

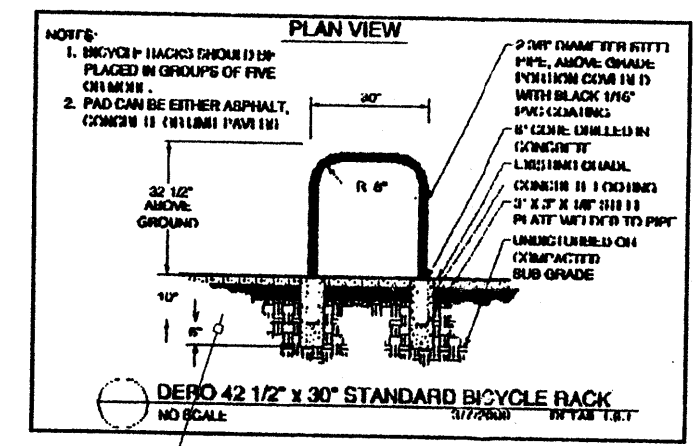
LAND PLANNING
CIVIL ENGINEERING
SURVEYING
DEVELOPMENT CONSULTING

4401 CORVALES ROAD
ALBUQUERQUE, NEW MEXICO 87113
TEL: 505-263-1100 FAX: 505-263-1198

- MINIMUM LANDSCAPING MATERIALS:**
- NORTH PROPERTY LINE:**
 1. 10' @ 10' O.C. SPACING SHRUBS, 40' O.C. TREES = 18 TREES, 54 SHRUBS.
 2. PYROCANTHIA - MIN. 2 GAL.
 3. HONEYSUCKLE - MIN. 2 GAL.
 4. DESERT WILLOW (CHILOPSIS LINEARIS) - MULTITRUNK OR MIN. 1" CALIPER
 5. AFGHAN PINE (PINUS PINUS ELDIRICA) - MIN. 1-1/2" CALIPER
- SOUTH PROPERTY LINE:**
 1. 10' @ 10' O.C. SPACING SHRUBS, 40' O.C. TREES = 23 TREES, 71 SHRUBS.
 2. PYROCANTHIA - MIN. 2 GAL.
 3. HONEYSUCKLE - MIN. 2 GAL.
 4. DESERT WILLOW (CHILOPSIS LINEARIS) - MULTITRUNK OR MIN. 1" CALIPER
 5. AFGHAN PINE (PINUS PINUS ELDIRICA) - MIN. 1-1/2" CALIPER

- IRRIGATION:** 4 ZONE
 1. 1/2" F 3/4" POLY DISTRIBUTION TO PL. MIDPOINTS
 2. 1/2" F 3/4" POLY DISTRIBUTION
 3. MANIFOLDS W/ ELEC. TIMERS
 4. SUBBLER EMITTERS W/ SPYDER RISERS, STAKED
- Notes:**
 1. Remove 5 gal Rubber Rabbit bush (Chrysothamnus) and one gallon Gallardia. Drip irrigation with 6 emitters (5/8")
- Notes:**
 1. Remove Asphalt between driveway and concrete walk. Provide landscaping irrigated from exist. building plumbing. See note L.

- CONDITIONS AND SITE PLAN ELEMENTS:**
- PROVIDE MIN 5' SOLID WOODEN FENCE ALONG SOUTH BOUNDARY RESIDENTIAL.
 - RECONSTRUCT 4' 3.5' C.M.U. WALL NEAR LEEPER RESIDENCE TO 5' INTEGRAL-COLOR BLOCK WALL WITH ANTI GRAFFITI COATING.
 - ASSURE ACCESS TO NORTH PROPERTY LINE FOR POTENTIAL CONNECTION TO CARLETON STREET WHEN THAT PROPERTY DEVELOPS AS ALTERNATE USE.
 - RECONSTRUCT FENCING AND GATE TO STORAGE YARD AREA FOR SECURITY.
 - LIMIT AREA LIGHTING TO INCANDESCENT, DOWN DIRECTED STANDARDS WITH SHIELDING TO RESIDENTIAL PROPERTIES.
 - ONLY HOURS THAT HEAVY EQUIPMENT MAY OPERATE ON SITE ARE FROM 6:00 AM TO 8:00 PM.
 - PROVIDE COVERS OR INTERIOR FENCING FOR STORAGE OF LIGHT AGGREGATE MATERIALS TO PREVENT BLOWING DUST AND DEBRIS FROM MATERIALS.
 - REFUSE CONTAINER LOCATION TO BE BUILT TO CITY OF ALBUQUERQUE - SOLID WASTE DEPARTMENT SPECIFICATIONS (SEE ENCLOSURE DETAIL, THIS SHEET).
 - 10' MIN LANDSCAPING AREA. GRAVEL INERT GROUND COVER WITH ONE LOW HEIGHT SPREADING PLANT SHRUBS @ 10' O.C. FOR 75% COVERAGE AT MATURITY MULTI AND SINGLE TRUNK TREEFORMS @ 40' O.C., NORTH AND SOUTH LINES. PROVIDE 4 ZONE DRIP IRRIGATION WITH TIMER.
 PRINCIPAL SHRUBS: (XERIC) 50% HONEYSUCKLE (CAPRIFOLIACEAE) AND 50% PYROCANTHIA OR EQUAL.
 PRINCIPAL TREES: 50% DESERT WILLOW (CHILOPSIS LINEARIS), 50% AFGHAN PINE (PINUS ELDIRICA)
 - NO COMBUSTABLE MATERIALS TO BE STORED FURTHER THAN 450' FROM EXISTING FIRE HYDRANT.



