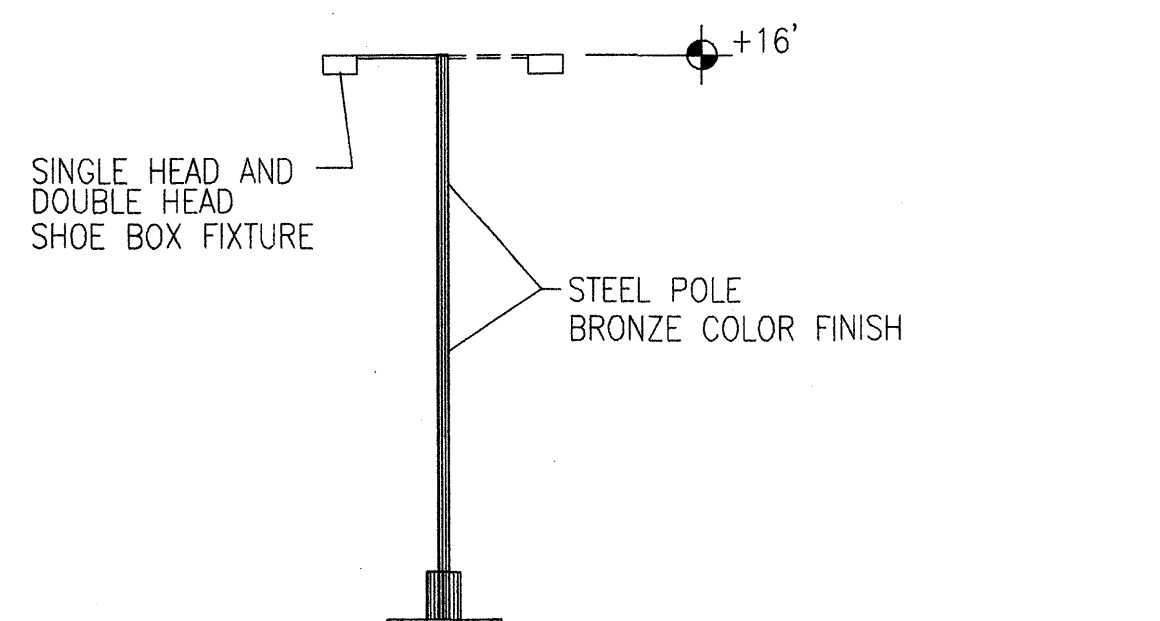
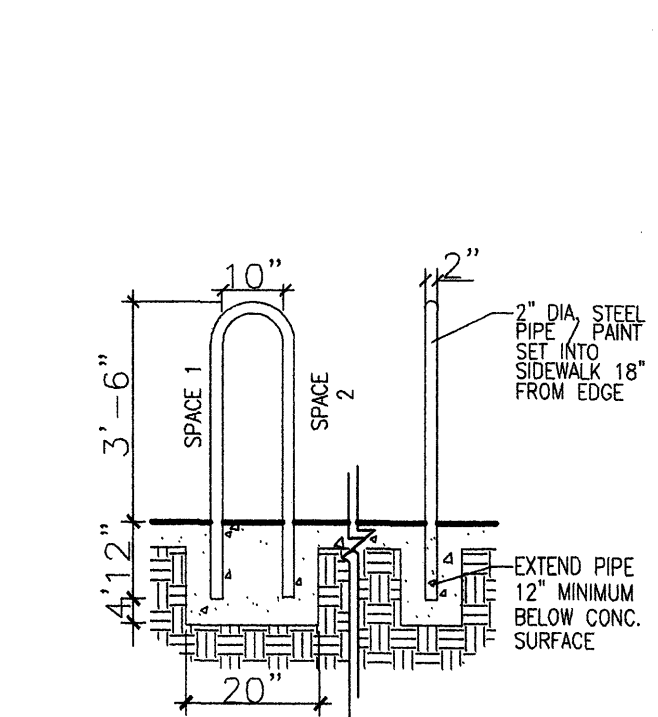


