

**REQUEST for AMENDMENT to
SITE DEVELOPMENT PLAN**

**APPROVED by
DRB CASE NO. Z-85-36-1**
DATED 05-21-1986 APPROVED 07-04-1986

REQUESTED REVISIONS TO SITE PLAN:
△ REVISION TO PARKING AREA
△ REVISION TO BUILDING AREA

SITE DATA

ZONE ATLAS MAP NUMBER: E-11-Z
SITE AREA: 391,664 SQUARE FEET, (APPROX.) 9 ACRES
SITE AREA AFFECTED BY THIS AA: 131,043 SF, APPROX. 33.6% OF SITE
PRESENT ZONING: C-3

BUILDING AREA:	APPROVED	ACTUAL/ FIRE OCCUPANT LOAD
RESTAURANT 'A' (OLIVE GARDEN)	9,000 SF	300 SEATS / 342 SEATS
RESTAURANT 'B' (BENNIGAN'S)	7,000 SF	250 SEATS / 240 SEATS
USED CAR DEALER	3,000 SF	
OFFICE BUILDING	12,508 SF	
TOTAL	31,508 SF	

PARKING REQUIRED:	PER CURRENT CODE
RESTAURANT 'A' (OLIVE GARDEN)	342 / 3 = 114
RESTAURANT 'B' (BENNIGAN'S)	240 / 3 = 80
USED CAR DEALER	3,000 SF / 200 = 15
OFFICE BUILDING	7,664 SF / 200 = 38
TOTAL PARKING REQUIRED	4,844 SF / 300 = 16

PARKING PROVIDED:	PROJECT
RESTAURANT 'A' (OLIVE GARDEN)	131
RESTAURANT 'B' (BENNIGAN'S)	102
USED CAR DEALER: CUSTOMER & STAFF SPACES VEHICLE DISPLAY SPACES	27
OFFICE BUILDING	395
TOTAL PARKING PROVIDED	684

TOTAL HANDICAP PARKING REQUIRED PER ZONE CODE: 684 SPACES = 16
TOTAL HANDICAP PROVIDED: 16
BICYCLE PARKING REQUIRED: 684/20 = 34
BICYCLE PARKING PROVIDED: 36

KEYED NOTES

- TYPICAL ISLAND CORNER RADIUS = 15'-0"
- NEW 6" CONCRETE STANDING CURB
- NEW CONCRETE SIDEWALK 6" WIDE
- NEW TEXTURED, COLORED CONCRETE CROSSWALK TO MATCH EXISTING
- NEW COVERED DISPLAY AREA WITH PATTERNED CONCRETE DECK
- EXISTING TREES AND PLAZA AREA TO REMAIN
- HANDICAP RAMP PER CITY DPM STANDARDS
- CONCRETE VEHICLE RAMP
- EXISTING FIRE HYDRANT TO REMAIN
- NEW CONCRETE DRIVE CONNECTING TO EXISTING USED CAR DISPLAY AREA
- REUSE EXISTING PARKING LOT LIGHT FIXTURES OR PROVIDE NEW TO MATCH EXISTING
- ALIGN NEW PARKING ROWS WITH EXISTING
- EXISTING PARKING SPACES TO REMAIN
- BIKE RACK, SEE DETAIL A2 THIS SHEET AND SITE DATA FOR QUANTITY
- CAR DISPLAY USE ONLY
- NEW CONCRETE SIDEWALK 6" WIDE, COLOR TO MATCH EXISTING WALKWAY TO RESTAURANT (OLIVE GARDEN)

LEGEND

—	PROPERTY LINE	---	EXISTING TO REMAIN
- - -	WATER LINE, PROPOSED	- - -	WATER LINE, EXISTING
- - -	WASTE LINE, PROPOSED	- - -	WASTE LINE, EXISTING
---	NEW CURB	---	EXISTING TO BE REMOVED

PROJECT NUMBER: 1002513

APPLICATION NUMBER:

Site Development Plan Approval:

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE SPECIFIC MASTER DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON _____, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

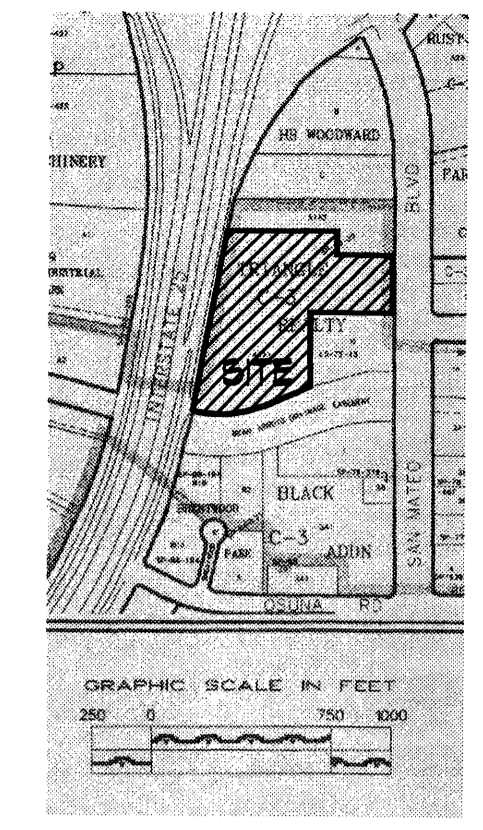
REVISIONS	DATE	DESCRIPTION
△	11/2/05	EPC Conditions of Approval

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
UTILITIES DEVELOPMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (approval and conditional acceptance if necessary, as specified by the Development Process Manual)	DATE

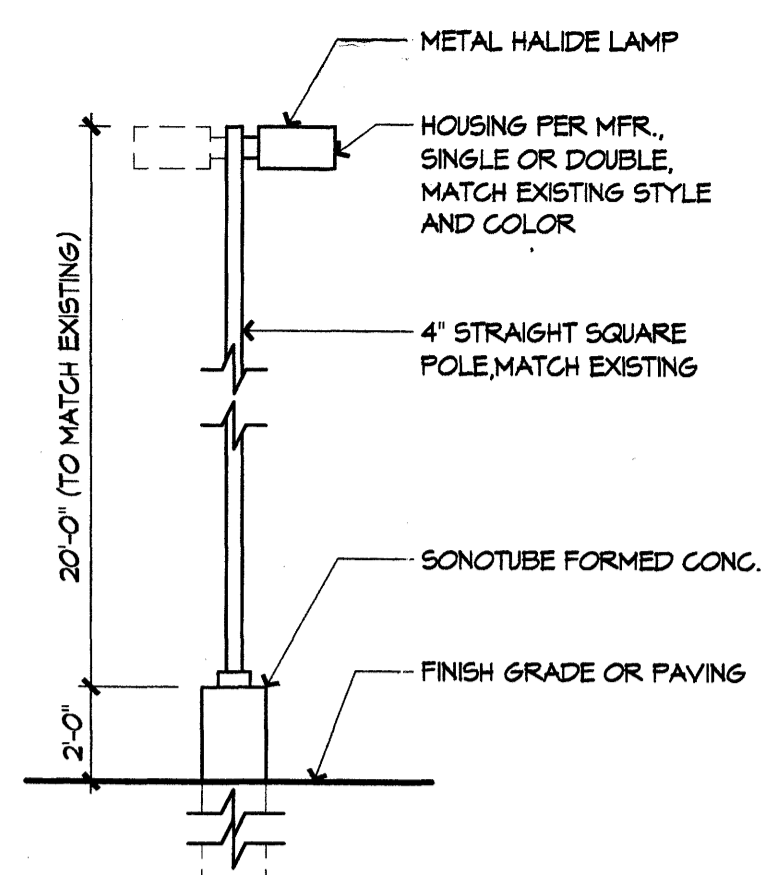
**Sandia Foundation
Used Car Dealership
San Mateo Boulevard NE
Albuquerque, New Mexico**

DRAWN BY	KK, BC, CRG
REVIEWED BY	CRG
DATE	04/01/05
PROJECT NO.	050415
DRAWING NAME	

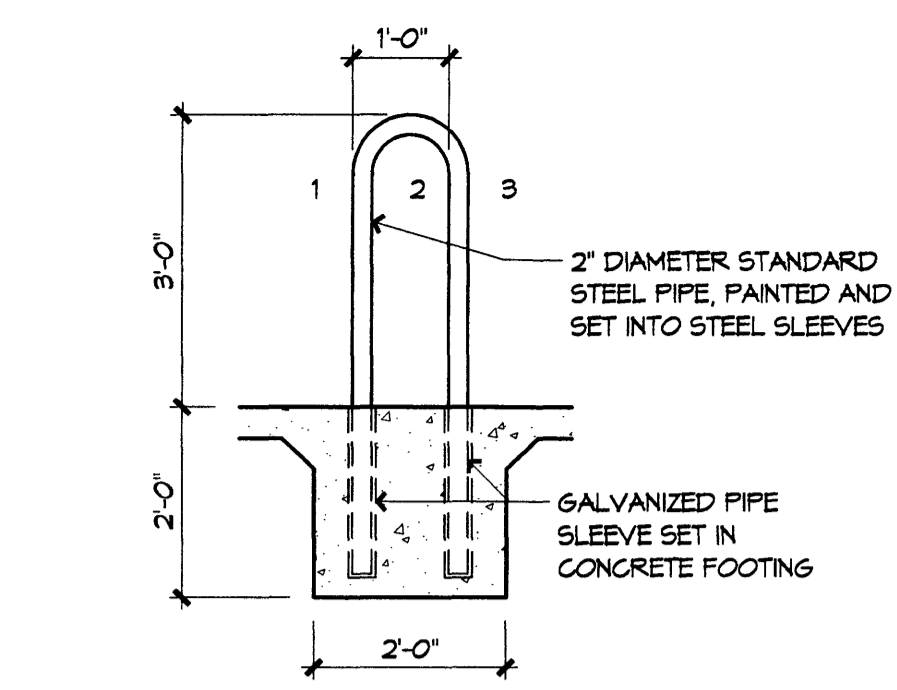
**AMENDMENT to
SITE DEVELOPMENT
PLAN**



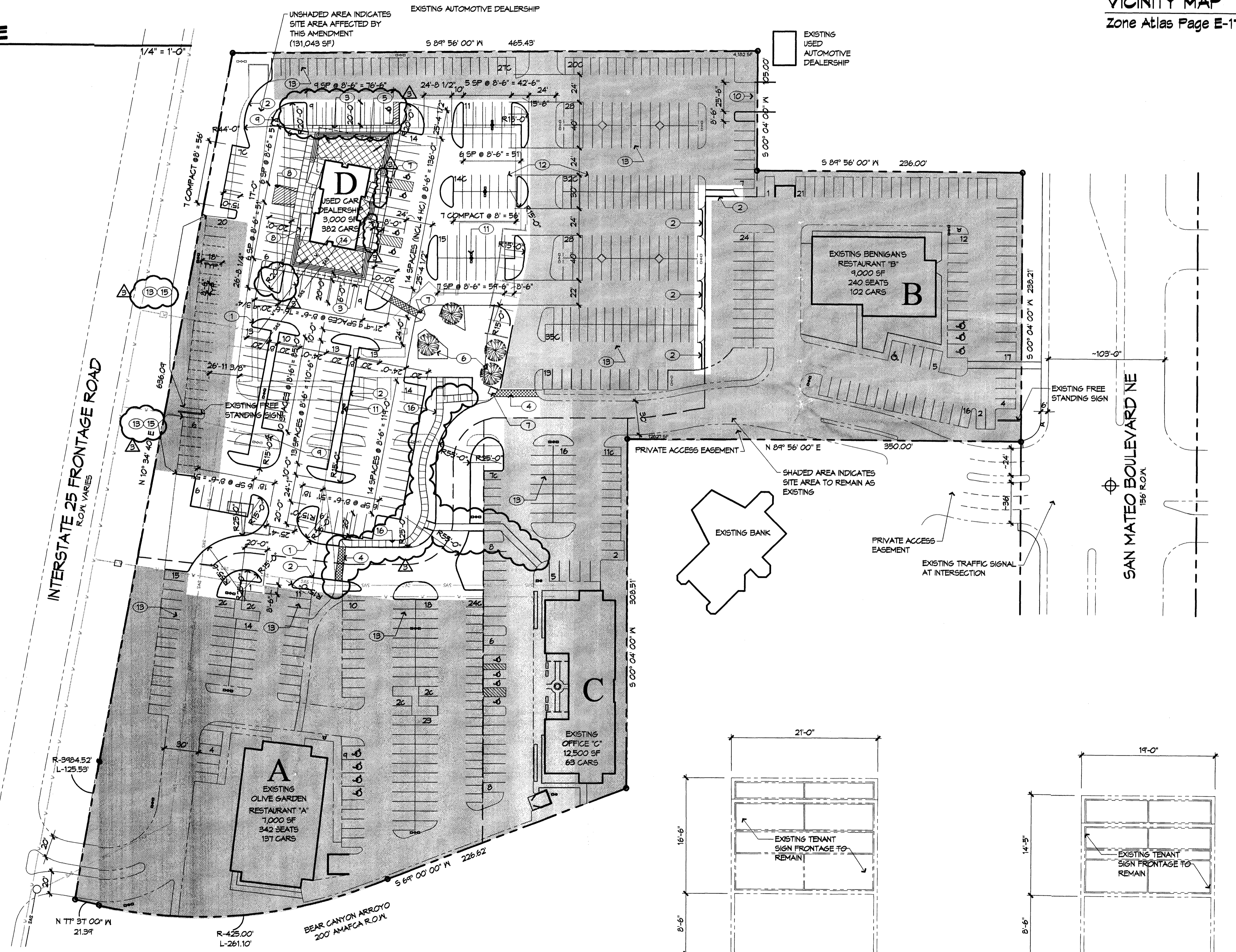
VICINITY MAP
Zone Atlas Page E-17-Z
1" = 400'



A1 LIGHT POLE
1/4" = 1'-0"

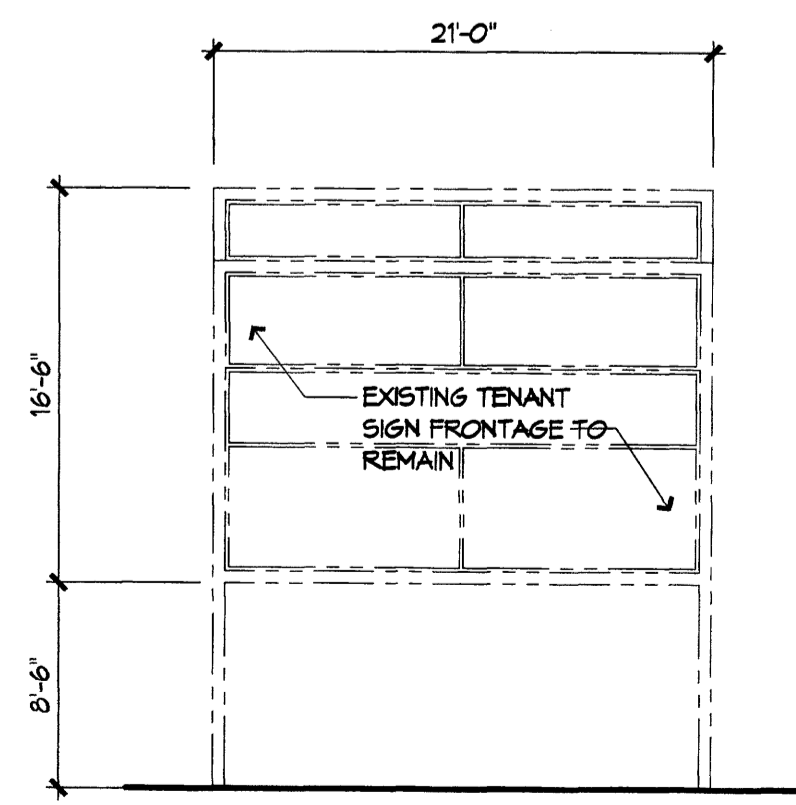


A2 BIKE RACK
1/2" = 1'-0"

