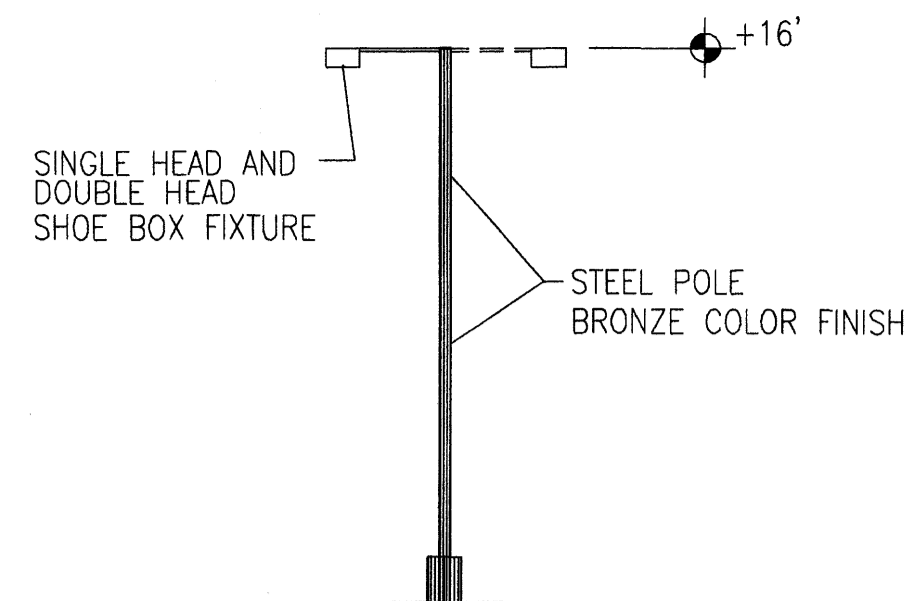
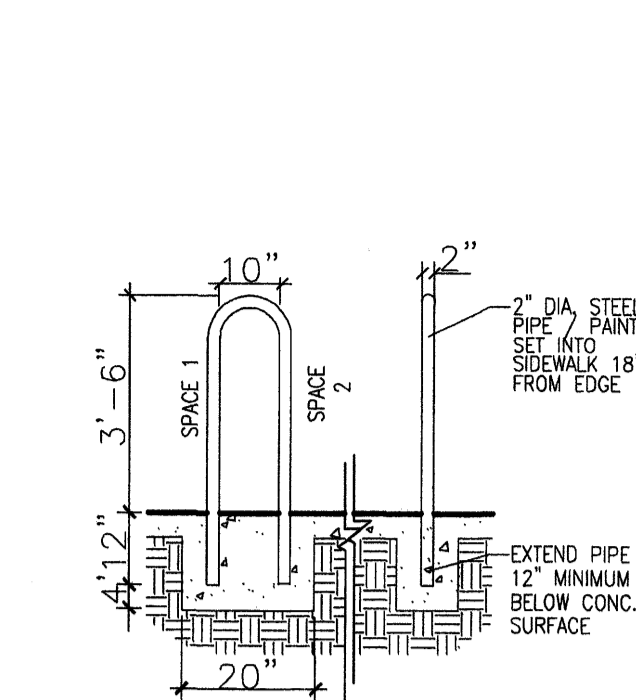


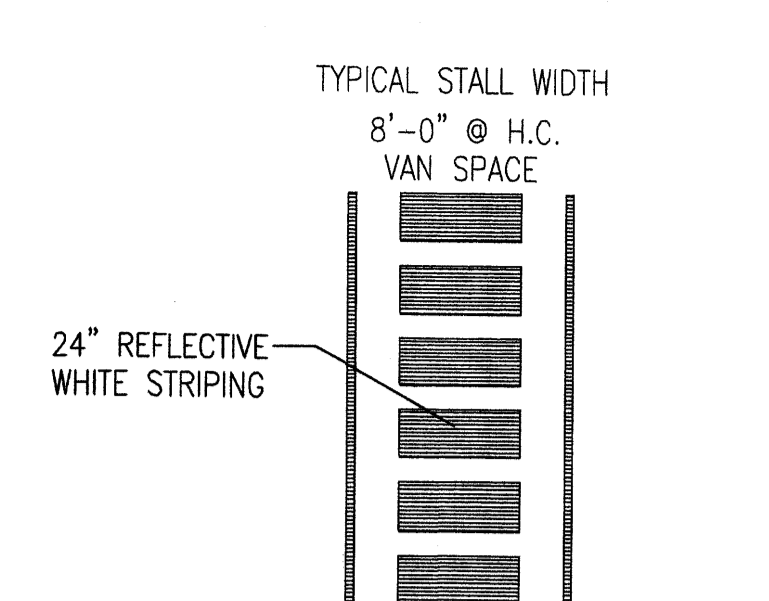
1 HC Ramp
NOT TO SCALE



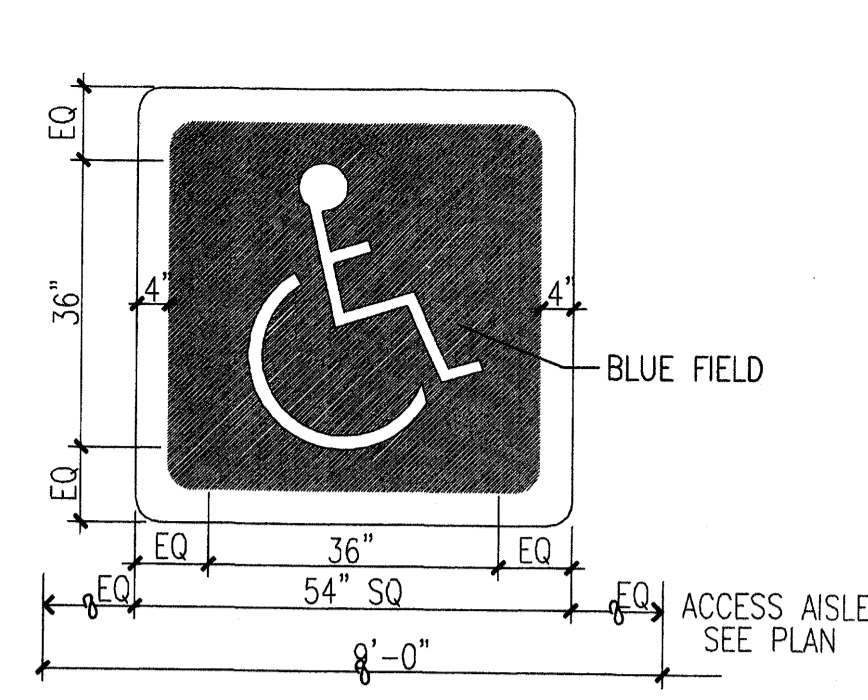
2 Site Lighting Detail
Scale: Not to Scale



3 Bike Rack Detail
Scale: Not to Scale



5 HC Parking Striping
NOT TO SCALE



6 HC Pavement Sign
NOT TO SCALE

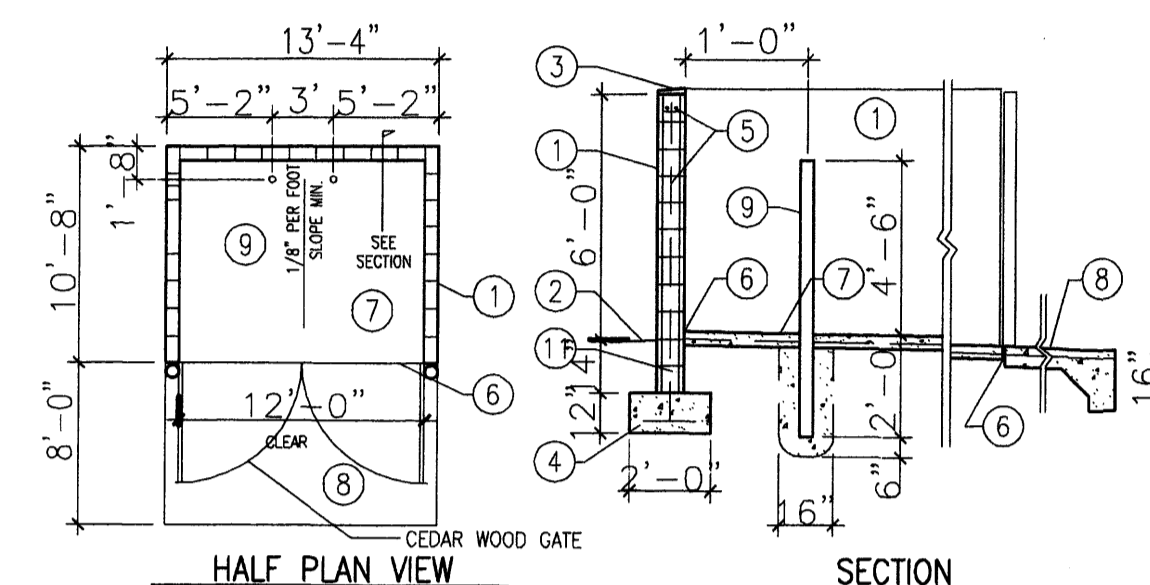
VICINITY MAP SITE

GRAPHIC SCALE IN FEET
250 0 750 1000

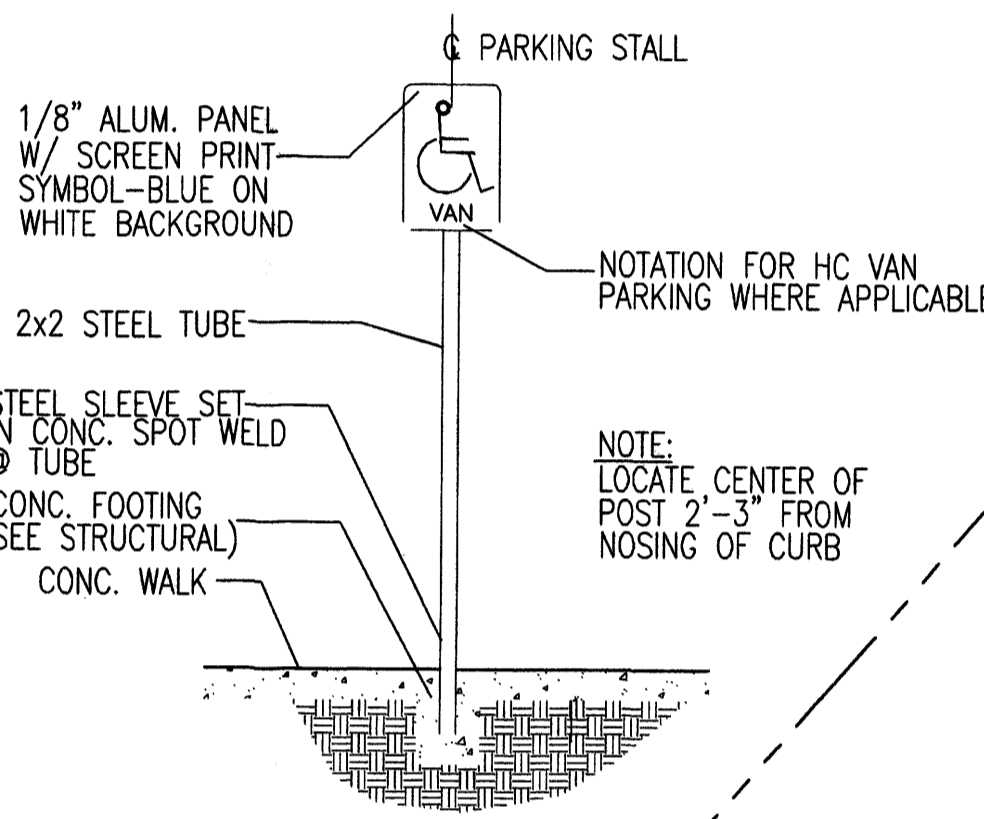
Zone Atlas Page
B-13-Z

LIST OF DRAWINGS:

- A1.0 SITE PLAN FOR BUILDING PERMIT
- L 1 CONCEPTUAL LANDSCAPE PLAN
- G 1 CONCEPTUAL UTILITY PLAN + DRAINAGE PLAN
- A 2.1 SHOPS A BUILDING ELEVATIONS
- A 2.2 SHOPS B BUILDING ELEVATIONS

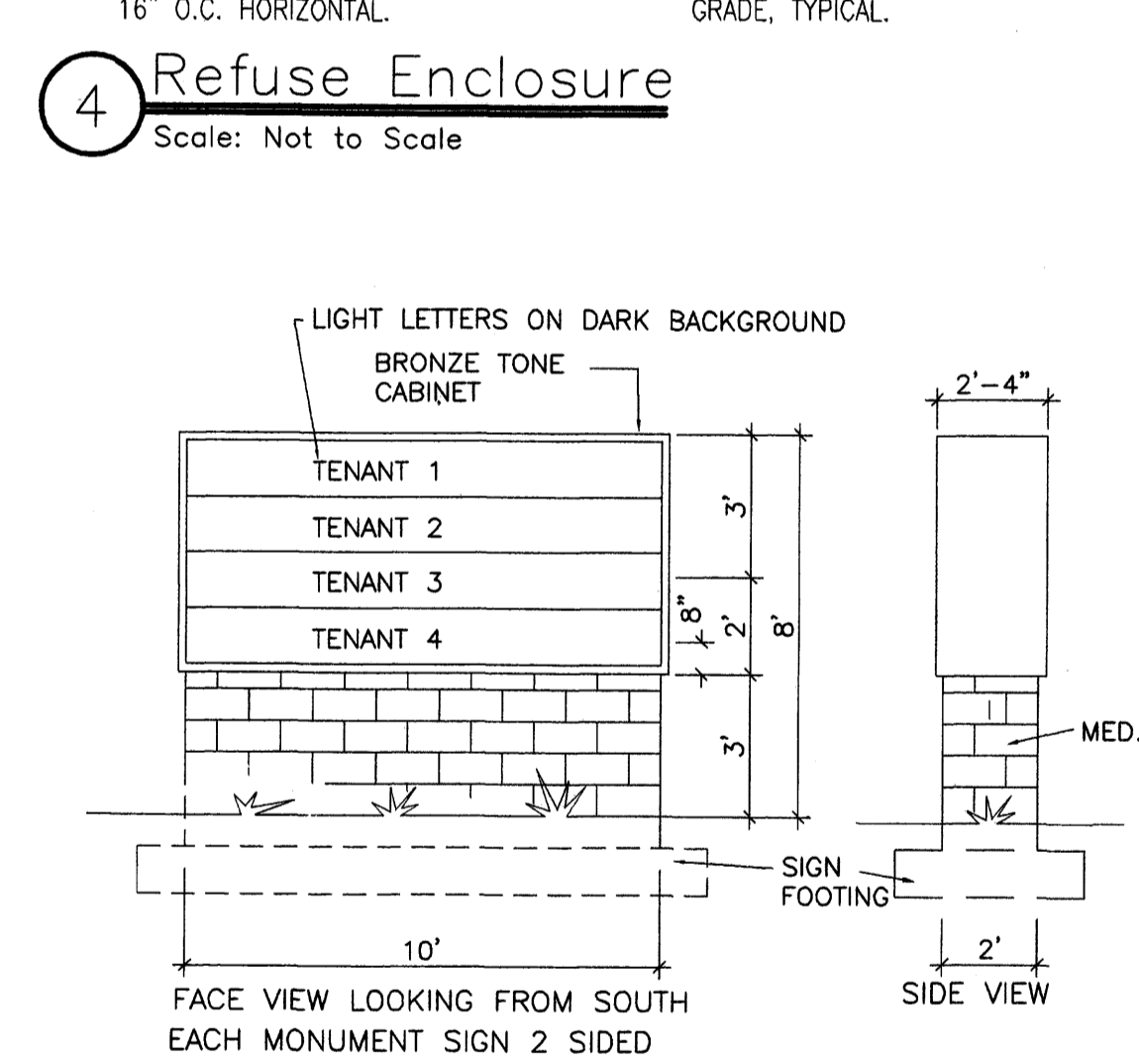


4 Refuse Enclosure
Scale: Not to Scale

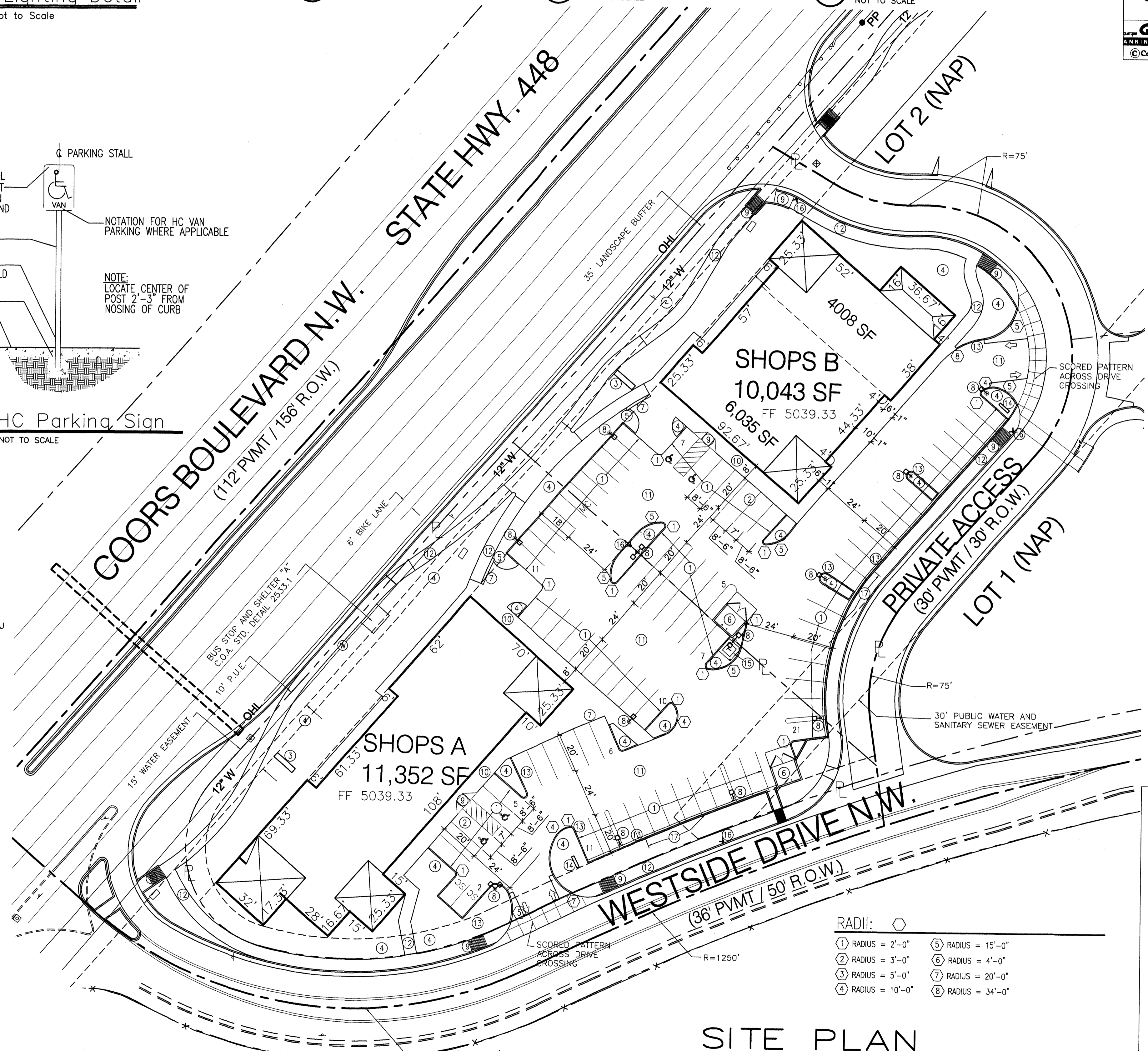


7 HC Parking Sign
NOT TO SCALE

- OKEYED NOTES**
- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR BY ARCHITECT. FINISH GRADE.
 - SLOPE STUCCO CAP.
 - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
 - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL
 - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M.
 - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M W/ TURNDOWN EDGE.
 - 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - ASPHALT PAVING
 - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.



8 MONUMENT SIGN
Scale: 1/4" = 1'-0"



KEYNOTES:

- PARKING. (SEE PARKING NOTES BELOW)
- ACCESSIBLE PARKING VAN SPACE. (SEE DETAILS 5,6,7)
- MONUMENT SIGN. SEE DETAIL 8.
- LANDSCAPE BUFFER.
- 15' H x 12' L WALL FOR SEATING WITH SHADE.
- COA APPROVED DUMPSTER ENCLOSURE. (SEE DETAIL 4)
- BIKE RACK. (SEE DETAIL 3)
- LIGHT POLE. (SEE DETAIL 2)
- ACCESSIBLE RAMP. (SEE DETAIL 1)
- 8' SIDEWALK AT AUTO PARKING.
- ASPHALTIC CONCRETE PAVING.
- NEW 6" CONCRETE SIDEWALK
- CONCRETE STANDING CURB PER COA STD. DETAILS.
- DIRECTIONAL SIGN
- TRANSFORMER
- FIRE HYDRANT
- MED. TAN SPLIT FACE CMU RATAINING WALL WITH GUARD RAIL
- VIEWPLANE SIGHT LINE FROM 4 FT ABOVE COORS BLVD. TO SANDIA CREST.

LEGAL DESCRIPTION

LOTS 3, 4 OF BLACK FARMS ESTATES TRACT 6-B.
CURRENT ZONING: SU-1 FOR C1
ZONE ATLAS: B-13-Z & B-14-Z

SHOPS A PARCEL 1.287 AC OR 56,044 SF
SHOPS B PARCEL 0.856 AC OR 37,305 SF
TOTAL PROJECT AC. 2.143 AC OR 93,349 SF
LOTS 1+2 (NAP) 3.4274 AC OR 149,298 SF
TOTAL SUBDIVISION AC. 5.57 AC

BUILDING AREA & PARKING CALCULATIONS:

BUILDING AREA	
SHOPS A	11,352 SF. BUILDING
SHOPS B	10,043 SF. BUILDING

PARKING NOTES:

TYPICAL STANDARD SPACES ARE 8'-6" x 20'-0"
TYPICAL HANDICAP SPACES ARE 7'-6" x 20'-0" W/ 8' x 20' AISLE
TYPICAL SMALL CAR / MOTORCYCLE SPACES ARE 8'-0" x 15'-0"
PARKING SPACES REQUIRED SHOPS A = 11,352 SF / 200 = 56 SPACES
PARKING SPACES REQUIRED SHOPS B = 10,043 SF / 200 = 51 SPACES
TOTAL PARKING SPACES REQUIRED 107 SPACES
LESS CREDIT 15% BUS STOP W/ SHELTER AND LESS CREDIT 5% BUS TURNOUT AND 5+ AC DEV. (20% TOTAL) <22> SPACES
NET TOTAL PARKING SPACES REQUIRED 85 SPACES
OF WHICH HC PARKING SPACES REQUIRED IS 4 SPACES
TOTAL PARKING SPACES PROVIDED 85 SPACES
OF WHICH THE TOTAL HC PARKING SPACES PROVIDED IS 4 SPACES (INCLUDES 2 VAN SPACES)
BICYCLE SPACES REQUIRED = CARS PROVIDED/20 = 5
BICYCLE PARKING SPACES PROVIDED = 6

PROJECT NUMBER: 1002529
APPLICATION NUMBER: 05EPC-00569

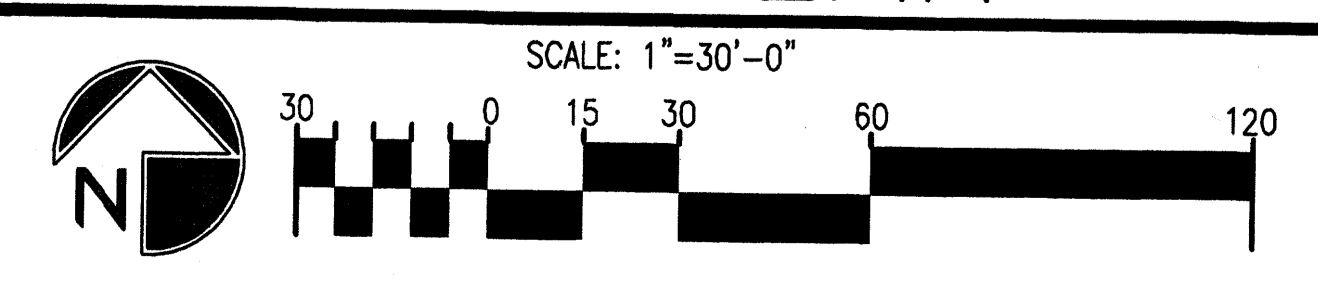
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated MAY 20, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRR SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department *(conditional)	Date
Michael H. Olson Solid Waste Management	7-1-05 Date
DRB Chairperson, Planning Department	Date

PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
7-1-05
SIGNATURE & DATE



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
SHOPS at WESTSIDE DRIVE, NW
(NEC) Coors NW + Westside Dr. NW
Albuquerque, NM