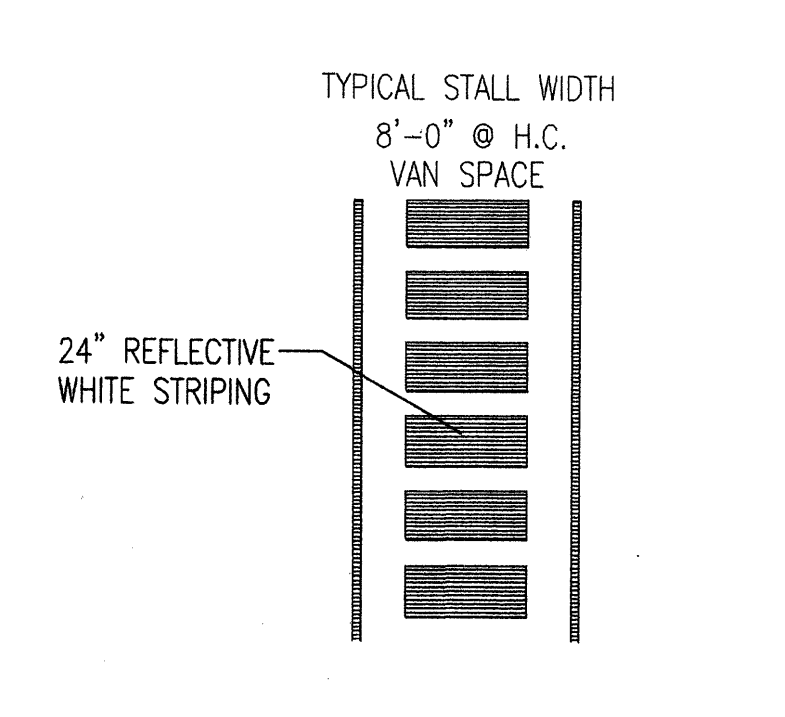
1 HC Ramp
NOT TO SCALE



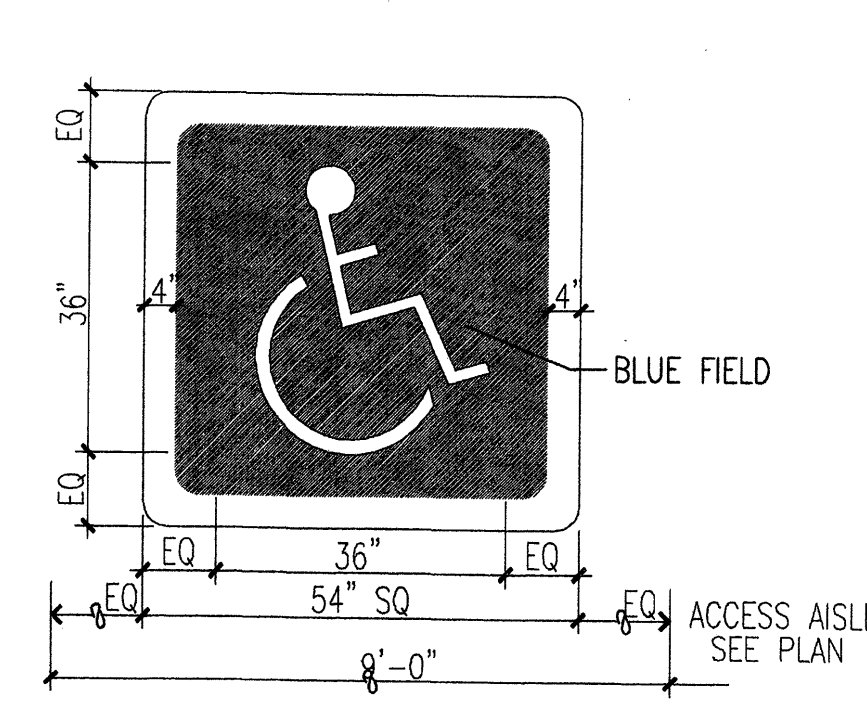
2 Site Lighting Detail
Scale: Not to Scale



3 Bike Rack Detail
Scale: Not to Scale



5 HC Parking Striping
NOT TO SCALE



6 HC Pavement Sign
NOT TO SCALE

VICINITY MAP SITE

GRAPHIC SCALE IN FEET
250 0 750 1000

Zone Atlas Page
B-13-Z

LIST OF DRAWINGS:

- A1.0 SITE PLAN FOR BUILDING PERMIT
- L 1 CONCEPTUAL LANDSCAPE PLAN
- G 1 CONCEPTUAL GRADING + DRAINAGE PLAN
- U 1 CONCEPTUAL UTILITY PLAN
- A 2.1 SHOPS A BUILDING ELEVATIONS
- A 2.2 SHOPS B BUILDING ELEVATIONS

KEYNOTES:

