

MINIMUM LANDSCAPING MATERIALS:

NORTH PROPERTY LINE:
 710 LF @ 10' O.C. SPACING SHRUBS, 40' O.C. TREES = 17 TREES, 55 SHRUBS:
 27 PYROCANTHIA
 27 HONEYSUCKLE
 9 DESERT WILLOW (CHILOPSIS LINEARIS)
 9 AFGHAN PINE (PINUS ELDARICA)

SOUTH PROPERTY LINE:
 780 LF @ 10' O.C. SPACING SHRUBS, 40' O.C. TREES = 18 TREES, 60 SHRUBS:
 30 PYROCANTHIA
 30 HONEYSUCKLE
 9 DESERT WILLOW (CHILOPSIS LINEARIS)
 9 AFGHAN PINE (PINUS ELDARICA)

DRIP IRRIGATION, 4 ZONE:
 900 LF 3/4" POLY DISTRIBUTION TO PL MIDPOINTS
 750 LF 5/8" POLY DISTRIBUTION
 2 MANIFOLDS W/ ELEC. TIMERS
 150 BUBBLER EMITTERS W/ SPYDER RISERS, STAKED

CONDITIONS AND SITE PLAN ELEMENTS:

- (A) PROVIDE MIN 5' SOLID WOODEN FENCE ALONG SOUTH BOUNDARY RESIDENTIAL.
- (B) RECONSTRUCT 4' 3.5' C.M.U. WALL NEAR LEEPER RESIDENCE TO 5' INTEGRAL-COLOR BLOCK WALL WITH ANTI GRAFFITI COATING.
- (C) ASSURE ACCESS TO NORTH PROPERTY LINE FOR POTENTIAL CONNECTION TO CARLETON STREET WHEN THAT PROPERTY DEVELOPS AS ALTERNATE USE.
- (D) RECONSTRUCT FENCING AND GATE TO STORAGE YARD AREA FOR SECURITY.
- (E) LIMIT AREA LIGHTING TO INCANDESCENT, DOWN DIRECTED STANDARDS WITH SHEILDING TO RESIDENTIAL PROPERTIES.
- (F) LIMIT HOURS OF HEAVY EQUIPMENT IN STORAGE AREA TO 6:00 AM TO 8:00 PM.
- (G) PROVIDE COVERS OR INTERIOR FENCING FOR STORAGE OF LIGHT AGGREGATE MATERIALS TO PREVENT BLOWING DUST AND DEBRIS FROM MATERIALS.
- (H) REFUSE CONTAINER LOCATION TO BE BUILT TO CITY OF ALBUQUERQUE - SOLID WASTE DEPARTMENT SPECIFICATIONS (SEE ENCLOSURE DETAIL, THIS SHEET).
- (I) 10' MIN LANDSCAPING AREA. GRAVEL INERT GROUND COVER WITH ONE LOW HEIGHT SPREADING PLANT SHRUBS @ 10' O.C. FOR 75% COVERAGE AT MATURITY MULTI AND SINGLE TRUNK TREEFORMS @ 40' O.C., NORTH AND SOUTH LINES. PROVIDE 4 ZONE DRIP IRRIGATION WITH TIMER. PRINCIPAL SHRUBS: (XERIC); 50% HONEYSUCKLE (CAPRIFOLIACEAE) AND 50% PYROCANTHIA OR EQUAL. PRINCIPAL TREES: 50% DESERT WILLOW (CHILOPSIS LINEARIS, 50% AFGHAN PINE (PINUS ELDARICA)
- (K) NO COMBUSTIBLE MATERIALS TO BE STORED FURTHER THAN 450' FROM EXISTING FIRE HYDRANT.

SITE PLAN REQUIREMENTS (SEE ALSO DRAWING):

LANDSCAPING: LIMITED 10' AREAS PROPOSED FOR THIS SUBMITTAL AND SITE PLAN. GRAVEL AND XERIC GROUND COVER WITH DRIP IRRIGATION. NO TREES OR LARGE SHRUBS DUE TO PROXIMITY TO JUVENILE JUSTICE CENTER. A 5' WOODEN FENCE IS TO BE CONSTRUCTED ALONG THE SOUTH LINE ADJACENT TO EXISTING RESIDENTIAL STRUCTURES.

A 5' MASONRY WALL IS TO BE CONSTRUCTED WHERE SHOWN ADJACENT TO MR. LEEPER'S RESIDENCE ON HIS C-1 PORTION.

GRADING PLAN: NONE PROPOSED FOR THIS SUBMITTAL. SITE IS TO REMAIN IN NATURAL CONDITION FOR STORAGE OF LANDSCAPE MATERIALS ONLY. THE SUBMITTED SITE PLAN INDICATES THAT A GRADING AND DRAINAGE PLAN IS REQUIRED FOR ANY CHANGE IN OCCUPANCY FROM THE ABOVE OR FOR ANY GROUND DISTURBANCE.

BUILDING ELEVATIONS: NO CHANGE IN EXISTING STRUCTURE IS CONTEMPLATED (EXISTING STRUCTURE IS ON C-1 PORTION, NO NEW BUILDING IS PROPOSED, PHOTOS OF EXISTING IN LIEU OF ELEVATIONS).

