

451-20

PARADISE HEIGHTS

UNIT ONE PAGE ONE

TOWN OF ALAMEDA GRANT BERNALILLO COUNTY, NEW MEXICO

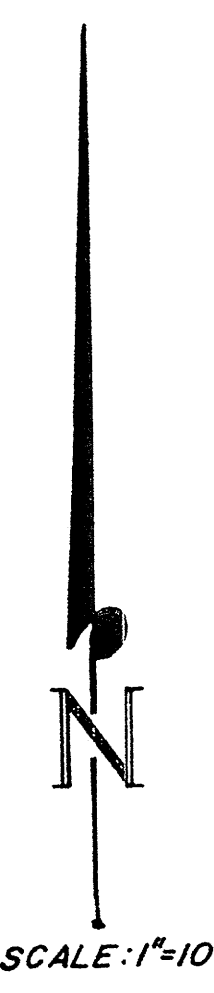
N 89° 55' 30" E 2626.90'

T12N SANDOVAL COUNTY
T11N BERNALILLO COUNTY

101 DEC 13 1966
J. J. ...
...



K-K
(COPY)



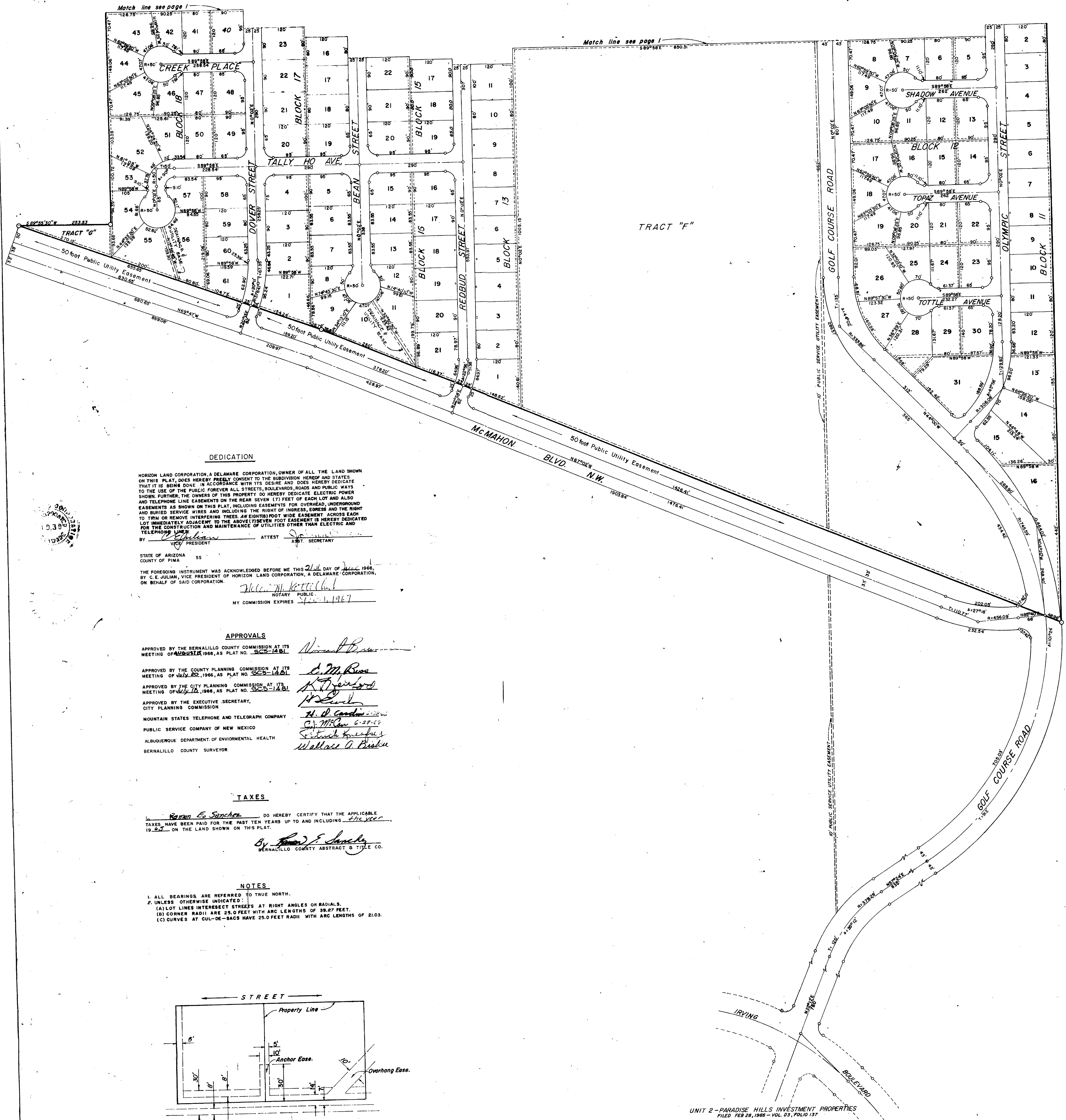
SCALE: 1"=100'

LEVERTON ENGINEERING
ALBUQUERQUE, NEW MEXICO

2-25
L-2103

**PARADISE HILLS
UNIT ONE PAGE TWO**
**TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY,
NEW MEXICO**

DEC 13 1966
John G. Leverton
Professional Engineer and
Land Surveyor State of
New Mexico



N
SCALE: 1" = 100'
LEVERTON ENGINEERING

Number of lots, Paradise Hills Unit One = 460
Residential Area = 2.27 Acres
Length of Roads & Streets in Unit One = 2.7 Miles

DEDICATION

HORIZON LAND CORPORATION, A DELAWARE CORPORATION, OWNER OF ALL THE LAND SHOWN ON THIS PLAT, DOES HEREBY FREELY CONSENT TO THE SUBDIVISION HEREOF AND STATES THAT IT IS BEING DONE IN ACCORDANCE WITH ITS DESIRE AND DOES HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, BOULEVARDS, ROADS AND PUBLIC WAYS SHOWN FURTHER, THE OWNERS OF THIS PROPERTY DO HEREBY DEDICATE ELECTRIC POWER AND TELEPHONE LINE EASEMENTS ON THE REAR SEVEN (7) FEET OF EACH LOT AND ALSO EASEMENTS AS SHOWN ON THIS PLAT, INCLUDING EASEMENTS FOR OVERHEAD, UNDERGROUND AND BURIED SERVICE WIRES AND INCLUDING THE RIGHT OF INGRESS, EGRESS AND THE RIGHT TO TRIM OR REMOVE INTERFERING TREES AN EIGHT (8) FOOT WIDE EASEMENT ACROSS EACH LOT IMMEDIATELY ADJACENT TO THE ABOVE (7) FEET EASEMENT IS HEREBY DEDICATED FOR THE CONSTRUCTION AND MAINTENANCE OF UTILITIES OTHER THAN ELECTRIC AND TELEPHONE LINES.

BY *C. E. Julian* ATTEST *S. J. ...*
PRESIDENT SECRETARY
STATE OF ARIZONA SS
COUNTY OF PIMA
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 24th DAY OF June 1966 BY C. E. JULIAN, VICE PRESIDENT OF HORIZON LAND CORPORATION, A DELAWARE CORPORATION, ON BEHALF OF SAID CORPORATION.
Walter M. Kottelhuber
NOTARY PUBLIC
MY COMMISSION EXPIRES 4-1-1967

APPROVALS

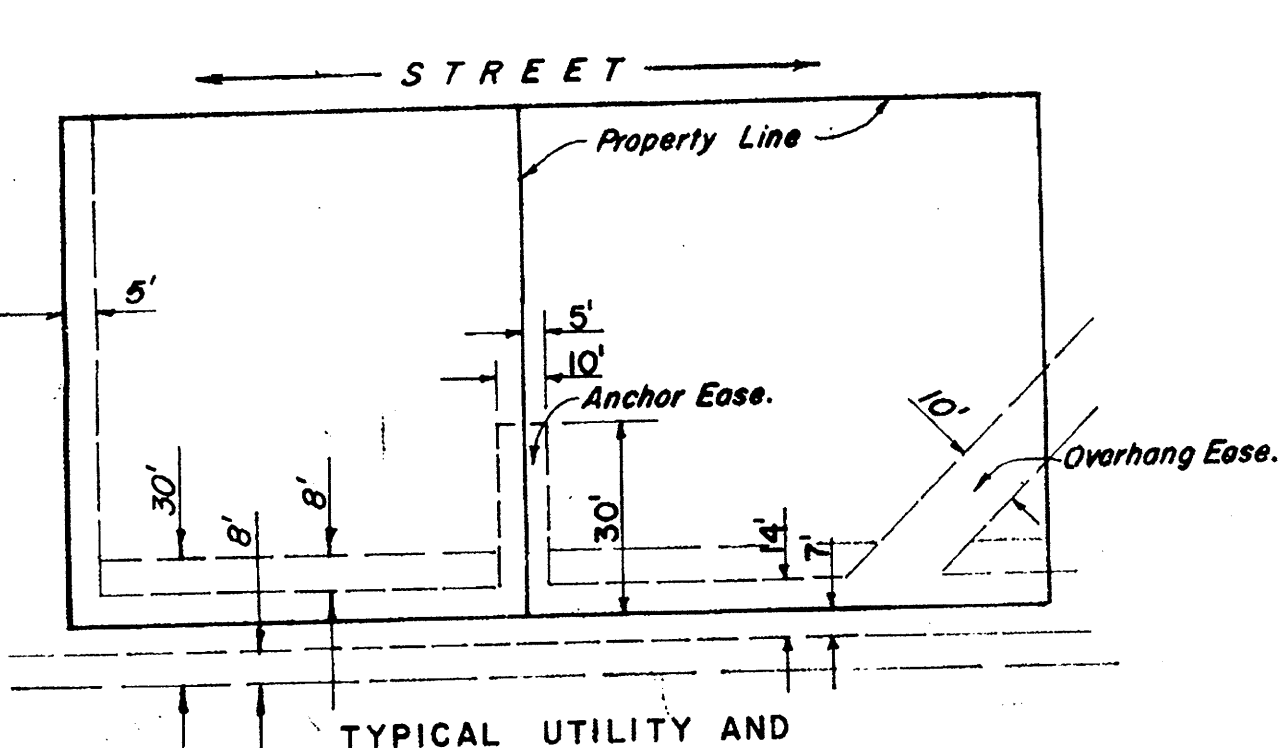
APPROVED BY THE BERNALILLO COUNTY COMMISSION AT ITS MEETING OF April 15, 1966, AS PLAT NO. 95-1481 *Walter M. Kottelhuber*
APPROVED BY THE COUNTY PLANNING COMMISSION AT ITS MEETING OF July 20, 1966, AS PLAT NO. 95-1481 *C. M. ...*
APPROVED BY THE CITY PLANNING COMMISSION AT ITS MEETING OF July 12, 1966, AS PLAT NO. 95-1481 *R. D. ...*
APPROVED BY THE EXECUTIVE SECRETARY, CITY PLANNING COMMISSION *H. D. ...*
MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY *C. J. ...*
PUBLIC SERVICE COMPANY OF NEW MEXICO *Walter M. ...*
ALBUQUERQUE DEPARTMENT OF ENVIRONMENTAL HEALTH *Wallace A. ...*
BERNALILLO COUNTY SURVEYOR

TAXES

Ramon E. Sanchez DO HEREBY CERTIFY THAT THE APPLICABLE TAXES HAVE BEEN PAID FOR THE PAST TEN YEARS UP TO AND INCLUDING the year 1957 ON THE LAND SHOWN ON THIS PLAT.
By *Ramon E. Sanchez*
BERNALILLO COUNTY ABSTRACT & TITLE CO.