- 1 PARKING. (SEE PARKING NOTES BELOW)
- 2 ACCESSIBLE PARKING VAN SPACE. (SEE DETAILS 5,6,7)
- 3 MONUMENT SIGN. SEE DETAIL 8.
- 4 LANDSCAPE BUFFER.
- 5 15" H x 12' L WALL FOR SEATING WITH SHADE.
- 6 COA APPROVED DUMPSTER ENCLOSURE. (SEE DETAIL 4)
- 7 BIKE RACK. (SEE DETAIL 3)
- 8 LIGHT POLE. (SEE DETAIL 2)
- 9 ACCESSIBLE RAMP. (SEE DETAIL 1)
- 10 8' SIDEWALK AT AUTO PARKING.
- 11 ASPHALTIC CONCRETE PAVING.
- 12 NEW 6" CONCRETE SIDEWALK
- 13 CONCRETE STANDING CURB PER COA STD. DETAILS.
- 14 DIRECTIONAL SIGN
- 15 TRANSFORMER
- 16 FIRE HYDRANT
- 17 MED. TAN SPLIT FACE CMU RATAINING WALL WITH GUARD RAIL
- 18 VIEWPLANE SIGHT LINE FROM 4 FT ABOVE COORS BLVD. TO SANDIA CREST.

LEGAL DESCRIPTION

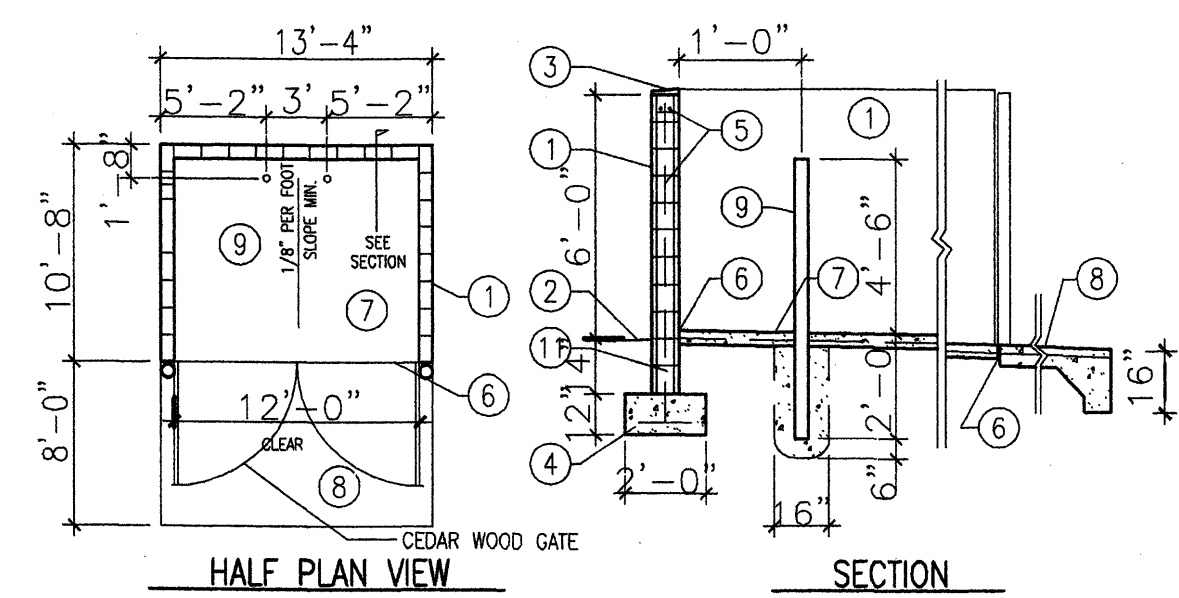
LOTS 3, 4 OF BLACK FARMS ESTATES TRACT 6-B.
CURRENT ZONING: SU-1 FOR C1
ZONE ATLAS: B-13-Z & B-14-Z

SHOPS A PARCEL 1.287 AC OR 56,044 SF
SHOPS B PARCEL 0.856 AC OR 37,305 SF
TOTAL PROJECT AC. 2,143 AC OR 93,349 SF
LOTS 1+2 (NAP) 3,4274 AC OR 149,298 SF
TOTAL SUBDIVISION AC. 5.57 AC

BUILDING AREA & PARKING CALCULATIONS:

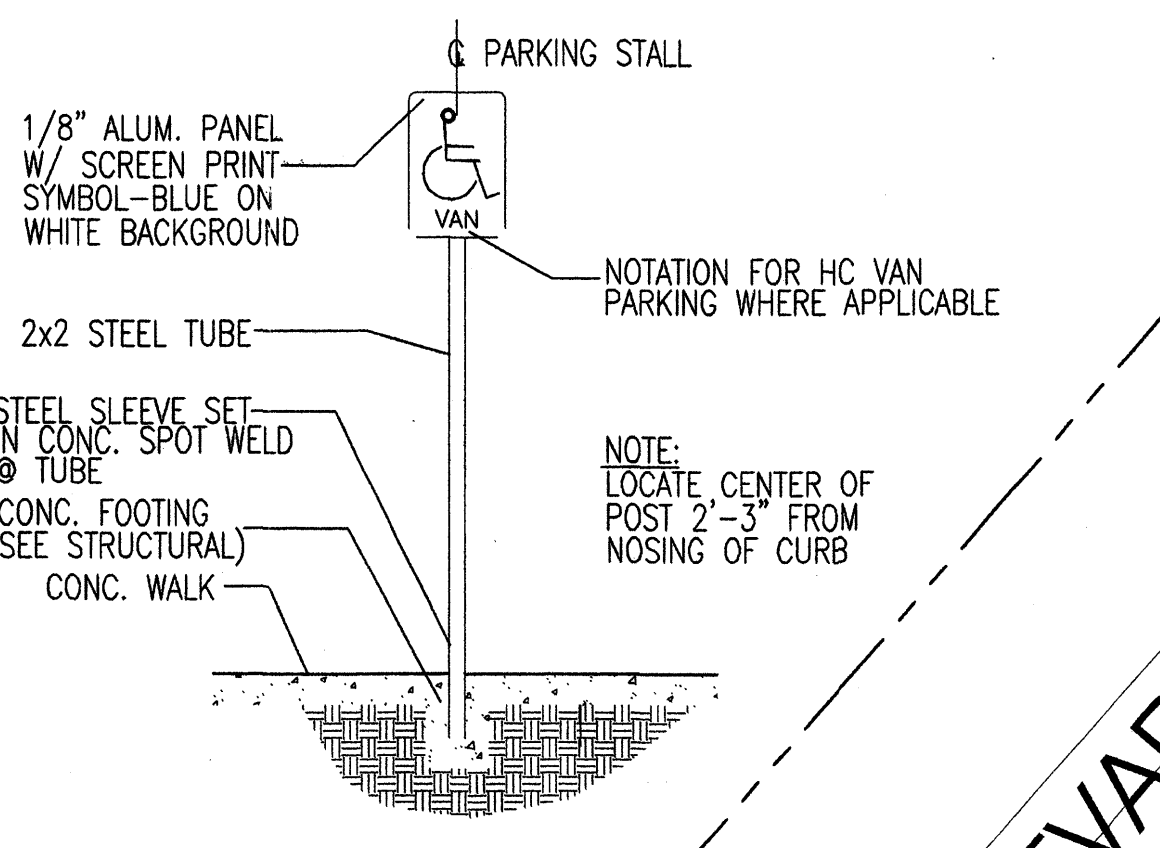
BUILDING AREA
SHOPS A 11,352 SF, BUILDING
SHOPS B 10,043 SF, BUILDING

PARKING NOTES:
TYPICAL STANDARD SPACES ARE 8'-6" x 20'-0"
TYPICAL HANDICAP SPACES ARE 7'-6" x 20'-0" W/ 8' x 20' ASLE
TYPICAL SMALL CAR / MOTORCYCLE SPACES ARE 8'-0" x 15'-0"
PARKING SPACES REQUIRED SHOPS A = 11,352 SF / 200 = 56 SPACES
PARKING SPACES REQUIRED SHOPS B = 10,043 SF / 200 = 51 SPACES
TOTAL PARKING SPACES REQUIRED 107 SPACES
LESS CREDIT 15% BUS STOP W/ SHELTER AND LESS CREDIT 5% BUS TURNOUT AND 5+ AC DEV. (20% TOTAL) <<22>>SPACES
NET TOTAL PARKING SPACES REQUIRED 85 SPACES
OF WHICH HC PARKING SPACES REQUIRED IS 4 SPACES
TOTAL PARKING SPACES PROVIDED 85 SPACES
OF WHICH THE TOTAL HC PARKING SPACES PROVIDED IS 4 SPACES (INCLUDES 2 VAN SPACES)
BICYCLE SPACES REQUIRED = CARS PROVIDED/20 = 5
BICYCLE PARKING SPACES PROVIDED = 6

