

REQUEST for AMENDMENT to SITE DEVELOPMENT PLAN

APPROVED by DRB CASE NO. Z-85-36-1
 DATED 05-21-1986 APPROVED 07-04-1986

- REQUESTED REVISIONS TO SITE PLAN:
 REVISION TO PARKING AREA
 REVISION TO BUILDING AREA

SITE DATA

ZONE ATLAS MAP NUMBER: E-17-Z
 SITE AREA: 341,664 SQUARE FEET, (APPROX.) 9 ACRES
 SITE AREA AFFECTED BY THIS A.A.: 131,043 SF, APPROX. 38.6% OF SITE
 PRESENT ZONING: C-3

BUILDING AREA:	APPROVED	ACTUAL FIRE OCCUPANT LOAD
RESTAURANT 'A' (OLIVE GARDEN) 9,000 SF	300 SEATS	342 SEATS
RESTAURANT 'B' (BENNIGAN'S) 9,000 SF	250 SEATS	240 SEATS
USED CAR DEALER 3,000 SF		
OFFICE BUILDING 12,500 SF		
TOTAL 31,500 SF		

PARKING REQUIRED:	PER CURRENT CODE
RESTAURANT 'A' (OLIVE GARDEN)	342 / 3 = 114
RESTAURANT 'B' (BENNIGAN'S)	240 / 3 = 80
USED CAR DEALER	3,000 SF / 200 = 15
OFFICE BUILDING	7,664 SF / 200 = 38
TOTAL PARKING REQUIRED	4,844 SF / 300 = 16

PARKING PROVIDED:	PER CURRENT CODE
RESTAURANT 'A' (OLIVE GARDEN)	131
RESTAURANT 'B' (BENNIGAN'S)	102
USED CAR DEALER: CUSTOMER & STAFF SPACES	27
VEHICLE DISPLAY SPACES	63
OFFICE BUILDING	355
TOTAL PARKINGS PROVIDED	684

TOTAL HANDICAP PARKING REQUIRED PER ZONE CODE	684 SPACES = 16
TOTAL HANDICAP PROVIDED	16
BICYCLE PARKING REQUIRED	684/20 = 34
BICYCLE PARKING PROVIDED	36

KEYED NOTES

- TYPICAL ISLAND CORNER RADIUS = 15'-0"
- NEW 6" CONCRETE STANDING CURB
- NEW CONCRETE SIDEWALK 6" WIDE
- NEW TEXTURED COLORED CONCRETE CROSSWALK TO MATCH EXISTING
- NEW COVERED DISPLAY AREA WITH PATTERNED CONCRETE DECK
- EXISTING TREES AND PLAZA AREA TO REMAIN
- HANDICAP RAMP PER CITY DPM STANDARDS
- CONCRETE VEHICLE RAMP
- EXISTING FIRE HYDRANT TO REMAIN
- NEW CONCRETE DRIVE CONNECTING TO EXISTING USED CAR DISPLAY AREA
- REUSE EXISTING PARKING LOT LIGHT FIXTURES OR PROVIDE NEW TO MATCH EXISTING
- ALIGN NEW PARKING ROWS WITH EXISTING
- EXISTING PARKING SPACES TO REMAIN
- BIKE RACK, SEE DETAIL A2 THIS SHEET AND SITE DATA FOR QUANTITY
- CAR DISPLAY USE ONLY
- NEW CONCRETE SIDEWALK 6" WIDE, COLOR TO MATCH EXISTING WALKWAY TO RESTAURANT (OLIVE GARDEN)

LEGEND

- PROPERTY LINE
 - WATER LINE, PROPOSED
 - WASTE LINE, PROPOSED
 - NEW CURB
 - EXISTING TO REMAIN
 - WATER LINE, EXISTING
 - WASTE LINE, EXISTING
 - EXISTING TO BE REMOVED
17. IDENTIFY COMPACT PARKING SPACE WITH PAINTED TEXT "COMPACT"
 18. CONCRETE PERKINS SURFACE TYPICAL
 NEW PLANS CHECKED BY: 924-3311
 APPROVED/REAPPROVED HYDRANTS ONLY 11/9/05
 SIGNATURE & DATE

PROJECT NUMBER: 1002513
 APPLICATION NUMBER: EPC05-01390/05DRB-0171
 Site Development Plan Approval:

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED OCTOBER 20, 2005 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

<i>Roger A. Sheen</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	11-16-05 DATE
<i>Christina Sandoval</i> PARKS AND RECREATION DEPARTMENT	11-16-05 DATE
<i>Richard Dault</i> CITY ENGINEER	11-16-05 DATE
N/A ENVIRONMENTAL HEALTH DEPARTMENT (conditional) * if necessary	11-16-05 DATE
<i>Michael Holton</i> (existing service) SOLID WASTE MANAGEMENT	11/9/05 DATE
<i>Cudrew Garcia</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	11/9/05 DATE

architecture interiors planning engineering

Dekker Perich Sabatini

PROJECT # 1002513

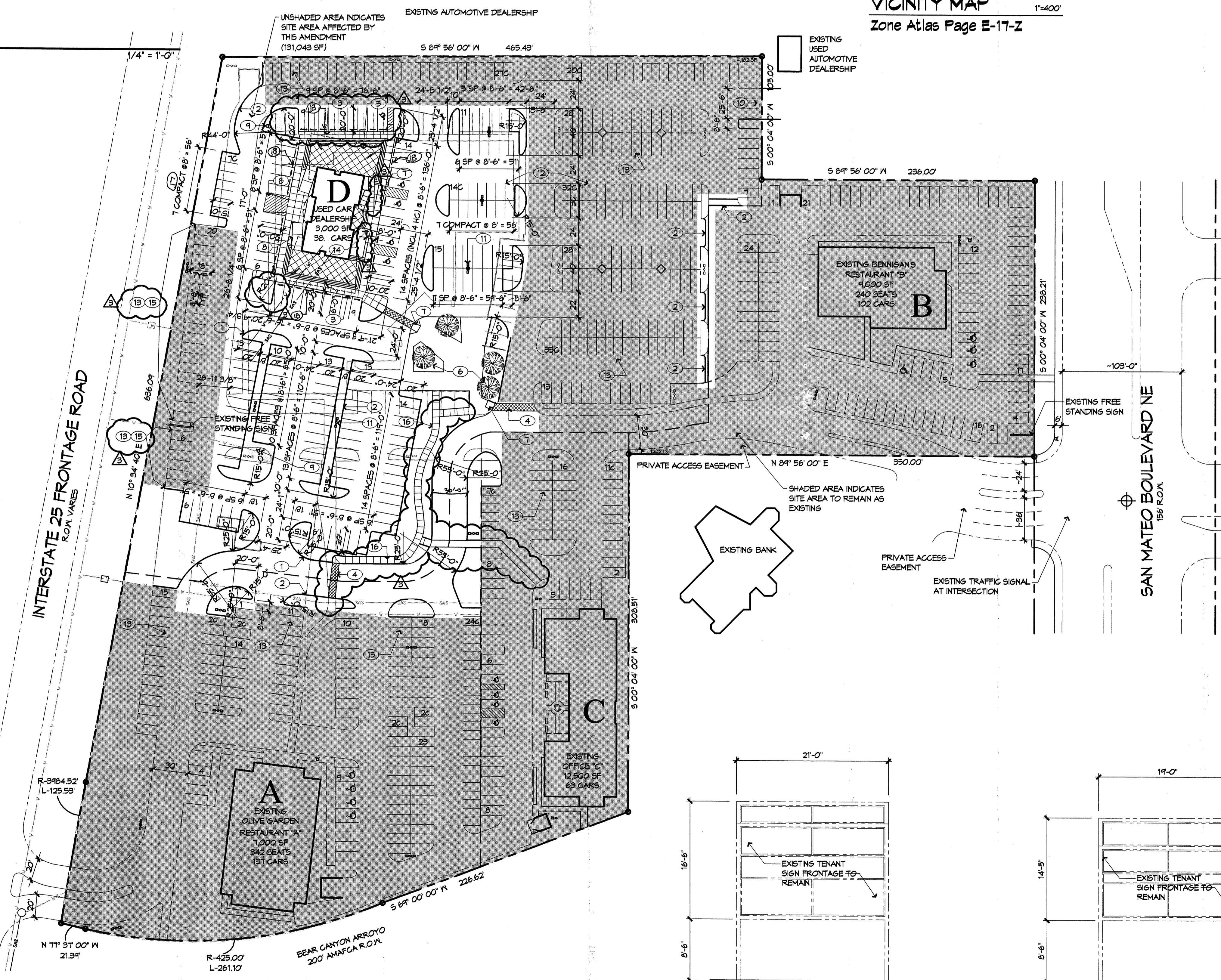
6801 Jefferson N
 Suite 100
 Albuquerque, NM 87109
 505 761-9700
 fax 761-4222
 dps@dpsabq.com

