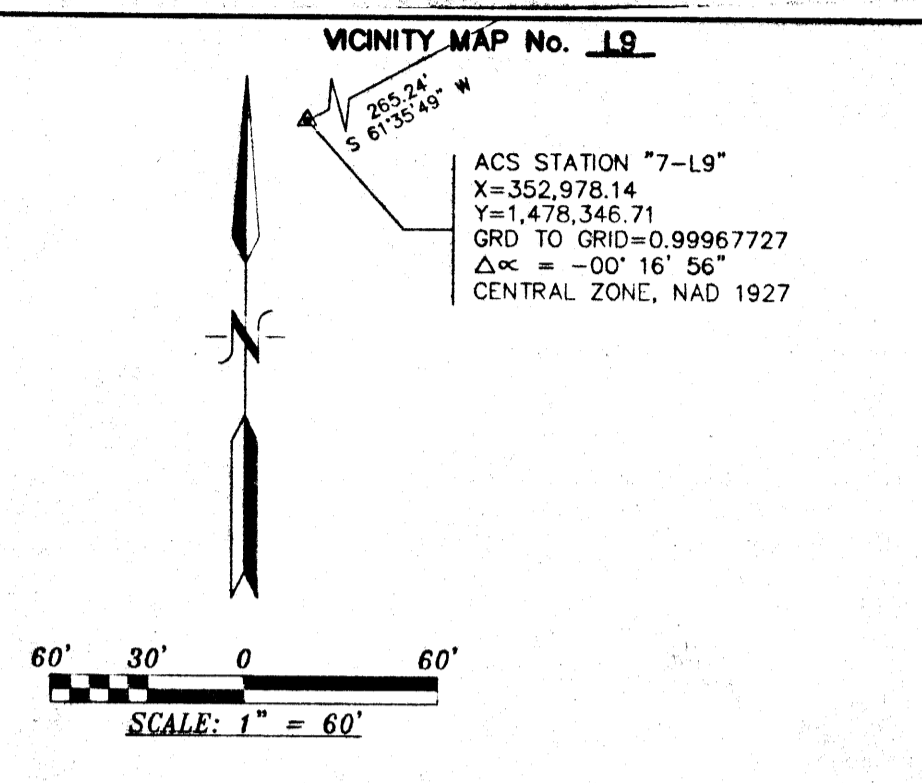
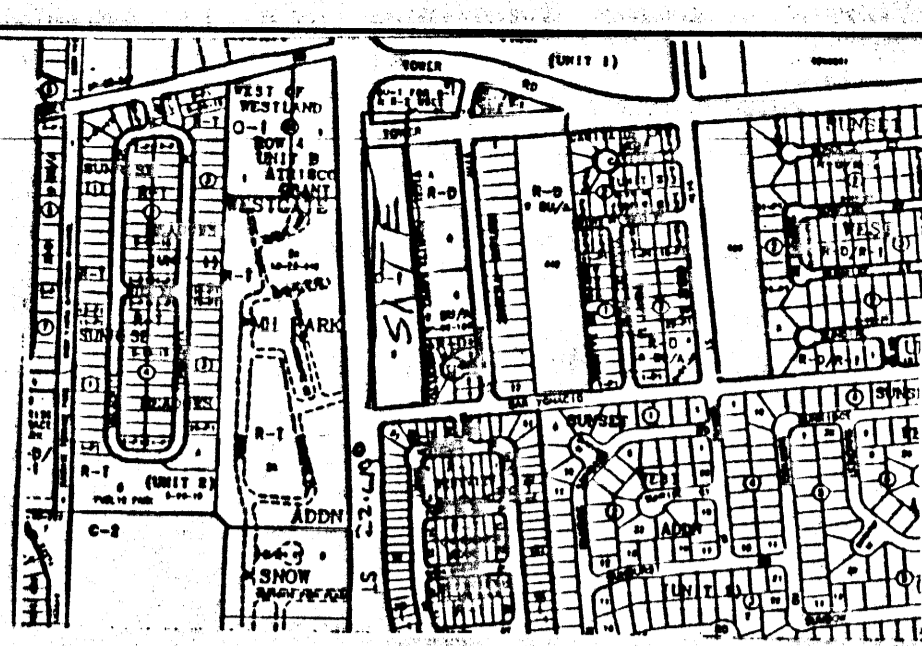


**PLAT OF  
TRACT A  
LANDS OF PETTY  
TOWN OF ATRISCO GRANT  
PROJECTED SECTION 28,  
TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2003**



**DISCLOSURE STATEMENT:**  
THE PURPOSE OF THIS PLAT IS TO COMBINE THE REMAINING PORTION OF TRACT 40 WITH THE SOUTH ONE-HALF OF VACATED TOWER ROAD AND GRANT ANY EASEMENTS AS SHOWN.

- GENERAL NOTES:**
- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
  - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
  - TOTAL AREA OF PROPERTY: 3.7870 ACRES.
  - TALOS LOG NO. 2003147314
  - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
  - DISTANCES ARE GROUND, BEARINGS ARE GRID.
  - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
  - DATE OF FIELD WORK: APRIL, 2003
  - CURRENT ZONING: SU-1 FOR O-1 AND SELF STORAGE.

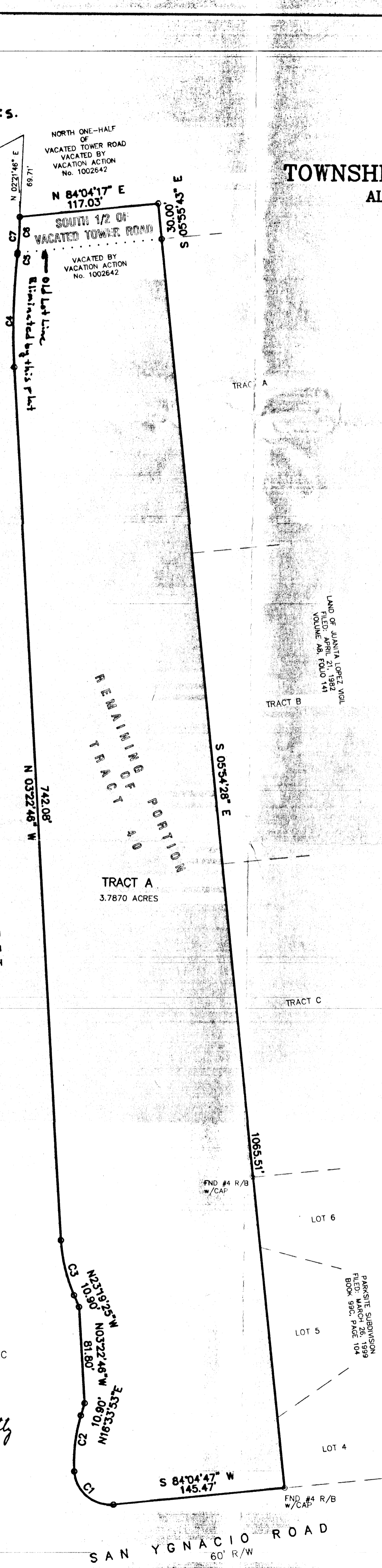
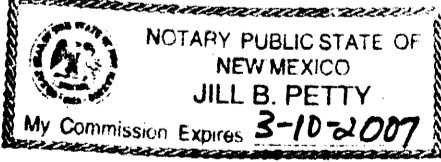
CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	30.00	92°06'43"	48.23	N 49°46'08" W	43.20
C2	138.00	19°56'32"	48.03	N 06°36'34" E	47.79
C3	138.00	20°01'36"	48.24	N 13°21'05" W	47.99
C4	588.00	09°19'33"	95.71	N 01°17'01" E	95.60
C5	312.00	00°17'44"	1.61	N 05°54'59" E	1.61
C6	312.00	05°34'43"	30.38	N 02°58'45" E	30.37
C7	312.00	05°52'28"	31.99	N 03°07'37" E	31.97

**FREE CONSENT**  
THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLES TO THE LAND SUBDIVIDED.

Tanya P. Lee by 6-2-03  
MANAGING MEMBER DATE

**ACKNOWLEDGMENT**  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 2nd DAY OF June, 2003

BY: Jover 98, LLC by Roger Defyeh  
OWNERS NAME  
MY COMMISSION EXPIRES: 3-10-2007 BY: Jill B. Petty  
NOTARY PUBLIC



PROJECT NUMBER: 1002512  
APPLICATION NUMBER: 03EPC-00320  
UTILITY APPROVALS:  
PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_  
PNM GAS SERVICES \_\_\_\_\_ DATE \_\_\_\_\_  
QWEST TELECOMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_  
COMCAST \_\_\_\_\_ DATE \_\_\_\_\_  
NEW MEXICO UTILITIES \_\_\_\_\_ DATE \_\_\_\_\_

CITY APPROVALS:  
[Signature] 6-3-03  
CITY SURVEYOR DATE

\*REAL PROPERTY DIVISION (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_  
\*\*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_  
UTILITIES DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_  
PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
AMAFCA \_\_\_\_\_ DATE \_\_\_\_\_  
CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14, REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994

CITY PLANNER, ALBUQUERQUE PLANNING DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

**LEGAL DESCRIPTION:**  
A CERTAIN TRACT OF LAND BEING THE REMAINING PORTION OF TRACT NUMBERED FORTY (40) TOGETHER WITH THE SOUTH ONE-HALF OF VACATED TOWER ROAD VACATED BY VACATION ACTION No. 1002642 ALL BEING SHOWN ON THE MAP SHOWING A PORTION OF TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944 IN VOLUME D, FOLIO 117 AND 118 BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE EASTERLY LINE OF 98th STREET, WHENCE THE CITY OF ALBUQUERQUE CONTROL STATION "7-L9" HAVING NEW MEXICO STATE PLANE COORDINATES OF X=352,978.14 AND Y=1,478,346.71 BEARS FIRST N. 02 deg. 21' 46" E., A DISTANCE OF 69.71 FEET AND THENCE S. 61 deg. 35' 49" W., A DISTANCE OF 265.24 FEET RUNNING; THENCE N. 84 deg. 04' 17" E., A DISTANCE OF 117.03 FEET TO THE NORTHEAST CORNER; THENCE S. 05 deg. 55' 43" E., A DISTANCE OF 30.00 FEET TO A POINT; THENCE S. 05 deg. 54' 28" E., A DISTANCE OF 1065.51 FEET TO THE SOUTHEAST CORNER, BEING A POINT ON THE NORTHERLY LINE OF SAN YGNACIO ROAD; THENCE S. 84 deg. 04' 47" W., ALONG THE NORTHERLY LINE OF SAN YGNACIO ROAD, A DISTANCE OF 145.47 FEET TO A POINT OF CURVE; THENCE 48.23 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 30.00' AND A CHORD BEARING AND DISTANCE OF N. 49 deg. 46' 08" E., 43.30 FEET TO A POINT ON THE EASTERLY LINE OF 98th STREET; THENCE ALONG THE EASTERLY LINE OF 98th STREET FOR THE NEXT 8 CALLS: 48.03 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 138.00 FEET AND A CHORD BEARING AND DISTANCE OF N. 06 deg. 35' 34" E., 47.79 FEET TO A POINT; THENCE N. 16 deg. 33' 53" E., A DISTANCE OF 10.90 FEET TO A POINT; THENCE N. 03 deg. 22' 46" W., A DISTANCE OF 81.80 FEET TO A POINT; THENCE N. 23 deg. 19' 25" W., A DISTANCE OF 10.90 FEET TO A POINT OF CURVE; THENCE 48.24 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 138.00 FEET AND A CHORD BEARING AND DISTANCE OF N. 13 deg. 21' 05" W., 47.99 FEET TO A POINT; THENCE N. 03 deg. 22' 46" W., A DISTANCE OF 742.08 FEET TO A POINT OF CURVE; THENCE 95.71 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 588.00 FEET AND A CHORD BEARING AND DISTANCE OF N. 01 deg. 17' 01" E., 95.60 FEET TO A POINT OF REVERSE CURVE; THENCE 31.99 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 312.00 FEET AND A CHORD BEARING AND DISTANCE OF N. 03 deg. 07' 37" E., 31.97 FEET TO THE NORTHWEST CORNER AND PLACE OF BEGINNING CONTAINING 3.7870 ACRES MORE OR LESS.

**SURVEYORS CERTIFICATE:**  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )  
I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 2nd DAY OF June, 2003.  
[Signature]  
ANTHONY L. HARRIS, P.S. #11463

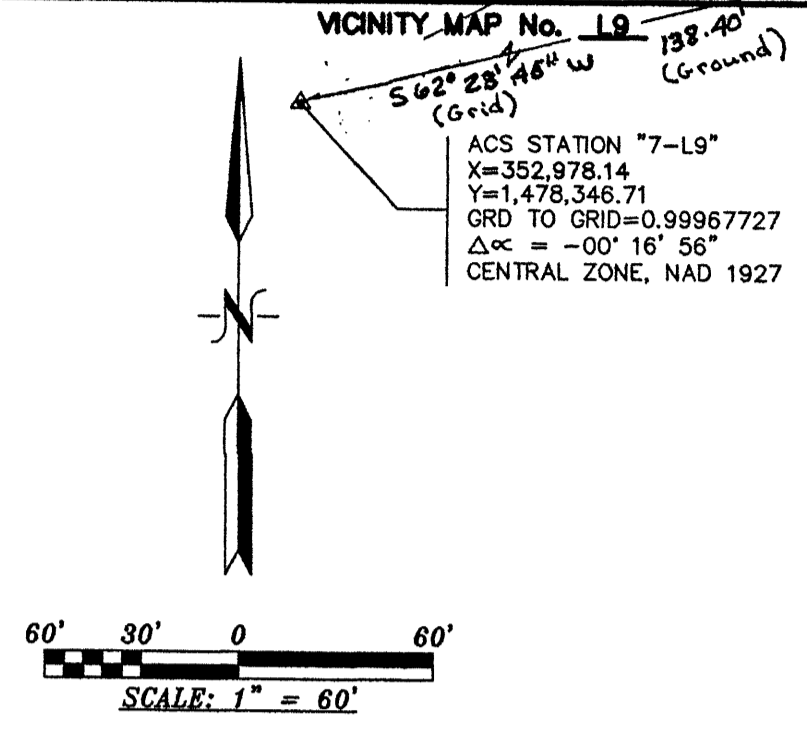
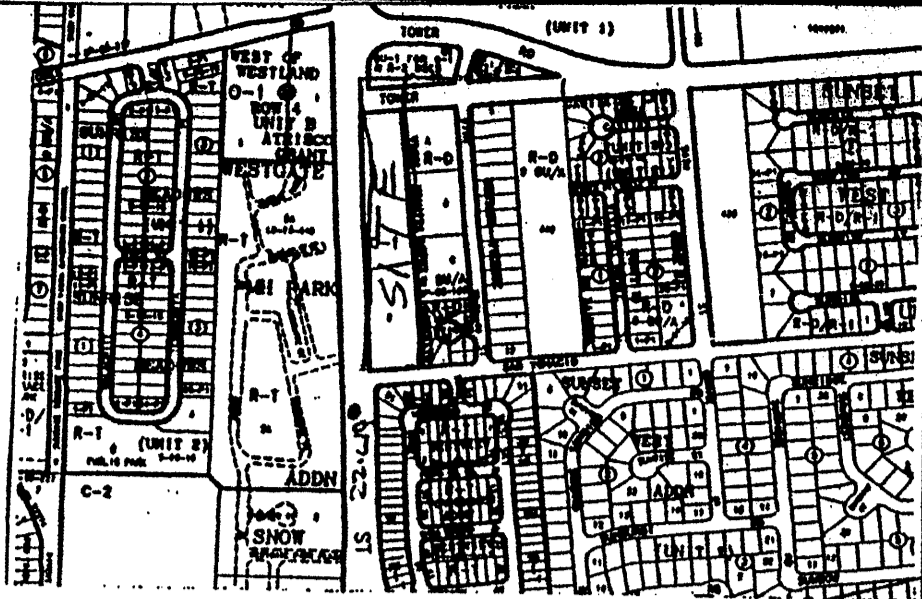