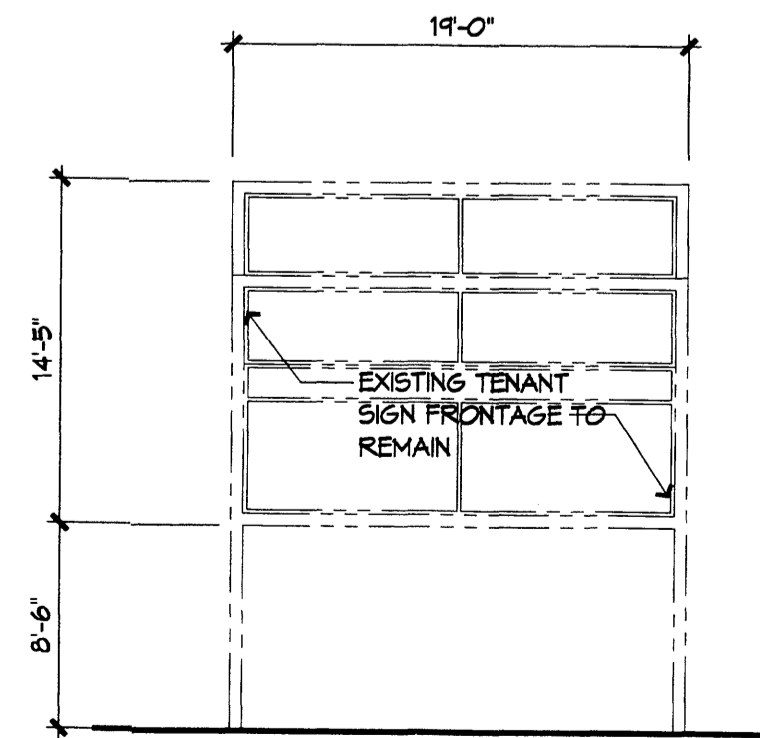


SITE DEVELOPMENT PLAN
1" = 50'-0"

D3 SIGN ELEVATION
FACING FRONTAGE ROAD
1/8" = 1'-0"



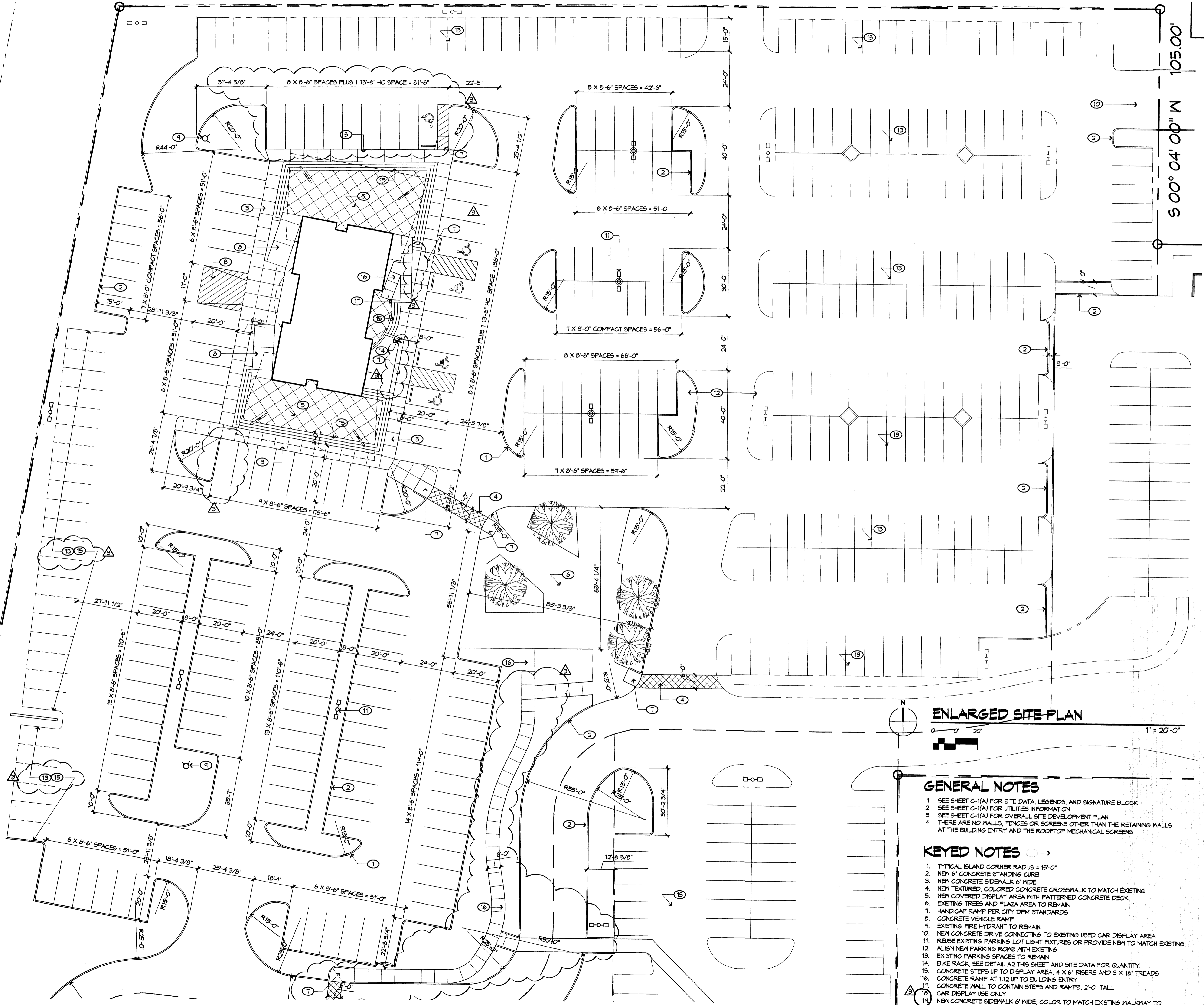
D4 SIGN ELEVATION
FACING SAN MATEO BLVD.
1/8" = 1'-0"



**Sandia Foundation
Used Car Dealership**
San Mateo Boulevard NE
Albuquerque, New Mexico

STATE 25 FRONTAGE ROAD
R.O.W. VARIES

N 10° 34' 40" E
636.09'



ENLARGED SITE PLAN

0 10 20' 1" = 20'-0"

GENERAL NOTES

1. SEE SHEET C-1(A) FOR SITE DATA, LEGENDS, AND SIGNATURE BLOCK
2. SEE SHEET C-1(A) FOR UTILITIES INFORMATION
3. SEE SHEET C-1(A) FOR OVERALL SITE DEVELOPMENT PLAN
4. THERE ARE NO WALLS, FENCES OR SCREENS OTHER THAN THE RETAINING WALLS AT THE BUILDING ENTRY AND THE ROOFTOP MECHANICAL SCREENS

KEYED NOTES

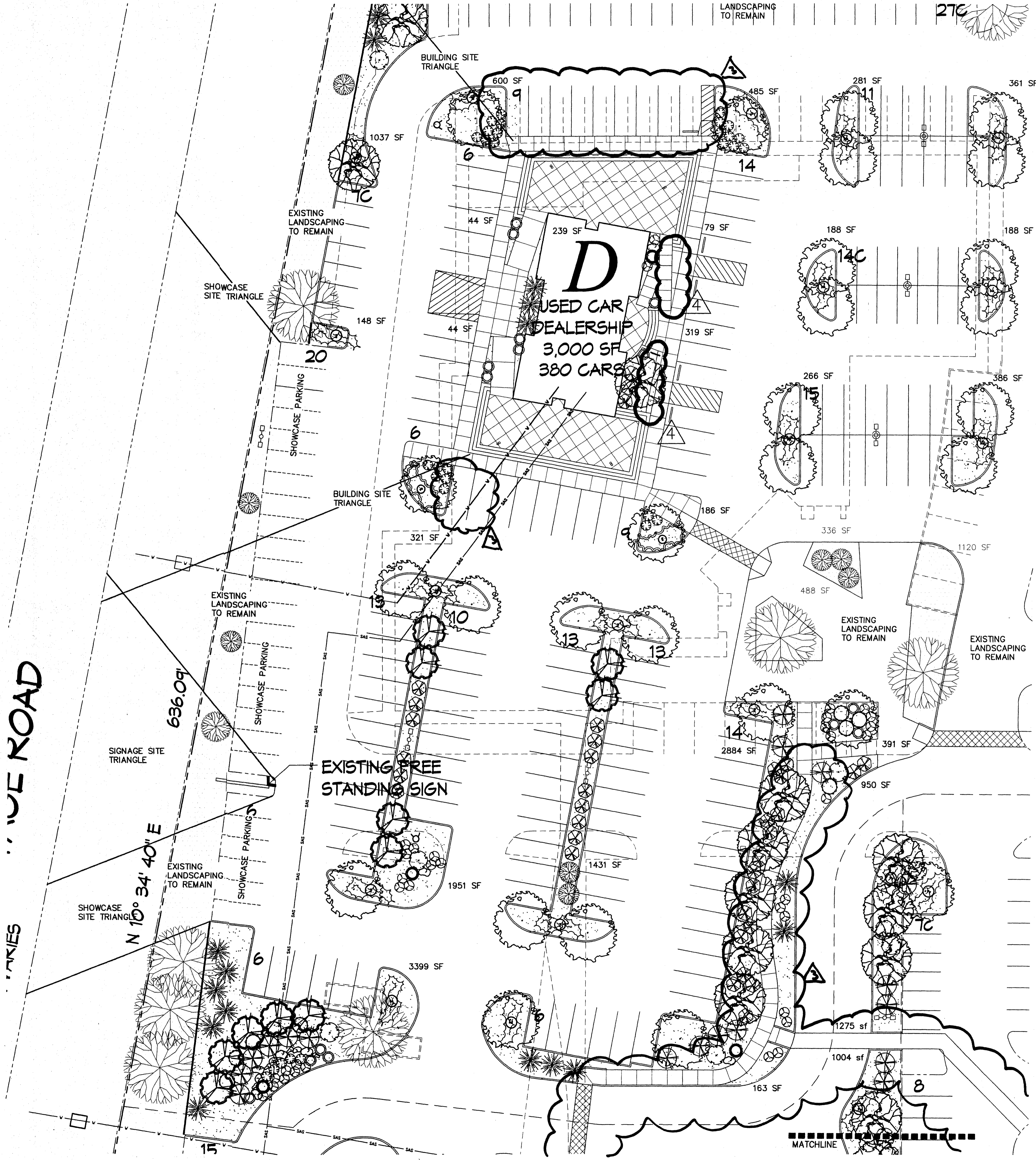
1. TYPICAL ISLAND CORNER RADIUS = 15'-0"
2. NEW 6" CONCRETE STANDING CURB
3. NEW CONCRETE SIDEWALK 6' WIDE
4. NEW TEXTURED, COLORED CONCRETE CROSSWALK TO MATCH EXISTING
5. NEW COVERED DISPLAY AREA WITH PATTERNED CONCRETE DECK
6. EXISTING TREES AND PLAZA AREA TO REMAIN
7. HANDICAP RAMP PER CITY DPM STANDARDS
8. CONCRETE VEHICLE RAMP
9. EXISTING FIRE HYDRANT TO REMAIN
10. NEW CONCRETE DRIVE CONNECTING TO EXISTING USED CAR DISPLAY AREA
11. REUSE EXISTING PARKING LOT LIGHT FIXTURES OR PROVIDE NEW TO MATCH EXISTING
12. ALIGN NEW PARKING ROWS WITH EXISTING
13. EXISTING PARKING SPACES TO REMAIN
14. BIKE RACK, SEE DETAIL A2 THIS SHEET AND SITE DATA FOR QUANTITY
15. CONCRETE STEPS UP TO DISPLAY AREA, 4 X 6' RISERS AND 3 X 16' TREADS
16. CONCRETE RAMP AT 1:12 UP TO BUILDING ENTRY
17. CONCRETE WALL TO CONTAIN STEPS AND RAMP, 2'-0" TALL
18. CAR DISPLAY USE ONLY
19. NEW CONCRETE SIDEWALK 6' WIDE, COLOR TO MATCH EXISTING WALKWAY TO RESTAURANT (OLIVE GARDEN)

REVISIONS

3	11/2/05	EPC Conditions of Approval
---	---------	----------------------------

DRAWN BY: KK, EC, CRG
 REVIEWED BY: CRG
 DATE: 01/01/05
 PROJECT NO.: 020915
 DRAWING NAME:

ENLARGED SITE PLAN



LANDSCAPING TO REMAIN

276

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
New irrigation to be tied in to existing system. The existing system is assumed operable, if not a Time and Material basis shall apply.

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

PLANT LEGEND

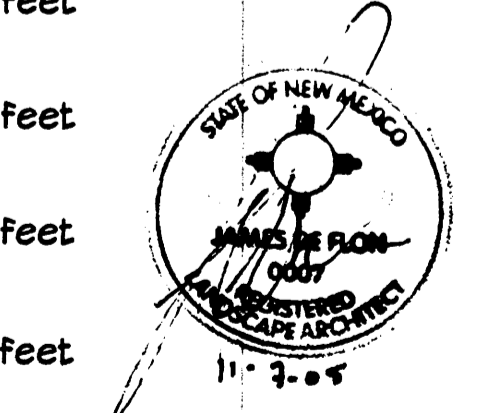
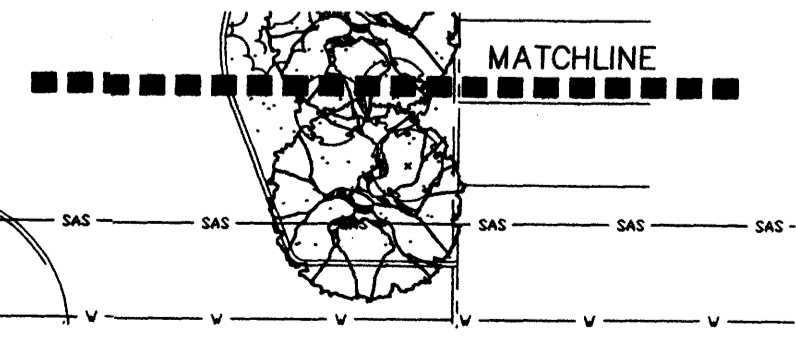
- EXISTING TREE
- SYCAMORE (M) 28
Platanus spp.
2" Cal.
- REDBUD (M) 13
Cercis spp.
2" Cal.
- PURPLE-LEAF PLUM (M) 11
Prunus spp.
1 1/2" Cal.
- MUGO PINE (M) 4
Pinus mugo
5 Gal.
- PAMPAS GRASS (M) 19
Hesperaloe parviflora
5 Gal. 9sf
- RED TIP PHOTINIA (M) 18
Photinia
5 Gal. 100sf
- BUTTERFLY BUSH (M) 11
Buddleia davidii
5 Gal. 100sf
- NANDINA (M) 9
Nandina domestica
5 Gal. 25sf
- INDIAN HAWTHORN (M) 35
Raphiolepis indica
5 Gal. 36sf
- ROSEMARY (M) 15
Rosmarinus officinalis
2 Gal. 9sf
- LAVENDER (M) 31
Lavandula angustifolia
1 Gal. 9sf
- WILDFLOWER 35
1 Gal. 4sf
- TAM JUNIPER (M) 40
Juniperus sabina
5 Gal. 200sf
Symbol indicates 2 plants
- GREYLEAF COTONEASTER (M) 6
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	399813	square feet
TOTAL NEW BUILDINGS AREA	2848	square feet
TOTAL EXISTING BUILDINGS AREA	24852	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	372113	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	55816	square feet
TOTAL NEW BED PROVIDED	18620	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	14003	square feet
TOTAL GROUNDCOVER PROVIDED	15883	square feet
TOTAL NEW SOD AREA	0	square feet
TOTAL EXISTING LANDSCAPE AREA	58300	square feet
TOTAL LANDSCAPE PROVIDED	75091	square feet

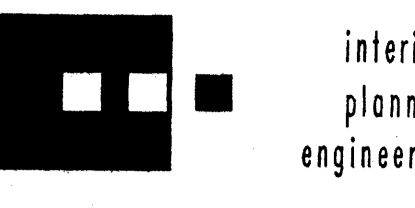
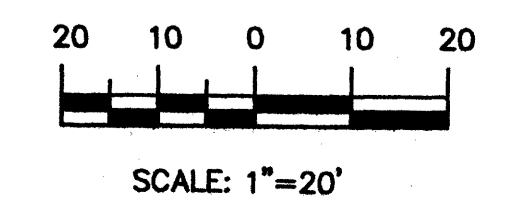
BOULDERS 14
6"x6" MOWCURB