ARCHITECT
 ENGINEER

DRB SUBMITTAL PROJECT

Sandia Foundation Used Car Dealership
 San Mateo Boulevard NE
 Albuquerque, New Mexico

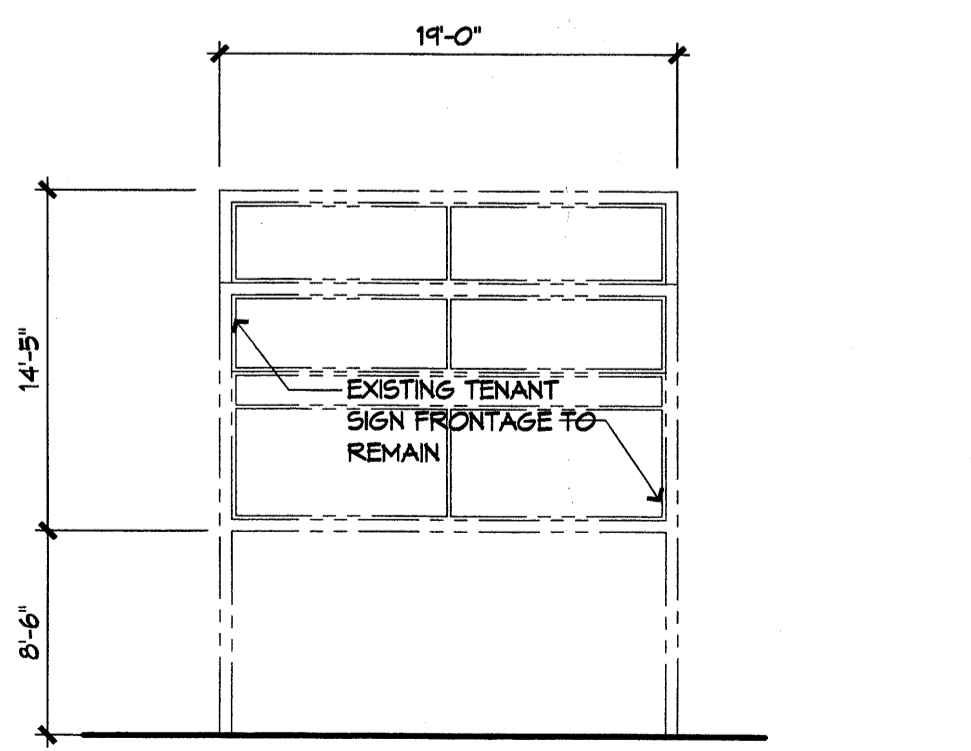
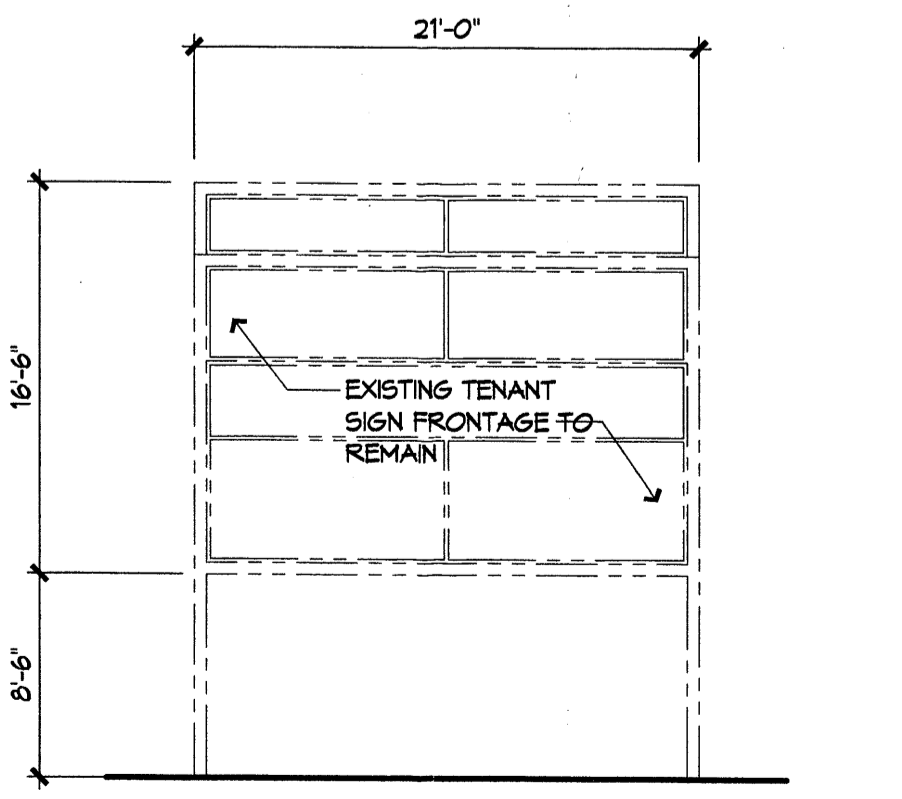
REVISIONS	11/2/05	EPC Conditions of Approval
△		
△		
△		
△		
DRAWN BY	KK, BC, CRG	
REVIEWED BY	CRG	
DATE	09/01/05	
PROJECT NO.	05095	
DRAWING NAME	AMENDMENT TO SITE DEVELOPMENT PLAN	
SHEET NO.	C-1(A)	



SITE DEVELOPMENT PLAN
 1" = 50'-0"