HARRIS SURVEYING, INC. PHONE: (505) 889-8058  
4412-D MONROE STREET N.E. ALBUQUERQUE, NEW MEXICO 87110 FAX: (505) 889-8045

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# 100905611610230806  
PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO CO. TREASURER'S OFFICE: \_\_\_\_\_

4615V

**PLAT OF  
TRACT A  
LANDS OF PETTY  
TOWN OF ATRISCO GRANT  
PROJECTED SECTION 28,  
TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2003**



NORTH ONE-HALF OF VACATED TOWER ROAD VACATED BY VACATION ACTION No. 1002642

N 84°04'17" E 115.53'

SOUTH 1/2 OF VACATED TOWER ROAD

Application No. 03 DR 800730

PROJECT NUMBER: 1002512

APPLICATION NUMBER: 03EPC-00320

UTILITY APPROVALS:

Leon D. Matk 6-12-03  
PNM ELECTRIC SERVICES DATE

Paul G. Matk 6-12-03  
PNM GAS SERVICES DATE

David R. Muller 6-13-03  
QWEST TELECOMMUNICATIONS DATE

Rita Eucisco 6-23-03  
COMCAST DATE

N/A  
NEW MEXICO UTILITIES DATE

CITY APPROVALS:

6-3-03  
CITY SURVEYOR DATE

06/25/03  
\*REAL PROPERTY DIVISION (CONDITIONAL) DATE

N/A  
\*\*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE

6-11-03  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

6/11/03  
UTILITIES DEVELOPMENT DATE

6/11/03  
PARKS AND RECREATION DEPARTMENT DATE

6-11-03  
AMAFCA DATE

7/24/03  
CITY ENGINEER DATE

7/24/03  
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14, REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994

7/24/03  
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION DATE

**LEGAL DESCRIPTION:**

A CERTAIN TRACT OF LAND BEING THE REMAINING PORTION OF TRACT NUMBERED FORTY (40) TOGETHER WITH THE SOUTH ONE-HALF OF VACATED TOWER ROAD VACATED BY VACATION ACTION No. 1002642 ALL BEING SHOWN ON THE MAP SHOWING A PORTION OF TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944 IN VOLUME D, FOLIO 117 AND 118 BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE EASTERLY LINE OF 98th STREET, WHENCE THE CITY OF ALBUQUERQUE CONTROL STATION "7-L9" HAVING NEW MEXICO STATE PLANE COORDINATES OF X=352,978.14 AND Y=1,478,346.71 BEARS

S. 03 deg. 28' 09" W., A DISTANCE OF 123.43 FEET RUNNING;

THENCE N. 84 deg. 04' 17" E., A DISTANCE OF 115.53 FEET TO THE NORTHEAST CORNER;

THENCE S. 05 deg. 55' 43" E., A DISTANCE OF 50.00 FEET TO A POINT;

THENCE S. 05 deg. 54' 28" E., A DISTANCE OF 1065.51 FEET TO THE SOUTHEAST CORNER, BEING A POINT ON THE NORTHERLY LINE OF SAN YGNACIO ROAD;

THENCE S. 84 deg. 04' 47" W., ALONG THE NORTHERLY LINE OF SAN YGNACIO ROAD, A DISTANCE OF 145.47 FEET TO A POINT OF CURVE;

THENCE 48.23 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 30.00' AND A CHORD BEARING AND DISTANCE OF N. 49 deg. 46' 08" W., 43.20 FEET TO A POINT ON THE EASTERLY LINE OF 98th STREET;

THENCE ALONG THE EASTERLY LINE OF 98th STREET FOR THE NEXT 8 CALLS:

48.03 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 138.00 FEET AND A CHORD BEARING AND DISTANCE OF N. 06 deg. 35' 34" E., 47.79 FEET TO A POINT;

THENCE N. 16 deg. 33' 53" E., A DISTANCE OF 10.90 FEET TO A POINT;

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THENCE N. 03 deg. 22' 46" W., A DISTANCE OF 742.08 FEET TO A POINT OF CURVE;

THENCE 95.71 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 588.00 FEET AND A CHORD BEARING AND DISTANCE OF N. 01 deg. 17' 01" E., 95.60 FEET TO A POINT OF REVERSE CURVE;

THENCE 31.99 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 312.00 FEET AND A CHORD BEARING AND DISTANCE OF N. 03 deg. 17' 07" E., 51.99 FEET TO THE NORTHWEST CORNER AND PLACE OF BEGINNING CONTAINING 3.8404 ACRES MORE OR LESS.

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3611818  
Page: 1 of 1  
87/24/2893 11:21A  
8X-2893C Pg-226

**SURVEYORS CERTIFICATE:** Harry Herrera Bern. Co. PLRT R 7.89

STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 2nd DAY OF June, 2003.

Anthony L. Harris, P.L.S. # 11463

ANTHONY L. HARRIS  
STATE OF NEW MEXICO  
REGISTERED PROFESSIONAL LAND SURVEYOR  
#11463

HARRIS SURVEYING, INC.  
2412-D MONROE STREET, N.E.  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE: (505) 889-9000  
FAX: (505) 889-9045

**DISCLOSURE STATEMENT:**  
THE PURPOSE OF THIS PLAT IS TO COMBINE THE REMAINING PORTION OF TRACT 40 WITH THE SOUTH ONE-HALF OF VACATED TOWER ROAD AND GRANT ANY EASEMENTS AS SHOWN.

**GENERAL NOTES:**

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 3.8404 ACRES.
- TALOS LOG NO. 2003147314
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: APRIL, 2003
- CURRENT ZONING: SU-1 FOR 0-1 AND SELF STORAGE.

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	30.00	92°04'43"	48.23	N 49°46'08" W	43.20
C2	138.00	10°56'32"	48.03	N 06°35'54" E	47.79
C3	138.00	20°01'36"	48.24	N 13°21'05" W	47.99
C4	588.00	09°19'33"	95.71	N 01°17'01" E	95.60
C5	312.00	09°33'29"	51.99	N 01°17'07" E	51.99

**FREE CONSENT**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLES TO THE LAND SUBDIVIDED.

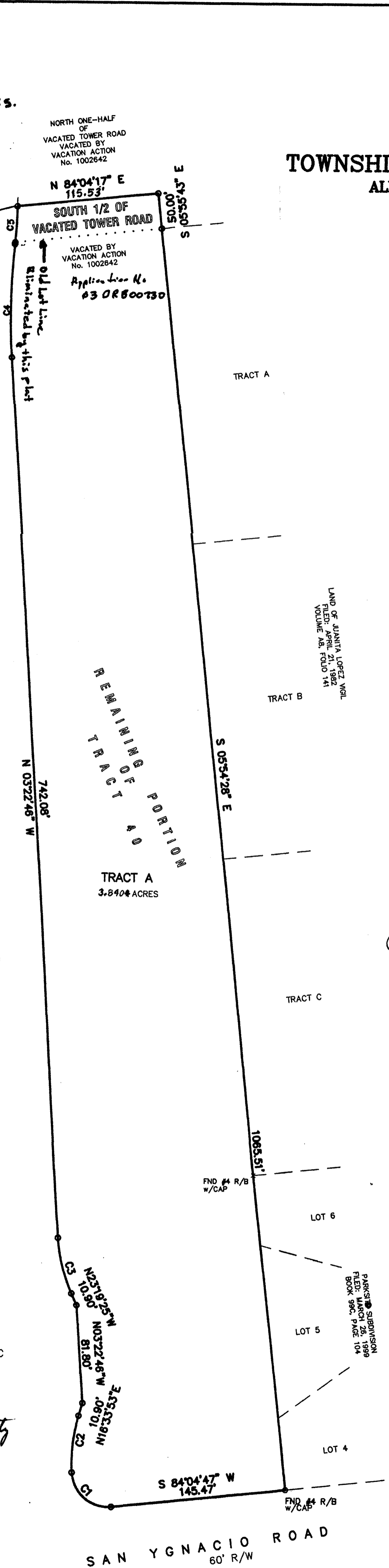
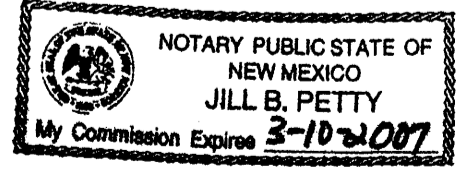
7/24/03  
Tanya J. Kelly by Roger Lopez, MANAGING MEMBER DATE

**ACKNOWLEDGMENT**

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 2nd DAY OF June, 2003

BY: Tanya J. Kelly by Roger Lopez, OWNERS NAME

MY COMMISSION EXPIRES: 3-10-2007 BY: Jill B. Petty, NOTARY PUBLIC

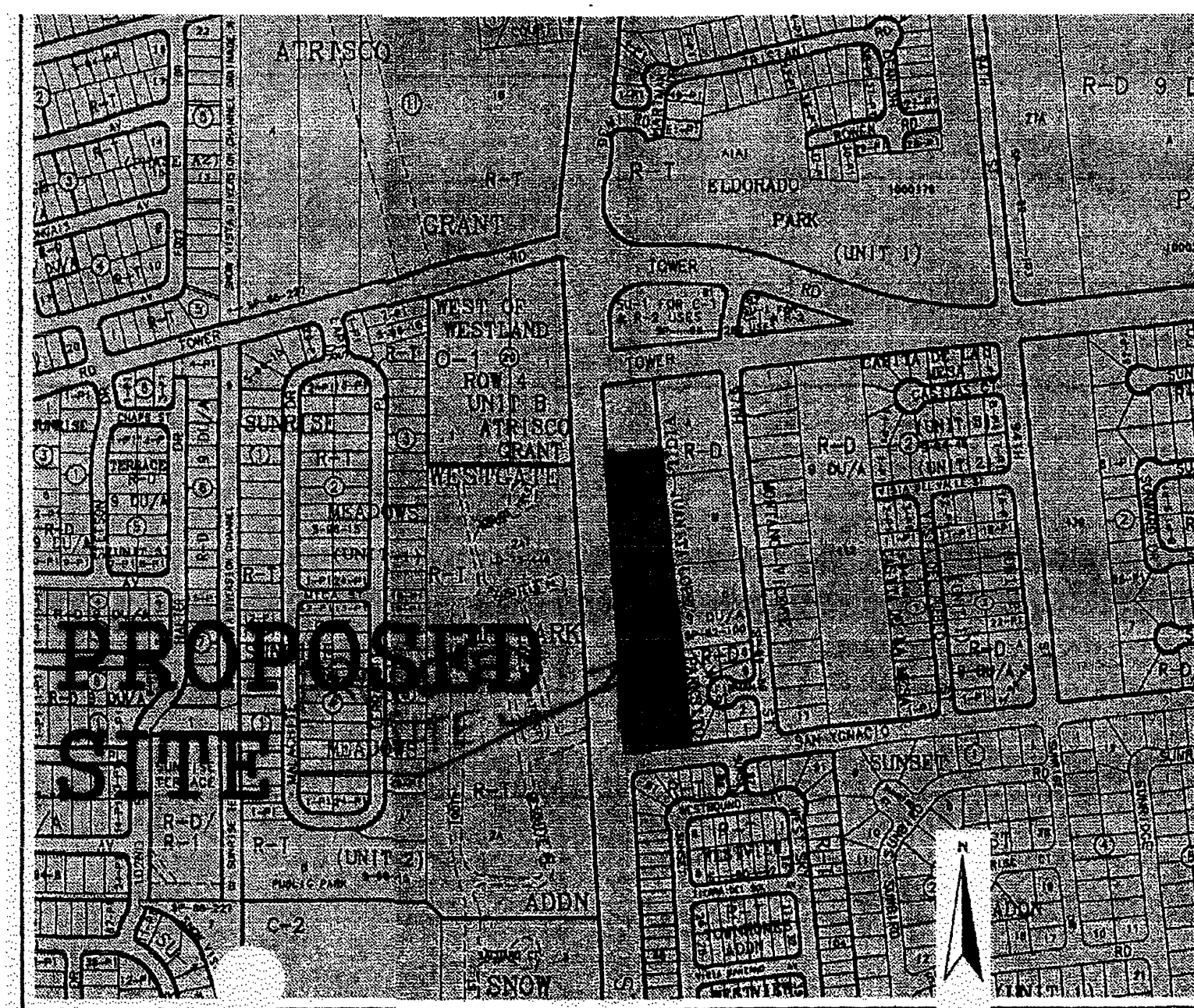


THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

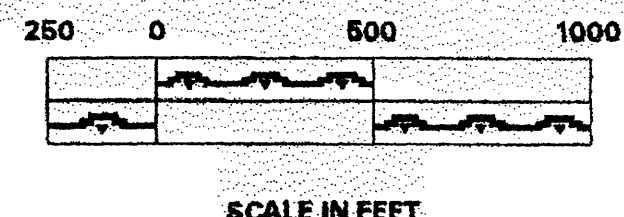
UPC# 100905611610230806 OK MCL

PROPERTY OWNER OF RECORD: Tanya J. Kelly

BERNALILLO CO. TREASURER'S OFFICE: Conchita Lugo 7/24/03



L-9-Z

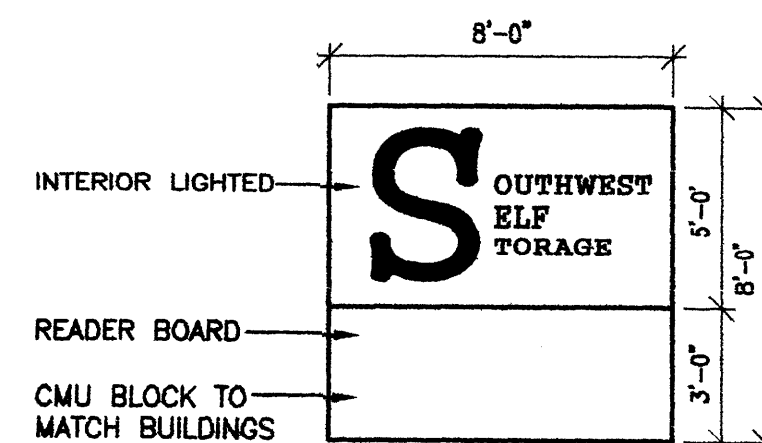


VICINITY MAP  
N.T.S.

