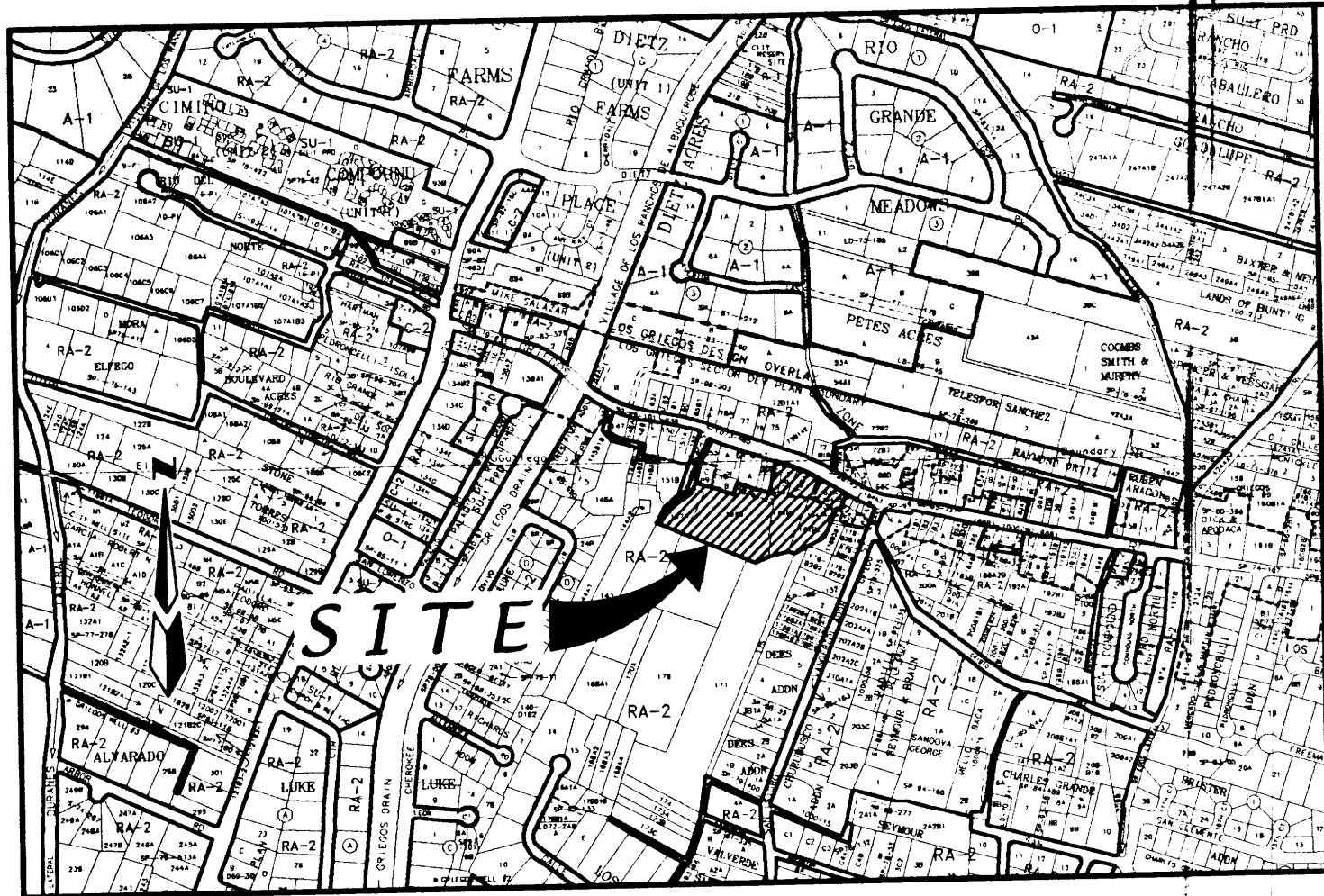


AGISV



LOCATION MAP

ZONE ATLAS F-13-Z
SCALE NONE

SUBDIVISION DATA

Gross acreage	4.7621 AC
Zone Atlas No.	F-13-Z
No. of existing Parcels	9 Parcels
No. of Tracts/Lots created	3 TRACTS/24 LOTS
No. of Parcels eliminated	9 LOTS
Miles of full width streets created	0.20
Area dedicated to the City of Albuquerque	0.0022 AC
Date of Survey	June, 2003
Utility Control Location System Log Number	2003272498
Zoning	SU1 FOR PRD

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public right-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: LOS GRIEGOS DEVELOPMENT LLC.

BY: Ronald D. Brown, Managing member

Ronald D. Brown, Managing member

12/19/03
DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

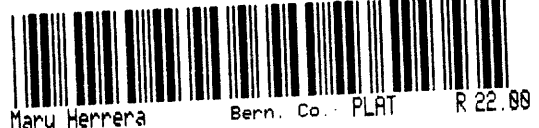
This instrument was acknowledged before me on December 19, 2003
By Ronald D. Brown, Managing member, LOS GRIEGOS DEVELOPMENT LLC. A New Mexico Limited Liability Company on behalf of said Company

Melissa Lovato
NOTARY PUBLIC

4/9/05
MY COMMISSION EXPIRES

LEGAL DESCRIPTION

(SEE SHEET 4 OF 4 FOR METES AND BOUNDS LEGAL DESCRIPTION)



2684663252
8976742
Page: 1 of 4
65/18/2684 11:48A
Bk-2684C Pg-145

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
PLAT OF "LANDS OF KELLY/PERKINS", (09-29-97, 97C-297)
PLAT OF "LANDS OF DAVID GOODAN", (05-11-98, 98C-125)
PLAT OF "GRIEGOS ROAD R/W", (02-25-69, C7-45 & C7-46)
M.R.G.C.D. MAP 31
QUITCLAIM DEED (10-03-83, BK. D195A, PG. 533)
QUITCLAIM DEED (10-03-83, BK. D195A, PG. 535)
REAL ESTATE CONTRACT (08-23-84, BK. MISC. 148A, PG. 973-976)
WARRANTY DEED (04-11-94, BK. 94-11, PG. 8387-8388)
ROAD EASEMENT (06-21-67, BK. MISC. 71, PG. 587-589)
REAL ESTATE CONTRACT (03-30-67, BK. MISC. 63, PG. 472-479)
all being records of Bernalillo County, New Mexico.
- Field Survey performed on June, 2003.
- UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2003272498
- Title Report: Provided by Stewart Title of Albuquerque, L.L.C., Commitment No. 02100162TC (Effective Date 10-09-02) Stewart Title of Albuquerque, L.L.C., Commitment No. 02070420JY (Effective Date 07-19-02)

PURPOSE OF PLAT

- Subdivide Nine Parcels into 24 residential Lots and 3 Tracts
- Grant easements shown hereon
- Dedicate Right-of-way shown hereon

OWNERS:

BY: Danny N. Martinez and Marlorene S. Martinez (Husband and Wife)

Danny Martinez
Danny N. Martinez (Husband)

12/19/03
DATE

Marlorene Martinez
Marlorene S. Martinez (Wife)

12/19/03
DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on December 19, 2003
By Danny N. Martinez and Marlorene S. Martinez, Husband and Wife.

