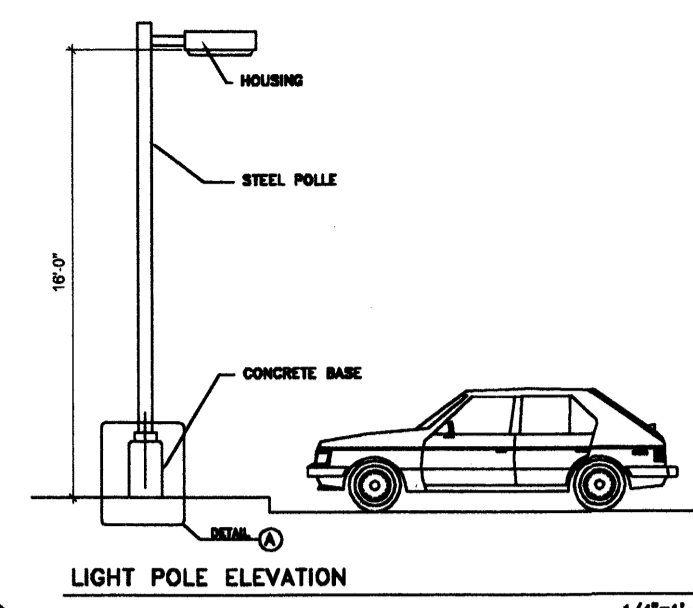


SITE SIGN



**SITE LIGHTING NOTES:**

1. SITE AREA LIGHTING SHALL BE MOUNTED ON 16" HIGH STEEL POLES, PAINTED ACCORDING TO OVERALL COLOR SCHEME OF THE PROJECT. SEE DETAIL THIS SHEET FOR FOUNDATION DETAIL.
2. SITE AREA LIGHTING SHALL NOT DIRECT LIGHT, EITHER DIRECTLY OR THROUGH REFLECTIVE DEVICES, FROM ADJACENT PROPERTIES AND SHALL NOT HAVE A CUT-OFF HEIGHT LUMINOUSITY GREATER THAN TOTAL OF 1000 FOOT LAMBERTS, MEASURED FROM THE PROPERTY LINES.
3. ALL SITE AREA LIGHTING FIXTURES SHALL USE LOW BAY PRESSURE SODIUM OR METAL HALIDE LAMPS. NO ADJUSTABLE FIXTURES SHALL BE ALLOWED.
4. LAMPHOUS FIXTURES SHALL BE 200 WATT AND ALL LIGHTING UNITS SHALL BE HOODED OR SHIELDED AS TO DIRECT ALL LIGHTING DOWNWARD.
5. ALL SITE AREA LIGHTING FIXTURES SHALL BE DEEMED AS A PART OF THE ARCHITECTURAL AND LANDSCAPE CHARACTER.

**POLE BASE DETAIL**  
1/2" = 1'-0"

ROUNDER POLE BASE COVER  
ANCHOR BOLTS AS REQUIRED (2 MIN.)  
#3 TIES @ 12" O.C.  
4 #8 REINFORCEMENT STEEL  
GRADE  
BRANCH CONNECTION AS SHOWN ON DRAWINGS

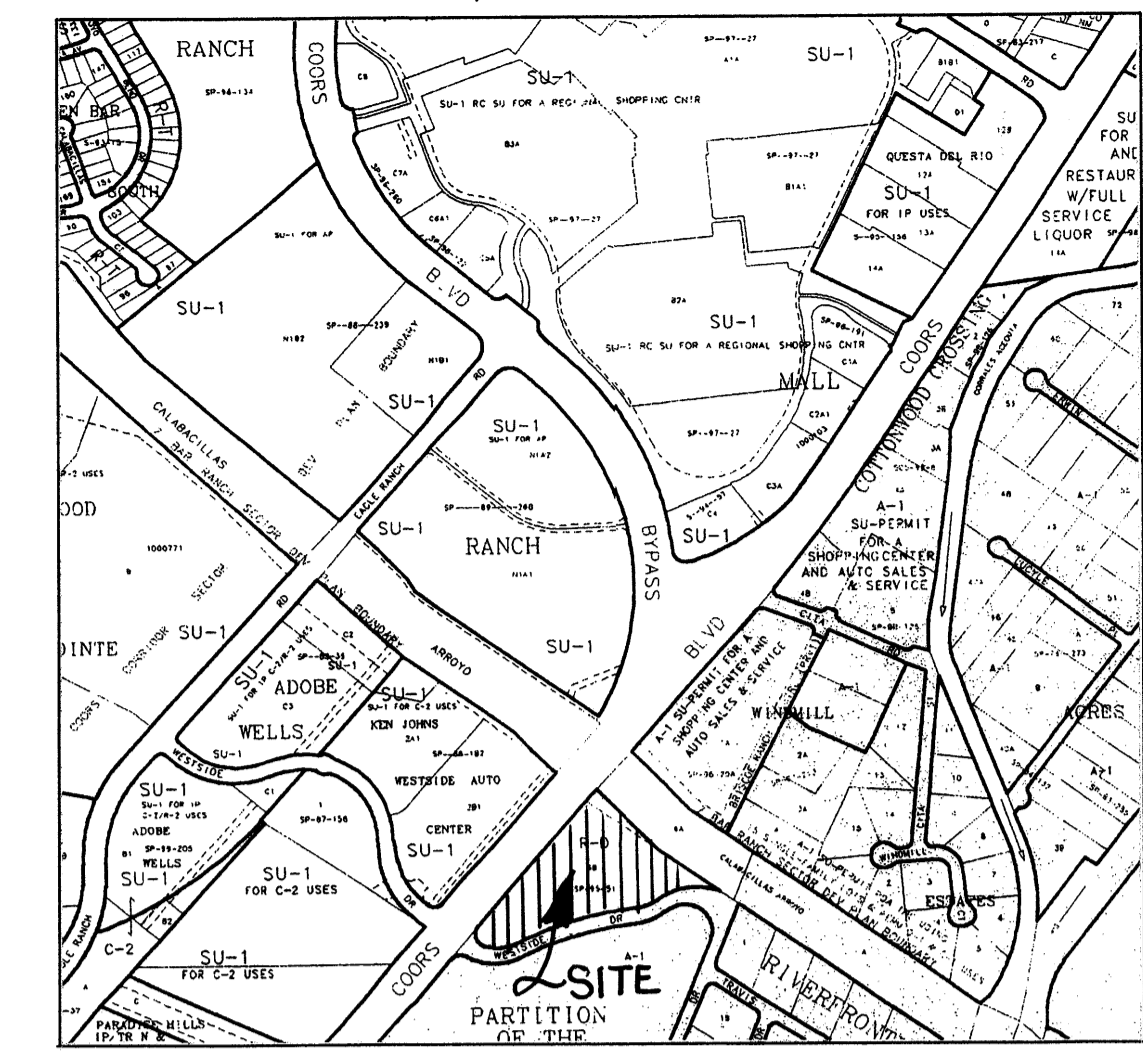
**ACCEPTABLE LIGHT FIXTURE MODEL "CHAMBERLAIN" BY BRADLEY FOR POLE MOUNTED FIXTURES. SEE ELECTRICAL FOR DETAILS.**

**INTERNATIONAL HANDICAPPED SYMBOL**  
2" GALVANIZED STEEL POLE  
4" CONCRETE SIDEWALK  
12" DIA x 4" CONCRETE FOOTING  
1/2" = 1'-0"

NOTE: SIGN AND MOUNTING HEIGHT TO BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.