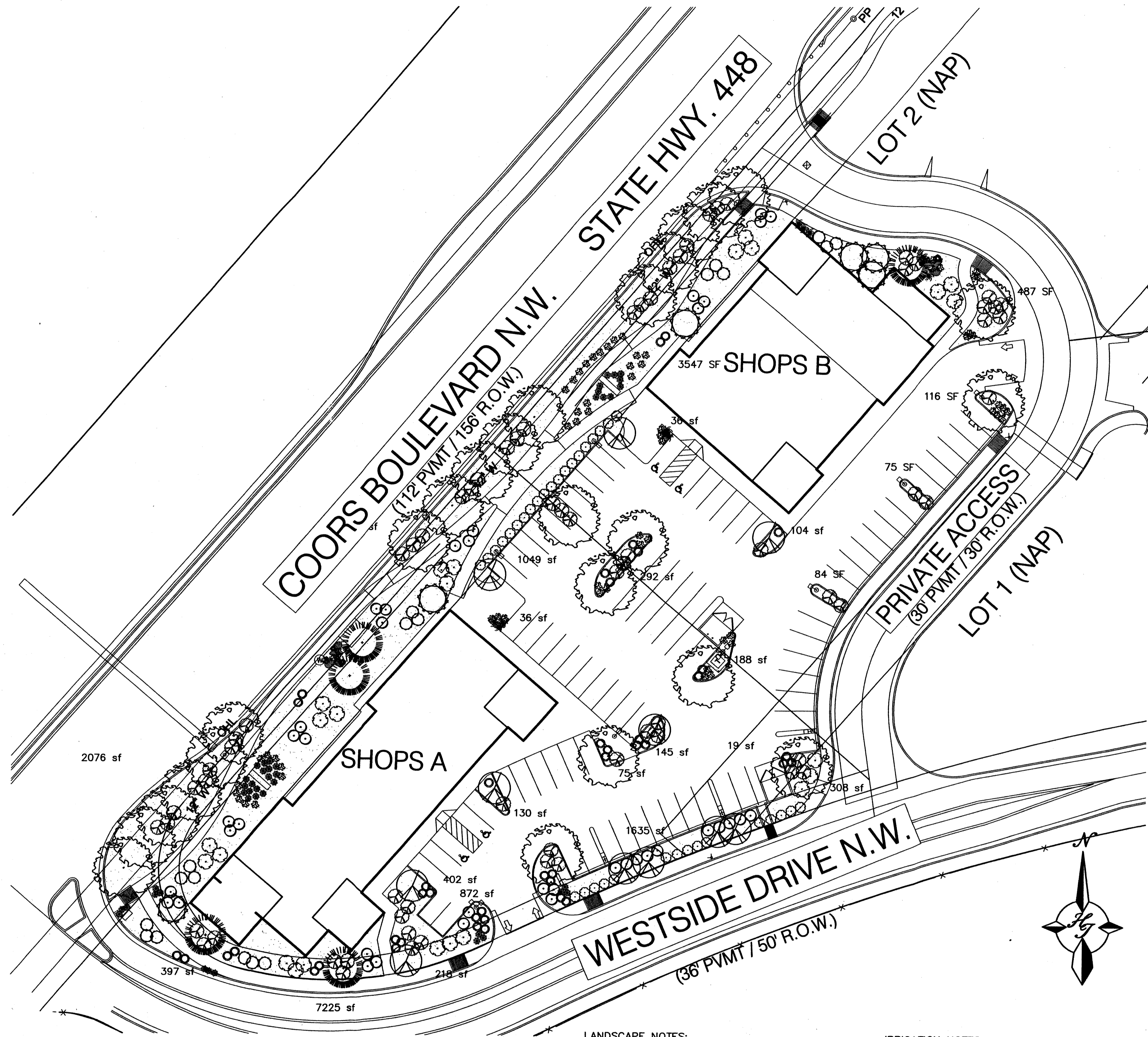
PROJECT MANAGER
George Rainhart, AIA

DRAWN BY:
BU

JOB NO.
0515





SHEET TITLE
Site Plan for Building Permit




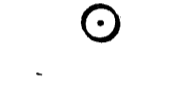

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05/05/05	A1.0
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1/8"=1'-0"	






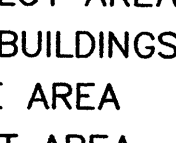


PLANT LEGEND

TREES - Lowest branch to be a minimum of 4 ft above ground/viewplane

-  CHINESE PISTACHE (M) 25
Pistachia chinensis
2" Cal.
-  AUSTRIAN PINE (M) 5
Pinus nigra
6'-8'
-  FLOWERING PEAR (M+) 11
Pyrus calleryana
2" Cal.
-  DESERT WILLOW (L) 6
Chilopsis linearis
15 Gal.

- SHRUBS -
-  BIRD OF PARADISE (L) 24
Caesalpinia gilliesii
5 Gal. 100sf
 -  THREE-LEAF SUMAC (L) 18
Rhus trilobata
5 Gal. 36sf
 -  ROSEMARY (M) 43
Rosmarinus officinalis
2 Gal. 9sf
 -  PHOTINIA (M+) 35
Photinia fraseri
5 Gal. 64sf
 -  RUSSIAN SAGE (M) 39
Perovskia atriplicifolia
5 Gal. 36sf

- GROUNDCOVER -
-  HALL'S HONEYSUCKLE (M) 71
Juniperus 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
 -  BLUE MIST SPIREA (M) 43
Caryopteris clandonensis
5 Gal. 9sf
 -  MAIDENGRASS (M) 11
Miscanthus sinensis
5 Gal. 16sf
 -  THREADGRASS (M) 65
Stipa tenuissima
1 Gal. 4sf
 -  HYDRO-MULCHED BUFFALO GRASS SEED NO IRRIGATION
 -  OVERSIZED GRAVEL & 6 BOULDERS

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	93349	square feet
TOTAL BUILDINGS AREA	21418	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	71931	square feet
LANDSCAPE REQUIREMENT	15%	square feet
TOTAL LANDSCAPE REQUIREMENT	10790	square feet
TOTAL BED PROVIDED	22992	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	17244	square feet
TOTAL GROUNDCOVER PROVIDED	18126 (79%)	square feet

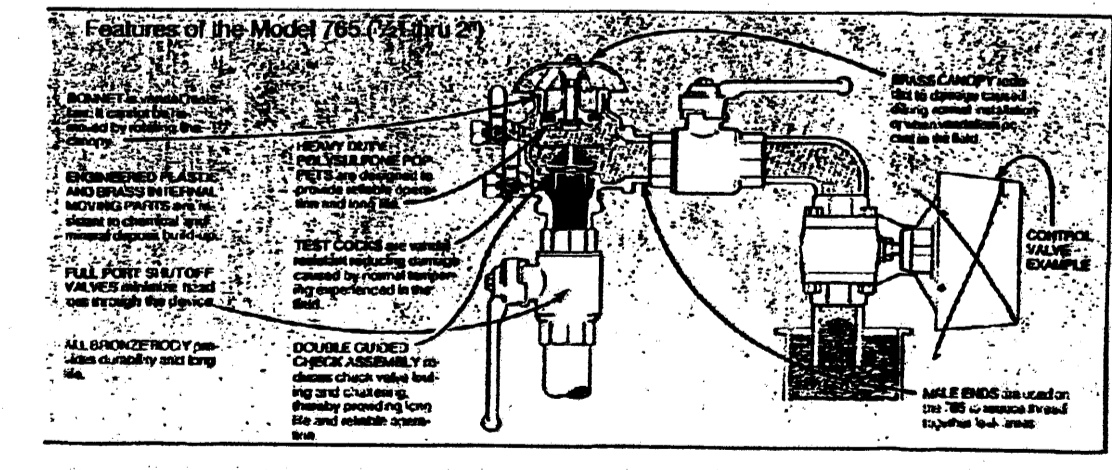
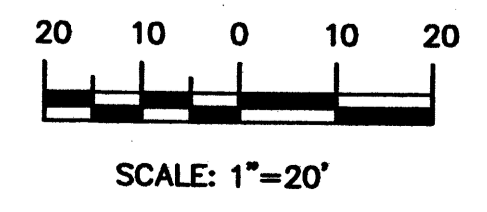
TOTAL LANDSCAPE PROVIDED 22992 (32%) square feet

STREET TREE REQUIREMENTS

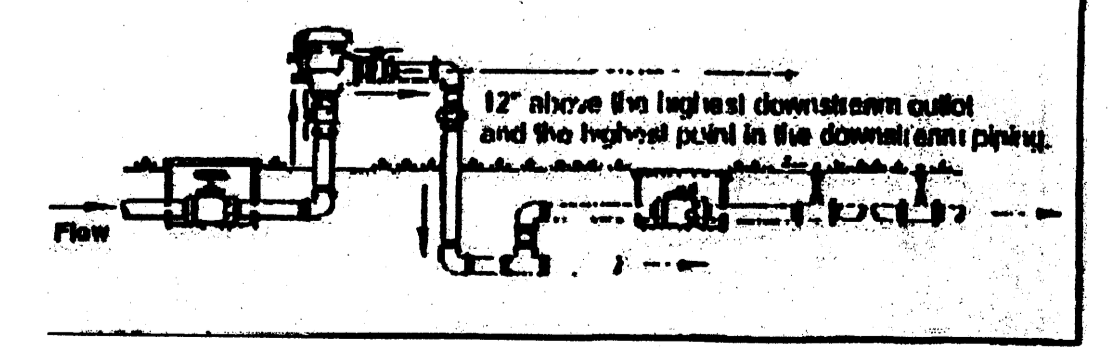
Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street	Coors Blvd NW
Required #	Provided # 16

GRAPHIC SCALE



Fabco Model 765



BACKFLOW PREVENTOR DETAIL
no scale

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

All landscape areas are to receive native seed in accordance with the Coors Corridor Plan.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

REV	DATE	BY	REVISION
1	8-30-05	drr	revised site plan
2	9-08-05	drr	revised site plan
3	4-15-06	drr	revised site plan

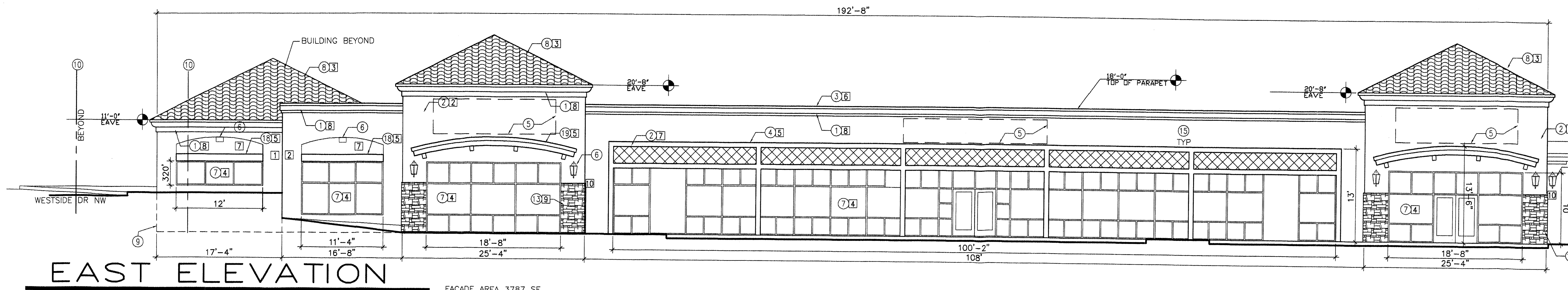
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE: SHOPS at WESTSIDE DRIVE, NW
SHEETS: 04/07/05
JOB NO.: 0615
DRAWN BY: drr
PROJECT MANAGER: George Rainhart, AIA
SHEET TITLE: Landscape Plan

DATE: 04/07/05
SCALE: 1"=30'
sheet: L1.0
of:

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax. (505) 898-7737
cjohnson@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reprinted or copied unless applicable fees have been paid or job order placed.



EAST ELEVATION

SCALE: 1/8"=1'-0"

FACADE AREA 3787 SF
SIGNAGE AREA 227 SF = 6% OF ELEVATION



- KEYED NOTES**
- EIFS FINISH OVER FOAM CORNICE, MED. SAND FINISH.
 - STUCCO SYSTEM W/ ELASTOMERIC FINISH.
 - PREFINISHED SHEET METAL COPING.
 - HEAVY TUBE STEEL FRAME WITH PAINTED STEEL LATTICE.
 - TENANT SIGN LOCATION. SIGNS TO BE INDIVIDUAL LETTER INTERNALLY ILLUMINATED EXCEPT EAST FACING WALL SIGNS NON-INTERNALLY ILLUMINATED.
 - LIGHT FIXTURE.
 - CLEAR ANODIZED STOREFRONT SYSTEM WITH INSULATING GLAZING.
 - CONCRETE ROOF TILE.
 - LINE OF FINISH FLOOR.
 - PROPERTY LINE, (BEYOND AT FAR BUILDING CORNER WHERE NOTED).
 - LIGHT TUBE STEEL TRELLIS.
 - HOLLOW METAL DOOR AND FRAME.
 - CULTURED CONCRETE "LEDGESTONE" BASE TRIM.
 - LINE OF ROOF BEYOND.
 - CONCEALED ROOFTOP MECHANICAL UNIT.
 - not used.
 - not used.
 - EYEBROW STYLE ROOF PROJECTION.
 - ARCHED CANOPY PROJECTION.

BUILDING SIGNAGE

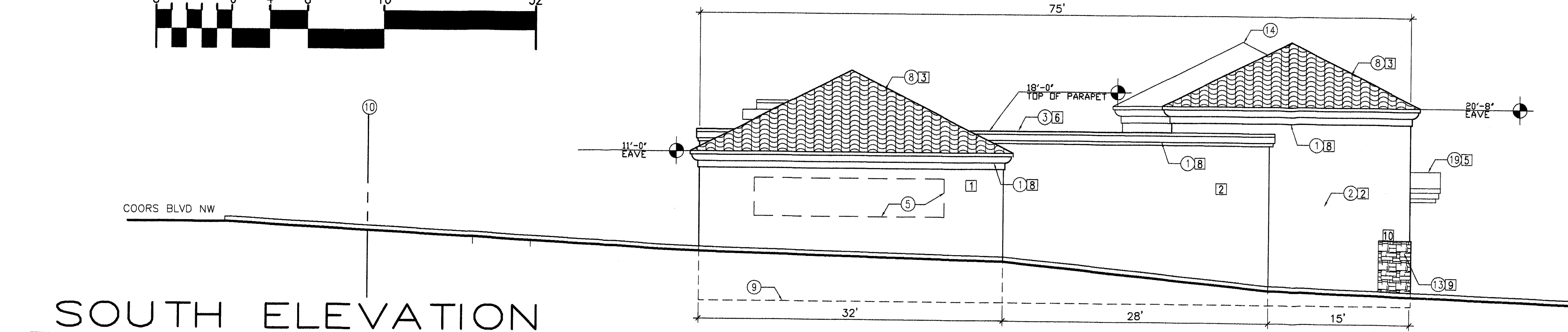
EAST ELEVATION	MAX. AREA 227 SF = 6% OF FACADE AREA
SOUTH ELEVATION	MAX. AREA 78 SF = 6% OF FACADE AREA
WEST ELEVATION	MAX. AREA 214 SF = 6% OF FACADE AREA
NORTH ELEVATION	MAX. AREA 86 SF = 6% OF FACADE AREA
BUILDING TOTAL SF	MAX. AREA 605 SF = 6% OF FACADE AREA

BUILDING SIGNAGE RESTRICTIONS

- FACADE MOUNTED SIGNS SHALL NOT EXCEED 6 PERCENT OF THE FACADE AREA TO WHICH IT IS ATTACHED.
- SIGN LETTERS SHALL BE CHANNELIZED, NEON, OR PAINTED, BACKLIT ILLUMINATED PANELS ARE NOT ALLOWED, EXCEPT FOR COMPANY BUSINESS LOGOS.
- THE MAXIMUM HEIGHT FOR INDIVIDUAL LETTERS IS 3 FEET.
- NO ADDITIONAL OFF-PREMISE SIGNS ARE ALLOWED EXCEPT FOR TRAFFIC SAFETY SIGNS, STREET SIGNS, OR LOCATION MARKERS OR DIRECTORY MAPS.
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- NO SIGNAGE IS ALLOWED THAT USES FLASHING, OSCILLATING, OCCULTATING, REVOLVING, BLINKING, OR AUDIBLE DEVICES. NO BANNERS, PENNANTS, RIBBONS, OR STREAMERS ARE ALLOWED EXCEPT FOR THEMATIC SPECIAL EVENTS AND WITH PRIOR APPROVAL BY CITY OF ALBUQUERQUE ZONING DEPARTMENT.
- NO LIGHTED SIGNS SHALL BE PLACED ON EAST-FACING BUILDINGS OR IN A LOCATION THAT IS VISIBLE FROM RESIDENTIAL AREAS EAST OF THIS DEVELOPMENT.

COLOR CHART

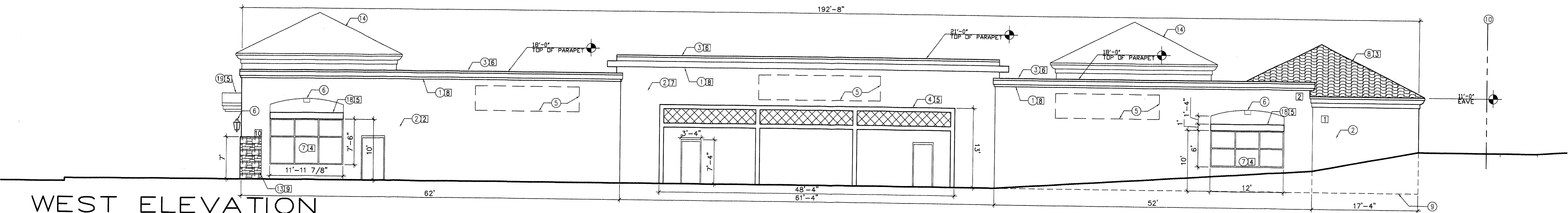
LOCATION	COLOR
1 COLOR	NIMBUS WHITE LIGHT TAN
2 COLOR	FILTERED SUN LIGHT GOLDEN TAN
3 ROOF	BLENDED LT/DK WARM TAN ROOF TILE
4 STOREFRONT	INSUL. TINTED GLASS W/ CLEAR ANODIZED FRAMES
5 METAL TRIM	WHITE
6 PARAPET CAP	"ALMOND"
7 ACCENT COLOR	SILVER GRAY LIGHT SAGE
8 CORNICE	NIMBUS WHITE LIGHT TAN
9 WAINSCOT BLOCK	CULTURED LEDGESTONE "MOJAVE" GRAY/MED. TAN
10 WAINSCOT CAP	CULTURED STONE WATERTABLE BLOCK-"MOJAVE"



SOUTH ELEVATION

SCALE: 1/8"=1'-0"

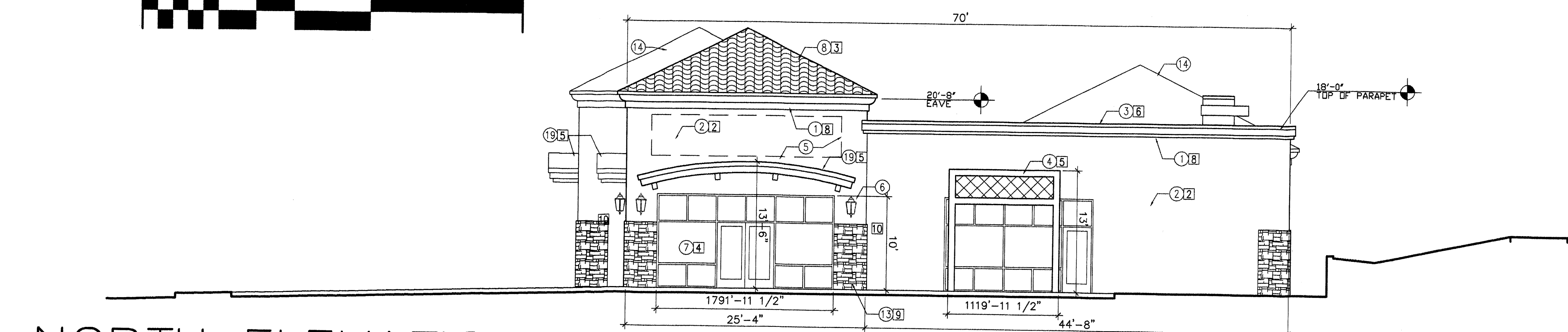
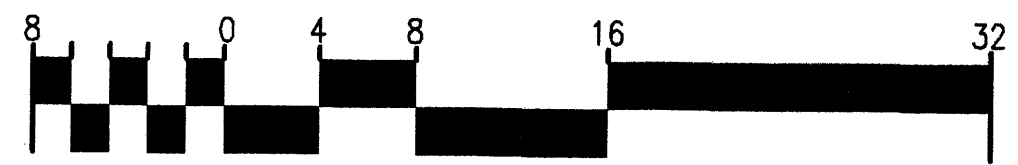
FACADE AREA 1297 SF
SIGNAGE AREA 78 SF = 6% OF ELEVATION



WEST ELEVATION

SCALE: 1/8"=1'-0"

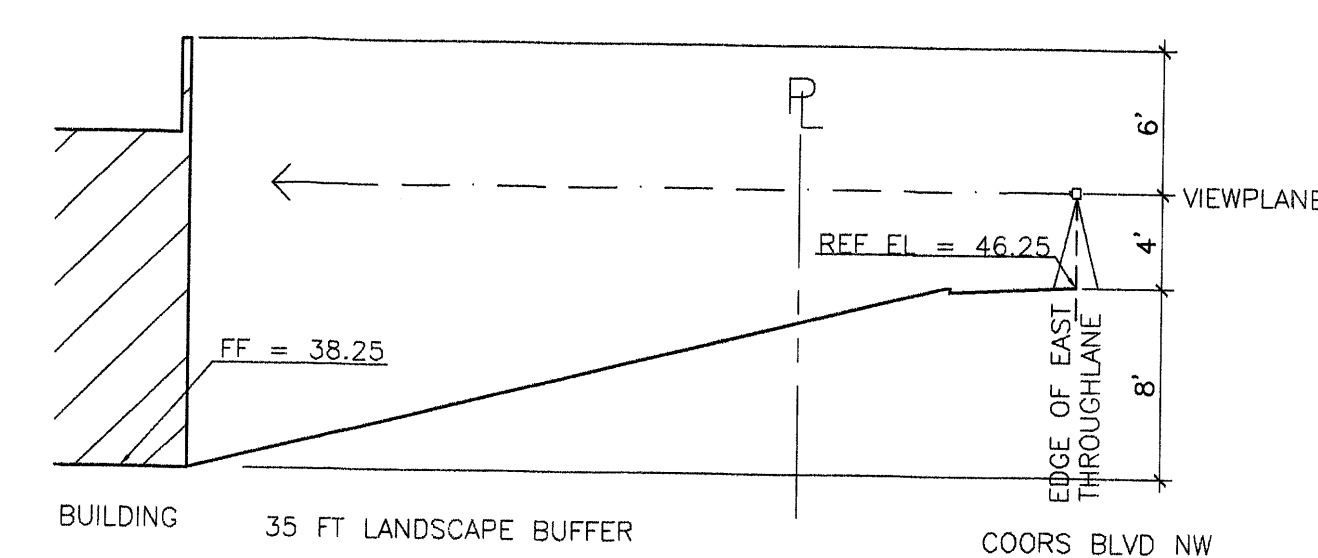
FACADE AREA 3569 SF
SIGNAGE AREA 214 SF = 6% OF ELEVATION



NORTH ELEVATION

SCALE: 1/8"=1'-0"

FACADE AREA 1435 SF
SIGNAGE AREA 86 SF = 6% OF ELEVATION



1 COMPLIANCE DIAGRAM
COORS CORRIDOR PLAN Not to Scale

REV	DATE	BY	REVISION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
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PHONE (505) 884-9110 FAX (505) 837-9877

SHOPS at WESTSIDE DRIVE, NW
(NEC) Coors NW + Westside Dr., NW
Albuquerque, NM

PROJECT TITLE
SHOPS at WESTSIDE DRIVE, NW
(NEC) Coors NW + Westside Dr., NW
Albuquerque, NM