NOTES

1. ALL BEARINGS ARE REFERRED TO TRUE NORTH.
2. UNLESS OTHERWISE INDICATED:
(A) LOT LINES INTERSECT STREETS AT RIGHT ANGLES OR RADIALS.
(B) CORNER RADII ARE 25.0 FEET WITH ARC LENGTHS OF 39.87 FEET.
(C) CURVES AT CUL-DE-SACS HAVE 25.0 FEET RADII WITH ARC LENGTHS OF 21.03.

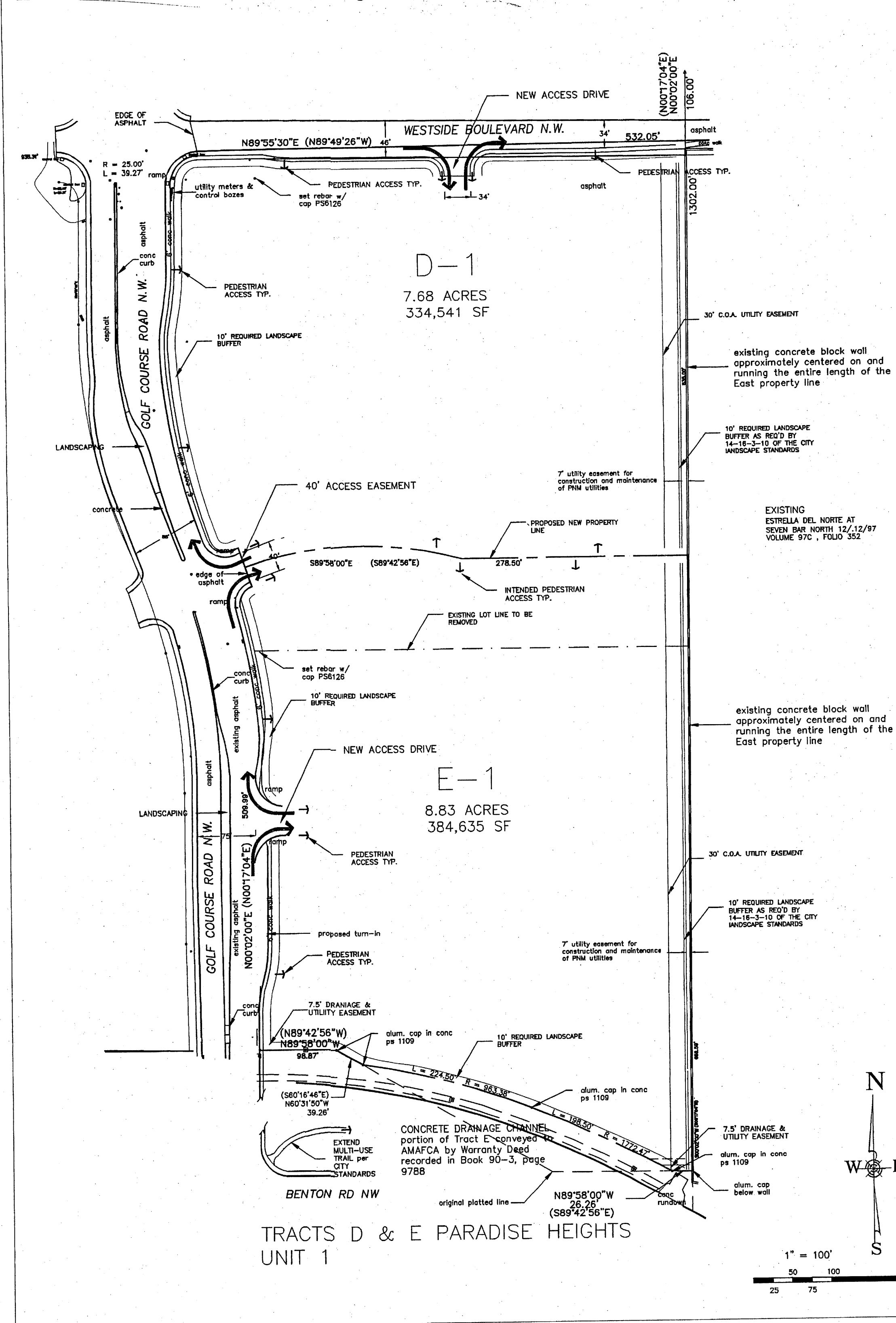
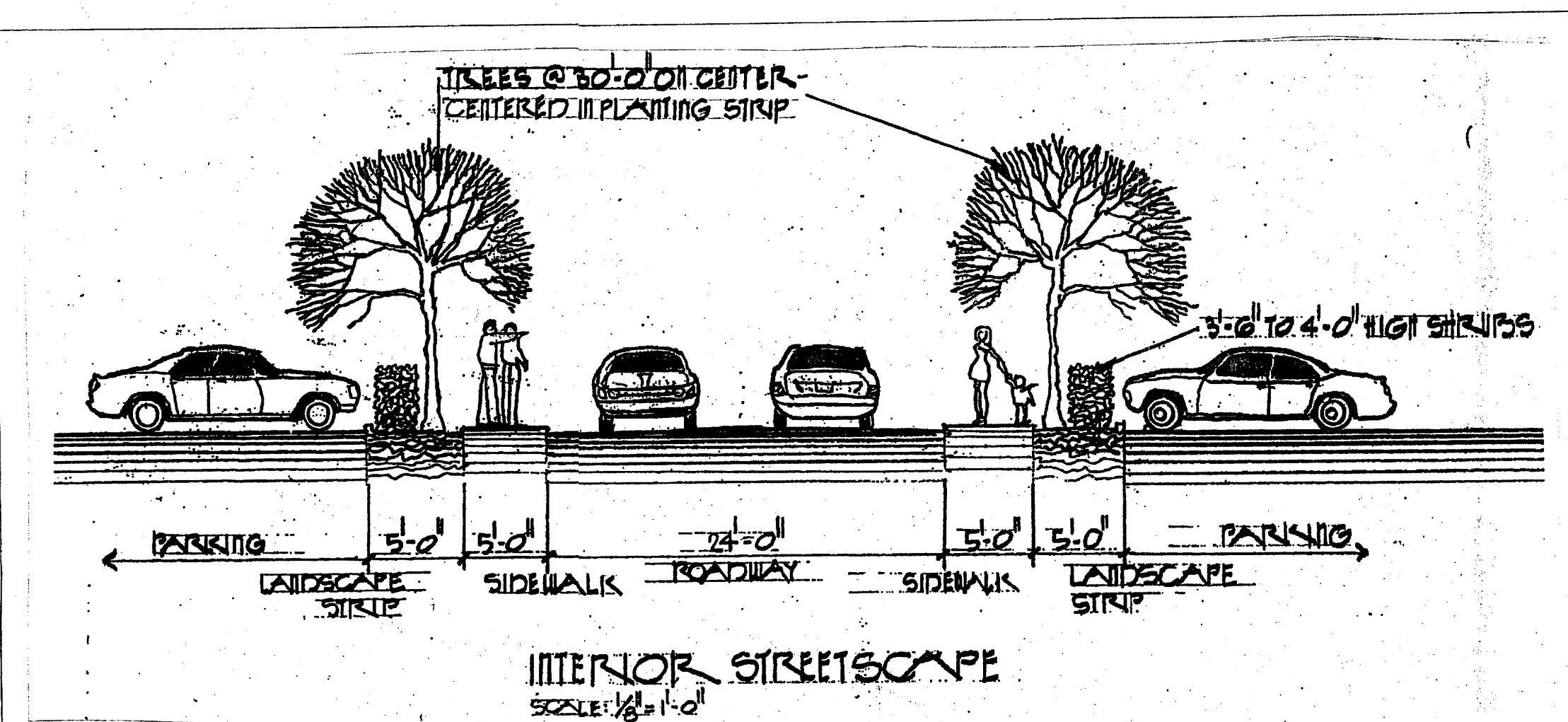
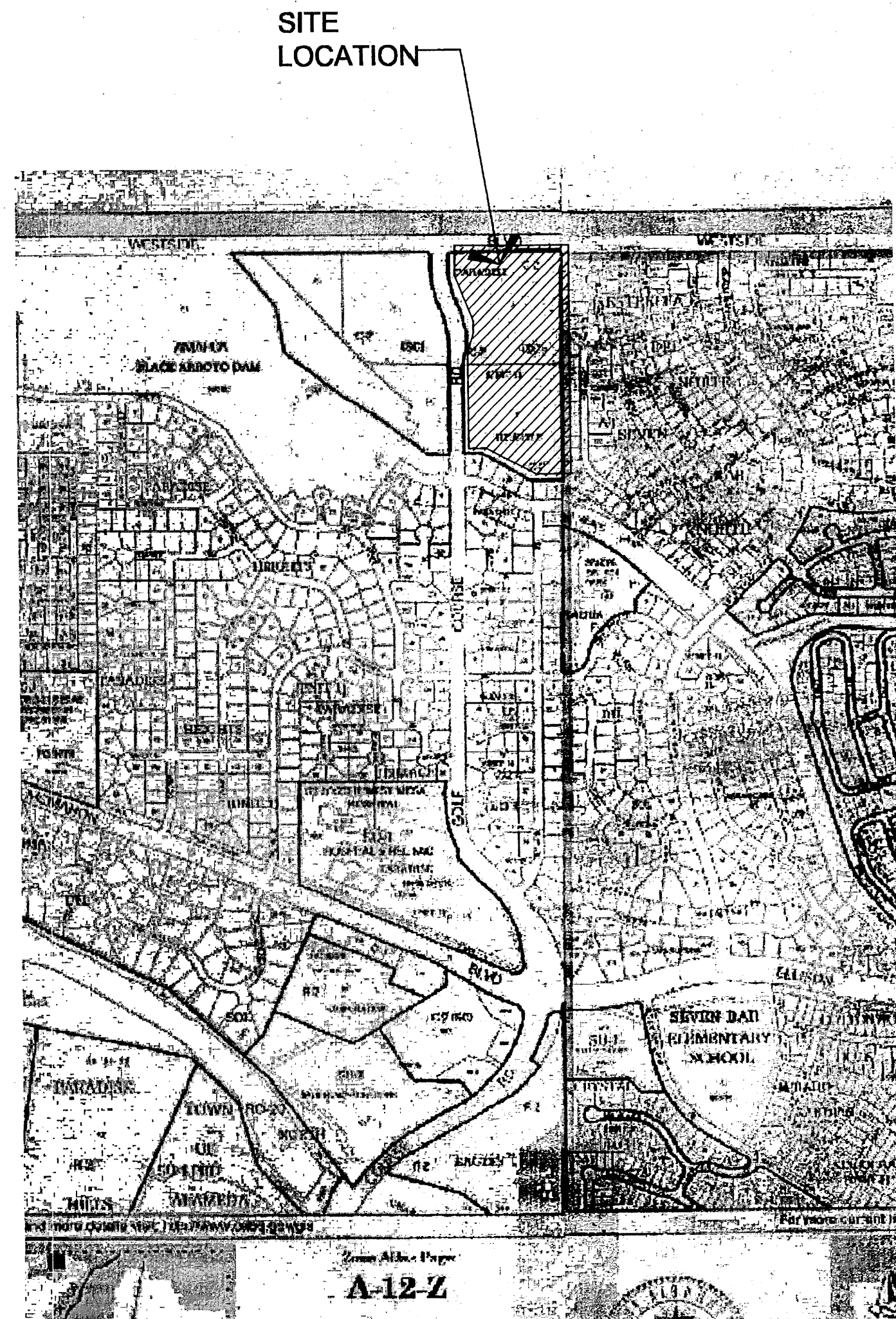


STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS
JOHN G. LEVERTON, BEING FIRST DULY SWORN, DEPOSES AND SAYS THAT THE PROPERTY HEREIN DESCRIBED AND SUBDIVIDED DOES LIE WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE PLANNING COMMISSION OF THE CITY OF ALBUQUERQUE, NEW MEXICO.
John G. Leverton

ON THIS 22nd DAY OF June, 1966, BEFORE ME PERSONALLY APPEARED JOHN G. LEVERTON, TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING AFFIDAVIT, AND ACKNOWLEDGED THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.
John G. Leverton

MY COMMISSION EXPIRES: 4-1-1967
My Commission Expires Mar. 4, 1968
NOTARY PUBLIC

ENGINEERS CERTIFICATION
THIS IS TO CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
John G. Leverton
JOHN G. LEVERTON
PROFESSIONAL ENGINEER AND
LAND SURVEYOR STATE OF
NEW MEXICO, NO. 1874



INTENTION OF THE DEVELOPMENT

The primary objective of the site development plan is to establish a cohesive, harmonious development in which there is a visual relationship of buildings to one another. The intent is not to restrict creativity but to provide a framework which will ultimately enhance the value of all properties. A mixture of "signature" buildings creates a chaotic environment in which no one benefits. Although development will occur at different times by different developers, a respect for the common southwestern, high desert context of the site will ensure a common architectural and landscape language.

SUSTAINABILITY AND GREEN BUILDING

DECISIONS MADE BY ARCHITECTS DURING THE DESIGN PROCESS CAN REFLECT A NEW AWARENESS OF THE EFFECT THOSE DECISIONS HAVE ON THE DESIGNED AND BUILT ENVIRONMENT. THIS SITE PLAN ENCOURAGES ARCHITECTS, BUILDERS AND DEVELOPERS TO SEEK LEED CERTIFICATION OF THEIR BUILDINGS. COST IS NOT INCREASED IN MANY OF THE GREEN BUILDING STRATEGIES AND LOWERING ENERGY REQUIREMENTS ALSO MEANS LOWERING ENERGY COSTS. WATER AND WASTE STRATEGIES ALSO RESULT IN LOWER OPERATION COSTS.

ARCHITECTURAL DESIGN STANDARDS

- All Building Design (including Signature Buildings) shall be architecturally integrated within the site and context of the commercial development within the "Southwestern Architecture" designed in accordance with the West Side Strategic Plan. Southwestern Architecture is broadly defined to include New-pueblo, Rio Grand Valley adobe, New Mexico colonial or territorial styles and southwestern contemporary as it relates to local vernacular architecture.
- All subsequent site plans for building permit shall require E.P.C. approval. The initially submitted Site Plan shall establish the overall design theme and architectural context for all future development as well as establishing site and landscape features to be continued in further developments.
- Building Configuration, shall be in plaza-like development or other arrangement to avoid strip-type development. Public street frontages shall not be dominated by parking areas. Patios and plazas shall be designed to take advantage of views of the Sandia and Manzano Mountains. Site layout refinement shall be sympathetic to, and harmonious with the topography and views.
- Pedestrian, and bicycle amenities shall include pedestrian benches, elevated planters, shaded outdoor patios adjacent to buildings, outdoor furniture as appropriate, and bike racks close to building entrances.
- The Primary Building Mass shall be of an earth-tone color, regardless of materials. Colors other than the earth-tone palette, shall be used only for accents and decorative elements and for the emphasis of certain design elements.
- Exterior Building Materials shall generally be non-reflective, cementitious in visual quality, no more than three major materials, excluding frames, trim, canopies, etc., shall be combined on any given building elevation. Glass will have a surface reflectance not greater than 20% of incident light, and wood or non-reflective metal trim colored in conformance with the general coloration of the structures.
- All Canopies and Out-Buildings shall be integrated with the building architecture.
- Extraneous/ Rooftop Equipment, such as mechanical equipment, electrical equipment, communication equipment, solar equipment, etc. shall be hidden by parapet walls and/or screen walls to obscure from vision from the public right-of-way and adjacent Residential Zones.
- Screens and Walls shall be designed to be compatible with the architecture of buildings. Barbed wire, concertina wire, chain-link and unfinished CMU shall be prohibited. Colored CMU shall be permitted when broken by horizontal bands of CMU block of differing color or texture.
- Service Areas such as loading docks, janitorial and machine rooms, and other service entrances and refuse collection facilities may not be located in or adjacent to the building facades most proximate to the boundaries of residential areas. They shall be screened from public view, including adjoining residential zones.
- Retail and Office buildings shall have a covered portal along facades where pedestrian activity is expected to occur.

LANDSCAPE STANDARDS

- A minimum of 20% of the site area shall be landscaped. Landscape calculations shall be included in subsequent Site Plans.
- XERISCAPING:** A water-wise approach to landscaping that stresses smart plant choices (drought tolerant plants) growing them according to water needs, sun and moisture conditions. Design and implementation shall include methods of effective water harvesting and distribution. These ideas can reduce water use and maintenance requirements by as much as 60% or more. This requires acknowledging Albuquerque's high-desert climate.
- Ground Cover:** Landscaped beds shall achieve 75% live ground cover. The remainder shall be organic mulch and Basic Gravel: Santa Fe Brown and Sunset Rose with weed barrier. Cobblestone accents: 6" to 8" cobblestone and Moss rock boulders. The maximum gravel content shall not exceed 30%.
- Sod** is to be used sparingly and only in plaza areas as ground cover. Small patches of sod will be avoided for ease of maintenance and practicality of irrigation. Red fescue type sod will be utilized to keep watering levels within reasonable limits.
- Irrigation System:** An automatic underground irrigation system shall be utilized to provide even and adequate water levels to all plant material. Water use shall be done in such a manner as to conserve its use and prevent any and all runoff from landscaping materials. Irrigation shall be restricted to early morning hours to conserve this limited resource.
- Landscaping Maintenance:** Shall be the responsibility of the property owner.

- Suggested Landscape Palette:
Trees: Desert Willow, Chinese Pistache, Arizona Sycamore, Canadian Choke Cherry, Chitalpa, Honey Locust, Three Leaf Sumac, Curleaf Mountain Mahogany
Shrubs: Rosemary, Apache Plume, English Ivy
Grosses: Threadgrass, Blue Gramma and Blue Fescue.
Desert Accent Plants: Mexican Evening Primrose, Hesperaloe, Sotol, Ocotillo, Lavender, Autumn sage, Fernbush and Vitex.

LAND-USE ALLOCATIONS					
Tract	Zoning	Land Area Acres	Max. F.A.R.	Building Area g.s.ft.	Parking
D-1	C-2-SC	7.68	0.30	100,362	TO MEET CITY REQUIREMENTS
E-1	C-2-SC	8.83	0.30	115,390	
TOTALS:		16.51		215,752	

SITE PLAN FOR SUBDIVISION STANDARDS

Land Use as per current Zoning requirements.
 Restaurants shall provide outdoor seating, linetop or Drive-in businesses on the site shall be limited to 3, with a maximum of 2 food and drink uses. No more than 1 food and drink drive-up/drive-in use is allowed on each Tract (D or E). A drive-up or drive-in use shall not be situated within 100' of the adjoining residential zone.

Setbacks to the face of the building shall be:
 30 feet at perimeter property lines, except at East site boundary easements.
 15 feet at interior property lines or access and utility easements.

Building Heights shall be as allowed for Zone C-2 buildings with exceptions made where in conflict with solar access for neighboring properties

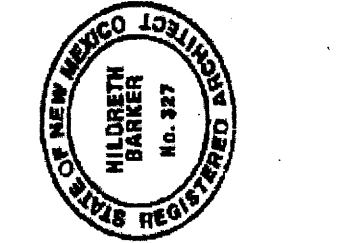
Parking shall not exceed the required number of spaces plus 10% and shared parking is encouraged.