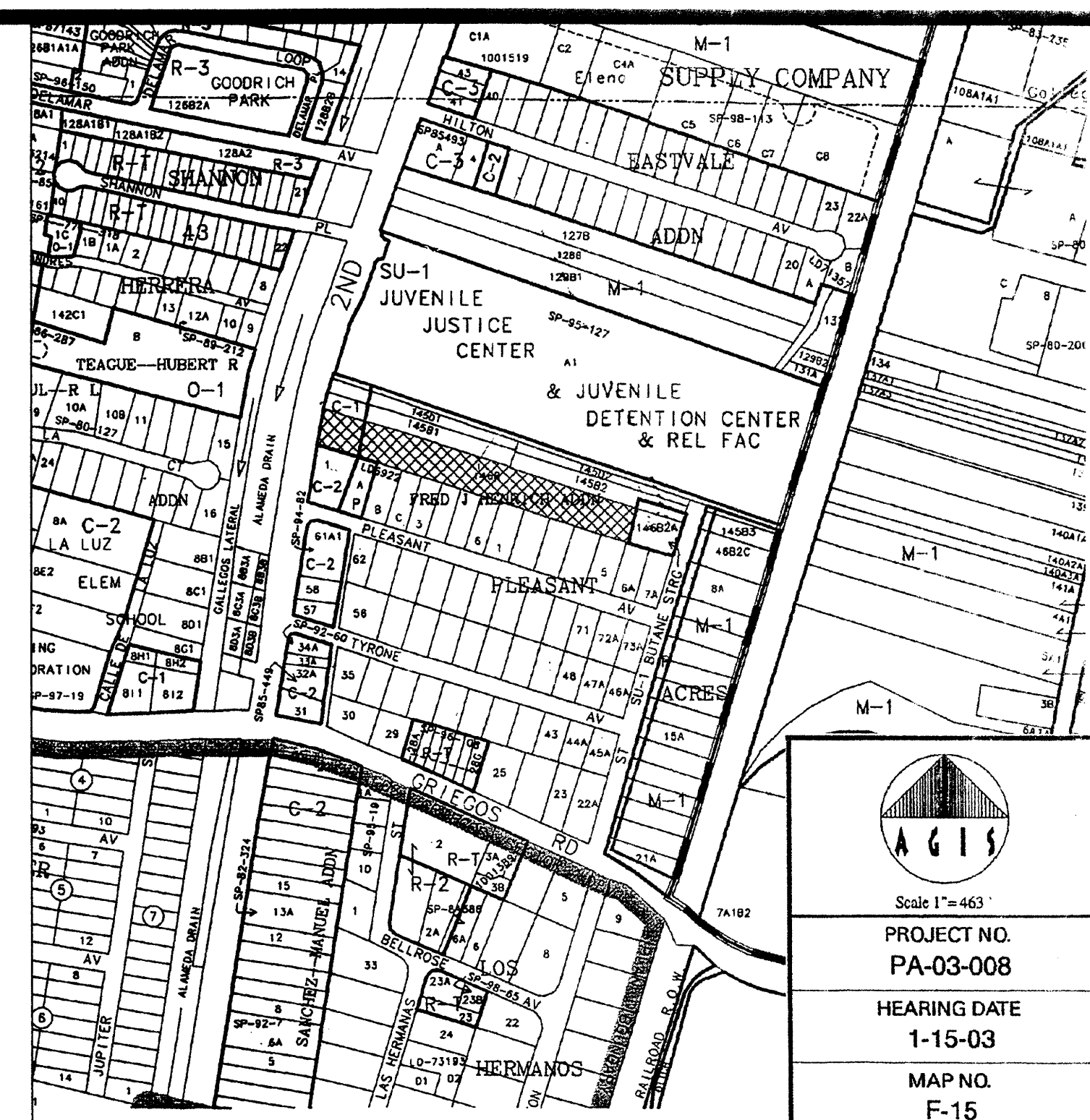
MAXIMUM BUILDING HEIGHT: PER THE C-1 ZONE - 26 FEET MAXIMUM. FOR SIGNS AND ANTENNAE - PER SEC. 14-16-3-3 OF THE ZONING CODE. THE MAXIMUM EXISTING BUILDING HEIGHT IS 17 FEET (SEE SHEET 2).

MINIMUM SETBACKS: NEW CONSTRUCTION - PER THE C-1 ZONE FROM RESIDENTIAL ZONES - FRONT: 5 FEET, CORNER: 5 FEET, SIDE AND REAR: 15 FEET. FROM NON-RESIDENTIAL ZONE: 0 FEET SIDELINES (ZERO) OR 10 FEET FROM STRUCTURES, REAR: 15 FEET, FRONT: 5 FEET. EXISTING STRUCTURES ARE NON-CONFORMING AND ARE TO REMAIN IN PLACE.

FLOOR AREA RATIO (FAR): A MAXIMUM F.A.R. OF 0.20 FOR RETAIL, 0.40 FOR OFFICES AND 0.60 FOR A TYPICAL PARKING USES IS ESTABLISHED BY THIS PLAN.

WATER CONSERVATION ORDINANCE: THIS PROJECT MUST COMPLY WITH THE CITY OF ALBUQUERQUE'S WATER CONSERVATION ORDINANCE.

STREET TREES: THIS SITE IS NOT REQUIRED TO PROVIDE STREET TREES AT THIS TIME. PLEASE REFER TO CITY OF ALBUQUERQUE CODE OF ORDINANCES, CHAPTER 6, ARTICLE 6, PART 2, ITEM 4 (6-6-2-4) "REQUIRED STREET TREES".



