALL LOADING AREAS USED FOR THE LOADING AND UNLOADING OF COMMERCIAL VEHICLES SHALL BE SET BACK FROM THE PUBLIC RIGHT-OF-WAY LINE AND FROM ALL PROPERTY LINES TO REDUCE THE VISUAL IMPACT OF LARGE COMMERCIAL VEHICLES AND LOADING AREAS.
5. **BUILDING SETBACK REQUIREMENTS:**
 - A) FRONT YARD: NOT LESS THAN 20'
 - B) SIDE YARD: NOT LESS THAN 10'
 - C) REAR YARD: NOT LESS THAN 10'
 - D) LOTS 1 AND 4-5 SHALL HAVE A 5' SETBACK FROM THE TOP OF THE SLOPED PORTION OF THE LOT, ADJUTING EDITH BLVD.
6. STRUCTURE HEIGHT AND WIDTH SHALL FALL WITHIN 45° ANGLE PLANES DRAIN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH BOUNDARY OF THE PREMISES, BUT A STRUCTURE SHALL NOT EXCEED A HEIGHT OF 120 FT (EXCEPT AS FURTHER DEFINED IN THE ZONING CODE).
7. NO MORE THAN 50% OF THE SURFACE OF ANY LOT SHALL BE COVERED WITH BUILDINGS.
8. FOR LANDSCAPE BUFFER REQUIREMENTS SEE LANDSCAPE NOTES ON SHEET 2 OF 2.
9. SEE SHEET 2 OF 2 FOR SIGNAGE, SITE LIGHTING, AND ARCHITECTURAL REQUIREMENTS.

TRACT C-1-A-1, LANDS OF
SPRINGER BUILDING MATERIALS CORP.
(EXISTING GENERAL MILLS PLANT)
ZONED SU-2, IP-EP.