- Signs:**
- Three free-standing site monument signs are permitted, one at each vehicular entrance to the project from an arterial street. The signs will be freestanding "monument"-type signs, the top of which shall not be more than twelve feet above adjacent grade, and the face area of which shall not exceed 75 square feet per face.
 - Each occupant is limited to one building mounted sign per tenant or business. Occupant is limited to one building mounted sign per tenant or business, which shall not exceed 8% of the area of the front facade of elevation of each tenant or business space to which it is applied. The structure holding monument signs shall be compatible with the building architecture.
 - Signs shall be illuminated in accordance with the City of Albuquerque's Sign Regulations, except that no illuminated sign shall be placed on the building facade most proximate to a residential area, or in any event, closer than 150 feet to the boundary to a residential zone.
 - Pole mounted or wire suspended signs shall be prohibited.
 - Cross Access Easements shall provide access and shared parking for parcels of Tract D and Tract E.
 - Pedestrian and bicycle access shall be provided between all existing and future tracts. Bicycle racks shall be provided in convenient locations and sheltered where possible.
 - Pedestrian connections shall be provided between parking areas, public sidewalks and buildings. Pedestrian cross walks of minimum 6' wide, textured and colored concrete shall be provided between buildings and parking areas.
 - Parking lot landscaping shall consist primarily of deciduous trees. The lineal distance between planting islands in paved areas shall not exceed 85 feet, to be consistent with City Landscape Standards 14-16-3-10(e)(1)(a-d).
 - Residential landscape Buffer shall consist of primarily deciduous and evergreen trees (50/50 split) with a minimum height of 10' at time of planting and 25' at maturity, for year round screening. Trees shall not conflict with utility lines but spacing shall be equal to 75% of the mature canopy diameter wherever possible.

When the first development on each Tract (D and E) is approved, the residential buffer shall be implemented along the entire eastern boundary of the Tract. A design feature using 4-6 inch River Cobble shall be used within the 10' buffer to discourage pedestrian traffic.

- Streetscape Landscaping shall consist primarily of a combination of shrubs and deciduous trees in a minimum ten foot wide setback area between the right-of-way line of the street and the face of the curb or an adjacent parking area. Tree location shall meet the requirements of the Street-tree Ordinance. Clear-sight triangle requirements must be met.
- Parking Areas shall be screened from public right-of-ways by means of four feet high hedges of shrubs but not in any way to restrict a driver's line of sight.
- Transit facilities shall be provided by the developers of Tracts D and E for any future routes adjoining the site, in coordination with the Transit Department.
- Internal Street and Site Lighting shall meet, at minimum, the requirements of Section 14-16-3-9 of the Zoning Code; in addition, fixtures will be standardized in design, and of a size suited to their function. Lighting shall conform to "Night Sky Standards".
 Site Lighting shall be 15'-0" high (measured from finish grade to top of fixture) "Gardco Lighting" Glow top MAG 18-1or equal in earthtone color, with a maximum spacing of 65'-0" on centers. All fixtures shall be fully shielded.
 All internal streetscapes and pedestrian connections shall be lighted with pedestrian-scale fixtures of a uniform design.
- Future site development plans shall comply with C-2 regulations, Shopping Center and other general regulations of the Zoning Code, and/or standards in this site development plan for subdivision, whichever is more restrictive.
- The use of roundabouts at the intersections of internal streets shall be encouraged to create a visual focal point and slow down traffic within the neighborhood activity center.
- On the Site Plan for building permit, a way-finding signage system shall be established for each parcel.

PROJECT NUMBER:	
Application number:	07EPC-40035.
This Plan is Consistent with the specific Site Development plan approved by the Environmental Planning Commission (EPC), dated _____ and that the findings and conditions in the Official Notice; Notification of Decision have been complied with.	
SITE DEVELOPMENT PLAN	
Fire Marshal	Date
Solid Waste Dept./ Refuse	Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and recreation Department	Date
AMAFCA	Date
City Engineer	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Planning Department	Date



H BARKER ARCHITECTS
 ARCHITECTS AND PLANNERS
 209 GOLD AVE S.W.
 ALBUQUERQUE, NEW MEXICO 87102
 505-842-6789

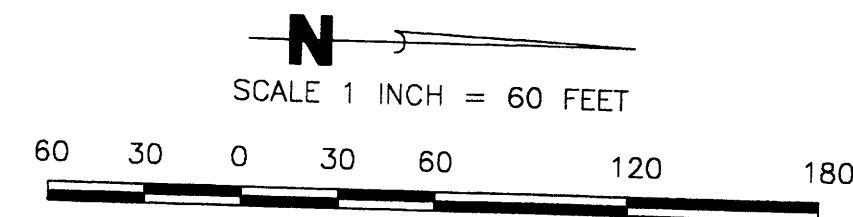
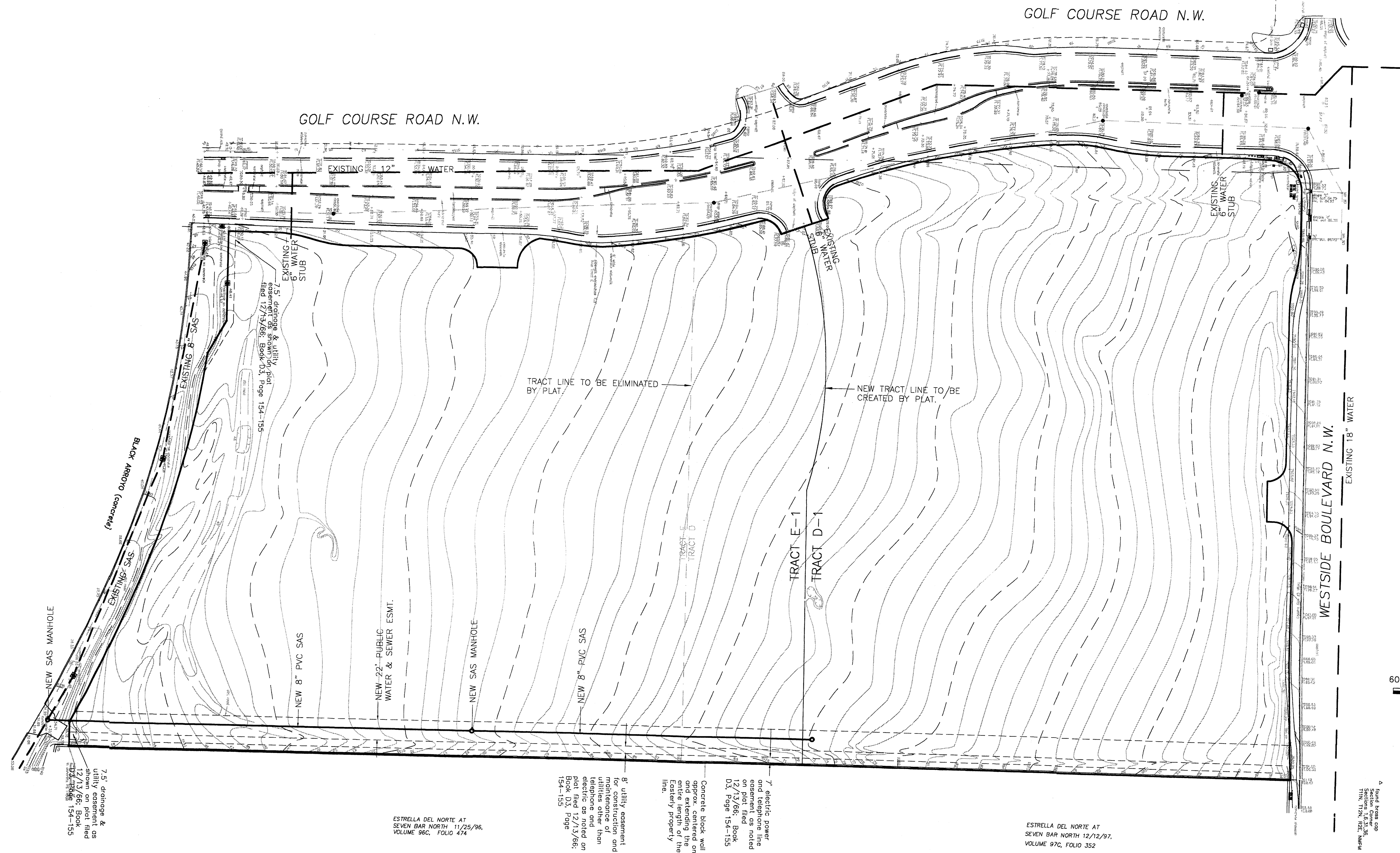
DATE
August 9 2007
REVISIONS
SEPTEMBER 24, 2007
JULY 29, 2008
AUGUST 27, 2008
AUGUST 30, 2008
OCTOBER 1, 2008
OCTOBER 27, 2008
OCTOBER 29, 2008

10800 GOLF COURSE RD NW
SITE PLAN FOR SUBDIVISION PURPOSES

PROPOSED SITE PLAN

SHEET #
SP-1

1 of 3



7.5" drainage & utility easement as shown on plat filed 12/13/86, Book 154-155

ESTRELLA DEL NORTE AT SEVEN BAR NORTH 11/25/96, VOLUME 96C, FOLIO 474

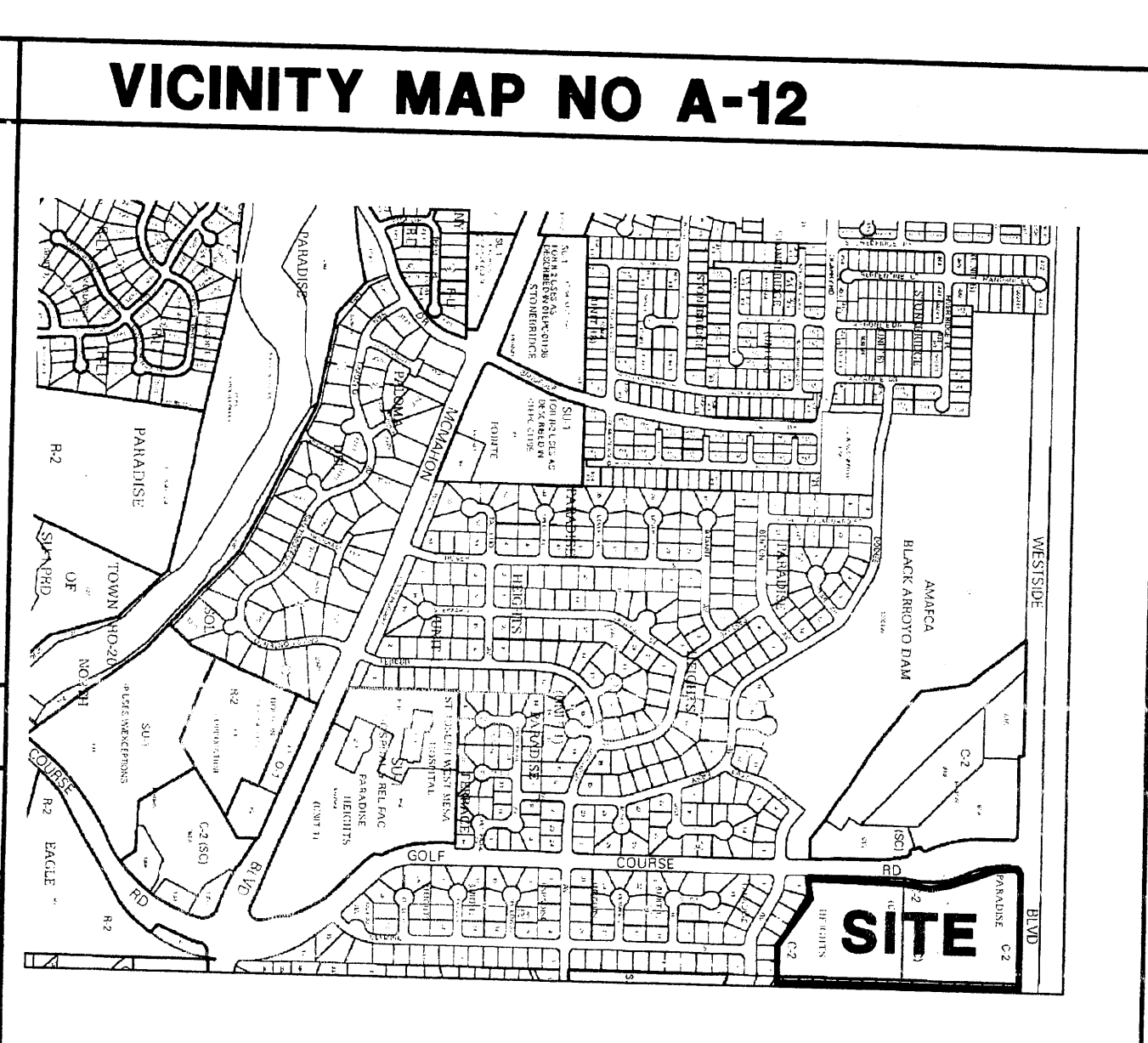
8" utility easement for maintenance of and utilities other than electric as noted on plat filed 12/13/86, Book 154-155