VICINITY MAP
 SCALE: 1" = 400'

DRAINAGE PLAN:
 APPROX 10,000 S.F. PROPOSED LOT B IS IMPERVIOUS, BALANCE DIRT AND GRAVEL. LOT A IS ALL IMPERVIOUS, DRAINING TO SECOND STREET. NO EVIDENCE OF PONDING OR DRAINAGE OTHER THAN FLAT, DIRT AREAS IS EVIDENT. ANY CHANGE TO OCCUPIED SPACE OR ADDITIONAL PLAN WILL REQUIRE A GRADING AND DRAINAGE PLAN APPROVED BY THE CITY HYDROLOGIST. ALL SITE DRAINAGE TO BE CAPTURED ON-SITE. NO FLOODPLAIN PER PANEL 35001C119 D, 1996

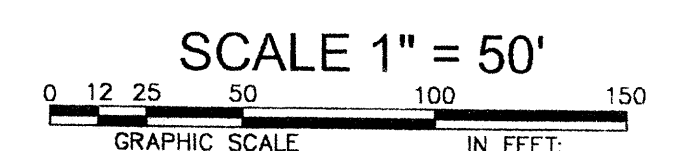
SHEET INDEX

- 1. SITE PLAN AND LANDSCAPING PLAN
- 2. PHOTOGRAPHIC DETAILS SHOWING EXISTING AND PROPOSED CONDITIONS EXISTING CONDITIONS

CASE NUMBERS

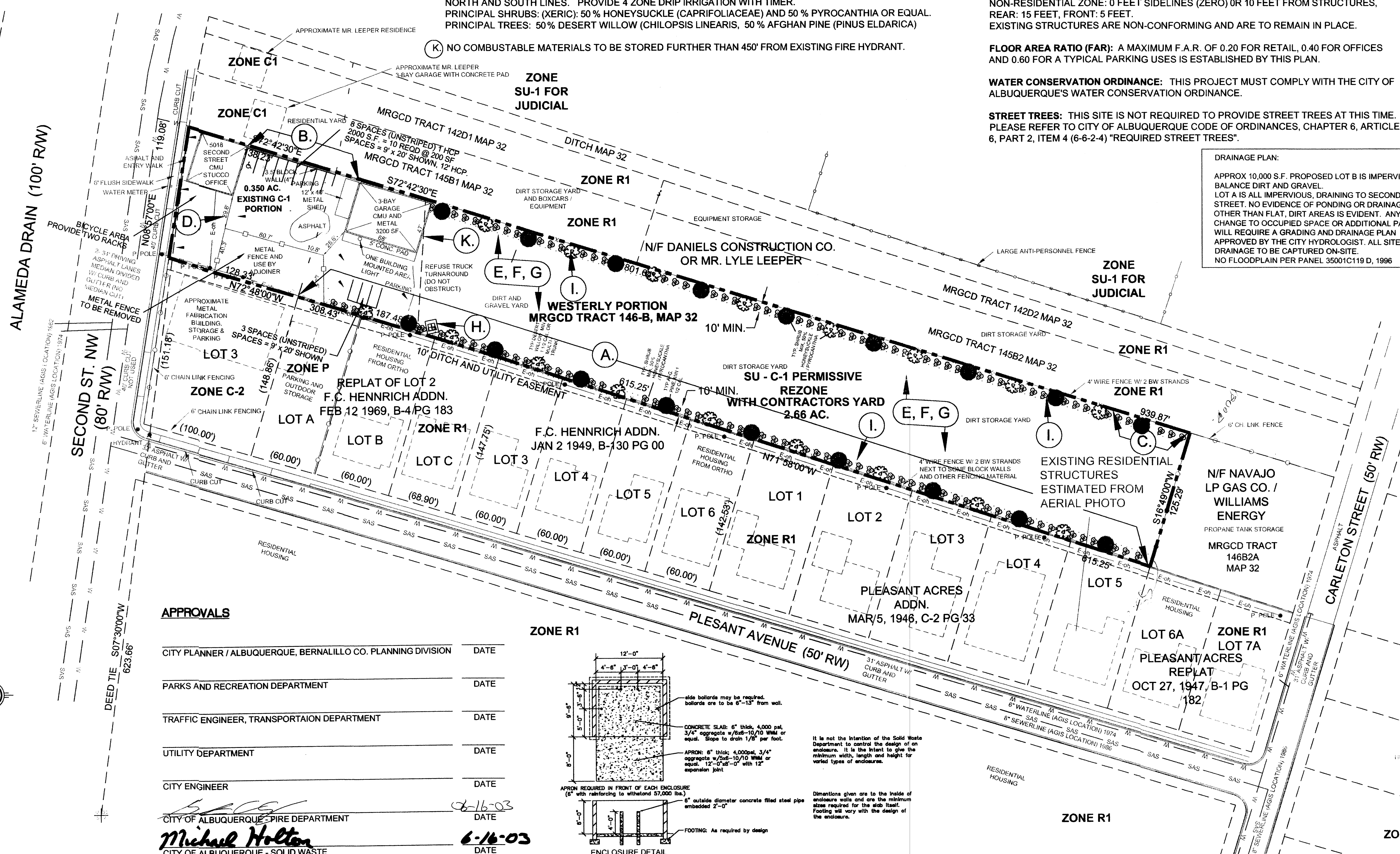
FILE: PROJECT # 1002562
 03EPC-00487 ZONE MAP AMENDMENT
 03EPC-00488 EPC SITE DEVELOPMENT PLAN - SUBDIVISION
 03EPC-00489 EPC SITE DEVELOPMENT PLAN - BUILDING PERMIT

EXISTING SITE DATA
 ACREAGE: 2.67 AC. ±, SU-1 FOR C-1 PERMISSIVE WITH CONTRACTOR'S YARD.