Melissa Lovato
NOTARY PUBLIC

4/9/05
MY COMMISSION EXPIRES

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # PROPERTY OWNER OF RECORD

OFFICIAL SEAL
MELISSA LOVATO
Notary Public
State of New Mexico
4/9/05

1013 061 378120 40153
1013 061 300122 40165
1013 061 317136 40143
1013 061 318129 40142
1013061334130 40135

Timothy Aldrich LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

5-10-04

PLAT FOR
VILLA DE LA CAPILLA
WITHIN THE ELENA GALLEGOS GRANT
AND
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 31
TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2003

filed w/ correct appl#

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002565

Application Number: 03DRB-01856

04DRB00339(FP)

PLAT APPROVAL

Utility Approvals:

PNM Electric Services	Leand B. Mark	1-13-04
		Date
PNM Gas Services	Leand B. Mark	1-13-04
		Date
Qwest	Dario R. Muller	1-13-04
		Date
Comcast	Rita Erickson	1-13-04
		Date

City Approvals:

City Surveyor	MB Jhal	1-29-04
		Date
Real Property Division	N/A	
		Date
Traffic Engineering, Transportation Division	John A. ...	3-24-04
		Date
Utilities Development	Ray A. ...	3-24-04
		Date
Parks and Recreation Department	...	5/6/04
		Date
AMATEGA	Lynn M. ...	3-12-04
		Date
City Engineer	Phil ...	3-24-04
		Date
DRB Chairperson, Planning Department	Sheran ...	3/24/04
		Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich P.S. No. 7719
01-29-04
Date

Dwg: cover.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 4
Scale: AS SHOWN	Date: 12/08/03	Job: A03027	

PLAT FOR
VILLA DE LA CAPILLA
 WITHIN THE
 ELENA GALLEGOS GRANT
 AND
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 31
 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2003



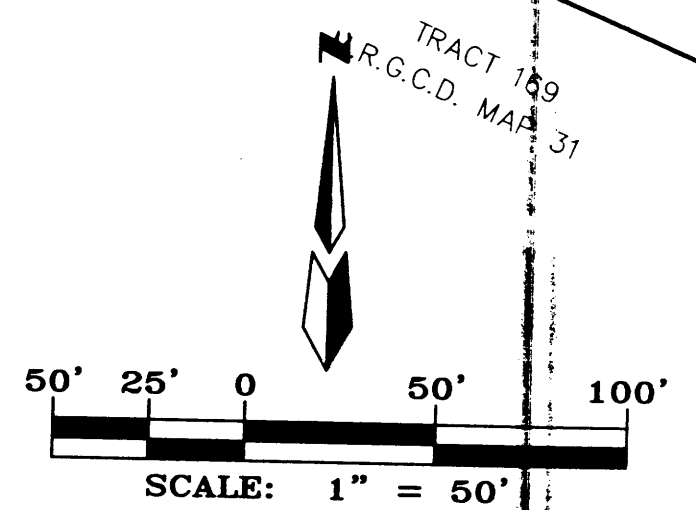
PROPERTY CORNERS

- FOUND 1/2" REBAR WITH CAP "LS 10464"
- SET 5/8" REBAR WITH CAP "ALS LS 7719"
- ⊠ FOUND 1/2" REBAR WITH CAP "LS 7002"
- ⊗ FOUND 1/2" IRON PIPE
- FOUND 3/4" IRON ROD
- △ FOUND 1/2" REBAR

R=525.43' (R=525.43')
 L=102.05' (L=102.05')
 D=1107'40"
 T=51.18'
 S 64°56'55" E, 101.89'

ACS MONUMENT
 "DOUGLAS"
 Y=1505354.92
 X=380040.52
 G-G=0.99968008
 Δα=-00°13'51"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=4972.25.

ACS MONUMENT
 "10-G13-A"
 Y=1501045.77
 X=373478.96
 G-G=0.9996792
 Δα=-00°14'36"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=4968.216

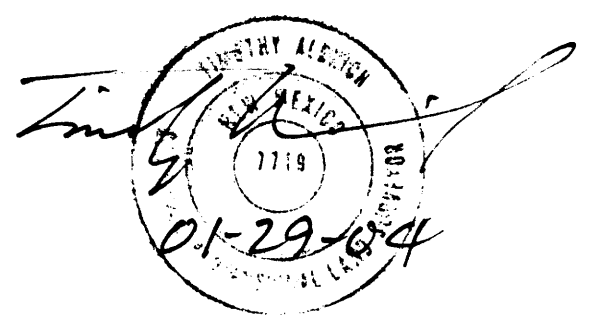


4.7621 AC.

LOT LINE TO BE ELIMINATED BY THIS PLAT (TYP.)

EASEMENTS

- ① EXISTING ACCESS EASEMENT (03-30-67, BK. MISC. 63, PG. 472-479)
- ② EXISTING ROAD AND UTILITY EASEMENT (06-21-67, BK. MISC. 71, PG. 587-589)

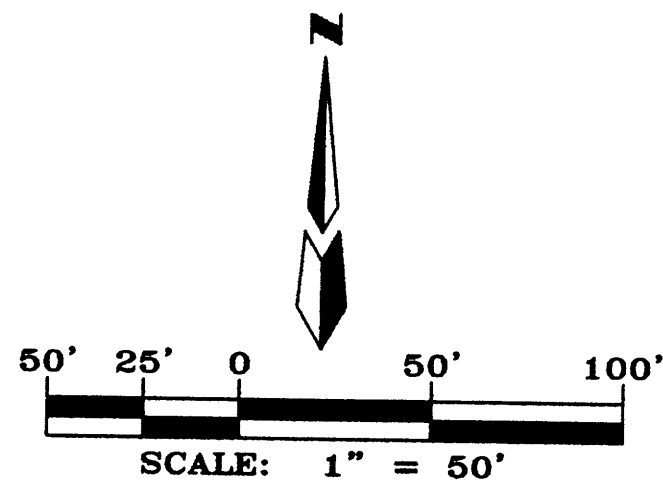




ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

Dwg: SHEET2.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 4
Scale: AS SHOWN	Date: 01/26/04	Job: A03027	

PLAT FOR
VILLA DE LA CAPILLA
 WITHIN THE
 ELENA GALLEGOS GRANT
 AND
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 31
 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2003



 PUBLIC ACCESS EASEMENT GRANTED BY THIS PLAT
 ADDITIONAL PUE GRANTED BY THIS PLAT

R=525.43'
 L=102.05'
 D=1107.40'
 T=51.18'
 S 64°56'55" E, 101.89'

2894663252
 8676742
 Page: 3 of 4
 65/18/2894 11:48A
 Bx-2894C Pg-145
 Mary Herrera Bern. Co. PLRT R 22.88

Tracy
 0503-04

20' WIDE (UNLESS OTHERWISE NOTED) PUBLIC WATER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

25' WIDE PUBLIC SANITARY SEWER AND PUBLIC WATER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

25' WIDE PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

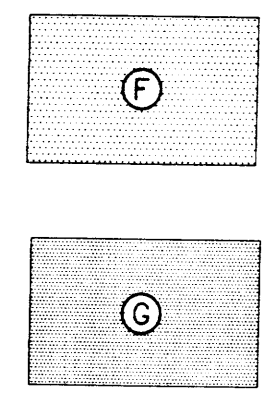
(A) TRACT "A" IS AN EXISTING PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF THE ROMAN CATHOLIC CHURCH OF ARCHDIOCESE OF SANTA FE, TO BE OWNED AND TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION.