7" electric power and telephone line easement as noted 12/13/86, Book 154-155

Concrete block wall approx. centered on and extending the Eastern property line.

ESTRELLA DEL NORTE AT SEVEN BAR NORTH 12/12/97, VOLUME 97C, FOLIO 352

<p>UTILITY NOTES</p> <ol style="list-style-type: none"> 1. WATER, SANITARY SEWER, STORM DRAIN, POWER, GAS AND COMMUNICATIONS ARE AVAILABLE TO THE SUBDIVISION AT OR NEAR IT'S BOUNDARY. NO LONG DISTANCE OFFSITE CONSTRUCTION WILL BE REQUIRED. 2. EXISTING PUBLIC WATER LINE STUBS ARE AVAILABLE TO EACH TRACT FROM GOLF COURSE ROAD. A PUBLIC SAS LINE SHALL BE CONSTRUCTED IN A NEW PUBLIC EASEMENT ACROSS TRACT E-1 AND CONNECTED TO AN EXISTING SAS LINE IN THE AMAFCA EASEMENT AT THE THE SUBDIVISIONS SOUTH BORDER. 3. COORDINATION OF UTILITY CONSTRUCTION MAY BE MADE THROUGH THE FOLLOWING: WATER AND SANITARY SEWER - NEW MEXICO UTILITIES POWER AND GAS - PUBLIC SERVICE CO. OF NEW MEXICO TELEPHONE - QWEST CABLE - COMCAST
<p>LEGAL DESCRIPTION</p> <p>TRACTS D & E, PARADISE HEIGHTS, UNIT 1</p>
<p>PERMANENT BENCHMARK</p> <p>ACS 5-A12 ELEVATION 5140.43 (NGVD 1929)</p>



H BARKER ARCHITECTS
 ARCHITECTS and PLANNERS
 209 GOLD AVE S.W.
 ALBUQUERQUE, NEW MEXICO 87102
 505-842-6789

DATE	OCT. 1, 2008
REVISIONS	

10800 GOLF COURSE RD NW
CONCEPTUAL UTILITY PLAN

SHEET #
2
 of **3**

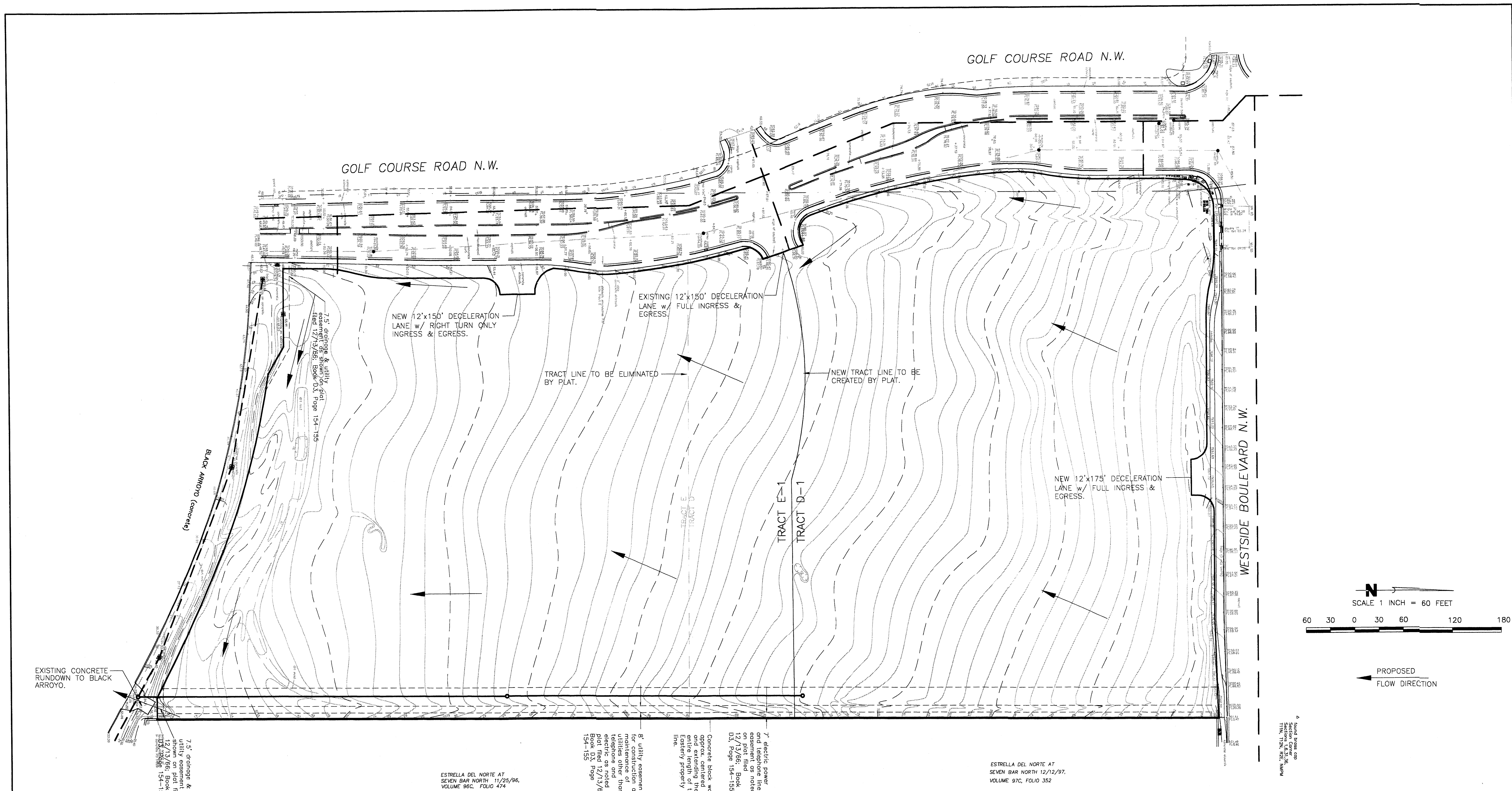


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DATE
 OCT. 1, 2008
 REVISIONS

10800 GOLF COURSE RD NW
CONCEPTUAL DRAINAGE PLAN

SHEET #
 of



CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF	
						VOLUME	RATE
	year	(table 4)	sq. ft.	in.	cfs/acre	cu. ft.	cfs
EXISTING	10	A	722961	0.08	0.24	4820	3.98
		B	0	0.22	0.76	0	0.00
		C	0	0.44	1.49	0	0.00
		D	0	1.24	2.89	0	0.00
		TOTAL	722961			4820	3.98
	100	A	722961	0.44	1.29	26509	21.41
DEVELOPED	10	B	0	0.67	2.03	0	0.00
		C	0	0.99	2.87	0	0.00
		D	0	1.97	4.37	0	0.00
		TOTAL	722961			26509	21.41
		100	A	0	0.08	0.24	0
	B	72296	0.22	0.76	1325	1.26	
C	0	0.44	1.49	0	0.00		
D	650665	1.24	2.89	67235	43.17		
TOTAL	722961			68561	44.43		
DEVELOPED	10	A	0	0.08	0.24	0	0.00
		B	72296	0.22	0.76	1325	1.26
		C	0	0.44	1.49	0	0.00
		D	650665	1.24	2.89	67235	43.17
		TOTAL	722961			68561	44.43
	100	A	0	0.44	1.29	0	0.00
B	72296	0.67	2.03	4037	3.37		
C	0	0.99	2.87	0	0.00		
D	650665	1.97	4.37	106818	65.28		
TOTAL	722961			110854	68.64		

DRAINAGE NOTES

EXISTING CONDITIONS:
 THE SITE HAS BEEN DISTURBED BY MISCELLANEOUS GRADING, AND DUMPING WITH ASSORTED DIRT ROADS. VEGETATION IS SPARSE AND TYPICAL OF THE WEST MESA. DRAINAGE IS FROM NORTHEAST TO SOUTHWEST AND GRADES ARE RELATIVELY UNIFORM. FLOWS ARE PREDOMINATELY OVERLAND WITH A DEFINED DRAINAGE COURSE ALONG THE EAST SIDE OF GOLF COURSE RD. AND THE NORTH SIDE OF THE BLACK ARROYO CHANNEL DIRECTING FLOW TO AN EXISTING CONCRETE RUNDOWN AT THE SOUTHEAST CORNER OF THE SUBDIVISION.

PROPOSED CONDITIONS:
 NO GRADING IS PROPOSED AT THIS TIME. DRAINAGE WILL CONTINUE TO FLOW TO THE BLACK ARROYO CHANNEL IN IT'S PRESENT MANNER. A WATER QUALITY IMPROVEMENT SYSTEM AT THE ENTRANCE TO THE CHANNEL (REQUIRING AMAFCA'S APPROVAL) WILL BE REQUIRED UPON DEVELOPMENT OF EITHER TRACT D-1 OR E-1.