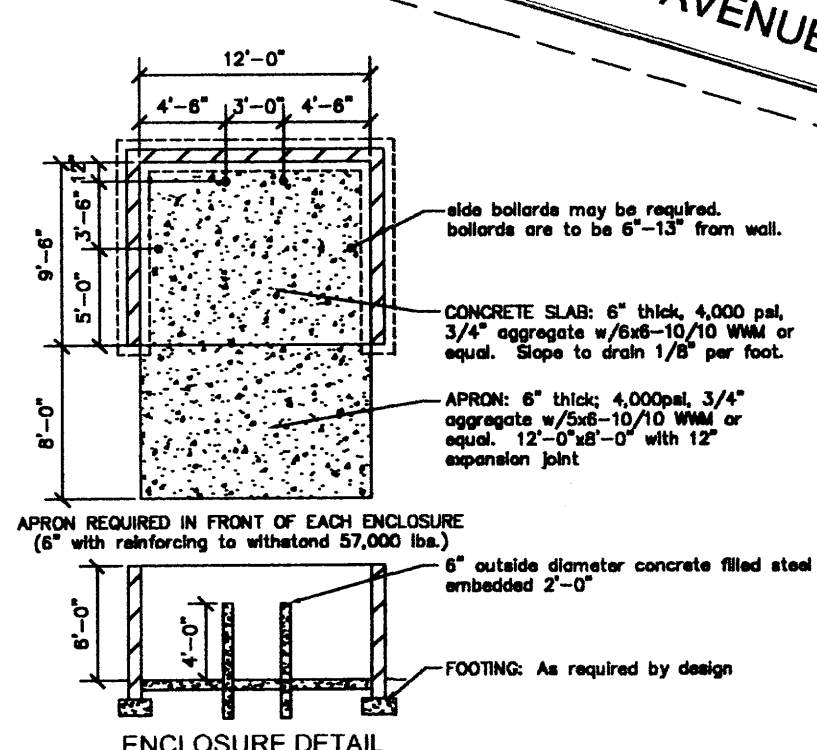
ZONE CHANGE REQUEST
 MR. DALE KNIGHTON
 SHEET 1
 JUNE, 2003 ZONE ATLAS F-15

SITE PLAN FOR LANDSCAPING
 CONTRACTOR STORAGE YARD
 PROPOSED SU-1 FOR C-1
 PERMISSIVE USES



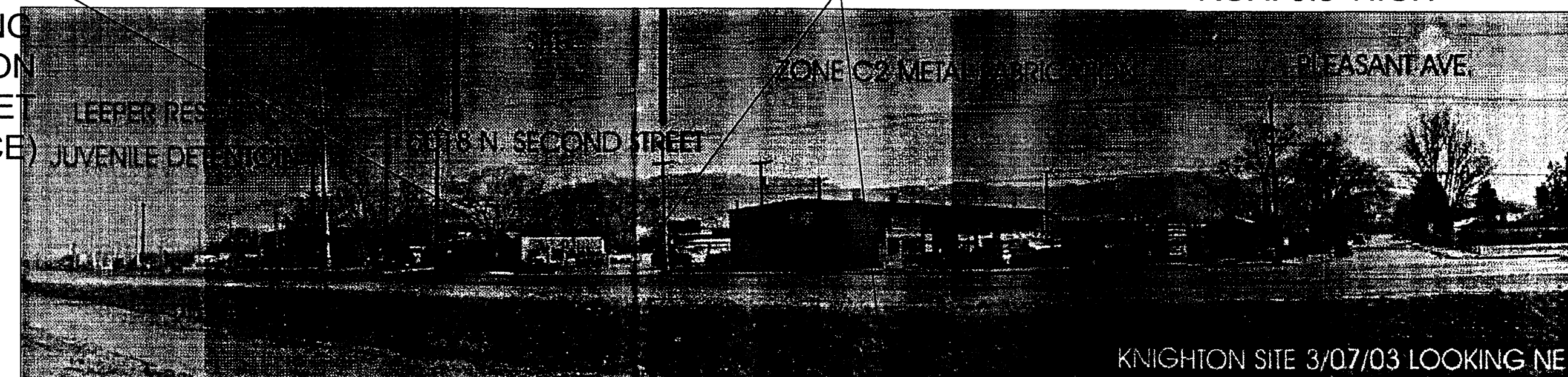
APPROVALS

CITY PLANNER / ALBUQUERQUE, BERNALILLO CO. PLANNING DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT	DATE
UTILITY DEPARTMENT	DATE
CITY ENGINEER	DATE
CITY OF ALBUQUERQUE FIRE DEPARTMENT	DATE
<i>Michael Holton</i> CITY OF ALBUQUERQUE - SOLID WASTE	DATE