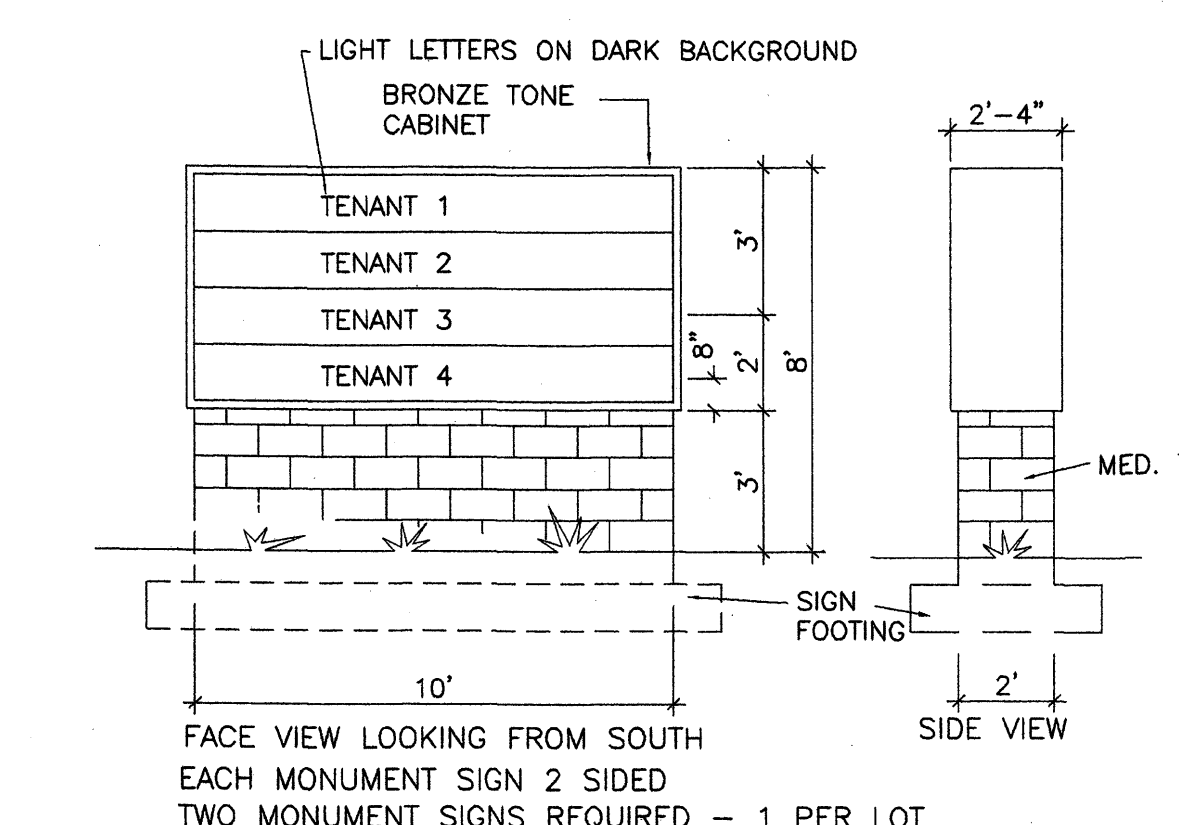


- KEYED NOTES
- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR BY ARCHITECT.
 - FINISH GRADE.
 - SLOPE STUCCO CAP.
 - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
 - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL
 - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M.
 - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M W/ TURNDOWN EDGE.
 - 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - ASPHALT PAVING
 - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