1. Signage detail
2. Sheet ST-1 Note # 2 con. Lighting  
Verify language against regulations.

PLAT OF TOPOGRAPHY  
OF  
TRACT 40  
PROJECTED SECTION 28,  
TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.  
TOWN OF ATRISCO GRANT  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2003

APPROVALS:  
PROJECT NO. 1002512  
EPC CASE NUMBER 03EPC-00320  
DRB CASE NUMBER \_\_\_\_\_  
CITY PLANNER / ALBUQUERQUE \_\_\_\_\_  
PARKS DEPARTMENT AND GENERAL SERVICES \_\_\_\_\_  
TRAFFIC ENGINEER, TRANSPORTATION \_\_\_\_\_  
CITY ENGINEER, ENGINEERING DIVISION \_\_\_\_\_  
ALBUQUERQUE METROPOLITAN FLOOD CONTROL \_\_\_\_\_  
WATER UTILITIES DEPARTMENT \_\_\_\_\_  
Michael Hilton 527-03  
REFUSE DEPARTMENT will comply w/ con Specs



A SIGN DETAIL  
N.T.S.

TYPICAL BUILDING MOUNTED SITE LIGHT

FEATURES

**HOUSING** — Rear housing is rugged, corrosion-resistant, die-cast aluminum. Corrosion-resistant external hardware includes slotted hex-head and tamper-proof fasteners. Finish is dark bronze thermoset polyester powder, electrostatically applied.

**BALLAST** — High-reactance, high power factor. Encased-end-potted solid-state ignitors. Ballast is copper wound and 100% factory tested. Meets ANSI standards and is UL listed. Electrical components are mounted on back housing. (For 50 hertz availability, consult factory).

**OPTICS** — Reflector is finished in white thermoset polyester powder, electrostatically applied. Front housing and reflector are one-piece, injection-molded, UV-stabilized polycarbonate. Standard finish on opaque portion of front cover and back housing is dark bronze polyester enamel. Reflector is sealed and gasketed to inhibit the entrance of outside contaminants.

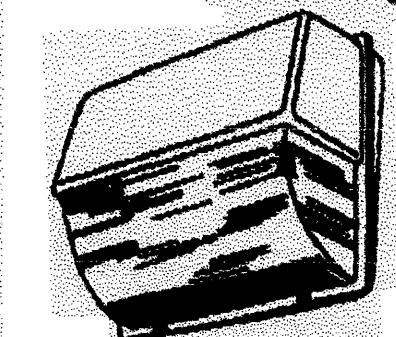
**INSTALLATION** — Top 3/4" threaded wiring access. Back access through removable 3/4" knockout. Feed-thru wiring can be achieved by using a conduit tee. Mount on any flat vertical surface.

**SOCKET** — Porcelain, horizontally-oriented, medium-base socket with copper alloy, nickel-plated screw shell and center contact. UL listed 500V, 500V and 48V pulse rated.

**LISTING** — UL listed suitable for wet locations. Listed and labeled to comply with Canadian and Mexican Standards (see Options). IP64 rated in accordance with IEC Standard 529.

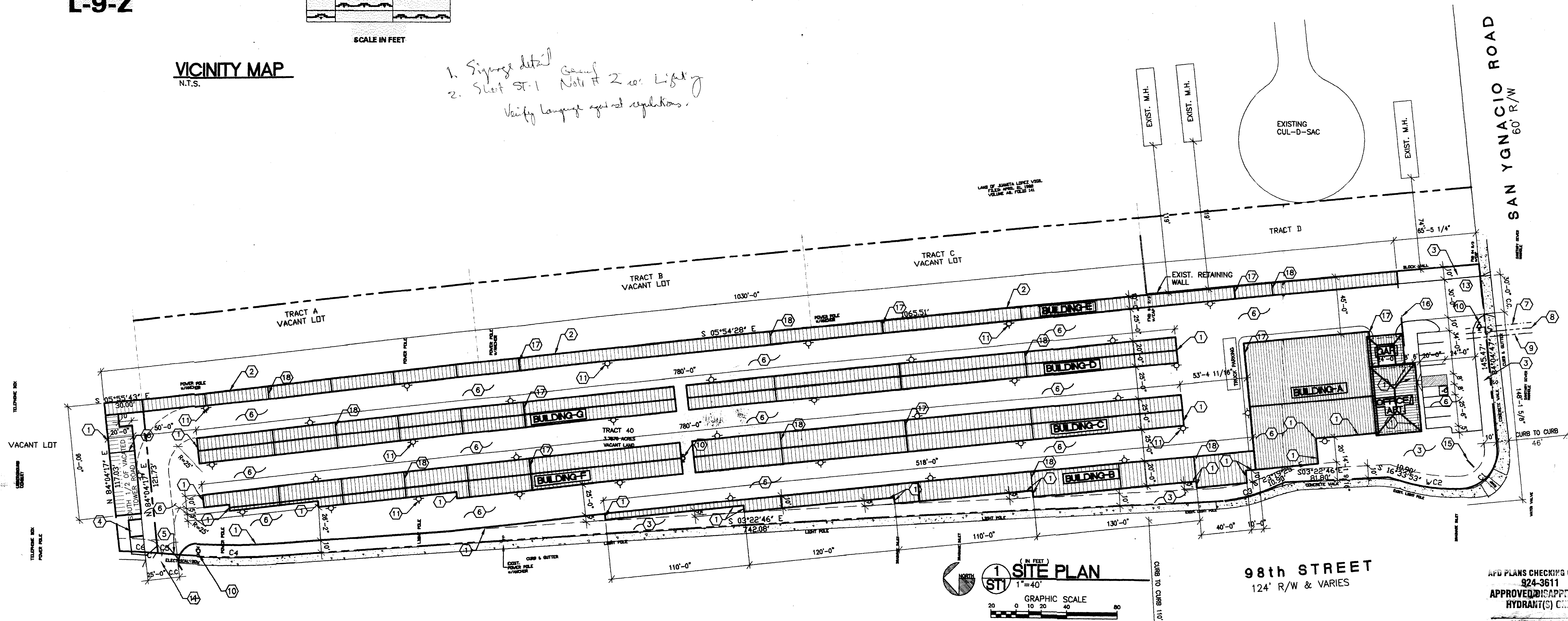
**NOTE:** Not recommended for use in car wash interior applications.

Wall-Pak  
**TWP**  
HIGH PRESSURE SODIUM  
35W, 50W, 70W, 100W, 150W  
6" to 25" Mounting



Height: 15-7/16" (39.2cm)  
Width: 18-1/8" (46.1cm)  
Depth: 7-3/4" (19.7cm)  
Weight: 14 to 15 lbs. (8 to 7 kg)

1002512



1 SITE PLAN  
1"=40'  
GRAPHIC SCALE  
20 0 10 20 40 80

98th STREET  
124' R/W & VARIES

SOUTHWEST SELF STORAGE  
SITE PLAN  
ALBUQUERQUE, NEW MEXICO  
PROJECT #0009

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	30.00	92°06'43"	48.23	N 49°46'08" W	43.20
C2	138.00	19°56'32"	48.03	N 06°35'34" E	47.79
C3	138.00	20°01'36"	48.24	N 13°21'05" W	47.99
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C5	312.00	00°17'44"	1.61	N 05°54'59" E	1.61
C6	312.00	05°34'43"	30.38	N 02°58'45" E	30.37
C7	312.00	05°52'28"	31.99	N 03°07'37" E	31.97

- KEYED NOTES**
1. SPLIT FACE CMU.
  2. SMOOTH FACE CMU WALL.
  3. LANDSCAPE AREA.
  4. DUMSTER ENCLOSURE SEE DET. 5/ST-2
  5. 2'-12"x6" H. WROUGHT IRON GATES
  6. 2" ASPHALT PAVING
  7. 4" SEWER LINE
  8. 1 1/2" GAS LINE
  9. 1" WATER LINE
  10. NEW FIRE HYDRANT.
  11. BUILDING MOUNTED SITE LITE (SHEILD)
  12. NEW CONCRETE SIDEWALK.
  13. CONCRETE DRIVE-PAD
  14. RIGHT TURN ONLY AT EXIT
  15. FREE STANDING SIGN, SEE DET. A/ST-1
  16. 24" ROLLING GATE
  17. 2 HOUR FIRE RATED SEPERATION WALL  
2 LAYERS OF 5/8" TYPE 'X' GYP. BD.  
OVER 2x6 FRAMING
  18. CONC. STEP DOWN AT CHANGE OF ELEVATION

**UBC CODE DESIGN DATA**

OCCUPANCY GROUP = S2  
TYPE OF CONSTRUCTION = V-N, II-N  
STORAGE BUILDINGS = 61,470 S.F.  
APARTMENT/OFFICE = 2,783 S.F.  
GARAGE = 576 S.F.  
TOTAL BUILDING AREA = 64,829 S.F.

SEISMIC ZONE = 2B  
SOIL BEARING CAPACITY = 1,500 PSI  
CONCRETE STRENGTH = 3,000 PSI  
STRESS VALUES = LUMBER: Fb = 970 MIN.  
= STEEL: 50,000 PSI

WIND DESIGN LOAD = 16.4 PSF HORIZ. (75 MPH WIND)  
ROOF DESIGN LOAD = 15 PSF DL, 20 PSF LL  
FLOOR DESIGN LOAD = SLAB ON GRADE  
CORRIDOR DESIGN LOAD = N/A

**ZONING DESIGN DATA**

ZONING = O-1 TO SU-1  
LOT AREA = 159,840 SF., 3.87 ACRES  
TOTAL BUILDING AREA = 64,379 SF.  
LANDSCAPING REQUIRED = 159,840 S.F. (GROSS) - 64,379 S.F. (BLDG.) = 95,461 S.F. (NET)  
LANDSCAPING PROVIDED = 15% OF LOT 95,461 SF. = 14,319 S.F.

PARKING REQUIREMENTS  
OFFICE AREA = 3 REQUIRED  
APARTMENT AREA = 2 CAR GARAGE  
TOTAL PARKING REQUIRED = 5 SPACES REQUIRED  
PARKING PROVIDED = 8 SPACES (1 H.C. SPACE)

BUILDING	SF.
BUILDING "A"	9,000 SF.
BUILDING "B"	7,120 SF.
BUILDING "C"	9,750 SF.
BUILDING "D"	7,800 SF.
BUILDING "E"	11,800 SF.
BUILDING "F"	7,950 SF.
BUILDING "G"	7,600 SF.
TOTAL STORAGE SF.	61,020 SF.
OFFICE	1,500 SF.
APARTMENT	1,283 SF.
GARAGE	576 SF.
TOTAL OFF./APT./GAR. SF.	3,359 SF.
TOTAL BUILDING SF.	64,379 SF.

- GENERAL NOTES**
1. PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2" INCHES OF ASPHALT CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
  2. LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
  3. IRRIGATION: SEE LANDSCAPE PLAN
  4. PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.
  5. NEW HYDRANTS (IF REQUIRED) TO BE INSTALLED SHALL BE MADE SERVICEABLE PRIOR TO AND DURING CONSTRUCTION
  6. FULL CUT-OFF LIGHT FIXTURES SHOULD ALSO BE REQUIRED TO MITIGATE ANY FUGITIVE LIGHT AND SHALL COMPLY WITH THE ZONING CODE REGARDING LUMINANCE.