(B) EASEMENT "B", WHICH IS WITHIN TRACT C IS A PRIVATE NON-VEHICULAR ACCESS EASEMENT, PRIVATE LANDSCAPING EASEMENT AND PRIVATE DRAINAGE EASEMENT GRANTED TO THE OWNERS OF LOTS 1-24 BY THIS PLAT FOR THE BENEFIT OF THE OWNERS OF LOTS 1-24, AND TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION.

(C) TRACT "C" IS A PRIVATE ACCESS ROAD EASEMENT AND PRIVATE LANDSCAPING EASEMENT GRANTED TO THE OWNERS OF LOTS 1-24 BY THIS PLAT, FOR THE BENEFIT OF THE OWNERS LOTS 1-24 AND TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION. IT IS ALSO ENCUMBERED WITH PUBLIC WATER WATER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THIS PLAT, A PUBLIC SANITARY SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THIS PLAT, AND A PRIVATE DRAINAGE EASEMENT THAT ARE GRANTED TO THE OWNERS OF LOTS 1-24, AND TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION.

(D) 22' PRIVATE ACCESS EASEMENT GRANTED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY OWNER'S OF LOTS 1, 2, 6 AND 7.

(E) 20' PRIVATE DRAINAGE EASEMENT GRANTED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY THE OWNER OF LOT 2.



THIS IS AN EXISTING PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF THE ROMAN CATHOLIC CHURCH OF THE ARCHDIOCESE OF SANTA FE. (03-30-67, BK. MISC. 63, PG. 472-479) A NON-VEHICULAR PRIVATE ACCESS EASEMENT IS ALSO GRANTED TO THE OWNERS OF LOTS 1-24, AND FOR THE BENEFIT OF THE OWNERS OF LOTS 1-24.

THIS IS AN EXISTING PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF THE ROMAN CATHOLIC CHURCH OF THE ARCHDIOCESE OF SANTA FE. (03-30-67, BK. MISC. 63, PG. 472-479) THIS EASEMENT IS TO BE MAINTAINED BY THE OWNERS OF LOTS 19 AND 20, RESPECTIVELY.

(H) 10' WIDE PRIVATE NON-VEHICULAR ACCESS EASEMENT IS GRANTED TO THE OWNERS OF LOTS 1-24 FOR THE BENEFIT OF THE OWNERS OF LOTS 1-24, TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION.

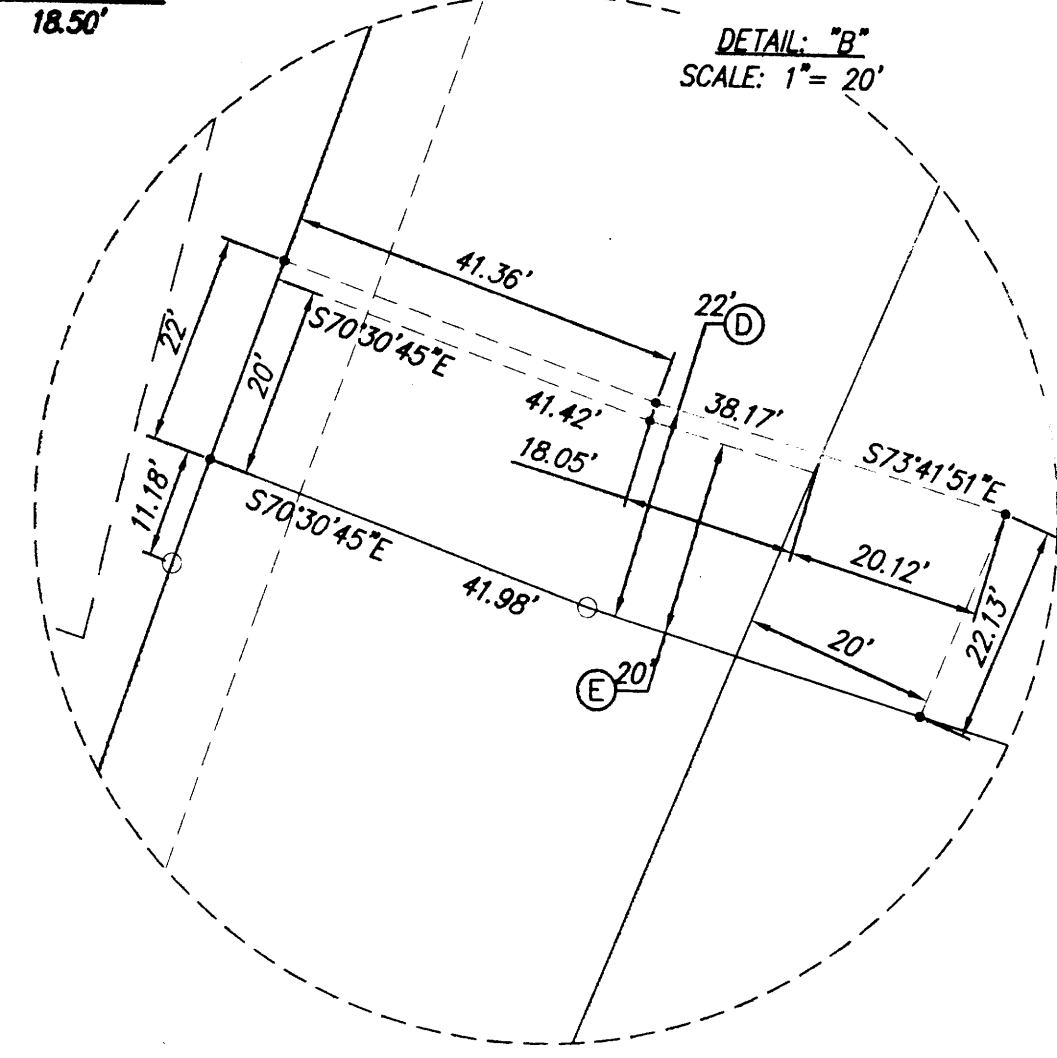
NOTE: CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