SITE PLAN REQUIREMENTS (SEE ALSO DRAWING):

LANDSCAPING: LIMITED 10' AREAS PROPOSED FOR THIS SUBMITTAL AND SITE PLAN. GRAVEL AND XERIC GROUND COVER WITH DRIP IRRIGATION. NO TREES OR LARGE (1/2" CALIPER) SHRUBS DUE TO PROXIMITY TO JUVENILE JUSTICE CENTER. A 5' WOODEN FENCE IS TO BE CONSTRUCTED ALONG THE SOUTH LINE ADJACENT TO EXISTING RESIDENTIAL STRUCTURES. THE PROPERTY OWNER IS RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE.

A 5' MASONRY WALL IS TO BE CONSTRUCTED WHERE SHOWN ADJACENT TO MR. LEEPER'S RESIDENCE ON HIS C-1 PORTION.

GRADING PLAN: NONE PROPOSED FOR THIS SUBMITTAL. SITE IS TO REMAIN IN NATURAL CONDITION FOR STORAGE OF LANDSCAPE MATERIALS ONLY. THE SUBMITTED SITE PLAN INDICATES THAT A GRADING AND DRAINAGE PLAN IS REQUIRED FOR ANY CHANGE IN OCCUPANCY FROM THE ABOVE OR FOR ANY GROUND DISTURBANCE.

BUILDING ELEVATIONS: NO CHANGE IN EXISTING STRUCTURE IS CONTEMPLATED (EXISTING STRUCTURE IS ON C-1 PORTION, NO NEW BUILDING IS PROPOSED, PHOTOS OF EXISTING IN LIEU OF ELEVATIONS).

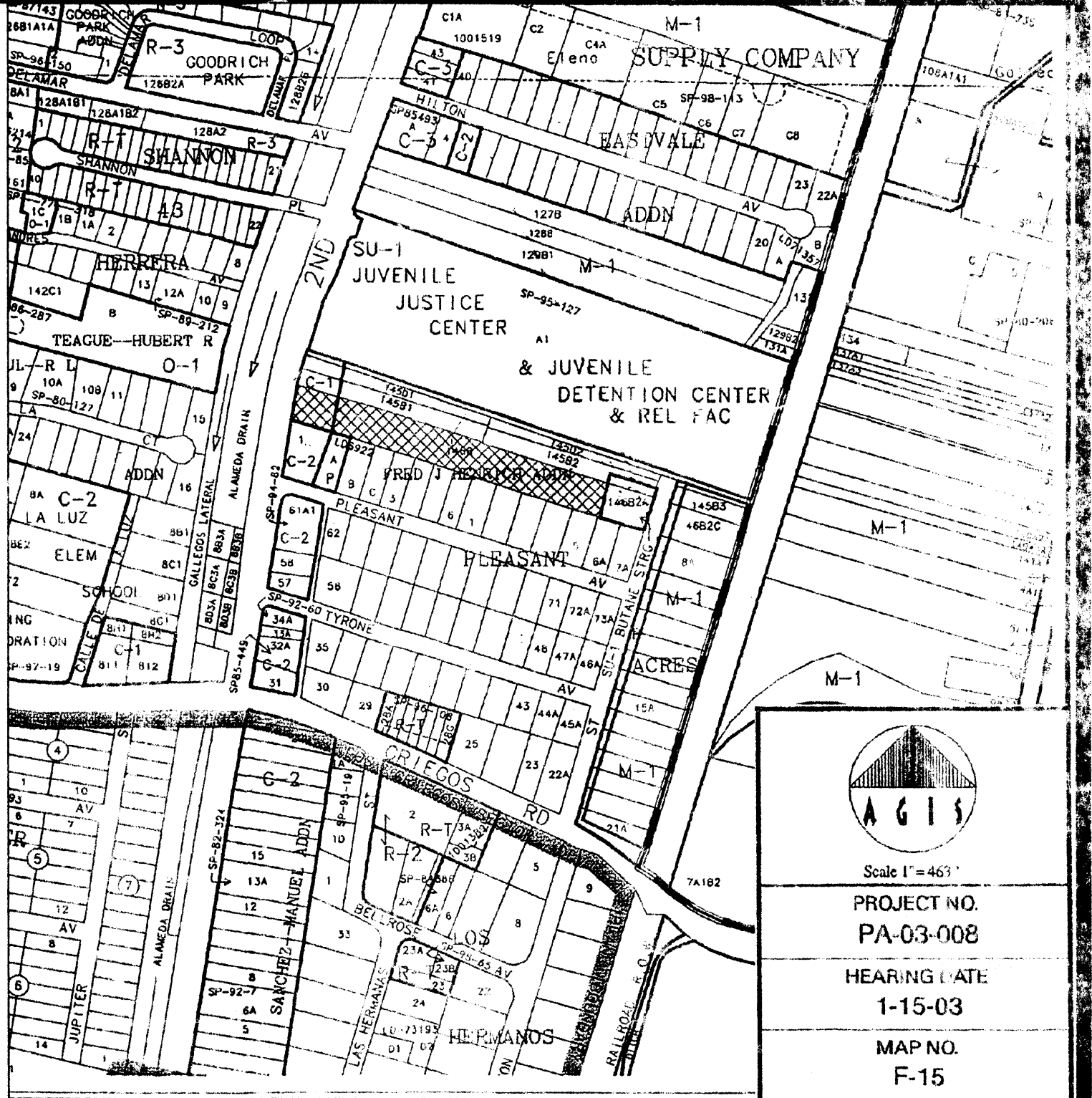
MAXIMUM BUILDING HEIGHT: PER THE C-1 ZONE - 26 FEET MAXIMUM. FOR SIGNS AND ANTENNAE - PER SEC. 14-16-3.3 OF THE ZONING CODE. THE MAXIMUM EXISTING BUILDING HEIGHT IS 17 FEET (SEE SHEET 2).

