

Handwritten scribbles and the number 10.



Paul J. Ferrel

DRB CASE ACTION LOG

REVISED 3/20/2003

7-24-03
JMM

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-00894 Project # 1002512
 Project Name: Town of Albuquerque EPC Application No.: _____
 Agent: Nancy Kennedy Phone No.: 889-8056

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6.11.03 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA:
 SAD readjustment - ok BUS

PARKS / CIP: _____

PLANNING (Last to sign): JMM 7/24/03 after 15-day appeal period
 Planning must record this plat. Please submit the following items:
 -The original plat and a mylar copy for the County Clerk.
 -Tax certificate from the County Treasurer.
 -Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 -Tax printout from the County Assessor.
 Include 3 copies of the approved site plan along with the originals.
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 Property Management's signature must be obtained prior to Planning Department's signature.
 Copy of final plat AND a DXF File for AGIS is required. DXF file in
 Copy of recorded plat for Planning.

Project Number 1002512

7-24-03
[Signature]

APPLICATION NO. 03DRB00894	PROJECT NO. 1002512
PROJECT NAME Tract A, Lands of Petty	
EPC APPLICATION NO.	
APPLICANT / AGENT Wilkes	PHONE NO. 888-3066
ZONE ATLAS PAGE L9	

ONE STOP COMMENT FORM LOG

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
 		
 		
 		
 		
 		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
 		
 		
 		
 		
 		

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED BUB	DATE 7/24/03	DATE
COMMENTS:		
 		
 		
 		
 		
 		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
 		
 		
 		
 		
 		

PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED [Signature]	DATE 7/24/03	DATE
COMMENTS:		
 		
 		
 		
 		
 		

(Return form with plat / site plan)

AGIS ELECTRONIC SUBMITTAL CHECKLIST

DRB Project# 1002512 Subdivision Name Lands of Petty

Surveyor Anthony Harris Company Harris Surveying

Contact person Jim Wilks Phone # 888-3066 email _____
↳ cell 250-2273

Patricia M-GPT _____ 7/23/03
Approved *Not Approved Date

DXF RECEIVED 6/27/03 DATE - New dxf recvd 7/23/03
 HARD-COPY RECEIVED 6/27 DATE
 DISCLOSURE STATEMENT - so-so
↳ 7/23/03

↳ local coordinates, ground distances, grid brgs

*Not Approved for one or more of the following reasons:

File Format and naming

- 1) ___ Format is not DXF file in ASCII format
- 2) ___ No hard copy of the final plat submitted
- 3) ___ <DRB Project #>.dxf not used as a standard naming convention

Coordinate System

- 4) ___ Submittal does not include a disclosure of the datum (NAD27 or NAD83)
- 5) Submittal does not specify if coordinates are based on ground or grid distances
- 6) ___ Submittal does not include information, such as a tie to an ACS monument, necessary to convert from ground to grid
- 7) Lines cannot be projected/converted to correct location in NAD83 NMSP coordinate system

Content

- 8) ___ Submittal is not single drawing in model space showing only parcel and easement lines
- 9) ___ Digital submittal does not match final plat
- 10) ___ Parcel lines are not in one separate layer
- 11) ___ Access-easement lines and all other easements that are 20 feet wide or greater are not in a second separate layer
- 12) ___ All other easement lines are not in a third separate layer

Comments:

extraneous lines

AGIS Use Only: Copied cov 2512 to agiscov on 7/23/03 Client Notified 7/23/03

#10



Paul J. Jerns

DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.:	<u>03-00894</u>	Project #	<u>1002512</u>
Project Name:	<u>Lawn of Pleasanton</u>	EPC Application No.:	
Agent:	<u>Nancy Kennedy</u>	Phone No.:	<u>889-8056</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6.11.03 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA:
 SAD readjustment

PARKS / CIP: _____

PLANNING (Last to sign): after 15-day appeal period
 Planning must record this plat. Please submit the following items:
 -The original plat and a mylar copy for the County Clerk.
 -Tax certificate from the County Treasurer.
 -Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
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 Include 3 copies of the approved site plan along with the originals.
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 Property Management's signature must be obtained prior to Planning Department's signature.
 Copy of final plat AND a DXF File for AGIS is required.
 Copy of recorded plat for Planning.

Project Number 1002512



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 11, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 1:30 P.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000614**
03DRB-00783 Major-Two Year SIA

TERRY O. BROWN, P.E. agent(s) for DEVELOPMENT SERVICES LTD CO request(s) the above action(s) for all or a portion of Lot(s) 3-12, and 21-29, Block(s) 33 & 34, Tract A, Unit B, North Albuquerque Acres, (to be known as **LA CUEVA OESTE SUBDIVISION – UNIT 4**) zoned R-D, located on HOLLY AVE NE, between LOUISIANA BLVD NE and SAN PEDRO NE containing approximately 37 acre(s). [REF:DRB-95-121, DRB-97-293, 01DRB-00622] [Deferred from 6/11/03](C-18) **DEFERRED AT THE AGENT'S REQUEST TO 6/18/03.**

2. **Project # 1001226**
03DRB-00789 Major-One Year SIA
Procedure B

MARK GOODWIN & ASSOCIATES PA agent(s) for VISTA DEL NORTE DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) ALL 45, **BERNARDO TRAILS - UNIT 3**, zoned R-2, located on LAS LOMITAS DR NE, between EL PUEBLO RD NE and OSUNA DR NE containing approximately 8 acre(s). [REF: 01DRB-00605, 01DRB-00606, 01DRB-00607, 02DRB-00700, 03DRB-0000173, 03DRB-00174] (D-16) **A ONE YEAR EXTENSION OF THE SIA WAS APPROVED. THE EXISTING CONSTRUCTION COMPLETION DEADLINE DATE OF 6/6/03 AS IDENTIFIED IN THE MOST RECENT SIA WAS APPROVED TO 6/6/04.**

3. **Project # 1001226**
03DRB-00790 Major-One Year SIA
"B" Modified

MARK GOODWIN & ASSOCIATES PA agent(s) for VISTA DEL NORTE DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) ALL, **BERNARDO TRAILS, UNIT 1**, zoned R-2 residential zone, located on VISTA DEL NORTE DR NE, between OSUNA RD. NE and EL PUEBLO RD. NE containing approximately 19 acre(s). [REF: 01DRB-00605, 01DRB-01685, 02DRB-00700] (D-16) **A ONE YEAR EXTENSION OF THE SIA WAS APPROVED. THE EXISTING CONSTRUCTION COMPLETION DEADLINE DATE OF 6/6/03 AS IDENTIFIED IN THE MOST RECENT SIA WAS APPROVED TO 6/6/04.**

4. **Project # 1000658**
03DRB-00786 Major-SiteDev Plan Subd
03DRB-00787 Major-SiteDev Plan
BldPermit

KNIGHT SEAVEY, JUD CERVENAK, agent(s) for OTOÑO PARTNERS request(s) the above action(s) for all or a portion of Tract(s) F-1-A, **LOOP INDUSTRIAL DISTRICT - UNIT 1**, zoned SU-2 M-1, located on ALAMEDA NE, between JEFFERSON NE and I-25 NE containing approximately 5 acre(s). [REF: DRB-98-30, 00DRB-00938 (P&F), ZA-00-173] (C-17) **THE SITE PLAN FOR SUBDIVISION AND SITE PLAN FOR BUILDING PERMIT WERE APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING TO VERIFY IF SIDEWALK INFORMATION IS IN COMPLIANCE WITH THE ZONE CODE.**

03DRB-00808 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA, agent(s) for OTOÑO PARTNERS request(s) the above action(s) for all or a portion of Tract(s) F-1-A, **LOOP INDUSTRIAL DISTRICT - UNIT 1**, zoned SU-2 M-1, located on ALAMEDA NE, between JEFFERSON NE and I-25 NE containing approximately 5 acre(s). [REF: DRB-98-30, 00DRB-00938 (P&F), ZA-00-173] (C-17) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/11/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/8/03 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION: AN ADEQUATE PUBLIC RIGHT-OF-WAY EASEMENT SHALL BE GRANTED FOR THE ACCESS POINT ON ALAMEDA TO THE SATISFACTION OF THE TRAFFIC ENGINEER. THIS IS TO BE DONE PRIOR TO FINAL PLAT APPROVAL. THE FINAL PLAT WAS INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

5. **Project # 1001038**
03DRB-00785 Major-Vacation of Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for HELMICK / SPRADLIN DEVELOPMENT PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, **LA CUEVA TIERRA SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on ROBS PL NE, between VENTURA ST. NE and CARMEL AVE NE containing approximately 1 acre(s). [REF: DRB-94-436, ZA-95-43, 01DRB-00139, 01DRB-00429, 03DRB-00554] (C-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

6. **Project # 1002639**
03DRB-00719 Minor-Sidewalk Waiver
03DRB-00720 Minor-Temp Defer SDWK
03DRB-00721 Minor-Subd Design (DPM) Variance
03DRB-00722 Major-SiteDev Plan Subd
03DRB-00717 Major-Preliminary Plat Approval

ISAACSON & ARFMAN, PA agent(s) for BOYHAHN, LLC request(s) the above action(s) for all or a portion of Lot(s) 6-14, Block(s) 4, Tract(s) 2, North Albuquerque Acres, **TREMENTINA SUBDIVISION** zoned RD/SU-1, 7 DU/AC, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD. NE containing approximately 9 acre(s). [*Deferred from 5/28/03 AND 6/11/03*] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/18/03.**

7. **Project # 1002640**
03DRB-00728 Minor-Temp Defer SDWK
03DRB-00723 Major-Preliminary Plat Approval
03DRB-00726 Minor-Sidewalk Variance
03DRB-00725 Minor-Sidewalk Variance
03DRB-00724 Major-SiteDev Plan BldPermit

ISAACSON & ARFMAN PA agent(s) for BOYHAHN LLC request(s) the above action(s) for all or a portion of Lot(s) 22-32, Block(s) 3, Tract(s) 2, NO. ALBUQ. ACRES, **VISTA DEL AGUILA SUBDIVISION**, zoned RD SU-1, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 12 acre(s). [*Deferred from 5/28/03 AND 6/11/03*] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/25/03.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. **Project # 1002405**
03DRB-00879 Minor-SiteDev Plan
BldPermit/EPC
- JOHN A. MYERS agent(s) for TANAGER- REDLANDS, LLC request(s) the above action(s) for all or a portion of Tract(s) A-28-B1, **TOWN OF ATRISCO GRANT, NORTHEAST UNIT**, zoned SU-1 special use zone, for C-1 uses to include AUTO BODY REP. & PAINT., located on the WEST SIDE OF COORS BLVD NW, between SEQUOIA RD NW and QUAIL RD NW containing approximately 5 acre(s). [REF: 02EPC-01949] [DEBBIE STOVER, EPC CASE PLANNER] [Deferred from 6/11/03] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 7/9/03.**
9. **Project # 1001523**
03DRB-00899 Minor-Amnd SiteDev Plan
Subd
- MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH STREET PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for Light Industrial, located on UNSER BLVD NW between 98TH ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: 01EPC-01405, 02DRB-00518, 03DRB-00755] [Deferred from 6/11/03] (H-10) **DEFERRED AT THE AGENT'S REQUEST TO 7/9/03.**

10. **Project # 1002512**
03DRB-00896 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for SOUTHWEST SELF STORAGE LLC, request(s) the above action(s) for all or a portion of Lot(s) 2, **TOWN OF ATRISCO GRANT**, zoned O-1 office and institution zone, located on the EAST SIDE OF 98TH ST SW between TOWER RD SW and SAN YGNACIO RD SW containing approximately 4 acre(s). [REF: 03EPC-00320, 03DRB-00730, 1002642 (VAC.)] **[JANET STEPHENS, EPC CASE PLANNER] (L-9) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE HYDRANT CONNECTION DETAILS.**

03DRB-00894 Minor-Prelim&Final Plat
Approval

HARRIS SURVEYING INC agent(s) for SOUTHWEST SELF STORAGE, LLC request(s) the above action(s) for all or a portion of Tract(s) 40, **TOWN OF ATRISCO GRANT**, zoned O-1 office and institution zone, located on the EAST SIDE OF 98TH ST SW, between TOWER RD SW and SAN YGNASIO ST SW containing approximately 4 acre(s). [REF: 03DRB-00730, 03EPC-00320] (L-9) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SAD READJUSTMENT AND DXF FILE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1000627**
03DRB-00890 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN PA agent(s) for CALVARY CHAPEL OF ALBUQUERQUE INC request(s) the above action(s) for all or a portion of Tract(s) A, **CALVARY CHAPEL**, zoned O-1 / M-1, located on OSUNA RD NE, between WASHINGTON ST NE and JEFFERSON NE containing approximately 20 acre(s). [REF: 03DRB-00675, 03DRB-00676, 03DRB-00677, 03DRB-00678, 03DRB-00679] (E-17) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE.**