PROJECT MANAGER
George Rainhart, AIA

JOB NO.
0515

DRAWN BY:
BJ

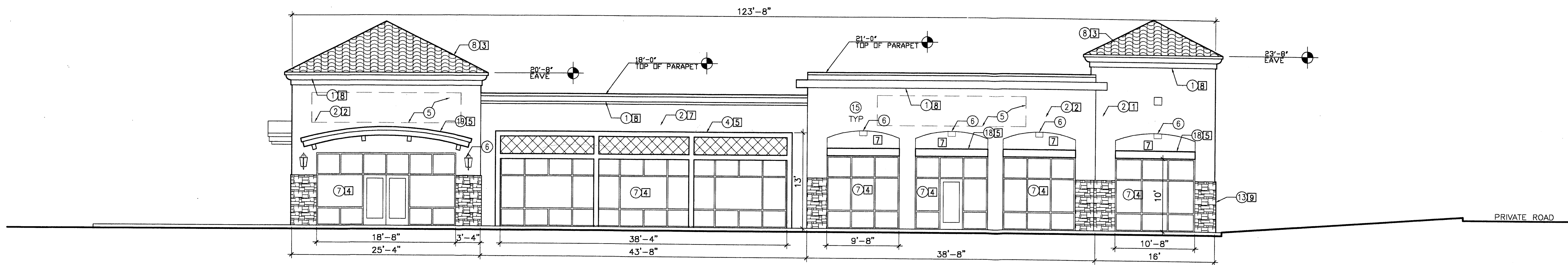
SHEET TITLE
Elevations - Shops A

DATE:
05/08/05

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1/8"=1'-0"

sheet:
A2.1
of

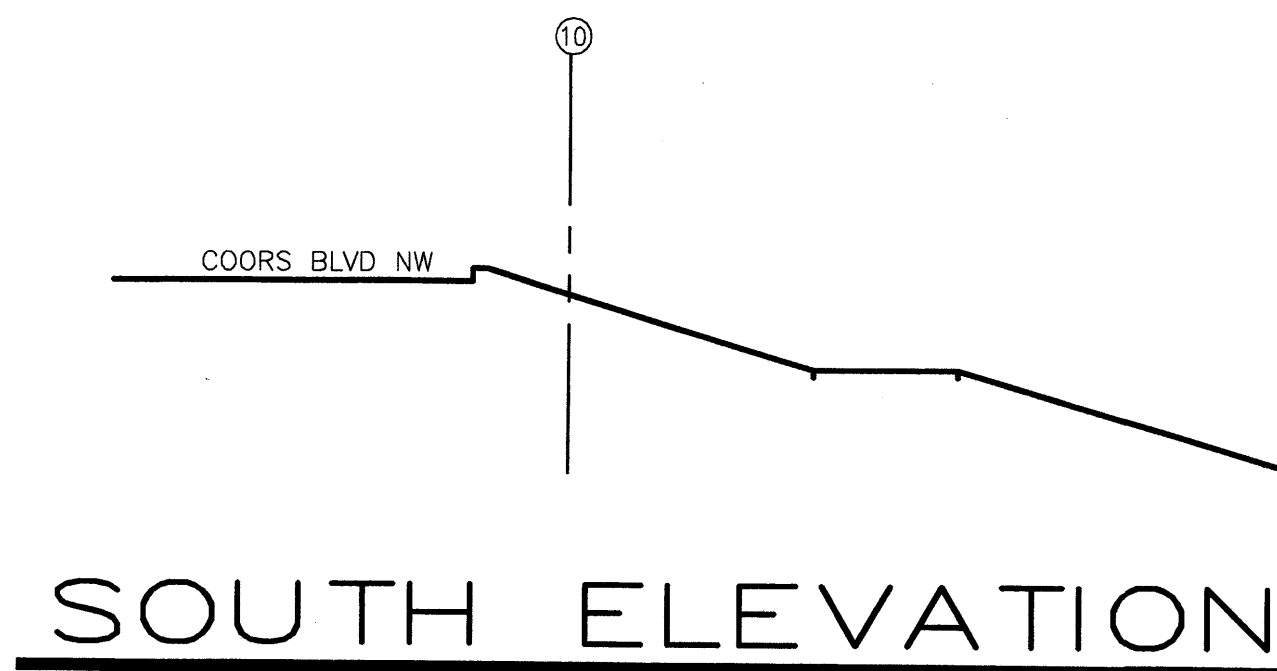
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EAST ELEVATION

SCALE: 1/8"=1'-0"

FACADE AREA 2670 SF
SIGNAGE AREA 160 SF = 6% OF ELEVATION



SOUTH ELEVATION

SCALE: 1/8"=1'-0"

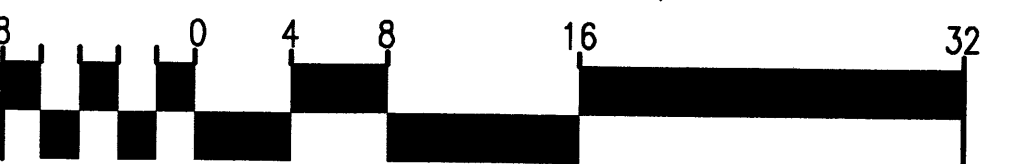
FACADE AREA 1819 SF
SIGNAGE AREA 109 SF = 6% OF ELEVATION



WEST ELEVATION

SCALE: 1/8"=1'-0"

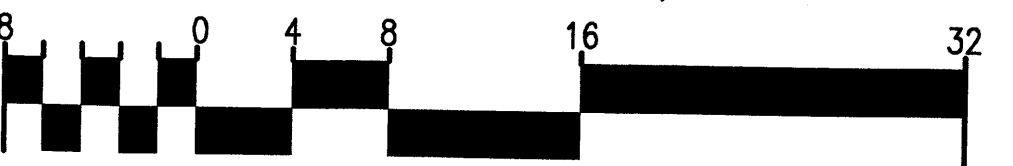
FACADE AREA 2450 SF
SIGNAGE AREA 147 SF = 6% OF ELEVATION



NORTH ELEVATION

SCALE: 1/8"=1'-0"

FACADE AREA 2090 SF
SIGNAGE AREA 125 SF = 6% OF ELEVATION



- KEYED NOTES**
- EIFS FINISH OVER FOAM CORNICE, MED. SAND FINISH.
 - STUCCO SYSTEM W/ ELASTOMERIC FINISH.
 - PRE-FINISHED SHEET METAL COPING.
 - HEAVY TUBE STEEL FRAME WITH PAINTED STEEL LATTICE.
 - TENANT SIGN LOCATION. SIGNS TO BE INDIVIDUAL LETTER INTERNALLY ILLUMINATED EXCEPT EAST FACING WALL SIGNS NON-INTERNALLY ILLUMINATED.
 - LIGHT FIXTURE.
 - CLEAR ANODIZED STOREFRONT SYSTEM WITH INSULATING GLAZING.
 - CONCRETE ROOF TILE.
 - LINE OF FINISH FLOOR.
 - PROPERTY LINE. (BEYOND AT FAR BUILDING CORNER WHERE NOTED).
 - LIGHT TUBE STEEL TRELLIS.
 - HOLLOW METAL DOOR AND FRAME.
 - CULTURED CONCRETE "LEDGESTONE" BASE TRIM.
 - LINE OF ROOF BEYOND.
 - CONCEALED ROOFTOP MECHANICAL UNIT.
 - not used.
 - not used.
 - EYEBROW STYLE ROOF PROJECTION.
 - ARCHED CANOPY PROJECTION.

BUILDING SIGNAGE

EAST ELEVATION	MAX. AREA 160 SF = 6% OF FACADE AREA
SOUTH ELEVATION	MAX. AREA 109 SF = 6% OF FACADE AREA
WEST ELEVATION	MAX. AREA 147 SF = 6% OF FACADE AREA
NORTH ELEVATION	MAX. AREA 125 SF = 6% OF FACADE AREA
BUILDING TOTAL SF	MAX. AREA 541 SF = 6% OF FACADE AREA

- BUILDING SIGNAGE RESTRICTIONS**
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 - NO LIGHTED SIGNS SHALL BE PLACED ON EAST-FACING BUILDINGS OR IN A LOCATION THAT IS VISIBLE FROM RESIDENTIAL AREAS EAST OF THIS DEVELOPMENT.

COLOR CHART

LOCATION	COLOR
1 PRIMARY STUCCO	NIMBUS WHITE LIGHT TAN
2 ACCENT STUCCO	FILTERED SUN LIGHT GOLDEN TAN
3 ROOF	BLENDED LT/DK WARM TAN ROOF TILE
4 STOREFRONT	INSUL. TINTED GLASS W/ CLEAR ANODIZED FRAMES
5 METAL TRIM	WHITE
6 PARAPET CAP	"ALMOND"
7 ACCENT COLOR	SILVER GRAY LIGHT SAGE
8 CORNICE	NIMBUS WHITE LIGHT TAN
9 WAINSCOT BLOCK	CULTURED LEDGESTONE "MOJAVE" GRAY/MED. TAN
10 WAINSCOT CAP	CULTURED STONE WATERABLE BLOCK-"MOJAVE"

REV	DATE	BY	REVISION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
SHOPS at WESTSIDE DRIVE, NW
(NEC) Coors NW + Westside Dr. NW
Albuquerque, NM

PROJECT MANAGER
George Rainhart, AIA

JOB NO.
0515

DRAWN BY:
DJ

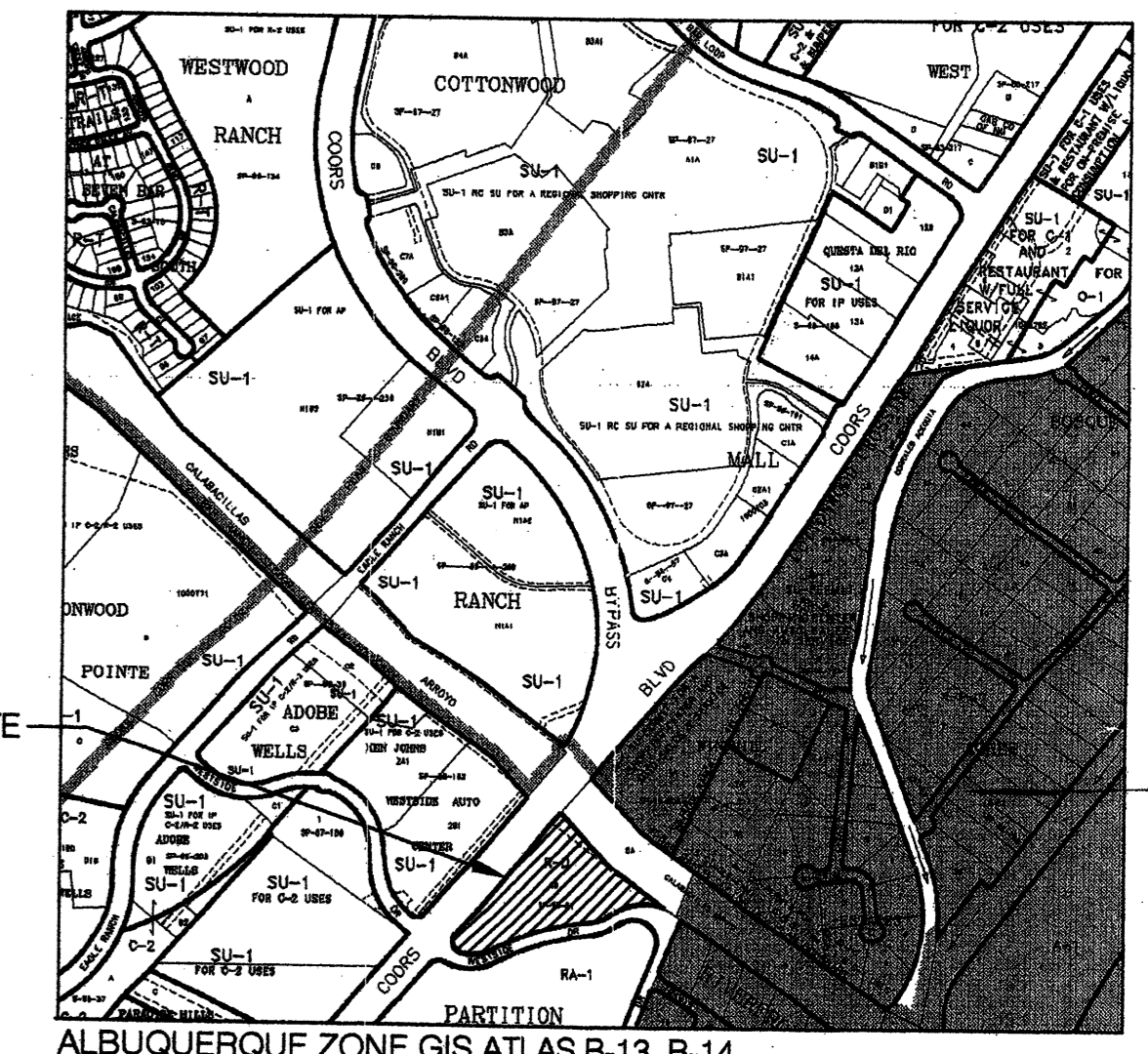
SHEET TITLE
Elevations - Shops B

DATE:
05/06/05

SCALE:
1/8"=1'-0"

sheet:
A2.2
of

SITE VICINITY



TRACT 1A
 EXISTING ZONING:
 A-1, SU-1 PERMIT FOR A SHOPPING
 CENTER AND AUTO SALES AND SERVICE

TRACT 2-B-1
 WESTSIDE AUTO CENTER
 EXISTING ZONING:
 SU-1 FOR C-2 USES

TRACT 6-A
 2.9296 AC.
 ARROYO DE LAS CALABACILLAS
 R.O.W. VARIES

Site Development Plan for Subdivision
 Required Information for Tract 6B, Partition of Black Ranch, Zone Atlas Pages B-13 and B-14

THE SITE: The site is one tract consisting of 5.57 acres and currently zoned R-D.

- PROPOSED USE:** The proposed zoning is:
- Lot 1, SU-1 for O-1 Permissible Uses (2.1516 acres)
 - Lot 2, SU-1 for C-1 Permissible Uses and Auto Sales and Storage (1.2758 acres)
 - Lot 3, SU-1 for C-1 Permissible Uses (1.0442 acres)
 - Lot 4, SU-1 for C-1 Permissible Uses (1.0989 acres)

The planned land use for Lot 2 is auto sales.

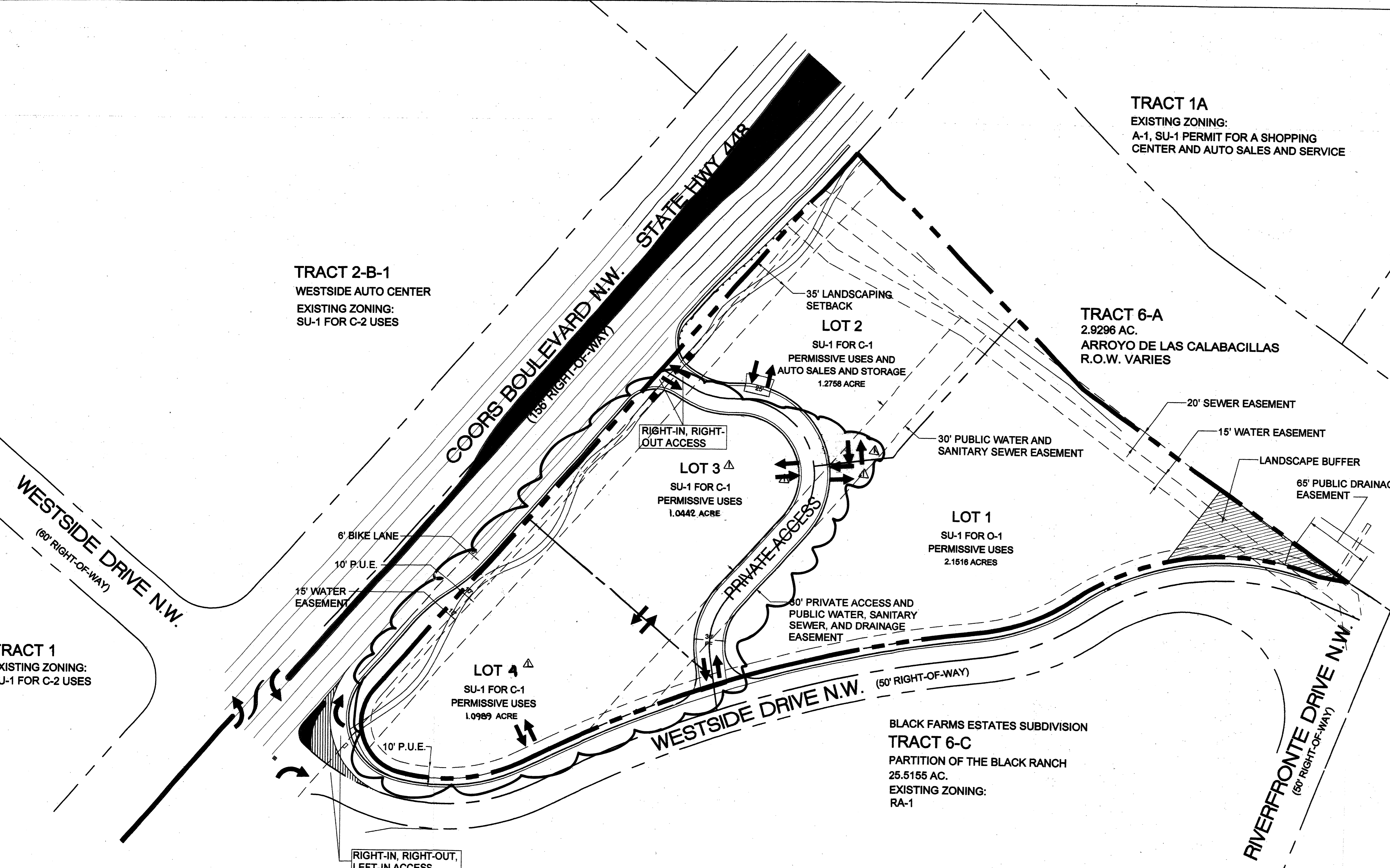
PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: A 30-foot wide private driveway is proposed that connects to Westside Drive N.W. to Coors Boulevard N.W. The private driveway will provide access to lots 2 through 5. Pedestrian access will be provided in accordance with the Coors Corridor Plan and other City plans and policies. Lot 1 will have access directly to Westside Drive. Cross-access easements shall be required between lots 1 and 2 and between lots 3 and 4.

INTERNAL CIRCULATION REQUIREMENTS: Internal pedestrian and vehicular circulation shall be designed and built in compliance with DPM standards.

BUILDING HEIGHTS AND SETBACKS: Building heights shall be consistent with the proposed zoning for each lot. See Sheet 2, Design Guidelines for required setbacks.

- MAXIMUM FAR:**
- Lots 1-4, FAR = .20
 - Lot 5, FAR = .25

LANDSCAPE PLAN: The Design Guidelines (See Sheet 2) provide for landscaping criteria. A 35-foot landscape setback is identified as required by the Coors Corridor Plan. A minimum of 15 percent of each lot (minus the building square footage) shall be devoted to landscape materials. A multi-tiered retaining wall will be constructed along the southeast portion of Lot 4 and landscaped to provide a buffer for the residential developments to the south and east.



TRACT 1
 EXISTING ZONING:
 SU-1 FOR C-2 USES

BLACK FARMS ESTATES SUBDIVISION
TRACT 6-C
 PARTITION OF THE BLACK RANCH
 25.5155 AC.
 EXISTING ZONING:
 RA-1

- Note:**
- Buildings on Lots 3 and 4 shall be located a minimum of 35 feet and a maximum of 50 feet from the Coors Boulevard Right-of-Way. Buildings on Lot 2 shall have a minimum front yard setback of 35 feet and a maximum front yard setback of 110 feet.
 - All landscape buffers, and the portion of the 35 foot landscape setback from Coors Boulevard within each lot, shall be maintained and irrigated by the individual lot owners.
 - A south bound to east bound left turn from Coors Boulevard to Westside Drive was approved August 26, 2004 by the Metropolitan Transportation Board (R-04-24 MTB).
 - The landscape buffer on the north side of Lot 2 will be a minimum of 6 feet in width, with a minimum of four 10 foot landscaped bumpouts.
 - The landscape buffer along Coors Boulevard shall be in compliance with the Coors Corridor Sector Development Plan regarding the street landscape buffer coverage standard of 50% (Issue 4, Visual Impressions and Urban Design Overlay Zone, B. Site Planning and Architecture, Policy 3 and 4, Front Landscape Street Yard Site and Landscaping, p. 91 and 93).

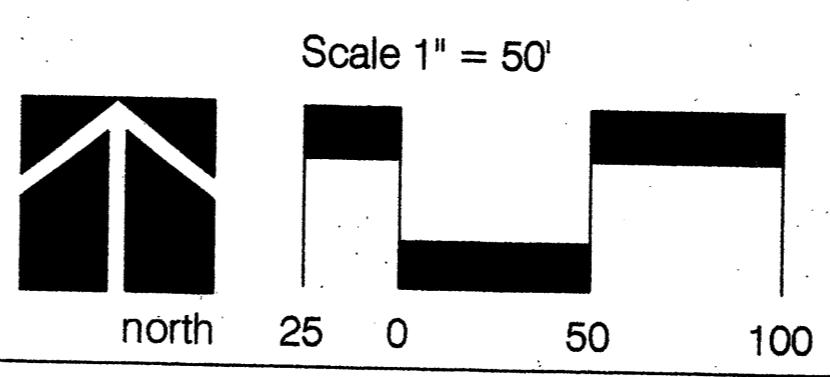
PROJECT NUMBER: 1002529
 Application Number: 04EPC - 01840 / 05 DRB - 0212

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated January 21, 2005 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	2-16-05 Date
<i>[Signature]</i> Utilities Development	2-16-05 Date
<i>[Signature]</i> Parks and Recreation Department	2/16/05 Date
<i>[Signature]</i> City Engineer	2/16/05 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	2/16/05 Date



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 e-mail: cp@consensusplanning.com

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 PHONE (505) 823-1344 FAX (505) 821-9105
 jakebordenave@mindspring.com

PROJECT TITLE: BLACK RANCH TRACT 6-B	
COORS BOULEVARD N.W.	
SHEET TITLE: AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION	
MAP NO: B-13-Z	JOB NO: 0408
DRAWN BY: METO	CHECKED BY: JJB
FIELD WORK BY: BASELINE	DATE: 2/07/05
SHEET 1 OF 2	

DESIGN GUIDELINES

INTRODUCTION

The purpose of these Design Guidelines is to provide a framework to assist developers and designers to understand the Owner's goals and objectives for high quality development. These standards address the issues of streetscape, landscape, setbacks, site planning/architecture, signage and lighting that will create the visual image desired for development on Tract 6-B, Partition of Black Ranch. These standards are to be used as a supplement to the City of Albuquerque Comprehensive City Zoning Code and other pertinent City planning documents, specifically the Coors Corridor Plan. In cases where these guidelines are not consistent with City regulations, the more stringent guideline shall be followed.

These design guidelines are organized into two separate categories:

- 1) standards (those which are required); and
- 2) guidelines (those which are encouraged but not required).

STREETSCAPE

The intent of these guidelines is to create a visually attractive and inviting streetscape for residents and visitors to the area. The effective use of screening devices at service functions such as parking lots, loading areas, refuse collection, and delivery/storage areas is essential in order to limit their adverse visual impact on surrounding developments and to create a pleasing streetscape environment. The guidelines established in the landscape and setback sections will provide the primary means to screening objectionable views and activities.

Standards

- Pedestrian links between parking areas and buildings shall be clearly visible and highlighted with signage and raised paving material or painted striping.
- Pedestrian pathways shall be provided to connect buildings on-site and to the adjacent streets. Trees shall be provided along pathways at an average spacing of 30 feet on center in 5-foot x 5-foot planters.
- Pedestrian pathways, at a minimum, shall be 10-feet wide where there is overlapping parking (2' overhang) on two sides; 8-feet wide where there is overlapping parking on one side; and 6-feet wide where there is no adjacent overlapping parking.
- All pedestrian pathways (sidewalks and trails) shall be designed to be accessible to the handicapped (see Americans with Disabilities Act criteria for barrier free design).

Guidelines

- Parking provided adjacent to Coors Boulevard and Westside Drive shall be screened by short walls (approximately 3-feet high) or buildings.

LANDSCAPE

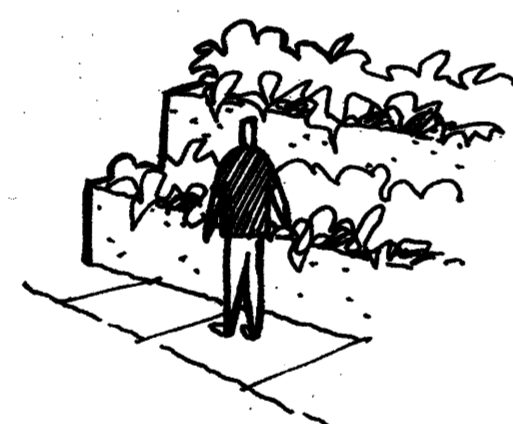
The landscape guidelines are intended to assist property owners in the development of an attractive streetscape and to help buffer non-residential uses from future residential uses. The landscape concept should provide a strong unifying element for the area. The plant materials selected should primarily be water conservative species. Landscape plans should employ xeriscape design principles. These guidelines are to be used as a supplement to the requirements in the City Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

Standards

Landscape Buffers

- In accordance with the Coors Corridor Plan, a 35' landscape buffer is provided adjacent to Coors Boulevard.

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between office and commercial uses and the residential uses to the south and east. For Lot 5, a minimum 10-foot landscaped buffer shall be required adjacent to the residential zoning. For Lot 1, a minimum 30-foot landscape buffer shall be required adjacent to the residential zone and will include a multi-tiered retaining wall with a maximum height for each tier of 5 feet and minimum width for each tier of 5 feet. Each step of the tier shall be landscaped.



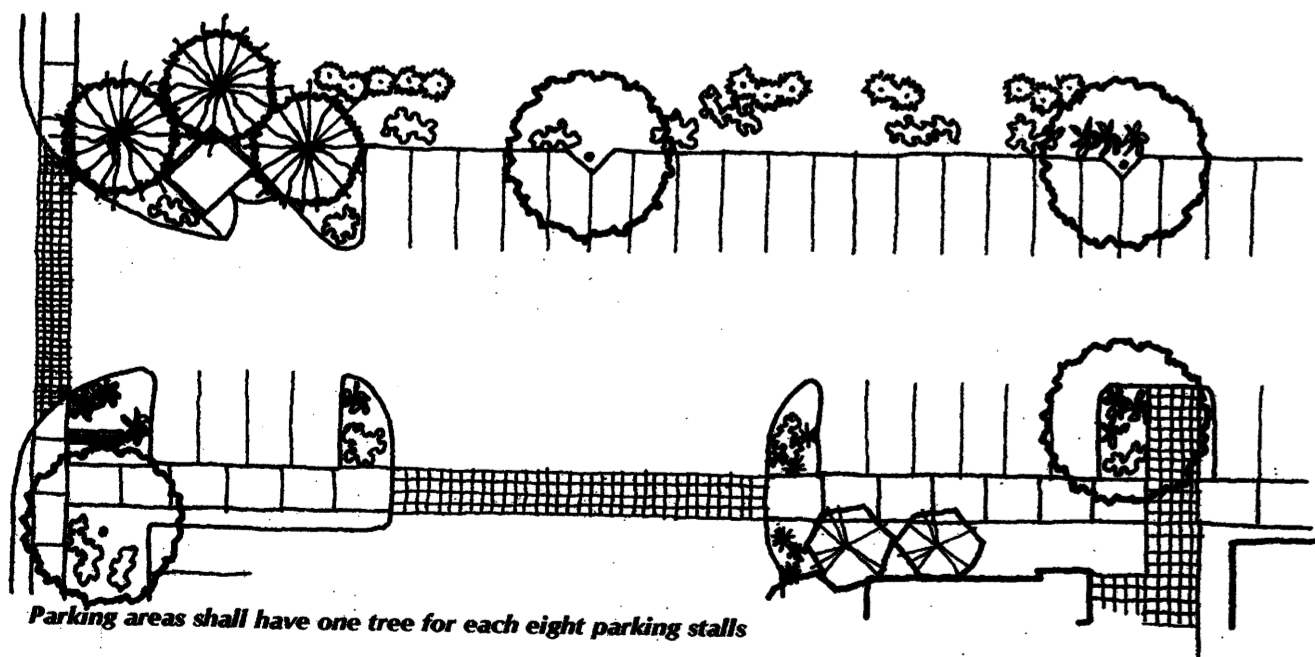
A tiered landscape buffer shall be required along the southern portion of Lot 5.