HC ACCESSIBLE PARKING SIGN  
1/2" = 1'-0"

VICINITY MAP B-13/14



NORTH  
1" = 750' +/-

**GENERAL NOTES**

1. STREET WHEELCHAIR RAMPS WILL BE CONSTRUCTED PER COA STANDARD DRAWING #2441, CASE II.
2. STANDARD CURB AND GUTTER AND HEADER CURB WILL BE CONSTRUCTED PER COA STANDARD DRAWING #2415.
3. PCC VALLEY GUTTERS WILL BE CONSTRUCTED PER COA STANDARD DRAWING #2420.
4. STREET SIDEWALKS WILL BE CONSTRUCTED PER COA STANDARD DRAWING #2436.
5. STREET GEOMETRY AND PAVEMENT SHALL COMPLY WITH CITY OF ALBUQUERQUE SPECIFICATIONS AND STANDARD DETAILS.

**SITE DATA**

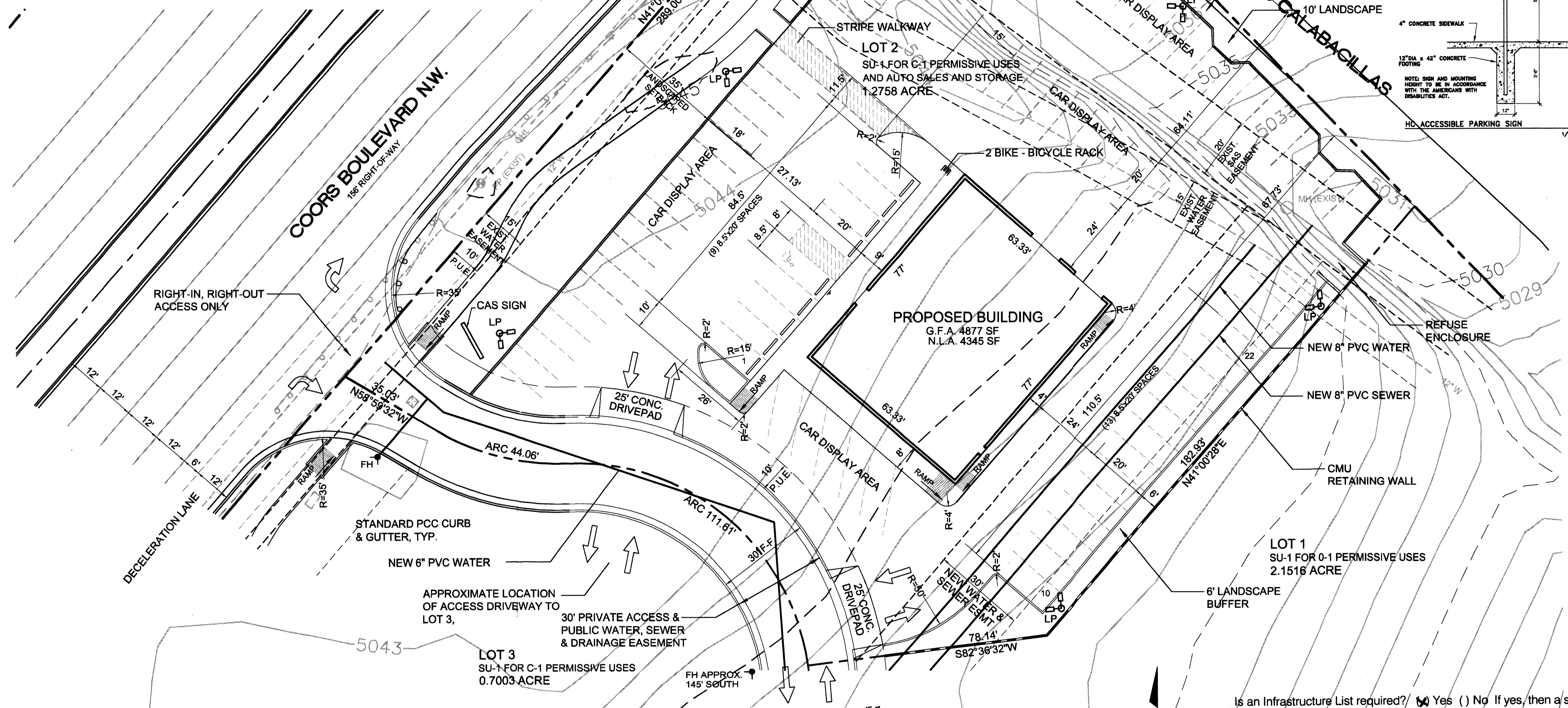
Site Area: 1.2758 Acres  
Zoning: SU-1/C-1 Permissive Uses and Auto Sales and Storage  
Legal Description: Lot 2, CAS Addition  
Total Building Area: 4877 S.F.  
Net Leasable Area: 4345 S.F.  
Parking Required: 4345/200 = 21.7, Use 22 spaces  
Parking Provided: 22 spaces  
Handicap Parking Required: 1 space (1 per 20 parking spaces)  
Handicap Parking Provided: 1 space  
Bicycle Parking Required: 2 spaces (1 per 20 parking spaces)  
Bicycle Parking Provided: 2 spaces

PROJECT NUMBER: 1002529  
DRB Application Number: 05 DRB 00213

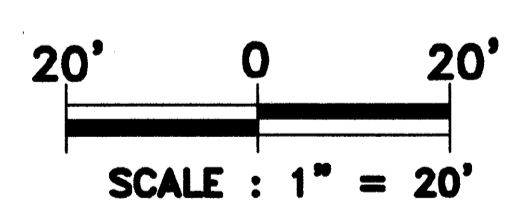
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated Jan 21<sup>st</sup>, 2005 and the Findings and Conditions in the Official Notification of Decision are satisfied.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>[Signature]</i> Traffic Engineering, Transportation Division	3-16-05 Date
<i>[Signature]</i> Utilities Development	2-16-05 Date
<i>[Signature]</i> Christina Sandoval Parks and Recreation Department	2/16/05 Date
<i>[Signature]</i> Bradley D. Bingham City Engineer	2/16/05 Date
<i>[Signature]</i> * Environmental Health Department (conditional)	Date
<i>[Signature]</i> Michael Helton Solid Waste Management	2-8-05 Date
<i>[Signature]</i> Sharon Matson DRB Chairperson, Planning Department	2/16/05 Date