SANTA FE BROWN GRAVEL WITH FILTER FABRIC
EXISTING LANDSCAPING TO REMAIN



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com

GRAPHIC SCALE



Dekker Perich Sabatini
interior planning engineering

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

ARCHITECT

ENGINEER

EPC
SUBMITTAL

PROJECT

*Sandia Foundation
Used Car Dealership
San Mateo Boulevard NE
Albuquerque, New Mexico*

REVISIONS

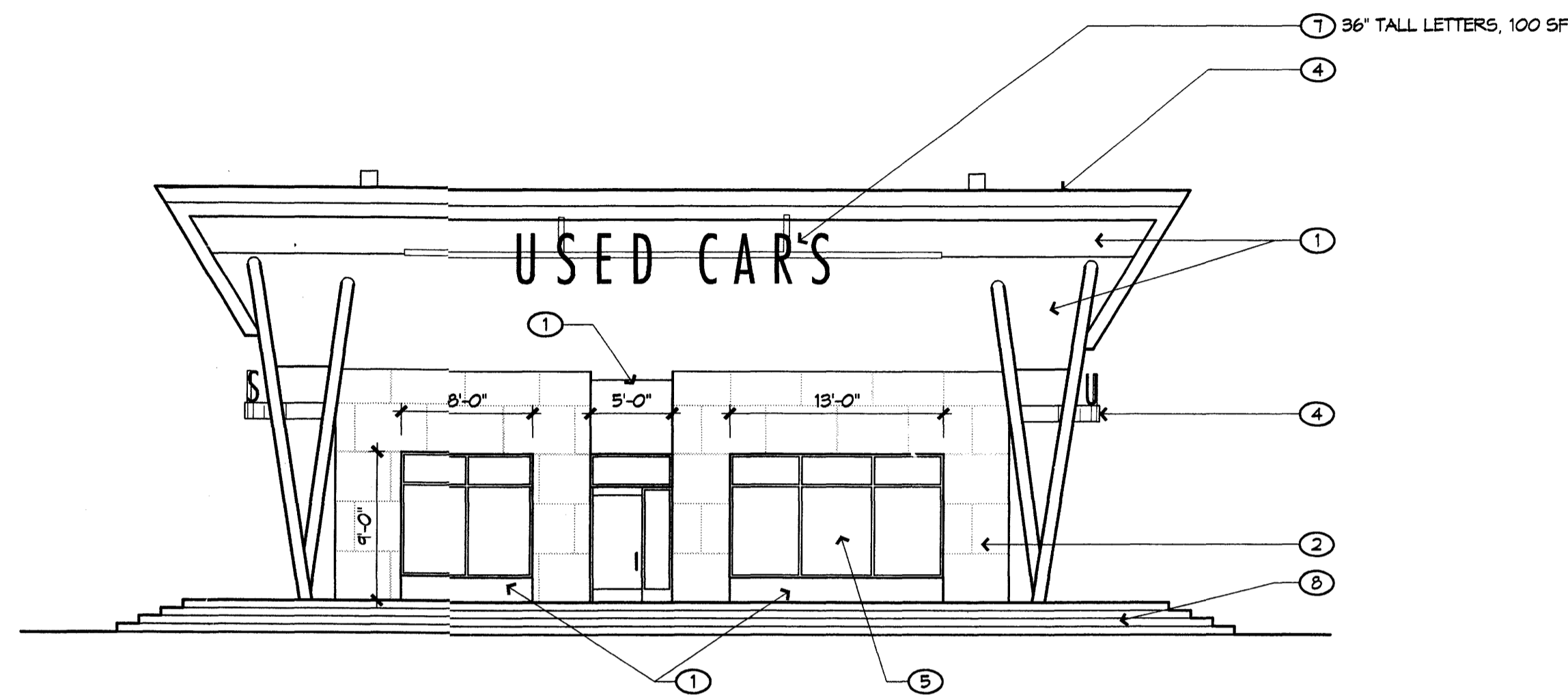
△ 4-8-05	per comments
△ 11-2-05	new site plan
△ 11-7-05	site plan revision
△	

DRAWN BY	drr
REVIEWED BY	cj
DATE	09/01/05
PROJECT NO.	08045
DRAWING NAME	

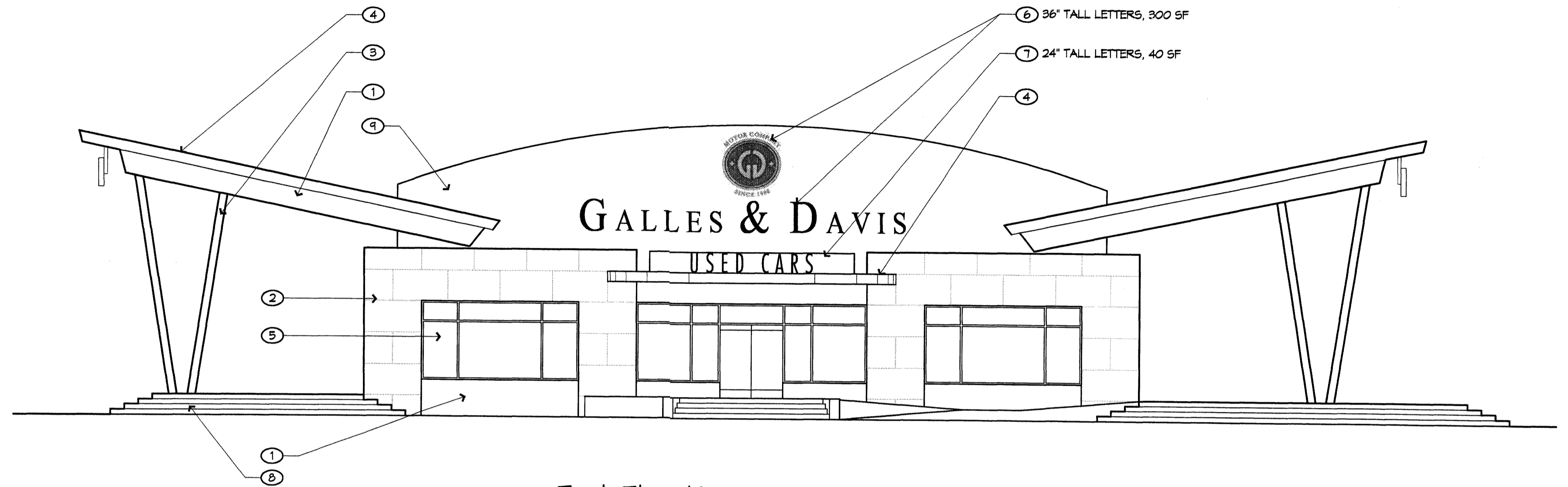
SHEET NO.

KEYED NOTES

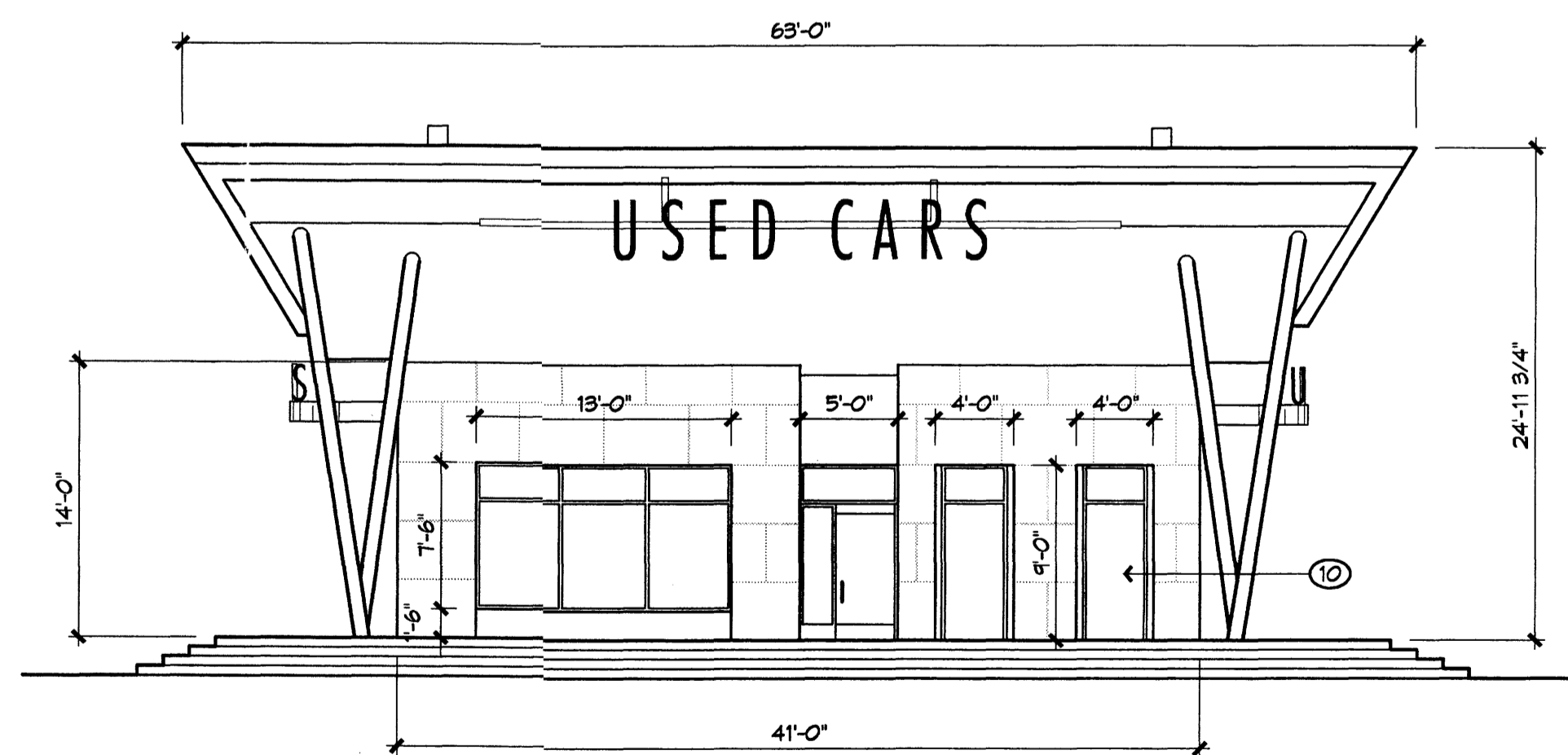
1. STUCCO COLOR 1: OFF-WHITE
2. STUCCO COLOR 2: CREAM LIMESTONE
3. STEEL PIPE COLUMNS: WHITE
4. METAL TRIM: WHITE
5. ALUMINUM STOREFRONT: WHITE WITH CLEAR GLASS
6. DEALER LOGO AND NAME PAINTED ON STUCCO AND LIT WITH ROOF MOUNTED LIGHTS. LOGO = 5" DIA, LETTERS = 36" TALL
7. ALUMINUM CHANNEL LETTERS, OPEN WITH EXPOSED COLORED NEON; LUMINANCE OF NEON SIGNAGE WILL NOT EXCEED 320 FOOTLAMBERTS.
8. CONCRETE STEPS AND RAMPS
9. MECHANICAL SCREEN, STUCCO COLOR 1
10. HOLLOW METAL DOORS, PAINTED WHITE



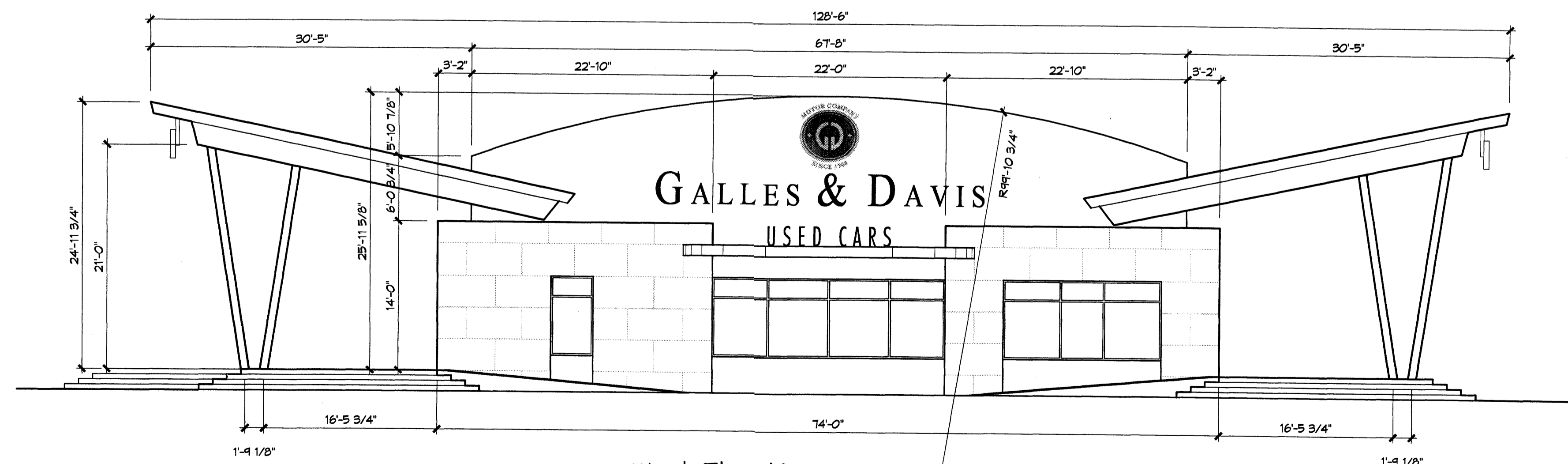
South Elevation
DIMENSIONS SIM. TO NORTH ELEVATION 1/8" = 1'-0"



East Elevation
DIMENSIONS SIM. TO WEST ELEVATION 1/8" = 1'-0"



North Elevation
NOTES SIM. TO SOUTH ELEVATION 1/8" = 1'-0"



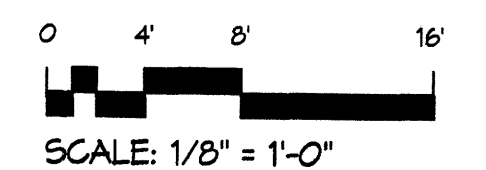
West Elevation
NOTES SIM. TO EAST ELEVATION 1/8" = 1'-0"

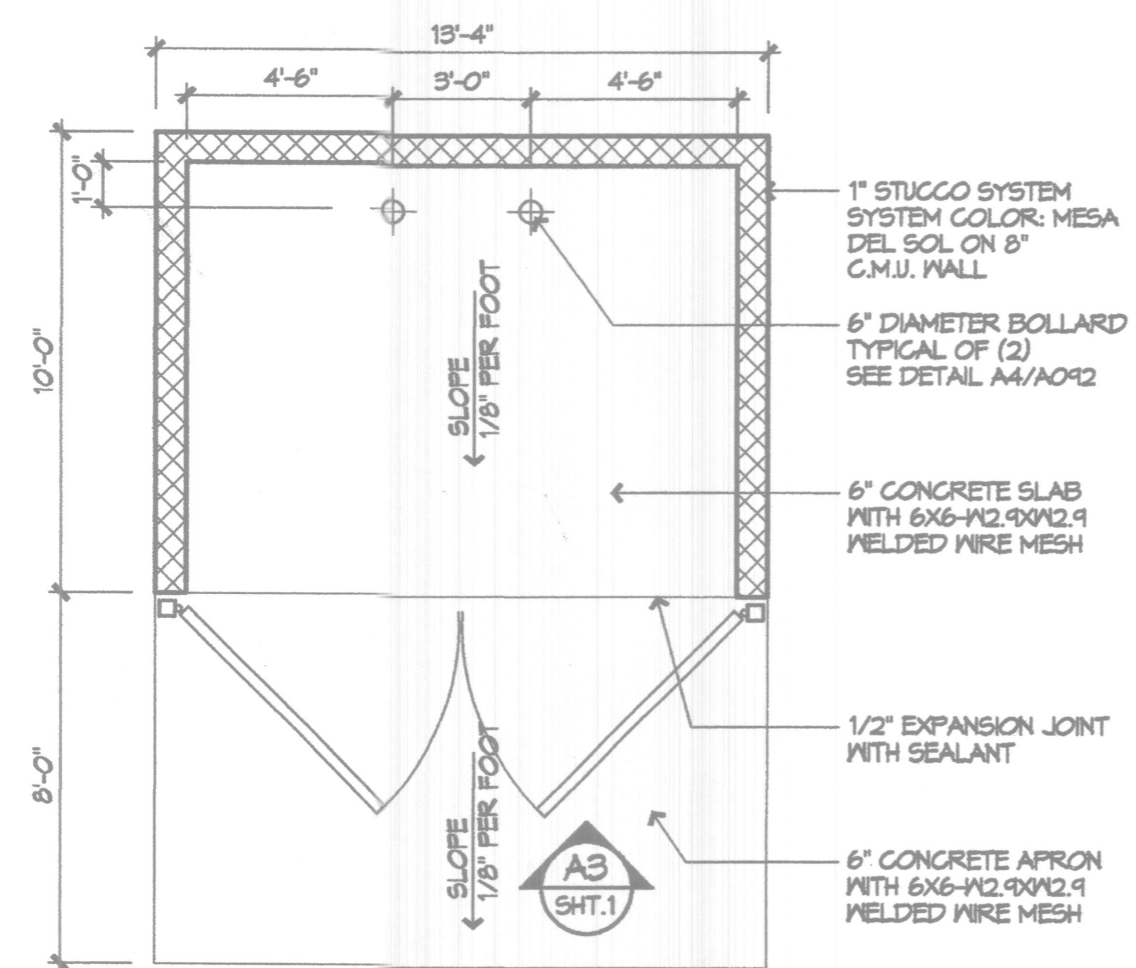
**Sandia Foundation
Used Car Dealership
San Mateo Boulevard NE
Albuquerque, New Mexico**