- Landscape buffers shall consist primarily of evergreen trees (to maintain its screening ability on a year-round basis) that must be at least 8 feet tall when planted and be capable of reaching a mature height of 25 feet. Trees shall be spaced at a maximum of 25 feet on center.

Frequency of Plantings, Installation, and Size

- Street trees in accordance with Albuquerque City Code section 6-6-2-5 shall be provided along Coors Boulevard.

- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each eight parking stalls with no stall being more than 70 feet from a tree trunk. A minimum of 75 percent of the required parking area trees shall be deciduous and have a mature canopy of at least 25 feet.



Parking areas shall have one tree for each eight parking stalls.

- A minimum of 15 percent of the site area (excluding the building square footage) shall be devoted to landscape materials, with an emphasis placed on streetside exposure.

- No turf shall be planted within 8 feet from the curb within the public right-of-way in order to avoid overspraying into the street. Turf areas within parking lots shall not be permitted.

- Landscape areas shall be a minimum of 25 square feet and a minimum width of 5 feet.

- Seventy-five percent of the required landscape area shall be covered with live organic materials consistent with the City of Albuquerque Comprehensive Zoning Code and the Coors Corridor Plan.

- All planting areas not covered with turf or live organic materials shall have a ground topping of crushed rock, river rock, or similar material that extends completely under the plant material.

- Disturbed or man-made slopes shall receive erosion control by use of plant material, revegetative seed mix, or similar landscape treatment which prevents soil erosion.

- An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.

- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers should be 6" x 6" concrete, brick, or steel construction, or other material compatible with the landscape concept.

Suggested Plant Palette

The suggested plant materials for this project were selected based on qualities such as cold hardiness, fast growth rate, minimal maintenance requirements, water conservation, and aesthetic appeal.

Street Trees

Fraxinus spp.
Pinus nigra
Pistachia chinensis
Prunus spp.

Ash varieties
Austrian Pine
Chinese Pistache
Flowering Plum varieties

General Use Plant Materials

Trees

Chilopsis linearis
Chitalpa tashkentensis
Forestiera neomexicana
Fraxinus spp.
Gleditsia spp.
Koeleruteria paniculata
Pinus edulis
Pinus nigra
Platanus acerifolia
Pyrus calleryana
Vitis agnus-castus

Desert Willow
Chitalpa
New Mexico Olive
Ash varieties
Honey Locust varieties
Goldenrain Tree
Pinon Pine
Austrian Pine
London Planetree
Ornamental Pear
Chaste Tree

Shrubs, Groundcovers, Flowers, and Vines

Artemisia filifolia
Artemisia tridentata
Baccharis pilularis
Berberis thunbergii
Caesalpinia gilliesii
Caryopteris clandonensis
Chrysothamnus nauseosus
Clematis ligusticifolia
Cotoneaster spp.
Dalea spp.
Hesperaloe parviflora
Juniperus chinensis spp.
Juniperus sabina spp.
Juniperus horizontalis
Lonicera japonica 'Halliana'
Parthenocissus inserta
Perovskia atriplicifolia
Photinia fraseri
Potentilla fruticosa
Raphiolepis indica
Rhus trilobata
Rosmarinus officinalis
Salvia greggii

Sand Sage
Big Leaf Sage
Dwarf Coyotebush
Japanese Barberry
Bird of Paradise
Blue Mist
Chamisa
Western Virginsbower
Cotoneaster varieties
Red Yucca
Juniper varieties
Juniper varieties
Juniper varieties
Juniper varieties
Hall's Honeysuckle
Virginia Creeper
Russian Sage
Photinia
Shrubby Cinquefoil
India Hawthorn
Threelobed Sumac
Rosemary
Cherry Sage

Ornamental Grasses

Miscanthus sinensis
Muhlenbergia spp.
Pennisetum spp.
Stipa tenuissima

Maiden Grass
Muhly Grass
Fountain Grass
Threadgrass

Lawn Grasses

Buchloe dactyloides
Bouteloua gracilis

Buffalo Grass
Blue Grama

SETBACKS

The use of building and parking area setbacks provides space for the creation of visually attractive streetscapes and will help ensure the project's aesthetic appeal. Areas within these setbacks shall include pedestrian walkways, screening elements, and landscaping.

Standards

Building setbacks

- Buildings on Lots 3, 4, and 5 shall be located a minimum of 35 feet and maximum of 50 feet from the Coors Boulevard right-of-way. The building proposed for Lot 2 shall be located in accordance to the EPC approved Site Development Plan for Building permit due to constraints of lot configuration and grade.
- 10-feet from the right-of-way line of roadways other than Coors Boulevard
- 10-feet from the property line of an adjacent commercial or office zone

Parking Area Setbacks

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 10-feet from the right-of-way line of roadways

SITE PLANNING/ARCHITECTURE

Site Planning

In order to encourage a pedestrian-friendly environment within the development, special attention should be paid to the relationship between buildings and streets. Pedestrian activity is encouraged where pedestrian connections between the structures and the street are clearly identified and inviting.

Standards

- Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to pedestrian pathways.

- Sidewalks along the entry facade of all buildings shall be a minimum of 8 feet wide with a minimum 6 foot wide clear path.

- The maximum number of parking spaces shall be the minimum number required by the Zoning Code plus 10 percent.

- Parking areas shall be broken up through the use of convenient and logical pedestrian connections.

- Entryways shall be clearly defined and linked to the pedestrian pathways.

- Drive-thru facilities shall be designed so that they do not interfere with main pedestrianways or create conflicts between pedestrians and vehicles.

- No refuse collection areas shall be allowed between any street and building front. All refuse containers shall be screened within a minimum of a 6 foot tall enclosure that is large enough to contain all refuse generated between collections. The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.

- Parking areas shall be screened from adjacent streets and properties by providing a landscape strip between parking lots and public rights-of-way. The landscape strip shall be a minimum of 10 feet in width and shall be designed with a combination of plant materials, walls or fences, and/or earthen berming. Such screening shall have a minimum height of 3 feet.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or plant materials when viewed from the public right-of-way. Screening materials shall not limit access for maintenance purposes by utility companies.

- The heated enclosure for above-ground back flow prevention devices shall be constructed of materials compatible with the architectural materials used for the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or plant materials.

- There shall be a minimum 6-foot high, solid wall along the eastern edge of the subject site.

Architectural

Specific architectural style shall not be dictated. The design should demonstrate a high quality aesthetic character throughout the site. Architectural design should respond to local climate, views, solar access, and aesthetic considerations.

Standards

- The following uses are prohibited: adult amusement establishments, night clubs, outdoor equipment and/or maintenance yards.

- Buildings and structures shall comply with all City Zoning and Building Codes.

- The maximum building height for commercial and office uses shall be 26-feet and shall be in accordance with the Coors Corridor Plan view corridor restrictions.

- Building design and construction should be used to create a structure that is attractive on all sides, rather than placing all emphasis on the front elevation of the structure. Finished building materials shall be applied to all exterior sides of buildings and structures.

- Businesses with drive-thru facilities shall provide canopies which are architecturally tied to the building.

- Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of compatible design and materials.

- All rooftop equipment shall be screened from the public view by materials of the same nature as the basic materials of the building. The building parapet shall be the same height or taller than all rooftop equipment.

- Pre-engineered metal buildings with masonry or equivalent skin applied to facades are prohibited.

- Design elements that are undesirable and prohibited include:

- Highly reflective surfaces
- Exposed, untreated precision block walls
- Chain link fencing, barbed wire, or concertina wire
- Attached mansard roofs on small portions of the roofline
- Corrugated metal (metal roofs are exempt)
- Plastic/vinyl facias or awnings
- Plastic/vinyl fencing

- Streetside facades shall have varied setbacks with wall planes not running in one continuous direction for more than 100-feet without a change in architectural treatment. The staggering of planes is important to create pockets of light and shadow, and to provide relief from monotonous expanses of building facade. The staggering of planes shall be a minimum of 6-feet.

- Any cellular communication towers/facilities proposed for the site shall be architecturally integrated into the site.

- No outdoor loudspeakers and paging systems are allowed.

SIGNAGE

These signage standards were developed to regulate the size, location, type, and quality of sign elements within the development. They are to be used in conjunction with the City Comprehensive Zoning Ordinance, and the Coors Corridor Plan. Where there is conflict between these guidelines and City regulations, the more restrictive shall apply.

A properly implemented signage program will serve several important functions:

- Direct and inform visitors
- Provide circulation requirements and restrictions
- Provide for public safety and minimize confusion of traffic control
- Complement the visual character of the area

Standards

- No sign shall overhang the public right-of-way or extend above the building roof line.

- One free-standing, two-sided sign is allowed for any one premise with street frontage. Free-standing signs are limited to a maximum sign face of 50 square feet and shall not exceed 8-feet above adjacent finished grade.

- Facade mounted signs shall not exceed 6 percent of the facade area to which it is attached. Sign letters shall be channelized, neon, or painted. Backlit illuminated panels are not allowed, except for company/business logos. The maximum height for individual letters is 3-feet.

- No additional off-premise signs are allowed except for traffic safety signs, street signs, or location markers or directory maps.

- All signage shall be designed to be consistent with and complement the materials, color, and the architectural style of the building or site location.

- Free-standing signs shall be placed at the back of the public right-of-way line and outside of the safety vision triangle at all entries and intersections.

- No signage is allowed that uses flashing, oscillating, occultating, revolving, blinking, or audible devices. No banners, pennants, ribbons, or streamers are allowed except for thematic special events and with prior approval by City of Albuquerque Zoning Department.

- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices. Pole-mounted signs are not allowed.

- No lighted signs shall be placed on east-facing buildings or in a location that is visible from residential areas east of this development.

Guidelines

- Free-standing monument style signs are encouraged, particularly for multi-tenant commercial/office development.

LIGHTING

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to lighting design and preservation of a dark "night sky". Due to the nature of this site and its relationship to the residential area to the east and south, screening of light spillage to the east and south requires special attention.

Standards

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

- Search lights, spotlights, and floodlights are prohibited.

- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky" and equipped with automatic timing devices. Cobra and sodium lights are prohibited at this site.

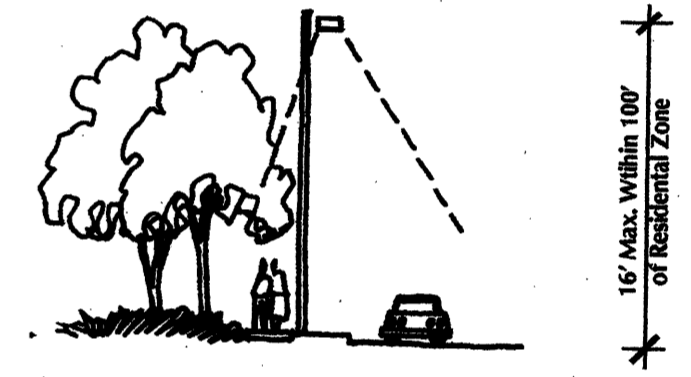
- All outdoor light fixtures within commercial or office zones shall remain off between 11:00 p.m. and sunrise except for security purposes (limited to 12-feet in height) or to illuminate walkways, driveways, equipment yards, and parking lots.

- Outdoor light poles shall not exceed 16 feet in height within 100' of the adjacent residential zones. Public streetlight poles are exempt from this height requirement.

- All lighting on the site shall be fully shielded, cut-off lighting (shoebox) to minimize fugitive lighting and the bulbs shall not extend past the housing. Additional shielding shall be provided for all lights along the eastern and southern edge of the property to provide additional screening for the adjacent residential areas.

Guidelines

- Area lighting is encouraged to highlight public spaces and walkways. The use of pedestrian scale lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.



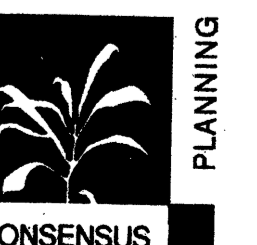
In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to lighting design.

Tract 6-B

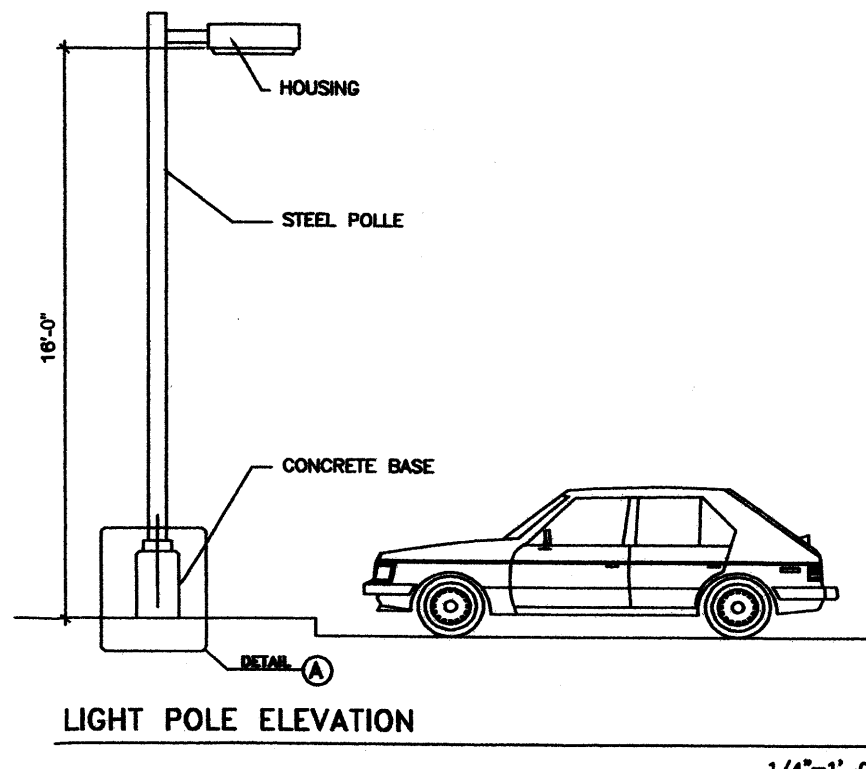
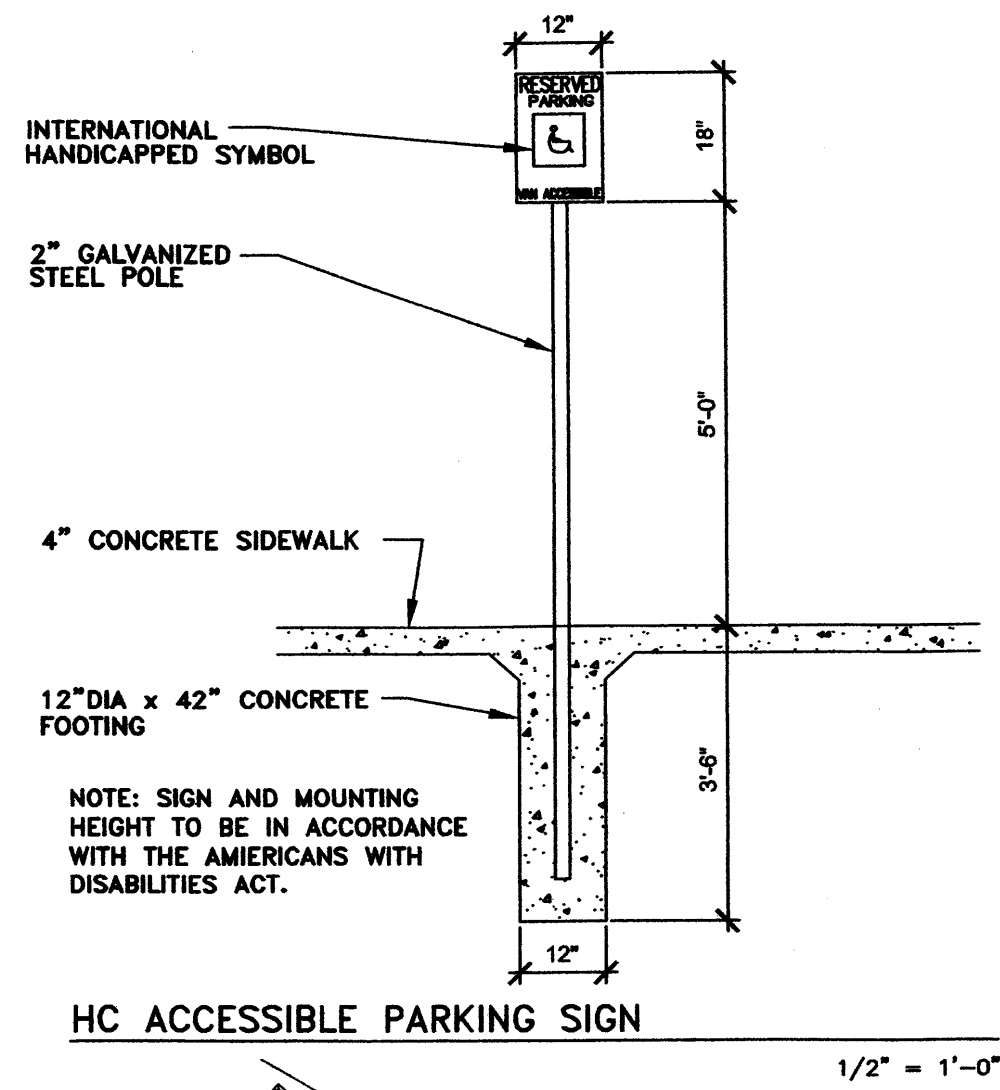
Partition of Black Ranch

Prepared for:
CAS, LLC
5704 Lomas NE
Albuquerque, NM 87110

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

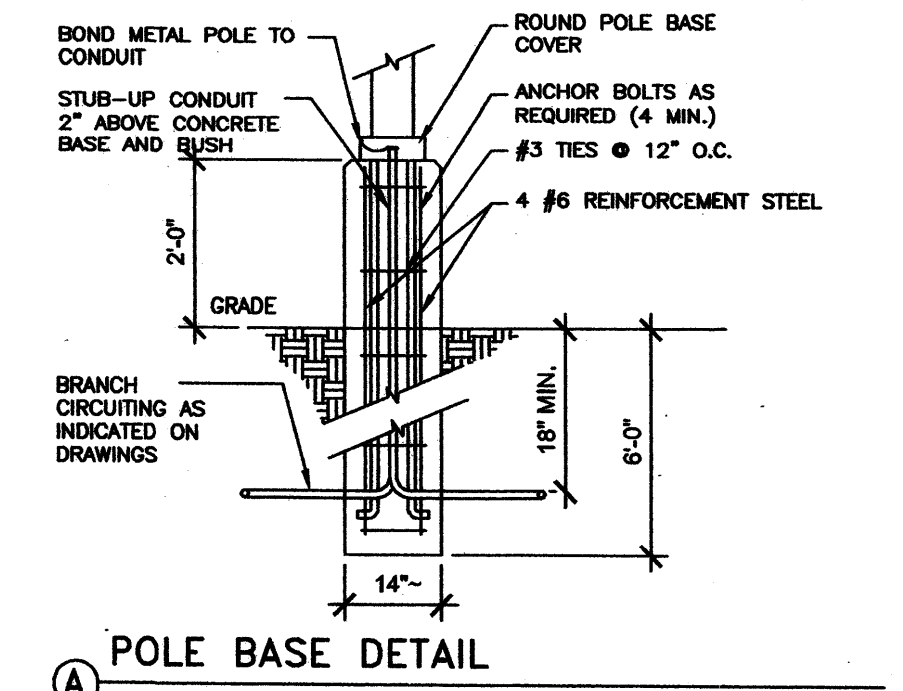


December 2, 2004

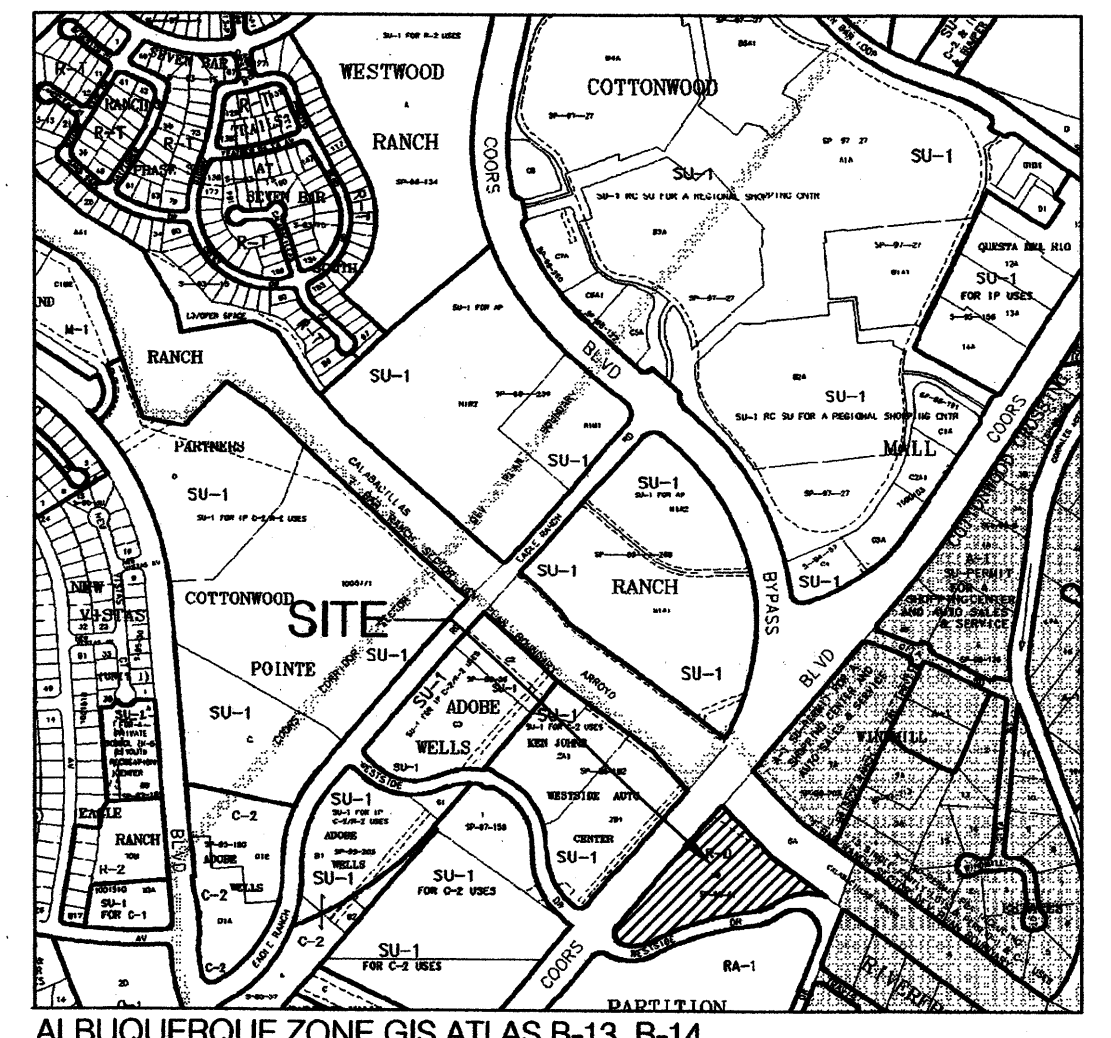


SITE LIGHTING NOTES:

1. SITE AREA LIGHTING SHALL MOUNTED ON 16" HIGH STEEL POLES, PAINTED ACCORDING WITH OVERALL COLOR SCHEME OF THE PROJECT. SEE DETAIL THIS SHEET FOR FOUNDATION DETAIL.
2. SITE AREA LIGHTING SHALL NOT DIRECT LIGHT, EITHER DIRECTLY OR THROUGH REFLECTIVE DEVICE, UPON ADJACENT PROPERTY AND SHALL NOT HAVE A OFF-SITE LUMINESCENCE GREATER THAN TOTAL OF 1000 FOOT LAMBERTS, MEASURED FROM THE PROPERTY LINES.
3. ALL SITE AREA LIGHTING FIXTURES SHALL USE LOW, HIGH PRESSURE SODIUM OR METAL HALIDE LAMPS. NO MERCURY VAPOR LIGHTS SHALL BE ALLOWED.
4. MAXIMUM WATTAGE SHALL BE 250 WATT AND ALL LIGHTING UNITS SHALL BE HOODED OR SHIELDED AS TO DIRECT ALL LIGHTING DOWNWARDS.
5. ALL SITE AREA LIGHTING FIXTURES SHALL BE DESIGNED AS A PART OF THE ARCHITECTURAL AND LANDSCAPE CHARACTER.