SEE SHEET 2 OF 4 FOR EXISTING EASEMENTS

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: BASE2.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 3 of 4
Scale: AS SHOWN	Date: 04/29/04	Job: A03007	11



PLAT FOR
VILLA DE LA CAPILLA
 WITHIN THE
 ELENA GALLEGOS GRANT
 AND
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 31
 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2003



PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of :

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
5. The New Mexico Utilities, Inc., for the installation, maintenance and service of water and sanitary sewer lines and any other equipment, fixtures, structures and related facilities reasonably necessary to provide water and sewer services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

ALDRICH LAND
SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Tring Wil
05-03-04

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C1	54.44	525.43	5°56'13"	27.25	N67°32'39"W	54.42
C2	47.60	525.43	5°11'27"	23.82	N61°58'49"W	47.59
C3	35.02	45.63	43°58'35"	18.42	S86°15'27"E	34.17
C4	75.87	45.63	95°16'57"	50.04	N24°06'47"W	67.43
C5	43.77	45.63	54°57'37"	23.73	N51°00'30"E	42.11
C6	73.57	521.00	8°05'26"	36.85	N82°32'02"E	73.51
C7	51.59	521.00	5°40'25"	25.82	N89°24'58"E	51.57
C8	6.60	521.00	0°43'34"	3.30	S87°23'03"E	6.60
C9	43.71	171.00	14°38'43"	21.97	S79°41'55"E	43.59
C10	14.36	171.00	4°48'38"	7.18	S69°58'14"E	14.35
C11	14.55	25.00	33°21'18"	7.49	N84°14'34"W	14.35
C12	26.71	25.00	61°13'17"	14.79	S48°28'08"W	25.46
C13	38.36	45.00	48°50'28"	20.43	N42°16'44"E	37.21
C14	36.38	45.00	46°18'58"	19.25	N89°51'27"E	35.39
C15	17.12	25.00	39°13'53"	8.91	S86°36'01"E	16.79
C16	17.12	25.00	39°13'54"	8.91	N54°10'06"E	16.79
C17	61.62	45.00	78°27'47"	36.74	S73°47'02"W	56.92
C18	48.29	2023.00	1°22'04"	24.15	N18°32'31"E	48.29
C19	23.82	139.37	9°47'34"	11.94	S71°52'51"E	23.79
C20	37.25	25.00	85°21'52"	23.06	N60°32'26"E	33.90
C21	56.22	1977.00	1°37'45"	28.11	N18°40'22"E	56.21
C22	37.27	25.00	85°25'25"	23.08	S24°51'13"E	33.92
C23	5.65	133.00	2°25'57"	2.82	S68°46'53"E	5.65
C24	39.52	133.00	17°01'24"	19.90	S78°30'34"E	39.37
C25	12.09	483.00	1°26'02"	6.04	S87°44'17"E	12.09
C26	39.14	483.00	4°38'36"	19.58	N89°13'24"E	39.13
C27	34.91	25.00	80°00'14"	20.98	N46°54'00"E	32.14
C28	45.69	45.63	57°22'17"	24.96	S35°35'01"W	43.80
C29	14.79	2000.00	1°37'45"	28.44	N18°40'22"E	56.87
C30	20.30	150.00	7°45'11"	10.16	N71°26'30"W	20.28
C31	50.94	150.00	19°27'21"	25.72	S77°17'36"E	50.69
C32	126.45	500.00	14°29'25"	63.57	N85°44'01"E	126.12
C33	45.16	133.00	19°27'21"	22.80	S77°17'36"E	44.95
C34	58.07	171.00	19°27'21"	29.32	S77°17'36"E	57.79
C35	131.76	521.00	14°29'25"	66.23	N85°44'01"E	131.41
C36	51.23	483.00	6°04'38"	25.64	N89°56'25"E	51.21
C37	200.34	45.63	251°35'26"	63.27	N47°18'24"W	74.01
C38	41.27	25.00	94°34'35"	27.08	S65°08'47"W	36.74
C39	57.09	34.38	95°09'26"	37.62	N65°26'13"E	50.75
C40	74.74	45.00	95°09'26"	49.24	N65°26'13"E	66.44
C41	39.44	23.75	95°09'26"	25.99	N65°26'13"E	35.06
C42	34.24	25.00	78°27'47"	20.41	N73°47'02"E	31.62
C43	54.00	34.38	90°00'00"	34.37	S68°00'56"W	48.61
C45	74.61	23.75	180°00'00"		S23°00'56"W	47.50
C46	32.73	160.63	11°40'33"	16.42	S72°49'21"E	32.68
C47	30.57	150.00	11°40'33"	15.34	S72°49'21"E	30.51
C48	15.79	9.38	96°31'07"	10.51	N30°24'04"W	13.99
C49	21.89	25.00	50°10'37"	11.17	N44°34'33"E	21.20
C50	40.01	25.00	91°42'04"	25.75	N65°20'17"E	35.88
C51	18.12	25.00	41°31'28"	9.48	S89°34'25"E	17.72
C52	22.42	525.43	2°26'42"	11.21	N67°35'20"W	22.42
C53	32.87	25.00	75°19'57"	19.30	S20°38'10"E	30.55

DESCRIPTION

A tract of land situate within the Elena Gallegos Grant and Town of Albuquerque Grant, projected Section 31, Township 11 North, Range 3 East New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of TRACTS 161A, 161B1, 162A, 166A, 166B AND 167A, M.R.G.C.D. MAP 31, and being more particularly described as follows:

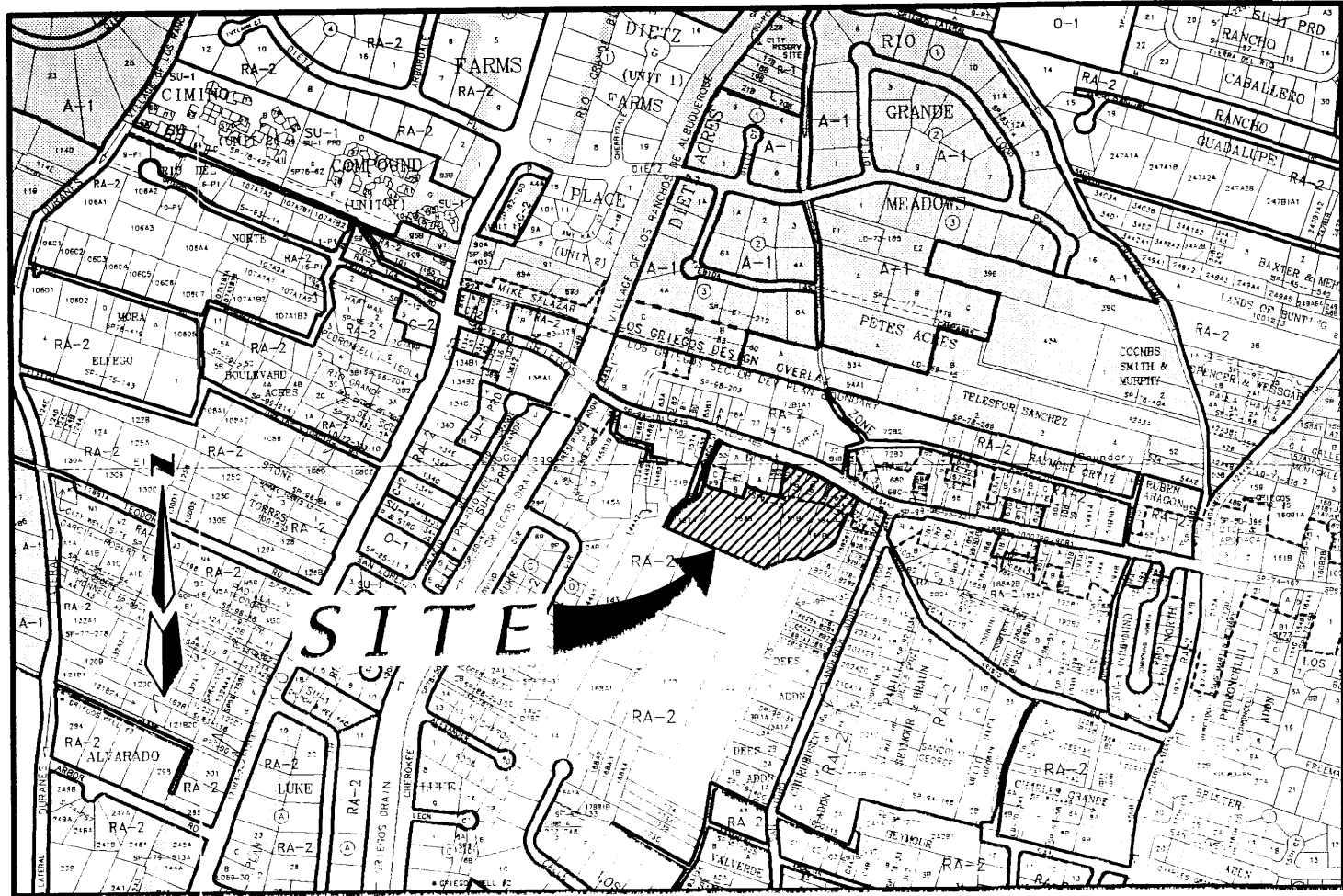
BEGINNING at the southwest corner of the herein described tract, from whence the Albuquerque Control Survey Monument "10-G13-A" bears S 34°46'24" W, 4054.97 feet;

- THENCE N 38°35'43" E, 91.09 feet to a point;
- THENCE N 53°13'43" E, 81.85 feet to a point;
- THENCE N 21°28'43" E, 132.93 feet to a point;
- THENCE N 27°56'13" E, 135.68 feet to the northwest corner;
- THENCE S 70°30'45" E, 14.95 feet to a point;
- THENCE S 27°44'48" W, 109.39 feet to a point;
- THENCE S 16°35'52" W, 94.60 feet to a point;
- THENCE S 75°05'52" E, 111.65 feet to a point;
- THENCE S 17°10'20" W, 5.34 feet to a point;
- THENCE S 72°47'45" E, 60.22 feet to a point;
- THENCE N 18°43'38" E, 53.11 feet to a point;
- THENCE S 65°32'11" E, 37.82 feet to a point;
- THENCE N 18°21'53" E, 6.25 feet to a point;
- THENCE S 55°37'34" E, 23.41 feet to a point;
- THENCE S 74°56'34" E, 85.28 feet to a point;
- THENCE N 12°12'26" E, 141.24 feet to a point;
- THENCE S 70°30'45" E, 75.93 feet to a point of curvature;
- THENCE 102.05 feet along a curve to the right, whose radius is 525.43 feet through a central angle of 11°07'40" and whose chord bears S 64°56'55" E, 101.89 feet to a point of tangency;
- THENCE S 59°23'05" E, 161.81 feet to the northeast corner;
- THENCE S 24°24'42" W, 75.46 feet to a point;
- THENCE N 74°51'00" W, 15.50 feet to a point;
- THENCE S 23°31'42" W, 130.00 feet to a point;
- THENCE S 50°31'42" W, 18.50 feet to a point;
- THENCE S 62°45'56" W, 70.45 feet to a point;
- THENCE S 63°00'45" W, 59.75 feet to a point;
- THENCE N 75°53'47" W, 31.02 feet to a point;
- THENCE S 77°01'26" W, 87.03 feet to a point;
- THENCE S 65°25'29" W, 61.00 feet to the southeast corner;
- THENCE N 66°59'04" W, 460.87 feet to the point of beginning and containing (207,438s.f.) 4.7621 acres more or less.

LINE TABLE

LINE	BEARING	DISTANCE
L2	S25°43'50"E	31.42
L4	S66°38'41"E	8.12
L5	S68°00'56"W	14.14
L6	N16°12'58"W	44.27
L7	S78°39'37"E	40.48
L8	N75°19'06"W	16.05
L9	S67°33'55"E	30.27
L10	S11°30'41"E	24.63

Dwg: BASE2.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 4 of 4
Scale: AS SHOWN	Date: 04/29/04	Job: A03027	



LOCATION MAP

ZONE ATLAS F-13-Z
SCALE: NONE

SUBDIVISION DATA

Gross acreage	4.7621 AC
Zone Atlas No.	F-13-Z
No. of existing Parcels	9 Parcels
No. of Tracts/Lots created	3 TRACTS/24 LOTS
No. of Parcels eliminated	9 LOTS
Miles of full width streets created	0.20
Area dedicated to the City of Albuquerque	0.0022 AC
Date of Survey	June, 2003
Utility Control Location System Log Number	2003272498
Zoning	SU1 FOR PRD

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public right-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: LOS GRIEGOS DEVELOPMENT LLC.

BY: Ronald D. Brown, Managing member

Ronald D. Brown, Managing member

12/19/03
DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on December 19, 2003
By Ronald D. Brown, Managing member, LOS GRIEGOS DEVELOPMENT LLC. A New Mexico Limited Liability Company on behalf of said Company

Melissa Lovato
NOTARY PUBLIC

4/9/05
MY COMMISSION EXPIRES

OFFICIAL SEAL
MELISSA LOVATO
Notary Public
State of New Mexico
4/9/05

LEGAL DESCRIPTION

(SEE SHEET 4 OF 4 FOR METES AND BOUNDS LEGAL DESCRIPTION)

PLAT FOR
VILLA DE LA CAPILLA
WITHIN THE ELENA GALLEGOS GRANT
AND
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 31
TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2003