REVISION DATE

STATE OF NEW MEXICO  
RICHARD P. BENNETT  
No. 1240  
01/2/03  
REGISTERED ARCHITECT

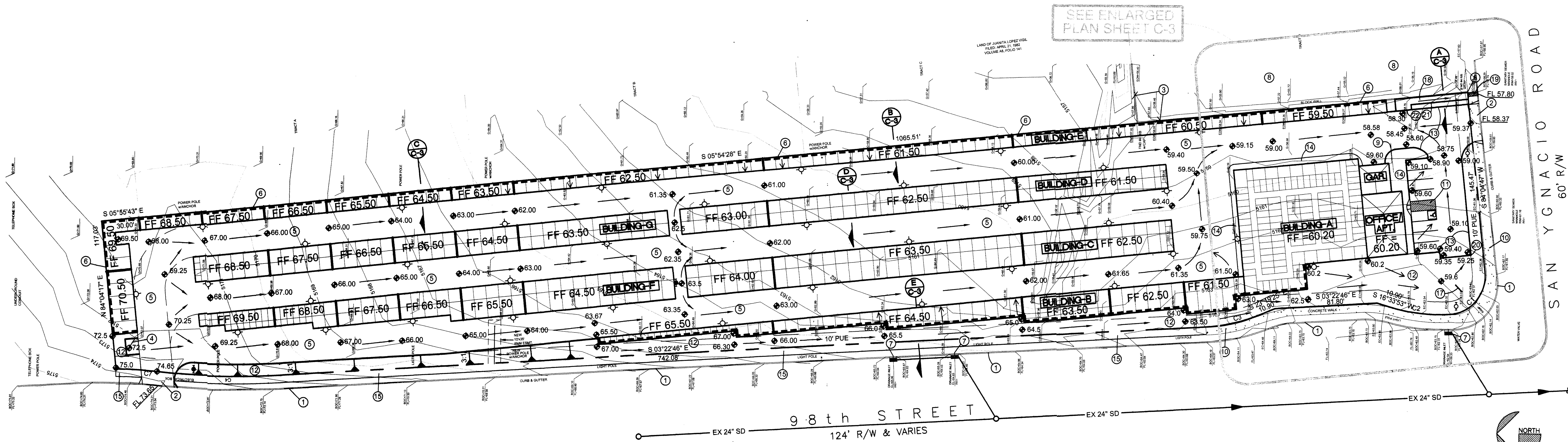
DATE: 05-20-03

SHEET NUMBER: ST-1

1100 Park Avenue SW • Albuquerque, New Mexico 87102  
(505) 242-1889 • Fax: (505) 242-6000 • rben@rpbennett.com

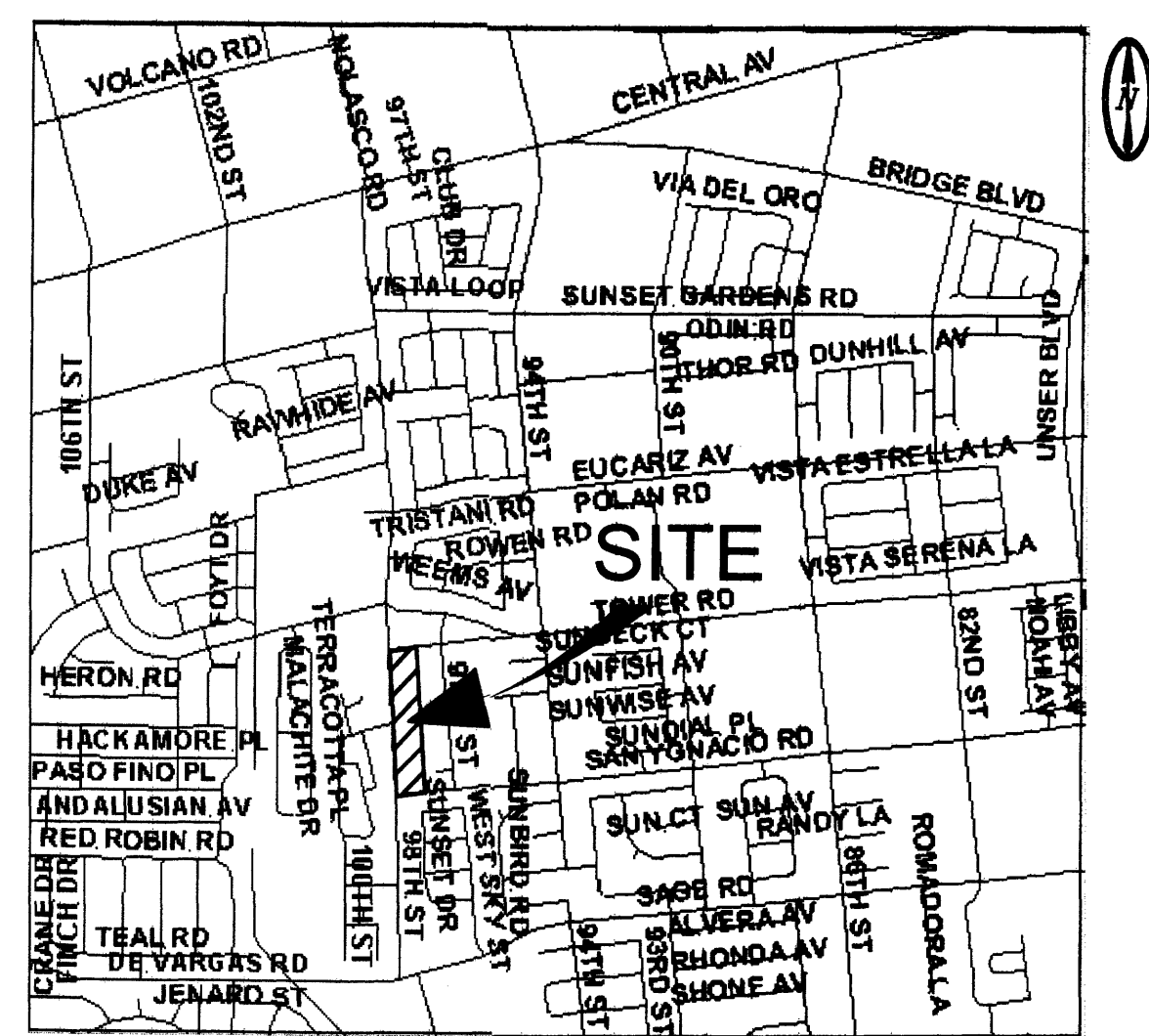
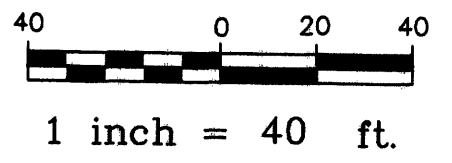




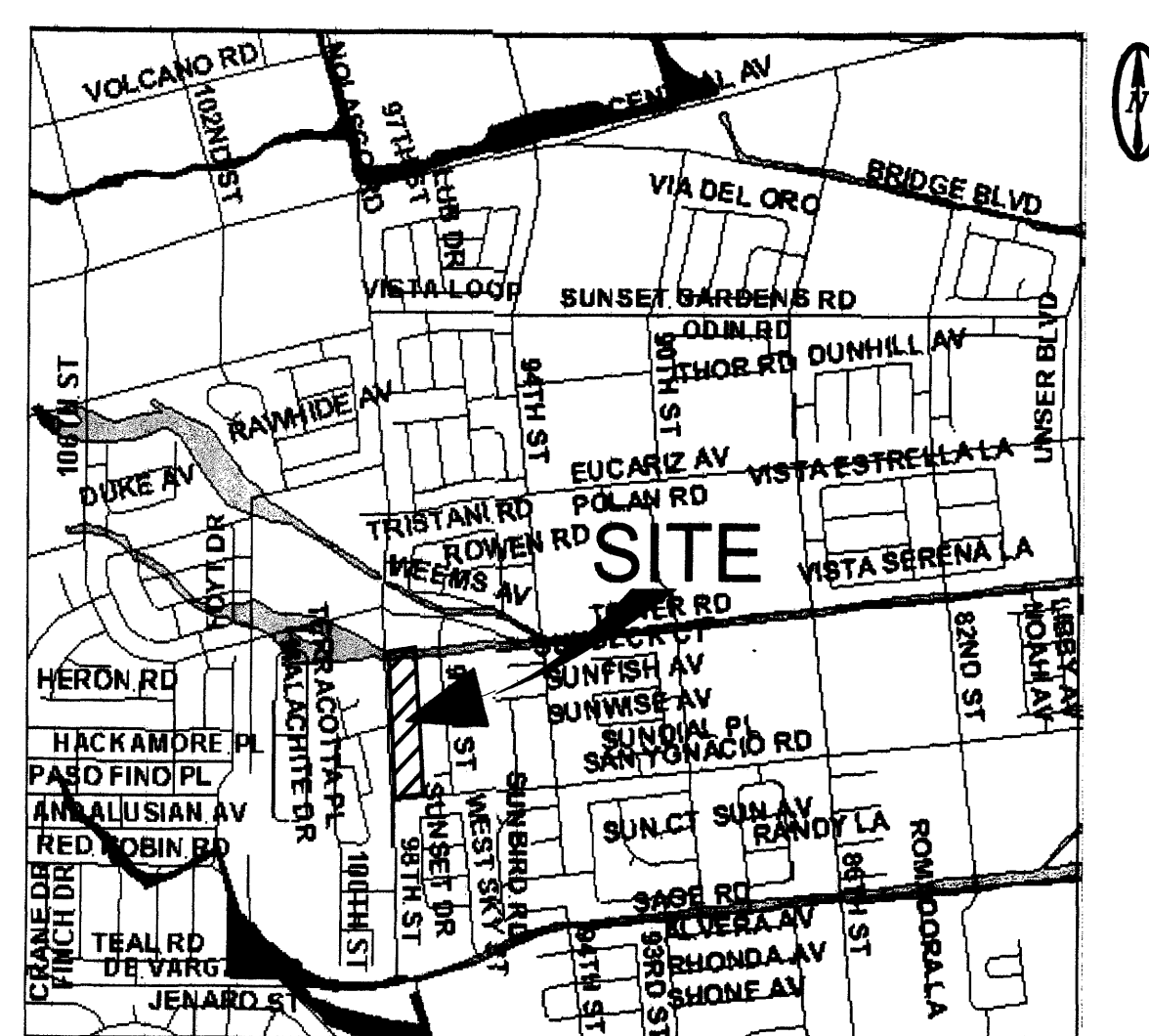


SEE ENLARGED PLAN SHEET C-3

**1 C-1 GRADING AND DRAINAGE PLAN**  
1"=40'



LOCATION MAP L9 NOT TO SCALE



FIRM PANEL NOT TO SCALE

**GRADING & DRAINAGE PLAN**

**PURPOSE AND SCOPE**  
PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE DEVELOPMENT OF THE PROPERTY INTO A SELF STORAGE FACILITY. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PRESENTED TO PROVIDE GRADING AND DRAINAGE CRITERIA AND DETAILS TO SUPPORT BUILDING PERMIT APPLICATION.

**EXISTING CONDITIONS**  
THE PROJECT SITE CONTAINS APPROXIMATELY 3.79-ACRES AND IS LOCATED ON 98TH STREET SW, BETWEEN SAN IGNACIO AND TOWER ROAD SW. THE SITE IS BOUNDED BY 98TH STREET ON THE WEST, DEVELOPING PROPERTIES ON THE EAST, SAN IGNACIO ON THE SOUTH, AND OLD TOWER ROAD ON THE NORTH. THE SITE IS PRESENTLY UNDEVELOPED. SITE TOPOGRAPHY SLOPES FROM WEST TO EAST AT APPROXIMATELY 3 PERCENT.

**AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.**

**PROPOSED CONDITIONS**  
AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED INTO A SELF STORAGE FACILITY. ALL RUNOFF WILL BE CONVEYED OVERLAND VIA PAVED ACCESS ROADS AND PARKING LOT SWALES TO SAN YGNACIO ROAD. PER THE DRAINAGE MASTERPLAN FOR SPECIAL ASSESSMENT DISTRICT 222, THIS SITE IS LOCATED WITHIN BASIN B1-D. THE ALLOWABLE DISCHARGE FROM THE BASIN IS 3.97 CFS PER ACRE, WHICH EQUATES TO 15.0 CFS FOR THIS SITE. AS SHOWN BY THE AHYMO TABLE ON THIS SHEET, DEVELOPED PEAK DISCHARGE FROM THE SITE WILL NOT EXCEED THE DMP THRESHOLD.

**THE PLAN SHOWS THE CONTOURS AND ELEVATIONS REQUIRED TO PROPERLY GRADE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR BOTH EXISTING AND DEVELOPED CONDITIONS. PERTINENT CONSTRUCTION DETAILS ARE PROVIDED ON SHEET C-3.**

**TEMPORARY EROSION CONTROL**  
TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. SEE STORM WATER POLLUTION PREVENTION PLAN-SHEET C-2.

**CALCULATIONS**  
THE CALCULATIONS SHOWN HEREON DEFINE THE 100-YEAR/6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.

PROJECT HYDROLOGY								
98TH STREET STORAGE								
ZONE:	1							
P <sub>24 HOUR</sub> :	2.20"							
P <sub>10 DAY</sub> :	3.67"							
UNDEVELOPED:								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	3.787	3.79	0.00	0.00	0.00	0.44	4.9	0.139
DEVELOPED (PROPOSED):								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	3.787	0.00	0.27	0.49	3.03	1.75	15.0	0.552

ALLOWABLE DISCHARGE PER SAD 222 = 3.97 CFS/AC  
FOR THIS SITE Q100 ALLOWABLE = 3.79(3.97)=15.0 CFS

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	30.00	92°06'43"	48.23	N 49°46'08" W	43.20
C2	138.00	19°56'32"	48.03	N 08°35'34" E	47.79
C3	138.00	20°01'36"	48.24	N 13°21'05" W	47.99
C4	588.00	09°19'33"	95.71	N 01°17'01" E	95.80
C5	312.00	00°17'44"	1.61	N 05°54'59" E	1.61
C6	312.00	05°34'43"	30.38	N 02°58'45" E	30.37
C7	312.00	05°52'28"	31.99	N 03°07'37" E	31.97

**DRAINAGE PLAN NOTES**

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement unless noted otherwise.
- All perimeter storage units must drain into the site. No roof drains may discharge onto adjoining properties.

**PROJECT DATA**

**PROPERTY ADDRESS**  
98th STREET SW

**LEGAL DESCRIPTION**  
TRACT 40, PROJECTED SECTION 28 TION, R2E, NMPM TOWN OF ATRISCO GRANT

**MAPPING**  
FIELD MEASUREMENTS BY HARRIS SURVEYING FEBRUARY 2003

**LEGEND**

- 6001 — EXISTING CONTOUR ELEVATION
- 025 x — EXISTING SPOT ELEVATION
- 01 — PROPOSED CONTOUR ELEVATION
- — PROPERTY LINE
- 015 ♦ — PROPOSED SPOT ELEVATION
- ← — DIRECTION OF FLOW
- — DRAINAGE SWALE
- ⊙ — SITE LIGHT POLE
- ⊙ — EXISTING FIRE HYDRANT
- ♦ — NEW FIRE HYDRANT
- ■ ■ ■ — NEW RETAINING WALL

**KEYED NOTES**

- EXISTING STANDARD CURB & GUTTER
- NEW DRIVEPAD
- EXISTING CONCRETE WALL
- NEW REFUSE ENCLOSURE
- NEW ASPHALT PAVEMENT
- NEW RETAINING WALL AT BUILDING
- EXISTING DRAIN INLET
- EXISTING ASPHALT PAVEMENT TO REMAIN
- IRON SECURITY GATE
- EXISTING CONCRETE SIDEWALK TO REMAIN
- NEW PARKING STRIPING PER CITY CODE
- NEW LANDSCAPING - SEE SITE PLAN
- NEW 8" CONCRETE CURB
- NEW CONCRETE SIDEWALK (ON-SITE)
- NEW 8" CONCRETE SIDEWALK (PUBLIC)
- NEW ACCESSIBLE RAMP - SEE SITE PLAN
- MONUMENT SIGN - SEE SITE PLAN
- CONSTRUCTION CONCRETE CHANNEL - SEE SECTION
- CONSTRUCT 3" x 24" SW CULVERTS PER COA STD DWG 2236
- PROVIDE 12" CURB BREAK AT DRAINAGE SWALE
- NEW 8" CONCRETE CURB
- PROVIDE 12" FT CURB BREAK AT CHANNEL INLET

**SURVEY NOTES:**

- CONTOUR INTERVAL IS ONE (1) FOOT.
- ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "22-119", HAVING AN ELEVATION OF 5163.08.
- UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

**DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR**

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1995.
- THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