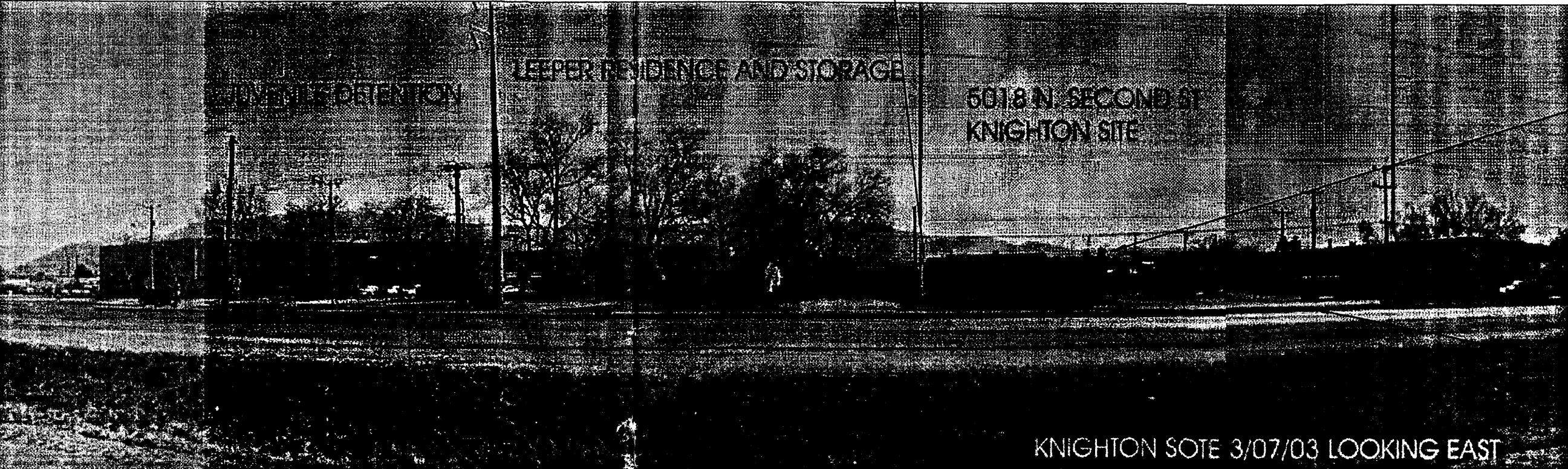
It is not the intention of the Solid Waste Department to control the design of an enclosure. It is the intent to give the minimum width, length and height for various types of enclosures. Dimensions given are to the inside of enclosure walls and are the minimum sizes required for the slab itself. Footing will vary with the design of the enclosure.

PROPOSED WALL RECONSTRUCTION
(5' MASONRY PROPOSED RECONSTRUCTION)
EXISTING WALL APPROX. 3.5' HIGH



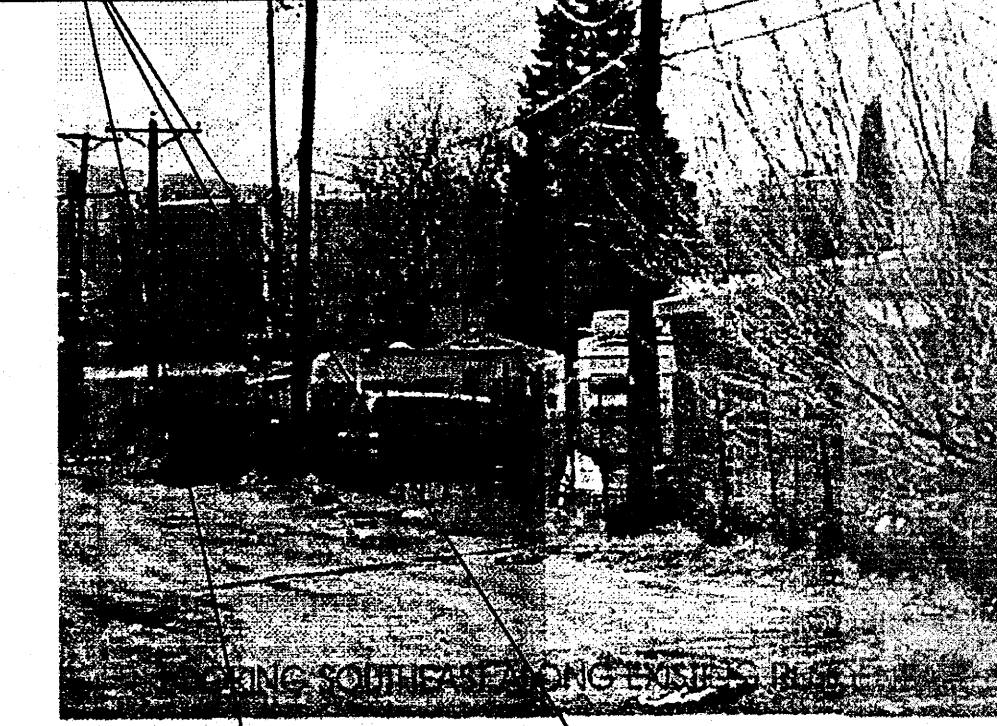
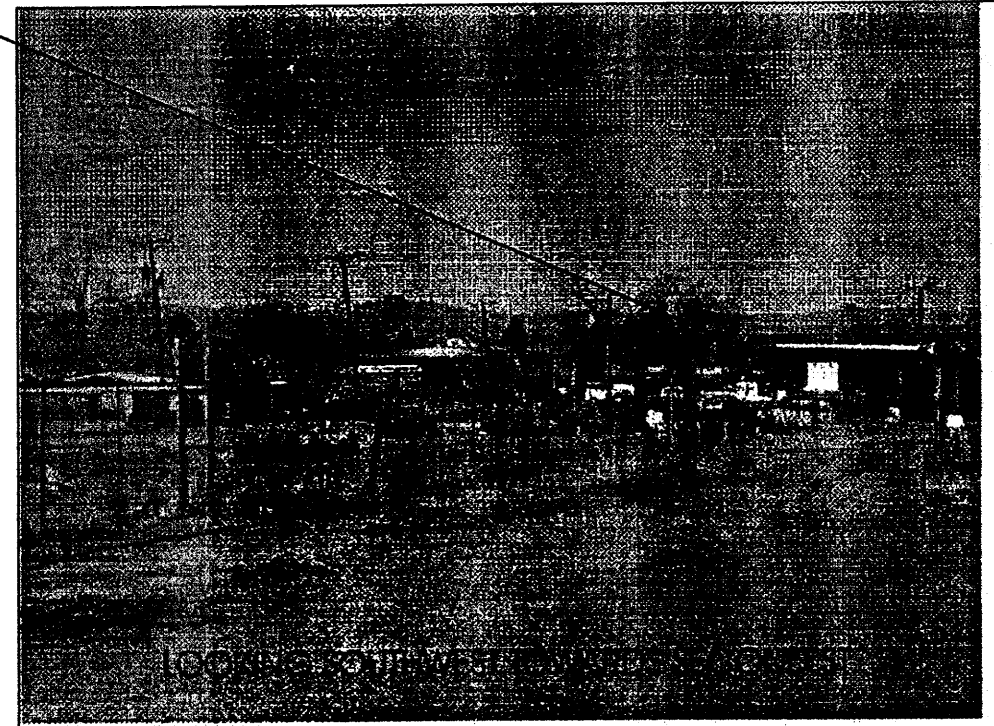
KNIGHTON SITE 3/07/03 LOOKING NE