MINIMUM SETBACKS: NEW CONSTRUCTION - PER THE C-1 ZONE FROM RESIDENTIAL ZONES - FRONT: 5 FEET, CORNER: 5 FEET, SIDE AND REAR: 15 FEET. FROM NON-RESIDENTIAL ZONE: 0 FEET SIDELINES (ZERO) OR 10 FEET FROM STRUCTURES, REAR: 15 FEET, FRONT: 5 FEET. EXISTING STRUCTURES ARE NON-CONFORMING AND ARE TO REMAIN IN PLACE.

FLOOR AREA RATIO (FAR): A MAXIMUM F.A.R. OF 0.20 FOR RETAIL, 0.40 FOR OFFICES AND 0.60 FOR A TYPICAL PARKING USES IS ESTABLISHED BY THIS PLAN.

WATER CONSERVATION ORDINANCE: THIS PROJECT MUST COMPLY WITH THE CITY OF ALBUQUERQUE'S WATER CONSERVATION ORDINANCE.

STREET TREES: THIS SITE IS NOT REQUIRED TO PROVIDE STREET TREES AT THIS TIME. PLEASE REFER TO CITY OF ALBUQUERQUE CODE OF ORDINANCES, CHAPTER 6, ARTICLE 6, PART 2, ITEM 4 (6-6-2-4) REQUIRED STREET TREES: (N/A, As shown hereon). OK



VICINITY MAP
SCALE: 1" = 400'

SHEET INDEX

- SITE PLAN AND LANDSCAPING PLAN
- PHOTOGRAPHIC DETAILS SHOWING EXISTING AND PROPOSED CONDITIONS
- EXISTING CONDITIONS

CASE NUMBERS

FILE: PROJECT # 1002562
 03EPC-00487 ZONE MAP AMENDMENT
 03EPC-00488 EPC SITE DEVELOPMENT PLAN - SUBDIVISION
 03EPC-00489 EPC SITE DEVELOPMENT PLAN - BUILDING PERMIT

DRAINAGE PLAN:

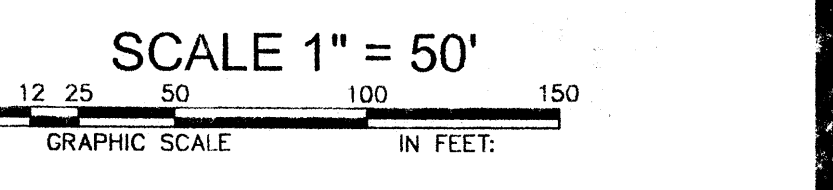
APPROX 10,000 S.F. PROPOSED LOT B IS IMPERVIOUS, BALANCE DIRT AND GRAVEL. LOT A IS ALL IMPERVIOUS, DRAINING TO SECOND STREET. NO EVIDENCE OF PONDING OR DRAINAGE OTHER THAN FLAT, DIRT AREAS IS EVIDENT. ANY CHANGE TO OCCUPIED SPACE OR ADDITIONAL PAVING WILL REQUIRE A GRADING AND DRAINAGE PLAN APPROVED BY THE CITY HYDROLOGIST. ALL SITE DRAINAGE TO BE CAPTURED ON-SITE. NO FLOODPLAIN PER PANEL 3500C119 D, 1996

NOTE:

LANDSCAPE REQUIREMENTS ARE BASED SOLELY ON THE RESIDENTIAL BUFFERING STANDARDS OF THE ZONING CODE AND THE STREET TREE ORDINANCE.

EXISTING SITE DATA

ACREAGE: 2.67 AC. ±, SU-1 FOR C-1 PERMISSIVE WITH CONTRACTOR'S YARD.