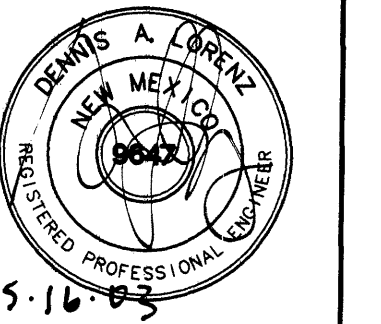
APPROVALS

INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph: 505-888-6088 Fax: 505-888-6188

**SOUTHWEST SELF STORAGE**  
GRADING AND DRAINAGE PLAN  
ALBUQUERQUE, NEW MEXICO  
BLI PROJECT 03511

REVISION DATE

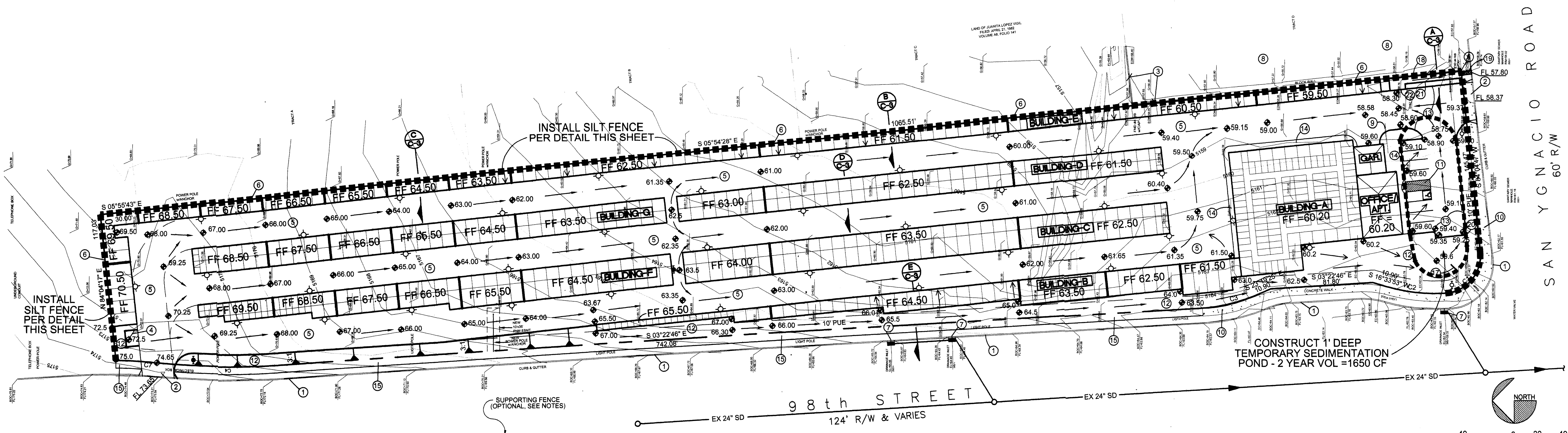


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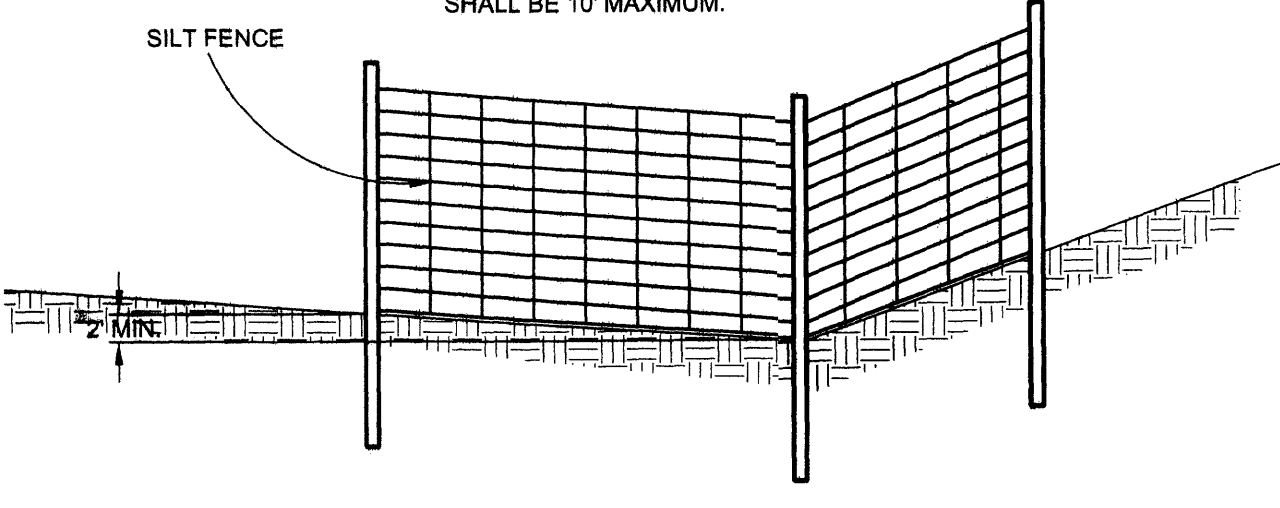
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SHEET NUMBER

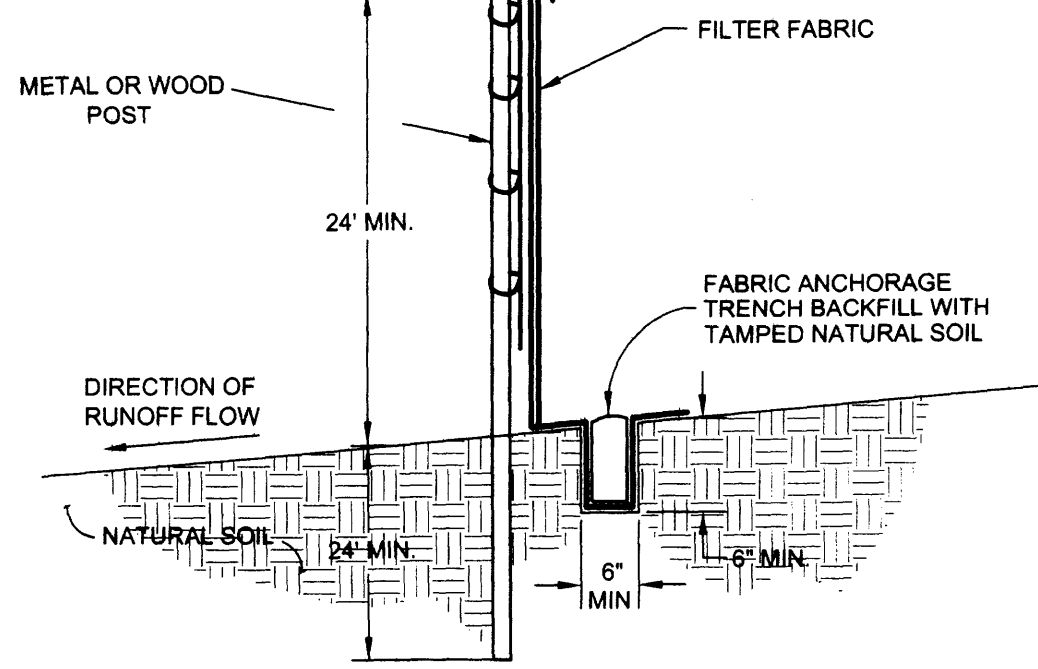
C-1



NOTE: WHEN SILT FENCE IS USED FOR FILTER DAM INSTALLED IN DITCHES A SUPPORTING FENCE SHALL BE PROVIDED AND THE POST SPACING SHALL BE 10' MAXIMUM.



ELEVATION - FILTER DAM (SILT FENCE OPTION)



ELEVATION - FILTER DAM (SILT FENCE OPTION)

SILT FENCING DETAILS  
NTS

(A)  
C-2

1  
C-2 STORM WATER POLLUTION PREVENTION PLAN  
1" = 40'

- LEGEND**
- 6001 — EXISTING CONTOUR ELEVATION
  - 02.5 x — EXISTING SPOT ELEVATION
  - 01 — PROPOSED CONTOUR ELEVATION
  - — PROPERTY LINE
  - 01.5 — PROPOSED SPOT ELEVATION
  - ← — DIRECTION OF FLOW
  - — DRAINAGE SWALE
  - ■ ■ ■ ■ SILT FENCING

**PROJECT DATA**

**PROPERTY ADDRESS**  
98th STREET SW

**LEGAL DESCRIPTION**  
TRACT 40, PROJECTED SECTION 28  
T10N, R2E, NMPM  
TOWN OF ATRISCO GRANT

**MAPPING**  
FIELD MEASUREMENTS BY  
HARRIS SURVEYING  
FEBRUARY 2003

1 inch = 40 ft.

SWPPP INFORMATION SHEET

SITE DESCRIPTION & NOI INPUTS		COMMERCIAL CONSTRUCTION	
NATURE OF ACTIVITY		REFER TO LOCATION MAP AND GRADING AND DRAINAGE PLAN	
GENERAL LOCATION AND SITE MAP		REFER TO SWPPP	
DISTURBED AND UNDISTURBED AREA		REFER TO SWPPP	
STRUCTURAL & NON-STRUCTURAL CONTROLS		REFER TO LANDSCAPING PLAN AND SWPPP	
LOCATIONS WHERE STABILIZATION WILL OCCUR		REFER TO SWPPP	
TOTAL SITE AREA	3.79 AC	AREA WITHIN THE CONSTRUCTION LIMITS	
RECEIVING WATER		PUBLIC STORM DRAIN IN SAN YGNACIO ROAD	
TOTAL DISTURBED AREA	3.79 AC	AREA WITHIN THE CONSTRUCTION LIMITS	
LATITUDE	35°03'40"		
LONGITUDE	106°44'27"		
ESTIMATE OF LIKELIHOOD OF DISCHARGE		ONCE PER MONTH	
ENDANGERED SPECIES OR CRITICAL HABITAT (YES OR NO)	NO	ENVIR RPT	NO
PART 63a(2) OF THE PERMIT (a,b,c,d)		ENVIR RPT	B

DRAINAGE PARAMETERS		REFER TO GRADING AND DRAINAGE PLAN	
DRAINAGE PATTERNS		REFER TO GRADING AND DRAINAGE PLAN	
APPROXIMATE SLOPE AFTER MAJOR GRADING		REFER TO GRADING AND DRAINAGE PLAN	
RAINFALL			
PRECIPITATION ZONE	3		
2 - YEAR 24 - HOUR, inches	1.35		
2 - YEAR 1 - HOUR, inches	0.93		
HYDROLOGICAL SOIL GROUP	B		
EXCESS PRECIPITATION, UNDISTURBED SITE, inches	0.00		
EXCESS PRECIPITATION, DISTURBED SITE, inches	0.12		
UNIT PEAK DISCHARGE, UNDISTURBED SITE, cfs/acre	0.00		
UNIT PEAK DISCHARGE, DISTURBED SITE, cfs/acre	0.47		
UNIT PEAK DISCHARGE, POST CONSTRUCTION, cfs/acre	1.75		

**RUNOFF DISCHARGE & VOLUME CALCULATION**

THE FOLLOWING PROCEDURES SHOULD BE USED TO CALCULATE THE RUNOFF DISCHARGE AND VOLUME TO DESIGN THE EROSION CONTROL MEASURES. PEAK DISCHARGE AND VOLUME ESTIMATED BY THE AHMO METHOD, AS OUTLINE IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME 2, CHAPTER 22, PART A, JULY 1997:

**DISCHARGE:**  $Q = qA$   
**WHERE:** Q = DISCHARGE, cfs  
 q = UNIT PEAK DISCHARGE, cfs/acre  
 A = AREA OF THE SITE, acres

**VOLUME:**  $V = EA/12$   
**WHERE:** V = VOLUME, acre-feet  
 E = EXCESS PRECIPITATION, inches  
 Tc = TIME OF CONCENTRATION, hours  
 Tc = 12 MIN. FOR BASIN WITHIN PROJECT LIMITS  
 L = LENGTH OF WATERSHED, ft  
 V = VELOCITY, fps

SEE GRADING AND DRAINAGE PLAN FOR DETAILED PROJECT HYDROLOGY.

- GENERAL NOTES:**
- THE 1997 EDITION OF NMSHTD NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) HANDBOOK AND SECTION 603 - TEMPORARY EROSION & SEDIMENT CONTROL OF THE 1996 EDITION OF THE NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGE CONSTRUCTION - SHALL BE USED AS MINIMUM REQUIREMENTS TO DEVELOPE OR MODIFY THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
  - THE NPDES PERMIT NUMBER FOR THE PROJECT OR A COPY OF THE NOTICE OF INTENT (NOI) IF A PERMIT NUMBER HAS NOT YET BEEN ASSIGNED, SHALL BE POSTED AT THE PROJECT SITE OR THE FIELD OFFICE AT ALL TIMES DURING CONSTRUCTION.
  - THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ALL MAINTENANCE AND INSPECTION REPORTS SHALL BE SIGNED BY A QUALIFIED INSPECTOR ASSIGNED BY CONTRACTOR THE SWPPP AND THE INSPECTION REPORTS SHALL BE AVAILABLE TO EPA REPRESENTATIVE AT ALL TIMES DURING CONSTRUCTION.
  - ALL DRAINAGE INFORMATION NEEDED TO COMPLETE THE NOTICE OF INTENT (NOI) ARE PROVIDED IN THIS PLAN.

STORM WATER POLLUTION PREVENTION PLAN

INTRODUCTION

THIS SWPPP DEFINES THE CONSTRUCTION ACTIVITIES AND TEMPORARY EROSION CONTROLS TO BE EMPLOYED TO CONTROL THE RELEASE OF POLLUTION FROM THE CONSTRUCTION SITE. THE THREE PRIMARY GOALS OF THE SWPPP ARE TO REDUCE EROSION, MINIMIZE SEDIMENT, AND CONTROL THE DISCHARGE OF NON-STORM WATER POLLUTANTS.

ALL REQUIREMENTS OUTLINED IN THE FEDERAL ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND THE NEW MEXICO CLEAN WATER ACT SHALL BE STRICTLY OBEYED DURING THE CONSTRUCTION PHASE OF THIS PROJECT.

EXPOSED AREAS SHALL BE KEPT TO A MINIMUM TO PERFORM CONSTRUCTION AND SHALL BE PROTECTED BY IMPLEMENTING THE TEMPORARY EROSION CONTROL MEASURES RECOMMENDED BY THIS PLAN.