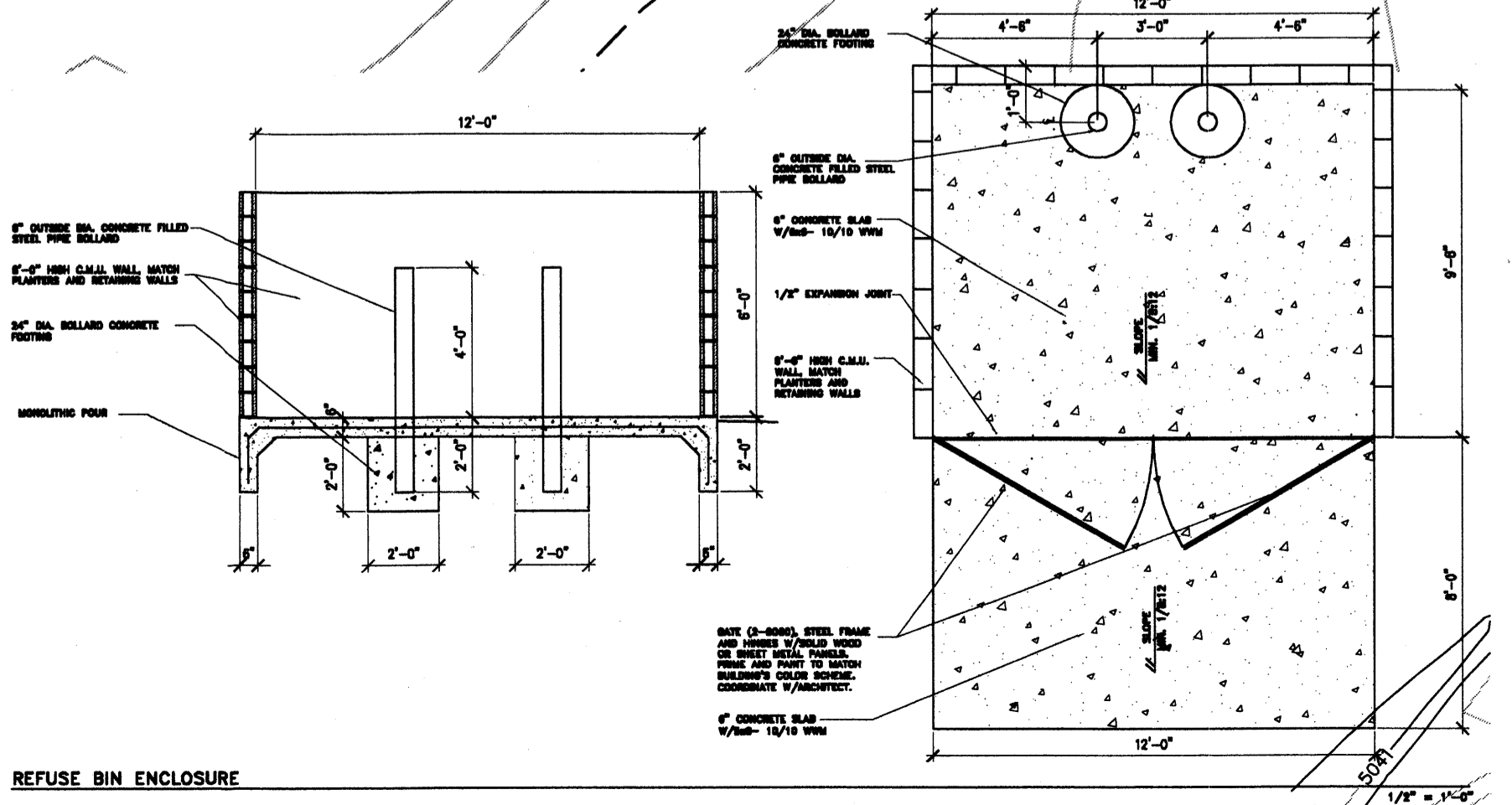


Is an Infrastructure List required?  Yes  No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.



**LEGEND**

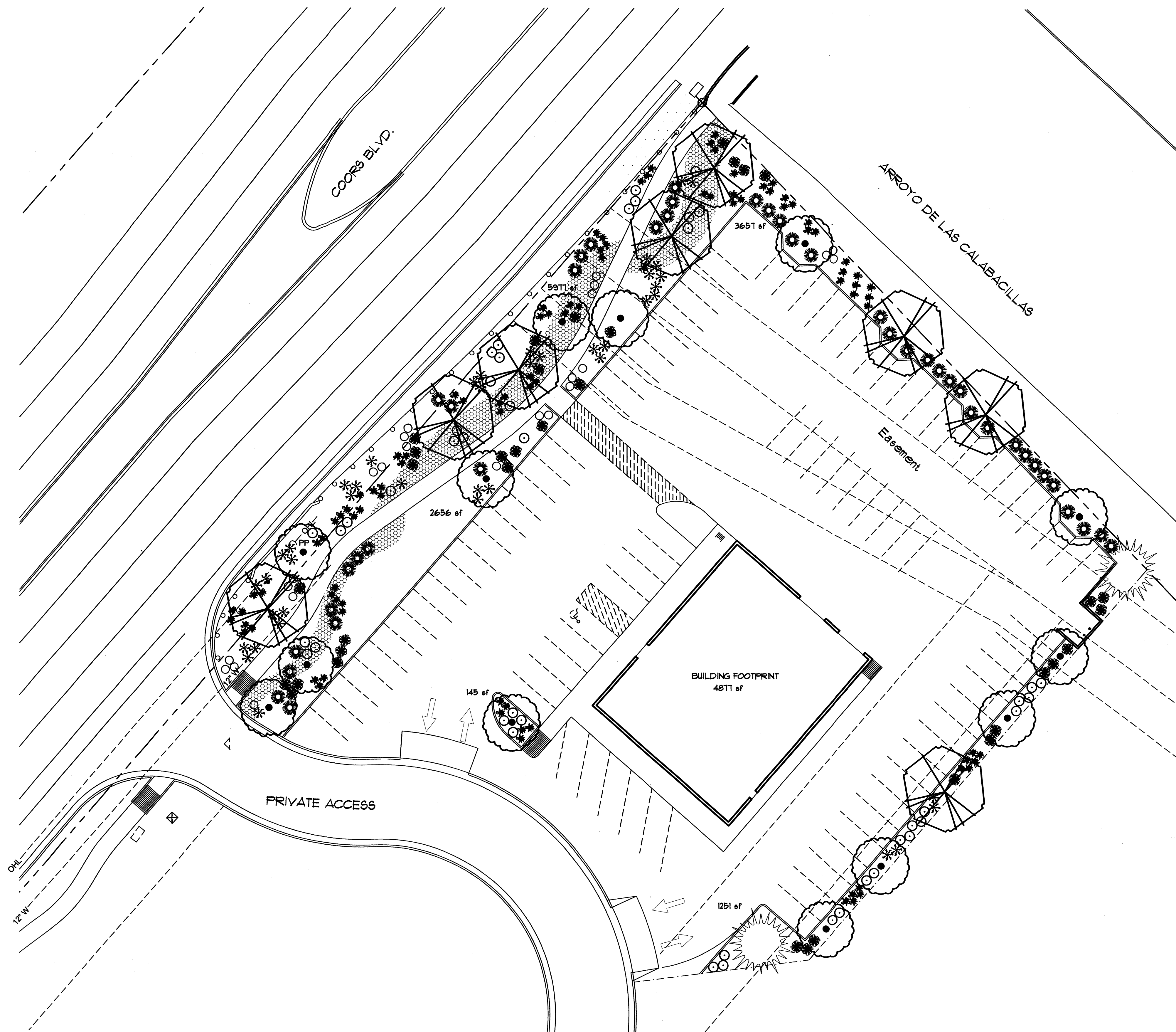
- LP PROPOSED LIGHT POLE - 16' HT.
- HC PROPOSED HC PARKING SIGN
- BR PROPOSED BIKE RACK ON CONCRETE PAD
- FH PROPOSED FIRE HYDRANT
- OS PROPOSED STOP SIGN
- VD PROPOSED VEHICULAR TRAFFIC FLOW DIRECTION
- WC PROPOSED CONCRETE WHEEL STOP
- OP EXISTING OVERHEAD POWER LINE(S)
- PP EXISTING POWER POLE
- W EXISTING WATER LINE