ZONE CHANGE REQUEST
MR. DALE KNIGHTON
 SHEET 1
 JUNE, 2003 ZONE ATLAS F-15

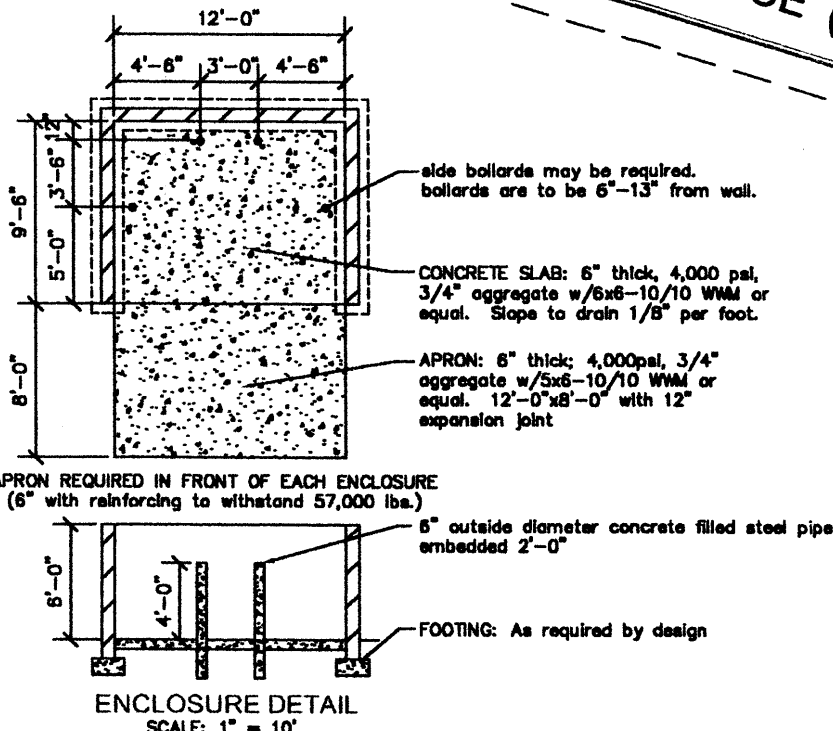
SITE DEVELOPMENT PLAN FOR
BUILDING PERMIT
PROPOSED SU-1 FOR C-1
PERMISSIVE USES

PROJECT 1002562

Project # 1002562
 Application # 03DRB-00945

APPROVALS

<i>Shawn Matson</i>	1/23/03
CITY PLANNER / ALBUQUERQUE, BERNALILLO CO. PLANNING DIVISION	DATE
<i>Christina Sandovar</i>	6/25/03
PARKS AND RECREATION DEPARTMENT	DATE
<i>Richard D. Dwyer</i>	6-25-03
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT	DATE
<i>Roger A. Dwyer</i>	6-25-03
UTILITY DEPARTMENT	DATE
<i>Bradley A. Bishop</i>	6/25/03
CITY ENGINEER	DATE
<i>Michael Holton</i>	6-16-03
CITY OF ALBUQUERQUE - FIRE DEPARTMENT	DATE
<i>Michael Holton</i>	6-16-03
CITY OF ALBUQUERQUE - SOLID WASTE	DATE



It is not the intention of the Solid Waste Department to control the design of an enclosure. It is the intent to give the minimum width, length and height for varied types of enclosures.

Dimensions given are to the inside of enclosure walls and are the minimum sizes required for the slab itself. Footing will vary with the design of the enclosure.