12. **Project # 1000722**
03DRB-00889 Minor-Final Plat Approval

ISAACSON & ARFMAN, PA agent(s) for FTS CONSTRUCTION, INC. request(s) the above action(s) for all or a portion of Tract(s) D-3, ALBUQUERQUE SOUTH, UNIT 1, (to be known as **SAPPHIRE ESTATES**, zoned SU-1 special use zone, R-LT, located on the WEST SIDE OF UNSER BLVD SW between SAPPHIRE ST SW and SAGE RD SW containing approximately 3 acre(s). [REF: 02DRB-01272 THRU, 02DRB-001275, 01DRB-01488, 00DRB-01086, DRB-99-220, Z-99-64] (M-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE.**

13. **Project # 1001376**
03DRB-00874 Minor-Amnd Prelim Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for MESA VERDE DEVELOPMENT, request(s) the above action(s) for all or a portion of Tract(s) 1, Block(s) 3, Lot(s) 8-25 and Block(s) 4, Lot(s) 9-23, Unit 3, NORTH ALBUQUERQUE ACRES, **DESERT RIDGE TRAILS NORTH**, zoned R-D residential and related uses zone, developing area, located on the WEST SIDE OF WYOMING BLVD NE, between BEVERLY HILLS AVE NE and FLORENCE AVE NE, containing approximately 33 acre(s). [REF: [REF: 02DRB-01363, 01965, 01966, 01967, 01968] (B-19) **THE AMENDED PRELIMINARY PLAT WAS APPROVED. THE AMENDED GRADING PLAN ENGINEER STAMP DATED 5/21/03 WAS APPROVED. THE AMENDED INFRASTRUCTURE LIST DATED 6/11/03 WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

14. **Project # 1002429**
03DRB-00898 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC, agent(s) for LOS SUENOS LLC request(s) the above action(s) for all or a portion of Lot(s) 58-A-1&59-A-1, **LOS SUENOS SUBDIVISION, UNIT 1**, zoned R-T residential zone, located on NIGHT SHADOW AVE NW, between SWEET DREAMS DR NW and DREAMY WAY DR NW containing approximately 1 acre(s). [REF: 00110-01134, 02DRB-01645, 03DRB-00013, 03DRB-00082] (A-11) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE AND NEW MEXICO UTILITIES SIGNATURE.**

15. **Project # 1002539**
03DRB-00532 Minor-Prelim&Final Plat
Approval

JERRY CULAK, SURVEYOR agent(s) for HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 3 & 4, **ARIAS ACRES ADDITION**, zoned S-R, located on 15TH ST NW, between MOUNTAIN NW and BELLAMAH NW containing approximately 1 acre(s). [Deferred from 4/9/03] *[WAS INDEFINITELY DEFERRED, TO ADDRESS INFRASTRUCTURE LIST COMMENTS, AT THE AGENT'S REQUEST]* (J-13) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CONSTRUCTION OF CONCRETE ESTATE CURB.**

03DRB-00895 Minor-Sidewalk Waiver

ROSEMARY A MORIN FOR agent(s) for HABITAT FOR HUMANITY, request(s) the above action(s) for all or a portion of Lot(s) 3 & 4, **ARIAS ACRES ADDITION**, zoned S-R, located on 15TH ST NW, between MOUNTAIN NW and BELLAMAH NW containing approximately 1 acre(s). [REF: 03DRB-00421 (SK), 03DRB-00532 (PF)] (J-13) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1002704**
03DRB-00892 Minor-Sketch Plat or Plan
- JIM SACOMAN agent(s) for CRESTVIEW PATIO HOMES request(s) the above action(s) to dedicate Home Owner's Association Private Right-of-Way to the CITY OF ALBUQUERQUE, **CRESTVIEW PATIO HOMES**, zoned SU-1 PRD, located on OSUNA PL NE, between MOON ST NE and EUBANK BLVD NE containing approximately 12 acre(s). [REF: Z-74-6 / AX-76-4, Z-76-29] (F-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
17. **Project # 1002705**
03DRB-00897 Minor-Sketch Plat or Plan
- LARRY READ & ASSOCIATES INC agent(s) for HACIENDAS BY THE CARLISLES request(s) the above action(s) for all or a portion of Lot(s) 17-20, Block(s) 17, NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3, (to be known as **PAISIANO COURT**) zoned R-D, 3DU/acre, located on MODESTO AVE NE, between VENTURA NE and HOLBROOK NE containing approximately 4 acre(s). (B-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
18. **Project # 1002455**
03DRB-00893 Minor-Sketch Plat or Plan
- JOE COTRUZZOLA agent(s) for J GROUP request(s) the above action(s) for all or a portion of Tract(s) A-3-B, **J GROUP ADDITION**, zoned SU-1 for C-1, located on SAN ANTONIO RD NE, between I-25 NE and SAN PEDRO NE containing approximately 10 acre(s). [REF: 03EPC-00147, 03EPC-00148, DRB-96-452] (E-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE**
19. Approval of the Development Review Board Minutes for May 7, 14, 21 and 28, 2003. **THE MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 1:30 P.M.



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002512

AGENDA ITEM NO: 10

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Before final plat approval, a Readjustment of Assessment needs to be completed through the Special Assessment Office (Contact Linda Adamsko @ 768-3218).
 Development projects with land area of 5 acres, or more, are required to file a Notice of Intent (NOI) with the US Environmental Protection Agency for storm water discharge during construction.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

(SPBP) → (Jd)

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: June 11, 2003



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1002512

Item No. 10

Zone Atlas L-9

DATE ON AGENDA 6-11-03

INFRASTRUCTURE REQUIRED () YES (x) NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- (x) SITE PLAN FOR BUILDING PERMIT

No.	Comment
-----	---------

- Stripe some end islands at the end of the storage buildings.
- No objection to the plat.

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:

#10



Site Plan

DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>03-00896</u>	Project # <u>1002512</u>
Project Name: <u>Tecoma of Artesian</u>	EPC Application No.:
Agent: <u>Christopher Kelly</u>	Phone No.: <u>764-9801</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6.11.03 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: Fire hydrant Connector plans

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

- PLANNING (Last to sign): _____
- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - Include 3 copies of the approved site plan along with the originals.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - Copy of final plat AND a DXF File for AGIS is required.**
 - Copy of recorded plat for Planning.**

Project Number 1002512

CITY OF ALBUQUERQUE
Planning Department
6/11/03

Item # 10

Project #1002512

Application # 03DRB-00896

Subject: Site Development Plan for Building Permit/EPC

Comments from Janet Stephens, EPC Case Planner as dictated via phone.

- ✓1) The language regarding the lighting (i.e. foot lamberts) needs to be verified against the regulations.
- ✓2) Staff needs to verify the type of notices to be placed on the signs reader board at the corner of 98th Street SW and San Ygnacio Rd SW.

notices will be

10. ~~Project # 1002512~~
03DRB-00896 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for SOUTHWEST SELF STORAGE LLC, request(s) the above action(s) for all or a portion of Lot(s) 2, **TOWN OF ATRISCO GRANT**, zoned O-1 office and institution zone, located on the EAST SIDE OF 98TH ST SW between TOWER RD SW and SAN YGNACIO RD SW containing approximately 4 acre(s). [REF: 03EPC-00320, 03DRB-00730, 1002642 (VAC.)] [JANET STEPHENS, EPC CASE PLANNER] (L-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE HYDRANT CONNECTION DETAILS.**

03DRB-00894 Minor-Prelim&Final Plat
Approval

HARRIS SURVEYING INC agent(s) for SOUTHWEST SELF STORAGE, LLC request(s) the above action(s) for all or a portion of Tract(s) 40, **TOWN OF ATRISCO GRANT**, zoned O-1 office and institution zone, located on the EAST SIDE OF 98TH ST SW, between TOWER RD SW and SAN YGNASIO ST SW containing approximately 4 acre(s). [REF: 03DRB-00730, 03EPC-00320] (L-9) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SAD READJUSTMENT AND DXF FILE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1000627**
03DRB-00890 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN PA agent(s) for CALVARY CHAPEL OF ALBUQUERQUE INC request(s) the above action(s) for all or a portion of Tract(s) A, **CALVARY CHAPEL**, zoned O-1 / M-1, located on OSUNA RD NE, between WASHINGTON ST NE and JEFFERSON NE containing approximately 20 acre(s). [REF: 03DRB-00675, 03DRB-00676, 03DRB-00677, 03DRB-00678, 03DRB-00679] (E-17) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. **Project # 1002405**
03DRB-00879 Minor-SiteDev Plan
BldPermit/EPC
- JOHN A. MYERS agent(s) for TANAGER- REDLANDS, LLC request(s) the above action(s) for all or a portion of Tract(s) A-28-B1, **TOWN OF ATRISCO GRANT, NORTHEAST UNIT**, zoned SU-1 special use zone, for C-1 uses to include AUTO BODY REP. & PAINT., located on the WEST SIDE OF COORS BLVD NW, between SEQUOIA RD NW and QUAIL RD NW containing approximately 5 acre(s). [REF: 02EPC-01949] [DEBBIE STOVER, EPC CASE PLANNER] [Deferred from 6/11/03] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 7/9/03.**
9. **Project # 1001523**
03DRB-00899 Minor-Amnd SiteDev Plan
Subd
- MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH STREET PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for Light Industrial, located on UNSER BLVD NW between 98TH ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: 01EPC-01405, 02DRB-00518, 03DRB-00755] [Deferred from 6/11/03] (H-10) **DEFERRED AT THE AGENT'S REQUEST TO 7/9/03.**

5. **Project # 1001038**
03DRB-00785 Major-Vacation of Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for HELMICK / SPRADLIN DEVELOPMENT PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, **LA CUEVA TIERRA SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on ROBS PL NE, between VENTURA ST. NE and CARMEL AVE NE containing approximately 1 acre(s). [REF: DRB-94-436, ZA-95-43, 01DRB-00139, 01DRB-00429, 03DRB-00554] (C-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

6. **Project # 1002639**
03DRB-00719 Minor-Sidewalk Waiver
03DRB-00720 Minor-Temp Defer SDWK
03DRB-00721 Minor-Subd Design (DPM) Variance
03DRB-00722 Major-SiteDev Plan Subd
03DRB-00717 Major-Preliminary Plat Approval

ISAACSON & ARFMAN, PA agent(s) for BOYHAHN, LLC request(s) the above action(s) for all or a portion of Lot(s) 6-14, Block(s) 4, Tract(s) 2, North Albuquerque Acres, **TREMENTINA SUBDIVISION** zoned RD/SU-1, 7 DU/AC, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD. NE containing approximately 9 acre(s). **[Deferred from 5/28/03 AND 6/11/03]** (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/18/03.**

7. **Project # 1002640**
03DRB-00728 Minor-Temp Defer SDWK
03DRB-00723 Major-Preliminary Plat Approval
03DRB-00726 Minor-Sidewalk Variance
03DRB-00725 Minor-Sidewalk Variance
03DRB-00724 Major-SiteDev Plan BldPermit

ISAACSON & ARFMAN PA agent(s) for BOYHAHN LLC request(s) the above action(s) for all or a portion of Lot(s) 22-32, Block(s) 3, Tract(s) 2, NO. ALBUQ. ACRES, **VISTA DEL AGUILA SUBDIVISION**, zoned RD SU-1, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 12 acre(s). **[Deferred from 5/28/03 AND 6/11/03]** (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/25/03.**

4. **Project # 1000658**
03DRB-00786 Major-SiteDev Plan Subd
03DRB-00787 Major-SiteDev Plan
BldPermit

KNIGHT SEAVEY, JUD CERVENAK, agent(s) for OTOÑO PARTNERS request(s) the above action(s) for all or a portion of Tract(s) F-1-A, **LOOP INDUSTRIAL DISTRICT - UNIT 1**, zoned SU-2 M-1, located on ALAMEDA NE, between JEFFERSON NE and I-25 NE containing approximately 5 acre(s). [REF: DRB-98-30, 00DRB-00938 (P&F), ZA-00-173] (C-17) **THE SITE PLAN FOR SUBDIVISION AND SITE PLAN FOR BUILDING PERMIT WERE APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING TO VERIFY IF SIDEWALK INFORMATION IS IN COMPLIANCE WITH THE ZONE CODE.**

03DRB-00808 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA, agent(s) for OTOÑO PARTNERS request(s) the above action(s) for all or a portion of Tract(s) F-1-A, **LOOP INDUSTRIAL DISTRICT - UNIT 1**, zoned SU-2 M-1, located on ALAMEDA NE, between JEFFERSON NE and I-25 NE containing approximately 5 acre(s). [REF: DRB-98-30, 00DRB-00938 (P&F), ZA-00-173] (C-17) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/11/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/8/03 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION: AN ADEQUATE PUBLIC RIGHT-OF-WAY EASEMENT SHALL BE GRANTED FOR THE ACCESS POINT ON ALAMEDA TO THE SATISFACTION OF THE TRAFFIC ENGINEER. THIS IS TO BE DONE PRIOR TO FINAL PLAT APPROVAL. THE FINAL PLAT WAS INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