**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
924 Park Avenue SW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

	<b>BORDENAVE DESIGNS</b> P.O. BOX 91194, ALBUQUERQUE, NM 87199 PHONE: (505) 823-1344 FAX: (505) 821-9105 jakebordenave@mindspring.com	PROJECT TITLE:	<b>CAS AUTO SALES</b>
		SHEET TITLE: <b>SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR LOT #2</b>	
DRAWN BY:	CHECKED BY:	FIELD WORK BY:	DATE:
METO	JJB	BASELINE	11/22/04
MAP NO:	B-13-Z	JOB NO:	0408
SHEET		OF	

PROJ# 1002529



**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Size	Installed Size	Mature Size	Water Use
<b>Trees</b>						
2		<i>Fraxinus oxycarpa</i> 'Raywood' Raywood Ash	2" B&B	14' ht. x 6' spr.	35' ht. x 30' spr.	Medium+
8		<i>Pinus nigra</i> Austrian Pine	B&B	6' min. ht.	35' ht. x 25' spr.	Medium
13		<i>Pistachia chinensis</i> Chinese Pistache	2" B&B	14' ht. x 6' spr.	60' ht. x 60' spr.	Medium +
<b>Shrubs/Groundcovers</b>						
35		<i>Chrysothamnus nauseosus</i> Chamisa	1-Gal.	5' o.c.	4' ht. x 4' spr.	Low
47		<i>Hesperaloe parviflora</i> Red Yucca	1-Gal.	3' o.c.	3' ht. x 3' spr.	Medium
42		<i>Juniperus sabinia</i> 'Tan' Tan Juniper (female)	5-Gal.	6' o.c.	2' ht. x 6' spr.	Low +
24		<i>Lonicera halliana</i> Halls Honeysuckle	5-Gal.	3' o.c.	5' ht. x 5' spr.	Medium
44		<i>Perovskia atriplicifolia</i> Russian Sage	1-Gal.	5' o.c.	4' ht. x 5' spr.	Medium
<b>Ornamental Grasses</b>						
42		<i>Miscanthus sinensis</i> Maiden Hair Grass	5-Gal.	4' o.c.	5' ht. x 4' spr.	Low

2,379 sf COBBLE

**MULCHES**  
All shrub planting areas shall be top dressed with crusher fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Cobble

**IRRIGATION SYSTEM**  
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

**MAINTENANCE RESPONSIBILITY**  
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

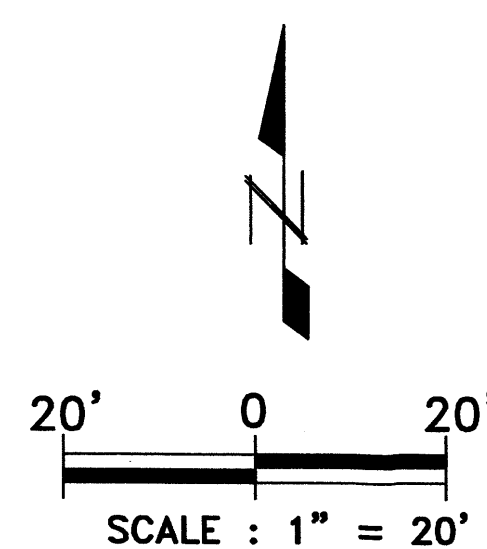
**LANDSCAPE NOTE**  
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area, and shall be in compliance with the Water Conservation Ordinance. Seventy-five percent of the landscape area shall be covered with living plant material, as measured by the mature canopy of the plant. The calculation to determine the landscape area shall be based on the mature canopy size of all plant material.

**LANDSCAPE REQUIREMENTS**

Site Area: 128 acres	55,151 SF
Building Footprint:	4,811 SF
Total Area:	50,340 SF
Required Landscape %:	.15
Landscape Area Required:	7,632 SF
Landscape Area Provided:	(27%) 13,686 SF

**GENERAL LANDSCAPE NOTES**

- Prior to beginning work on the project, the Landscape Contractor shall review the project in the field with the Owner's Representative.
- If discrepancies occur between the drawings and the site, the Landscape Contractor shall notify the Owner's Representative for clarification prior to proceeding on that portion of work.
- All planting areas are to have weeds and competitive vegetation removed prior to preparation for planting.
- All existing plant materials shall be protected during construction. Damaged materials shall be replaced in kind at the Contractor's expense.
- Plant quantities are provided for Contractor's convenience only, plans shall take precedence.
- The Owner's Representative shall approve all plant material prior to planting. In addition, the Owner's Representative reserves the right to refuse any plant material deemed unacceptable, the Owner's Representative approve any and all substitutions.
- It is the Landscape Contractor's responsibility to locate all underground utilities prior to commencement of planting operations.
- Planting areas shall be top dressed with 3" layer of Santa Fe Brown rock over Mirafloes weed control fabric unless noted otherwise.
- The landscape buffer along Coors Boulevard shall be in compliance with the Coors Corridor Sector Development Plan regarding the street landscape buffer coverage standard 50% (Issue 4, Visual Impressions and Urban Design Overlay Zone, B. Site Planning and Architecture, Policy 3 and 4, Front Landscape Street Yard Site and Landscaping, p 31 and 33).



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<b>BORDENAVE DESIGNS</b> P.O. BOX 91194, ALBUQUERQUE, NM 87199 PHONE (505) 823-1344 FAX (505) 821-9105 jakebordenave@mindspring.com	PROJECT TITLE:	<b>CAS AUTO SALES</b>
	SHEET TITLE:	<b>COORS BOULEVARD N.W. PLANTING PLAN</b>
DRAWN BY: METO	CHECKED BY: JJB	FIELD WORK BY: BASELINE
DATE: 02/08/05	MAP NO: B-13-Z	JOB NO: 0408
		SHEET 2 OF 5

**DRAINAGE NOTES**

1. THE EXISTING SITE IS IN ITS NATURAL STATE EXCEPT FOR A SMALL TRIANGULAR AREA ALONG THE NORTHERLY BOUNDARY. THIS SMALL AREA WAS GRADED DURING THE CONSTRUCTION OF THE LAS CALABACILLAS CHANNEL. IN TERMS OF VEGETATION, THE DISTURBED AREA HAS RETURNED TO ITS NATURAL STATE. THE DISTURBED AREA DRAINS TO THE LAS CALABACILLAS AND THE BALANCE OF THE SITE FLOWS EASTERLY TO AN EXISTING TYPE D CATCH BASIN WHICH DISCHARGES TO THE LAS CALABACILLAS.