MRGCD TRACT 143B1
MAP 32

**BERNALILLO COUNTY
JUVENILE JUSTICE
CENTER**

**ZONE
SU-1 FOR
JUDICIAL**

MRGCD TRACT 142B1
MAP 32

MRGCD TRACT 143B3
MAP 32

ZONE C1

ZONE C1

ZONE R1

ZONE R1

N/F DANIELS CONSTRUCTION CO.
OR MR. LYLE LEEPER

**ZONE
SU-1 FOR
JUDICIAL**

ZONE R1

ZONE R1

**WESTERLY PORTION
MRGCD TRACT 146-B, MAP 32**

DIRT STORAGE YARD

MRGCD TRACT 145B2 MAP 32

MRGCD TRACT 142B3
MAP 32

LOT 3

ZONE C-2

LOT A

ZONE P

REPLAT OF LOT 2
F.C. HENNRICH ADDN.
FEB. 12 1969, B-4 PG 183

LOT B

LOT C

LOT 3

F.C. HENNRICH ADDN.
JAN 2 1949, B-130 PG 00

LOT 4

LOT 5

LOT 6

LOT 1

LOT 2

LOT 3

LOT 4

LOT 5

LOT 1

LOT 2

LOT 3

LOT 4

LOT 5

LOT 6

LOT 7A

LOT 7B

LOT 7C

LOT 7D

LOT 7E

LOT 7F

LOT 7G

LOT 7H

LOT 7I

LOT 7J

LOT 7K

LOT 7L

LOT 7M

LOT 7N

LOT 7O

LOT 7P

LOT 7Q

LOT 7R

LOT 7S

LOT 7T

LOT 7U

LOT 7V

LOT 7W

LOT 7X

LOT 7Y

LOT 7Z

LOT 7AA

LOT 7AB

LOT 7AC

LOT 7AD

LOT 7AE

LOT 7AF

LOT 7AG

LOT 7AH

LOT 7AI

LOT 7AJ

LOT 7AK

LOT 7AL

LOT 7AM

LOT 7AN

LOT 7AO

LOT 7AP

LOT 7AQ

LOT 7AR

LOT 7AS

LOT 7AT

LOT 7AU

LOT 7AV

LOT 7AW

LOT 7AX

LOT 7AY

LOT 7AZ

LOT 7BA

LOT 7BB

LOT 7BC

LOT 7BD

LOT 7BE

LOT 7BF

LOT 7BG

LOT 7BH

LOT 7BI

LOT 7BJ

LOT 7BK

LOT 7BL

LOT 7BM

LOT 7BN

LOT 7BO

LOT 7BP

LOT 7BQ

LOT 7BR

LOT 7BS

LOT 7BT

LOT 7BU

LOT 7BV

LOT 7BW

LOT 7BX

LOT 7BY

LOT 7BZ

LOT 7CA

LOT 7CB

LOT 7CC

LOT 7CD

LOT 7CE

LOT 7CF

LOT 7CG

LOT 7CH

LOT 7CI

LOT 7CJ

LOT 7CK

LOT 7CL

LOT 7CM

LOT 7CN

LOT 7CO

LOT 7CP

LOT 7CQ

LOT 7CR

LOT 7CS

LOT 7CT

LOT 7CU

LOT 7CV

LOT 7CW

LOT 7CX

LOT 7CY

LOT 7CZ

LOT 7DA

LOT 7DB

LOT 7DC

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LOT 7DS

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LOT 7EC

LOT 7ED

LOT 7EE

LOT 7EF

LOT 7EG

LOT 7EH

LOT 7EI

LOT 7EJ

LOT 7EK

LOT 7EL

LOT 7EM

LOT 7EN

LOT 7EO

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LOT 7ER

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LOT 7GA

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LOT 7GC

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LOT 7HB

LOT 7HC

LOT 7HD

LOT 7HE

LOT 7HF

LOT 7HG

LOT 7HH

LOT 7HI

LOT 7HJ

LOT 7HK

LOT 7HL

LOT 7HM

LOT 7HN

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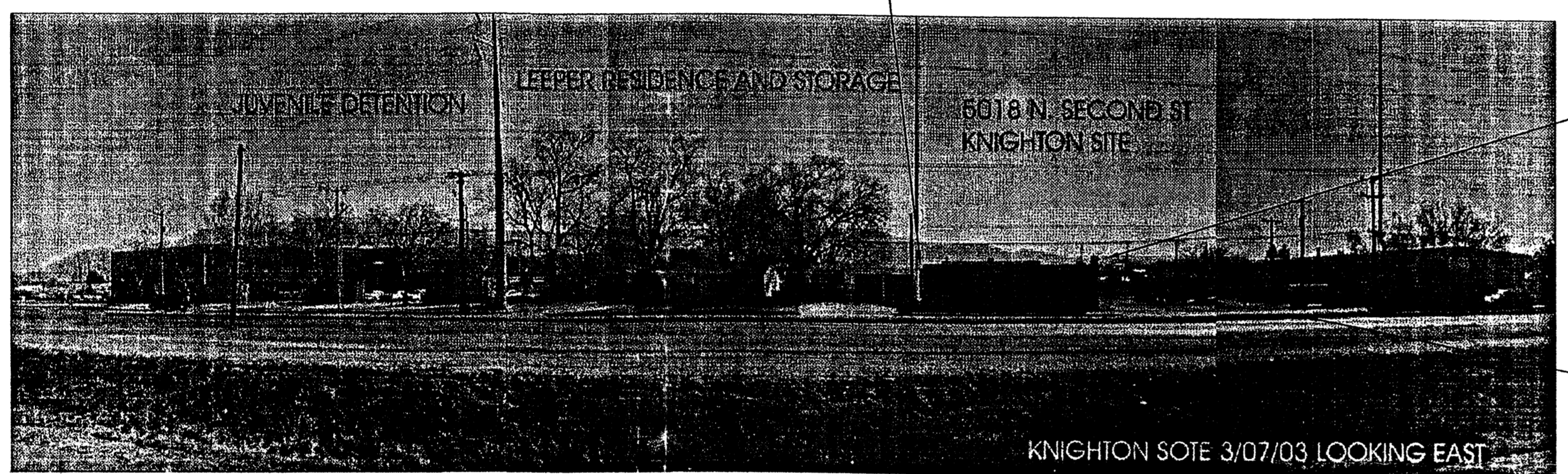
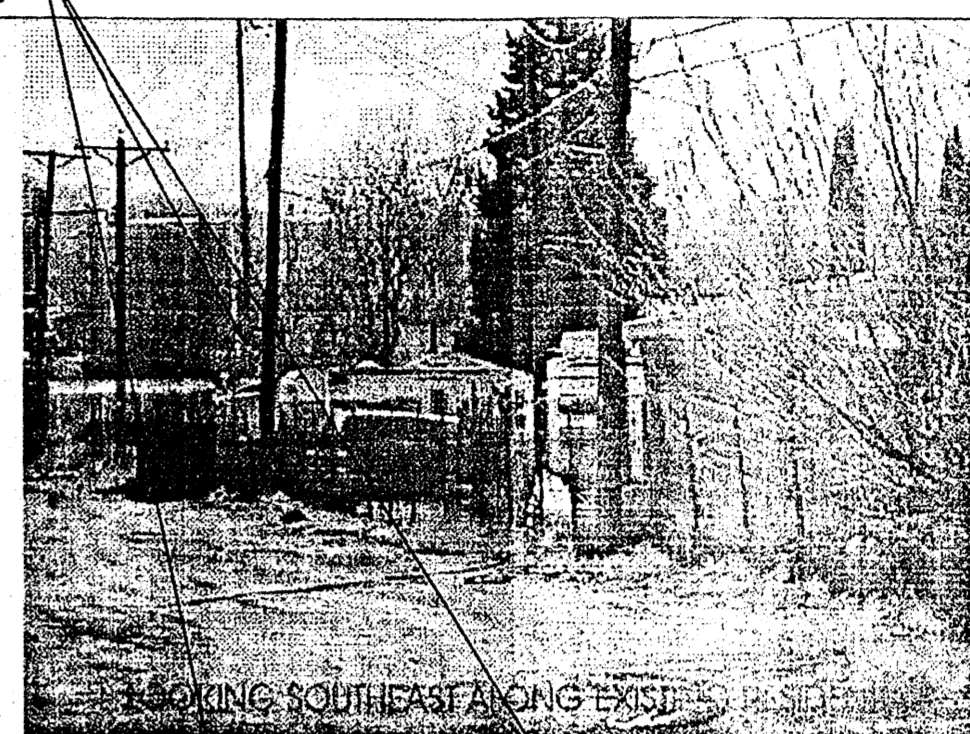
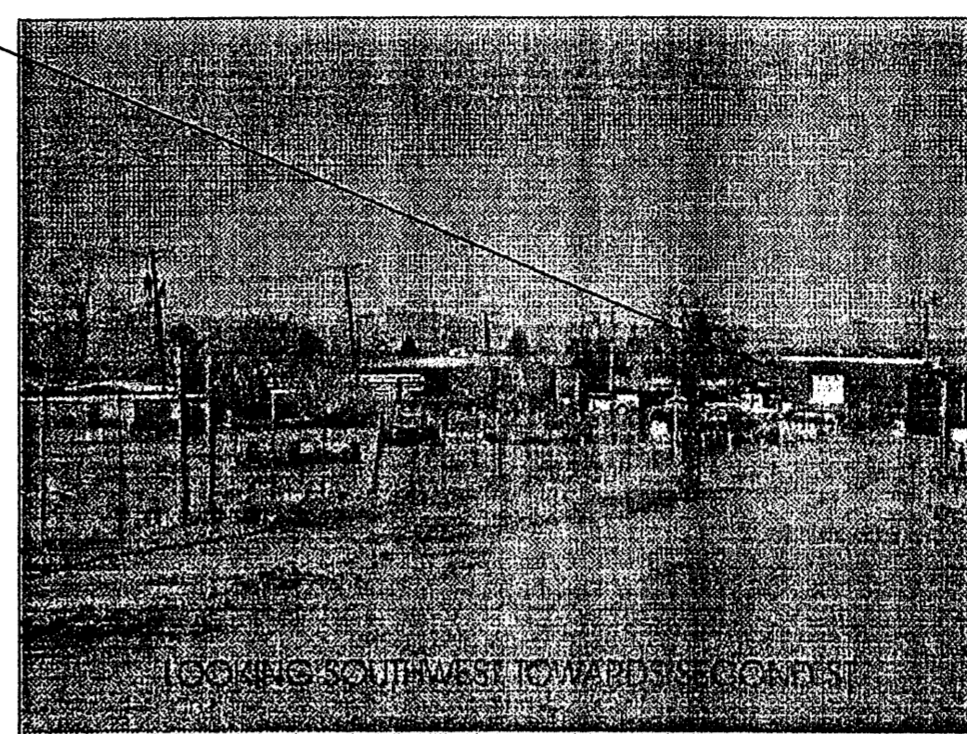
PROPOSED WALL RECONSTRUCTION
(5' MASONRY PROPOSED RECONSTRUCTION)
EXISTING WALL APPROX. 3.5' HIGH