Final
**PRELIMINARY PLAT
APPROVED BY DRB**

ON 3/27/04

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
PLAT OF "LANDS OF KELLY/PERKINS", (09-29-97, 97C-297)
PLAT OF "LANDS OF DAVID GOODAN", (05-11-98, 98C-125)
PLAT OF "GRIEGOS ROAD R/W", (02-25-69, C7-45 & C7-46)
M.R.G.C.D. MAP 31
QUITCLAIM DEED (10-03-83, BK. D195A, PG. 533)
QUITCLAIM DEED (10-03-83, BK. D195A, PG. 535)
REAL ESTATE CONTRACT (08-23-84, BK. MISC. 148A, PG. 973-976)
WARRANTY DEED (04-11-94, BK. 94-11, PG. 8387-8388)
ROAD EASEMENT (06-21-67, BK. MISC. 71, PG. 587-589)
REAL ESTATE CONTRACT (03-30-67, BK. MISC. 63, PG. 472-479)
all being records of Bernalillo County, New Mexico.
- Field Survey performed on June, 2003.
- UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2003272498
- Title Report: Provided by Stewart Title of Albuquerque, L.L.C., Commitment No. 02100162TC (Effective Date 10-09-02) Stewart Title of Albuquerque, L.L.C., Commitment No. 02070420JY (Effective Date 07-19-02)

PURPOSE OF PLAT

- Subdivide Nine Parcels into 24 residential lots and 3 Tracts
- Grant easements shown hereon
- Dedicate Right-of-way shown hereon

OWNERS:

BY: Danny N. Martinez and Marlorene S. Martinez (Husband and Wife)

Danny N. Martinez
Danny N. Martinez (Husband)

12/19/03
DATE

Marlorene S. Martinez
Marlorene S. Martinez (Wife)

12/19/03
DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on December 19, 2003
By Danny N. Martinez and Marlorene S. Martinez, Husband and Wife.

Melissa Lovato
NOTARY PUBLIC

4/9/05
MY COMMISSION EXPIRES

OFFICIAL SEAL
MELISSA LOVATO
Notary Public
State of New Mexico
4/9/05

**ALDRICH LAND
SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002565

Application Number: 03DRB-01856

04DRB DRB00339

PLAT APPROVAL

Utility Approvals:

<u>Leon B. Mark</u> PNM Electric Services	1-13-04 Date
<u>Leon B. Mark</u> PNM Gas Services	1-13-04 Date
<u>David R. Muller</u> Qwest	1-13-04 Date
<u>Rita Erickson</u> Comcast	1-13-04 Date

City Approvals:

<u>[Signature]</u> City Surveyor	1-29-04 Date
Real Property Division	Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature]
Timothy Aldrich P.S. No. 7719
01-29-04
Date

Dwg: cover.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 4
Scale: AS SHOWN	Date: 12/08/03	Job: A03027	

PLAT FOR
VILLA DE LA CAPILLA
 WITHIN THE
 ELENA GALLEGOS GRANT
 AND
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 31
 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2003

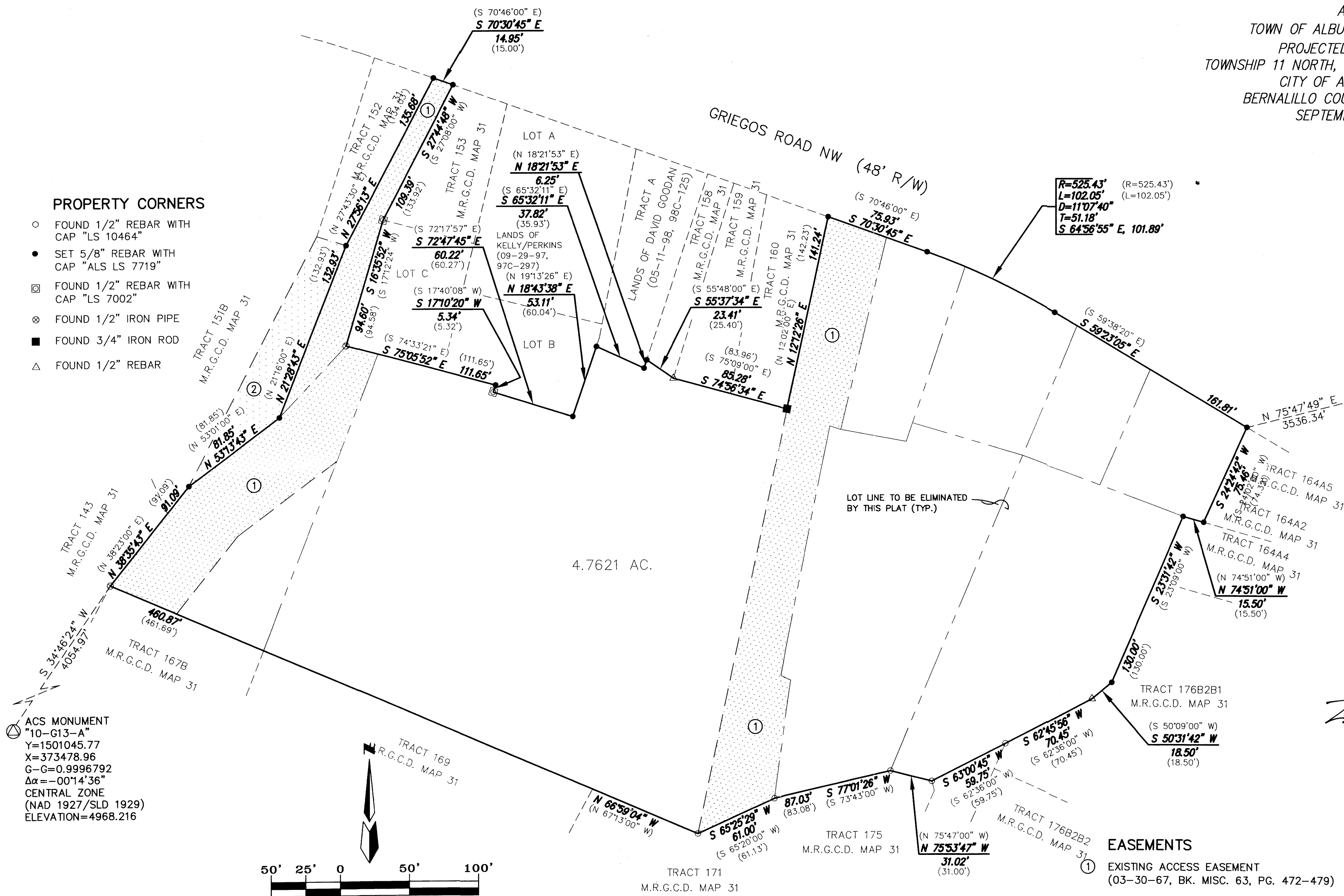
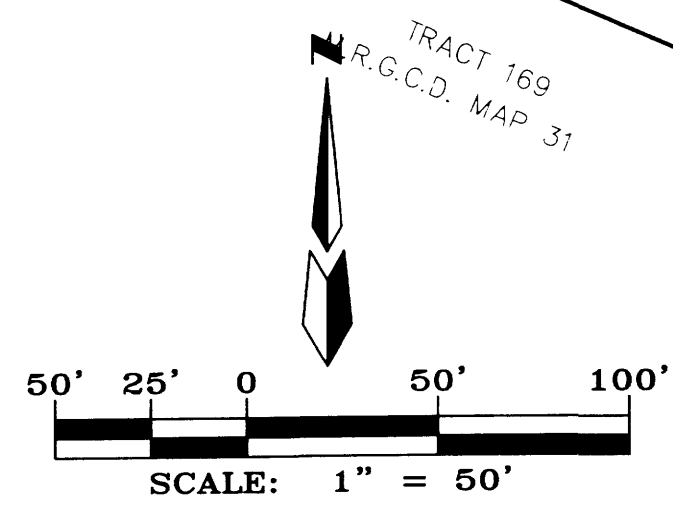
PROPERTY CORNERS