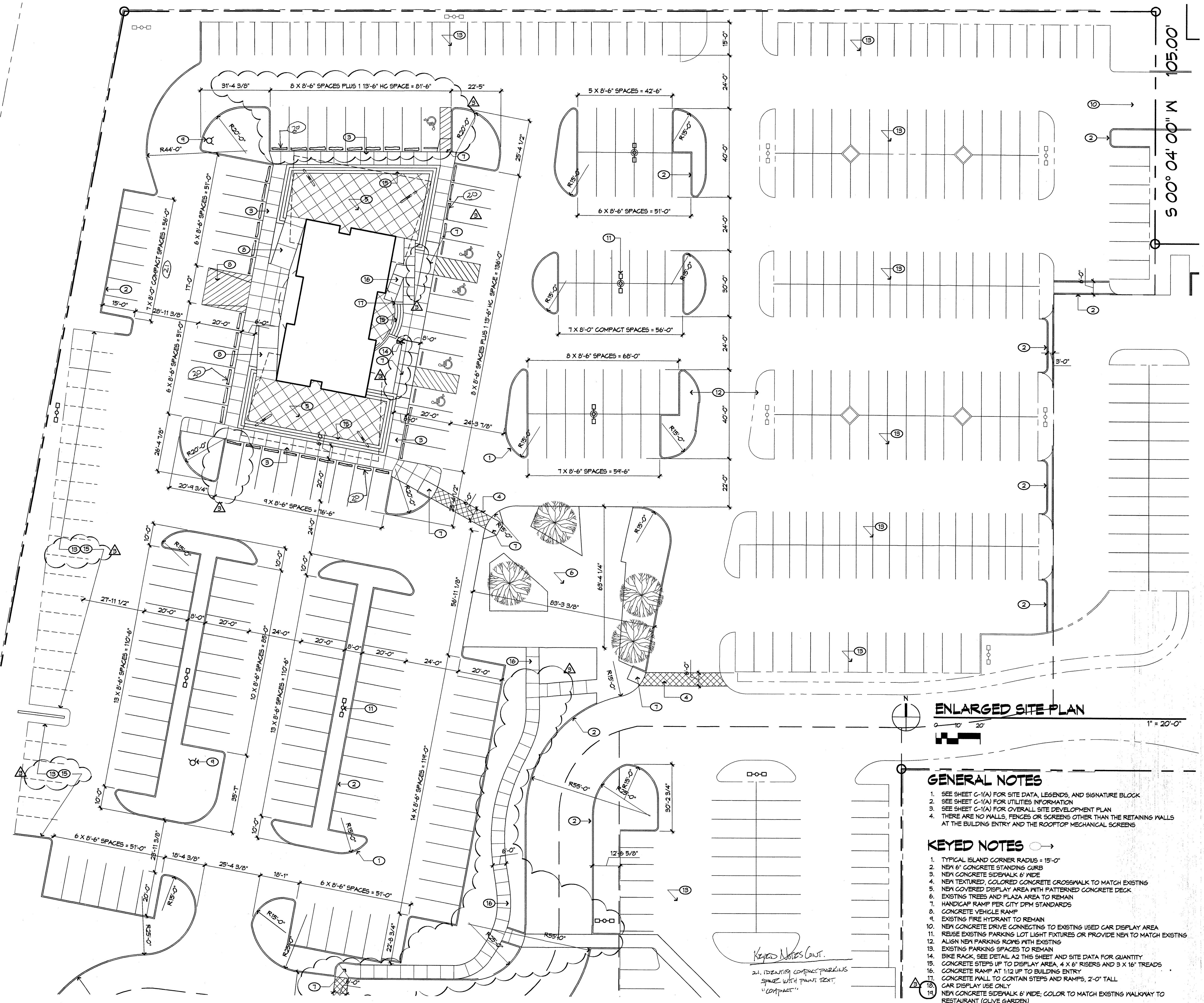
D3 SIGN ELEVATION
 FACING FRONTAGE ROAD
 1/8" = 1'-0"

D4 SIGN ELEVATION
 FACING SAN MATEO BLVD.
 1/8" = 1'-0"



STATE 25 FRONTAGE ROAD
R.O.W. VARIES

N 10° 34' 40" E
636.09'



ENLARGED SITE PLAN
1" = 20'-0"

GENERAL NOTES

- SEE SHEET C-1(A) FOR SITE DATA, LEGENDS, AND SIGNATURE BLOCK
- SEE SHEET C-1(A) FOR UTILITIES INFORMATION
- SEE SHEET C-1(A) FOR OVERALL SITE DEVELOPMENT PLAN
- THERE ARE NO WALLS, FENCES OR SCREENS OTHER THAN THE RETAINING WALLS AT THE BUILDING ENTRY AND THE ROOFTOP MECHANICAL SCREENS

KEYED NOTES

- TYPICAL ISLAND CORNER RADIUS = 15'-0"
- NEW 6" CONCRETE STANDING CURB
- NEW CONCRETE SIDEWALK 6" WIDE
- NEW TEXTURED, COLORED CONCRETE CROSSWALK TO MATCH EXISTING
- NEW COVERED DISPLAY AREA WITH PATTERNED CONCRETE DECK
- EXISTING TREES AND PLAZA AREA TO REMAIN
- HANDICAP RAMP PER CITY DPM STANDARDS
- CONCRETE VEHICLE RAMP
- EXISTING FIRE HYDRANT TO REMAIN
- NEW CONCRETE DRIVE CONNECTING TO EXISTING USED CAR DISPLAY AREA
- RELIEF EXISTING PARKING LOT LIGHT FIXTURES OR PROVIDE NEW TO MATCH EXISTING
- ALIGN NEW PARKING ROWS WITH EXISTING
- EXISTING PARKING SPACES TO REMAIN
- BIKE RACK, SEE DETAIL A2 THIS SHEET AND SITE DATA FOR QUANTITY
- CONCRETE STEPS UP TO DISPLAY AREA, 4 X 6" RISERS AND 3 X 16" TREADS
- CONCRETE RAMP AT 1:12 UP TO BUILDING ENTRY
- CONCRETE WALL TO CONTAIN STEPS AND RAMP, 2'-0" TALL
- CAR DISPLAY USE ONLY
- NEW CONCRETE SIDEWALK 6" WIDE, COLOR TO MATCH EXISTING WALKWAY TO RESTAURANT (OLIVE GARDEN)
- CONCRETE PARKING BUMPER TYP.

KEYED NOTES CONT.
21. IDENTIFY COMPACT PARKING SPACES WITH PAINT TEXT "COMPACT"

architecture
interiors
planning
engineering

**Dekker
Perich
Sabatini**

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ARCHITECT

ENGINEER

DRB
SUBMITTAL

PROJECT

**Sandia Foundation
Used Car Dealership**
San Mateo Boulevard NE
Albuquerque, New Mexico

REVISIONS

1	11/2/05	EPC Conditions of Approval
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DRAWN BY: **KK, EC, CRG**