SITE VICINITY



GENERAL NOTES

1. STREET WHEELCHAIR RAMPS WILL BE CONSTRUCTED PER COA STANDARD DRAWING #2441, CASE II.
2. STANDARD CURB AND GUTTER AND HEADER CURB WILL BE CONSTRUCTED PER COA STANDARD DRAWING #2415.
3. PCC VALLEY GUTTERS WILL BE CONSTRUCTED PER COA STANDARD DRAWING #2420.
4. STREET SIDEWALKS WILL BE CONSTRUCTED PER COA STANDARD DRAWING #2430.
5. STREET GEOMETRY AND PAVEMENT SHALL COMPLY WITH CITY OF ALBUQUERQUE SPECIFICATIONS AND STANDARD DETAILS.
6. CROSS PARKING AND ACCESS SHALL BE PROVIDED THROUGHOUT.
7. MOTORCYCLE PARKING SHALL INCLUDE STRIPING AND SIGNAGE.
8. UNPAINTED OR BRIGHT COLORED METAL ROOFING IS NOT ALLOWED. MATTE FINISHED GALVALUM METAL ROOFING IS ACCEPTABLE.

SITE DATA

Site Area: 2.1516 Acres
 Zoning: SU-1 for O-1 Permissive Uses
 Legal Description: Lot 1, CAS Addition
 Total Building Area: 18,747 S.F.
 Net Leasable Area: 17,707 S.F.
 Parking Required: 17,707/200 = 89 spaces
 Parking Required with 10% Transit Reduction: 81 spaces
 Parking Provided: 81 spaces
 Handicap Parking Required: 4 space
 Handicap Parking Provided: 6 space
 Bicycle Parking Required: 5 spaces (1 per 20 parking spaces)
 Bicycle Parking Provided: 6 spaces
 FAR Required: .25 maximum
 FAR Provided: .20

Project Number: 1002529
 Application Number: 05EPC-00148

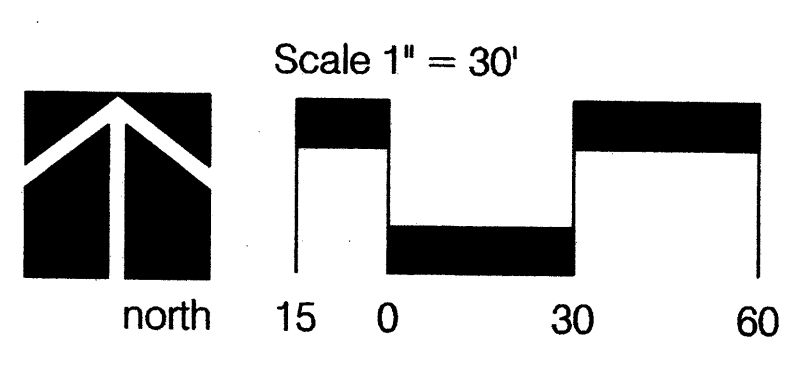
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

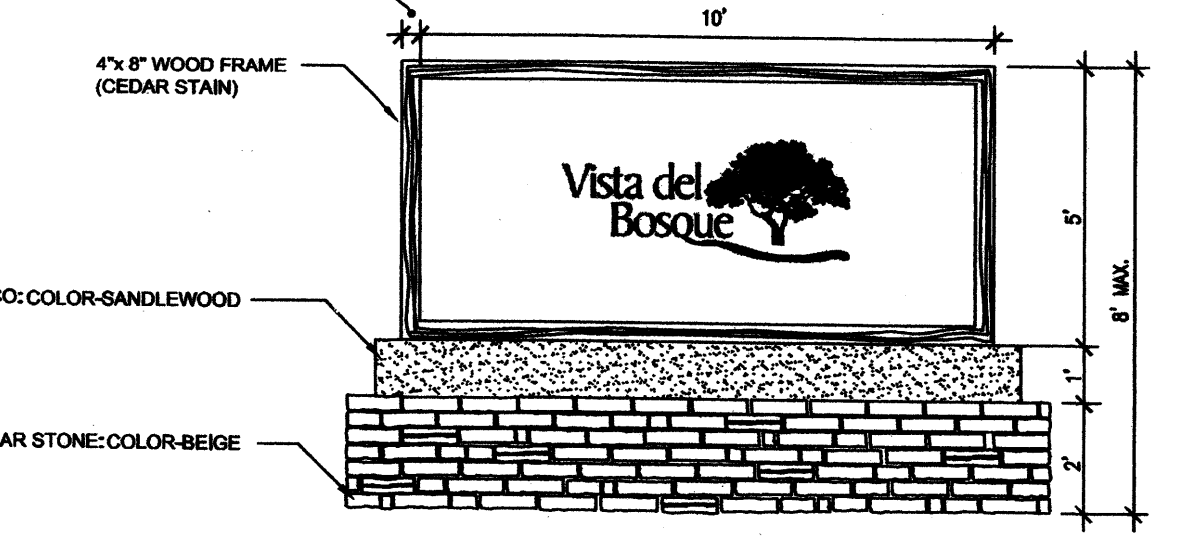
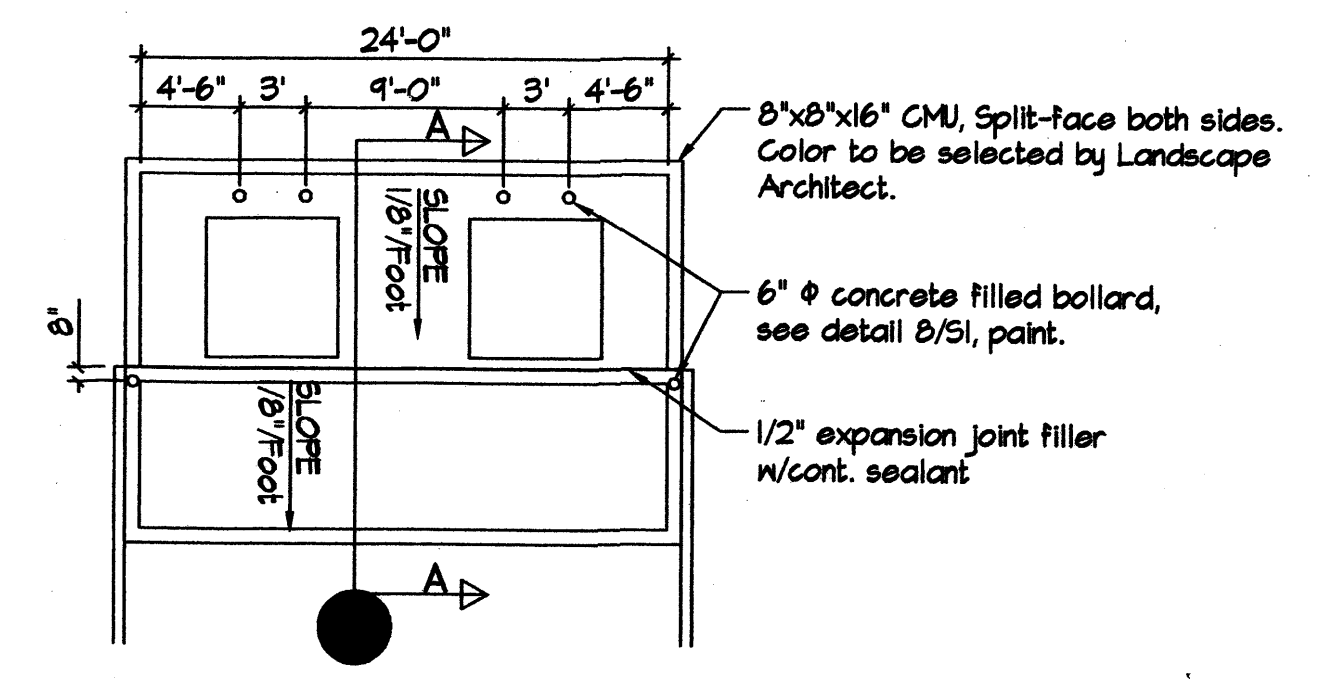
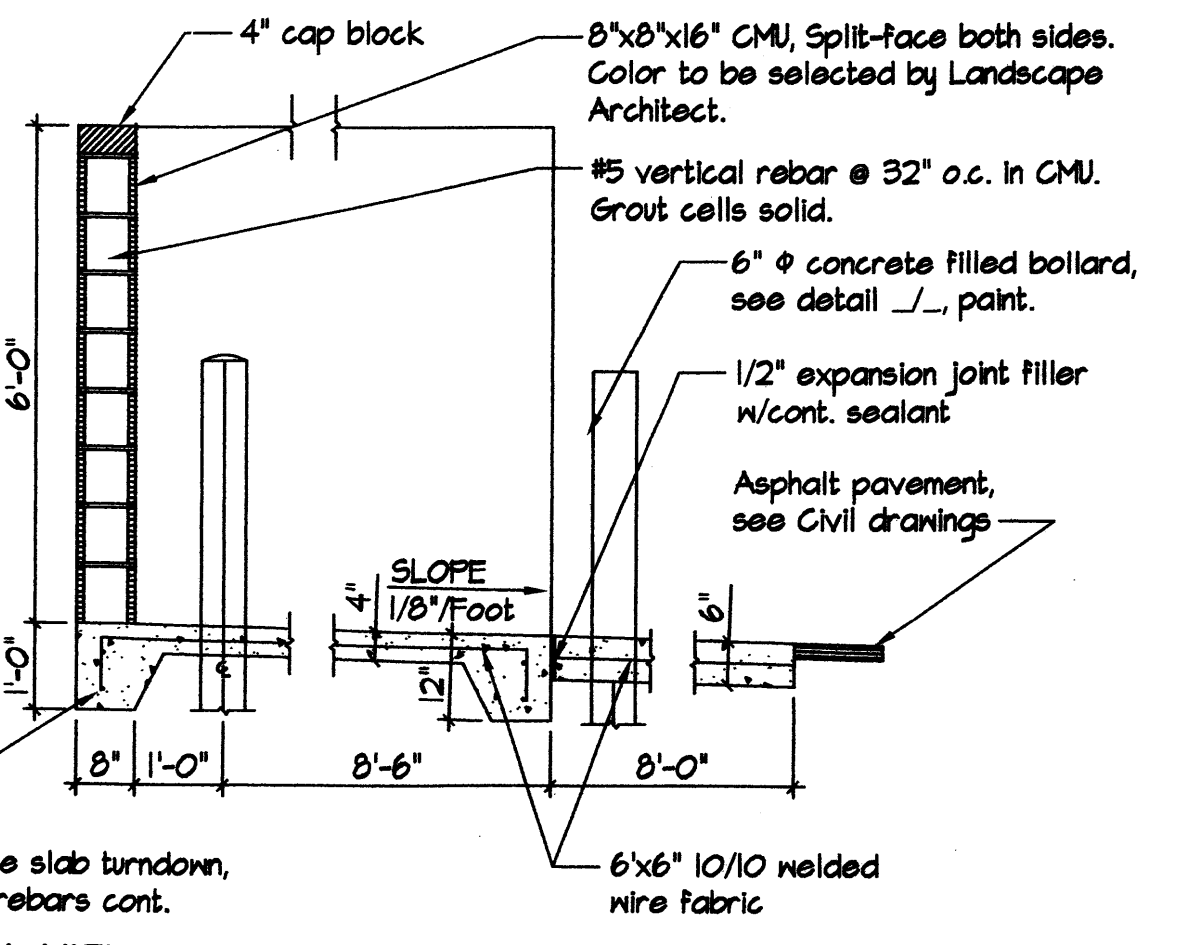
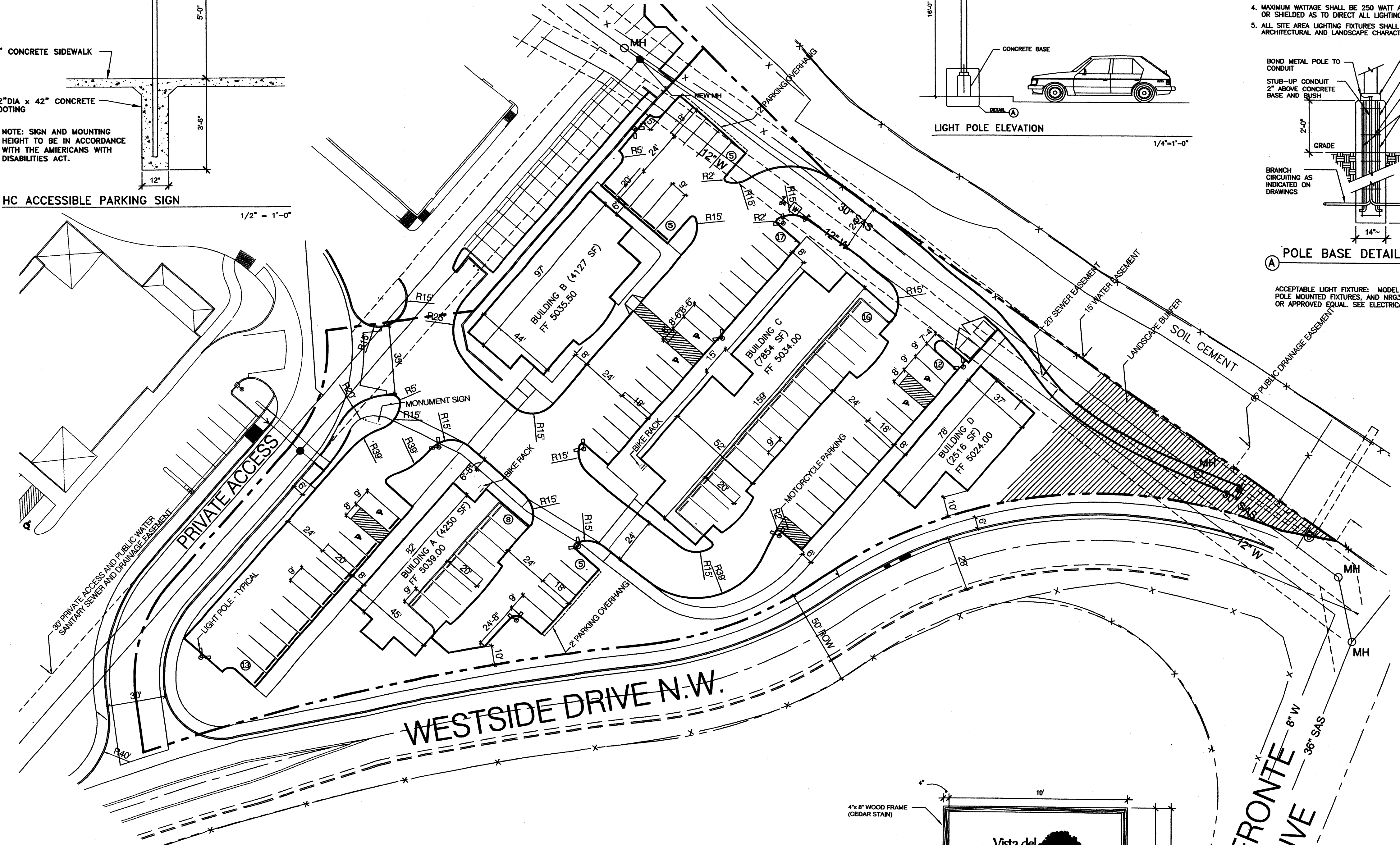
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utilities Department	Date
Parks and Recreation Department	Date
City Engineer <i>Michael Holten</i>	Date 7/21/05
DRB Chairperson, Planning Department	Date

AED PLANS CHECKING OFFICE
 924-3611
 APPROVED (SEAL) [Signature]
 7.21.05
 DATE AND SIGNATURE



CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 924 Park Avenue SW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com



SECTION VIEW A-A
REFUSE BIN ENCLOSURE

PLAN VIEW

N.T.S.

 BORDENAVE DESIGNS P.O. BOX 91194, ALBUQUERQUE, NM 87199 PHONE: (505) 823-1344 FAX: (505) 821-9105 jakebordenave@mindspring.com	PROJECT TITLE: Vista Del Bosque COORS BOULEVARD N.W.
	SHEET TITLE: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR LOT #1
DRAWN BY: _____ CHECKED BY: _____ BASELINE: 07/20/2005	B-13-Z JOB NO: 0408 SHEET 1 OF 7

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

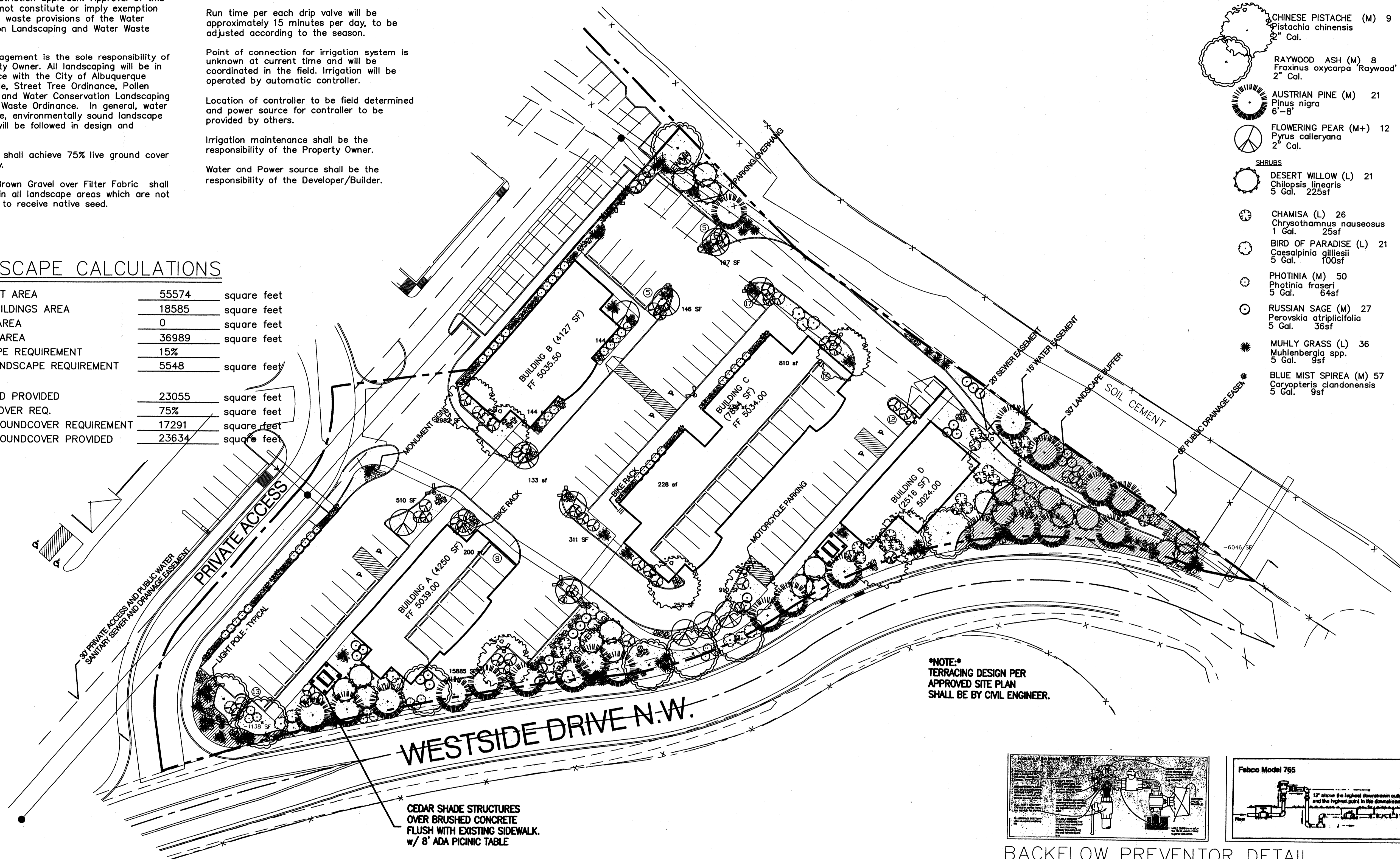
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	55574	square feet
TOTAL BUILDINGS AREA	18585	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	36989	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	5548	square feet
TOTAL BED PROVIDED	23055	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	17291	square feet
TOTAL GROUND COVER PROVIDED	23634	square feet

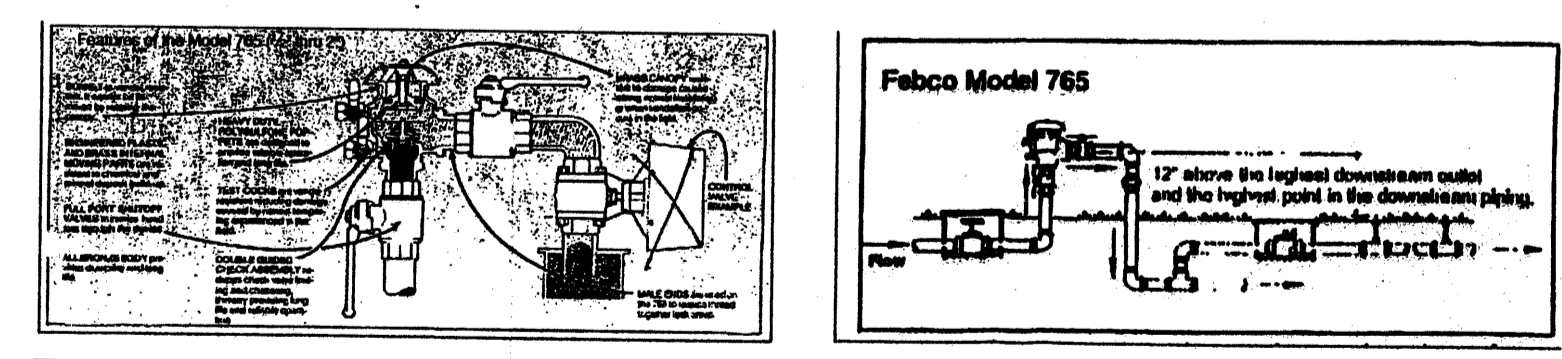


NOTE:
TERRACING DESIGN PER APPROVED SITE PLAN SHALL BE BY CIVIL ENGINEER.