- FOUND 1/2" REBAR WITH CAP "LS 10464"
- SET 5/8" REBAR WITH CAP "ALS LS 7719"
- ⊠ FOUND 1/2" REBAR WITH CAP "LS 7002"
- ⊗ FOUND 1/2" IRON PIPE
- FOUND 3/4" IRON ROD
- △ FOUND 1/2" REBAR

R=525.43' (R=525.43')
 L=102.05' (L=102.05')
 D=11°07'40"
 T=51.18'
 S 64°56'55" E, 101.89'

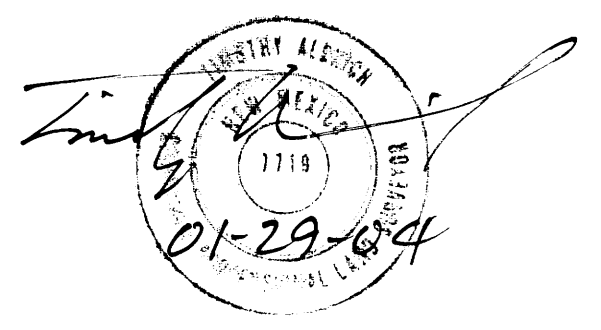
ACS MONUMENT
 "DOUGLAS"
 Y=1505354.92
 X=380040.52
 G-G=0.99968008
 Δα=-00°13'51"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=4972.25

ACS MONUMENT
 "10-G13-A"
 Y=1501045.77
 X=373478.96
 G-G=0.9996792
 Δα=-00°14'36"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=4968.216



EASEMENTS

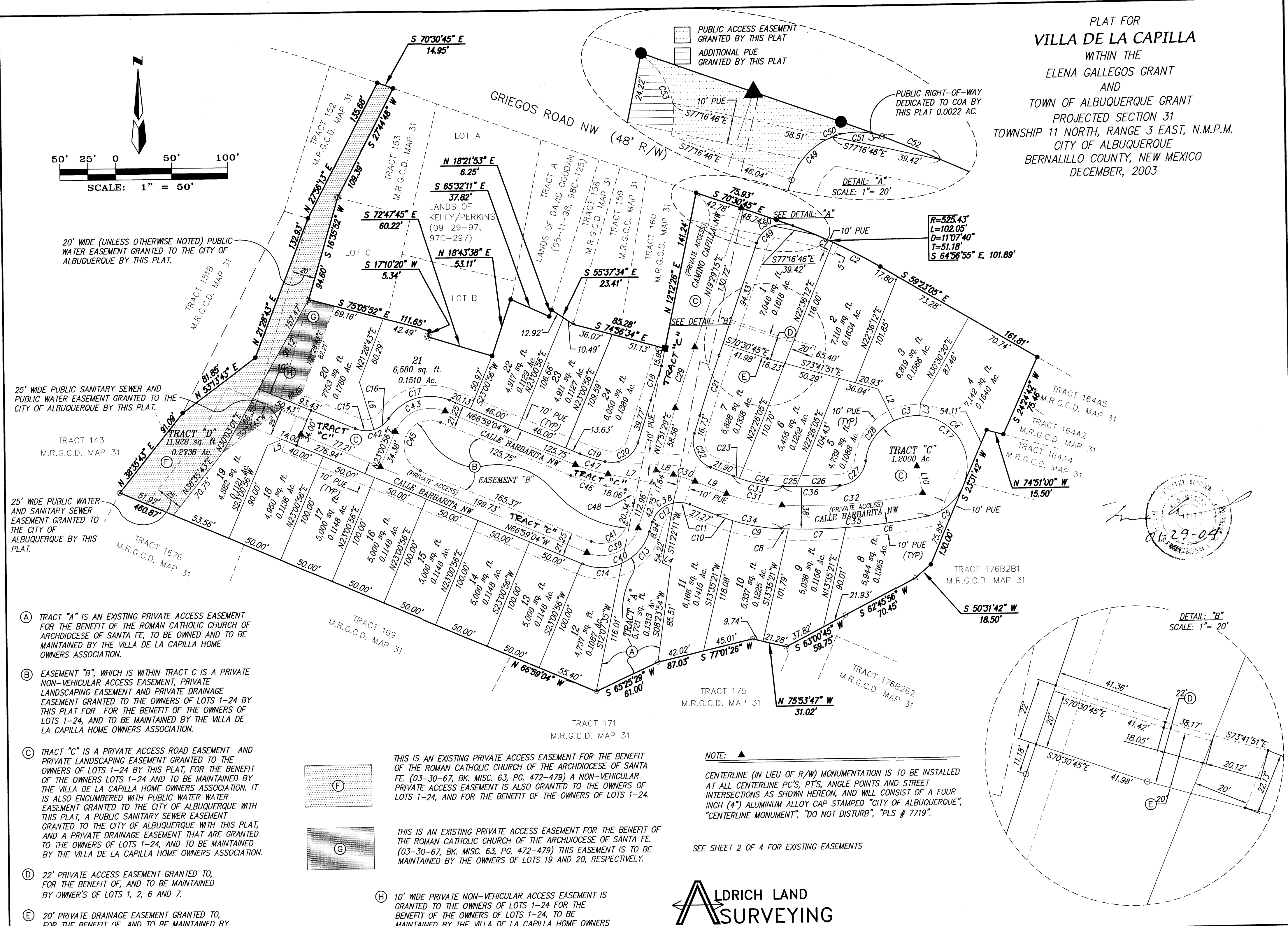
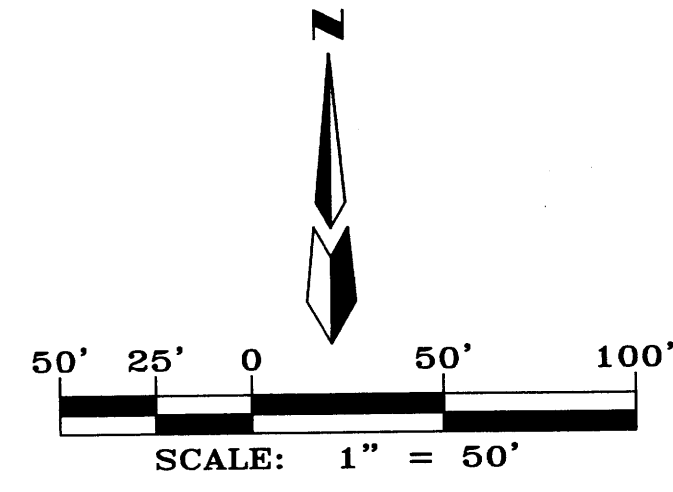
- ① EXISTING ACCESS EASEMENT (03-30-67, BK. MISC. 63, PG. 472-479)
- ② EXISTING ROAD AND UTILITY EASEMENT (06-21-67, BK. MISC. 71, PG. 587-589)