2. **Project # 1001226**
03DRB-00789 Major-One Year SIA
Procedure B

MARK GOODWIN & ASSOCIATES PA agent(s) for VISTA DEL NORTE DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) ALL 45, **BERNARDO TRAILS - UNIT 3**, zoned R-2, located on LAS LOMITAS DR NE, between EL PUEBLO RD NE and OSUNA DR NE containing approximately 8 acre(s). [REF: 01DRB-00605, 01DRB-00606, 01DRB-00607, 02DRB-00700, 03DRB-0000173, 03DRB-00174] (D-16) **A ONE YEAR EXTENSION OF THE SIA WAS APPROVED. THE EXISTING CONSTRUCTION COMPLETION DEADLINE DATE OF 6/6/03 AS IDENTIFIED IN THE MOST RECENT SIA WAS APPROVED TO 6/6/04.**

3. **Project # 1001226**
03DRB-00790 Major-One Year SIA
"B" Modified

MARK GOODWIN & ASSOCIATES PA agent(s) for VISTA DEL NORTE DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) ALL, **BERNARDO TRAILS, UNIT 1**, zoned R-2 residential zone, located on VISTA DEL NORTE DR NE, between OSUNA RD. NE and EL PUEBLO RD. NE containing approximately 19 acre(s). [REF: 01DRB-00605, 01DRB-01685, 02DRB-00700] (D-16) **A ONE YEAR EXTENSION OF THE SIA WAS APPROVED. THE EXISTING CONSTRUCTION COMPLETION DEADLINE DATE OF 6/6/03 AS IDENTIFIED IN THE MOST RECENT SIA WAS APPROVED TO 6/6/04.**



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 11, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 1:30 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000614**
03DRB-00783 Major-Two Year SIA

TERRY O. BROWN, P.E. agent(s) for DEVELOPMENT SERVICES LTD CO request(s) the above action(s) for all or a portion of Lot(s) 3-12, and 21-29, Block(s) 33 & 34, Tract A, Unit B, North Albuquerque Acres, (to be known as **LA CUEVA OESTE SUBDIVISION – UNIT 4**) zoned R-D, located on HOLLY AVE NE, between LOUISIANA BLVD NE and SAN PEDRO NE containing approximately 37 acre(s). [REF:DRB-95-121, DRB-97-293, 01DRB-00622] [Deferred from 6/11/03](C-18) **DEFERRED AT THE AGENT'S REQUEST TO 6/18/03.**

12. **Project # 1000722**
03DRB-00889 Minor-Final Plat Approval

ISAACSON & ARFMAN, PA agent(s) for FTS CONSTRUCTION, INC. request(s) the above action(s) for all or a portion of Tract(s) D-3, ALBUQUERQUE SOUTH, UNIT 1, (to be known as **SAPPHIRE ESTATES**, zoned SU-1 special use zone, R-LT, located on the WEST SIDE OF UNSER BLVD SW between SAPPHIRE ST SW and SAGE RD SW containing approximately 3 acre(s). [REF: 02DRB-01272 THRU, 02DRB-001275, 01DRB-01488, 00DRB-01086, DRB-99-220, Z-99-64] (M-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE.**

13. **Project # 1001376**
03DRB-00874 Minor-Amnd Prelim Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for MESA VERDE DEVELOPMENT, request(s) the above action(s) for all or a portion of Tract(s) 1, Block(s) 3, Lot(s) 8-25 and Block(s) 4, Lot(s) 9-23, Unit 3, NORTH ALBUQUERQUE ACRES, **DESERT RIDGE TRAILS NORTH**, zoned R-D residential and related uses zone, developing area, located on the WEST SIDE OF WYOMING BLVD NE, between BEVERLY HILLS AVE NE and FLORENCE AVE NE, containing approximately 33 acre(s). [REF: [REF: 02DRB-01363, 01965, 01966, 01967, 01968] (B-19) **THE AMENDED PRELIMINARY PLAT WAS APPROVED. THE AMENDED GRADING PLAN ENGINEER STAMP DATED 5/21/03 WAS APPROVED. THE AMENDED INFRASTRUCTURE LIST DATED 6/11/03 WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

14. **Project # 1002429**
03DRB-00898 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC, agent(s) for LOS SUENOS LLC request(s) the above action(s) for all or a portion of Lot(s) 58-A-1&59-A-1, **LOS SUENOS SUBDIVISION, UNIT 1**, zoned R-T residential zone, located on NIGHT SHADOW AVE NW, between SWEET DREAMS DR NW and DREAMY WAY DR NW containing approximately 1 acre(s). [REF: 00110-01134, 02DRB-01645, 03DRB-00013, 03DRB-00082] (A-11) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE AND NEW MEXICO UTILITIES SIGNATURE.**

15. **Project # 1002539**
03DRB-00532 Minor-Prelim&Final Plat
Approval

JERRY CULAK, SURVEYOR agent(s) for HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 3 & 4, **ARIAS ACRES ADDITION**, zoned S-R, located on 15TH ST NW, between MOUNTAIN NW and BELLAMAH NW containing approximately 1 acre(s). [Deferred from 4/9/03] *[WAS INDEFINITELY DEFERRED, TO ADDRESS INFRASTRUCTURE LIST COMMENTS, AT THE AGENT'S REQUEST]* (J-13) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CONSTRUCTION OF CONCRETE ESTATE CURB.**

03DRB-00895 Minor-Sidewalk Waiver

ROSEMARY A MORIN FOR agent(s) for HABITAT FOR HUMANITY, request(s) the above action(s) for all or a portion of Lot(s) 3 & 4, **ARIAS ACRES ADDITION**, zoned S-R, located on 15TH ST NW, between MOUNTAIN NW and BELLAMAH NW containing approximately 1 acre(s). [REF: 03DRB-00421 (SK), 03DRB-00532 (PF)] (J-13) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

**NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

16. **Project # 1002704**
03DRB-00892 Minor-Sketch Plat or Plan
- JIM SACOMAN agent(s) for CRESTVIEW PATIO HOMES request(s) the above action(s) to dedicate Home Owner's Association Private Right-of-Way to the CITY OF ALBUQUERQUE, **CRESTVIEW PATIO HOMES**, zoned SU-1 PRD, located on OSUNA PL NE, between MOON ST NE and EUBANK BLVD NE containing approximately 12 acre(s). [REF: Z-74-6 / AX-76-4, Z-76-29] (F-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
17. **Project # 1002705**
03DRB-00897 Minor-Sketch Plat or Plan
- LARRY READ & ASSOCIATES INC agent(s) for HACIENDAS BY THE CARLISLES request(s) the above action(s) for all or a portion of Lot(s) 17-20, Block(s) 17, NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3, (to be known as **PAISIANO COURT**) zoned R-D, 3DU/acre, located on MODESTO AVE NE, between VENTURA NE and HOLBROOK NE containing approximately 4 acre(s). (B-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
18. **Project # 1002455**
03DRB-00893 Minor-Sketch Plat or Plan
- JOE COTRUZZOLA agent(s) for J GROUP request(s) the above action(s) for all or a portion of Tract(s) A-3-B, **J GROUP ADDITION**, zoned SU-1 for C-1, located on SAN ANTONIO RD NE, between I-25 NE and SAN PEDRO NE containing approximately 10 acre(s). [REF: 03EPC-00147, 03EPC-00148, DRB-96-452] (E-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE**
19. Approval of the Development Review Board Minutes for May 7, 14, 21 and 28, 2003. **THE MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 1:30 P.M.

City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

SUBDIVISION Supplemental form **S**

Major Subdivision action
 Minor Subdivision action
 Vacation
 Variance (Non-Zoning)

SITE DEVELOPMENT PLAN Supplemental form **P**

...for Subdivision Purposes
 ...for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC) **L**

ZONING Supplemental form **Z**

Annexation & Zone Establishment
 Sector Plan
 Zone Change
 Text Amendment
 Special Exception **E**

APPEAL / PROTEST of... Supplemental form **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Southwest Sdf Storage LLC PHONE: 883-7373
 ADDRESS: 5854 OSUNA N.E. FAX: 883-8216
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: JOHN@JOHNPELTY.COM
 Proprietary Interest in site: owner
 AGENT (if any): Harris Surveying Inc. PHONE: 889-8056
 ADDRESS: 2412 D Monroe St. N.E. FAX: 889-8645
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: _____

DESCRIPTION OF REQUEST: adding 5 1/2 of vacated Tower Road with the remaining portion of Tract 40

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 40 Block: — Unit: —
 Subdiv. / Addn. Town of Atrisco Grant
 Current Zoning: SU-1 for O-1 Proposed zoning: —
 Zone Atlas page(s): L-9 No. of existing lots: 2 No. of proposed lots: 1
 Total area of site (acres): 3.7870 Density if applicable: dwellings per gross acre: — dwellings per net acre: —
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? no
 UPC No. 100905611610230806 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th street
 Between: Tower Road and San Ygnacio st.

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):

Project No. 1002642, 03 DRB-00730, 03 EPC-00320

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Anthony Harris DATE 6-3-03
 (Print) Anthony Harris Applicant Agent

FOR OFFICIAL USE ONLY

Form revised December 2000

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>03DRB . 00894</u>	<u>P&F</u>	<u>9(3)</u>	<u>\$ 215.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>June 11th '03</u>				Total <u>\$215.00</u>

Bobbert 6/03/03
 Planner signature / date

Project # 1002512

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule) \$21500
- Any original and/or related file numbers are listed on the cover application

Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JOHN D. PETTY
Applicant name (print)

John D. Petty
Applicant signature / date



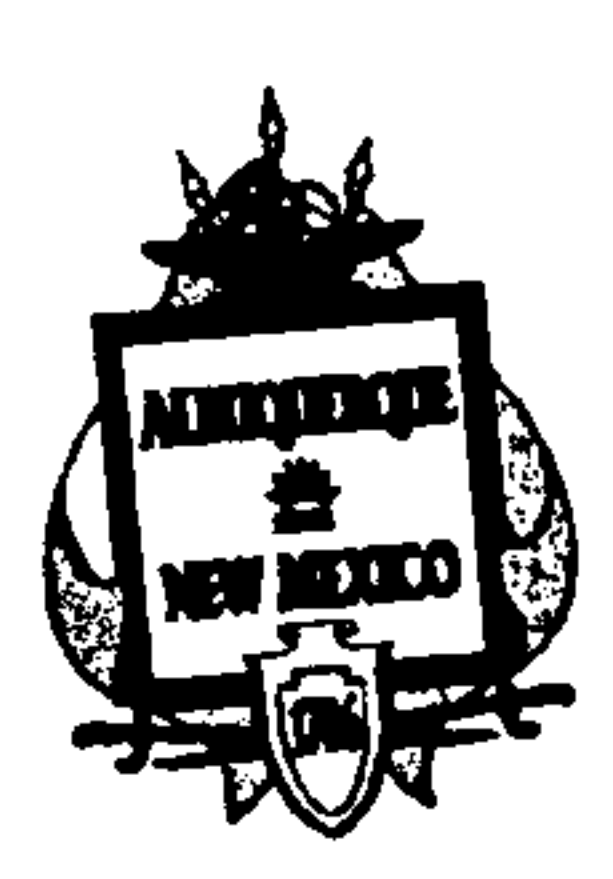
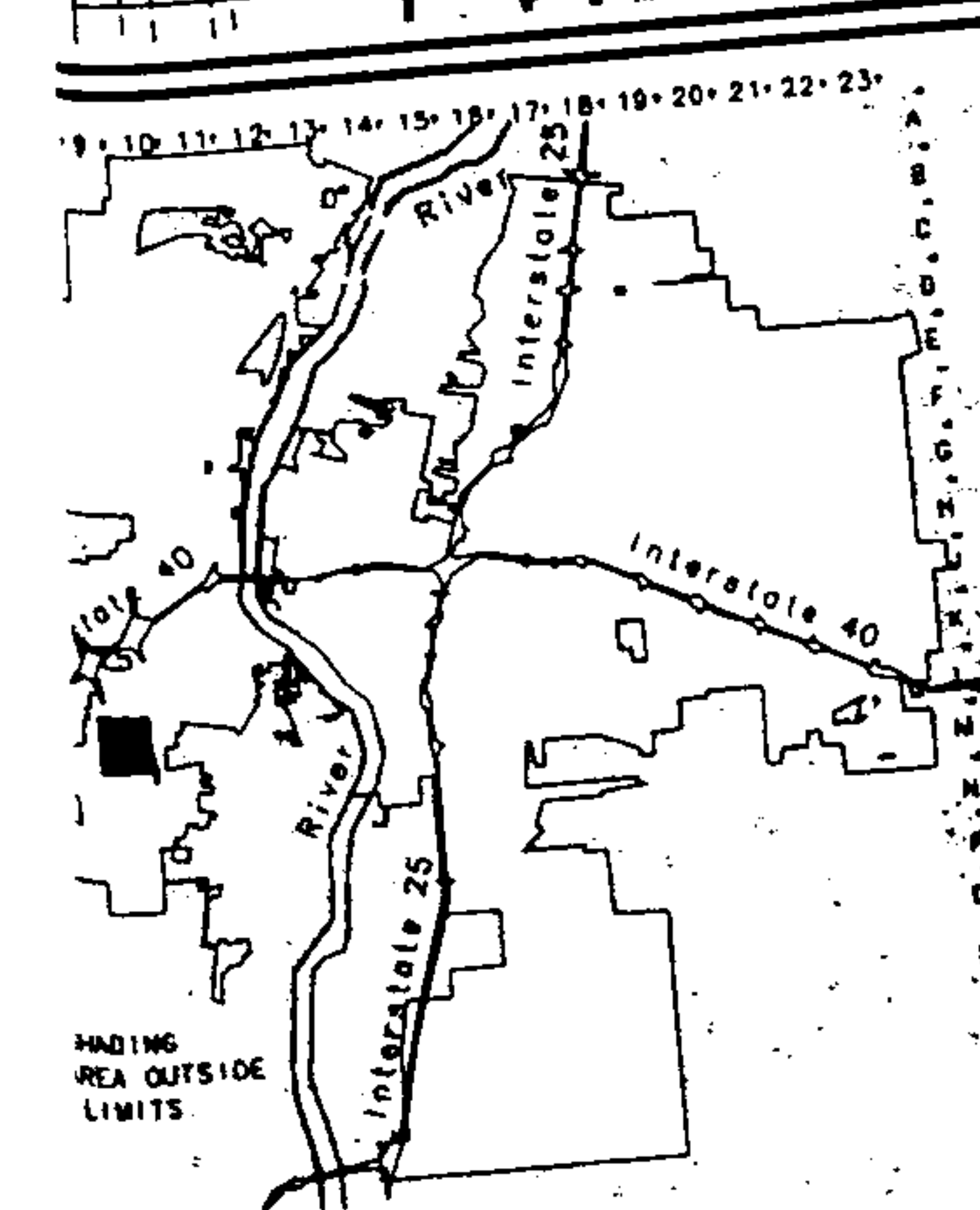
Form revised MARCH 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