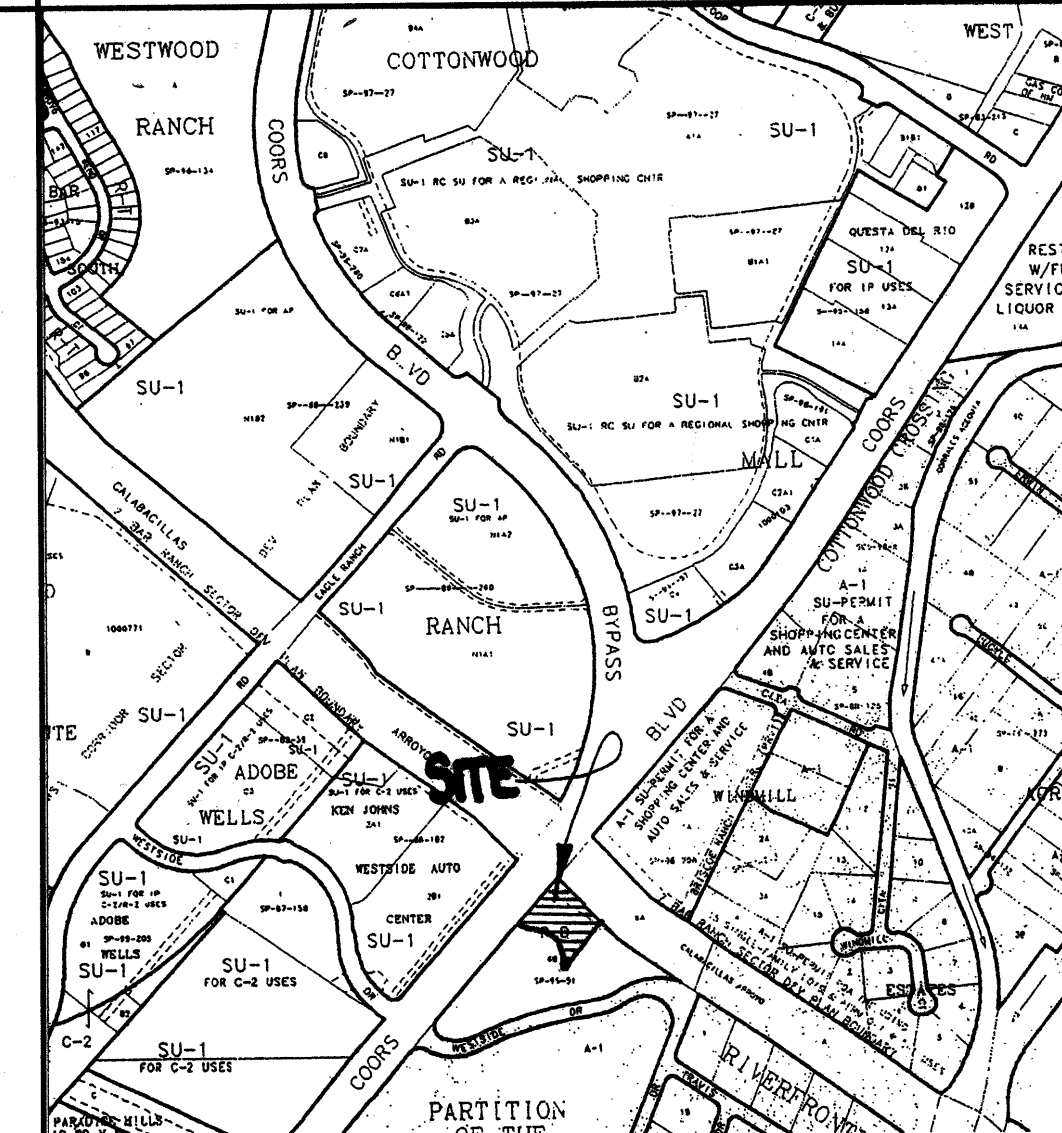
2. THE DEVELOPED SITE WILL BE GRADED TO ROUTE UNCONTROLLED RUNOFF TO THE PRIVATE ACCESS, PUBLIC CRAINAGE EASEMENT ALONG THE SOUTHERLY BORDER OF THE SITE. FLOW DIRECTIONS WILL BE CONTROLLED THROUGH THE USE OF CURBS AND SWALES. RETAINING WALLS AT OR NEAR PROPERTY LINES WILL BE USED TO TRANSITION FROM THE ALTERED GRADES ONSITE TO THE EXISTING GRADES ON ADJACENT PROPERTIES.

**LEGEND**

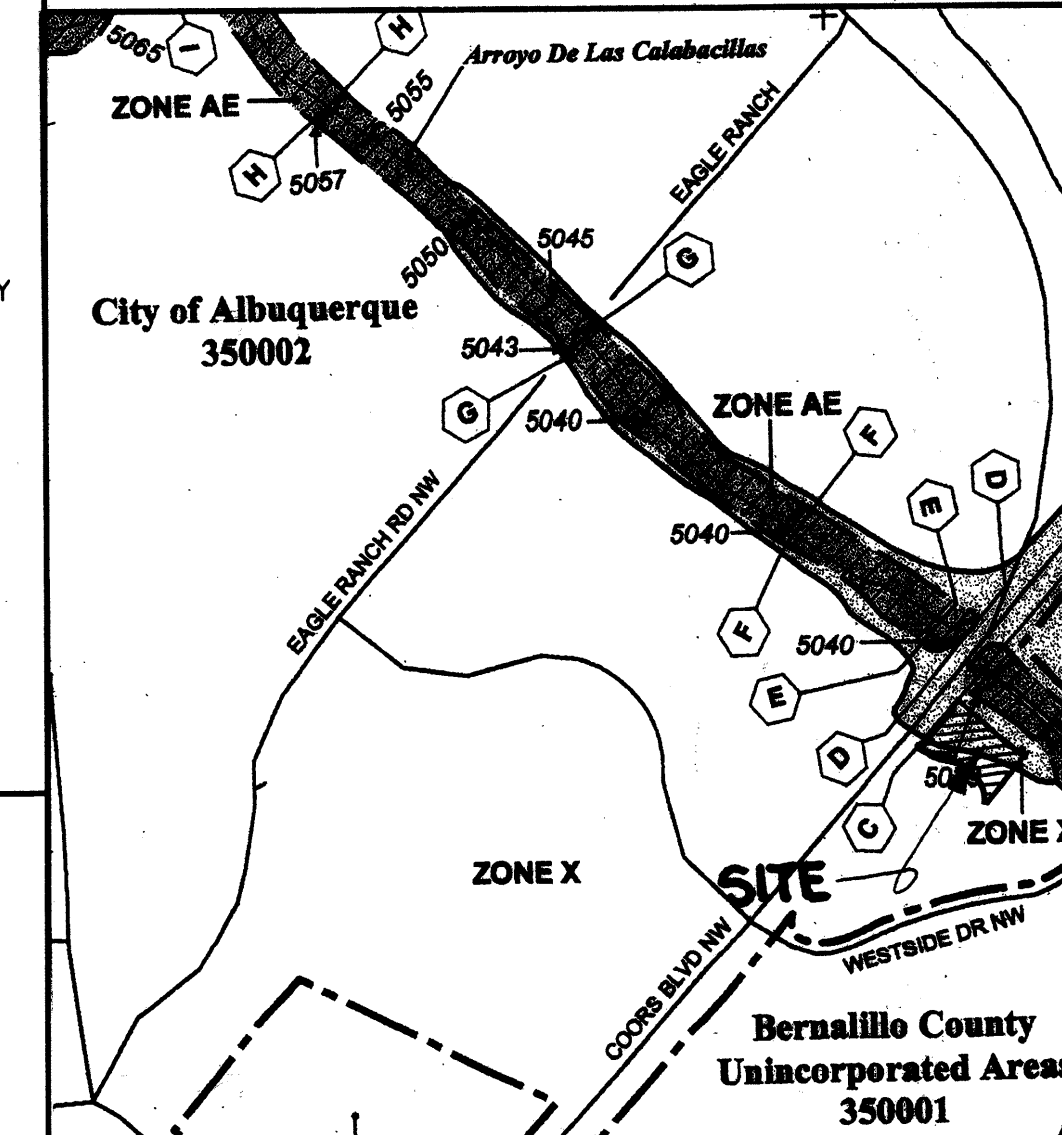
- TBM TEMPORARY BENCHMARK
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TCP TOP OF CONCRETE
- TC TOP OF CURB
- TP TOP OF EARTH PAD
- TS TOP OF SIDEWALK
- TW TOP OF WALL
- FH FIRE HYDRANT
- WM WATER METER
- WV WATER VALVE
- MH MANHOLE
- CB CATCH BASIN GRATE
- GM GAS METER
- GV GAS VALVE
- LP LIGHT POLE
- PP POWER POLE
- GW GUY WIRE
- PED ELEC. OR TEL. PEDESTAL
- RD ROOF DRAINAGE POINT