CEDAR SHADE STRUCTURES OVER BRUSHED CONCRETE FLUSH WITH EXISTING SIDEWALK w/ 8' ADA PICNIC TABLE

PLANT LEGEND

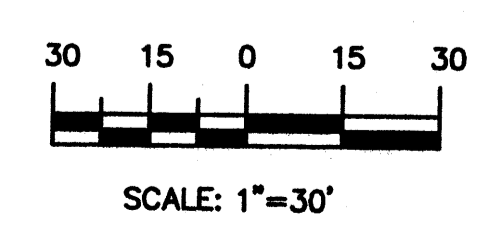
- TREES**
- CHINESE PISTACHE (M) 9
Pistachia chinensis
2" Cal.
- RAYWOOD ASH (M) 8
Fraxinus oxycarpa 'Raywood'
2" Cal.
- AUSTRIAN PINE (M) 21
Pinus nigra
6"-8"
- FLOWERING PEAR (M+) 12
Pyrus calleryana
2" Cal.
- SHRUBS**
- DESERT WILLOW (L) 21
Chilopsis linearis
5 Gal. 225sf
- CHAMISA (L) 26
Chrysothamnus nauseosus
1 Gal. 25sf
- BIRD OF PARADISE (L) 21
Caesalpinia gilliesii
5 Gal. 100sf
- PHOTINIA (M) 50
Photinia fraseri
5 Gal. 64sf
- RUSSIAN SAGE (M) 27
Perovskia atriplicifolia
5 Gal. 36sf
- MUHLER GRASS (L) 36
Muhlenbergia spp.
5 Gal. 9sf
- BLUE MIST SPIREA (M) 57
Caryopteris clandonensis
5 Gal. 9sf
- GRASSES**
- MAIDENGRASS (M) 54
Miscanthus sinensis
5 Gal. 16sf
- THREADGRASS (M) 95
Stipa tenuissima
1 Gal. 4sf
- GROUNDCOVERS**
- HALLS HONEYSUCKLE (M) 49
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- COMMERCIAL GRADE STEEL EDGING
- OVERSIZED GRAVEL & 30 BOULDERS
- HYDRO-MULCHED BUFFALO GRASS SEED NO IRRIGATION



BACKFLOW PREVENTOR DETAIL

no scale

GRAPHIC SCALE



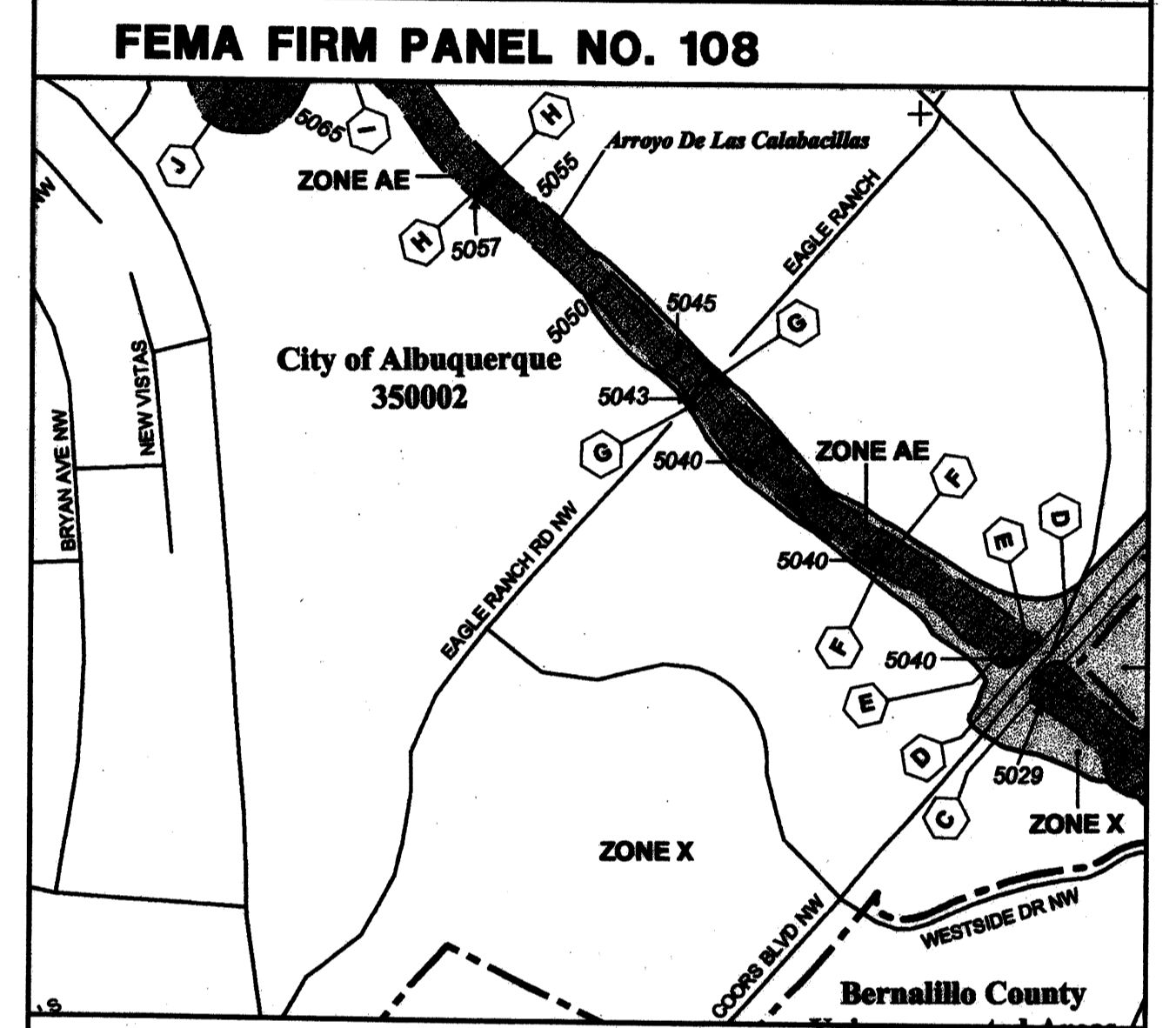
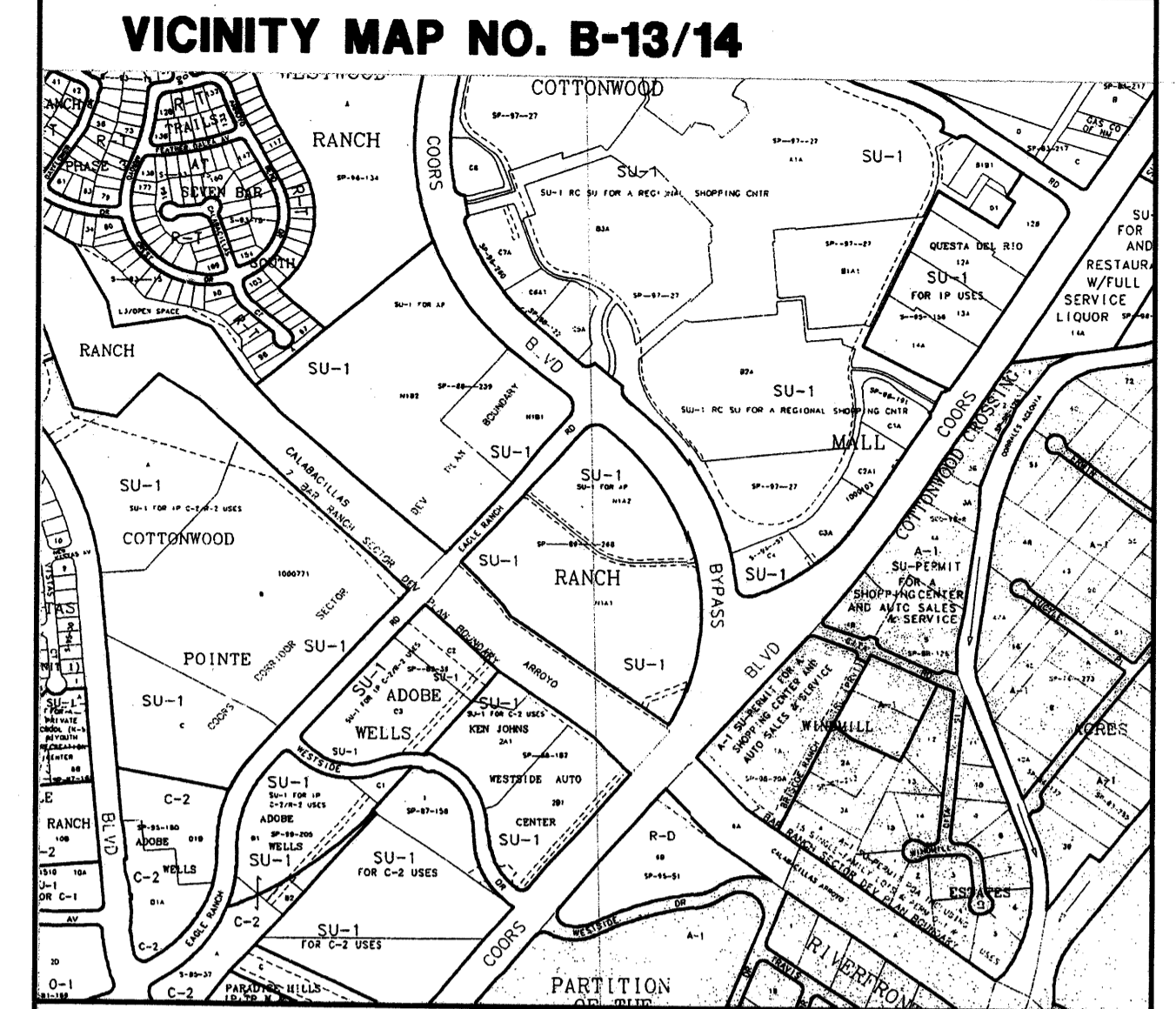
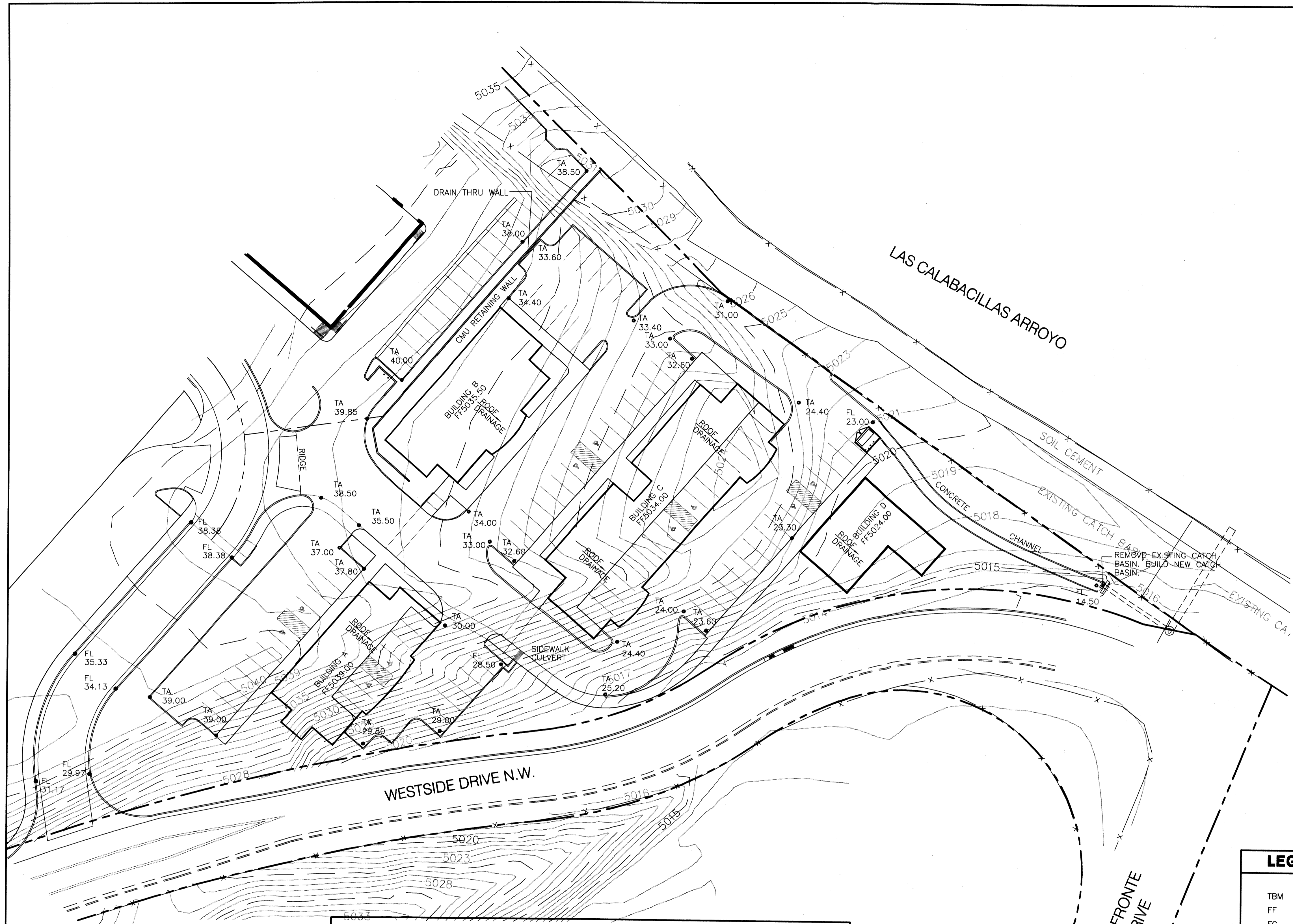
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PHONE(505)823-1344 FAX (505)821-9105
jakebordenave@mindspring.com

PROJECT TITLE:	CAS AUTO SALES
SHEET TITLE:	LANDSCAPE PLAN FOR LOT #1
DRAWN BY:	chk
CHECKED BY:	cmj
DATE:	5-03-05
B-13-Z	JOB NO: 0408
SHEET	2 of 7

7-26-05
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com
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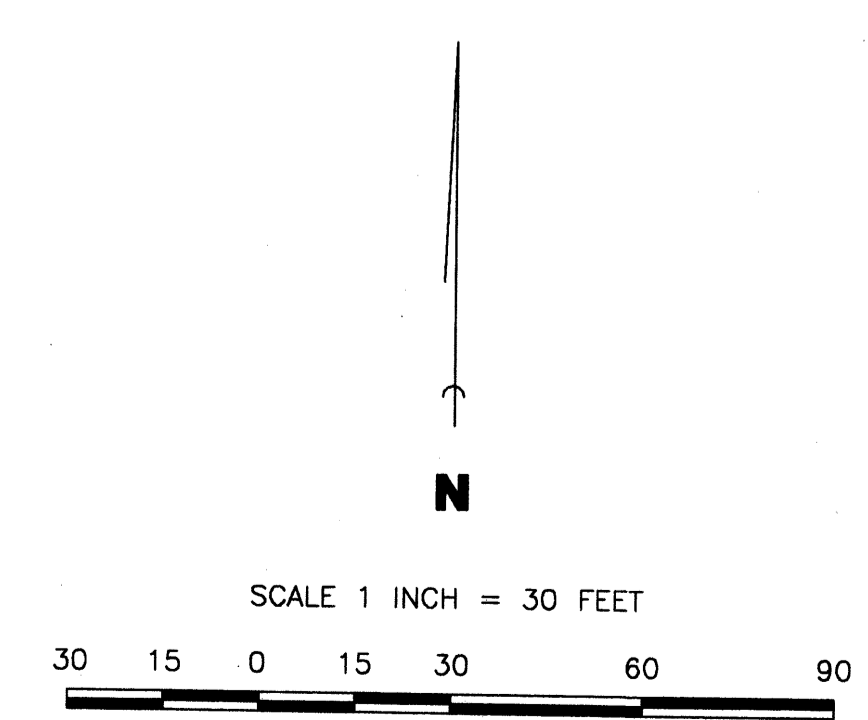


DRAINAGE DATA							
CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	in.	(table 5)	cu. ft.	cfs.
EXISTING	10	A	56904	0.08	0.24	379	0.31
		B	11420	0.22	0.76	209	0.20
		C	25400	0.44	1.49	931	0.87
		D	0	1.24	2.89	0	0.00
		TOTAL	93724			1520	1.38
			100	A	56904	0.44	1.29
		B	11420	0.67	2.03	638	0.53
		C	25400	0.99	2.87	2096	1.67
		D	0	1.97	4.37	0	0.00
		TOTAL	93724			4820	3.89
DEVELOPED	10	A	0	0.08	0.24	0	0.00
		B	12865	0.22	0.76	232	0.22
		C	6220	0.44	1.49	228	0.21
		D	74839	1.24	2.89	7733	4.97
		TOTAL	93724			8194	5.40
			100	A	0	0.44	1.29
		B	12865	0.67	2.03	707	0.59
		C	6220	0.99	2.87	513	0.41
		D	74839	1.97	4.37	12286	7.51
		TOTAL	93724			13506	8.51

LEGAL DESCRIPTION	
LOTS 1, CAS ADDITION	

PERMANENT BENCHMARK	
ACS NM446-N10	ELEVATION 5045.51 (NGVD 1929)

LEGEND	
TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TOP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
MH	MANHOLE
CB	CATCH BASIN GRATE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT
---	DRAINAGE BASIN BOUNDARY
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
..XX.XX	EXISTING SPOT ELEVATION
•XX.XX	PROPOSED SPOT ELEVATION
-XX.XX	RECORD SPOT ELEVATION
XX.XX	



SITE CONDITIONS

EXISTING CONDITIONS

- THE EXISTING SITE IS QUITE STEEP (>10% SLOPE) SLOPING DOWNWARD FROM WEST TO EAST. VEGETATION IS COMPOSED OF SPARSE GRASSES AND SCATTERED WEEDS. SOILS ARE SANDY LOAMS.
- THERE IS AN EXISTING CATCH BASIN AT THE EASTERLY END OF THE SITE ON THE PROPERTY THAT DRAINS INTO THE LAS CALABACILLAS ARROYO. THE LOT WEST OF THE SITE (LOT 2) PRESENTLY DRAINS ACROSS THE SUBJECT SITE.

PROPOSED CONDITIONS

- THE PROPOSED OFFICE COMPLEX IS COMPOSED OF SEVERAL SMALLER BUILDINGS TO BETTER FIT THE EXISTING SLOPES. PARKING HAS BEEN PLACED UNDER THE EASTERLY PORTION OF TWO OF THE BUILDINGS TO FURTHER MATCH EXISTING SITE GRADES.
- STORMWATER WILL CONTINUE TO BE ACCEPTED FROM LOT 2 TO THE WEST AND ROUTED ACROSS THE SUBJECT SITE TO A NEW ENLARGED CATCH BASIN TO REPLACE THE EXISTING OUTFALL. THE NEW OUTFALL FACILITY WILL HAVE A WATER QUALITY MANHOLE MEETING CITY AND AMAFCA SPECIFICATIONS. ALL ONSITE STORMWATER AS WELL AS THAT FROM LOT 2 WILL BE ROUTED ACROSS THE SUBJECT SITE VIA DRIVES AND A CONCRETE CHANNEL.

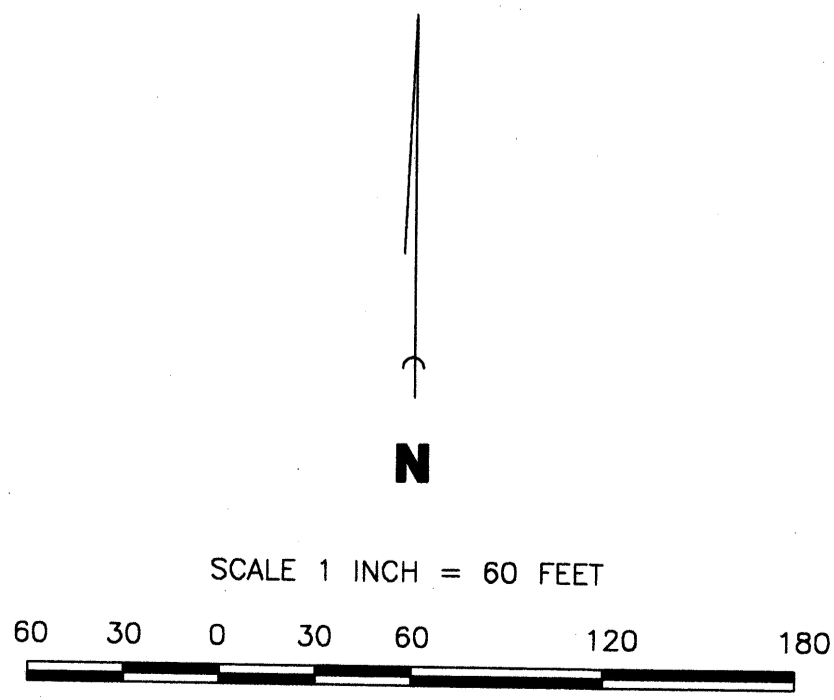
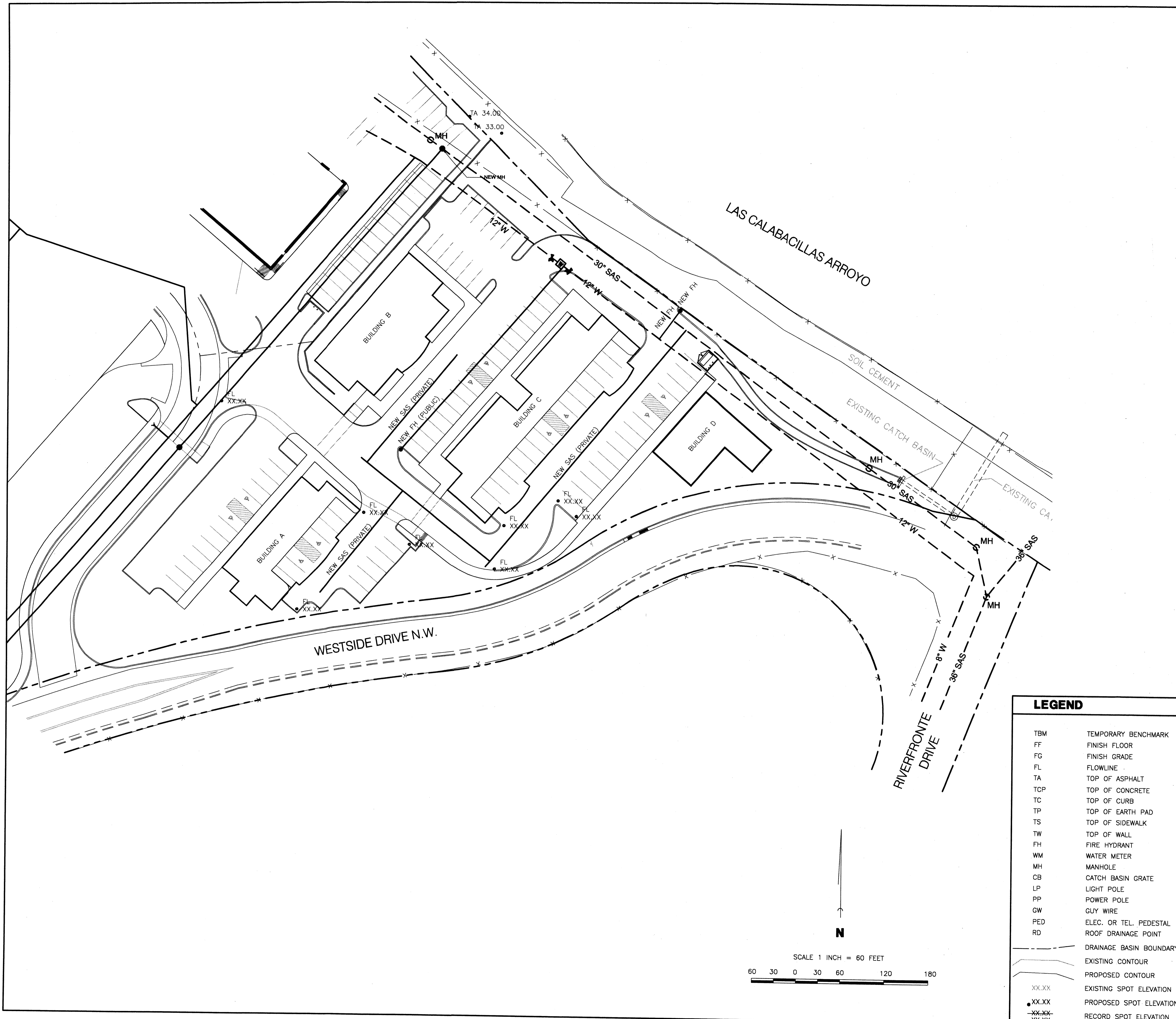
no.	date	remarks	by

REVISIONS

	project title	VISTA DEL BOSQUE WESTSIDE DRIVE NW ALBUQUERQUE, NM		
	sheet title	CONCEPTUAL GRADING & DRAINAGE		
sheet date	design by	project no.		
04/26/05	JJB	0408		

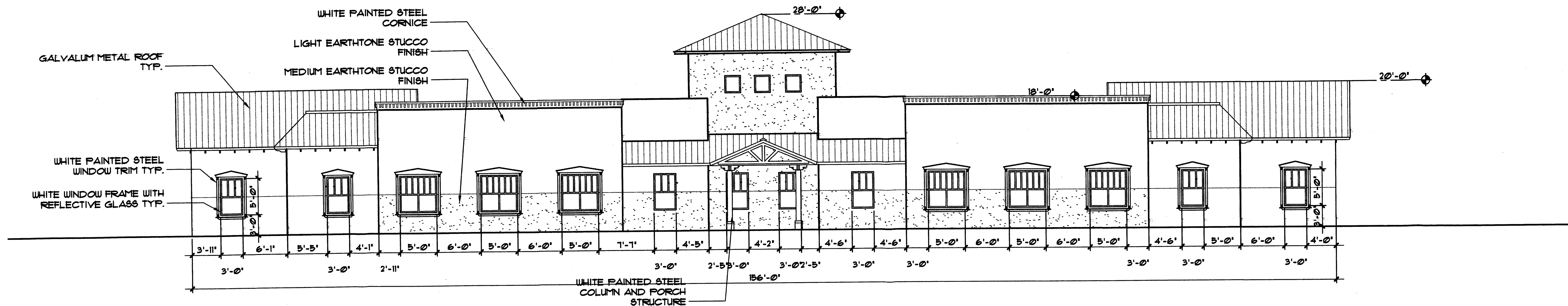
BORDENAVE DESIGNS
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(505)823-1344 FAX (505)821-9105

sheet **3** of **7**



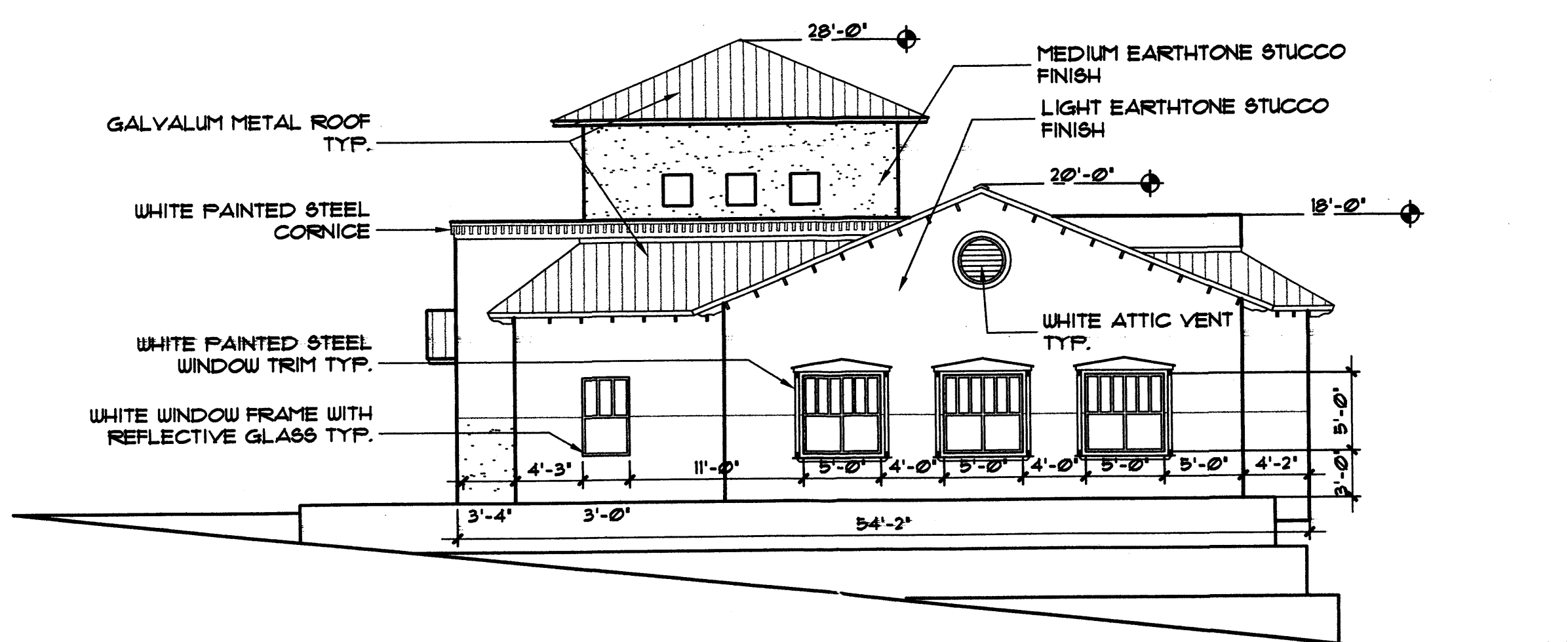
LEGEND	
TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TOP	TOP OF CONCRETE
TC	TOP OF CURB
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RD	ROOF DRAINAGE POINT
(---)	DRAINAGE BASIN BOUNDARY
(---)	EXISTING CONTOUR
(---)	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
•XX.XX	PROPOSED SPOT ELEVATION
-XX.XX	RECORD SPOT ELEVATION
XX.XX	RECORD SPOT ELEVATION