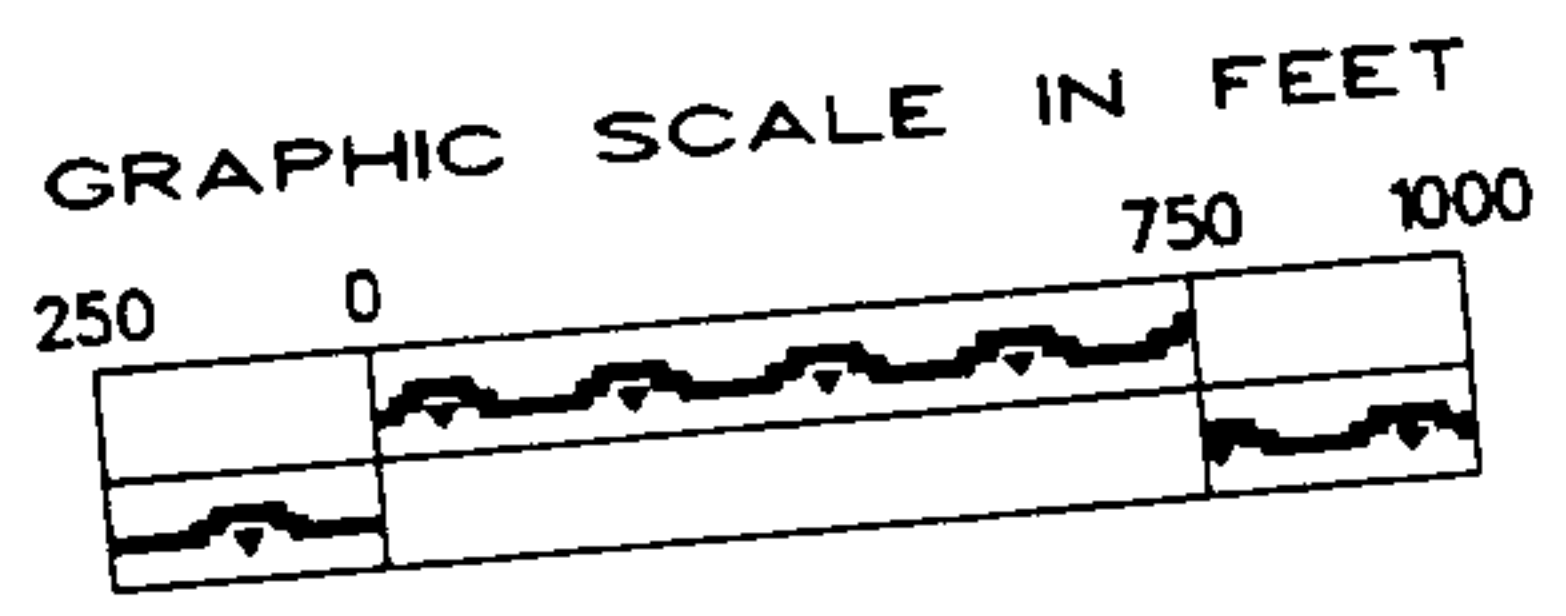
Application case numbers
03DRB - 00894

B. Bennett 6/3/03
Planner signature / date

Project # 1002512



CITY OF
Albuquerque
 Geographic Information System
PLANNING DEPARTMENT
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Zone Atlas Page

L-9-Z

Map Amended through April 02, 2002

HARRIS SURVEYING, INC.

2412-D Monroe Street, NE
Albuquerque, New Mexico 87110
(505) 889-8056 • Fax 889-8645

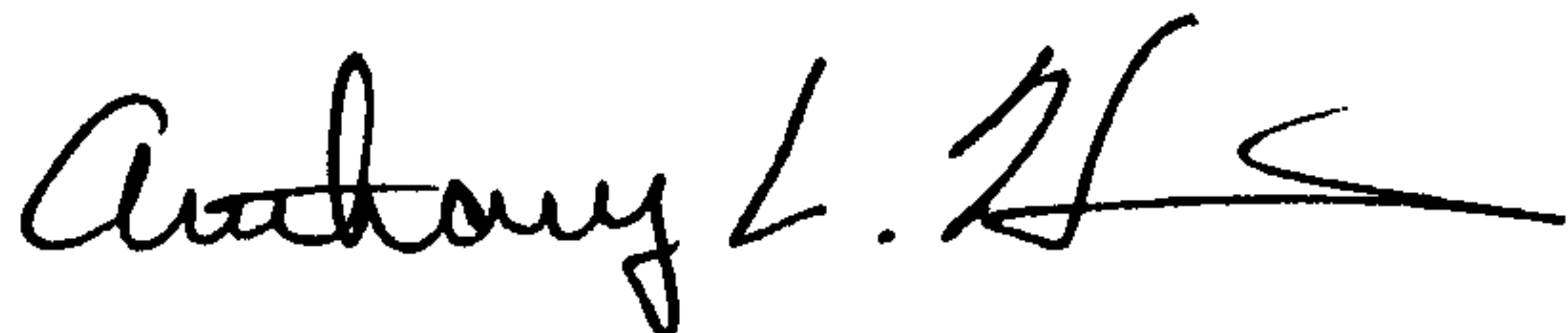
TO: DRB BOARD MEMBERS

DEAR MEMBERS:

THE PURPOSE OF THIS PLAT IS TO ADD THE SOUTH HALF OF VACATED
TOWER ROAD TO TRACT 40.

PLEASE CONTACT US IF THERE ARE ANY QUESTIONS.

SINCERELY,

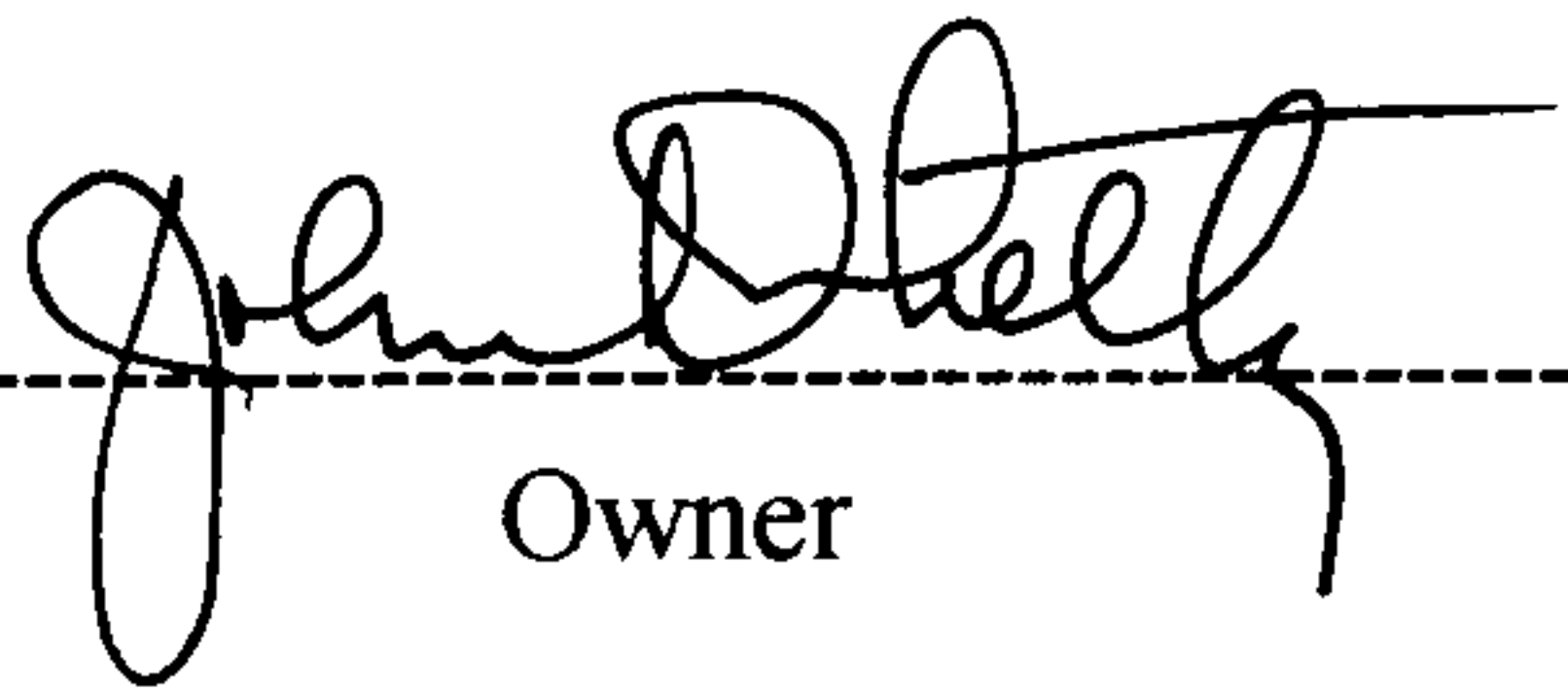


ANTHONY L. HARRIS

LETTER OF AUTHORIZATION

Subject Property:

I, the, undersigned owner of subject property hereby designate **WILKS COMPANY** to be my authorized representative agent for the processing and recording of planning, zoning or appeals actions on this property.



Owner

6-3-2003

Date

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol -2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME

SW SELF STORAGE

AGENT

HARRIS SURVEYING INC.

ADDRESS

2412 D MONROE ST. NE.

PROJECT NO.

1002512

APPLICATION NO.