SIDE ELEVATION:
EXISTING BUILDING
ON C-1 PORTION
10.5' TO PARAPET
(SOUTH FACE)



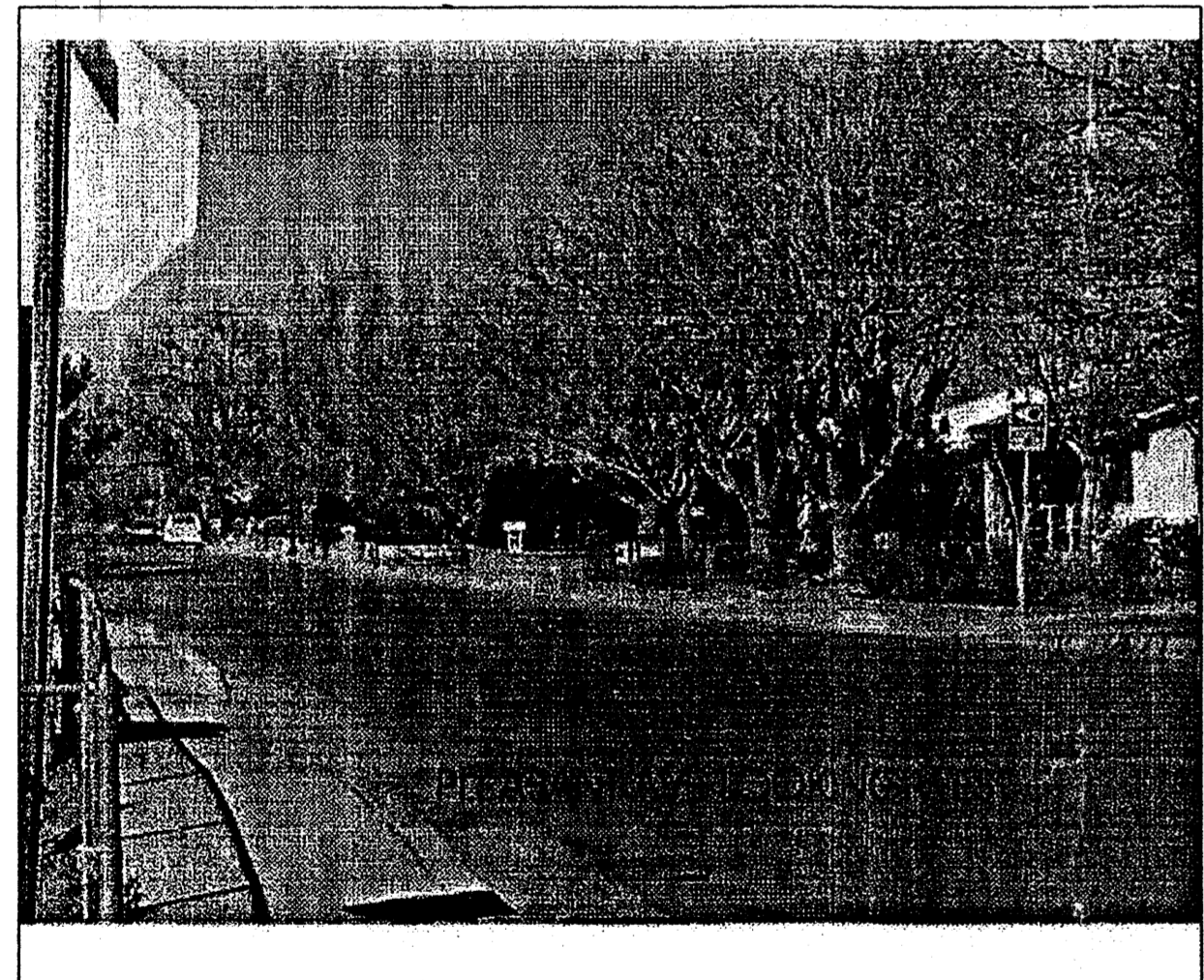
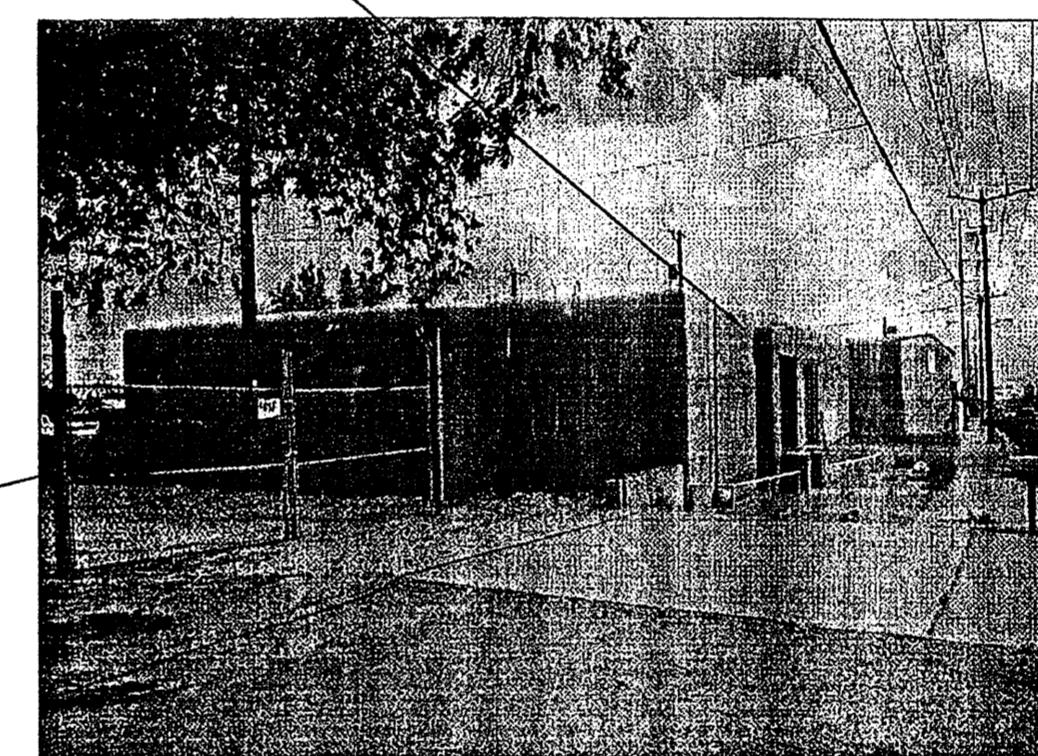
SOUTH PROPERTY LINE (5' WOOD
FENCE PROPOSED)