SIDE ELEVATION:
EXISTING BUILDING
ON C-1 PORTION
10.5' TO PARAPET
(SOUTH FACE)



KNIGHTON SITE 3/07/03 LOOKING EAST

SOUTH PROPERTY LINE (5' WOOD
FENCE PROPOSED)



SIDE ELEVATION:
EXISTING GARAGE
ON SU-1 PORTION
THIS PORTION OF
GARAGE IS 17' TALL
(EAST FACE)

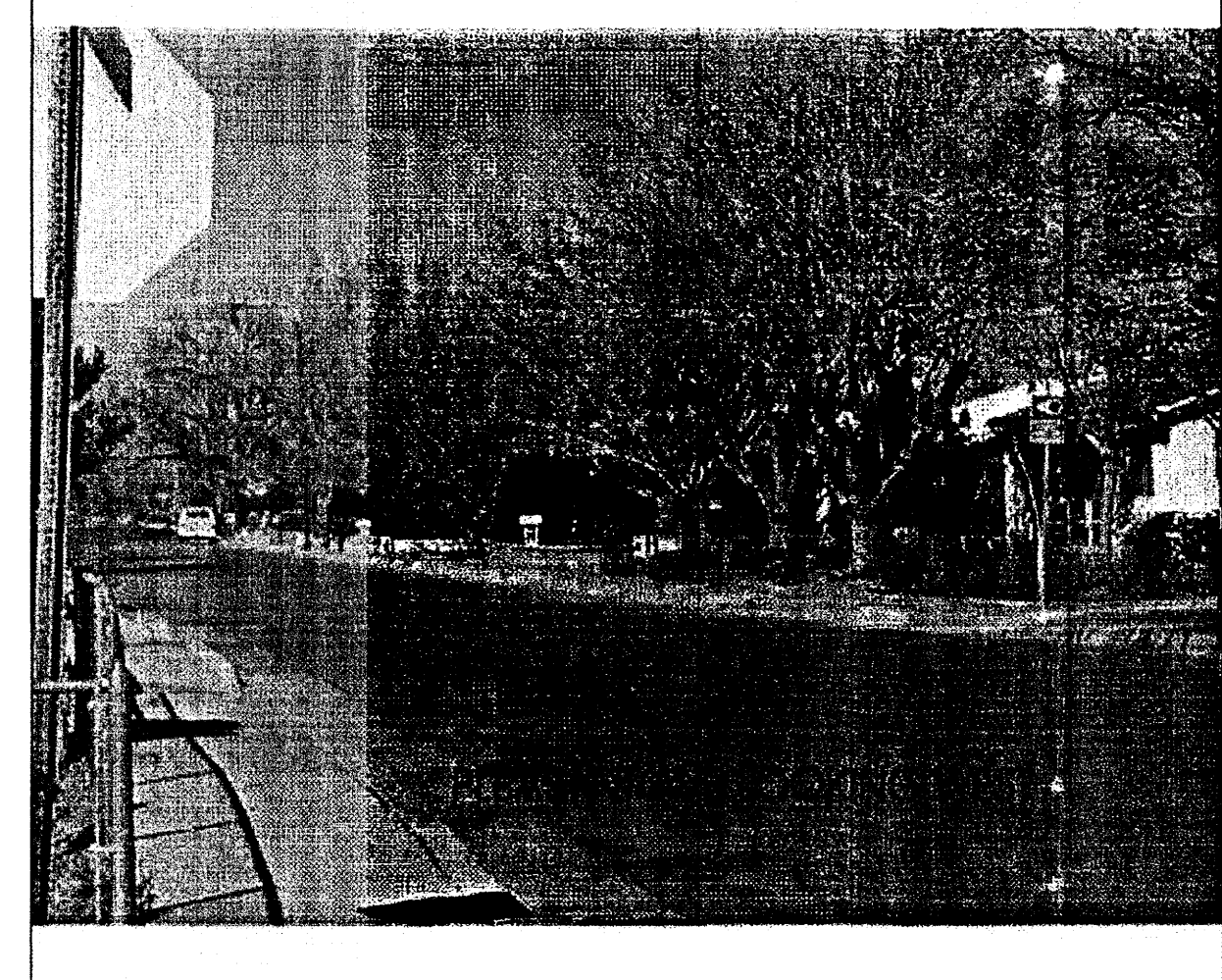
FRONT ELEVATION:
EXISTING BUILDING
ON C-1 PORTION
10.5' TO PARAPET
NOTE: ALL
CONCRETE OR
ASPHALT TO 6'
WALK.
(WEST FACE)