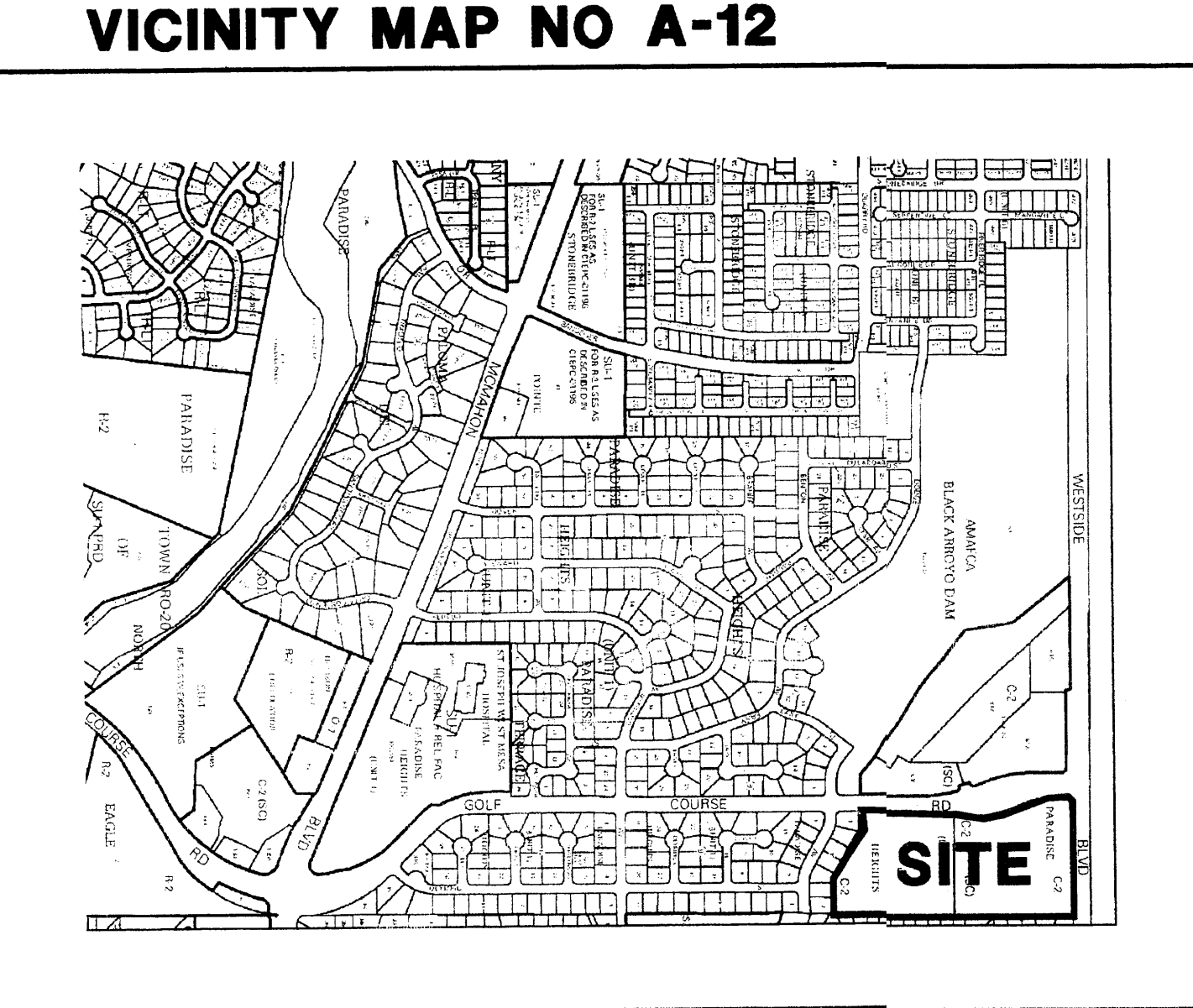
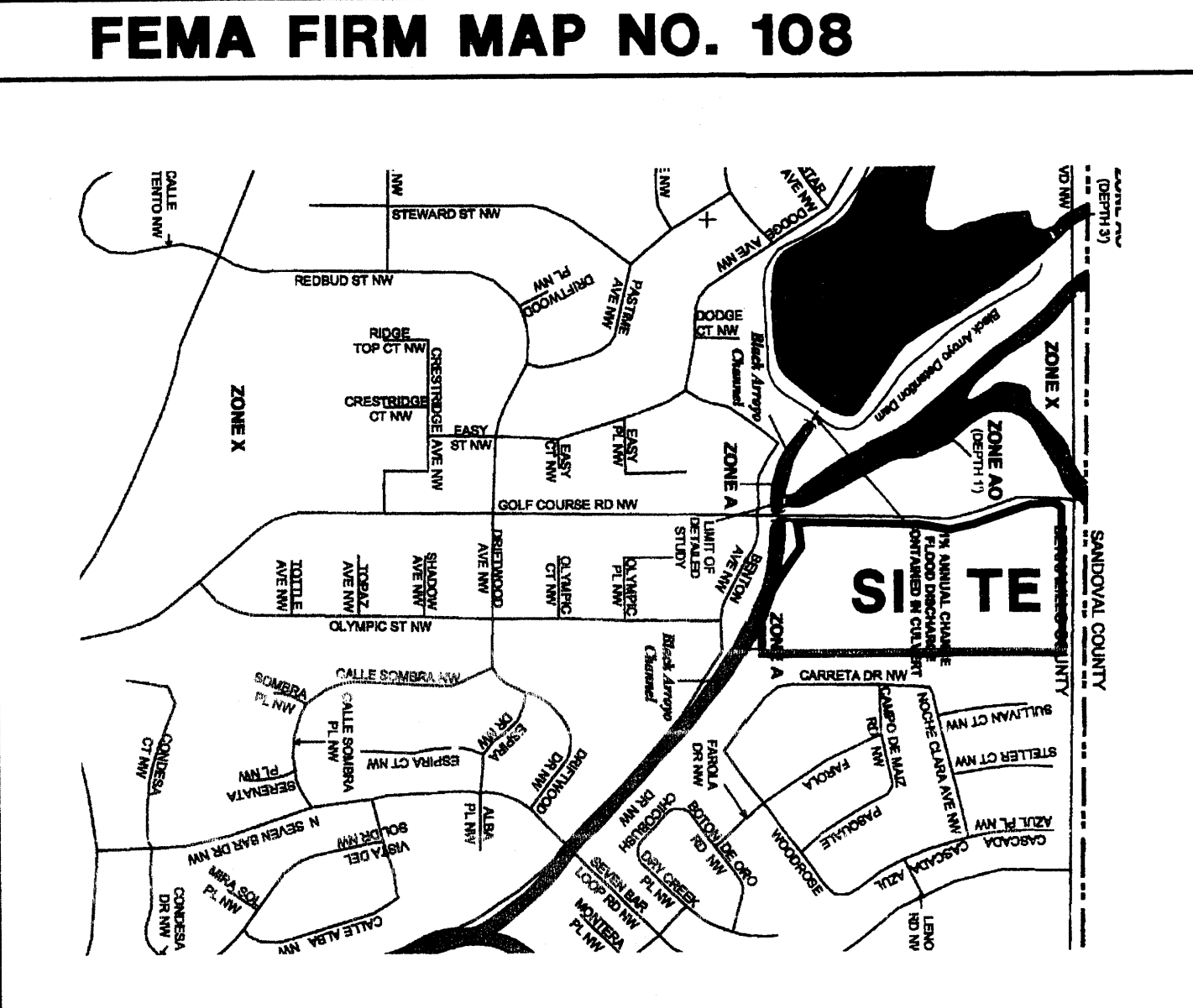
THE SITE IS LOCATED IN AN AREA DESIGNATED ZONE X PER FEMA FIRM MAP NO. 108.

LEGAL DESCRIPTION

TRACTS D & E, PARADISE HEIGHTS, UNIT 1

PERMANENT BENCHMARK

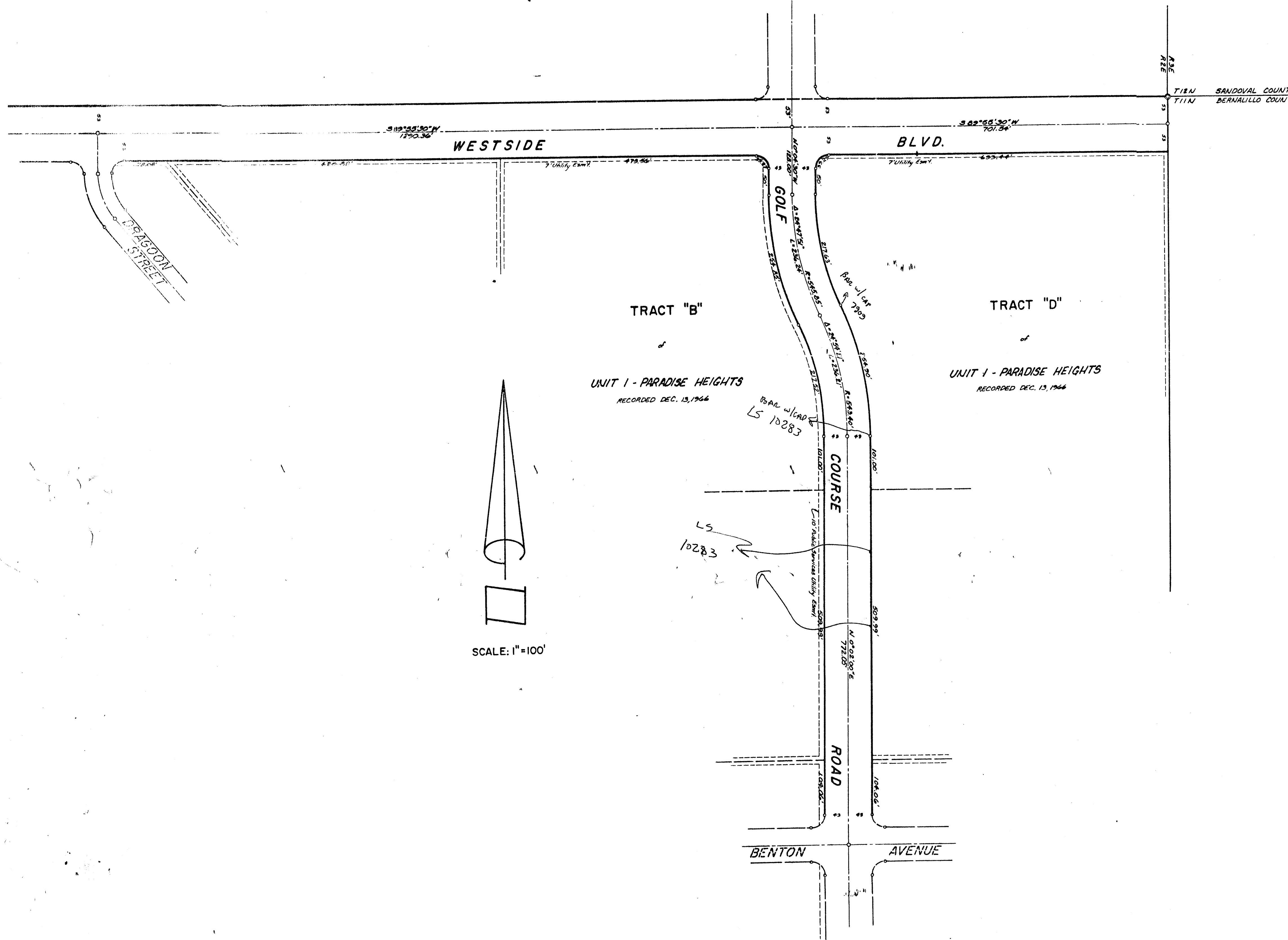
ACS 5-A12 ELEVATION 5140.43 (NGVD 1929)