SIDE ELEVATION:
EXISTING GARAGE
ON SU-1 PORTION
THIS PORTION OF
GARAGE IS 17' TALL
(EAST FACE)

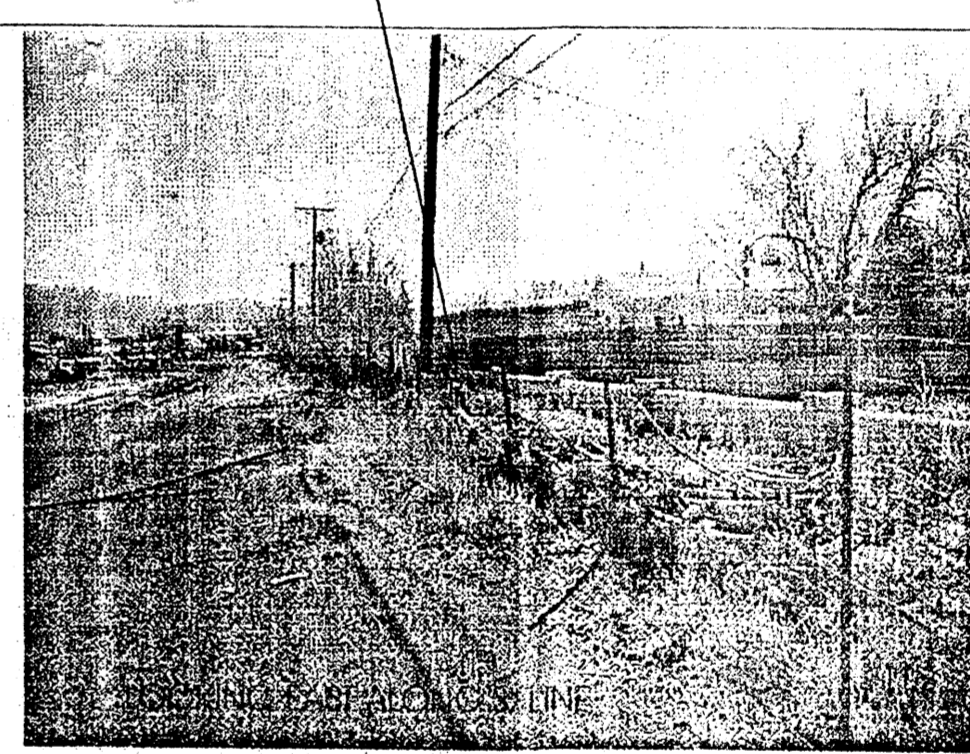


FRONT ELEVATION:
EXISTING BUILDING
ON C-1 PORTION
10.5' TO PARAPET
NOTE: ALL
CONCRETE OR
ASPHALT TO 6'
WALK.
(WEST FACE)

EXISTING CURB CUT
(40') NO MEDIAN
BREAK.



SIDE ELEVATION:
EXISTING BUILDING
ON C-1 PORTION
10.5' TO PARAPET
(NORTH FACE)