REVISIONS

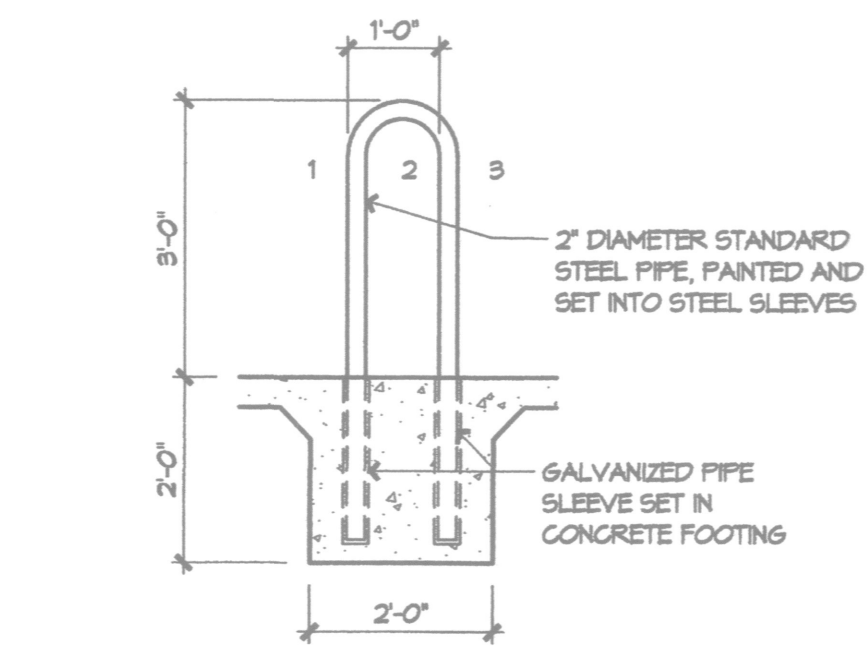
3	11/2/05	EPC Conditions of Approval
△		
△		
△		

DRAWN BY	KK, BC, CRG
REVIEWED BY	CRG
DATE	09/01/05
PROJECT NO.	05045
DRAWING NAME	ELEVATIONS

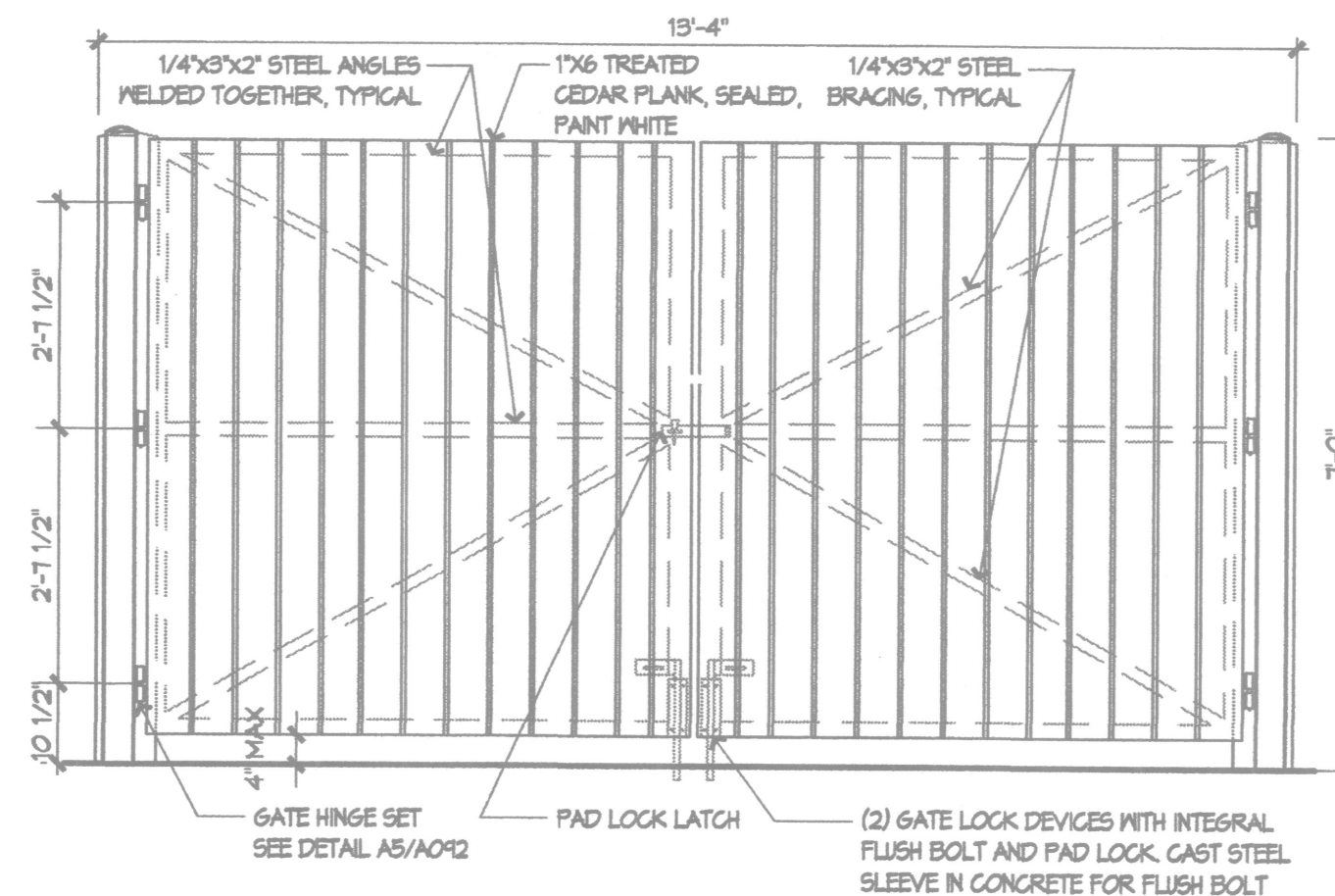




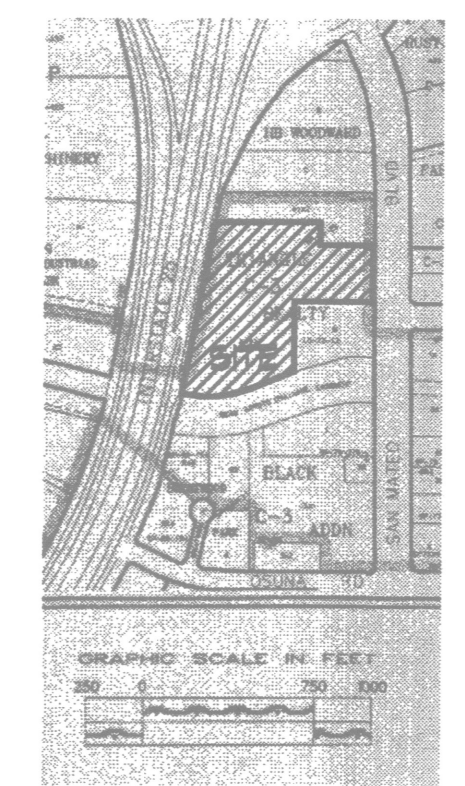
A1 REFUSE ENCLOSURE PLAN
 EPC COND. #11 1/4" = 1'-0"



A2 BIKE RACK
 EXISTING AUTOMOTIVE DEALERSHIP 1/2" = 1'-0"



A3 TRASH ENCLOSURE ELEVATION
 EPC COND. #11 1/2" = 1'-0"



VICINITY MAP
 Zone Atlas Page E-17-Z 1" = 400'

REQUEST FOR AMENDMENT to SITE DEVELOPMENT PLAN

APPROVED by
DRB CASE NO. Z-85-36-1
 DATED 05-21-1986 APPROVED 07-04-1986

REQUESTED REVISIONS TO SITE PLAN:
 REVISION TO PARKING AREA
 REVISION TO BUILDING AREA

SITE DATA
 ZONE ATLAS MAP NUMBER: E-17-Z
 SITE AREA: 391,664 SQUARE FEET, (APPROX) 9 ACRES
 SITE AREA AFFECTED BY THIS A.A.: 28,906 SF, APPROX. 7.4% OF SITE
 PRESENT ZONING: C-3

BUILDING AREA:	APPROVED	ACTUAL/FIRE OCCUPANT LOAD
RESTAURANT 'A' (OLIVE GARDEN)	9,000 SF 300 SEATS	342 SEATS
RESTAURANT 'B' (BENNIGANS)	7,000 SF 250 SEATS	240 SEATS
THEATRE	34,516 SF 2,116 SEATS	2,042 SEATS
OFFICE BUILDING	12,508 SF	

PARKING REQUIRED:	PER CURRENT CODE	
RESTAURANT 'A' (OLIVE GARDEN)	300 / 4 = 75	342 / 3 = 114
RESTAURANT 'B' (BENNIGANS)	250 / 4 = 63	240 / 3 = 80
THEATRE	2,116 / 4 = 529	2,042 / 4 = 511
OFFICE BUILDING		7,664 SF / 200 = 38
TRANSIT PARKING REDUCTION OF 10%		4,844 SF / 300 = 16
TOTAL PARKING REQUIRED	667	760 x .10 = (76)

PARKING SUPPLIED:	PER CURRENT CODE	
COMPACT	217	160
FULL SIZE & HANDICAP	556	511
TOTAL PARKING SUPPLIED	773	665
HANDICAP PARKING REQUIRED		
RESTAURANT 'A' (OLIVE GARDEN)	2% OF 75 = 2	665 SPACES = 16
RESTAURANT 'B' (BENNIGANS)	2% OF 63 = 2	
THEATRE	2% OF 529 = 11	
TOTAL HANDICAP PARKING REQUIRED	15	
TOTAL HANDICAP PROVIDED	24	28
BIicycle PARKING REQUIRED	47	665/20 = 35
BIicycle PARKING PROVIDED	47	50

LANDSCAPING: 332,536 SF X 15% = 49,880 SF
 AS-BUILT CALC. = 69,831 SF (INCLUDES PROPOSED)

LEGEND

---	PROPERTY LINE
- - - - -	WATER LINE, PROPOSED
- . - . - .	WASTE LINE, PROPOSED

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 R. J. [Signature] 5-5-03
 SIGNATURE & DATE

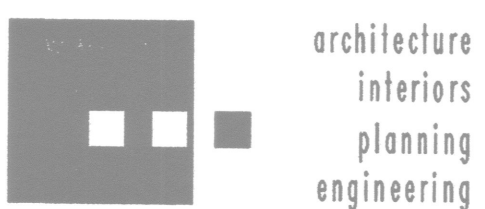
PROJECT NUMBER: 1002513
 APPLICATION NUMBER: 03EPC00318
 DRB Site Development Plan Approval:

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE SPECIFIC MASTER DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON APRIL 17, 2003, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

<i>[Signature]</i>	5-5-03
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	5/14/03
PARKS & RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	5/27/03
UTILITIES DEPARTMENT	DATE
<i>[Signature]</i>	5/14/03
CITY ENGINEER	DATE
<i>[Signature]</i>	5-5-03
SOLID WASTE will comply w/ CMA Specs	DATE

ENVIRONMENTAL HEALTH DEPARTMENT
 (approval and conditional acceptance if necessary, as specified by the Development Process Manual)

[Signature] 5/14/03
 DRB CHAIRPERSON, PLANNING DEPARTMENT
 DATE



Dekker Perich Sabatini
 architecture interiors planning engineering

6801 Jefferson NE
 Suite 100
 Albuquerque, NM 87109
 505 761-9700
 fax 761-4222
 dps@dpsabq.com

ARCHITECT
 ENGINEER

DRB SUBMITTAL

PROJECT

Sandia Foundation Office Building
 San Mateo Boulevard NE
 Albuquerque, New Mexico

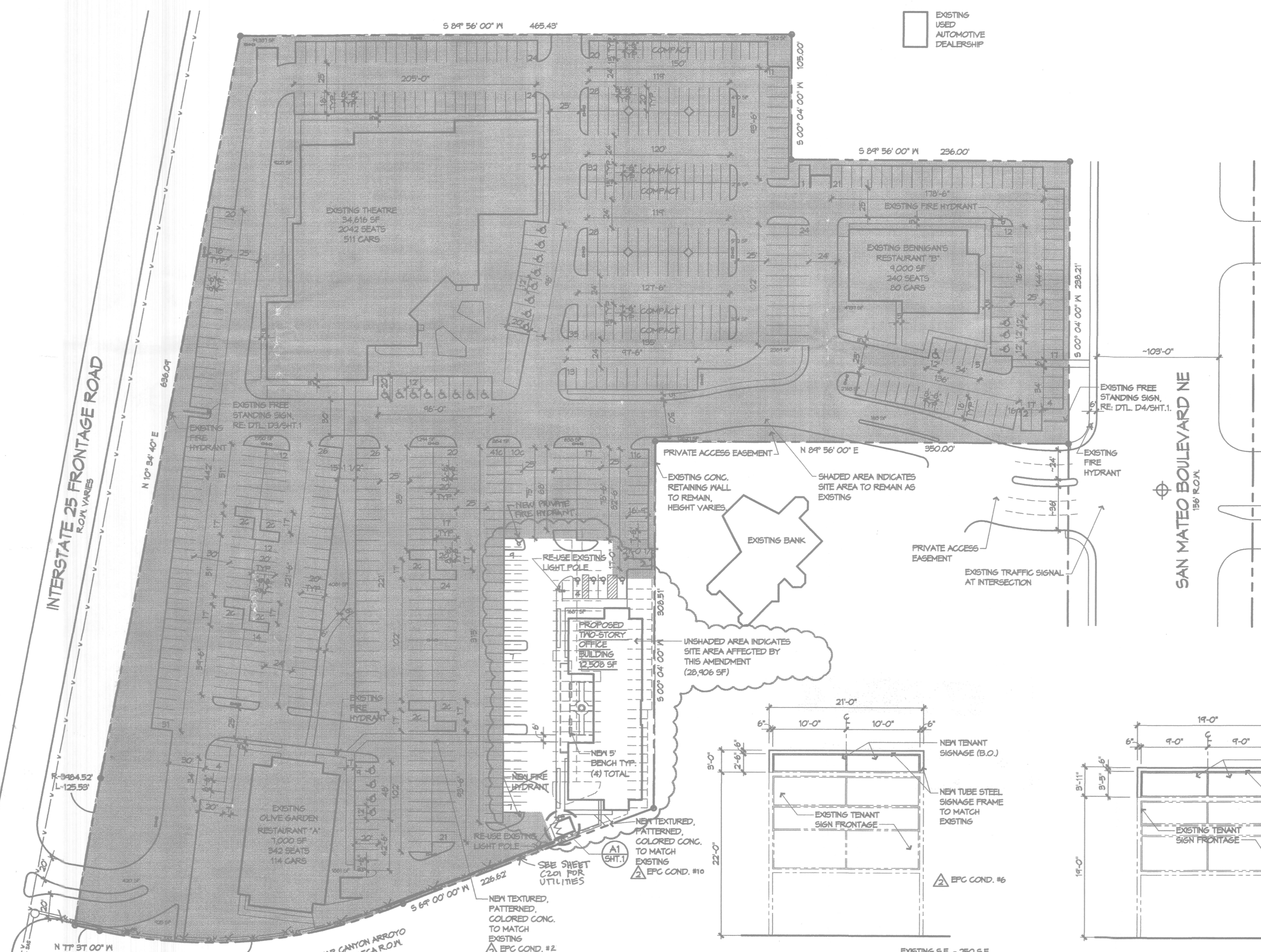
REVISIONS

△	03/05/03	
△	05/05/03	EPC CONDITIONS
△		

DRAWN BY: KK, MF, MB
 REVIEWED BY: CRG
 DATE: 05/05/03
 PROJECT NO.: 08007
 DRAWING NAME:

AMENDMENT to SITE DEVELOPMENT PLAN

SHEET NO. **C-1(A)**
 OF

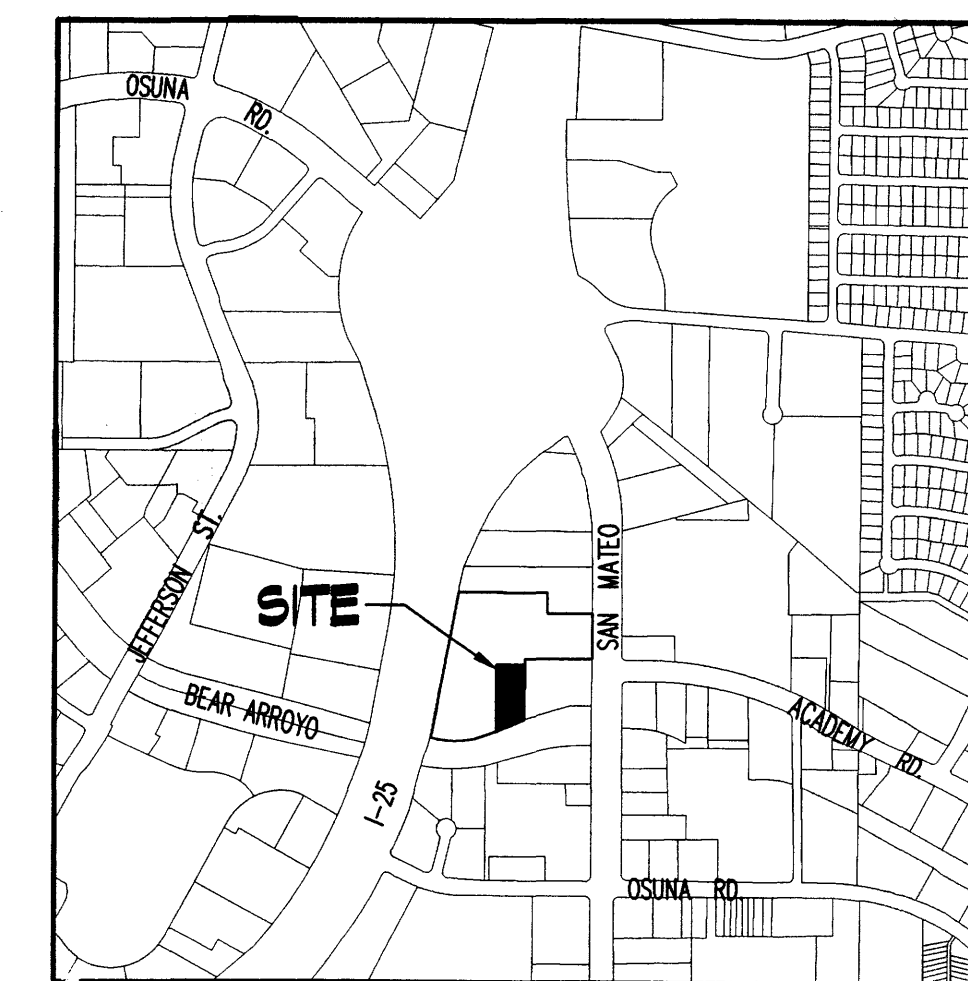
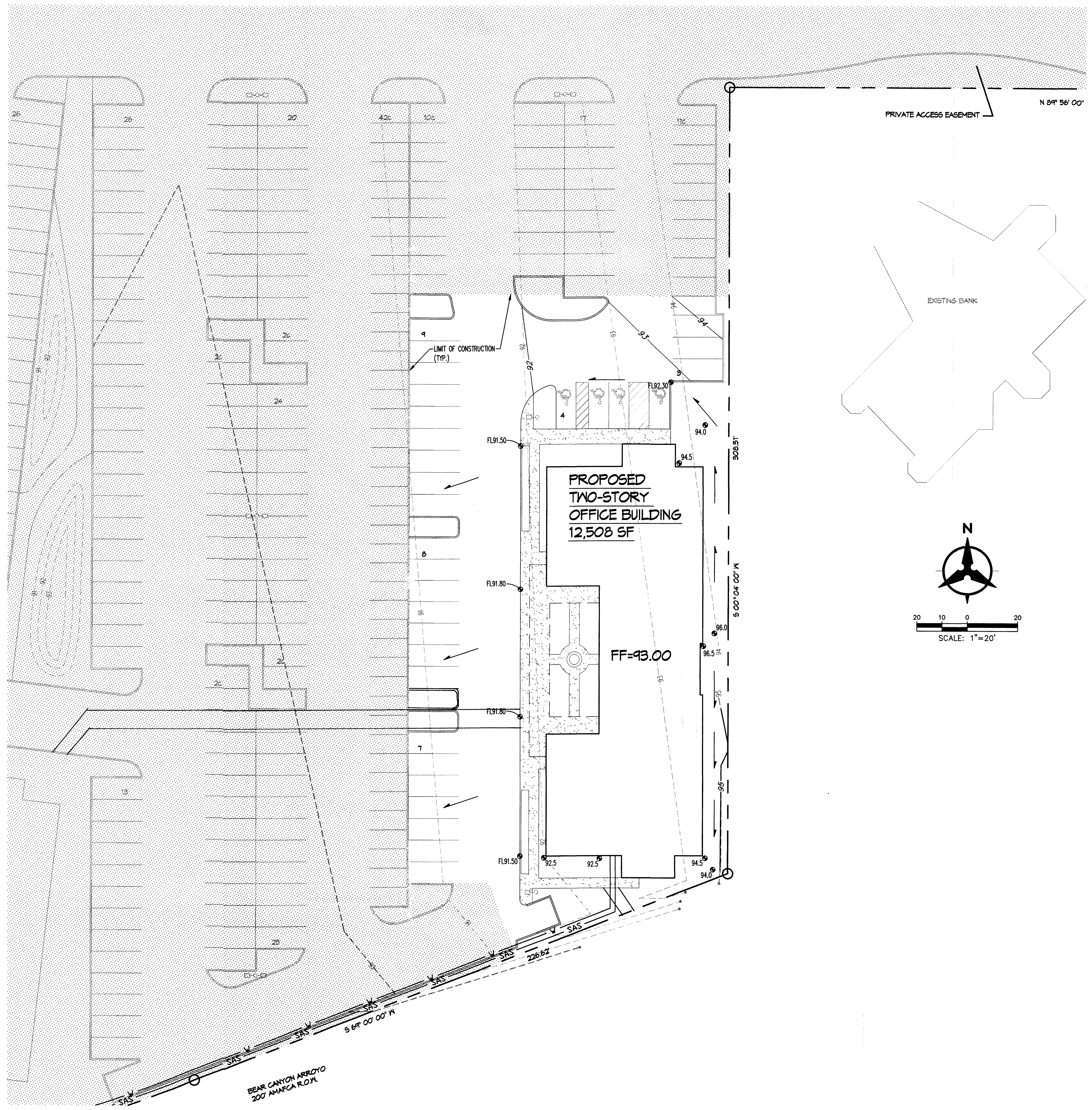


SITE DEVELOPMENT PLAN
 1" = 50'

D3 SIGN ELEVATION
 FACING FRONTAGE ROAD 1/8" = 1'-0"

D4 SIGN ELEVATION
 FACING SAN MATEO BLVD. 1/8" = 1'-0"

03/05/03 Revised: Parking, Signage, and Site Conditions. Prepared by: [Name]. Checked by: [Name].

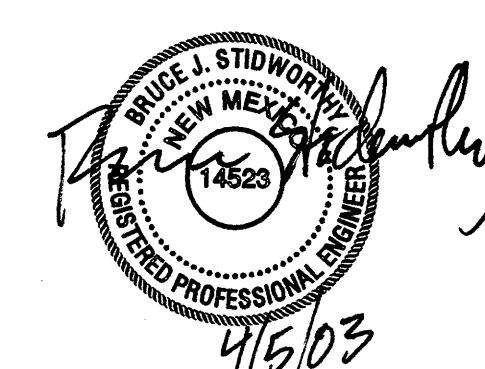


VICINITY MAP
ZONE ATLAS PAGE E-17-Z

LEGAL DESCRIPTION
TRACT A1A1, TRIANGLE REALTY, CITY OF ALBUQUERQUE, NEW MEXICO

ARCHITECT

ENGINEER



PROJECT

**Sandia Foundation
Office Building**
San Mateo Boulevard NE
Albuquerque, New Mexico

REVISIONS

- △
- △
- △
- △

DRAINAGE MANAGEMENT PLAN

EXISTING HYDROLOGIC CONDITIONS
The site is currently a paved parking lot. The proposed development is located with the "San Mateo Theatre/Restaurant Complex". The project is filed in City Hydrology under file number E-17/D18. The grading and drainage plan for that project was approved by city hydrology in September of 1986 (see letter from Roger Green dated September 3, 1986). It shows free discharge of site runoff directly to the adjacent Bear Canyon Arroyo.

PROPOSED HYDROLOGIC CONDITIONS
Under proposed conditions, the site will continue to drain in the same manner as existing. The project proposes to construct a building and some associated landscaping where a parking lot currently exists. There will be a small reduction in the amount of runoff generated as a result of a slight increase in the landscaped area.

CONCLUSION
This drainage management plan proposes no significant change from that which was approved in 1986. With this submittal, we are seeking administrative amendment approvals.

DRAWN BY **RMB**

REVIEWED BY **EJS**

DATE **05/05/05**

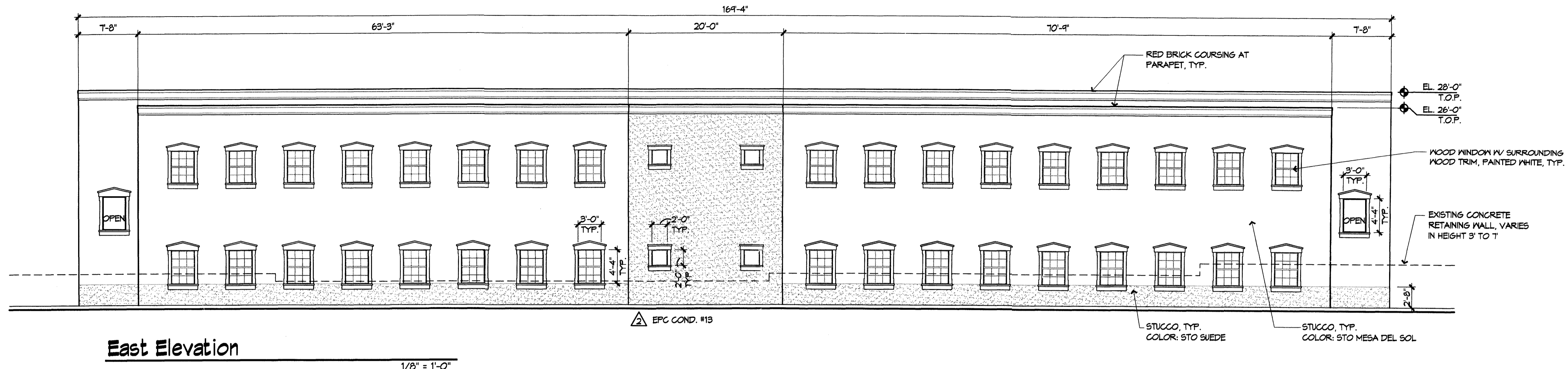
PROJECT NO. **-**

DRAWING NAME

**CONCEPTUAL
GRADING &
DRAINAGE
PLAN**

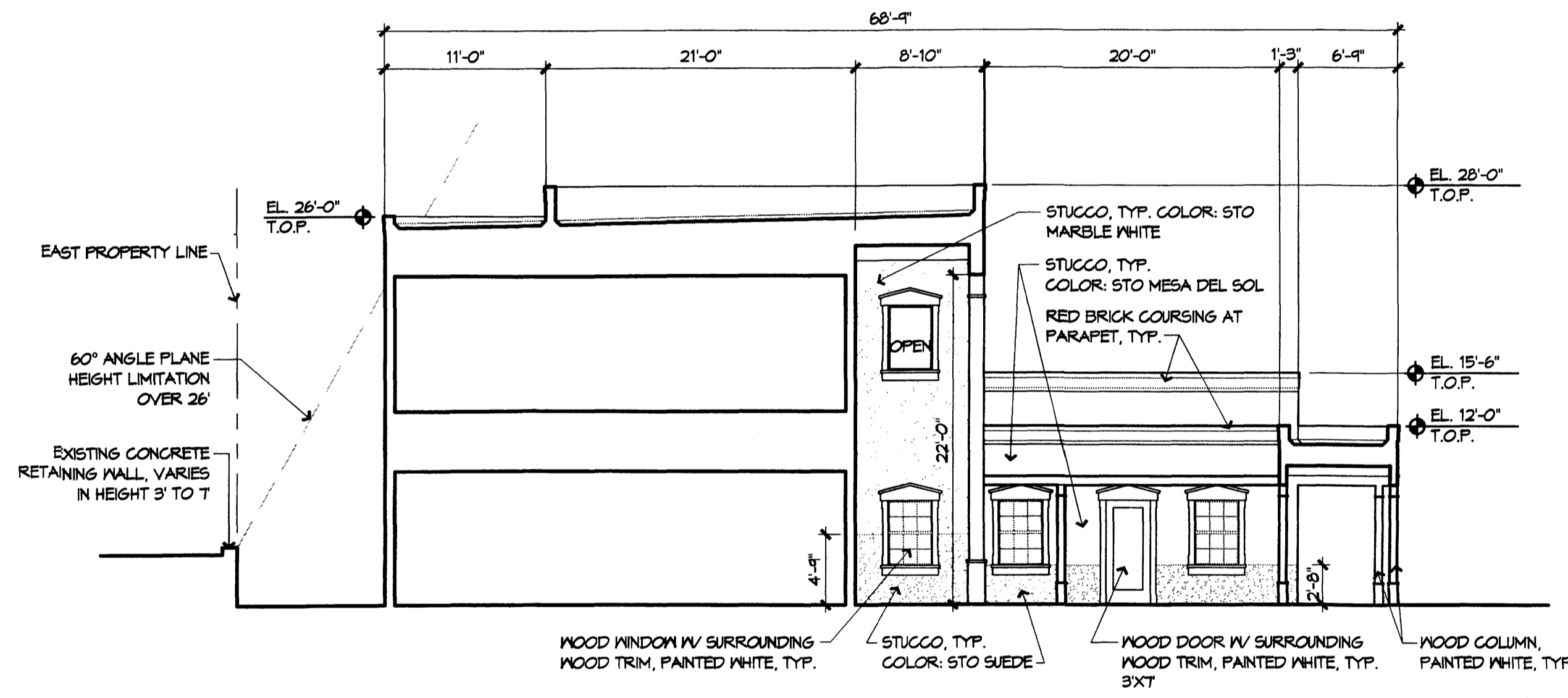
SHEET NO.