EXISTING CURB CUT
(40') NO MEDIAN
BREAK.



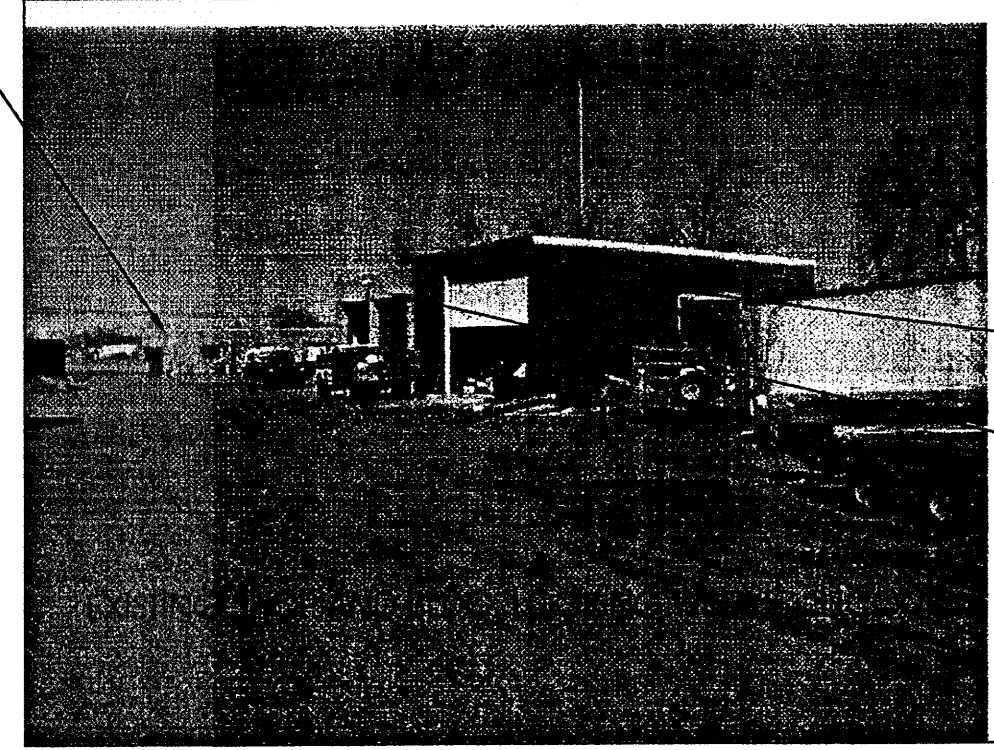
KNIGHTON 3/07/03: VIEWS FROM INTERIOR OF SITE



SIDE ELEVATION:
EXISTING BUILDING
ON C-1 PORTION
10.5' TO PARAPET
(NORTH FACE)

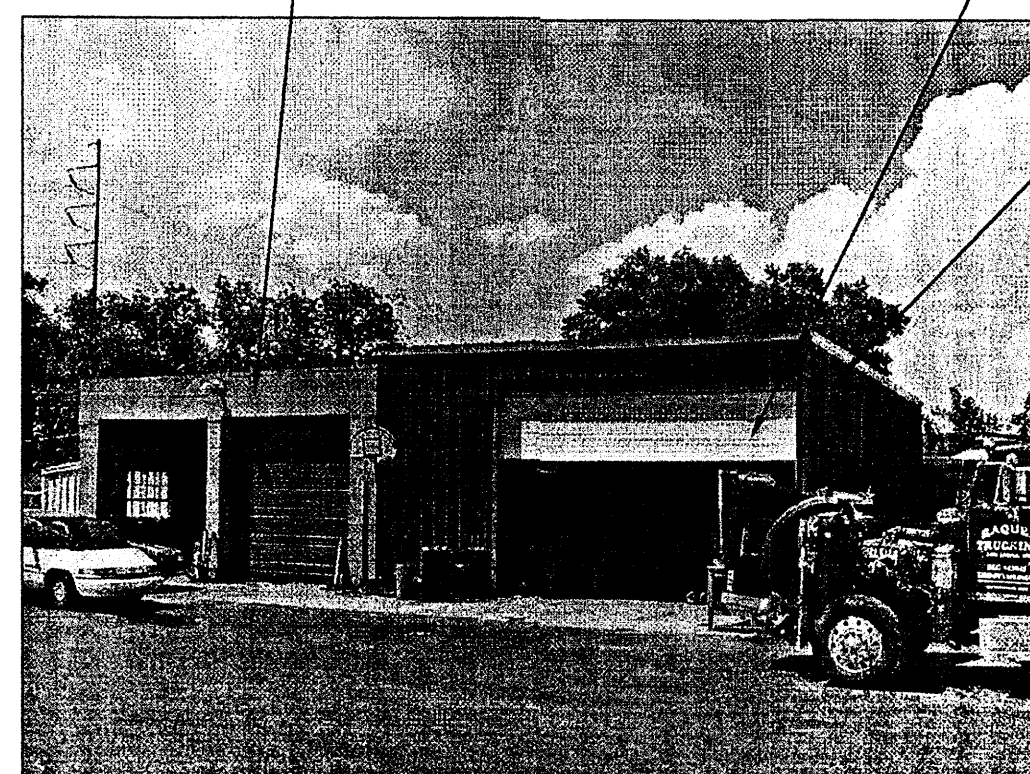
FRONT ELEVATION:
EXISTING GARAGE ON
SU-1 PORTION
17' TO ROOF OF METAL
PORTION OF GARAGE
16' TO ROOF OF CMU
PORTION OF GARAGE
1' OFF PROP. LINE
(SOUTH FACE)