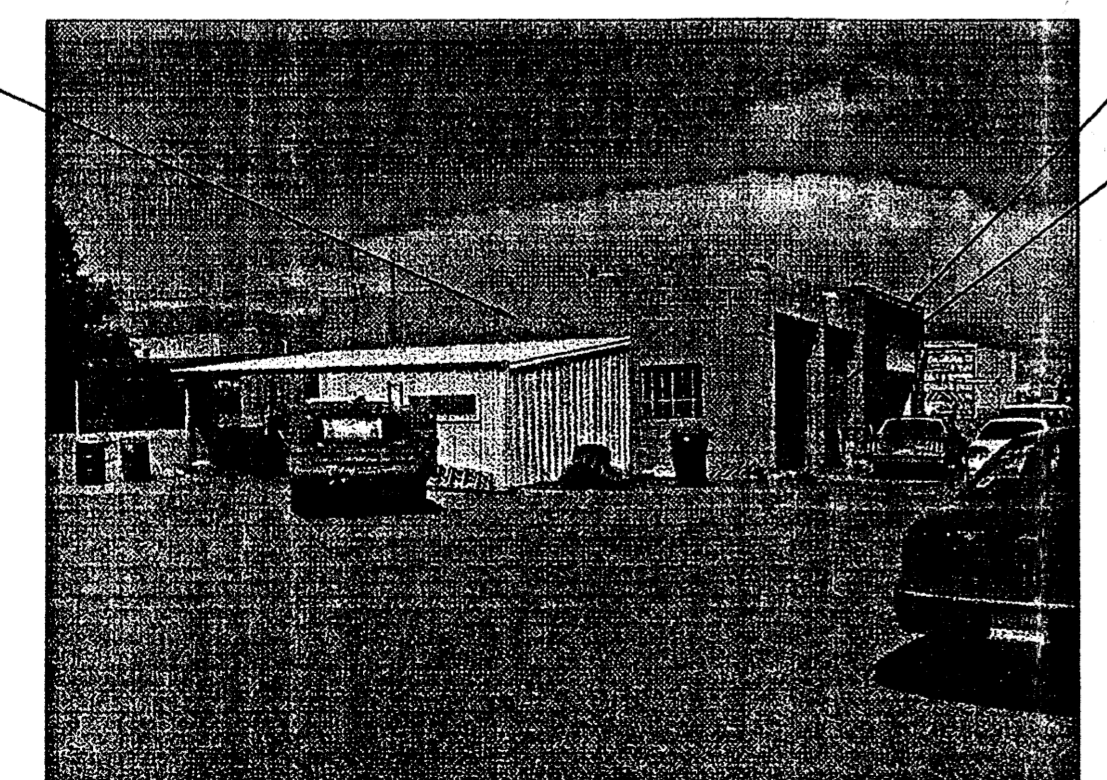


FRONT ELEVATION:
EXISTING GARAGE ON
SU-1 PORTION
17' TO ROOF OF METAL
PORTION OF GARAGE
16' TO ROOF OF CMU
PORTION OF GARAGE
1' OFF PROP. LINE
(SOUTH FACE)

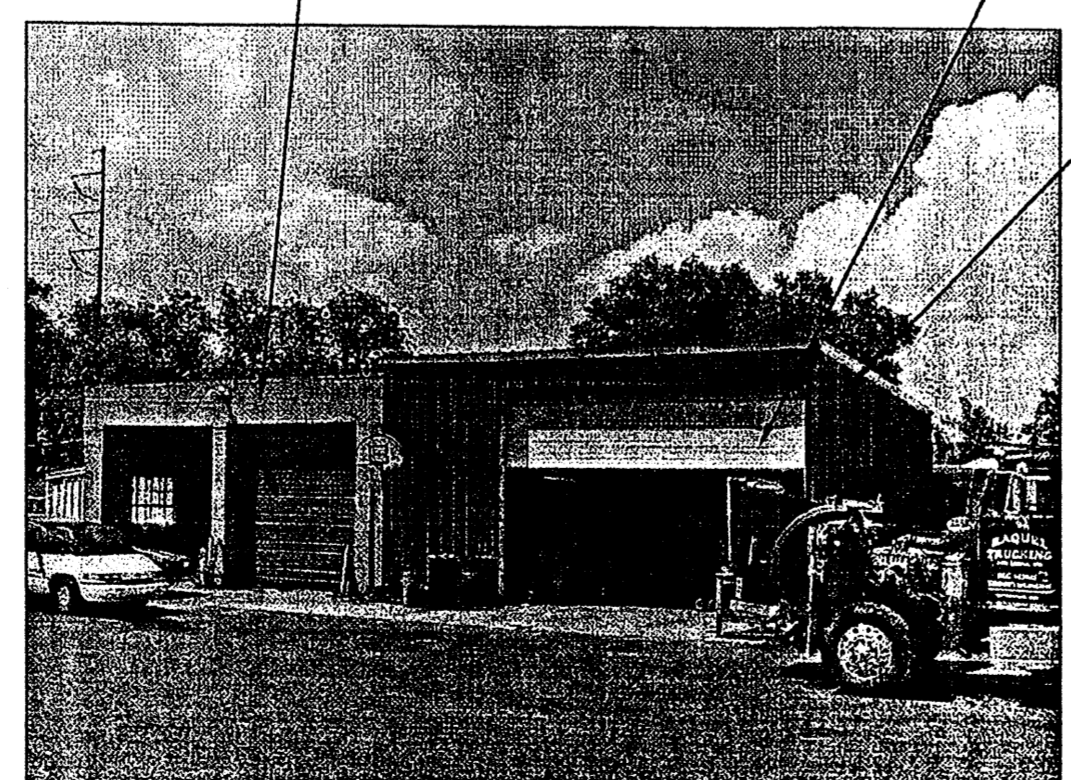
REAR ELEVATION:
EXISTING BUILDING
ON C1 PORTION
(EAST FACE)
10.5' TO PARAPET

FRONT & SIDE
ELEVATION: EXISTING
GARAGE ON SU-1
PORTION
17' TO ROOF OF METAL
PORTION OF GARAGE
16' TO ROOF OF CMU
PORTION OF GARAGE
1' OFF PROP. LINE
(SOUTH & EAST FACE)

SIDE ELEVATION:
EXISTING GARAGE
ON SU-1 PORTION
16' TO ROOF OF
CMU PORTION OF
GARAGE
(WEST FACE)



SIDE ELEVATION:
EXISTING GARAGE ON
SU-1 PORTION
17' TO ROOF OF METAL
PORTION OF GARAGE
(EAST FACE)



ZONE CHANGE REQUEST MR. DALE KNIGHTON

SHEET 2
JUNE, 2003 ZONE ATLAS F-15