C101
OF



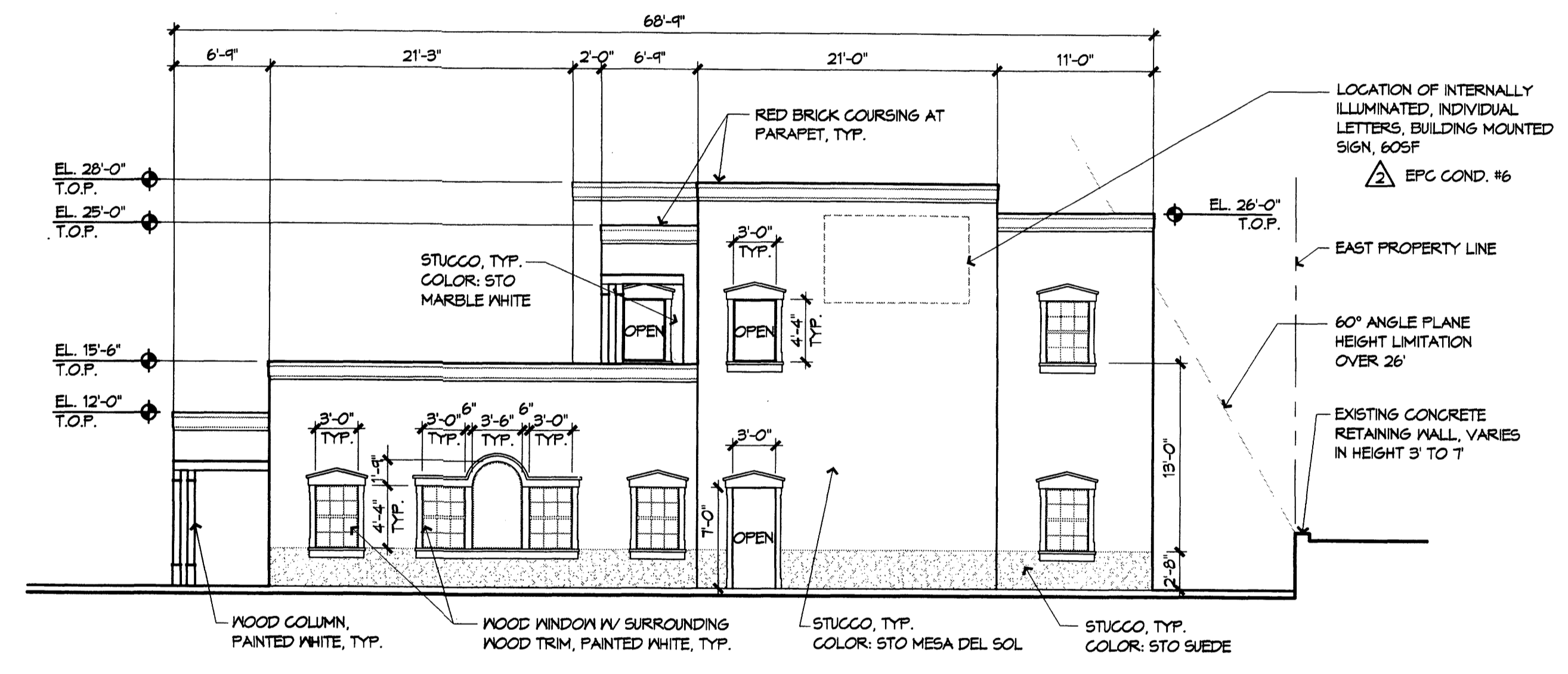
East Elevation

1/8" = 1'-0"



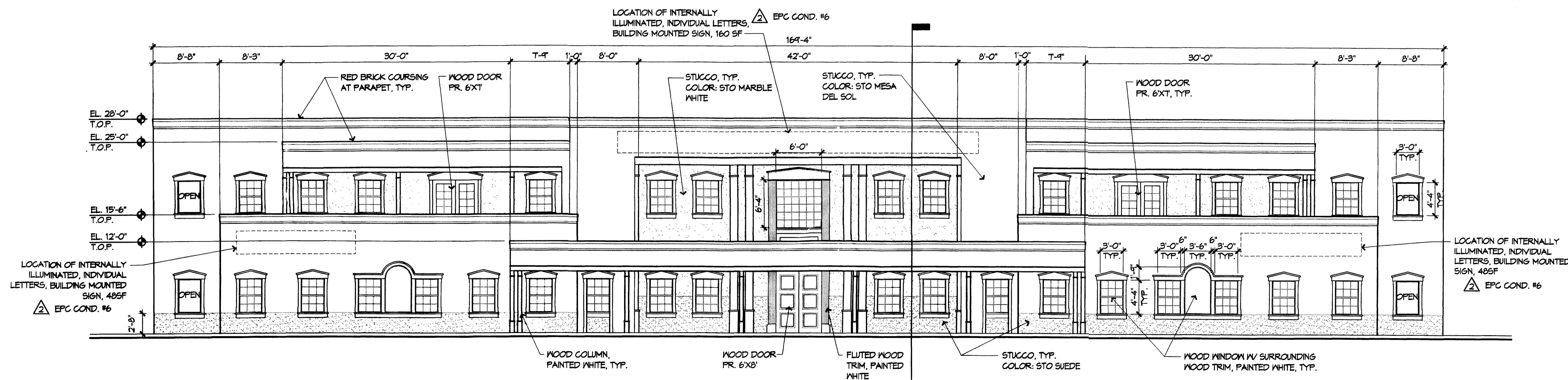
Building Section at Courtyard

1/8" = 1'-0"



South Elevation (North Opposite)

1/8" = 1'-0"



West Elevation

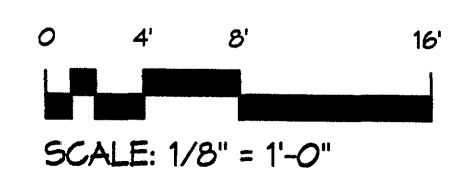
1/8" = 1'-0"

REVISIONS

- 03/05/03
- 05/05/03 EPC CONDITIONS

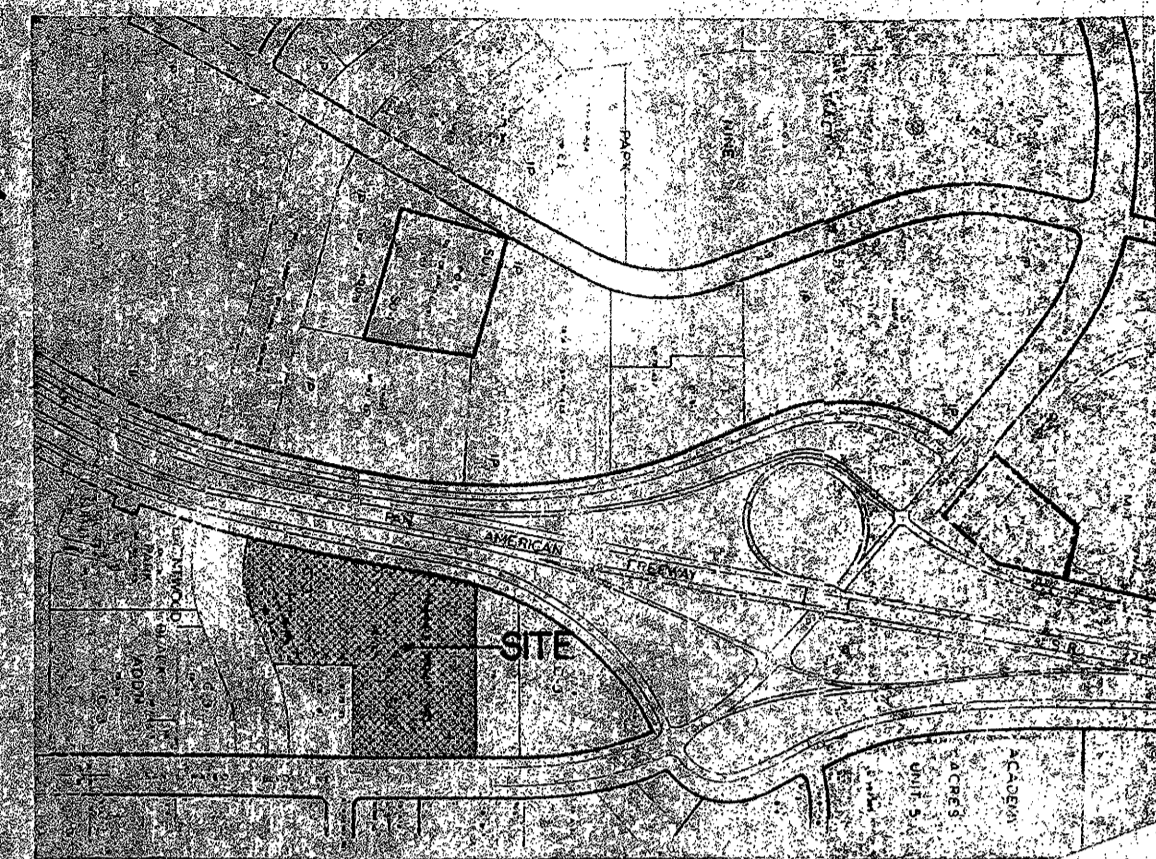
DRAWN BY	KK, MF, MB
REVIEWED BY	CRG
DATE	05/05/03
PROJECT NO.	03007
DRAWING NAME	ELEVATIONS

ELEVATIONS

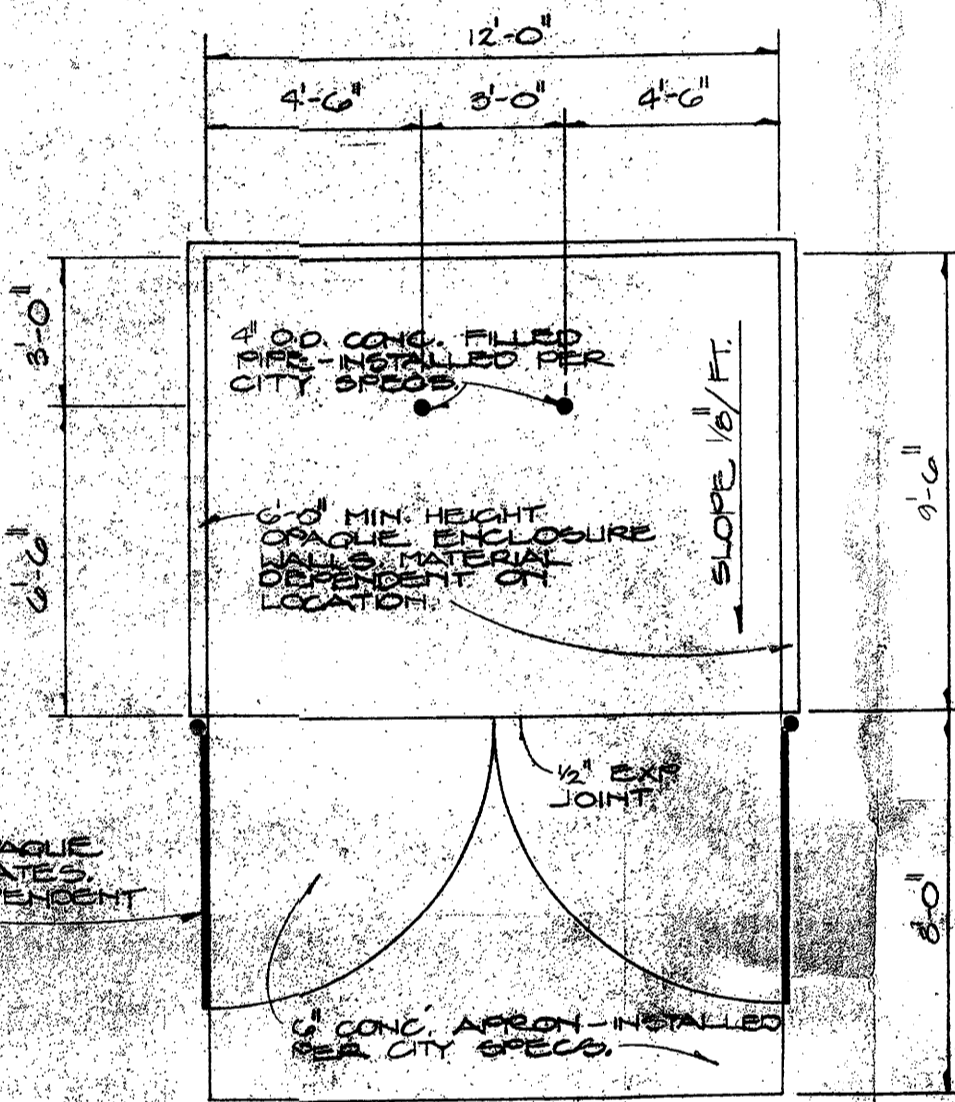


SHEET NO.

C-3(A)
OF

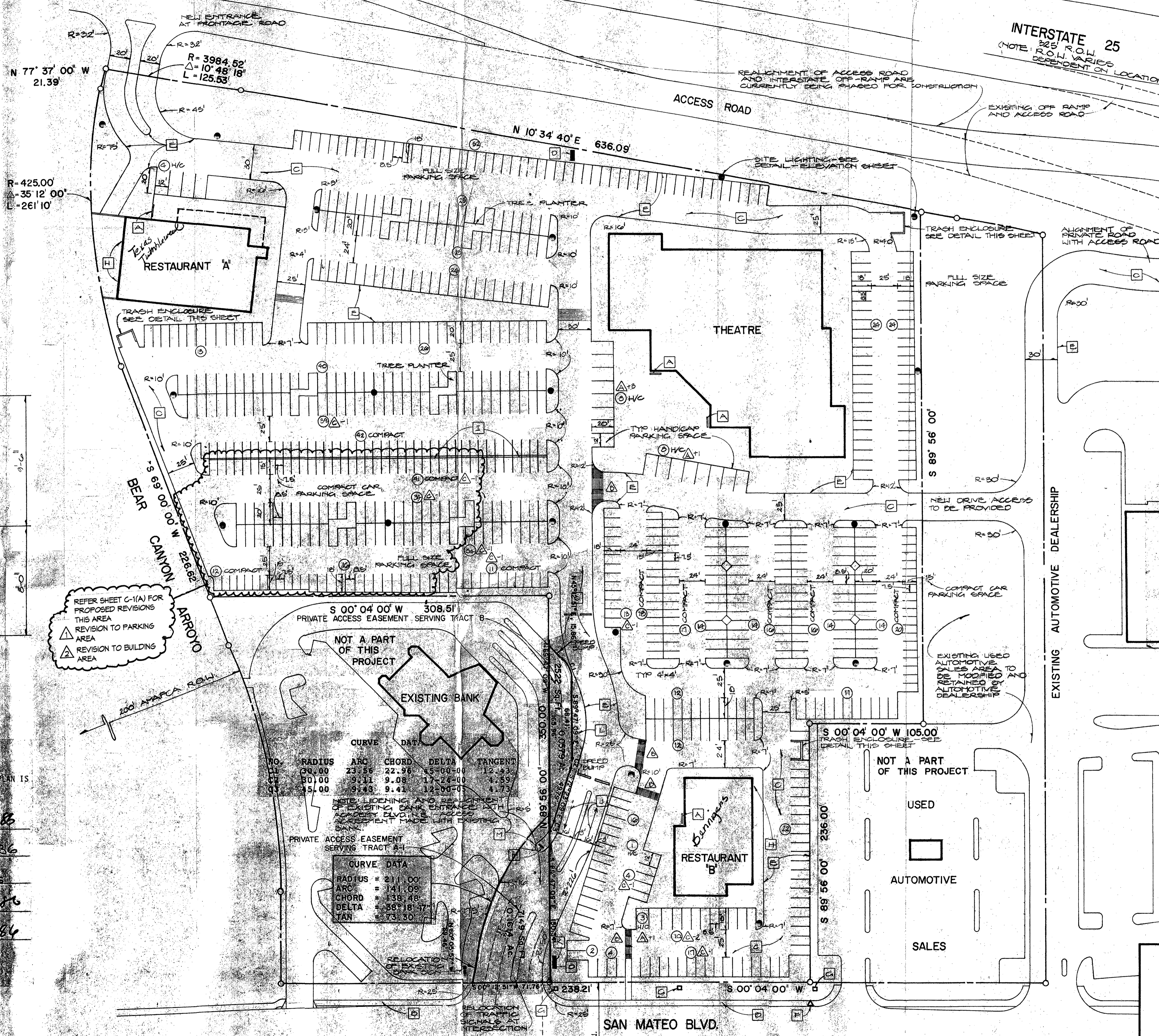


VICINITY MAP
SCALE: 1"=800'



TRASH ENCLOSURE PLAN DETAIL
SCALE: 1/4"=1'-0"

DESIGN REVIEW BOARD APPROVED AS TO REQUIREMENTS
PLANNING CASE FILE # **E-2528-1**
I CERTIFY THAT THIS PROPERTY IS ZONED C-3 AND THE DEVELOPMENT PLAN IS CONSISTENT WITH REQUIRED ZONING AND DEVELOPMENT STANDARDS.
DATE: 7-9-83
APPROVED AS TO REQUIREMENTS
Richard D'Amico 7-9-83
CITY PLANNING DIRECTOR
Rhonda J. Knight 4-22-86
CITY OF ALBUQUERQUE WATER RESOURCES DEPARTMENT
Robert J. Zouhary 6-5-86
CITY ENGINEER - AMATCA
Sam J. Rojain 6-23-86
CITY ENGINEER - AMATCA
Orlando Davis 4-22-84
PARKS AND RECREATION DEPARTMENT
LEGAL DESCRIPTION:
TRACT A-1 AND A-2; PLAT: A, B, C, A-1, & A-2; TITANIC REALTY CO.;
1/4" N. 1/4, S. 1/4, E. SEC. 26