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A SELF STORAGE FACILITY ON THE SUBJECT 3.79-ACRE PARCEL. THE SITE IS LOCATED ON THE EAST SIDE OF 98TH STREET NW BETWEEN TOWER RD AND SAN YGNACIO RD. THE SITE IS BOUNDED BY OLD TOWER ROAD ON THE NORTH, SAN YGNACIO ON THE SOUTH, 98TH ST ON THE WEST, AND RESIDENTIAL PROPERTY ON THE EAST. SITE TOPOGRAPHY SLOPES FROM WEST TO EAST AT APPROXIMATELY 3 PERCENT. NO OFF-SITE FLOWS IMPACT THE SITE. DEVELOPED DISCHARGES WILL DRAIN TO AN EXISTING PUBLIC STORM DRAIN LOCATED IN SAN YGNACIO RD.

AS SHOWN BY THE FLOOD INSURANCE RATE MAP FOR THIS AREA, THIS SITE IS NOT LOCATED WITHIN A MAPPED FLOOD HAZARD ZONE.

AS ABOVE, THE PROJECT IS TO BE DEVELOPED AS A SELF STORAGE FACILITY. THERE WILL BE NO INDUSTRIAL ACTIVITY, AND THEREFORE, NO INDUSTRIAL DISCHARGES. DURING CONSTRUCTION, POTENTIAL STORM WATER POLLUTANTS ARE TO CONSIST MAINLY OF SOIL SEDIMENT. POST CONSTRUCTION POLLUTANTS ARE ANTICIPATED TO CONSIST OF SOIL SEDIMENT AND VEHICLE BY PRODUCTS WASHED FROM ASPHALTIC PAVEMENTS.

CONSTRUCTION ACTIVITY

CONSTRUCTION ACTIVITY WILL CONSIST OF EARTHMOVING, AND THE CONSTRUCTION OF UNDERGROUND UTILITIES, BUILDINGS, ASPHALTIC PAVEMENTS, CONCRETE SIDEWALKS AND LANDSCAPING IMPROVEMENTS. ALL BUILDING MATERIALS ARE TO BE STORED ON-SITE WITHIN A SECURED FENCED AREA. NO INDUSTRIAL DISCHARGES ARE ANTICIPATED DURING CONSTRUCTION.

TEMPORARY EROSION CONTROL PLAN

THE TEMPORARY EROSION CONTROL MEASURES TO BE TAKEN FOR THIS PROJECT ARE AS FOLLOWS:

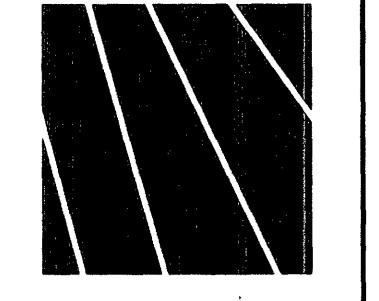
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO COMMENCING ANY EARTHWORK ACTIVITIES.
- A NOTICE OF INTENT (NOI) MUST BE FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY 48-HOURS PRIOR TO COMMENCING ANY EARTHWORK ACTIVITIES.
- THIS SWPPP MUST BE KEPT ON FILE AT THE CONSTRUCTION SITE AT ALL TIMES.
- SILT FENCING SHALL BE INSTALLED AT THE DOWNSTREAM CONSTRUCTION LIMITS AS SHOWN BY THE PLAN.
- THE ON-SITE DETENTION PONDS SHALL BE EXCAVATED TO THE DIMENSIONS AND ELEVATIONS INDICATED ON THE PLAN, AND SHALL BE UTILIZED FOR STORAGE OF EXCESS RUNOFF DURING CONSTRUCTION.
- ALL TEMPORARY EROSION CONTROLS SHALL BE PROPERLY MAINTAINED BY THE OPERATOR UNTIL FINAL SITE IMPROVEMENTS ARE COMPLETED.
- ALL DISTURBED AREAS SHALL BE LANDSCAPED AND RE-SEEDED PER THE PROJECT LANDSCAPING PLAN.

INSPECTION AND MAINTENANCE

INSPECTION AND MAINTENANCE OF THE PROTECTIVE CONTROLS THAT ARE A PART OF THIS PLAN SHALL BE PERFORMED AS FOLLOWS:

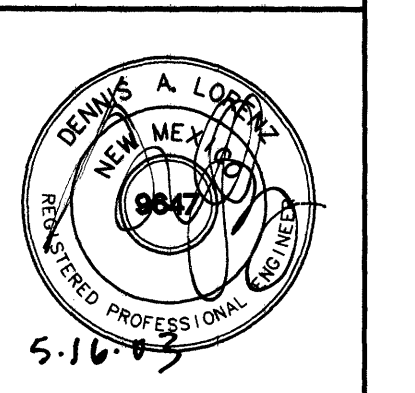
- IT IS THE RESPONSIBILITY OF THE OPERATOR TO PROVIDE TRAINED INSPECTORS AND TRAINING OF NEW INSPECTORS.
- THE EPA REQUIRES INSPECTION EVERY 14 DAYS OR WITHIN 24 HOURS OF A STORM OF 0.5 INCH OR GREATER.
- ALL DISTURBED AREAS OF THE SITE, AREAS FOR MATERIAL STORAGE, AND ALL OF THE EROSION AND SEDIMENT CONTROLS THAT WERE IDENTIFIED AS PART OF THE PLAN, SHOULD BE INSPECTED. CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE AREAS THEY PROTECT HAVE BEEN COMPLETELY STABILIZED AND THE CONSTRUCTION ACTIVITY IS COMPLETE.
- THE INSPECTOR SHOULD NOTE ANY DAMAGES OR DEFICIENCIES IN THE CONTROL MEASURES ON INSPECTION REPORT FORMS TO BE KEPT ON FILE AT THE CONSTRUCTION SITE.
- THE OPERATOR SHOULD CORRECT DAMAGE OR DEFICIENCIES AS SOON AS PRACTICABLE AFTER THE INSPECTION, AND ANY CHANGES THAT MAY BE REQUIRED TO CORRECT DEFICIENCIES IN THE SWPPP MUST BE MADE AS SOON AS PRACTICABLE AFTER THE INSPECTION.

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SOUTHWEST SELF STORAGE  
STORM WATER  
POLLUTION PREVENTION PLAN  
ALBUQUERQUE, NEW MEXICO  
BLI PROJECT 03511

REVISION DATE

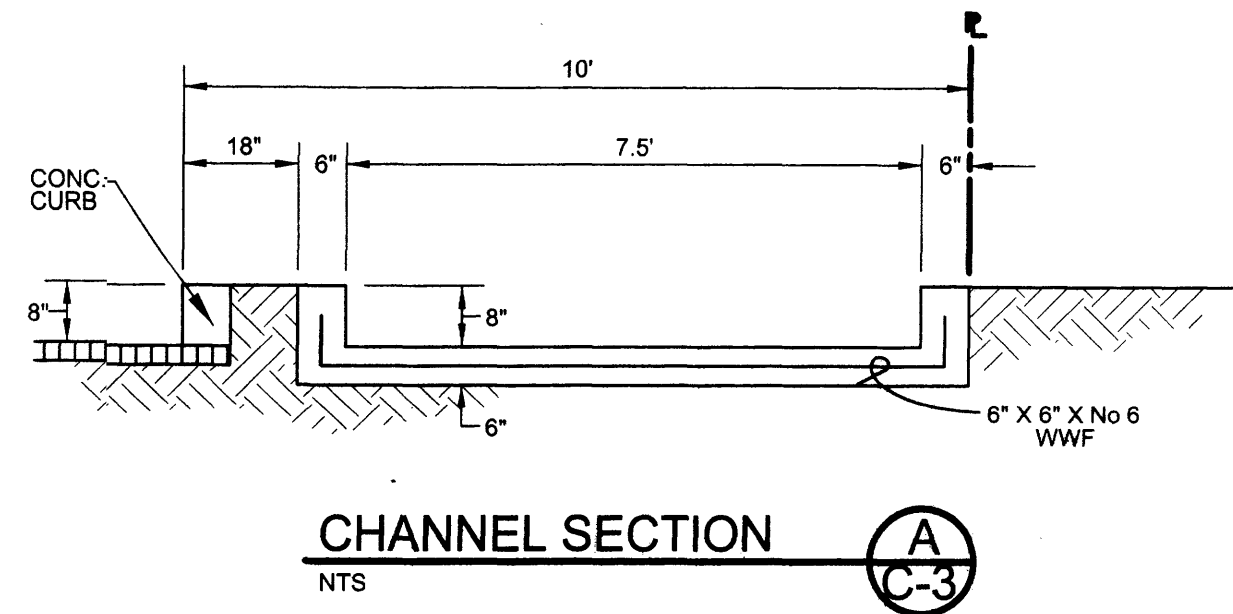


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(505)242-1859 Fax:(505)242-6830 rbennett@att.net

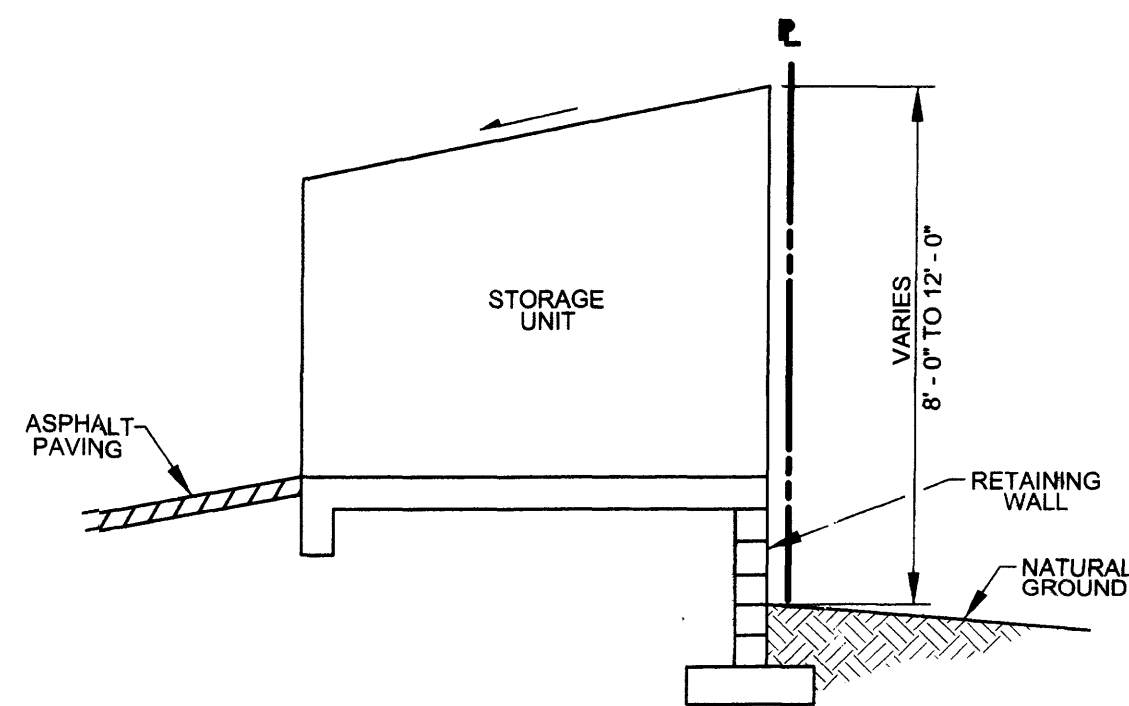
DATE  
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SHEET NUMBER