- FEMA FLOODPLAIN BOUNDARY
- DRAINAGE BASIN BOUNDARY
- EROSION SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- RECORD SPOT ELEVATION

**VICINITY MAP B-13**

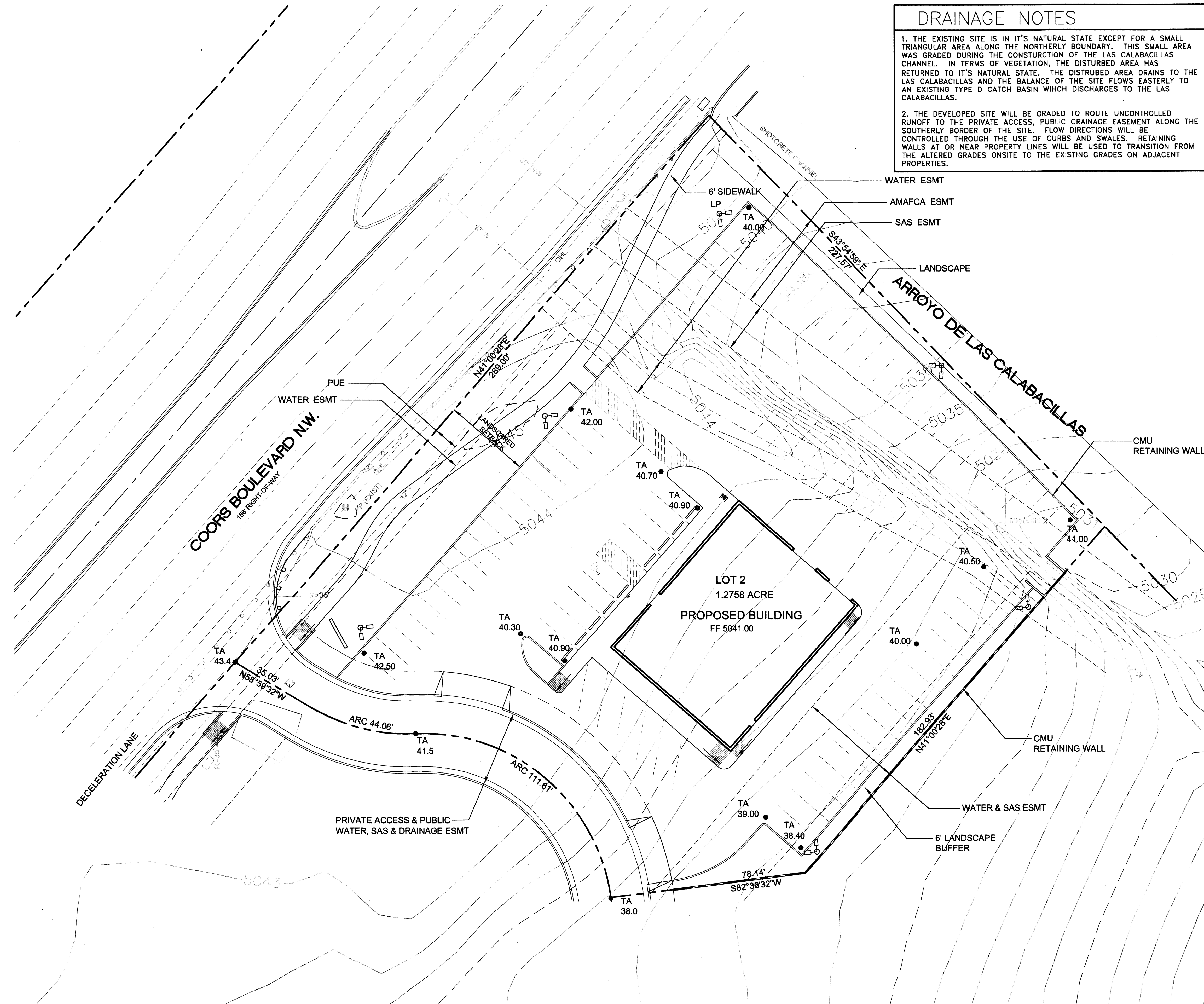
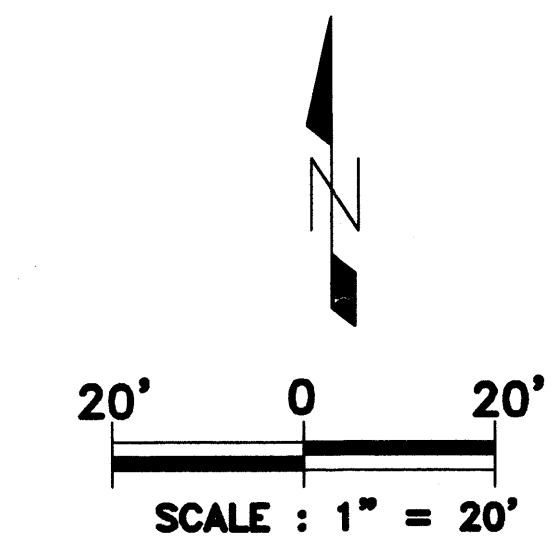