REVIEWED BY: **CRG**

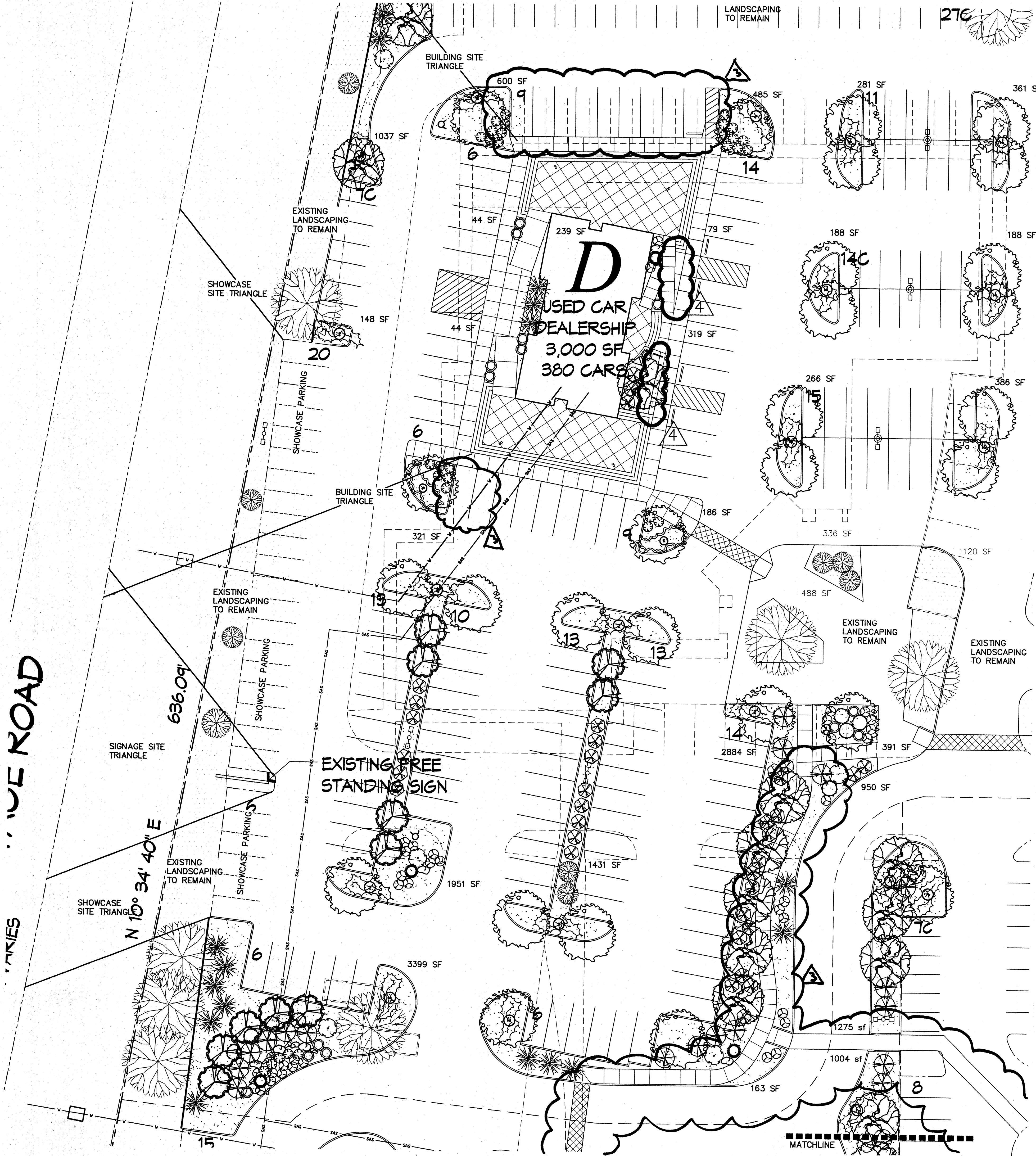
DATE: **09/01/05**

PROJECT NO.: **0504B**

DRAWING NAME:

ENLARGED SITE PLAN

SHEET NO. **C101**



LANDSCAPING TO REMAIN

276

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
New irrigation to be tied in to existing system. The existing system is assumed operable, if not a Time and Material basis shall apply.

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

PLANT LEGEND

- EXISTING TREE
- SYCAMORE (M) 28
Platanus spp.
2" Cal.
- REDBUD (M) 13
Cercis spp.
2" Cal.
- PURPLE-LEAF PLUM (M) 11
Prunus spp.
1 1/2" Cal.
- MUGO PINE (M) 4
Pinus mugo
5 Gal.
- PAMPAS GRASS (M) 19
Hesperaloe parviflora
5 Gal. 9sf
- RED TIP PHOTINIA (M) 18
Photinia
5 Gal. 100sf
- BUTTERFLY BUSH (M) 11
Buddleia davidii
5 Gal. 100sf
- NANDINA (M) 9
Nandina domestica
5 Gal. 25sf
- INDIAN HAWTHORN (M) 35
Raphiolepis indica
5 Gal. 36sf
- ROSEMARY (M) 15
Rosmarinus officinalis
2 Gal. 9sf
- LAVENDER (M) 31
Lavandula angustifolia
1 Gal. 9sf
- WILDFLOWER 35
1 Gal. 4sf
- TAM JUNIPER (M) 40
Juniperus sabinia
5 Gal. 200sf
Symbol indicates 2 plants
- GREYLEAF COTONEASTER (M) 6
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- BOULDERS 14
- 6"x6" MOWCURB
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- EXISTING LANDSCAPING TO REMAIN

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	399813	square feet
TOTAL NEW BUILDINGS AREA	2848	square feet
TOTAL EXISTING BUILDINGS AREA	24852	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	372113	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	55816	square feet
TOTAL NEW BED PROVIDED	18620	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	14003	square feet
TOTAL GROUNDCOVER PROVIDED	15883	square feet
TOTAL NEW SOD AREA	0	square feet
TOTAL EXISTING LANDSCAPE AREA	58300	square feet
TOTAL LANDSCAPE PROVIDED	75091	square feet

interiors
planning
engineering

**Dekker
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ARCHITECT

ENGINEER

**EPC
SUBMITTAL**

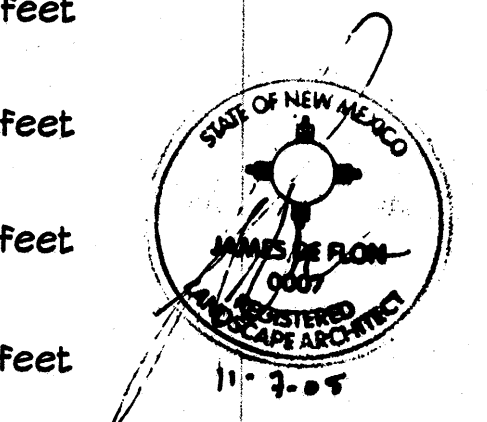
PROJECT

*Sandia Foundation
Used Car Dealership
San Mateo Boulevard NE
Albuquerque, New Mexico*

REVISIONS

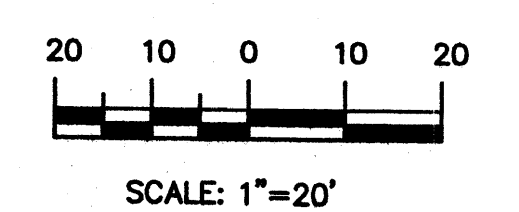
△	9-8-05	per comments
△	11-2-05	new site plan
△	11-7-05	site plan revision
△		

DRAWN BY: drr
REVIEWED BY: cj
DATE: 04/01/05
PROJECT NO.: 05045
DRAWING NAME:



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com

GRAPHIC SCALE

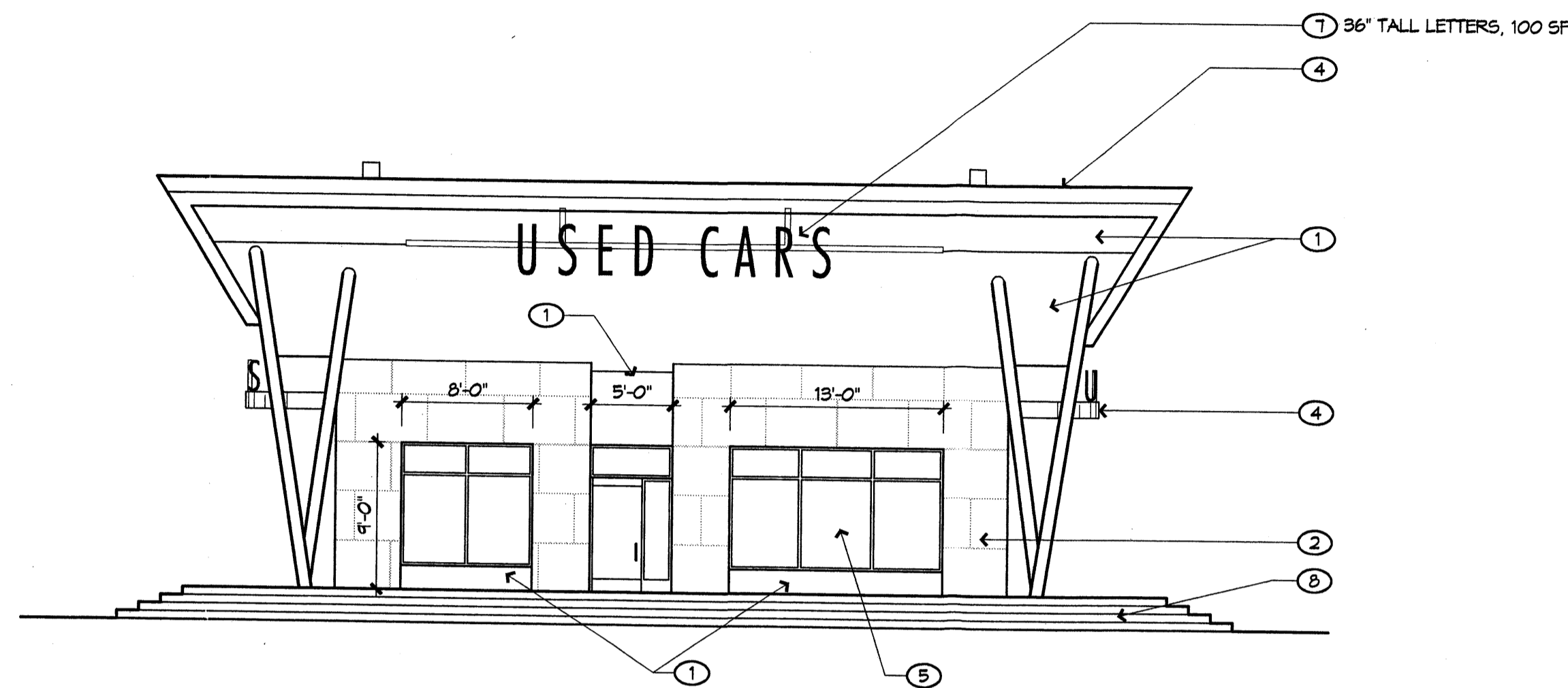


SHEET NO.

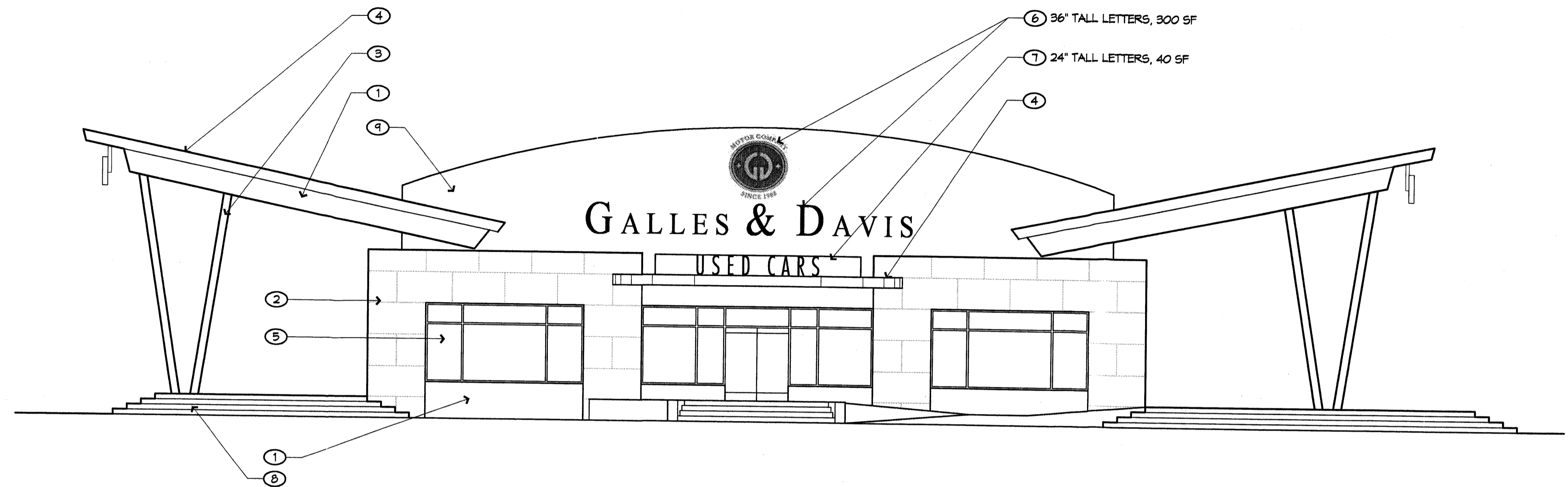
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

KEYED NOTES ○ →

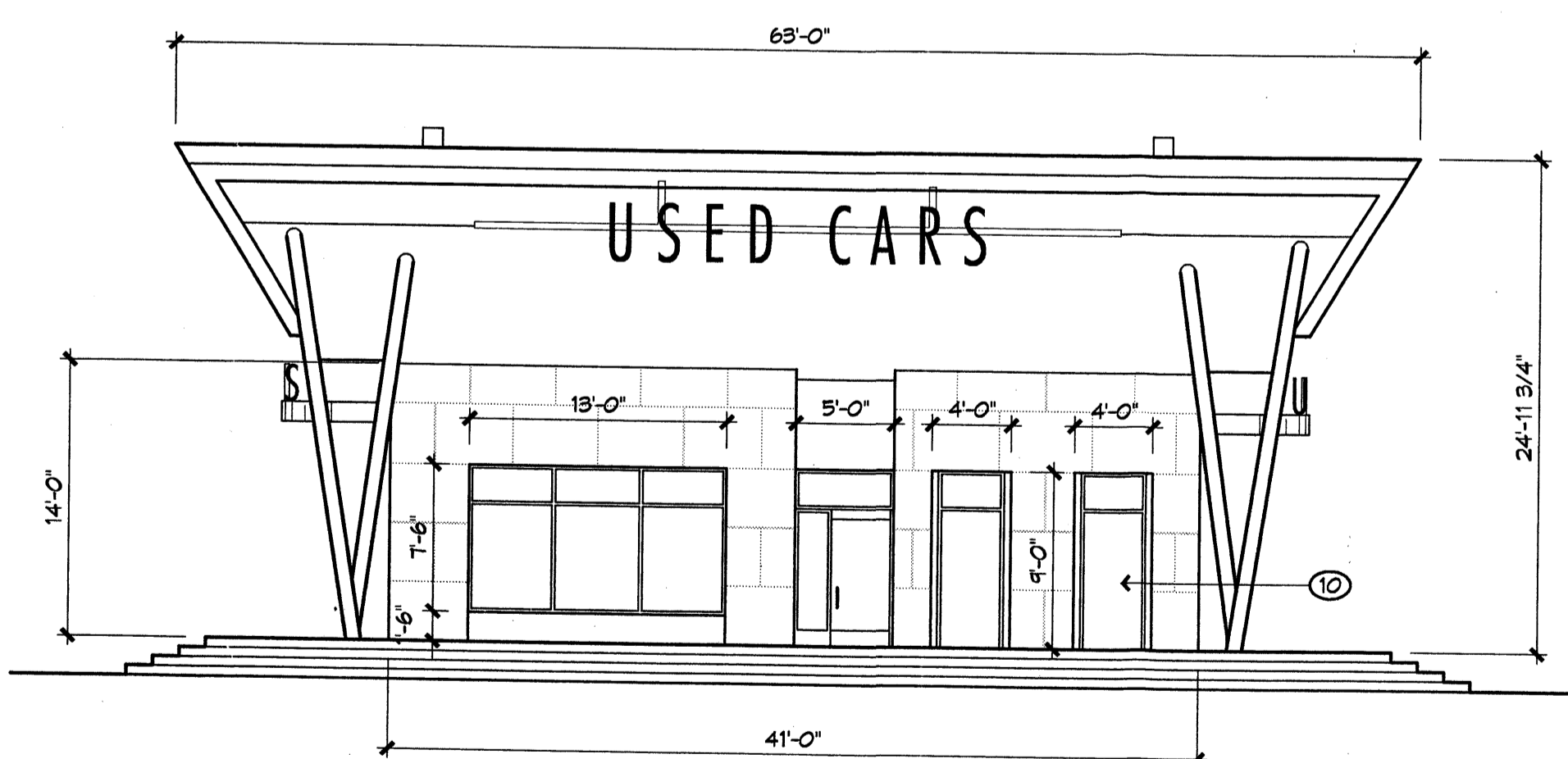
1. STUCCO COLOR 1: OFF-WHITE
2. STUCCO COLOR 2: CREAM LIMESTONE
3. STEEL PIPE COLUMNS: WHITE
4. METAL TRIM: WHITE
5. ALUMINUM STOREFRONT: WHITE WITH CLEAR GLASS
6. DEALER LOGO AND NAME PAINTED ON STUCCO AND LIT WITH ROOF MOUNTED LIGHTS. LOGO = 5' DIA, LETTERS = 36" TALL
7. ALUMINUM CHANNEL LETTERS, OPEN WITH EXPOSED COLORED NEON; LUMINANCE OF NEON SIGNAGE WILL NOT EXCEED 920 FOOTLAMBERTS.
8. CONCRETE STEPS AND RAMP
9. MECHANICAL SCREEN, STUCCO COLOR 1
10. HOLLOW METAL DOORS, PAINTED WHITE