09ORB-00894

\$ 215⁰⁰ 441006 / 4983000 (DRB Cases)

\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)

\$ _____ 441018 / 4971000 (Notification)

\$ 215⁰⁰ **Total amount due**

City Of Albuquerque
Treasury Division

06/03/2003 10:47AM LOC: ANN
X
RECEIPT# 00007859 WSH 006 TRANS# 0007
Account 441006 Fund 0110
Activity 4983000 TRSKDM
Trans Amt 10/28/02 \$215.00
J24 Misc \$215.00
MC \$215.00
+0.00

City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

SUBDIVISION Supplemental form **S**

____ Major Subdivision action
 ____ Minor Subdivision action
 ____ Vacation **V**
 ____ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

____ ...for Subdivision Purposes
 ...for Building Permit
 ____ IP Master Development Plan
 ____ Cert. of Appropriateness (LUCC) **L**

ZONING Supplemental form **Z**

____ Annexation & Zone Establishment
 ____ Sector Plan
 ____ Zone Change
 ____ Text Amendment

APPEAL / PROTEST of... **A**

____ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Southwest Self Storage, LLC PHONE: 883-7373
 ADDRESS: 5854 Osuna Road NE FAX: 883-8216
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____
 Proprietary interest in site: Contract Purchaser

AGENT (if any): Consensus Planning, Inc. PHONE: 764-9801
 ADDRESS: 924 Park Avenue SW FAX: 842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning

DESCRIPTION OF REQUEST: Final Sign-off of EPC approved Site Plan for Building Permit.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Northerly and Southerly Portions of Lot 2 Block: _____ Unit: _____
 Subdiv. / Addn. Town of Atrisco Grant
 Current Zoning: SU-1 for O-1 and Self Storage Proposed zoning: _____
 Zone Atlas page(s): L9 No. of existing lots: 2 No. of proposed lots: 1
 Total area of site (acres): 3.8 Density if applicable: dwellings per gross acre: NA dwellings per net acre: _____
 Within city limits? Yes. No ___ , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? No
 UPC No. 100905611610230806 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: East Side of 98th Street
 Between: Tower Road and San Ygnacio

CASE HISTORY: Janet Stephens, EPL Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):
V-89-9, AX-87-5 03EPC-00320

Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team . Date of review: _____

SIGNATURE James K. Strozier DATE June 3, 2003
 (Print) James K. Strozier, AICP _____ Applicant Agent

FOR OFFICIAL USE ONLY .pdf Form revised Sept. 2001

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>03DRB - 00896</u>	<u>SBP</u>	<u>P(3)</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>JUNE 11th 03</u>			Total	\$ <u>0</u>

James K. Strozier 6/03/03
 Planner signature / date

Project # 1002512

Site Plan

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Blue-line copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

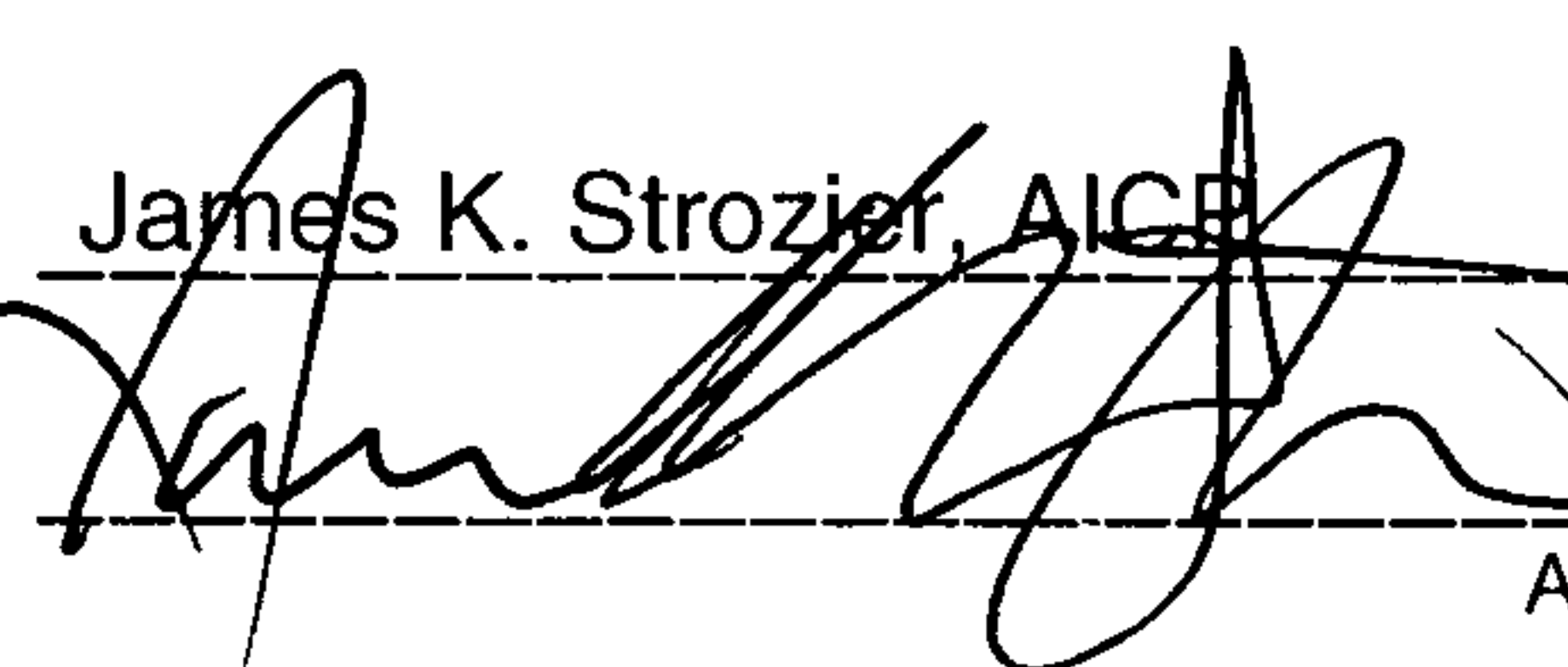
- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- ✓ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - NA ✓ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies. *In set.*
 - ✓ Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - ✓ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ✓ Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - NA ✓ Infrastructure List, if relevant to the site plan
 - NA ✓ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development) *In set.*
 - NA ✓ Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision) *In set.*
 - ✓ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.


James K. Strozier, AICP

 Applicant name (print) _____
 6/3/03
 Applicant signature / date _____

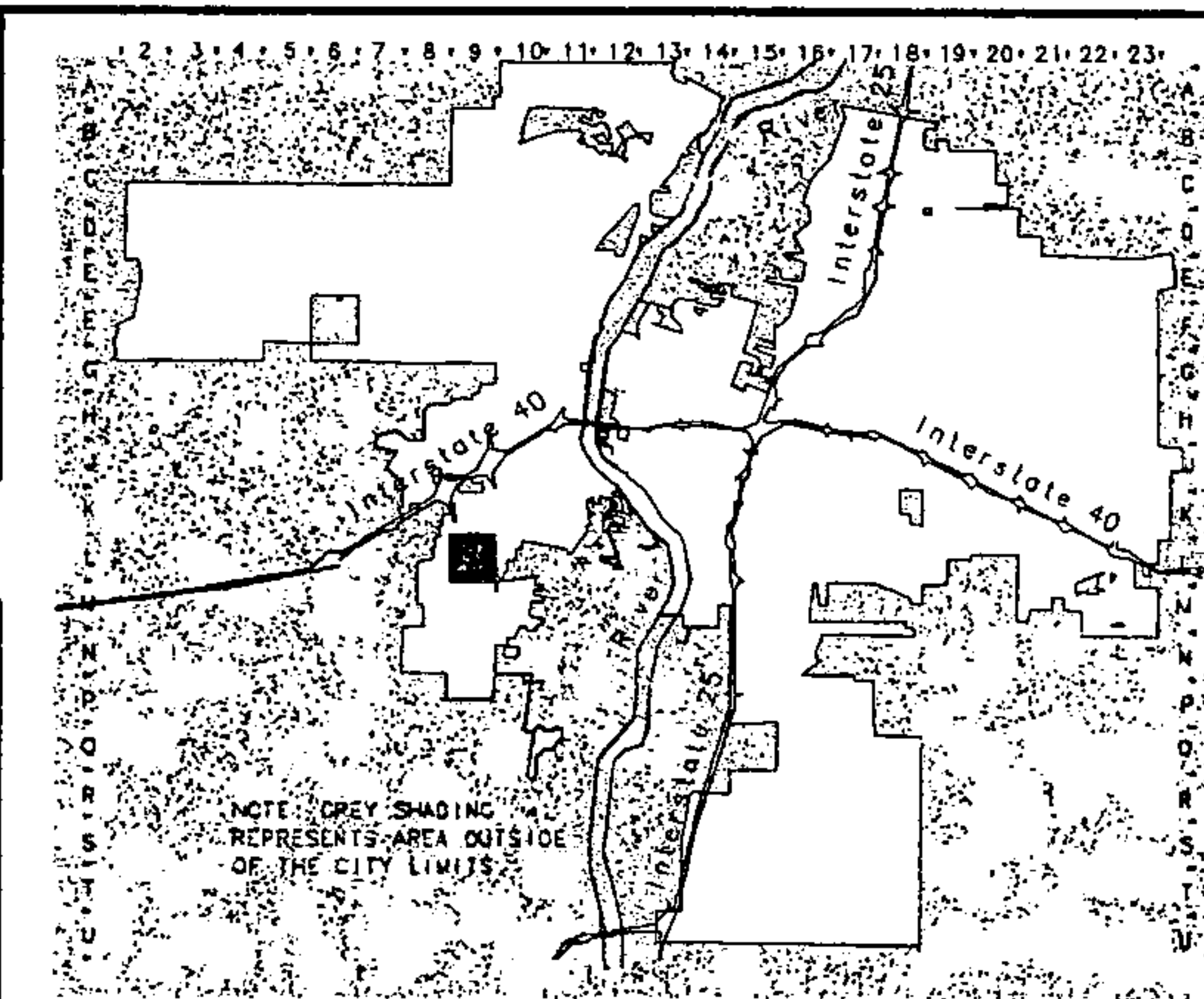
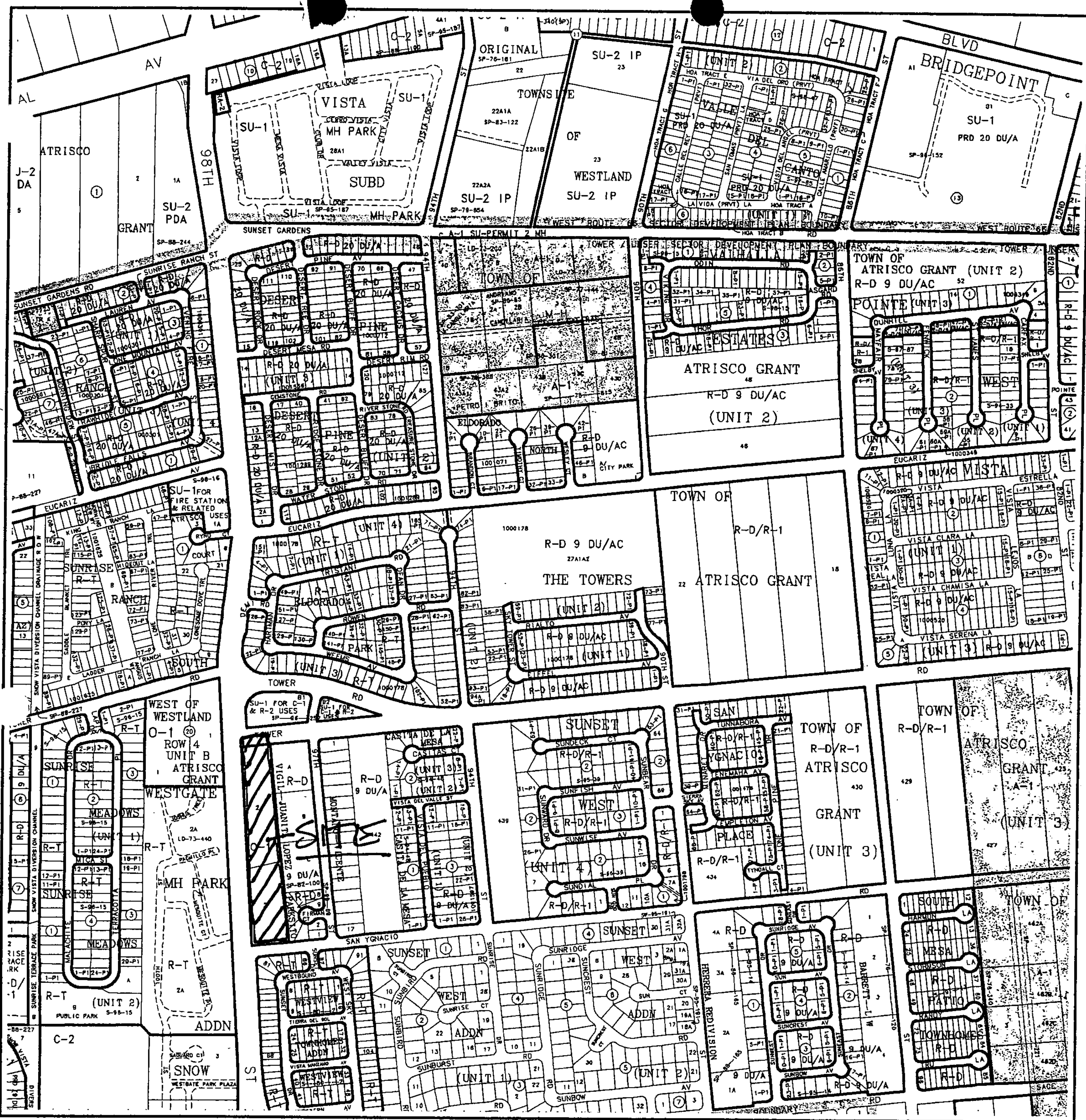


Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 03DRB - - 00896

 6/3/03
 Planner signature / date _____
Project # 1002572

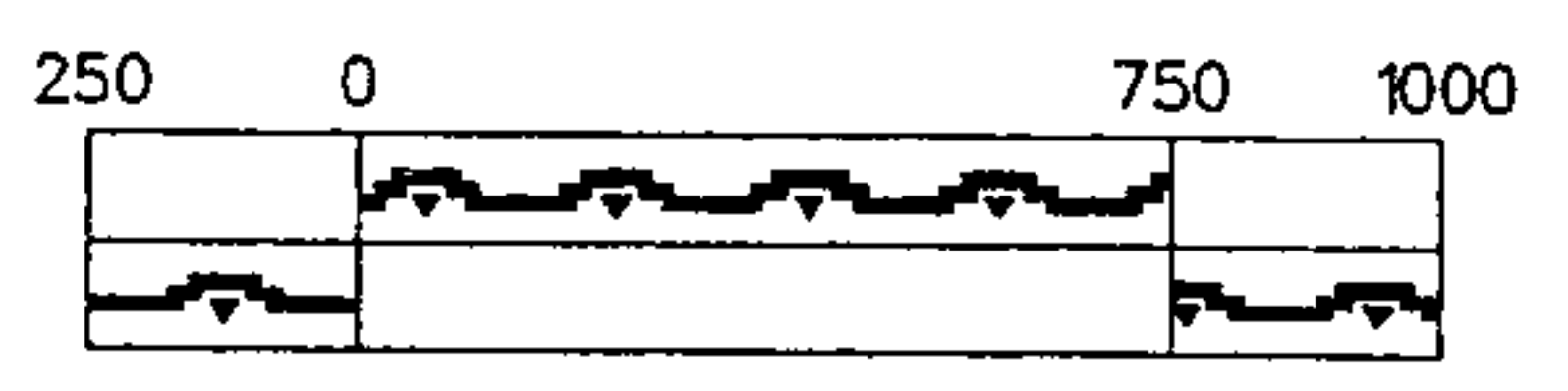


CITY OF
Albuquerque

Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT

© Copyright 2003

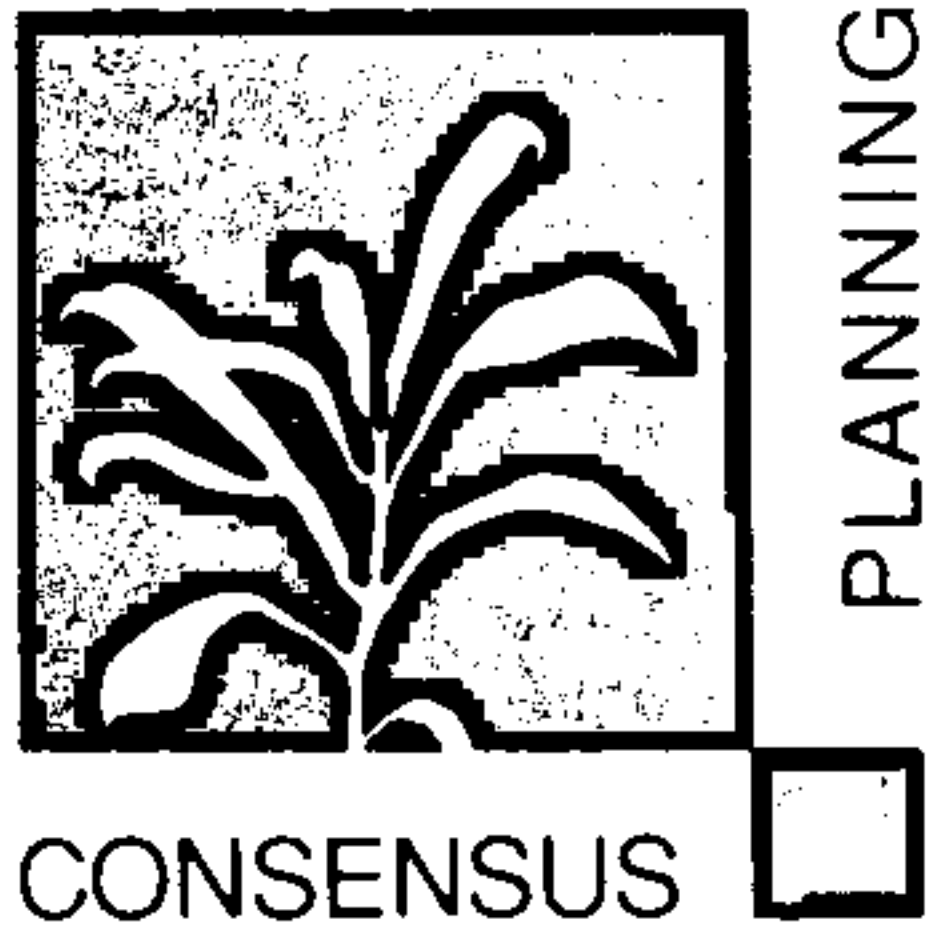
GRAPHIC SCALE IN FEET



Zone Atlas Page

L-9-Z

Map Amended through January 21, 2003



June 2, 2003

Ms. Sheran Matson, DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Landscape Architecture
Urban Design
Planning Services

Re: Project # 1002512/ Southwest Self Storage

924 Park Avenue SW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Ms. Matson:

The purpose of this letter is to specify all modifications to the Site Plan in response to the EPC conditions. The Site Plan for Building Permit was approved by EPC on April 17, 2003. This submittal is consistent with the conditions set forth by the EPC regarding modifications to the site plan. Specifically, the site plan and design guidelines have been modified in the following ways to meet the findings and conditions set forth in the Notice of Decision:

CONDITIONS FOR PROJECT 03EPC-00320 (Site Plan for Building Permit)

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals. *This letter is meant to satisfy this condition.*
2. Conditions of approval from the City Engineer and Public Works for the proposed site development plan for building permit shall include the following:
 - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and/or provided for. *Agreed, this is the first action by the EPC concerning this property.*
 - b. The developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for. *Agreed, some of the permanent improvements were constructed in conjunction with the Special Assessment District.*

PRINCIPALS

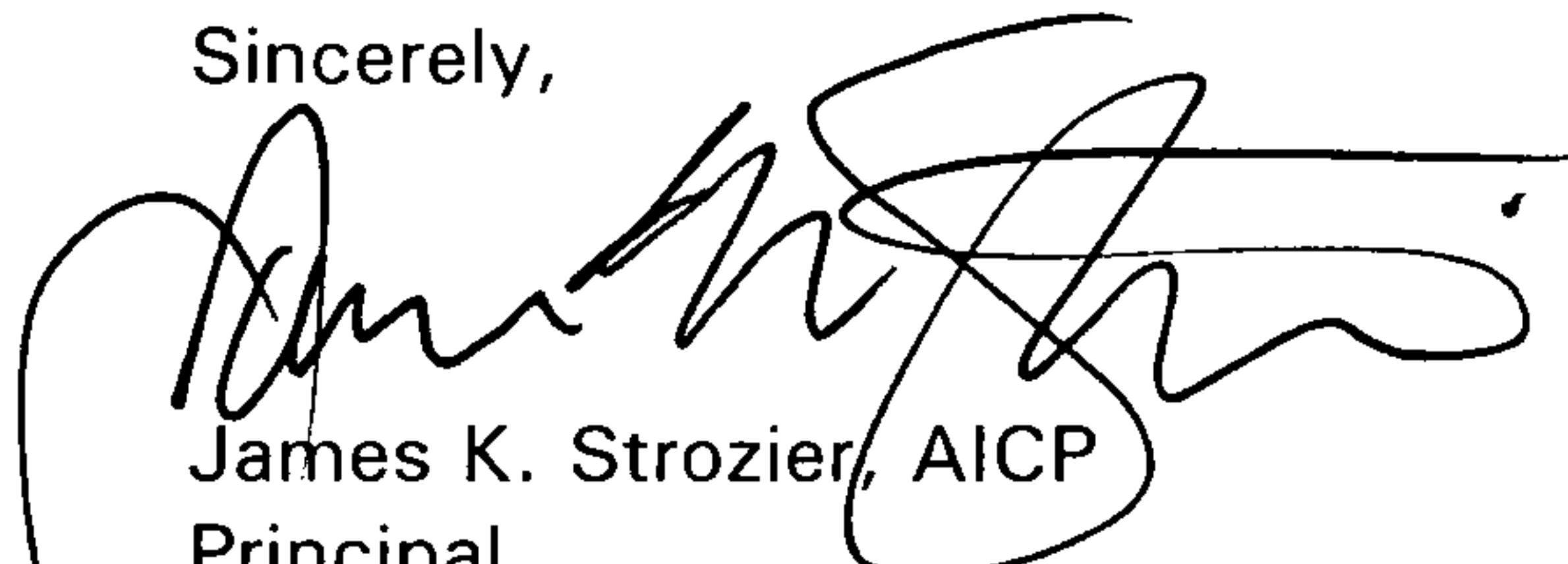
Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

- c. Site shall comply and be designed per DPM Standards and current City Zoning Code. *Agreed, the Site Plan is designed per DPM standards and Zoning regulations.*
- d. Driveway on 98th Street (arterial) needs to be located 300' from Tower Road (arterial) per DPM. Driveway should be constructed with 25' radius curb returns and be 36' to 40' wide depending on type of vehicle utilizing. Site Plan will need to be revised accordingly to accommodate driveway. If the driveway is re-located to the Tower side, the driveway will need to be located 150' from 98th Street. Provide more information on the operation of the gate at this location. *Per agreement with Mr. Tony Lloyd, the driveway onto 98th is gated, restricted to exit only, and reconfigured to be right-out only.*
- e. The main driveway entering the site from San Ignacio needs to be re-located to the east side of the site. Building A will need to be shifted to the West side of the site along with customer parking and the office/apt. Access to the garage from San Ignacio will be allowed as long as the driveway is located 50' from 98th Street. *The two driveways onto San Ygnacio have been combined and located further east from the 98th Street intersection.*
- f. The vacation of Tower Road will need to be verified prior to submittal to DRB. Should the vacation of Tower Road not exist as shown on the site plan, the site plan will need to be resubmitted for further review and comment. *Vacation documents were provided to the case planner and are part of the file, and the City Public Works Department has initiated the DRB vacation process (Project #1002642, 03DRB-00730).*
- g. Re-plat. *The re-plat for the property has been prepared by Harris Surveying, Inc. and is submitted concurrently with this request.*
- h. Status of the Tower Right of way must be confirmed. AGIS maps do not reflect a vacation, nor does Project Tracking reference an action. There will be issues with both water meter and fire hydrant locations, there being no serviceable lines in either of the adjoining roadways. Hydrants on the east side of 98th will require crossings to the line on the west side of the road. A water and sanitary sewer availability statement must be requested and completed prior to DRB action. Required infrastructure must be financially guaranteed prior to site plan sign off. *See item f above concerning vacation, a water and sewer availability statement has been requested, and an infrastructure list has been prepared and accompanies this submittal.*
- i. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required prior to placement on DRB agenda. The grading and drainage plan was submitted to City Hydrology on May 16, 2003.

3. The Solid Waste Department requires coordination of the dumpster location with SWD staff. *Solid Waste Department has signed the Site Plan.*
4. A fire flow statement is required by the Fire Department prior to DRB approval. *See attached. The Fire Department has reviewed and signed the Site Plan.*
5. A six-foot sidewalk along 98th Street must be extended from San Ygnacio to the Northern property line. A landscape strip must be provided between the back of curb and the sidewalk. *Agreed, this is included on the Site Plan.*
6. Light fixtures shall be full cut-off to prevent fugitive light and shall comply with the Zoning code regarding luminance. *Agreed, notes and details on the Site Plan require this.*
7. Street trees must be shown along 98th Street in accordance with regulations and the statement on the site plan that "street trees are not required" must be removed. *The Landscape Plan has been amended.*
8. Specific quantities of each type of plant used on the site must be provided on the landscaping plan as well as sizes and placement. *The Landscape Plan has been amended.*
9. A signage detail (height, illumination, color/s, type of material used in the construction, etc.) must be provided prior to final sign-off at DRB. *The signage detail has been added to the Site Plan.*
10. The height of Building A is in excess of the allowed 26 feet. It is shown at its highest point as being 29 feet 1 inch. The structure must be modified to meet the allowed height requirement. *The building height has been revised to meet the height limitations set forth in the City of Albuquerque Comprehensive City Zoning Code.*
11. The height of Building E shall be limited to 8 foot in height or less as measured from the adjacent property. *This condition was added at the hearing and the property owner has been making every effort to comply. The difficulty has been the old arroyo that continues to the east through the adjoining properties. Building E and the grading plan has been modified, the adjoining property owners have been coordinated with concerning grading on their properties, and the height of the wall should comply with this condition.*
12. One freestanding sign shall be approved at the northeast corner of San Ygnacio. *Agreed. This is reflected on the Site Plan.*

Based upon this information, we respectfully request that you approve our Site Plan for Building Permit. Please feel free to call me at 764-9801 if you have questions or desire additional information.