4 Refuse Enclosure
Scale: Not to Scale

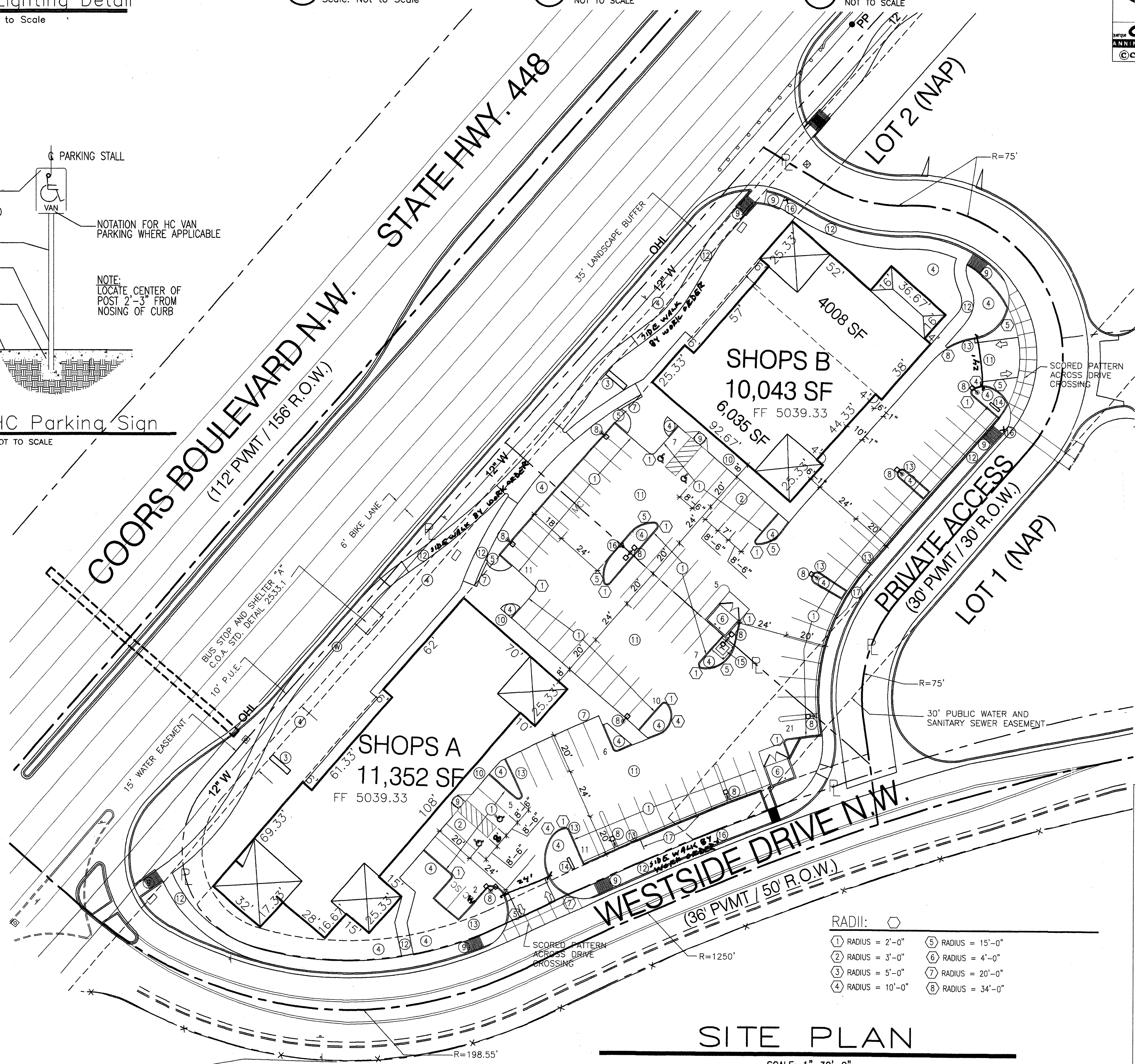


7 HC Parking Sign
NOT TO SCALE



8 MONUMENT SIGN
Scale: 1/4" = 1'-0"

NOTE: RECIPROCAL PARKING IS GRANTED



SITE PLAN

SCALE: 1" = 30'-0"

RADII:

- 1 RADIUS = 2'-0"
- 2 RADIUS = 3'-0"
- 3 RADIUS = 5'-0"
- 4 RADIUS = 10'-0"
- 5 RADIUS = 15'-0"
- 6 RADIUS = 4'-0"
- 7 RADIUS = 20'-0"
- 8 RADIUS = 34'-0"

PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
7/10/05
SIGNATURE & DATE

PROJECT NUMBER: 1002529
APPLICATION NUMBER: 05EPC-00569 / 05DRB-01202

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated MAY 20, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

| | |
|--|--------|
| Engineering, Transportation Division | 8-3-05 |
| Water Utility Department | 8-3-05 |
| Parks and Recreation Department | 8/3/05 |
| City Engineer | 8/3/05 |
| Environmental Health Department *(conditional) | |
| Public Works Management | 7-1-05 |
| DRG Chairperson, Planning Department | 8/3/05 |

* Environmental Health, if necessary

REVISION

| REV | DATE | BY | DESCRIPTION |
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PROJECT TITLE: SHOPS at WESTSIDE DRIVE, NW (NEC) Coors NW + Westside Dr. NW Albuquerque, NM

PROJECT MANAGER: George Rainhart, AA

SHEET TITLE: Site Plan for Building Permit

DATE: 05/05/05

SCALE: 1/8" = 1'-0"

sheet: A1.0 of

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877