SITE DATA

Zone Atlas Map Number: E-17-2
Site Area: 391,664 square feet, (approx.) 9 acres
Present Zoning: C-3

Building Area:
Restaurant A 9,000 300 seats
Restaurant B 7,000 250 seats
Theatre 34,516 2,116 seats

Parking Required:
Restaurant A 300 + 4 = 75
Restaurant B 250 + 4 = 63
Theatre 2,116 + 4 = 529
Total Parking Required: 667

Parking Supplied:
Compact 194 217
Full Size & Handicap 583 556
Total Parking Supplied 777 773

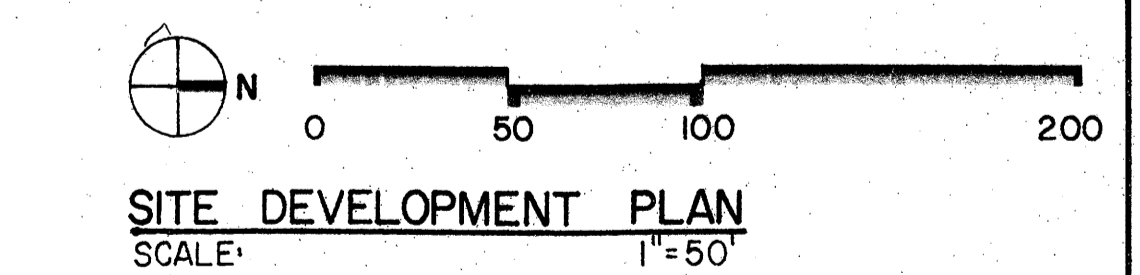
Handicap Parking Required:
Restaurant A 2% of 75 = 2
Restaurant B 2% of 63 = 2
Theatre 2% of 529 = 11
Total Handicap Parking Required = 15
Total Handicap Provided = 18 24
Bicycle Parking Required = 47
Bicycle Parking Supplied = 47

Landscaping:
Landscaping Required: 263,228 x 7% = 18,426 square feet
Landscaping Supplied: 43,418 square feet
(does not include landscaping adjacent to buildings)

- KEYED NOTES**
- A. Bicycle Rack Location
 - B. Existing Sidewalk/Gutter
 - C. Asphalt Paving
 - D. Major Freestanding Sign Location: 250 S.F. Face and 26' Height Allowance as to Current City Standards
 - E. 6" Concrete Curb - Typical
 - F. Existing Fire Hydrant
 - G. Existing Light Standards
 - H. Service Area - All Deliveries to be Made During Non-Operational Restaurant Hours
 - I. Install continuous 8" standing curb, break curb only for drainage requirements.
 - J. Paint directional arrows.
 - K. Movie marquee to be positioned out of Bank Sign sight line.
 - L. Install evergreen plant screen adjacent to driveup.
 - M. Rework radius into Bank Drive-up.
 - N. Install flashing yield sign at North entry to bank.

CHANGES TO SITE PLAN DUE TO E.P.C. COMMENTS OF FEBRUARY 20, 1986

- △ Handicap parking spaces added at each building location. Additional amount designated in specific area.
- △ Improved pedestrian access between San Mateo Blvd. and restaurant B. Also, between restaurant B and the theatre. Textured walks were added (see also landscape plan for sidewalk location).
- △ Parking space reductions or additions due to the above changes and △ change amount designated in specific area.



6301 SAN MATEO

BOHANNAN HUSTON, INC.

PROJECT TITLE
SAN MATEO THEATRE/
RESTAURANT COMPLEX

CONTENTS
SITE DEVELOPMENT PLAN
VICINITY MAP

REVISIONS	DRAWN	PAGE
A-06-86	PW	
A-10-86	CHECKED	
B-12-86	DUP	SHEET
B-21-86	PROJECT NO.	
	53180	C-1

INTERSTATE 25

ACCESS ROAD

N 77° 37' 00" W
21.39'

N 10° 34' 40" E
636.09'

S 89° 56' 00"

S 00° 04' 00" W
308.51'

S 00° 04' 00" W
105.00'

N 89° 56' 00"
350.00'

S 89° 56' 00"
236.00'

SAN MATEO BLVD.

EXISTING AUTOMOTIVE DEALERSHIP

LANDSCAPE	LEGEND
Evergreen	Austrian Pine (3 1/2" - 4" Caliper) Cedrus Deodara (1 1/2" Caliper)
Shade Trees	Ash, Locust, London Plain, Cottonwood (2" - 3" Caliper)
Ornamental	Bradford Pear, Purple Plum, Flowering Cherry, Washington Hawthorn (1 1/2" - 2" Caliper)
Screen Planting	Leylandi Cypress, Upright Juniper (5 gallon)
Foundation Shrubs	Yam Juniper, Pampas Grass, Spanish Broom, Cotoneaster (5 gallon)
Sod	

SITE AREA BREAKDOWN	
1. Parking and driveways	263,228 sq. ft.
2. Site Landscaping	43,418 sq. ft.
3. Perimeter Building planters & sidewalks	34,502 sq. ft.
4. Building pads	50,516 sq. ft.
Total Site Area	391,664 sq. ft.

Landscaping required per Comprehensive City Zoning Code - 7% of off street parking spaces including related driveways.

7% of 263,228 sq. ft. = 18,426 sq. ft.

Landscaping supplied, includes building perimeter landscape & walks = 77,920 sq. ft.

NOTES

1. Maintenance of landscaped areas is the responsibility of the individual tenant. Areas to be defined in their leases.

REFER SHEET C-2(A) FOR PROPOSED REVISIONS THIS AREA

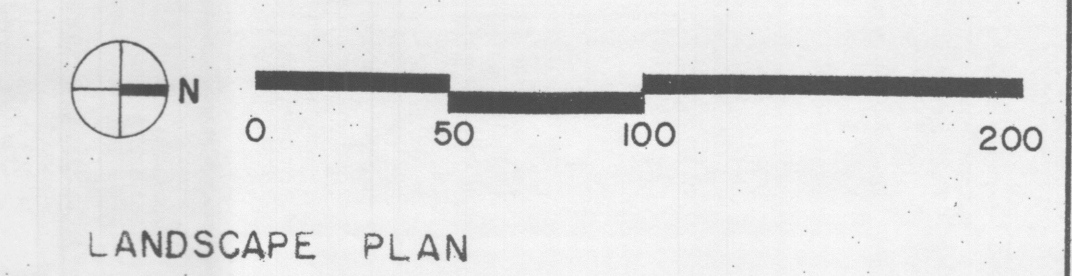
NOT A PART OF THIS PROJECT

EXISTING BANK

NOT A PART OF THIS PROJECT

IRRIGATION

TREES & SHRUBS - DRIP SYSTEM
SOD AREAS - AUTOMATIC SPRINKLER SYSTEM

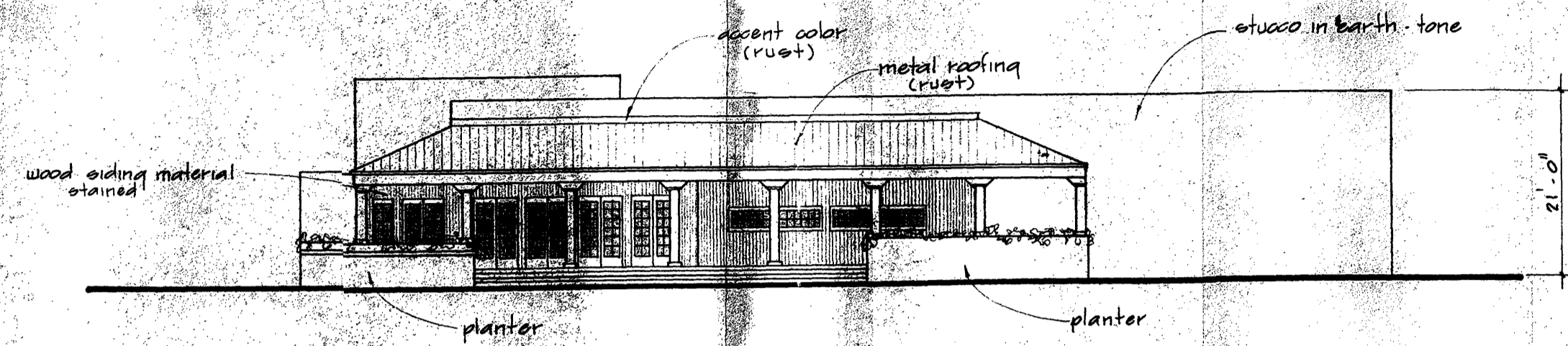


USED

AUTOMOTIVE

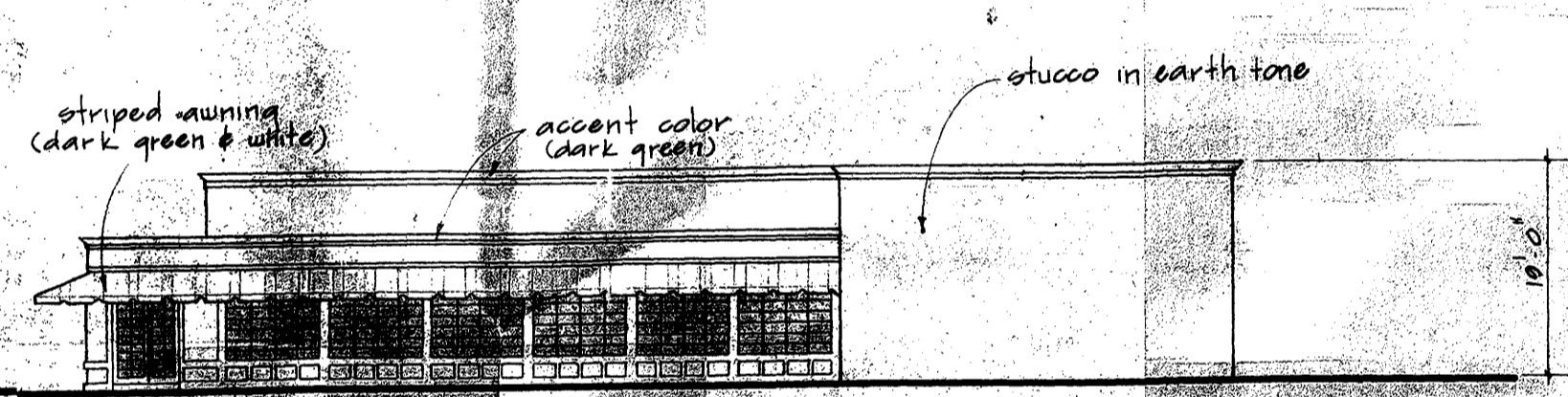
SALES

BOHANNAN HUSTON, INC.		
PROJECT TITLE SAN MATEO THEATRE/ RESTAURANT COMPLEX		
CONTENTS		
LANDSCAPE PLAN		
REVISIONS	DRAWN	PAGE
4-9-06	DJP	
5-12-06	CHECKED	
	DJP	
	PROJECT NO.	SHEET
	53180	C-2



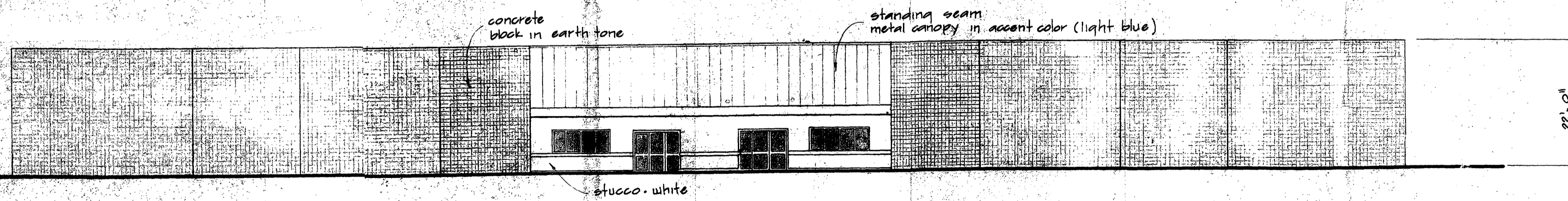
RESTAURANT A (TEXAS TUMBLEWEED)

Scale: 1/16" = 1' - 0"



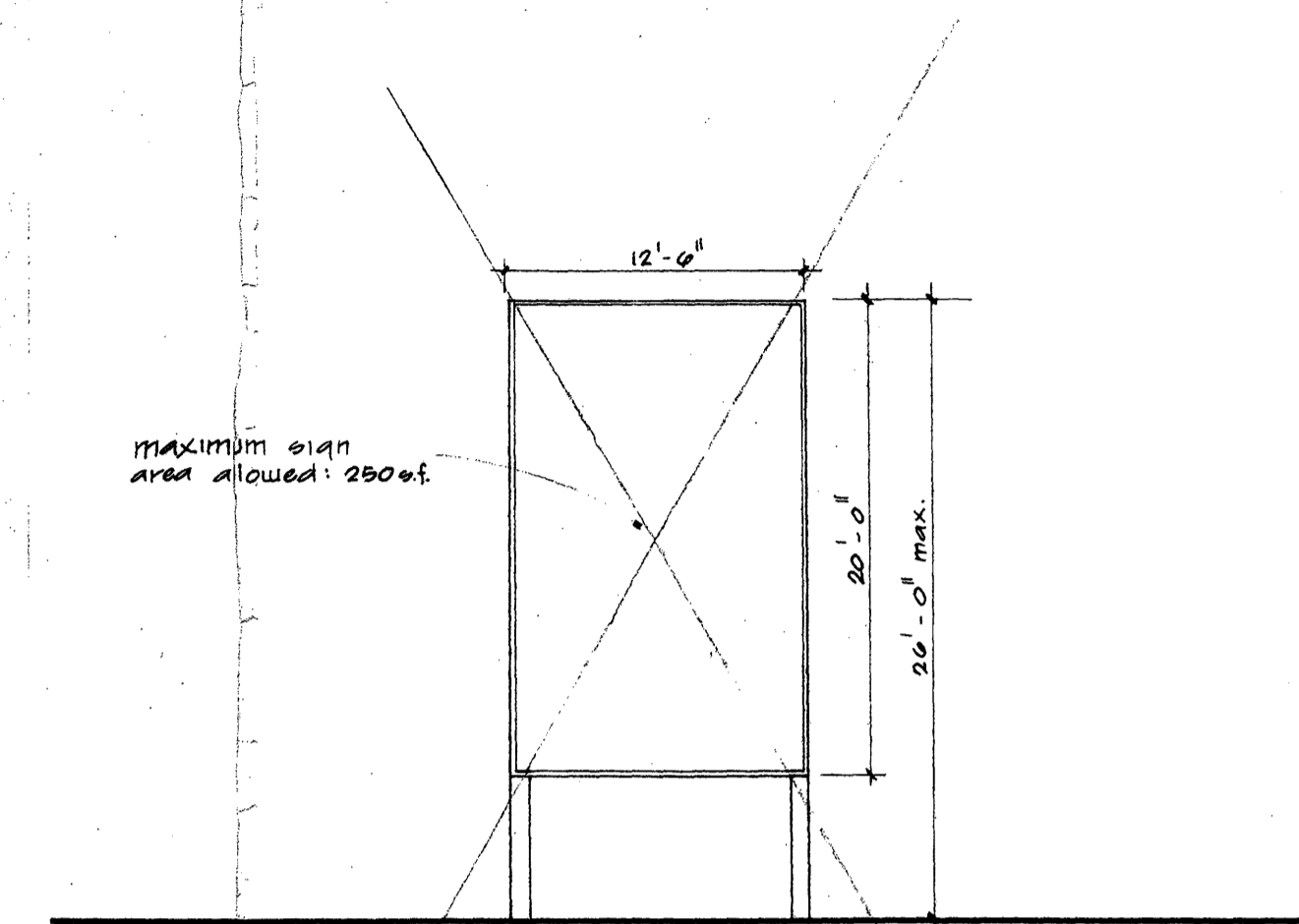
RESTAURANT B (BENNIGAN'S)