Sincerely,



James K. Strozier, AICP
Principal

c: Project Team



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: April 18, 2003

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002512**
03EPC-00320 EPC Site Development Plan-Building
Permit
03EPC-00319 Zone Map Amendment
03EPC 00317 Sector Development Plan Amendment

Southwest Self Storage, LLC
5854 Osuna Rd. NE
Albuq. NM 87109

LEGAL DESCRIPTION: for all or a portion of Lot(s) 2, **Town of Atrisco Grant(NLY & SLY portion)**, a zone map amendment from O-1 to SU-1 for O-1 and Self Storage, located on EAST SIDE OF 98TH ST. SW, between TOWER ROAD SW and SAN YGNACIO SW, containing approximately 4 acre(s). (L-9) Janet Cunningham-Stephens, Staff Planner

On April 17, 2003, the Environmental Planning Commission voted to approve Project 1002512, 03 EPC 00317, an Amendment to the Tower/Unser Sector Development Plan, for the northerly and southerly portions of Lot 2, Town of Atrisco Grant, Unit 3, based on the following Findings:

FINDINGS:

1. This is a request for a map amendment to the Tower/Unser Sector Development Plan for the northerly and southerly portions of Lot 2, Town of Atrisco Grant, Unit 3, located on the east side of 98th Street between Tower Road SW and San Ygnacio SW. The site contains approximately 3.8 acres and is currently vacant.
2. The proposed amendment to the Tower/Unser Sector Development Plan is accompanied by a request for zone map amendment.
3. The subject site is adjacent to 98th Street, a principal arterial, and south of Tower Road, a minor arterial.

4. The request is generally consistent with the Developing Urban goal and policies of the Comprehensive Plan. The proposed amendment will facilitate development that respects the existing neighborhood (Policy d) by ensuring compatibility through the use of screening measures, landscaping and providing improved pedestrian access along 98th Street, by making use of vacant land (Policy e). Self storage is also a relatively low impact use. (Policy i).
5. Special Assessment District (SAD) 222 includes this area. A substantial investment in public roadway improvements was made with the recently completed realignment of 98th Street and Tower Road. Policy 3.40 of the West Side Strategic Plan calls for public investment in the area. Policy 1.3 calls for residential development on the west side. However, due to the fact that the zoning was changed in 1989 from residential to O-1 with the adoption of the Tower/Unser Sector Development Plan, it appears that non-residential use was determined to be appropriate for this location.
6. The request is consistent with the Tower/Unser Sector Development Plan. The site was rezoned from residential uses to office uses with the adoption of the Plan in 1989. The Plan states that “neighborhood services should exist at key intersections and office uses should be located along principal arterials” (page 28).
7. The request is consistent with R-270-1980. The applicant has provided justification for the proposed use. It is compatible with the existing and developing neighborhood, and consistent with the intent of the applicable Plans. (Comprehensive Plan, West Side Area Plan, Tower/Unser Sector Development Plan)
8. There is no known neighborhood opposition to the proposal.

On April 17, 2003, the Environmental Planning Commission voted to approve Project 1002512, 03 EPC 00319, a Zone Map Amendment from O-1 to SU-1 for O-1 and Self Storage for the northerly and southerly portions of Lot 2, Town of Atrisco Grant, Unit 3, based on the following Findings:

FINDINGS:

1. This is a request for a zone map amendment from O-1 to SU-1 for O-1 and Self Storage for the northerly and southerly portions of Lot 2, Town of Atrisco Grant, Unit 3, located on the east side of 98th Street between Tower Road SW and San Ygnacio SW. The site contains approximately 3.8 acres and is currently vacant.

OFFICIAL NOTICE OF DECISION
APRIL 17, 2003
PROJECT #1002512
PAGE 3

2. The proposed zone map amendment is accompanied by a request to amend the Tower/Unser Sector Development Plan.
3. The subject site is adjacent to 98th Street, a principal arterial, and south of Tower Road, a minor arterial.
4. The request is generally consistent with the Developing Urban goal and policies of the Comprehensive Plan. The proposed amendment will facilitate development that respects the existing neighborhood (Policy d) by ensuring compatibility through the use of screening measures, landscaping and providing improved pedestrian access along 98th Street, by making use of vacant land (Policy e). Self storage is also a relatively low impact use. (Policy i).
5. Special Assessment District (SAD) 222 includes this area. A substantial investment in public roadway improvements was made with the recently completed realignment of 98th Street and Tower Road. Policy 3.40 of the West Side Strategic Plan calls for public investment in the area. Policy 1.3 calls for residential development on the west side. However, due to the fact that the zoning was changed in 1989 from residential to O-1 with the adoption of the Tower/Unser Sector Development Plan, it appears that non-residential use was determined to be appropriate for this location.
6. The request is consistent with the Tower/Unser Sector Development Plan. The site was rezoned from residential uses to office uses with the adoption of the Plan in 1989. The Plan states "neighborhood services should exist at key intersections and office uses should be located along principal arterials" (page 28).
7. The request is consistent with R-270-1980. The applicant has provided justification for the proposed use. It is compatible with the existing and developing neighborhood, and consistent with the intent of the applicable Plans. (Comprehensive Plan, West Side Area Plan, Tower/Unser Sector Development Plan)
8. There is no known neighborhood opposition to the proposal.

On April 17, 2003, the Environmental Planning Commission voted to approve Project 1002512, 03 EPC 00320, a Site Development Plan for Building Permit for the northerly and southerly portions of Lot 2, Town of Atrisco Grant, Unit 3, based on the following Findings and subject to the following Conditions:

OFFICIAL NOTICE OF DECISION

APRIL 17, 2003

PROJECT #1002512

PAGE 4

FINDINGS:

1. This is a request for approval of a site development plan for building permit for the northerly and southerly portions of Lot 2, Town of Atrisco Grant, Unit 3 located on the east side of 98th Street between Tower Road SW and San Ygnacio SW for a self storage facility with on-site management. The site is vacant and contains approximately 3.8 acres.
2. The proposed site development plan for building permit requires an amendment to the Tower/Unser Sector Development Plan and a zone map amendment from O-1 to SU-1 for O-1 and Self Storage.
3. The subject site is adjacent to 98th Street, a principal arterial, and south of Tower Road, a minor arterial.
4. The request is generally consistent with the Developing Urban goal and policies of the Comprehensive Plan. The proposed amendment will facilitate development that respects the existing neighborhood (Policy d) by ensuring compatibility through the use of screening measures, landscaping and providing improved pedestrian access along 98th Street, by making use of vacant land (Policy e). Self storage is also a relatively low impact use. (Policy i).
5. Special Assessment District (SAD) 222 includes this area. A substantial investment in public roadway improvements was made with the recently completed realignment of 98th Street and Tower Road. Policy 3.40 of the West Side Strategic Plan calls for public investment in the area. Policy 1.3 calls for residential development on the west side. However, due to the fact that the zoning was changed in 1989 from residential to O-1 with the adoption of the Tower/Unser Sector Development Plan, it appears that non-residential use was determined to be appropriate for this location.
6. The request is consistent with the Tower/Unser Sector Development Plan. The site was rezoned from residential uses to office uses with the adoption of the Plan in 1989. The Plan states "neighborhood services should exist at key intersections and office uses should be located along principal arterials" (page 28).
7. The request is consistent with R-270-1980. The applicant has provided justification for the proposed use. It is compatible with the existing and developing neighborhood, and consistent with the intent of the applicable Plans. (Comprehensive Plan, West Side Area Plan, Tower/Unser Sector Development Plan)
8. There is no known neighborhood opposition to the proposal: West Route 66 Association supports the request.

OFFICIAL NOTICE OF DECISION

APRIL 17, 2003

PROJECT #1002512

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9. The construction of public infrastructure has been completed under SAD 222. The City agreed to vacate "old" Tower Road and replat the property at the City's expense when the project was complete.
10. According to the Zoning Code, Section 14-16-3-10, there should be a ten-foot landscaped strip between properties zoned for residential development and non-residential development. However it is within the EPC's authority to alter this special conditions. The neighborhood is supportive of eliminating this requirement in this case and the applicant has agreed to limit the height of Building E to 8 feet in total height as measured from the adjacent property.
11. 98th Street is a principal arterial. Pedestrian access must be enhanced by the extension of sidewalk from the point at which it currently ends to the northerly property line. A minimum 6-foot sidewalk with a landscape strip between the curb and sidewalk would be appropriate.
12. Information on the off-site luminance of the light fixtures on residential property should be corrected on the site development plan. Full cut-off fixtures should also be required to mitigate any fugitive light.
13. Street trees are required along major streets. 98th Street is a principal arterial.
14. Specific quantities of each plant type used should be added to the site plan for verification purposes.
15. The height of Building A at the highest point is 29 feet 1 inch. The height is in excess of what is allowed in the O-1 zone or the R-2 zone. The allowed height is 26 feet.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Conditions of approval from the City Engineer and Public Works for the proposed site development plan for building permit shall include the following:
 - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and/or provided for.
 - b. The developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for.

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- c. Site shall comply and be designed per DPM Standards and current City Zoning Code.
 - d. Driveway on 98th Street (arterial) needs to be located 300' from Tower Road (arterial) per DPM. Driveway should be constructed with 25' radius curb returns and be 36' to 40' wide depending on type of vehicle utilizing. Site Plan will need to be revised accordingly to accommodate driveway. If the driveway is re-located to the Tower side, the driveway will need to be located 150' from 98th Street. Provide more information on the operation of the gate at this location.
 - e. The main driveway entering the site from San Ignacio needs to be re-located to the east side of the site. Building A will need to be shifted to the west side of the site along with customer parking and the office/apt. Access to the garage from San Ignacio will be allowed as long as the driveway is located 50' from 98th Street.
 - f. The vacation of Tower Road will need to be verified prior to submittal to DRB. Should the vacation of Tower Road not exist as shown on the site plan, the site plan will need to be re-submitted for further review and comment.
 - g. Re-plat.
 - h. Status of the Tower Right of way must be confirmed. AGIS maps do not reflect a vacation, nor does Project Tracking reference an action. There will be issues with both water meter and fire hydrant locations, there being no serviceable lines in either of the adjoining roadways. Hydrants on the east side of 98th will require crossings to the line on the west side of the road. A water and sanitary sewer availability statement must be requested and completed prior to DRB action. Required infrastructure must be financially guaranteed prior to site plan sign off.
 - i. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required prior to placement on DRB agenda.
3. The Solid Waste Department requires coordination of the dumpster location with SWD staff.
 4. A fire flow statement is required by the Fire Department prior to DRB approval.
 5. A six-foot sidewalk along 98th Street must be extended from San Ygnacio to the northern property line. A landscape strip must be provided between the back of curb and the sidewalk.
 6. Light fixtures shall be full cut-off to prevent fugitive light and shall comply with the Zoning Code regarding luminance.
 7. Street trees must be shown along 98th Street in accordance with regulations and the statement on the site plan that "street trees are not required" must be removed.
 8. Specific quantities of each type of plant used on the site must be provided on the landscaping plan as well as sizes and placement.
 9. A signage detail (height, illumination, color/s, type of material used in the construction, etc.) must be provided prior to final sign-off at DRB.

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10. The height of Building A is in excess of the allowed 26 feet. It is shown at its highest point as being 29 feet 1 inch. The structure must be modified to meet the allowed height requirement.
11. The height of Building E shall be limited to 8 foot in height or less as measured from the adjacent property.
12. One freestanding sign shall be approved at the northeast corner of San Ygnacio.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MAY 2, 2003** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.


Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

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APRIL 17, 2003
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Sincerely,


For Victor J. Chavez
Planning Director

VJC/JCS/ac

cc: Consensus Planning, Inc., 924 Park Ave. SW, Albuquerque, NM 87102
Charles Lucas, Route 66 West, 10332 Hackamore Pl. SW, Albuquerque, NM 87121
King & Shelley Williams, Route 66 West, 10327 Guthrie SW, Albuquerque, NM 87121
Arthur Gonzales, Westgate Heights, 8704 Shone SW, Albuquerque, NM 87121
Theresa Rios Sandoval, Westgate Heights, 1505 Gschwind Pl. SW, Albuquerque, NM 87121



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 29, 2003

Dennis Lorenz, PE
Brasher & Lorenz
2201 San Pedro NE
Albuquerque, NM 87110

**RE: Southwest Self Storage Grading & Drainage Plan (L-09/D33)
Engineer's Stamp Dated May 16, 2003**

Dear Mr. Lorenz:

The above referenced grading and drainage plan received May 16, 2003 is approved for Site Plan for Building Permit action by the DRB. Prior to Building Permit approval the following comments must be addressed:

- Please address any offsite flows.
- Please provide more information regarding northern property line.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya, PE
City Floodplain Administrator

C: File

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W., 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER L-9

REFERRAL # _____

SITE ADDRESS 98th @ San Ignacio

LEGAL DESCRIPTION: SUBJECT TRACT _____

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 2

INSTANTANEOUS FLOW REQUIRED 1366 GPM

SQUARE FOOTAGE - LARGEST BUILDING 9000

TYPE CONSTRUCTION III-N

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

- ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.
- ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 2

DATE: 5-7-03

FIRE DEPARTMENT INSPECTOR: R. C. Sanchez

RECEIVED BY: David M... TELEPHONE: 242-1859

- NOTES:
1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
 2. DETERMINATION OF THE WATER SYSTEM CAPASITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
 3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPOSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL YELLOW - FILE

**BRASHER & LORENZ, INC.**
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1200 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

May 29, 2003

Roger Green, PE
Utilities Development Division
Public Works Department
Plaza Del Sol
Albuquerque, New Mexico 87102

SUBJECT: SOUTHWEST SELF STORAGE
Portion of Tract 40, Town of Atrisco Grant
DRB Project 1002512
Map Zone L-9

Dear Roger:

Please prepare a Water and Sanitary Sewer Availability Statement for the subject project. The site, located on 98th Street at San Ygnacio SW, contains approximately 3.8-acres and is to be developed as a self-storage facility. Water and sewer are available in both 98th and San Ygnacio.