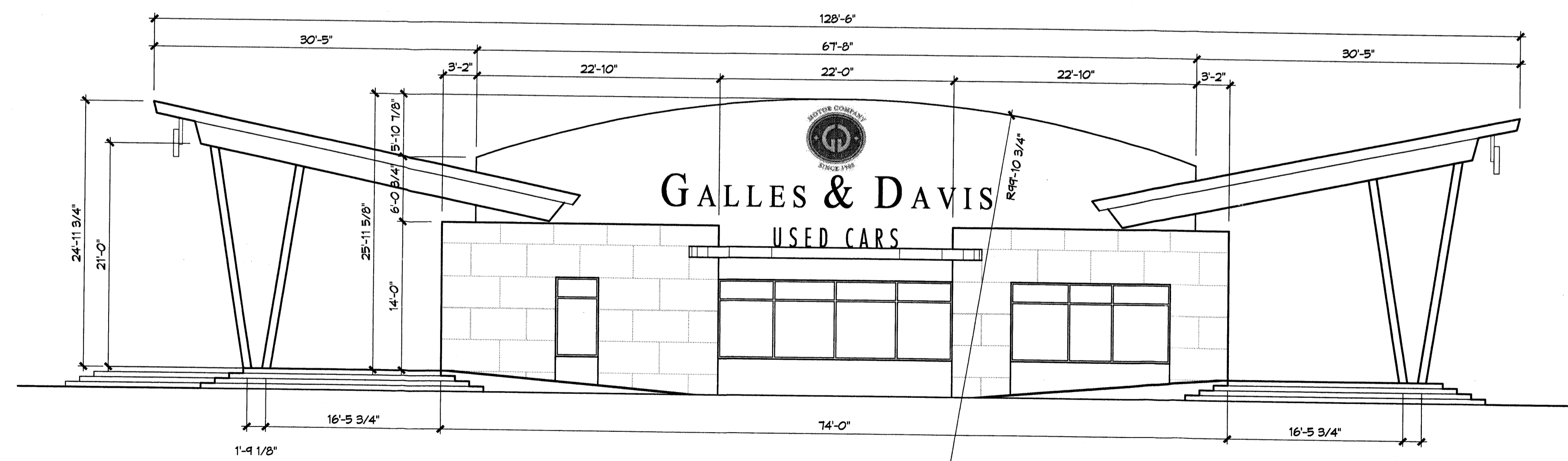
South Elevation
DIMENSIONS SIM. TO NORTH ELEVATION 1/8" = 1'-0"



East Elevation
DIMENSIONS SIM. TO WEST ELEVATION 1/8" = 1'-0"



North Elevation
NOTES SIM. TO SOUTH ELEVATION 1/8" = 1'-0"



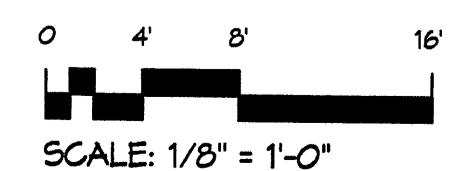
West Elevation
NOTES SIM. TO EAST ELEVATION 1/8" = 1'-0"

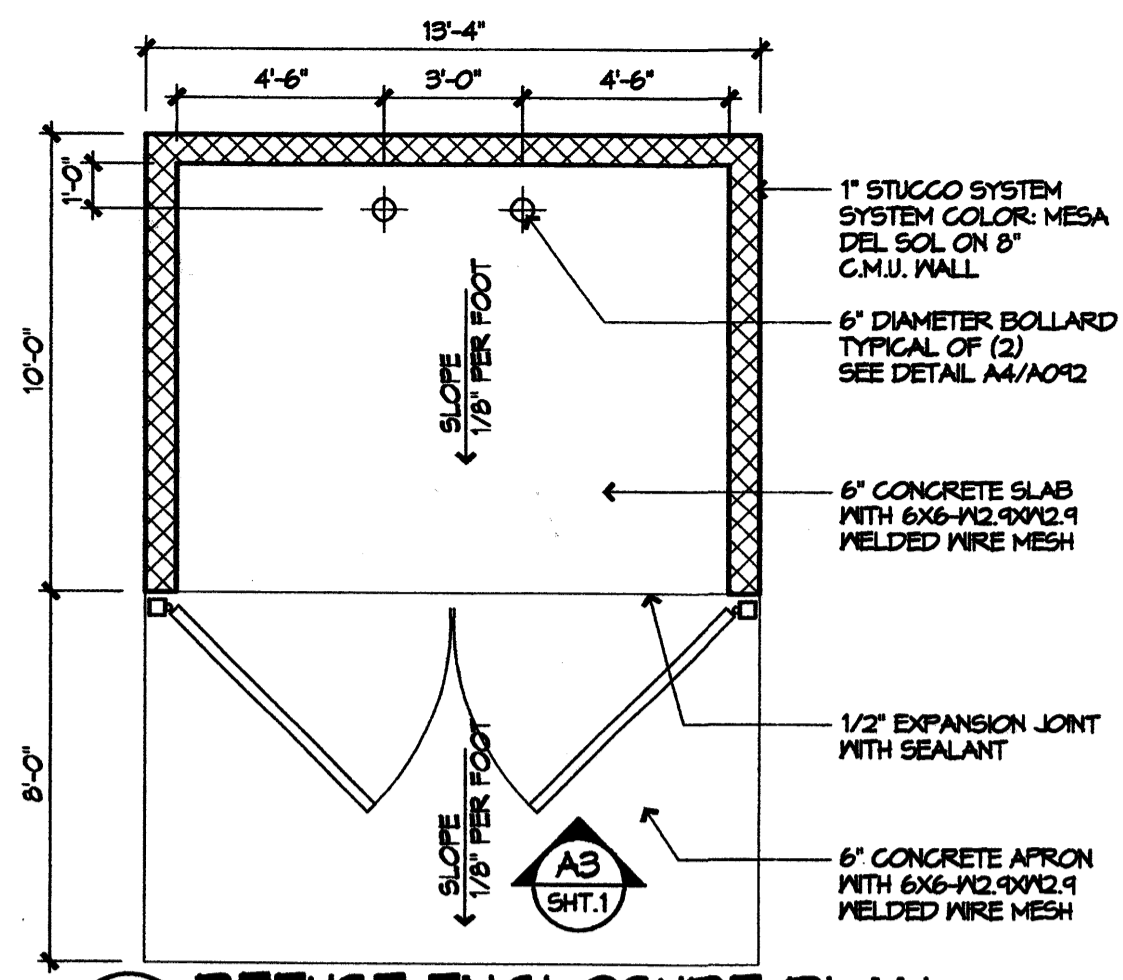
**Sandia Foundation
Used Car Dealership
San Mateo Boulevard NE
Albuquerque, New Mexico**