19-95

19-95

REALIGNMENT OF
GOLF COURSE ROAD
 BERNALILLO COUNTY, NEW MEXICO



14 JUL 25 1974
 A. H. Steele, M. Recorder
 Bernalillo County, N.M.
 Clerk & Recorder

PURPOSE

This Land Division Map is to amend the alignment of a portion of Golf Course Road as shown on the Plat of Paradise Heights, Unit One recorded in the Office of the County Clerk of Bernalillo County, New Mexico on December 13, 1966, to make said road compatible to existing roads outside of Horizon Corporation Properties.

FREE CONSENT & DEDICATION

Horizon Corporation, a Delaware corporation, Owner of all the land shown on this Plat, freely consents to the division thereof, such division being in accordance with its wishes and desires, and hereby dedicates to the use of the Public forever all Roads, Streets, Boulevards and Public Ways shown on this Plat, together with all Easements shown, including easements for overhead, underground and buried service wires and including the Right of ingress and egress and the Right to trim or remove interfering trees.

By: L. E. Steele Vice President Attest: Helen M. Kottelhut Assistant Secretary

State of Arizona) ss
 County of Pima
 On this 30 day of April, 1974, the foregoing instrument was shown and read before me by L. E. Steele, Vice President of the Horizon Corporation, a Delaware corporation, on behalf of said Corporation.

My commission expires 8-11-77
Chorene Pittman
 Notary Public
 PIMA COUNTY, ARIZONA

TAX STATEMENT

USLIFE TITLE ALBUQUERQUE does hereby certify that the taxes applicable to the land shown hereon have been paid for the past 100 years up to and including 1973
 By: Charles W. Fisher

SURVEYOR'S CERTIFICATION

I certify that this Plat was prepared under my direct supervision, shows all Easements of Record, meets the minimum requirements for monumentation and surveys of the Bernalillo County Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



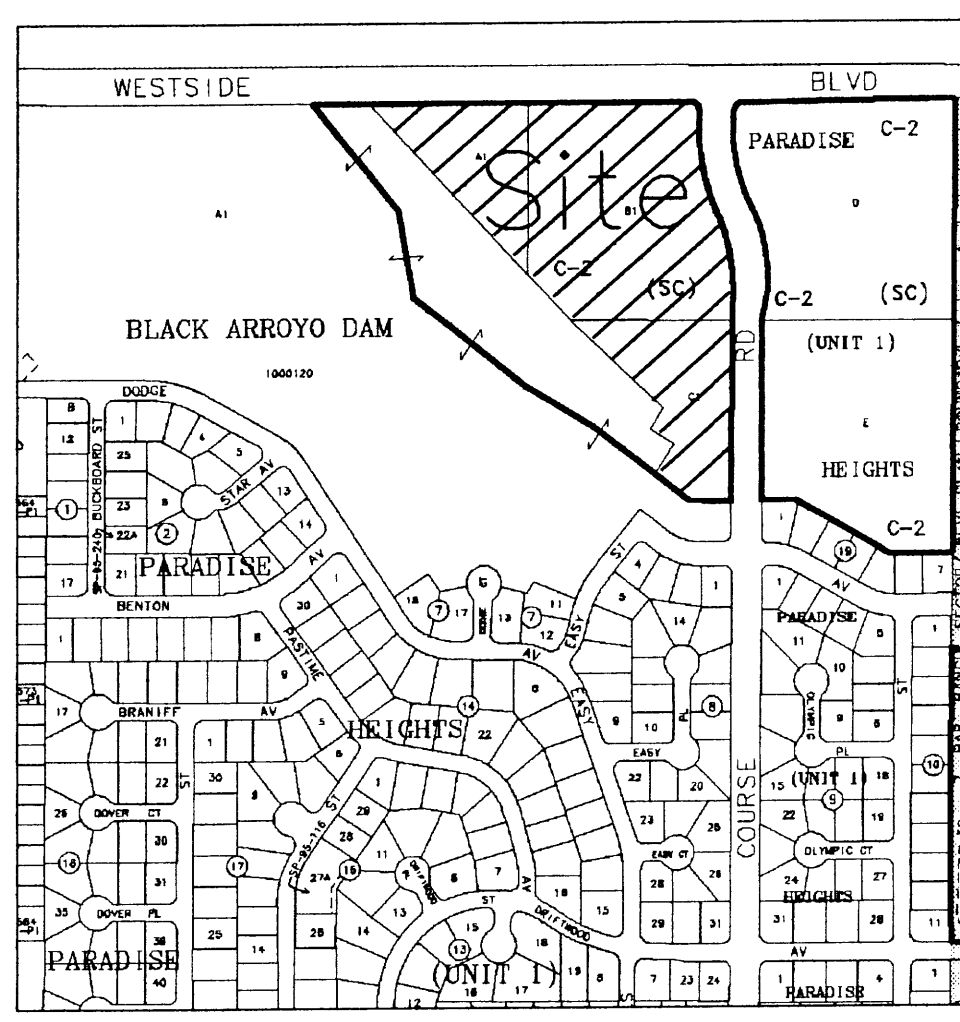
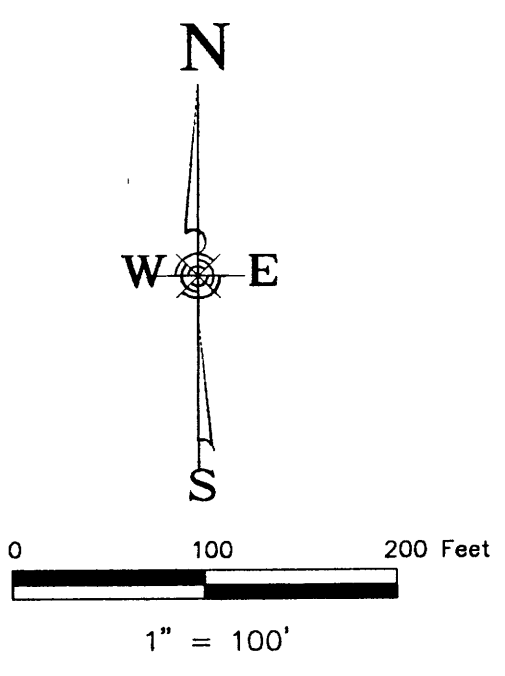
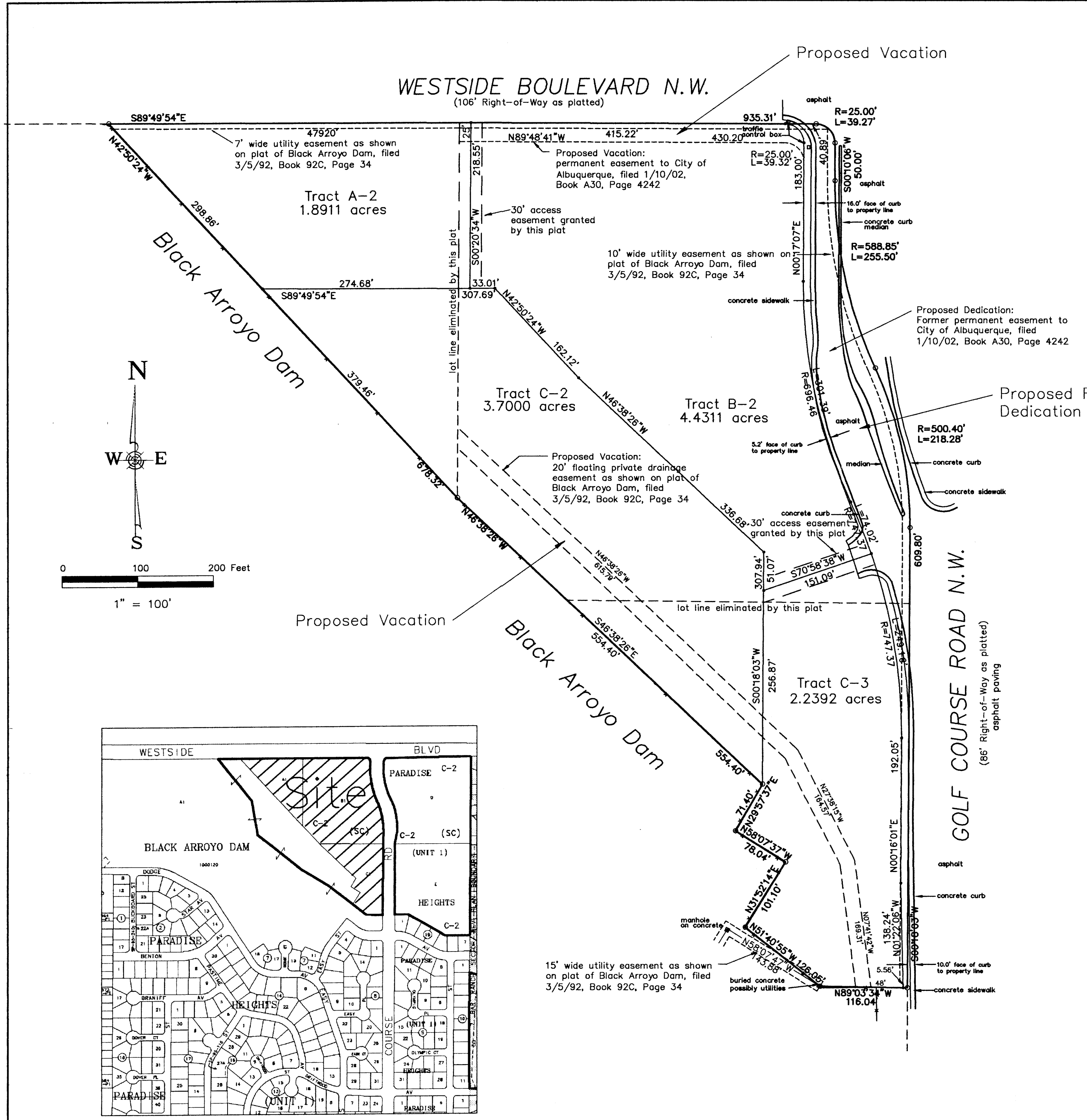
John G. Leverton
 Professional Engineer and Land Surveyor
 State of New Mexico No. 1874

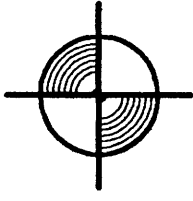
APPROVAL AND CONDITIONAL ACCEPTANCE is hereby granted, as specified under Article III, Section 6 of the Subdivision Ordinance for Bernalillo County, New Mexico.