Planning Director

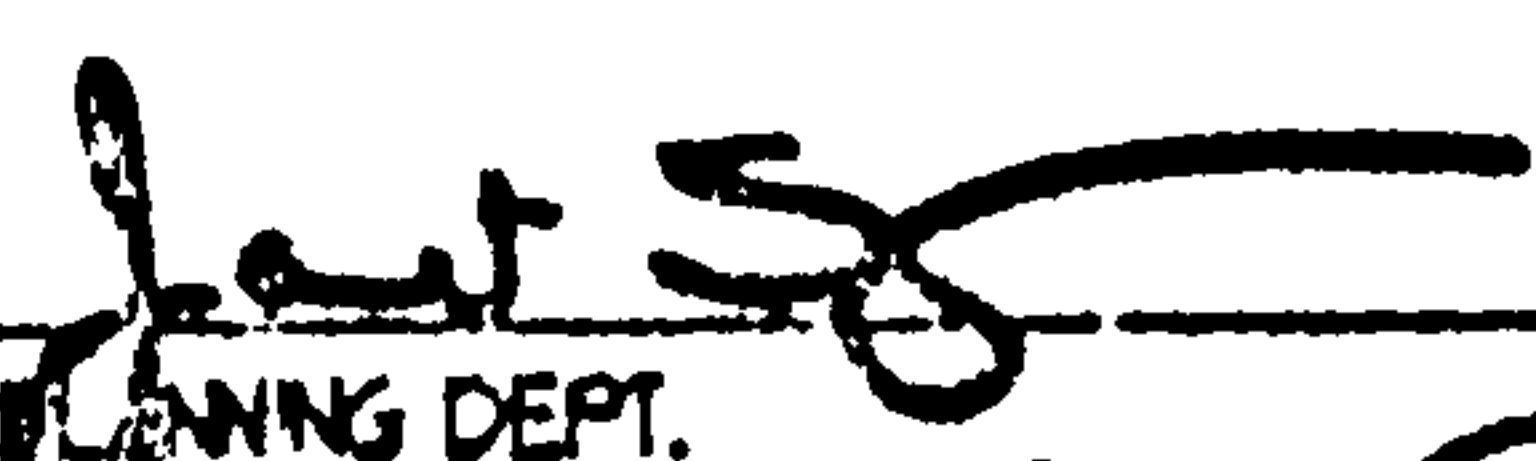

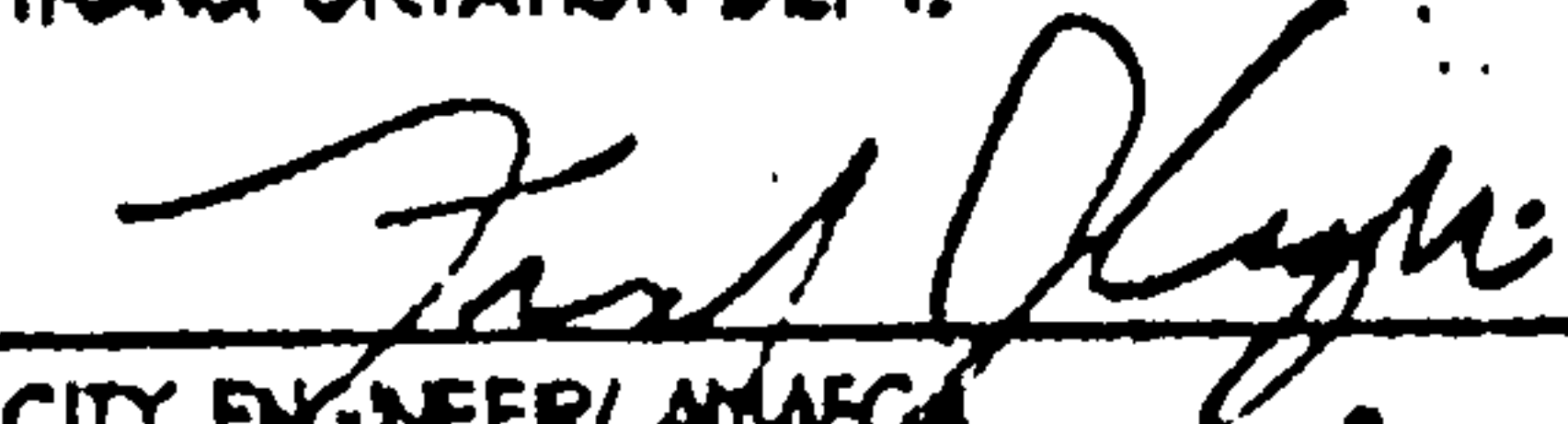

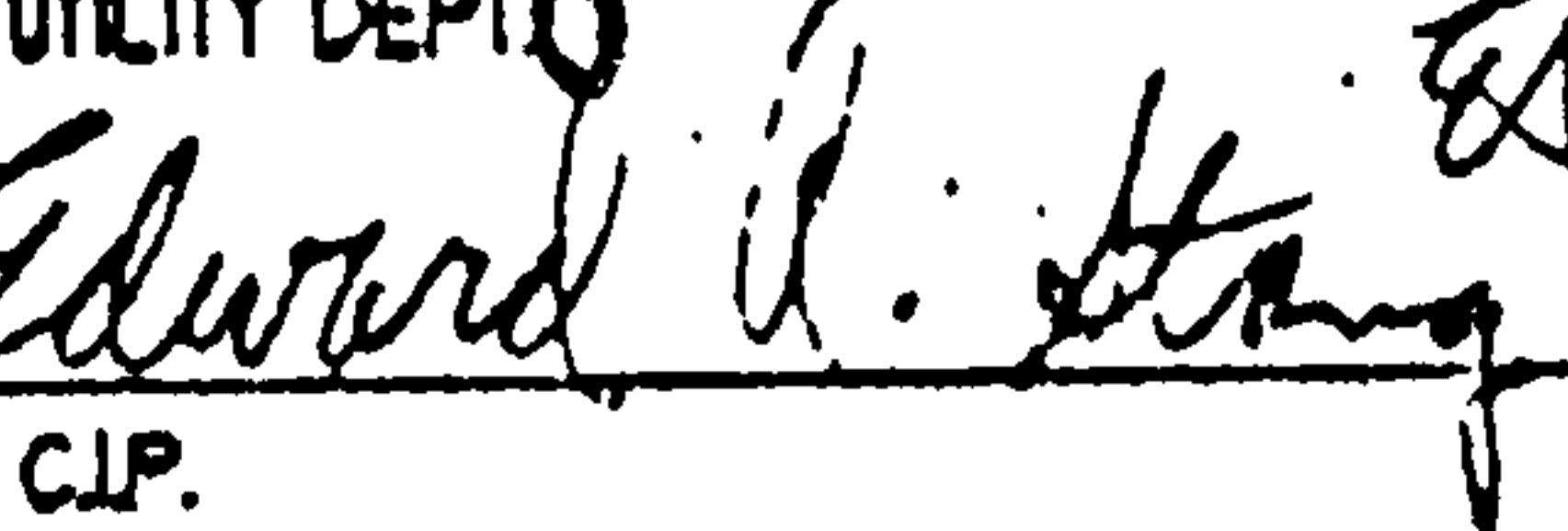
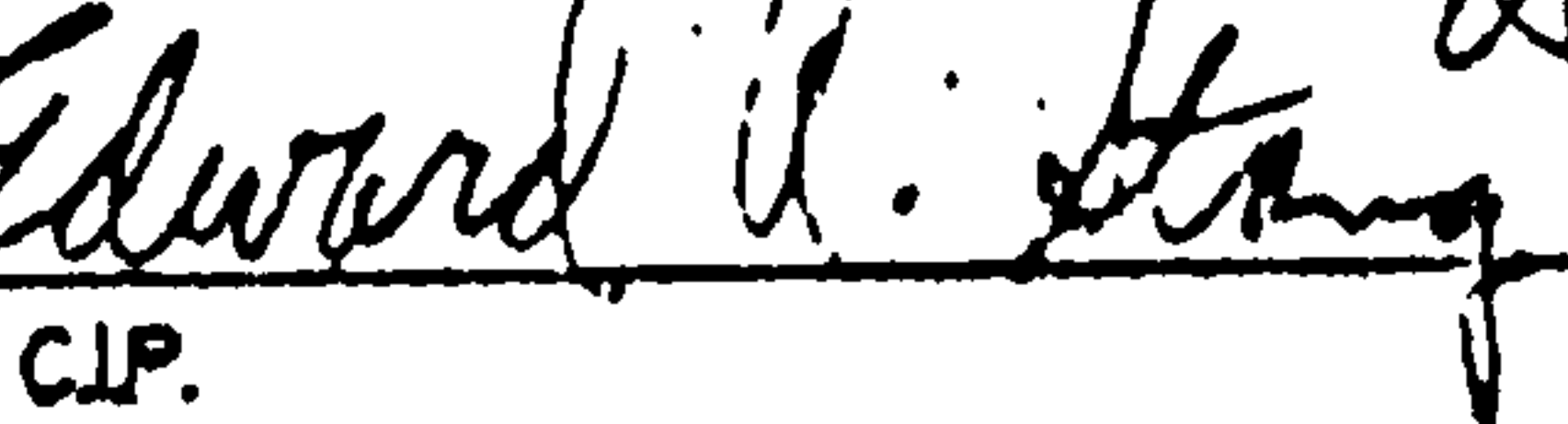
Lots 2, 3 and
Lots 4-56

43

DRB:
non-public

DRB 98-223

THIS PLAN IS CONSISTENT WITH THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN AND CITY OF ALBUQUERQUE ZONING ORDINANCE.

 8/4/99
 PLANNING DEPT. DATE
 3-09-99
 TRANSPORTATION DEPT. DATE
 8-16-99
 CITY ENGINEER/ AMAFCA DATE
 3-7-99
 UTILITY DEPT. DATE
 8-4-99
 C.I.P. DATE
 3-9-99
 C.I.P. DATE

AMENDED 8/4/99

NOTE:

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME MIKE BAKER
AGENT SANDERS & ASSOC
ADDRESS _____
PROJECT NO. 1002507
APPLICATION NO. 03 DRB - 00302

\$ 385. 441006 / 4983000 (DRB Cases)
\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)
\$ _____ 441018 / 4971000 (Notification)

\$ 385. Total amount due

SANDERS & ASSOCIATES ARCHITECTS P.C.
505-350-9298
600 CENTRAL AVE. SW SUITE 111
ALBUQUERQUE, NM 87102

95-660/1070
7827236794

1122

DATE 2/25/03

PAY TO THE ORDER OF City of Albuquerque \$ 385.00
Three hundred eighty five dollars & 00/100 DOLLARS

BANK OF ALBUQUERQUE
Albuquerque, New Mexico
www.bankofalbuquerque.com

MEMO DRB Submittal

1070066061 7827236794 1122

DUPLICATE
City Of Albuquerque
Treasury Division

02/25/2003 3:46PM LOC: ANNX
RECEIPT# 00004098 WS# 006 TRANSH# 0034
Account 441006 Fund 0110
Activity 4983000 TRSKDM
Trans Amt \$385.00
J24 Misc \$385.00
CK \$385.00
CHANGE 10/28/02 \$0.00