REAR ELEVATION:
EXISTING BUILDING
ON C1 PORTION
(EAST FACE)
10.5' TO PARAPET



FRONT & SIDE
ELEVATION: EXISTING
GARAGE ON SU-1
PORTION
17' TO ROOF OF METAL
PORTION OF GARAGE
16' TO ROOF OF CMU
PORTION OF GARAGE
1' OFF PROP. LINE
(SOUTH & EAST FACE)

SIDE ELEVATION:
EXISTING GARAGE
ON SU-1 PORTION
16' TO ROOF OF
CMU PORTION OF
GARAGE
(WEST FACE)



SIDE ELEVATION:
EXISTING GARAGE ON
SU-1 PORTION
17' TO ROOF OF METAL
PORTION OF GARAGE
(EAST FACE)

**ZONE CHANGE REQUEST
MR. DALE KNIGHTON**

SHEET 2
JUNE, 2003 ZONE ATLAS F-15

MRGCD TRACT 143B1
MAP 32

BERNALILLO COUNTY
JUVENILE JUSTICE
CENTER

ZONE
SU-1 FOR
JUDICIAL

MRGCD TRACT 142B1
MAP 32

MRGCD TRACT 143B3
MAP 32

ZONE C1

ZONE C1

ZONE R1

ZONE R1

ZONE
SU-1 FOR
JUDICIAL

ZONE R1

ZONE R1

ALAMEDA DRAIN (100' RW)

SECOND ST. NW
(80' RW)

DEED TIE S07°30'00"W
623.66

WESTERLY PORTION
MRGCD TRACT 146-B, MAP 32

LOT 3

ZONE C-2

LOT A

LOT B

LOT C

LOT 3

LOT 4

LOT 5

LOT 6

LOT 1

LOT 2

LOT 3

LOT 4

LOT 5

LOT 6A

LOT 7A

REPLAT OF LOT 2
F.C. HENNRICH ADDN.
FEB 12 1969, B-4 PG 183

F.C. HENNRICH ADDN.
JAN 2 1949, B-130 PG 00

PLEASANT ACRES
ADDN.
MAR 5, 1946, C-2 PG 33

PLEASANT ACRES
REPLAT
OCT 27, 1947, B-1 PG
182

EXISTING RESIDENTIAL
STRUCTURES
ESTIMATED FROM
AERIAL PHOTO

N/F NAVAJO
LP GAS CO. /
WILLIAMS
ENERGY

MRGCD TRACT
146B2A
MAP 32

MRGCD TRACT
146B2C
MAP 32

MRGCD TRACT
146B2A
MAP 32

MRGCD TRACT
146B2C
MAP 32

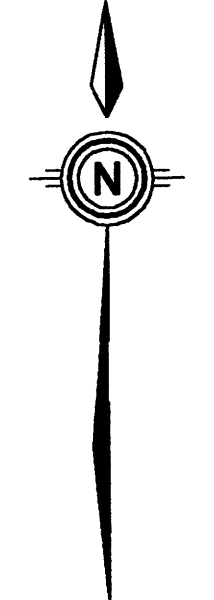
MRGCD TRACT
146B2A
MAP 32

MRGCD TRACT
146B2C
MAP 32

MRGCD TRACT
146B2A
MAP 32

MRGCD TRACT
146B2C
MAP 32

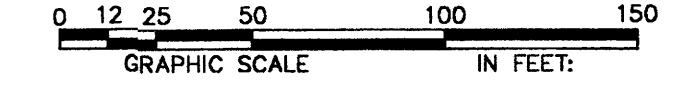
CARLETON STREET (50' RW)



ZONE CHANGE REQUEST
MR. DALE KNIGHTON

JUNE, 2003 ZONE ATLAS F-15

SCALE 1" = 50'



SHEET 3 - EXISTING
CONDITIONS

community
sciences
corporation
P.O. BOX 1328 4481 CORRALES ROAD
CORRALES, NEW MEXICO 87048-1328
VOICE: (505) 697-0000 FAX: (505) 698-5195

- LAND PLANNING
- CIVIL ENGINEERING
- SURVEYING
- DEVELOPMENT CONSULTING