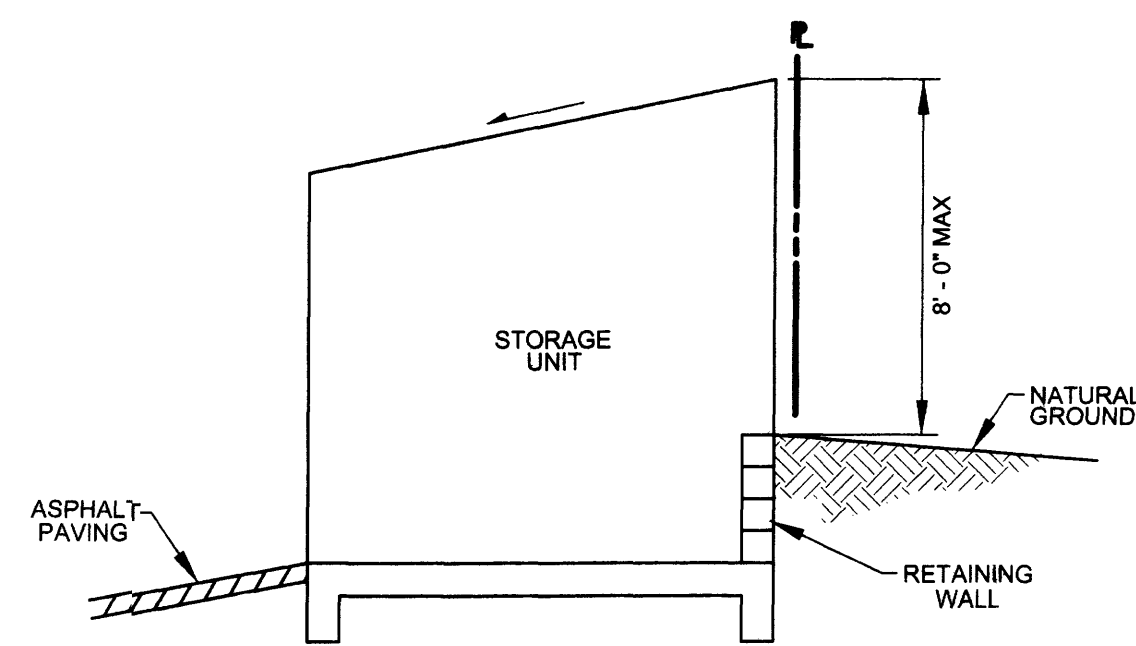
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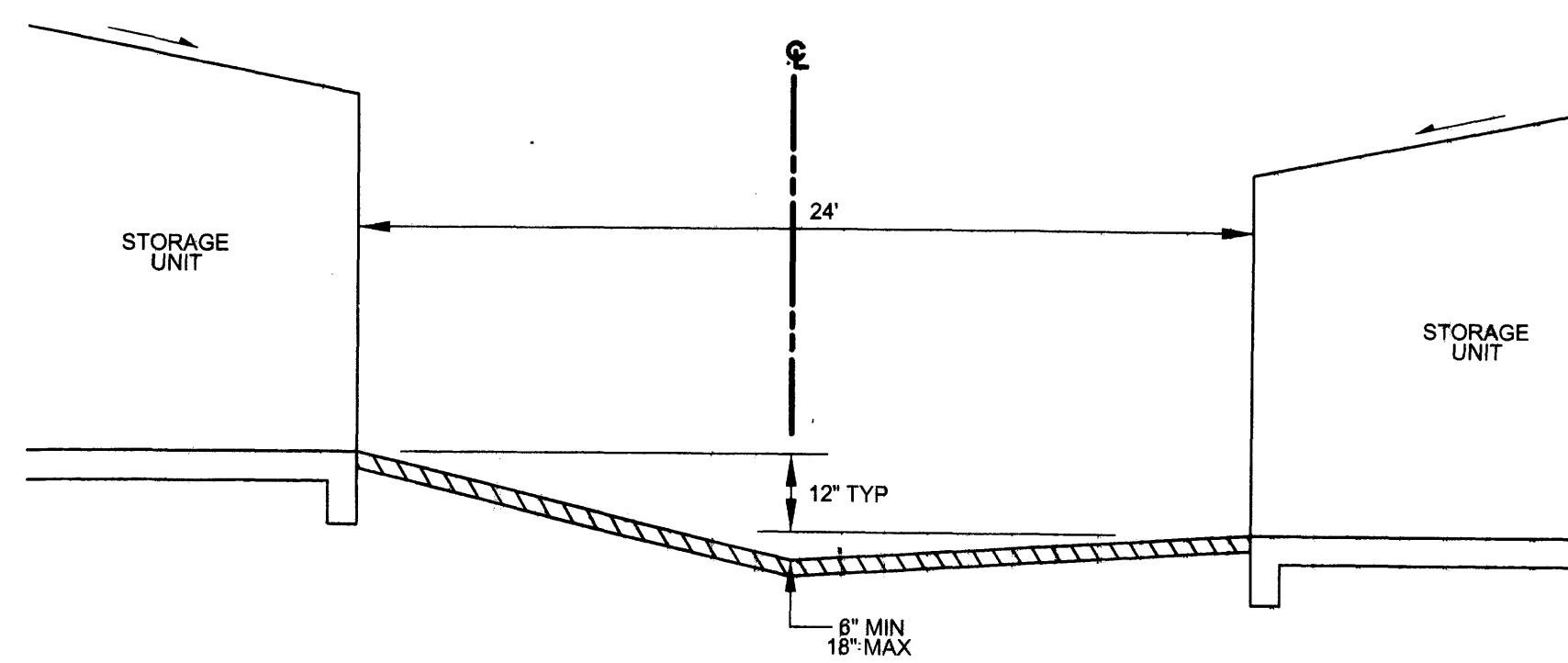
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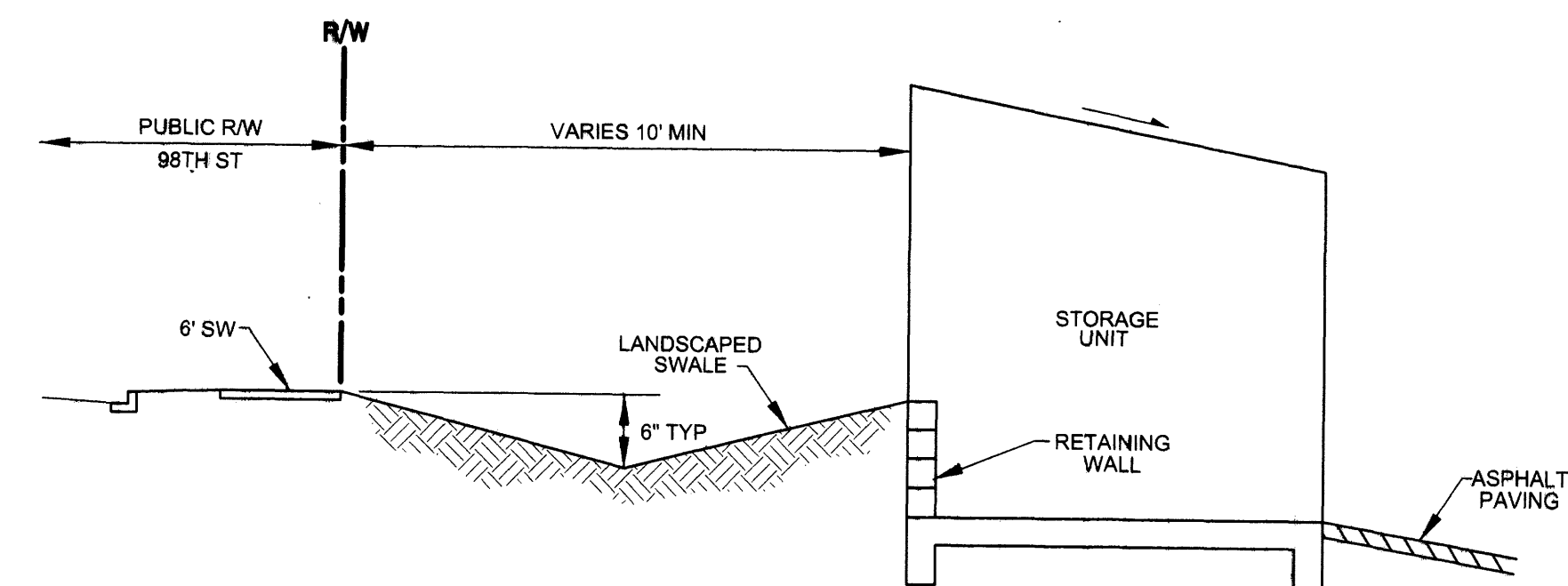
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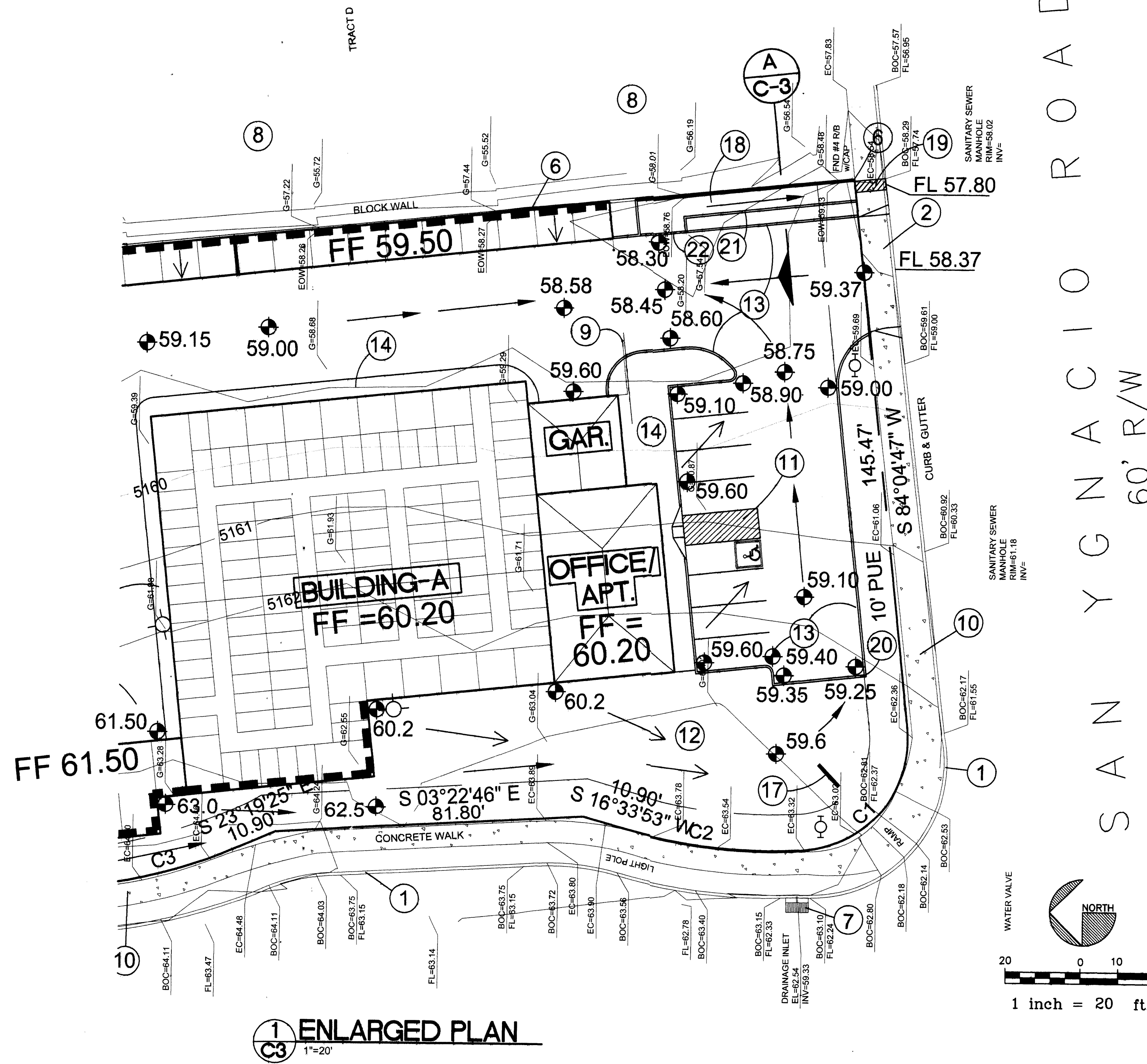
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SECTION  
NTS



SWALE SECTION  
NTS

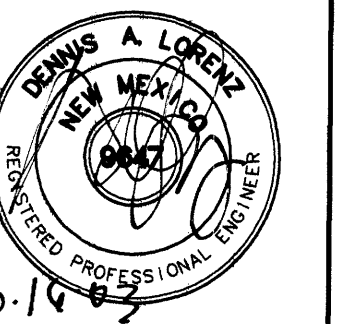


- LEGEND**
- 6001 — EXISTING CONTOUR ELEVATION
  - 02.5 x EXISTING SPOT ELEVATION
  - 01 — PROPOSED CONTOUR ELEVATION
  - — — — — PROPERTY LINE
  - 01.5 • PROPOSED SPOT ELEVATION
  - ← DIRECTION OF FLOW
  - — — — — DRAINAGE SWALE
  - ⊙ SITE LIGHT POLE
  - ⊕ EXISTING FIRE HYDRANT
  - ⊕ NEW FIRE HYDRANT
  - ■ ■ ■ ■ NEW RETAINING WALL

**BRASHER & LORENZ**  
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2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph: 505-888-6088 Fax: 505-888-6188

SOUTHWEST SELF STORAGE  
DETAIL PLAN  
ALBUQUERQUE, NEW MEXICO  
BLI PROJECT 03511

REVISION DATE



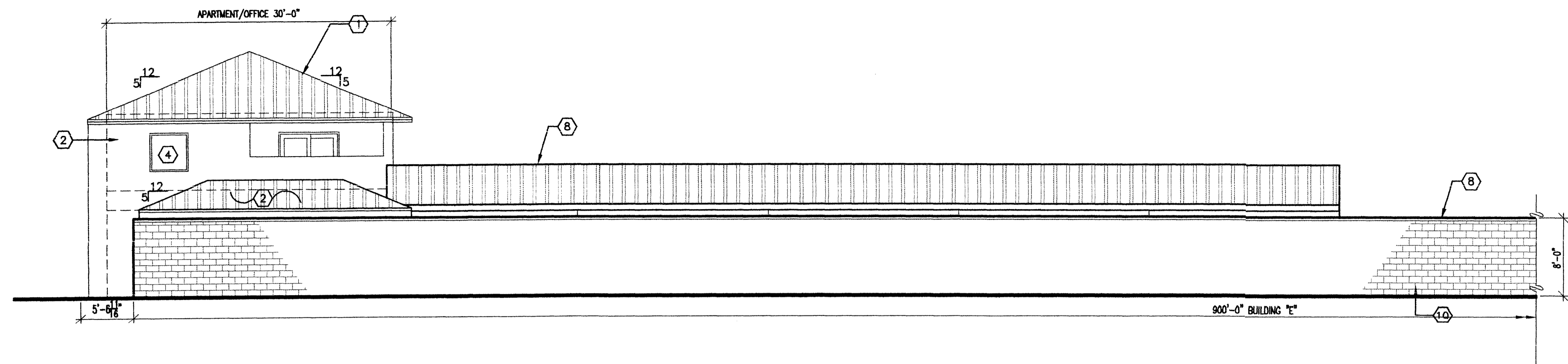
**rick bennett**  
ARCHITECTS  
1001 Park Avenue SW, Albuquerque, New Mexico 87102  
(505) 242-1859 Fax (505) 242-6630 rbarch@att.net

DATE  
05-16-2003

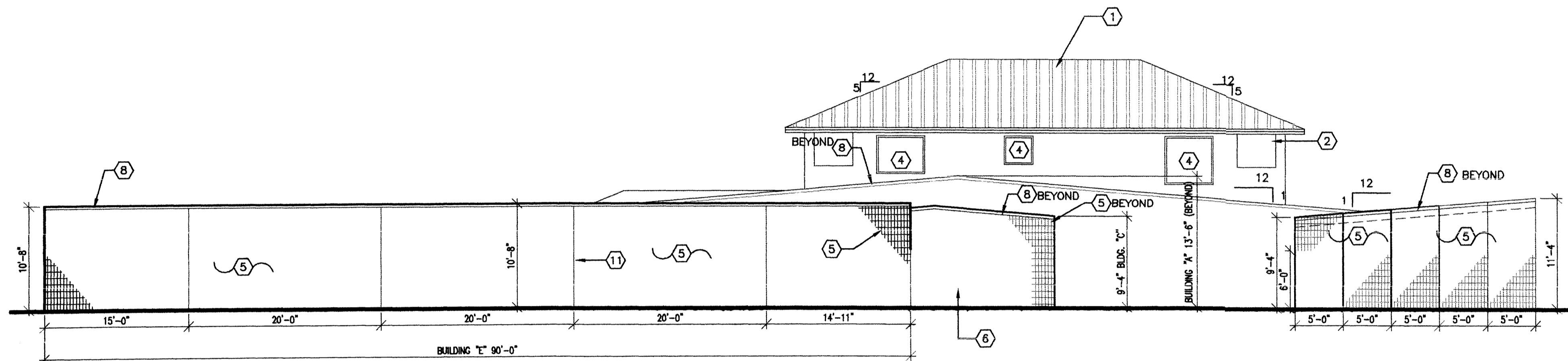
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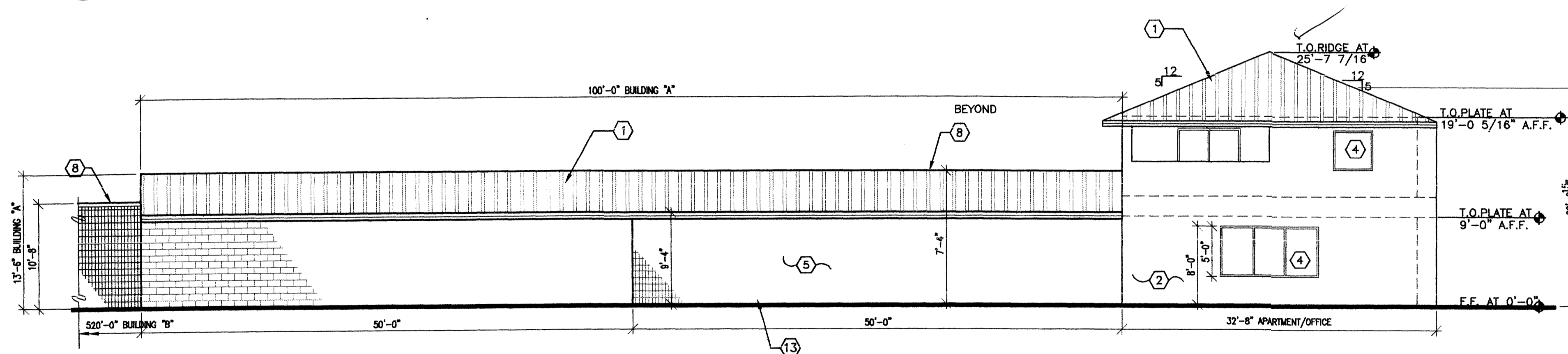