LEGAL DESCRIPTION			
LOTS 1, CAS ADDITION			
PERMANENT BENCHMARK			
ACS NM446-N10	ELEVATION 5045.51 (NGVD 1929)		
UTILITY CONDITIONS			
THE EXISTING WATER AND SANITARY SEWER LINES SHOWN ON THIS SHEET ARE OWNED AND OPERATED BY NEW MEXICO UTILITIES.			
ALL PROPOSED LINES (EXCEPT FIRE HYDRANTS) ARE PRIVATE FACILITIES.			
no.	date	remarks	by
REVISIONS			
		project title	
		VISTA DEL BOSQUE WESTSIDE DRIVE NW ALBUQUERQUE, NM	
sheet title		project no.	
CONCEPTUAL UTILITIES		0408	
sheet date	design by	sheet	
04/26/05	JJB	4	
BORDENAVE DESIGNS P.O. BOX 91194, ALBUQUERQUE, NM 87199 (505)823-1344 FAX (505)821-9105		of	
		7	



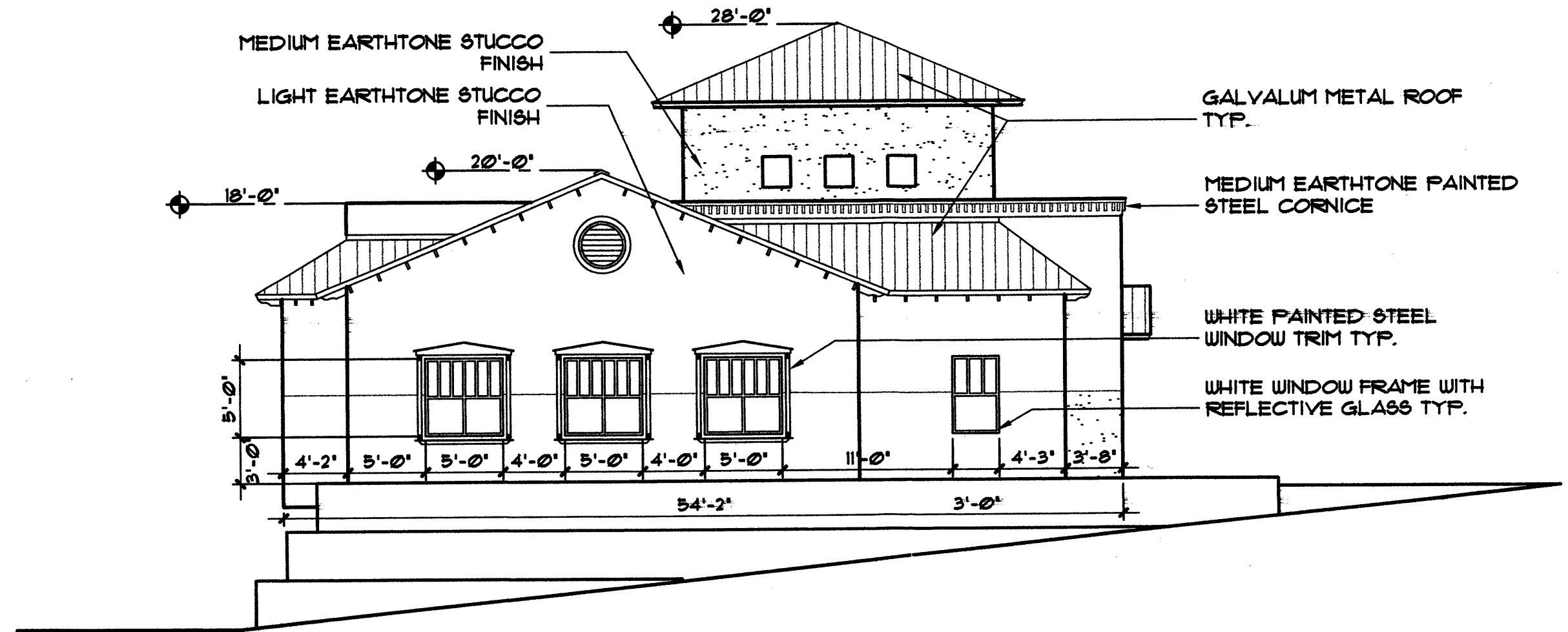
WEST ELEVATION

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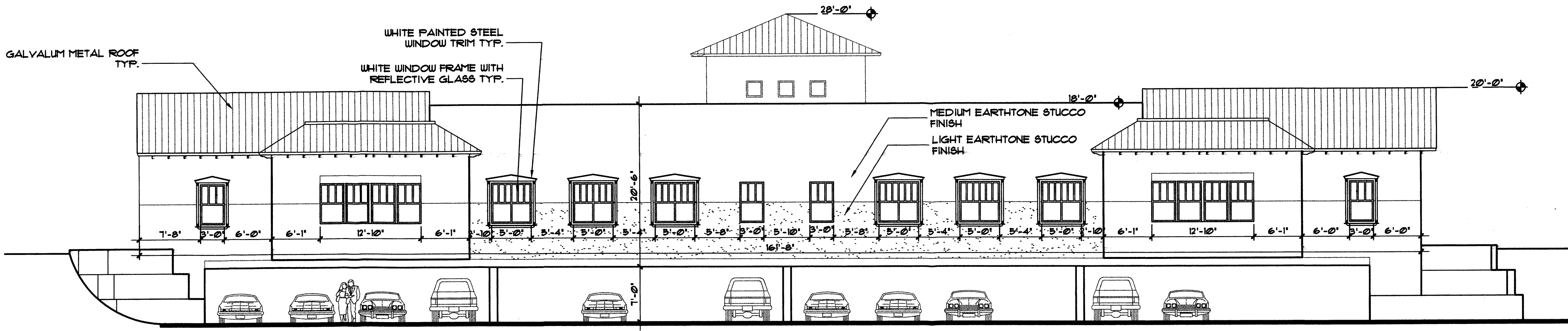
SOUTH ELEVATION

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NORTH ELEVATION

1/8"=1'-0"



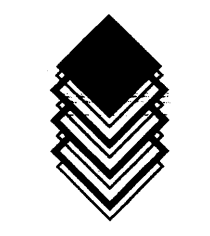
EAST ELEVATION

1/8"=1'-0"

SCHEMATIC ELEVATIONS BUILDING "C"

MAY 3, 2005

SCALE: 1/8" = 1'-0"

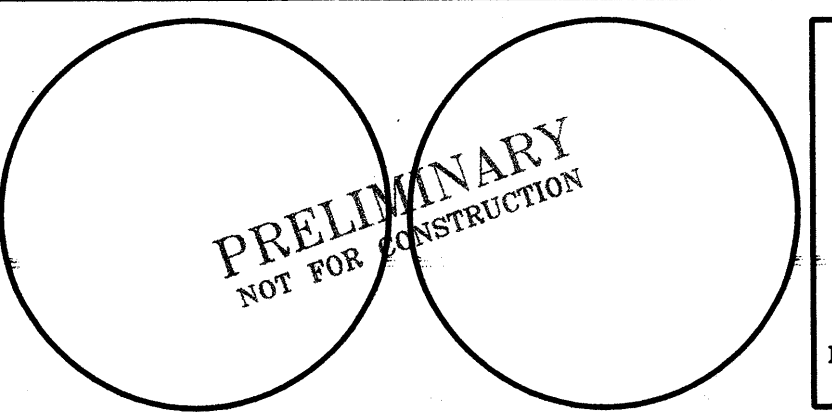


CLAUDIO VIGIL ARCHITECTS

BLACK RANCH

TRACT 6-B

COORS BOULEVARD AT WESTSIDE DRIVE
ALBUQUERQUE, NEW MEXICO



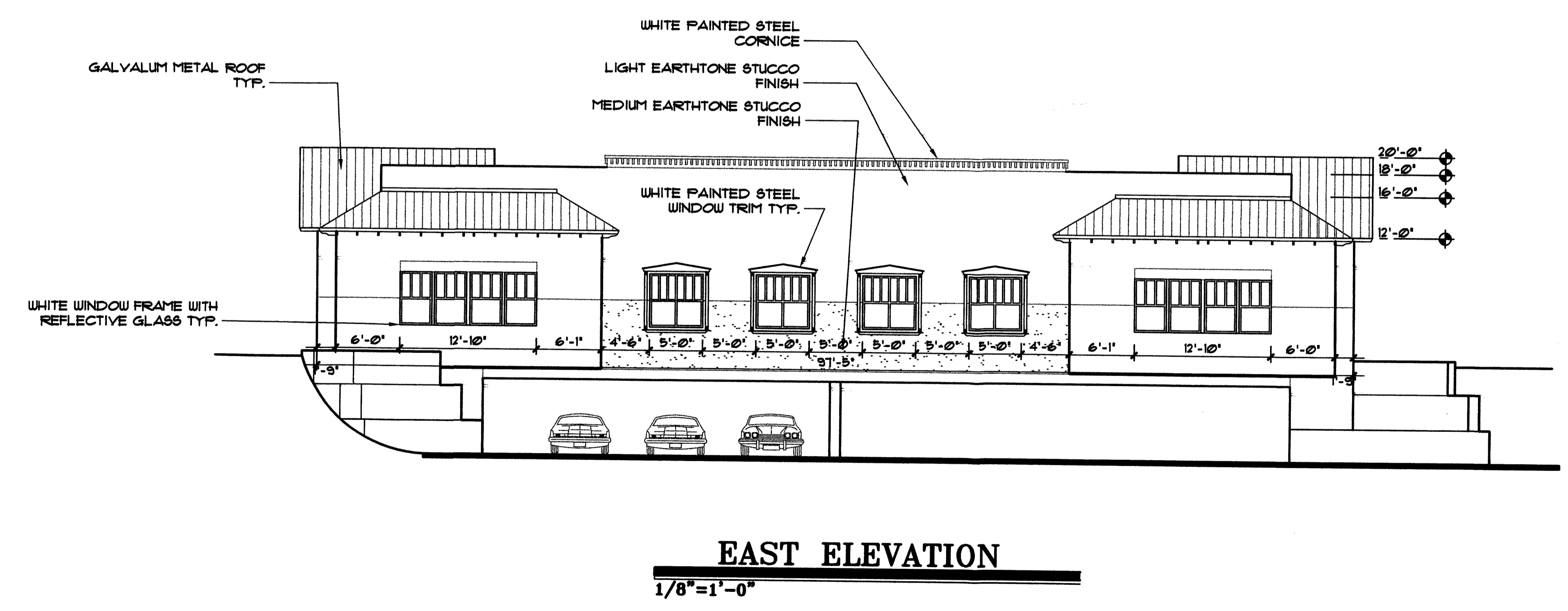
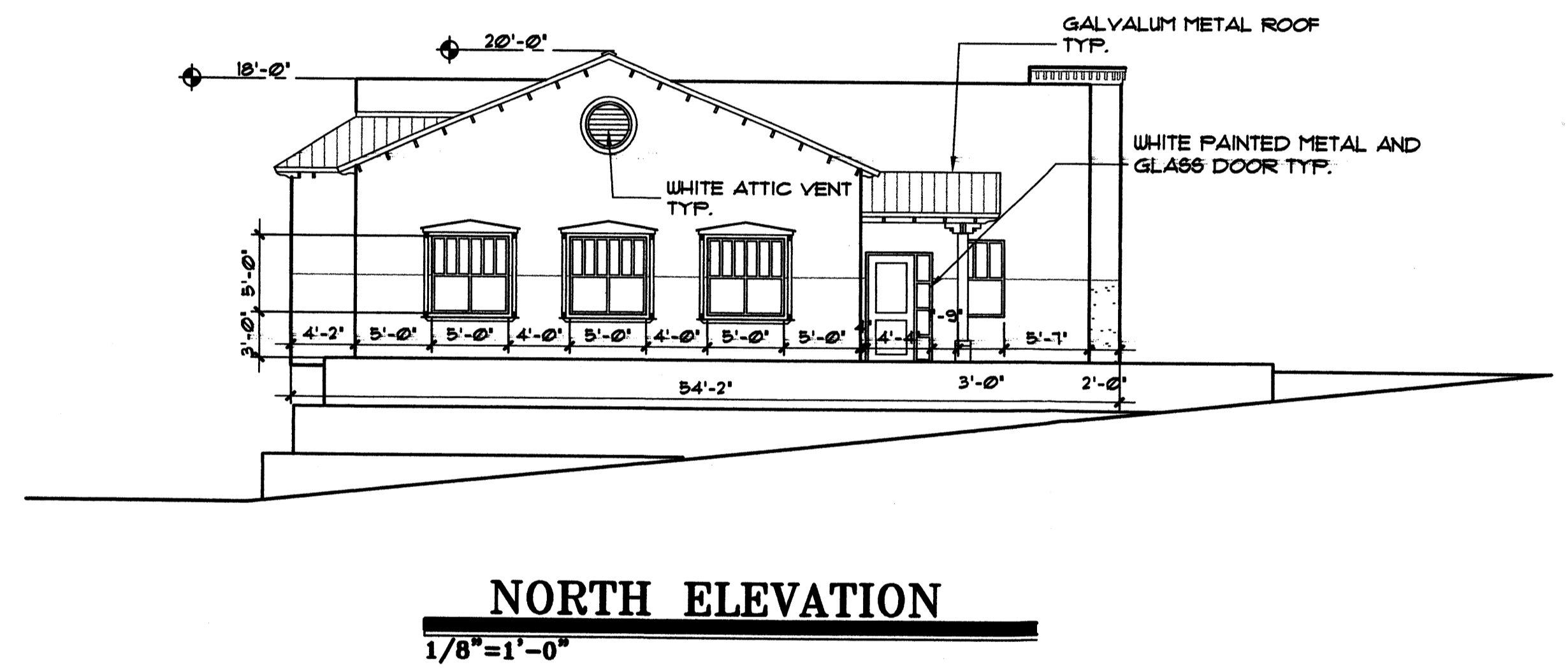
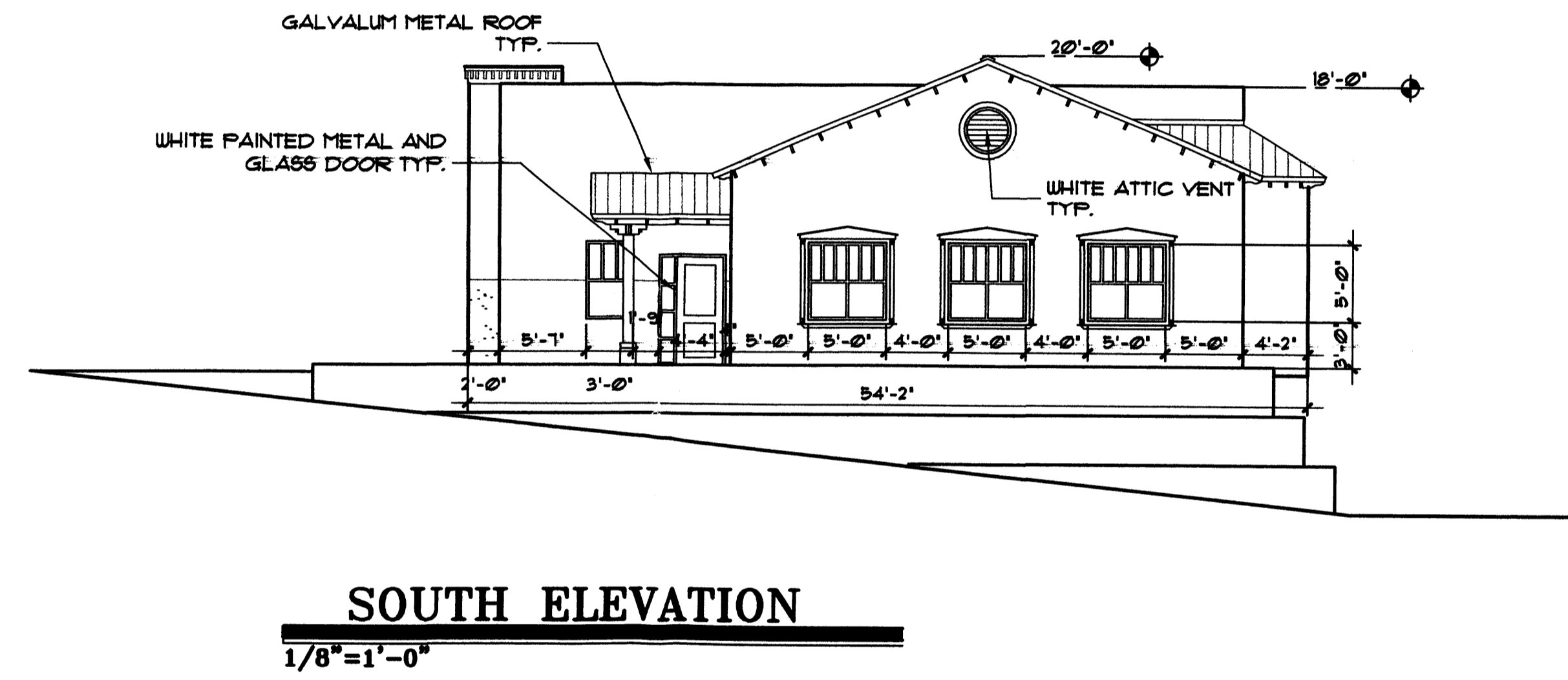
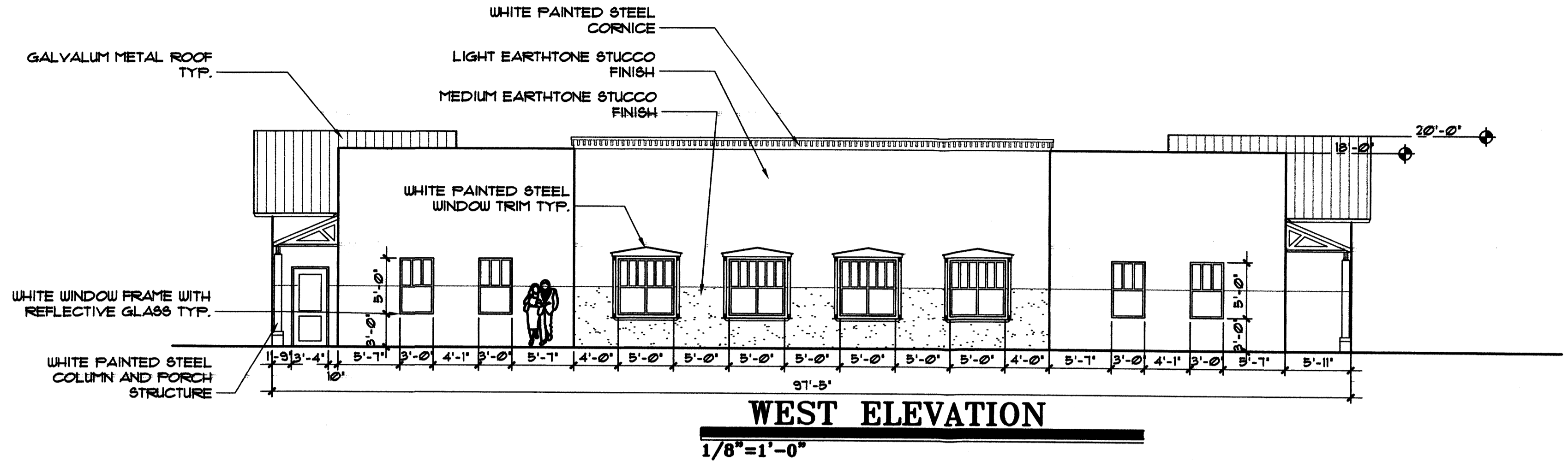
SHEET
5 of 7
A-2

PROJECT NUMBER
05010

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Phone: 505/842-1113 Fax: 505/842-1330

E:\2005\0500-Black Ranch\Tract 6-B\Black-Ranch-EBD.dwg, 5/12/2005 9:09:17 AM



SCHEMATIC ELEVATIONS BUILDING "A"

MAY 3, 2005 SCALE: 1/8" = 1'-0"

CLAUDIO VIGIL ARCHITECTS

BLACK RANCH TRACT 6-B
 COORS BOULEVARD AT WESTSIDE DRIVE
 ALBUQUERQUE, NEW MEXICO

PRELIMINARY NOT FOR CONSTRUCTION

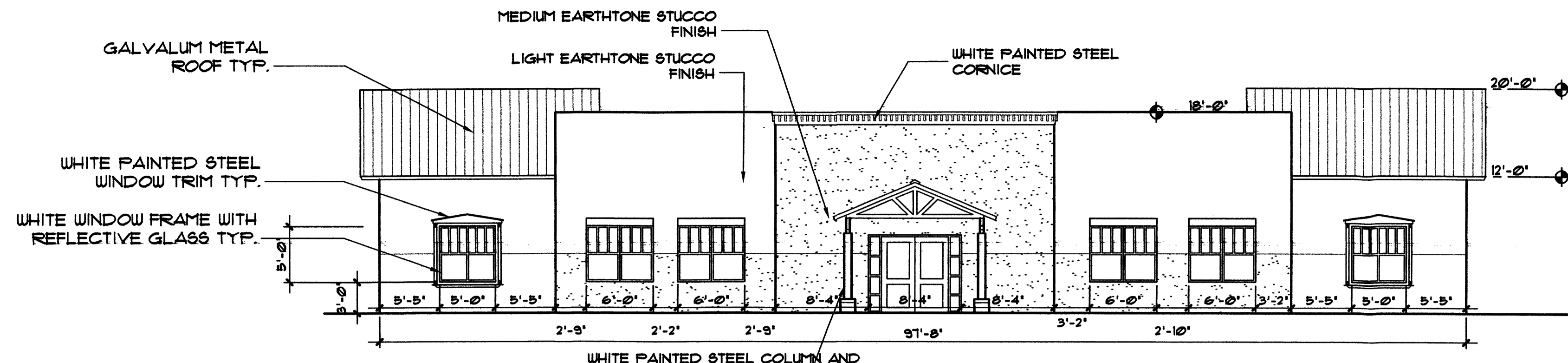
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PROJECT NUMBER 05010

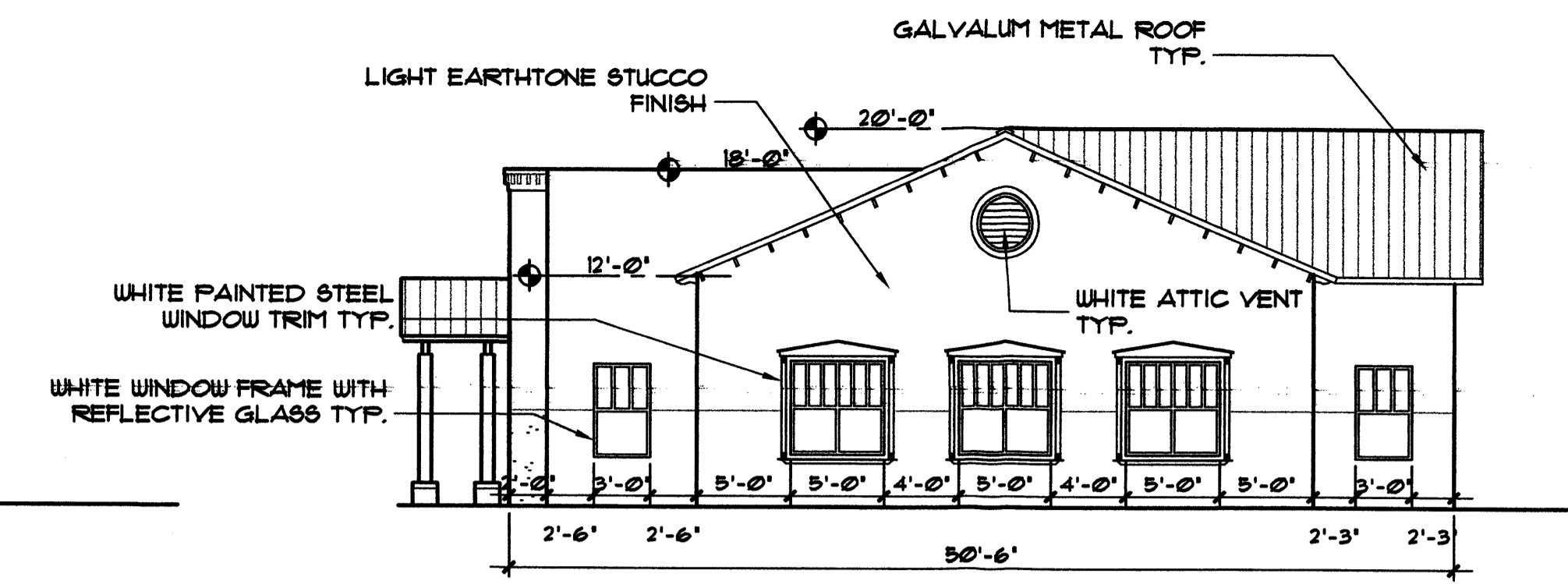
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 Phone: 505/842-1113 Fax: 505/842-1330