Scale: 1/16" = 1' - 0"



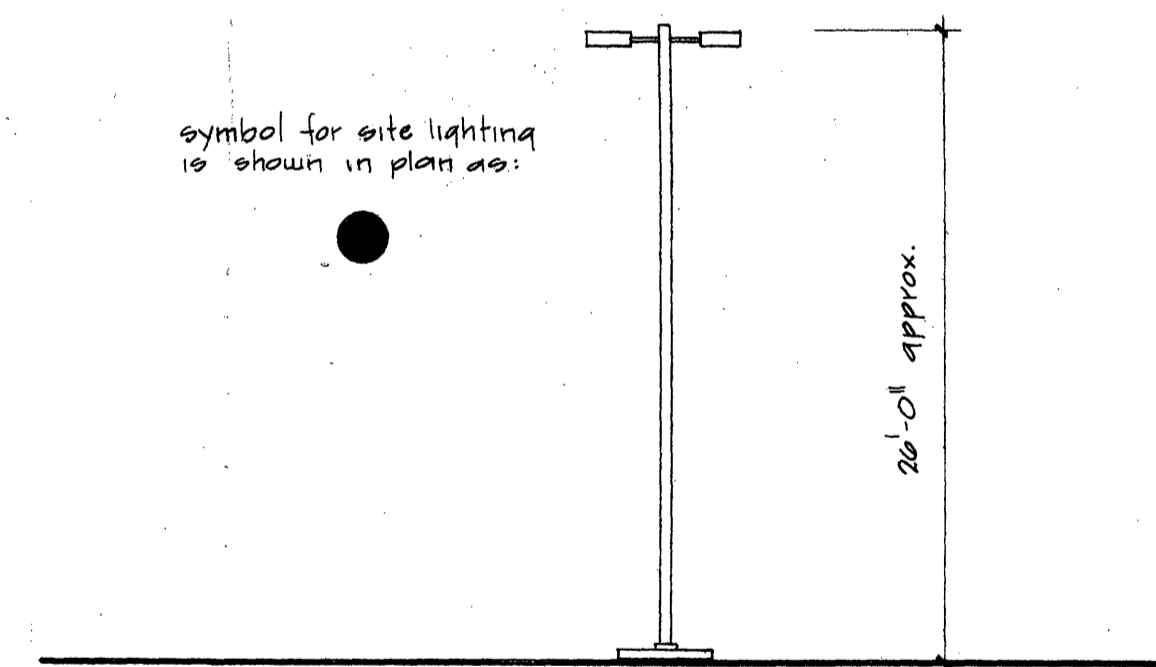
THEATRE

Scale: 1/16" = 1' - 0"




FREE-STANDING SIGNS

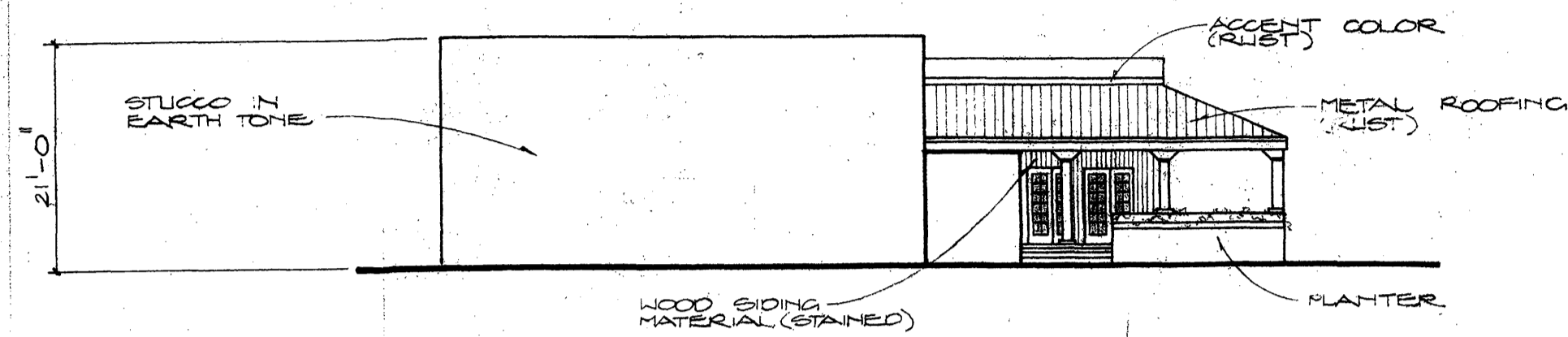
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LIGHTING

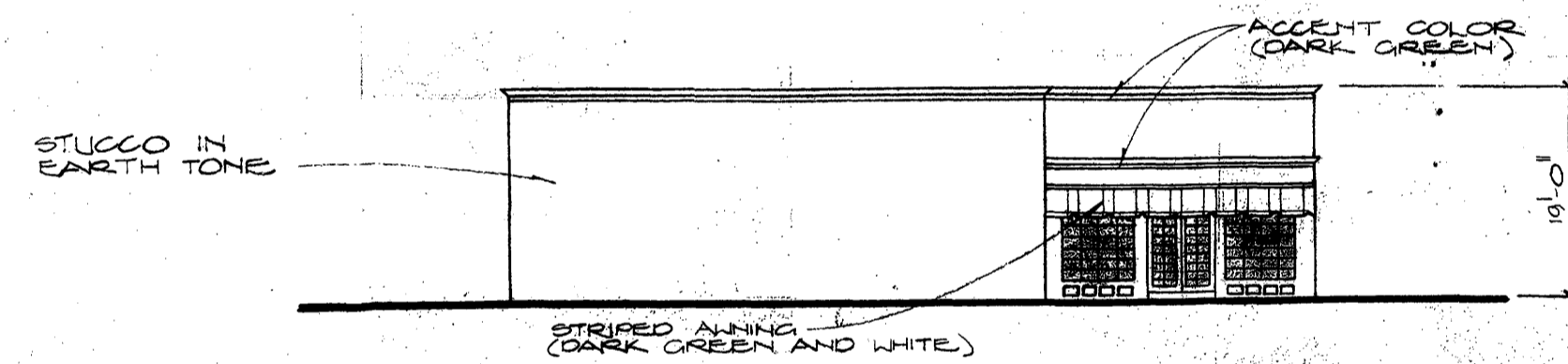
Scale: 1/8" = 1' - 0"

 BOHANNAN HUSTON, INC.		
CONTENTS ELEVATIONS, SITE DETAILS		
REVISIONS Rev 4-9-85	DRAWN jbi	DATE: DEC., 1985
	CHECKED djp	SHEET
	PROJECT NO.	C-3



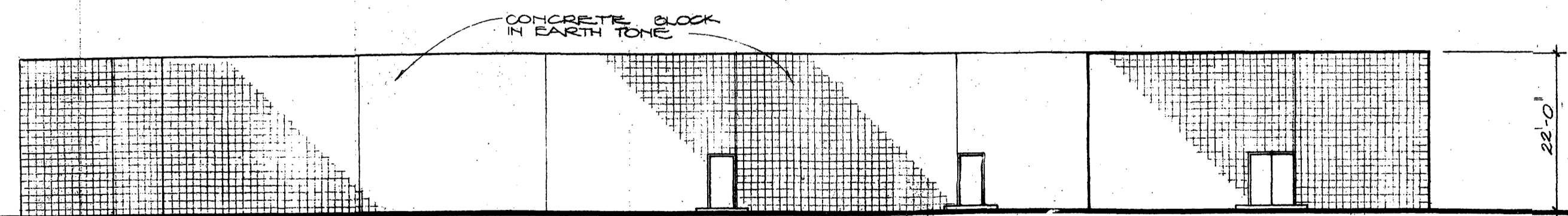
RESTAURANT A (TEXAS TUMBLEWEED)

Scale: 1/16"=1'-0"



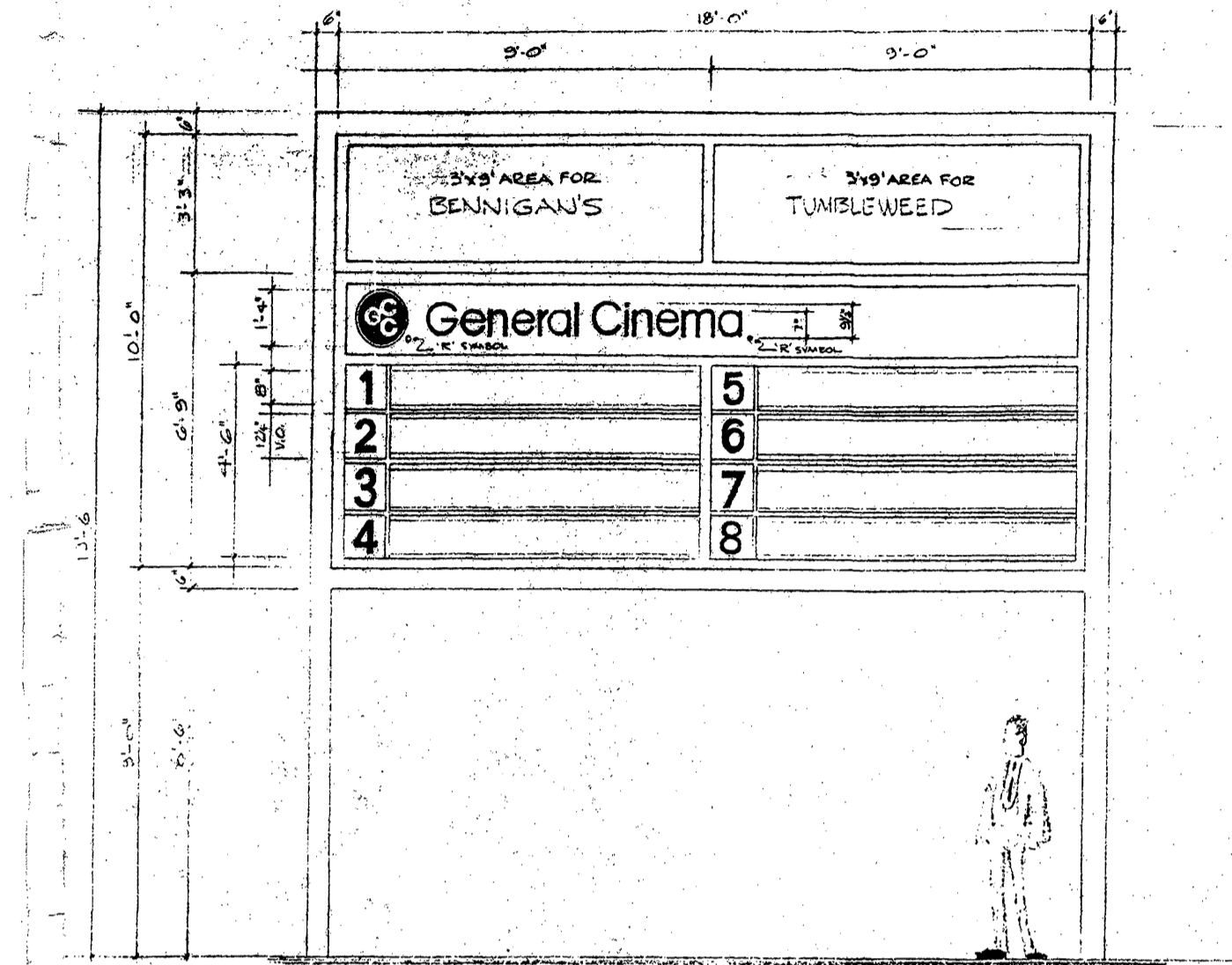
RESTAURANT B (BENNIGAN'S)

Scale: 1/16"=1'-0"

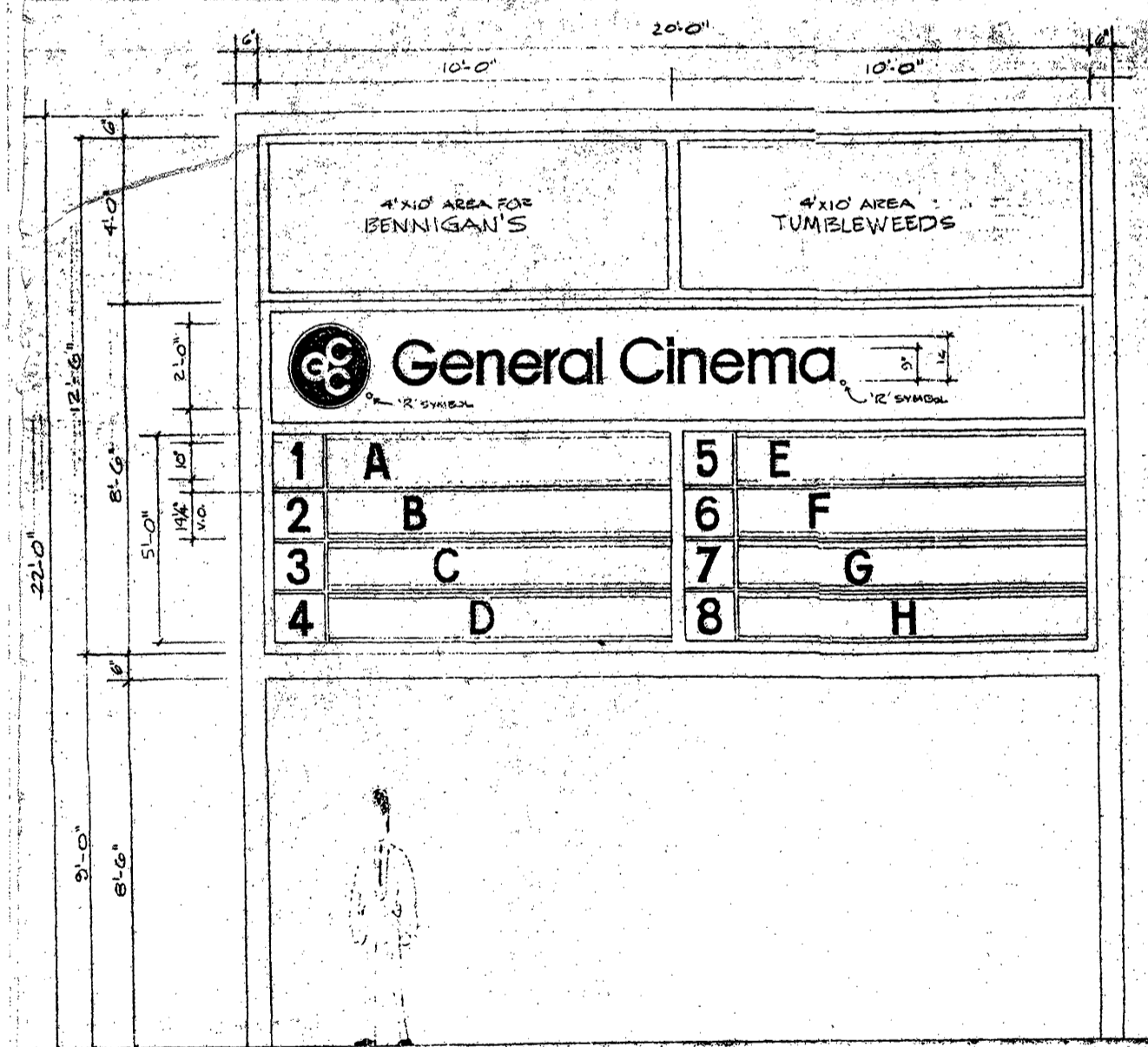


THEATRE

Scale: 1/16"=1'-0"



FRONT ELEVATION, DOUBLE FACED, INTERNALLY ILLUMINATED, FREE STANDING SIGN / ATTRACTION PANEL
1/2"=1'-0" TOTAL SIGN AREA: 10'-0" X 12'-0" X 18'-0"



FRONT ELEVATION, DOUBLE FACED, INTERNALLY ILLUMINATED, FREE STANDING SIGN / ATTRACTION PANEL
1/2"=1'-0" TOTAL SIGN AREA: 12'-0" X 12'-0" X 25'-0"

EMERGENCY
SIGNING



BOHANNAN
HUSTON, INC.

PROJECT TITLE
SAN MATEO THEATRE /
RESTAURANT COMPLEX

CONTENTS
ELEVATIONS

REVISIONS	DRAWN	PAGE
2-4-86 - P.W.	P.W.	
Rev 4-9-86	CHECKED DJP	SHEET
	PROJECT NO. 53180	C-4