**FEMA FIRM PANEL 108**



**DRAINAGE DATA**

CONDITION	I	B	S	T	T	P	R	R	R	
										PERIOD
		AREA	PRECIPITATION	EXCESS	PEAK	RUNOFF	RUNOFF	RUNOFF	RUNOFF	
		sq. ft.	in.	in.	cfs	cu ft.	cfs	cfs	cfs	
EXISTING	I	T	E	10	A	0	0.08	0.24	0	0.00
				B	0	0.22	0.76	0	0.00	
				C	4520	0.44	1.49	198	0.15	
				D	51054	1.24	2.89	5279	3.39	
TOTAL		55574			5441	3.54				
DEVELOPED	I	T	E	10	A	0	0.44	1.29	0	0.00
				B	0	0.87	2.03	0	0.00	
				C	4520	0.99	2.87	373	0.30	
				D	51054	1.97	4.37	8381	5.12	
TOTAL		55574			8754	6.42				
EXISTING	I	T	E	10	A	0	0.08	0.24	0	0.00
				B	0	0.22	0.76	190	0.18	
				C	4520	0.44	1.49	4671	3.00	
				D	51054	1.24	2.89	4671	3.00	
TOTAL		55574			4671	3.18				
DEVELOPED	I	T	E	10	A	0	0.44	1.29	0	0.00
				B	10370	0.87	2.03	579	0.49	
				C	4520	0.99	2.87	0	0.00	
				D	45204	1.97	4.37	7421	4.83	
TOTAL		55574			8000	5.02				



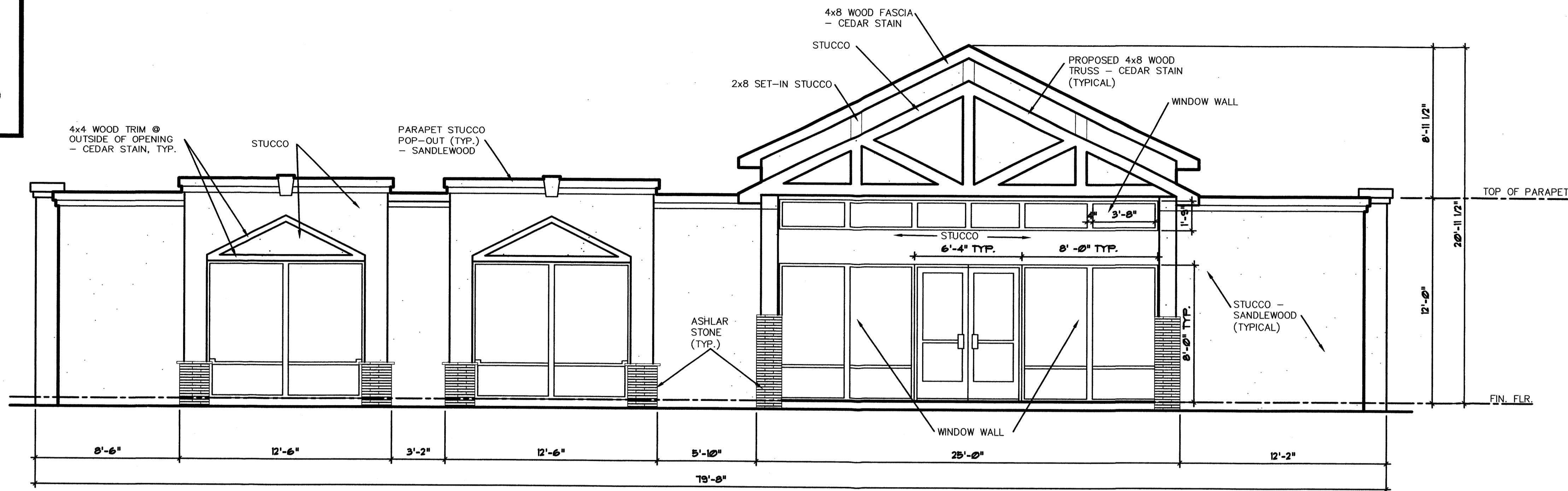
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 jakebordenave@mindspring.com

PROJECT TITLE:  
**CAS AUTO SALES**  
 COORS BOULEVARD NW.  
 SHEET TITLE:  
**CONCEPTUAL GRADING PLAN FOR LOT #2**  
 MAP NO: B-13-Z JOB NO: 0408 SHEET: 2 OF 5

DRAWN BY: METO	CHECKED BY: JJB	FIELD WORK BY: BASELINE	DATE: 11/22/04
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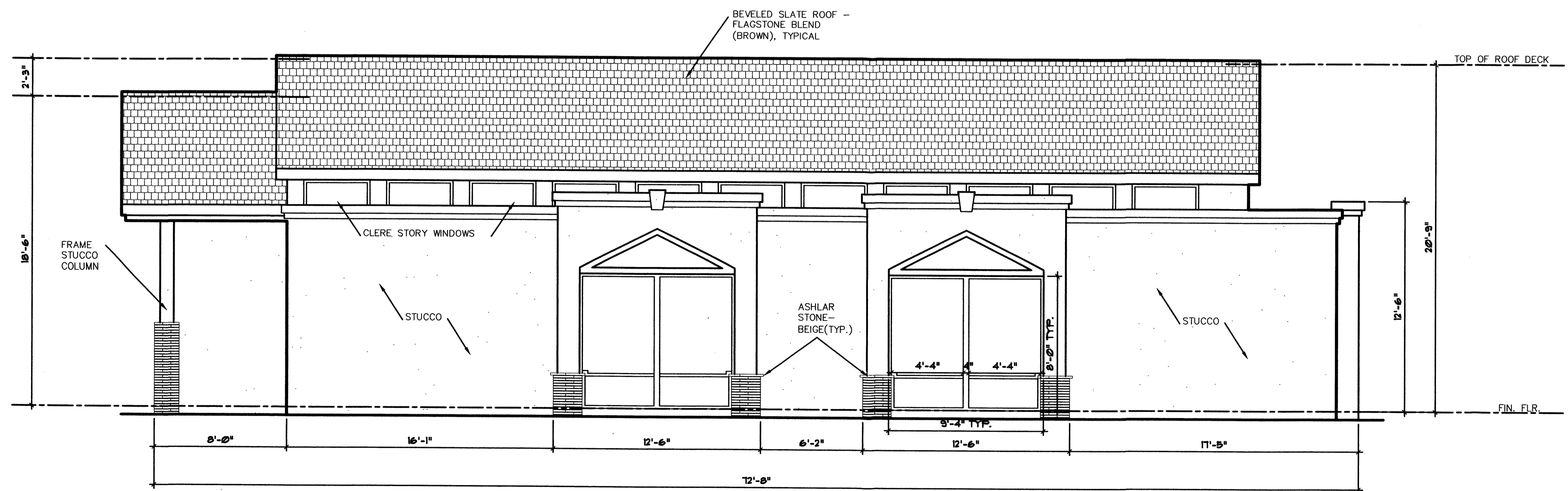
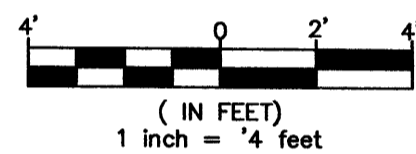
NOTE:  
 STUCCO SANDLEWOOD  
 WOOD CEDAR STAIN  
 ASHLAR STONE BEIGE  
 ROOF FLAGSTONE BLEND (BROWN)



WEST ELEVATION

Scale : 1/4" = 1'-0"

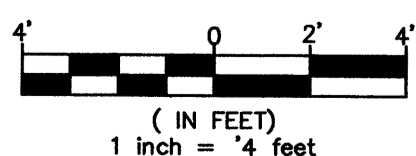
GRAPHIC SCALE



SOUTH ELEVATION

Scale : 1/4" = 1'-0"

GRAPHIC SCALE



NOTE:  
 BUILDING MOUNTED SIGNS SHALL BE LIMITED TO 6% OF THE FACADE. INDIVIDUAL CHANNEL LETTERS WITH A MAXIMUM 2'x2' LOGO. THE EAST AND SOUTH ELEVATION SIGNAGE SHALL NOT BE LIT.