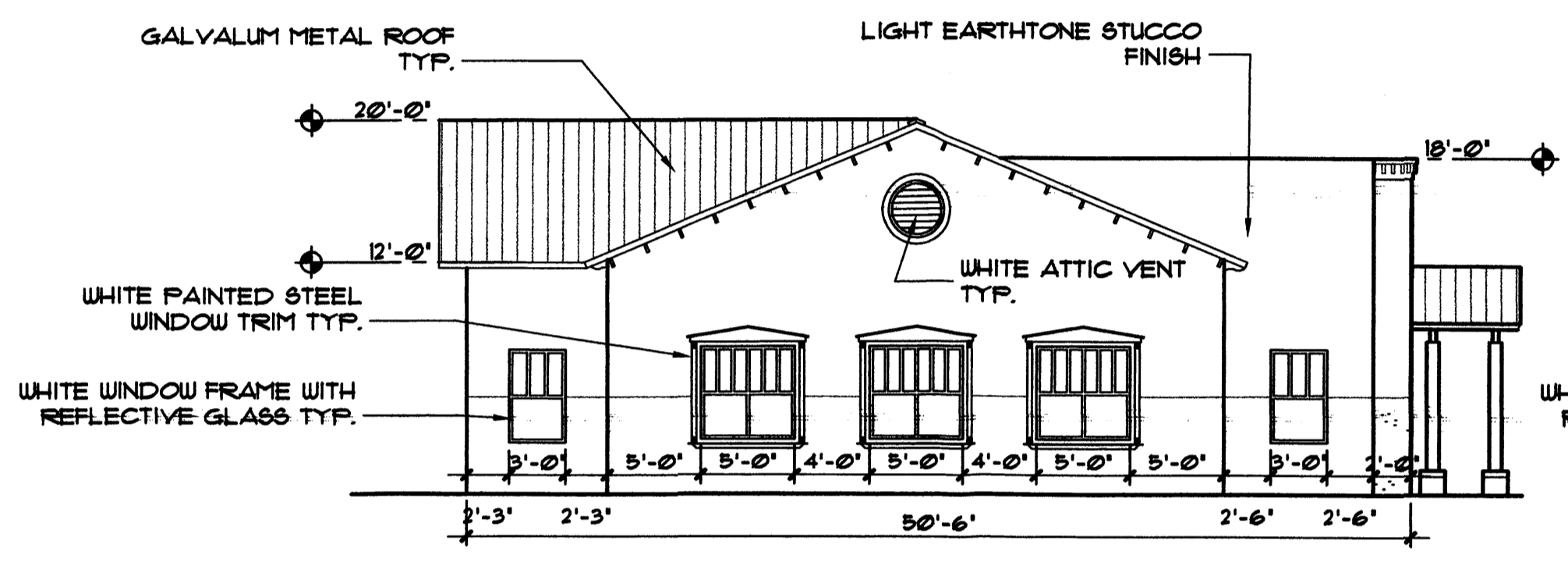
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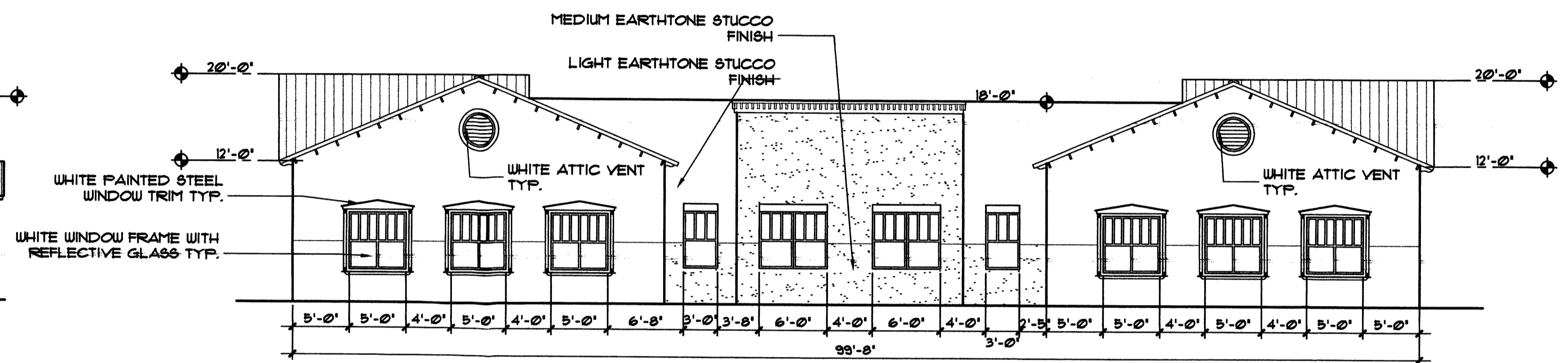
BUILDING B EAST ELEVATION
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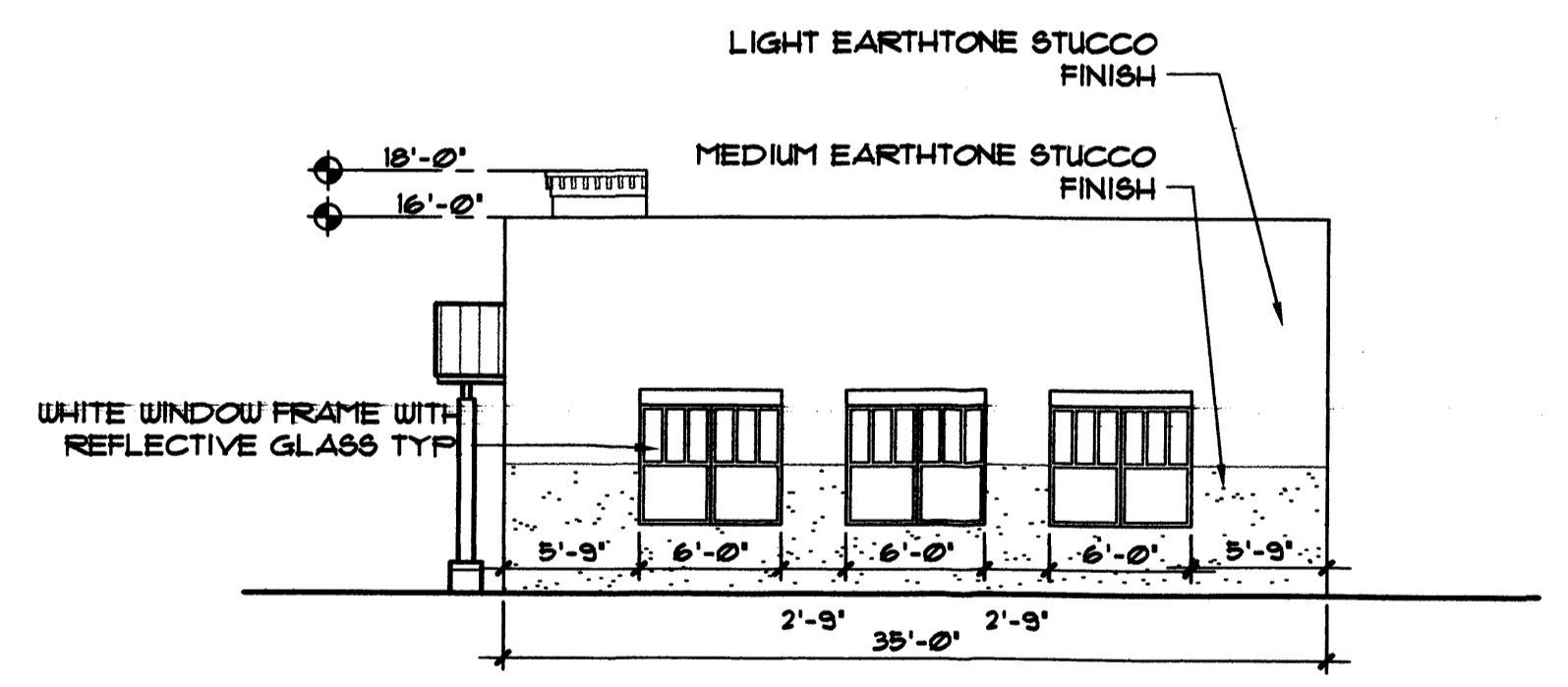
BUILDING B NORTH ELEVATION
1/8"=1'-0"



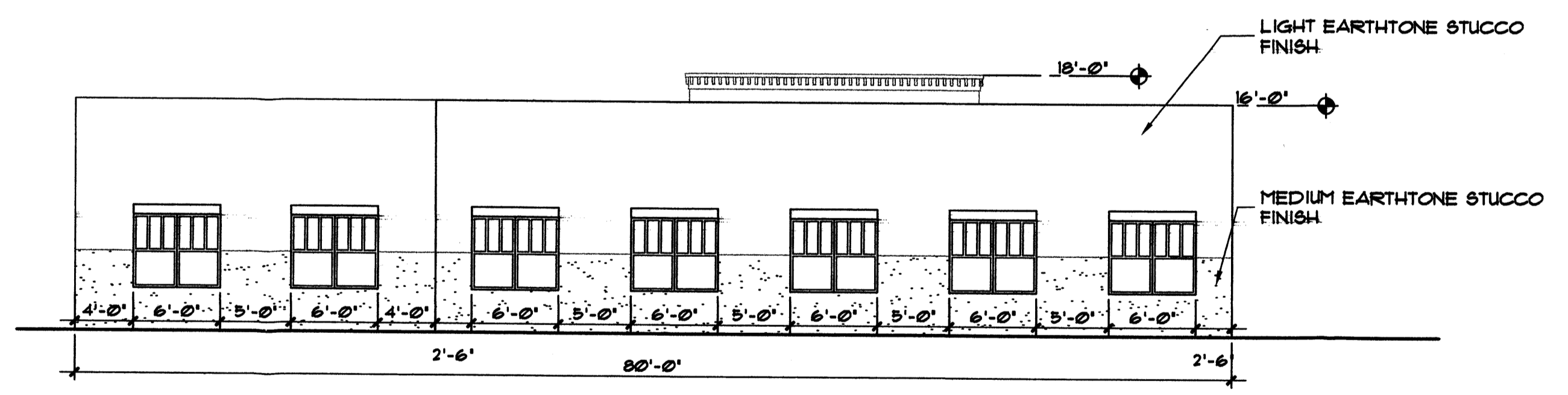
BUILDING B SOUTH ELEVATION
1/8"=1'-0"



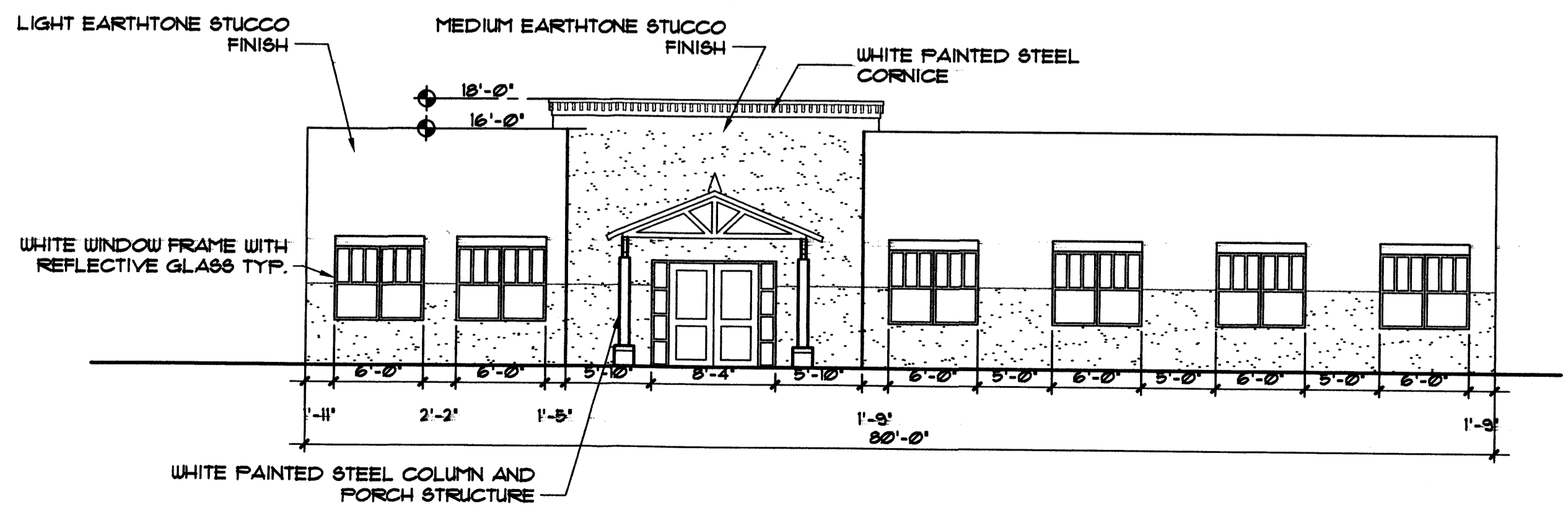
BUILDING B WEST ELEVATION
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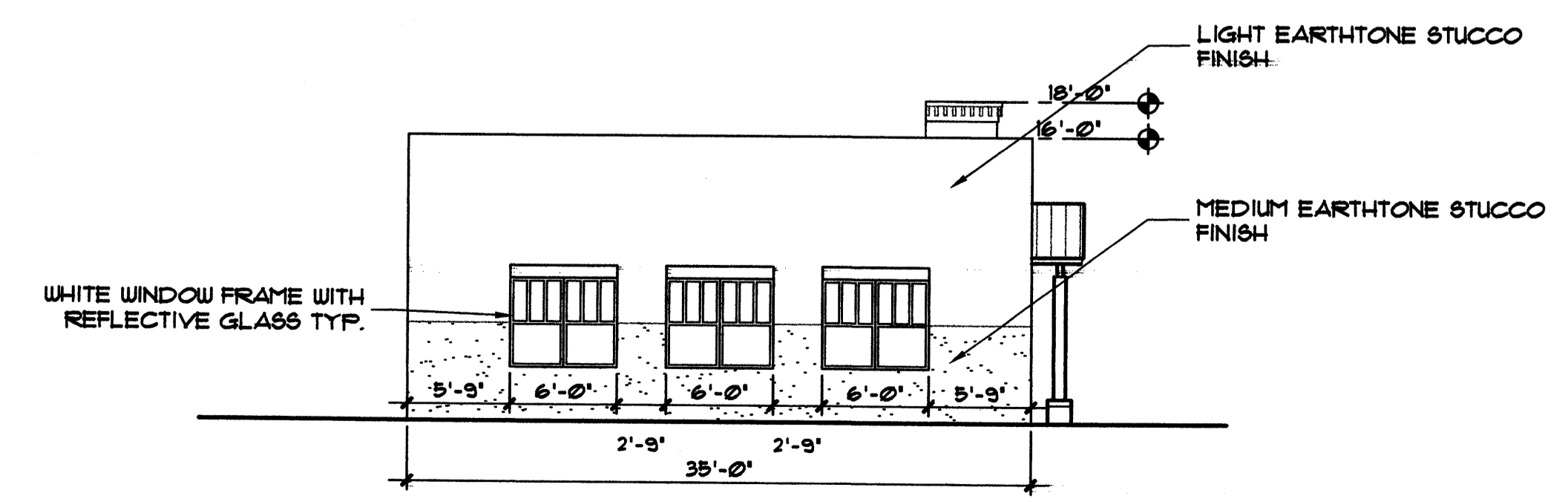
BUILDING D SOUTH ELEVATION
1/8"=1'-0"



BUILDING D EAST ELEVATION
1/8"=1'-0"



BUILDING D WEST ELEVATION
1/8"=1'-0"



BUILDING D NORTH ELEVATION
1/8"=1'-0"

SCHEMATIC ELEVATIONS
BUILDING "B" AND "D"

MAY 3, 2005 SCALE: 1/8" = 1'-0"



CLAUDIO VIGIL ARCHITECTS

BLACK RANCH
TRACT 6-B
COORS BOULEVARD AT WESTSIDE DRIVE
ALBUQUERQUE, NEW MEXICO

PRELIMINARY NOT FOR CONSTRUCTION

SHEET 7 of 7
A-2.2

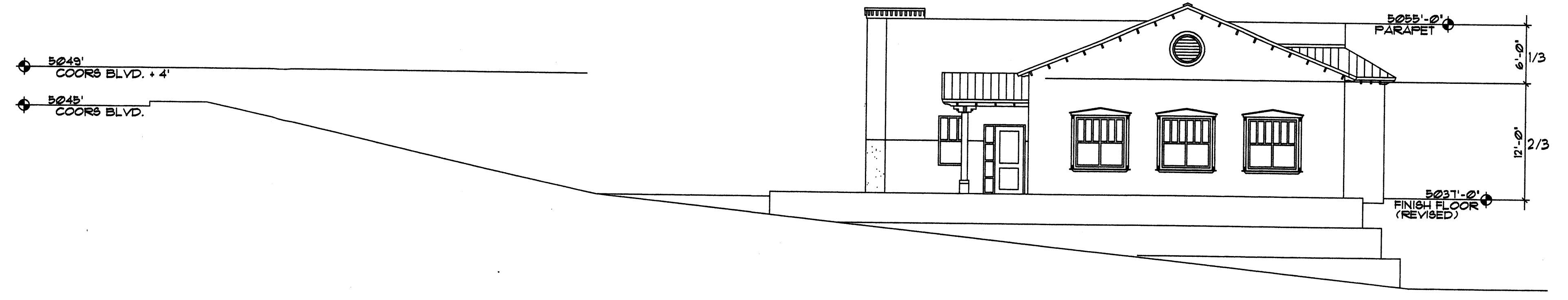
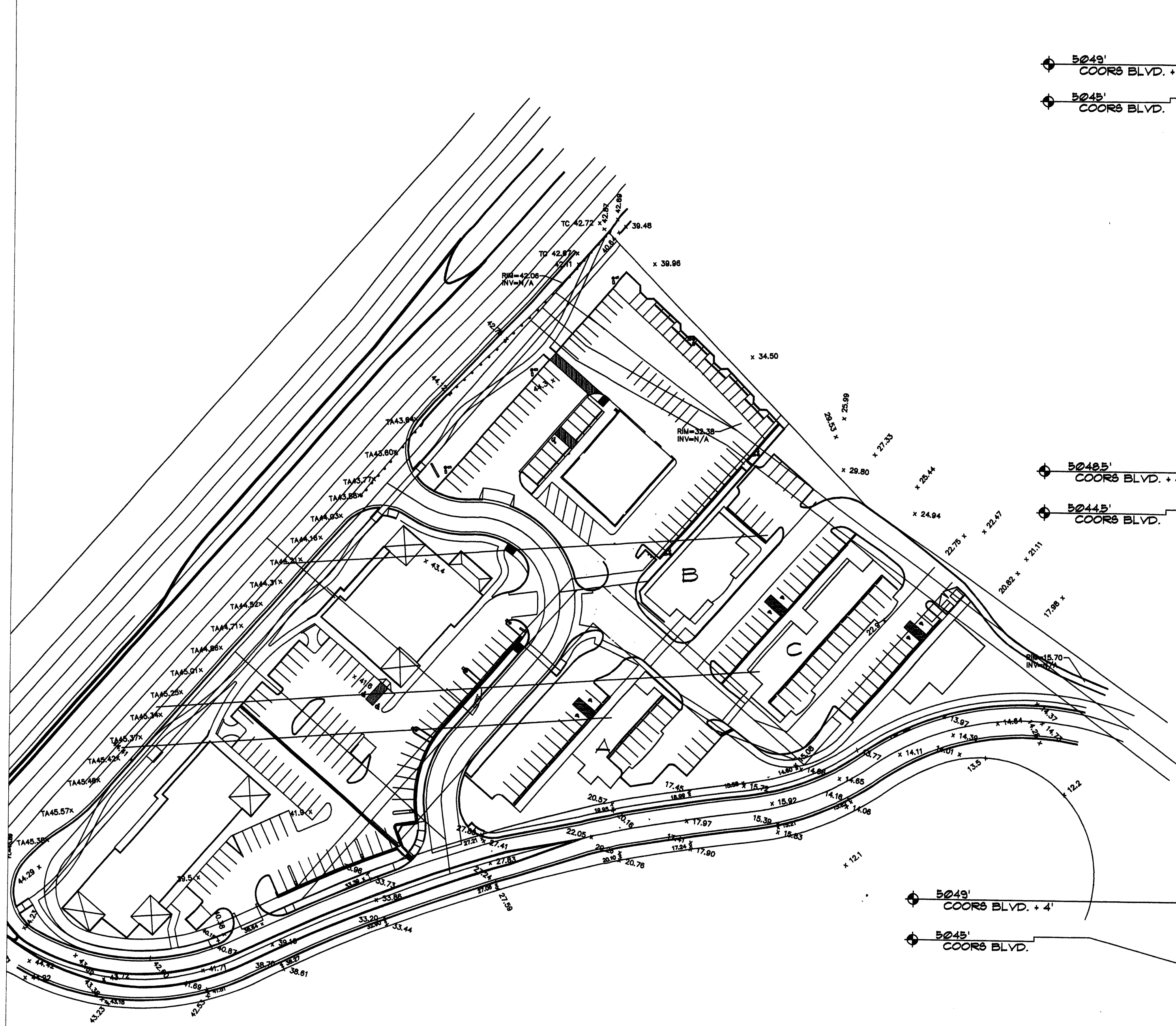
PROJECT NUMBER 05010

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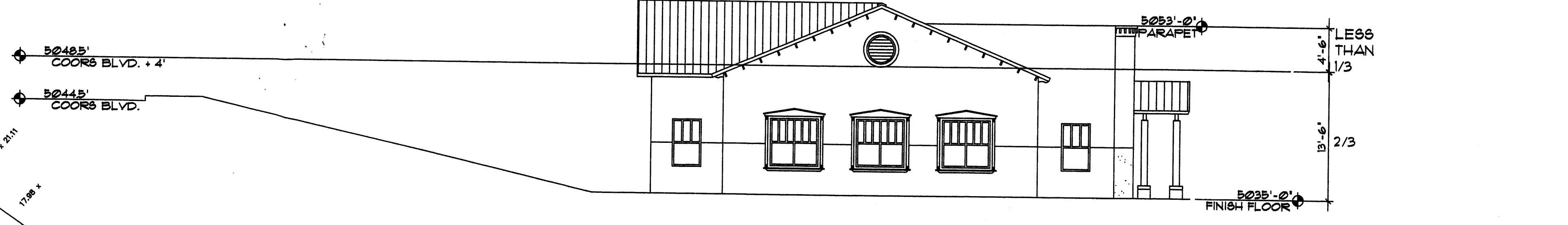
1801 Rio Grande NW, Albuquerque, NM 87104
Phone: 505/842-1113 Fax: 505/842-1330

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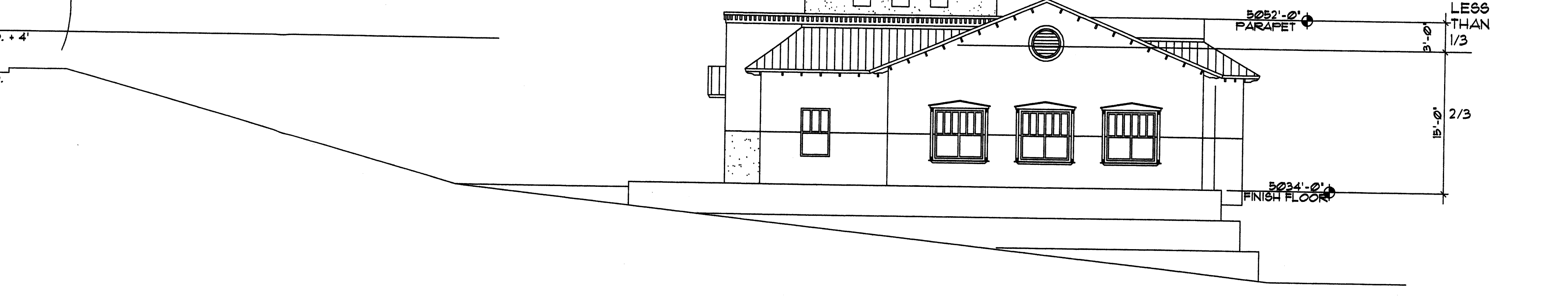
COORS CORRIDOR PLAN
 VIEWSHED COMPLIANCE
 CAS ADDITION-LOT 1



BUILDING A SOUTH ELEVATION
 1/8"=1'-0"



BUILDING B SOUTH ELEVATION
 1/8"=1'-0"



BUILDING C SOUTH ELEVATION
 1/8"=1'-0"



CLAUDIO VIGIL ARCHITECTS

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 P.O. BOX 91194, ALBUQUERQUE, NM 87199
 PHONE(505)823-1344 FAX (505)821-9105
 jakebordenave@mindspring.com

PROJECT TITLE: Vista Del Bosque	
COORS BOULEVARD NW.	
SHEET TITLE: View Preservation Graphic FOR LOT #1	
DRAWN BY:	CHECKED BY: BASELINE 07/20/2005
B-13-Z	JOB NO: SHEET