Enclosed for your use are copies of the site plan, with fire hydrant locations approved by the Fire Marshall, and a fire flow statement. As shown by the site plan we propose to install 3 new fire hydrants to support the fire flow needs of the project.

If you have any questions, or if I can be of any assistance, please feel free to call.

Sincerely,

BRASHER & LORENZ, INC.

Dennis A. Lorenz, PE
Principal

/dl/03511

encl

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: SOUTHWEST SELF STORAGE ZONE MAP/DRG. FILE #: L9.
DRB #: 1002912 EPC#: 03EPC00320 WORK ORDER#: -

LEGAL DESCRIPTION: TRACT 40 SECTION 28 T10N R2E NMPM
CITY ADDRESS: 90 ST NW

ENGINEERING FIRM: BRASHER + LORENZ
ADDRESS: 2201 SAN PEDRO NE
CITY, STATE: ALBU, NM

CONTACT: D. LORENZ
PHONE: 888-6088
ZIP CODE: 87110

OWNER: JOHN PETTY
ADDRESS: 5854 OSUNA NE
CITY, STATE: ALBU NM

CONTACT: J. PETTY
PHONE: 883-7373
ZIP CODE: 87109

ARCHITECT: MIKE BENNETT AIA
ADDRESS: 1104 PARK SW
CITY, STATE: ALBU NM

CONTACT: R. BENNETT
PHONE: 242-1859
ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING
ADDRESS: 2412 D MONROE NE
CITY, STATE: ALBU NM

CONTACT: T. HARRIS
PHONE: 889-8056
ZIP CODE: 87110

CONTRACTOR: UNKNOWN
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

CHECK TYPE OF SUBMITTAL:

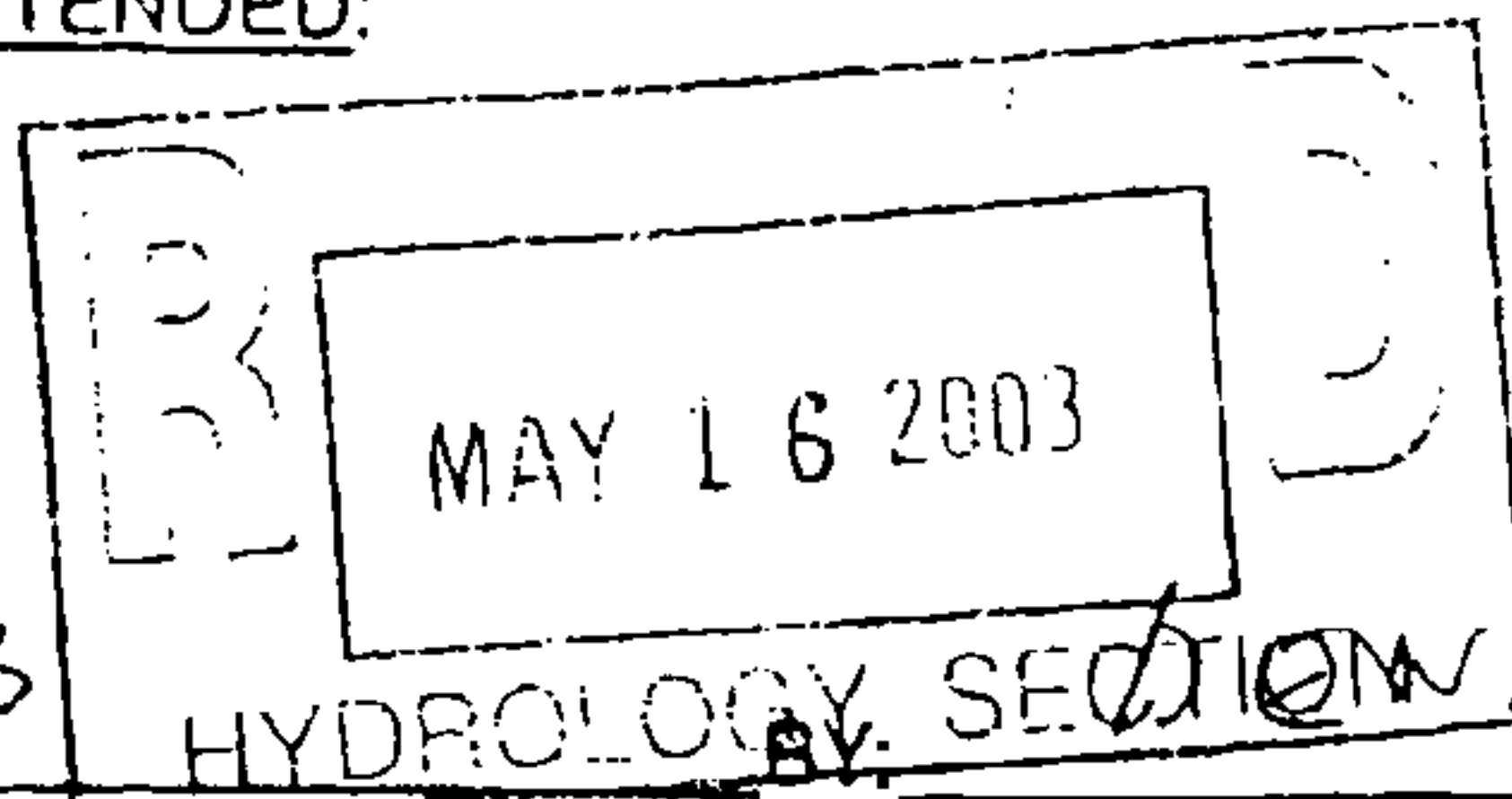
- DRAINAGE REPORT
[X] DRAINAGE PLAN 1" SUBMITTAL, REQUIRES TCL or equal
DRAINAGE PLAN RESUBMITTAL
CONCEPTUAL GRADING & DRAINAGE PLAN
GRADING PLAN
EROSION CONTROL PLAN
ENGINEER'S CERTIFICATION (HYDROLOGY)
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ENGINEERS CERTIFICATION (TCL)
ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- SIA / FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT APPROVAL
S. DEV. PLAN FOR SUB'D. APPROVAL
[X] S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
SECTOR PLAN APPROVAL
FINAL PLAT APPROVAL
FOUNDATION PERMIT APPROVAL
[X] BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY (PERM.)
CERTIFICATE OF OCCUPANCY (TEMP.)
GRADING PERMIT APPROVAL
PAVING PERMIT APPROVAL
WORK ORDER APPROVAL
OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- [X] YES
NO
COPY PROVIDED



DATE SUBMITTED: 5.16.03

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

June 2, 2003

Mr. John Petty
dba Southwest Self Storage
Location: Southwest Corner of 98th Street and Old Tower Road

Dear Mr. Petty:

Re: Tracts A & C of Land of Juanita Lopez Vigil

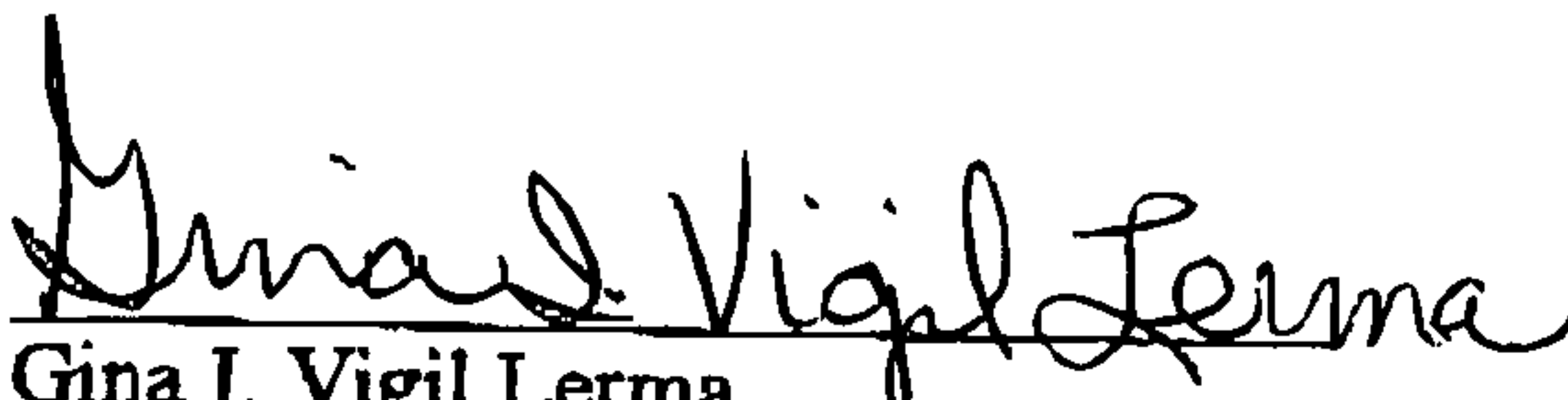
AGREEMENT

I, Gina Vigil Lerma, owner of the above said properties, agree to allow Southwest Self Storage LLC to enter upon my land and back fill or level the western boundary of my property after construction of the wall on the adjoining boundary. This will reflect a height of eight (8) foot for the wall to be constructed on the adjoining Southwest Self Storage property.

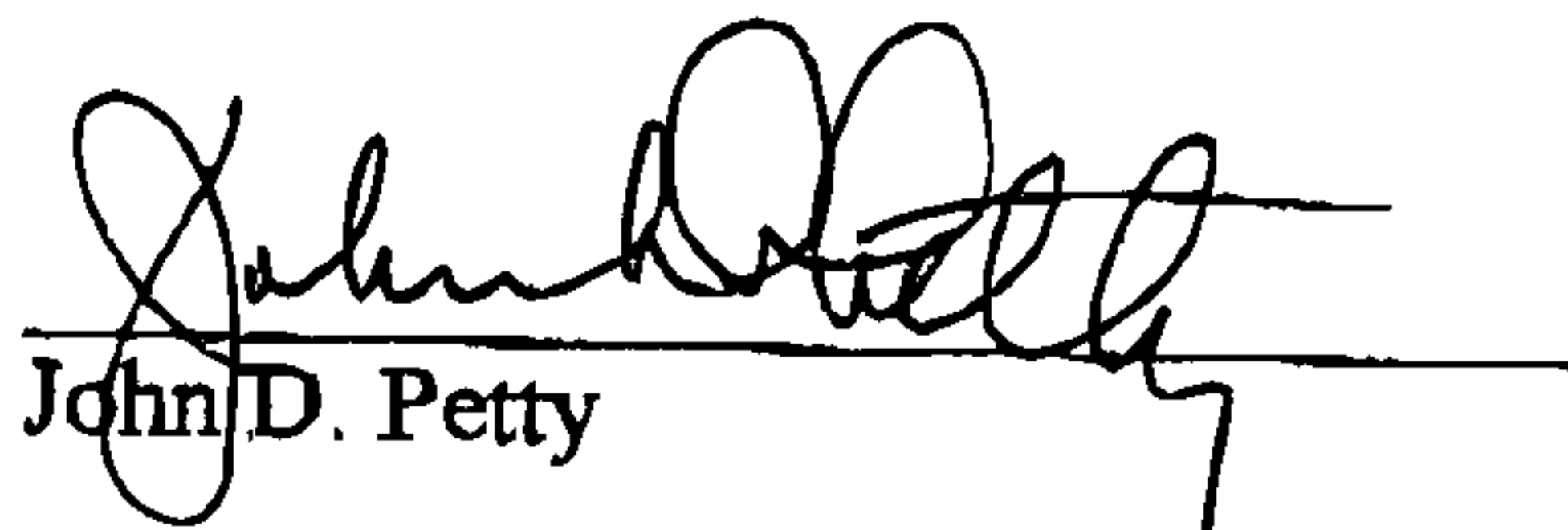
Any and all costs incurred in preparing this work will be the sole responsibility of Southwest Self Storage LLC and/or John Petty. Should any liens be filed against Tracts A & C due to non-payment for performance of the above effort, Southwest Self Storage LLC and/or John Petty will be liable for all costs incurred, including all legal costs incurred by the owner to clear the liens.

It is also the sole responsibility of Southwest Self Storage and/or John Petty to notify all prime contractors and sub-contractors and ensure that all construction debris be contained within their own property and no debris and/or waste of any kind shall be buried, thrown, dumped, or left on Tracts A, B, and C. This includes: dumping of any left over cement; washing of cement trucks; lumber, new, leftover or scrape; blown paper; and any other type of construction material. Southwest Self Storage and/or John Petty will also maintain container(s) on site.

Should any debris and/or waste of any kind, be left on Tracts A, B, and C, Southwest Self Storage and/or John Petty will be liable for all costs incurred in clean up and disposal and any legal costs for enforcement of such.


Gina I. Vigil Lerma

6-2-2003
Date


John D. Petty

6-2-2003
Date