REVISIONS	
△	11/2/05 EPC Conditions of Approval
△	
△	
△	

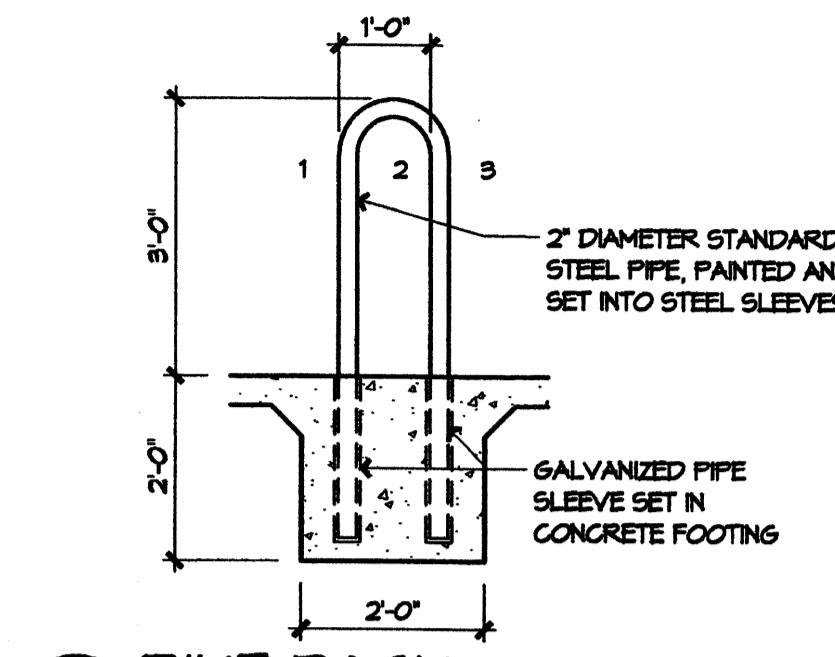
DRAWN BY	KK, EC, CRG
REVIEWED BY	CRG
DATE	09/01/05
PROJECT NO.	05045
DRAWING NAME	

ELEVATIONS

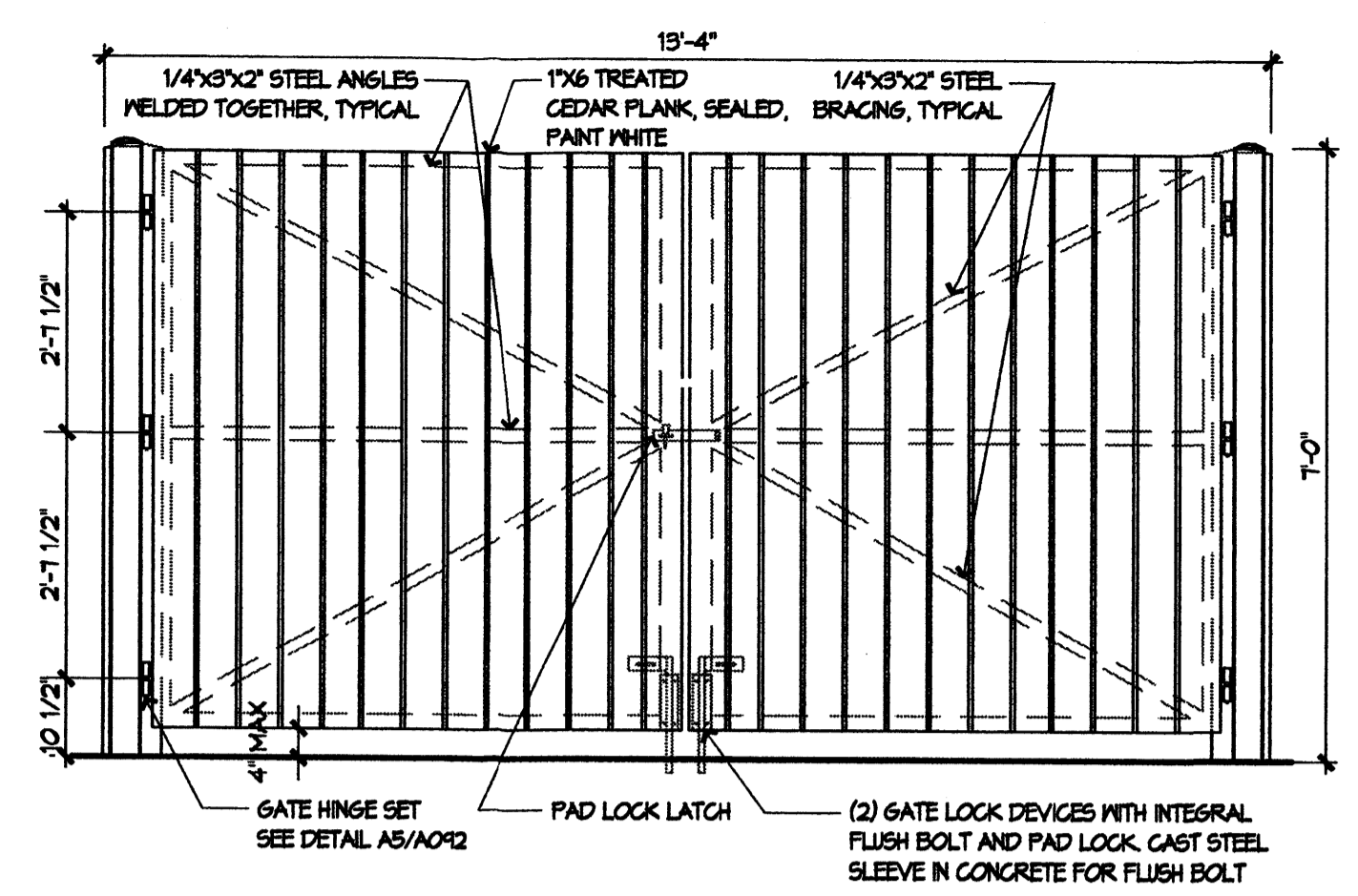




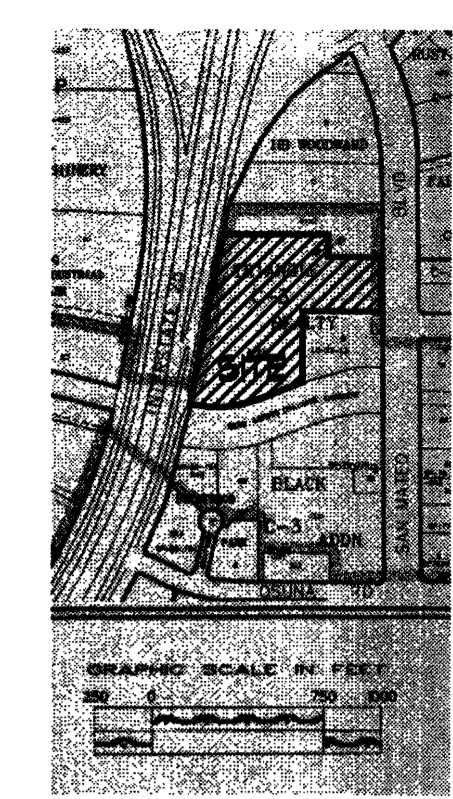
A1 REFUSE ENCLOSURE PLAN
 EPC COND. #11
 1/4" = 1'-0"