ROBERT C. PONTO - ARCHITECT  
 9505 DANCING RIVER DRIVE  
 ALBUQUERQUE, N.M. 87114  
 PHONE & FAX 890-0025 CEL. 610-6160

AUTO SALES BUILDING FOR  
 CAS LLC  
 5204 LOMAS N.E.  
 ALBUQUERQUE, N.M.

WEST & SOUTH ELEVATIONS

DRAWN BY: RAR

CHECKED BY:

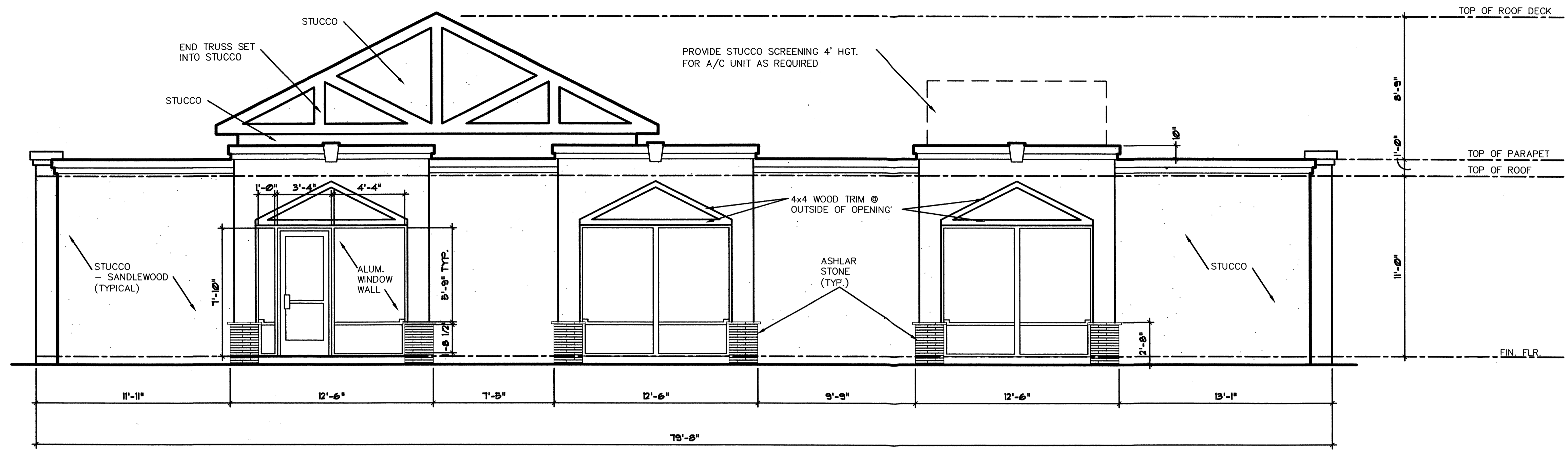
DATE: 12.02.04

SCALE: AS SHOWN

JOB NUMBER: 0351

SHEET: 4 of 5

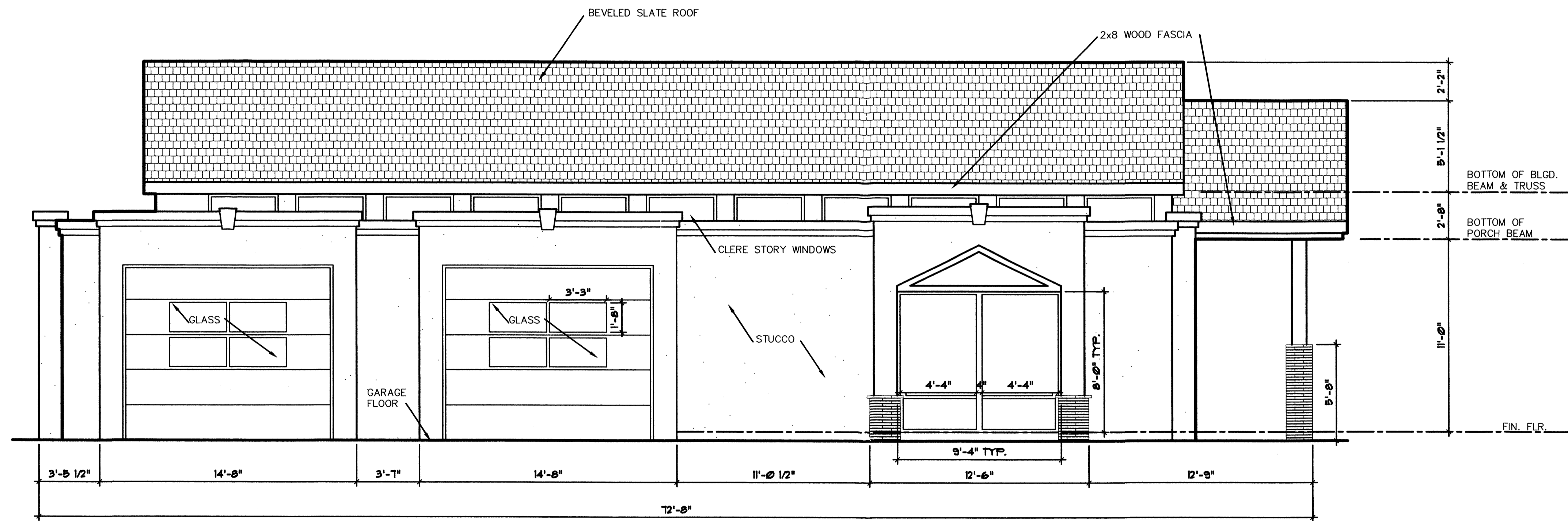
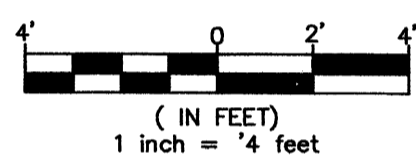
A1



**EAST ELEVATION**

Scale : 1/4" = 1'-0"

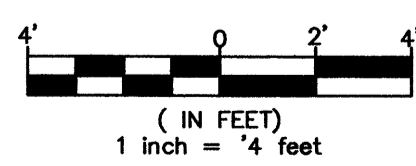
GRAPHIC SCALE



**NORTH ELEVATION**

Scale : 1/4" = 1'-0"

GRAPHIC SCALE



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 PHONE & FAX 890-0025 CEL. 610-6160

AUTO SALES BUILDING FOR  
**CAS LLC**  
 5204 LOMAS N.E.  
 ALBUQUERQUE, N.M.

**EAST & NORTH  
 ELEVATIONS**

DRAWN BY:  
 RAR

CHECKED BY:

DATE:  
 12.02.04

SCALE:  
 AS SHOWN

JOB NUMBER:  
 0351

SHEET: 5 of 5

**A2**