6/25/74
 Date
John J. Givens for New Mexico
 Planning Director, City of Albuquerque, N.M.
 S-71-223(S.P.)

Sketch Plat
 Tracts A-2, B-2, C-2 & C-3
 Being a Replat of
 Tracts A-1, B-1 & C-1
 Black Arroyo Dam
 Projected Section 1
 T.11N., R.2E. N.M.P.M.
 City of Albuquerque
 Bernalillo County, New Mexico
 January 2006

- The purpose of this plat is to:
1. Increase the number of existing lots from 3 to 4
 2. Dedicate an existing access easement on Golf Course Road as right-of-way
 3. Vacate a permanent access easement on Westside Boulevard
 4. Vacate a floating private drainage easement



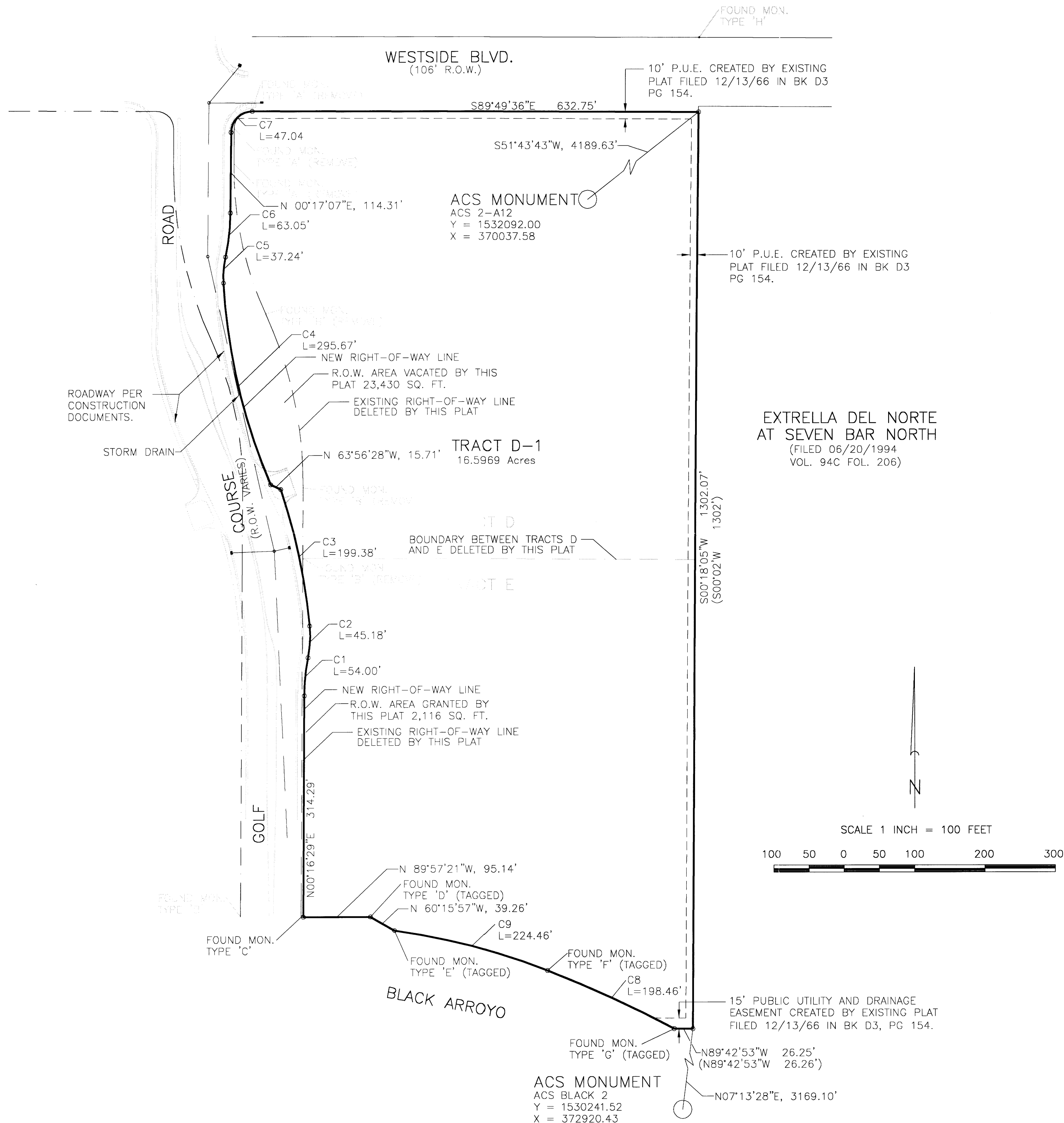

 Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032

VACATION EXHIBIT

TRACT D-I

PARADISE HEIGHTS - UNIT I

ALBUQUERQUE, NEW MEXICO
DECEMBER, 2005



NOTES

- MILES OF FULL WIDTH PRIVATE STREETS CREATED BY THIS PLAT = 0.0000 MILES.
- TOTAL NUMBER OF TRACTS CREATED - 1
- BASIS OF POSITION AND BEARINGS
 - ACS 2-A12 (NAD 1927 & NGVD 1929)
 - X = 372920.43
 - Y = 1532092.00
 - ELEVATION = 5058.889
 - DELTA ALPHA - 00°15' 03"
 - GROUND TO GRID
 - FACTOR - 0.9996661
 - ACS BLACK 2 (NAD 1927 & NGVD 1929)
 - X = 367041.31
 - Y = 1530241.52
 - ELEVATION = 5113.93
 - DELTA ALPHA - 00°14' 43"
 - GROUND TO GRID
 - FACTOR - 0.99966784
 - NGS KOAT TWT (NAD 1927)
 - X = 440206.79
 - Y = 1533471.33
 - ELEVATION = NA
 - DELTA ALPHA - 00°06'56"
 - GROUND TO GRID
 - FACTOR -
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
- ALL BOUNDARY CORNERS AND ANGLE POINTS ARE MONUMENTED WITH A 5/8" REBAR AND YELLOW PLASTIC CAP STAMPED "BORDENAVE, LS 5110" UNLESS SHOWN OTHERWISE.
- CURRENT ZONING OF THE TRACT IS C-2.

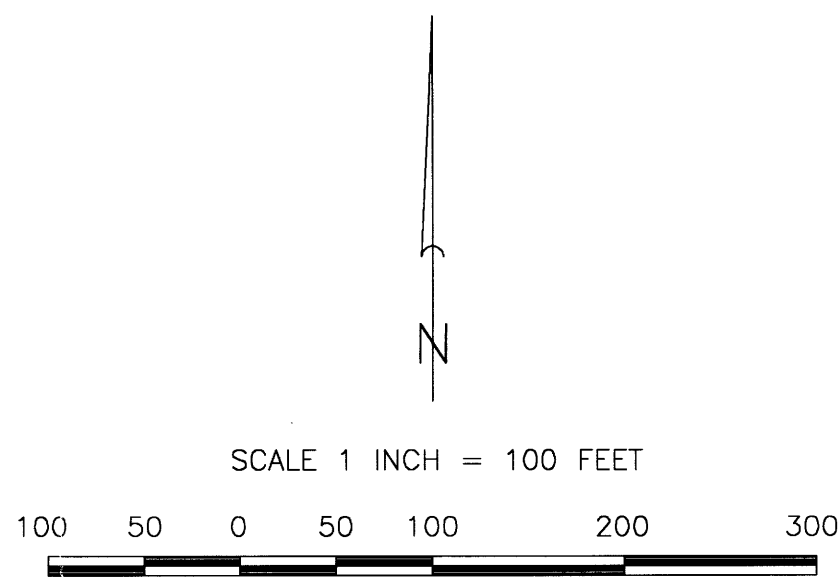
EXHIBIT B
DEC 11 16/05

CURVE TABLE

CURVE	DELTA	RADIUS	ARC	CHORD	CHD BRG
C1	10°40'10"	290.00'	54.00'	53.93'	N05°36'11"E
C2	05°41'47"	160.00'	45.18'	45.03'	N02°50'53"E
C3	13°19'47"	857.00'	199.38'	198.93'	N11°54'23"W
C4	19°55'48"	850.00'	295.67'	294.18'	N13°16'08"W
C5	08°38'04"	140.00'	37.24'	37.13'	N04°19'02"E
C6	11°39'11"	310.00'	63.05'	62.94'	N06°06'42"W
C7	89°53'17"	30.00'	47.07'	35.83'	N45°54'08"E
C8	06°24'55"	1772.47'	198.46'	198.36'	N65°21'43"W
C9	13°20'58"	963.38'	224.46'	223.95'	N75°15'00"W

MONUMENTS

- RECORD BEARINGS AND DISTANCES IF DIFFERENT THAN FIELD ARE SHOWN IN ().
- FOUND MONUMENT TYPES
 - TYPE 'A' - YELLOW PLASTIC CAP ON REBAR, STAMPED LS7909.
 - TYPE 'B' - YELLOW PLASTIC CAP ON REBAR, STAMPED LS10283.
 - TYPE 'C' - ALUMINUM DISK IN CONC. STAMPED "BA-1 * R/W LS11009.
 - TYPE 'D' - ALUMINUM DISK IN CONC. STAMPED "BA-2 * R/W LS11009.
 - TYPE 'E' - ALUMINUM DISK IN CONC. STAMPED "BA-3 * R/W LS11009.
 - TYPE 'F' - ALUMINUM DISK IN CONC. STAMPED "BA-4 * R/W LS11009.
 - TYPE 'G' - ALUMINUM DISK IN CONC. STAMPED "BA-5 * R/W LS11009.
- SET MONUMENT TYPES
 - SET 5/8" REBAR w/ PLASTIC CAP STAMPED "BORDENAVE, LS5110" OR TAG FOUND MONUMENTS NOT REMOVED.



BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105