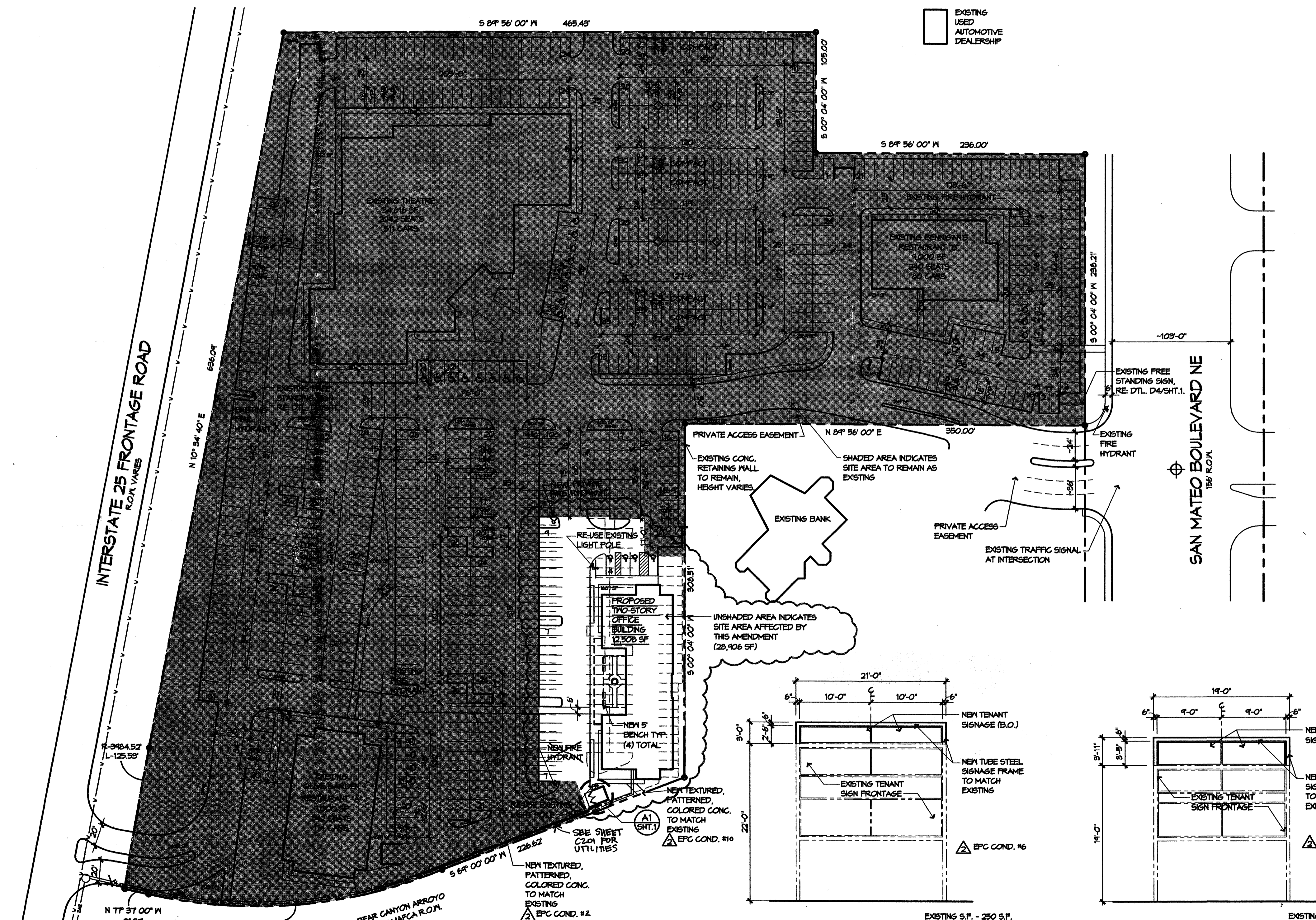
A2 BIKE RACK
 EXISTING AUTOMOTIVE DEALERSHIP
 1/2" = 1'-0"



A3 TRASH ENCLOSURE ELEVATION
 EPC COND. #11
 1/2" = 1'-0"



VICINITY MAP
 Zone Atlas Page E-17-Z
 1" = 400'



SITE DEVELOPMENT PLAN
 1" = 50'

D3 SIGN ELEVATION
 FACING FRONTAGE ROAD
 1/8" = 1'-0"

D4 SIGN ELEVATION
 FACING SAN MATEO BLVD.
 1/8" = 1'-0"

REQUEST for AMENDMENT to SITE DEVELOPMENT PLAN

APPROVED by
DRB CASE NO. Z-85-36-1
 DATED 05-21-1986 APPROVED 07-04-1986

REQUESTED REVISIONS TO SITE PLAN:
 REVISION TO PARKING AREA
 REVISION TO BUILDING AREA

SITE DATA

ZONE ATLAS MAP NUMBER: E-17-Z
 SITE AREA: 391,664 SQUARE FEET, (APPROX.) 9 ACRES
 SITE AREA AFFECTED BY THIS AA: 28,906 SF, APPROX. 7.4% OF SITE
 PRESENT ZONING: C-3

BUILDING AREA:	APPROVED	ACTUAL/FIRE OCCUPANT LOAD
RESTAURANT 'A' (OLIVE GARDEN)	9,000 SF	300 SEATS
RESTAURANT 'B' (BENNIS')	1,000 SF	240 SEATS
THEATRE	34,616 SF	2,042 SEATS
OFFICE BUILDING	12,508 SF	

PARKING REQUIRED:	PER CURRENT CODE
RESTAURANT 'A' (OLIVE GARDEN)	300 / 4 = 75
RESTAURANT 'B' (BENNIS')	250 / 4 = 63
THEATRE	2,116 / 4 = 529
OFFICE BUILDING	
TRANSIT PARKING REDUCTION OF 10%	
TOTAL PARKING REQUIRED	667

PARKING SUPPLIED:	PER CURRENT CODE
COMPACT	217
FULL SIZE & HANDICAP	556
TOTAL PARKING SUPPLIED	773
HANDICAP PARKING REQUIRED	
RESTAURANT 'A' (OLIVE GARDEN)	2% OF 75 = 2
RESTAURANT 'B' (BENNIS')	2% OF 63 = 2
THEATRE	2% OF 529 = 11
TOTAL HANDICAP PARKING REQUIRED	15
TOTAL HANDICAP PROVIDED	24
BICYCLE PARKING REQUIRED	47
BICYCLE PARKING PROVIDED	47

LANDSCAPING:
 332,536 SF X 15% = 49,880 SF
 AS-BUILT CALC. = 64,891 SF
 LANDSCAPING SUPPLIED: (INCLUDES PROPOSED)

LEGEND

---	PROPERTY LINE
- - -	WATER LINE, PROPOSED
---	WASTE LINE, PROPOSED

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
R.C. Smith 5-5-03
 SIGNATURE & DATE

PROJECT NUMBER: 1002513
 APPLICATION NUMBER: 03EPC000318
 DRB Site Development Plan Approval:

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE SPECIFIC MASTER DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON APRIL 17, 2003, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

Phil Dora 5-11-03
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

Christine Sandora 5/14/03
 PARKS & RECREATION DEPARTMENT DATE

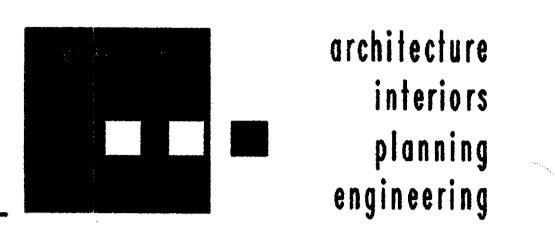
Roger A. Green 5/27/03
 UTILITIES DEVELOPMENT DATE

Brenda L. Bigham 5/14/03
 CITY ENGINEER DATE

Michael Holton 5-5-03
 SOLID WASTE, will comply w/ 004 Specs DATE

ENVIRONMENTAL HEALTH DEPARTMENT
 (approval and conditional acceptance if necessary, as specified by the Development Process Manual) DATE

Sharon Matson 5/14/03
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE



Dekker Perich Sabatini

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ARCHITECT
 ENGINEER
DRB SUBMITTAL
 PROJECT

Sandia Foundation Office Building
 San Mateo Boulevard NE
 Albuquerque, New Mexico

REVISIONS
 03/05/03
 05/05/03 EPC CONDITIONS
 DRAWN BY: KK, MF, MB
 REVIEWED BY: CRG
 DATE: 05/05/03
 PROJECT NO.: 08007
 DRAWING NAME: AMENDMENT to SITE DEVELOPMENT PLAN

SHEET NO.: **C-1(A)**