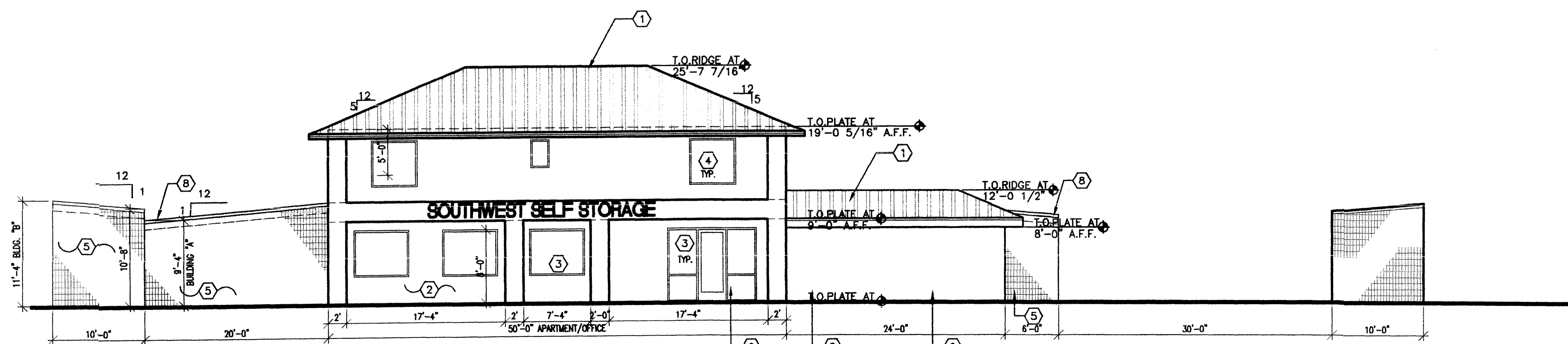
**4 EAST ELEVATION**  
 All 1/8"=1'-0"



**3 NORTH ELEVATION**  
 All 1/8"=1'-0"



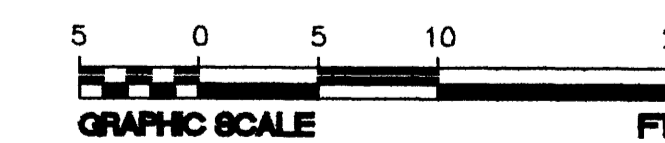
**2 WEST ELEVATION**  
 All 1/8"=1'-0"



**1 SOUTH ELEVATION**  
 All 1/8"=1'-0"

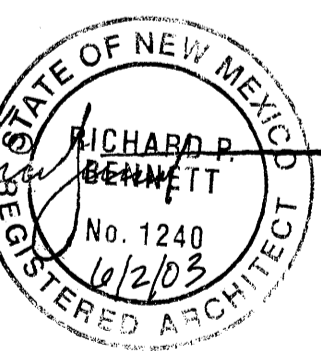
**KEYED NOTES**

1. METAL ROOF TYPICAL - TURQUOISE BLUE COLOR
2. STUCCO TYPICAL - TAN COLOR
3. OFFICE STOREFRONT - BLUE COLOR
4. APARTMENT WINDOWS - TAN COLOR
5. SPLIT-FACED CMU - RED SEDONA COLOR
6. 6' HIGH SPLIT-FACED CMU FENCE - RED SEDONA COLOR
7. WROUGHT-IRON GATES - RED SEDONA COLOR
8. METAL COPING CAP - RED SEDONA COLOR
9. APARTMENT GARAGE DOOR - TURQUOISE BLUE COLOR
10. SMOOTH FACED CMU - PAINT RED SEDONA COLOR
11. CONTROL JOINT TYPICAL
12. CMU PARAPET BEYOND - RED SEDONA COLOR
13. STORAGE OH. DOORS - TURQUOISE BLUE COLOR



SOUTHWEST SELF STORAGE  
 ENLARGED OFFICE BUILDING ELEVATIONS  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT #0308

REVISION DATE

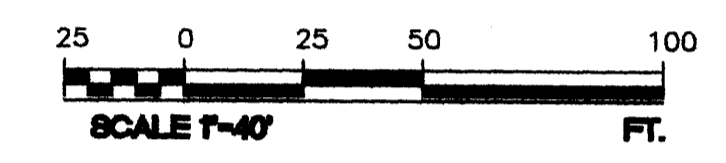
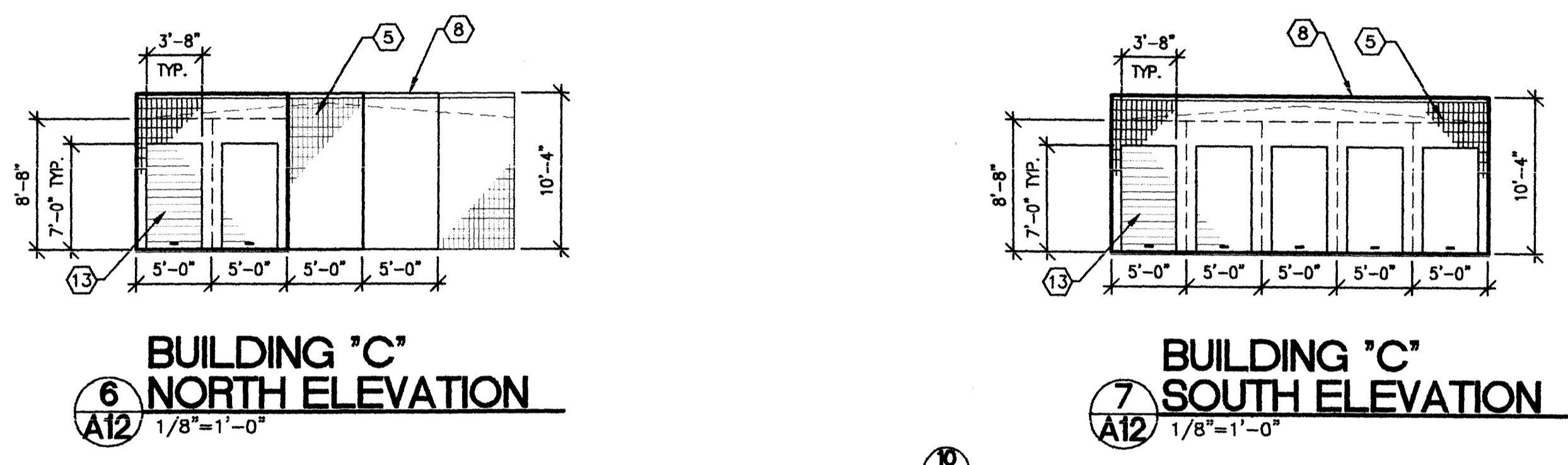
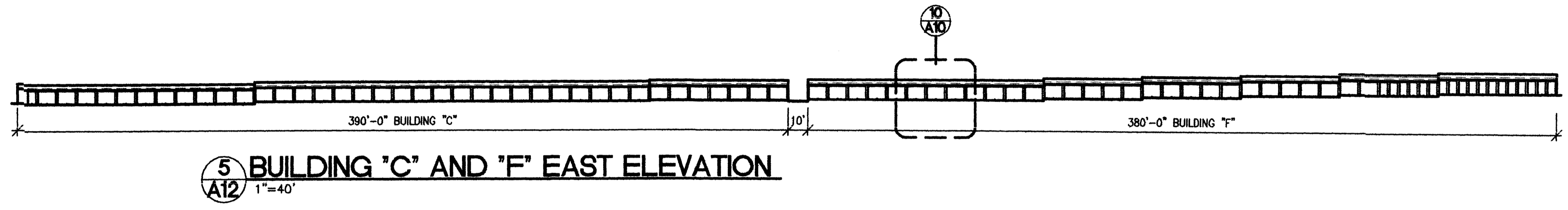
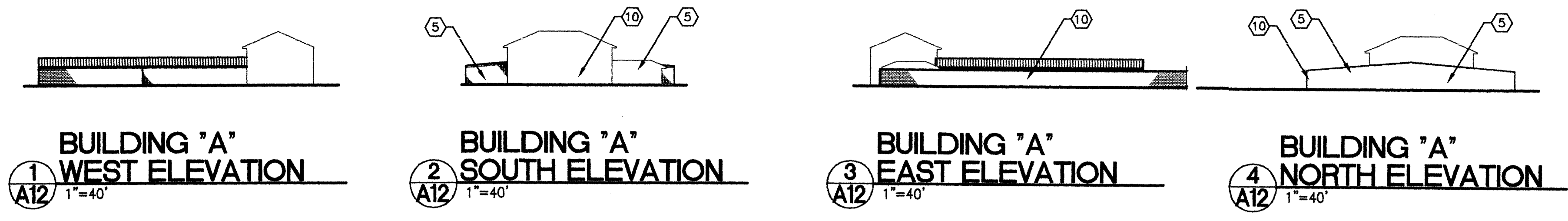


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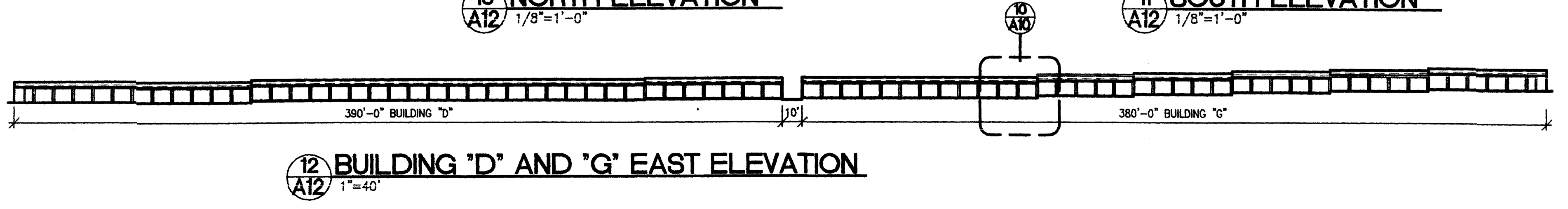
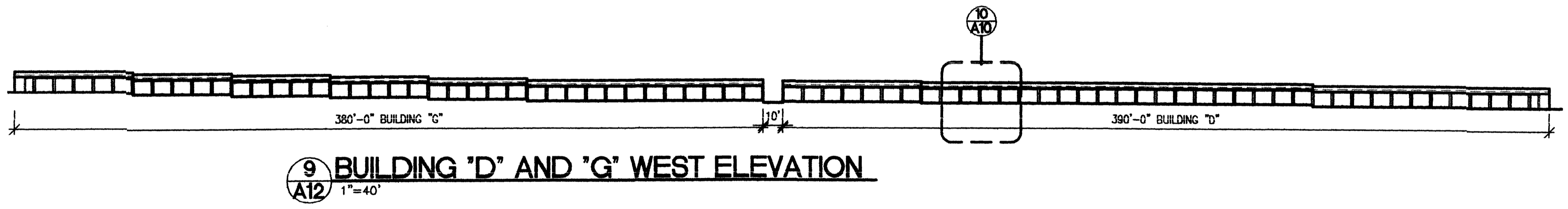
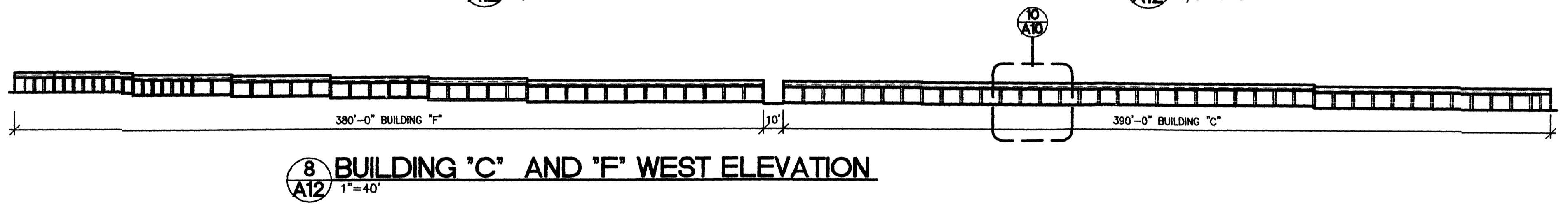
DATE  
 05-20-03

SHEET NUMBER

A-11



- KEYED NOTES**
1. METAL ROOF TYPICAL - TURQUOISE BLUE COLOR
  2. NOT USED
  3. NOT USED
  4. NOT USED
  5. SPLIT-FACED CMU - RED SEDONA COLOR
  6. 6' HIGH SPLIT-FACED CMU FENCE - RED SEDONA COLOR
  7. WROUGHT-IRON GATES - RED SEDONA COLOR
  8. METAL COPING CAP - RED SEDONA COLOR
  9. NOT USED
  10. SMOOTH FACED CMU - PAINT RED SEDONA COLOR
  11. CONTROL JOINT TYPICAL
  12. CMU PARAPET BEYOND - RED SEDONA COLOR
  13. STORAGE OH. DOORS - TURQUOISE BLUE COLOR



SOUTHWEST SELF STORAGE  
BUILDING ELEVATIONS  
ALBUQUERQUE, NEW MEXICO  
PROJECT #0809

REVISION DATE
DATE 05-20-03
SHEET NUMBER A-12