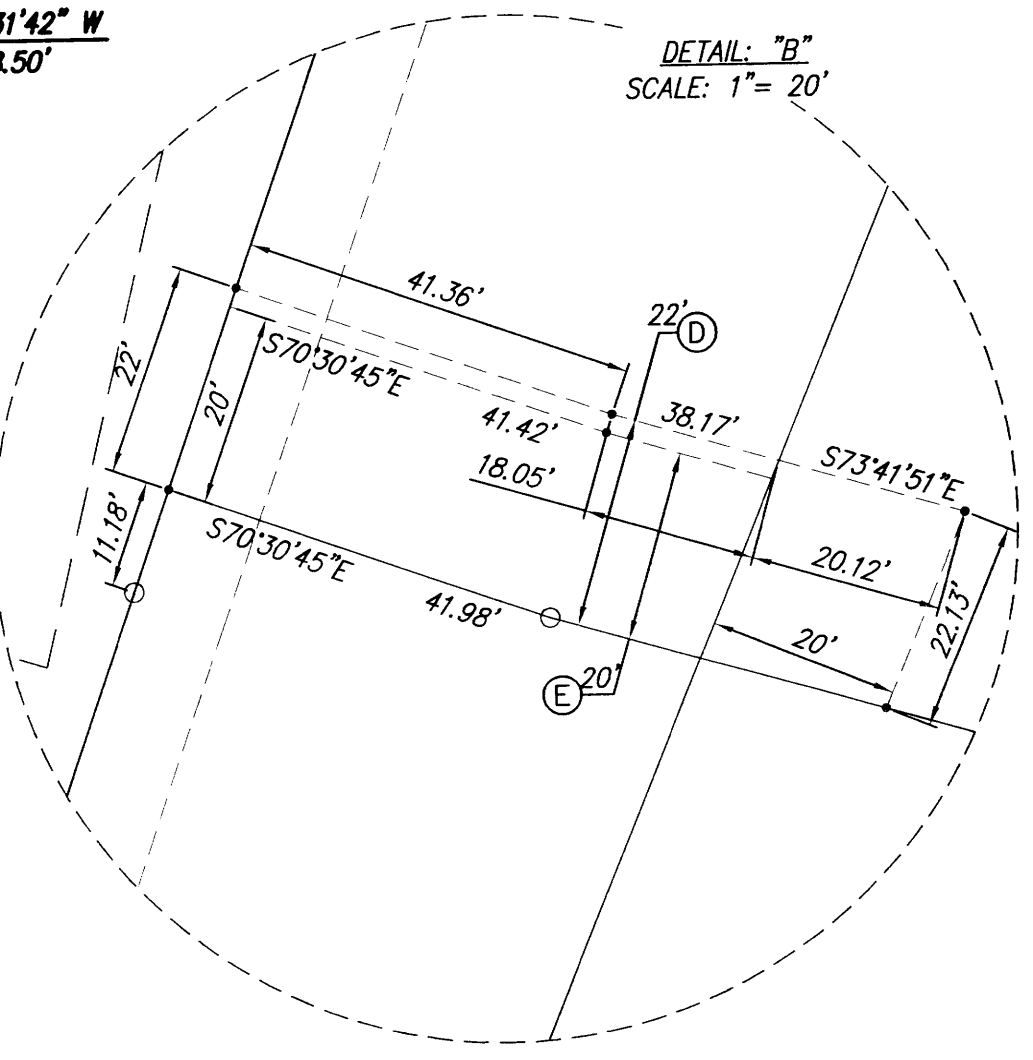
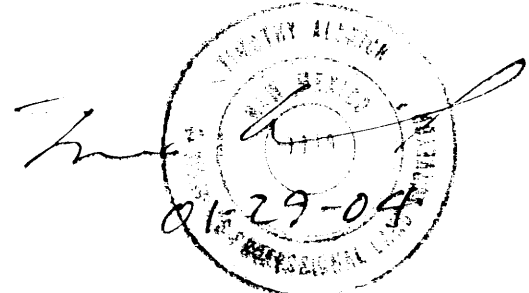
ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

Dwg: SHEET2.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 4
Scale: AS SHOWN	Date: 01/26/04	Job: A03027	

PLAT FOR
VILLA DE LA CAPILLA
 WITHIN THE
 ELENA GALLEGOS GRANT
 AND
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 31
 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2003



R=525.43'
 L=102.05'
 D=1107'40"
 T=51.18'
 S 64°56'55" E, 101.89'



20' WIDE (UNLESS OTHERWISE NOTED) PUBLIC WATER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

25' WIDE PUBLIC SANITARY SEWER AND PUBLIC WATER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

25' WIDE PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

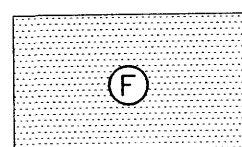
(A) TRACT "A" IS AN EXISTING PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF THE ROMAN CATHOLIC CHURCH OF ARCHDIOCESE OF SANTA FE, TO BE OWNED AND TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION.

(B) EASEMENT "B", WHICH IS WITHIN TRACT C IS A PRIVATE NON-VEHICULAR ACCESS EASEMENT, PRIVATE LANDSCAPING EASEMENT AND PRIVATE DRAINAGE EASEMENT GRANTED TO THE OWNERS OF LOTS 1-24 BY THIS PLAT FOR THE BENEFIT OF THE OWNERS OF LOTS 1-24, AND TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION.

(C) TRACT "C" IS A PRIVATE ACCESS ROAD EASEMENT AND PRIVATE LANDSCAPING EASEMENT GRANTED TO THE OWNERS OF LOTS 1-24 BY THIS PLAT, FOR THE BENEFIT OF THE OWNERS LOTS 1-24 AND TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION. IT IS ALSO ENCUMBERED WITH PUBLIC WATER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THIS PLAT, A PUBLIC SANITARY SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THIS PLAT, AND A PRIVATE DRAINAGE EASEMENT THAT ARE GRANTED TO THE OWNERS OF LOTS 1-24, AND TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION.

(D) 22' PRIVATE ACCESS EASEMENT GRANTED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY OWNER'S OF LOTS 1, 2, 6 AND 7.

(E) 20' PRIVATE DRAINAGE EASEMENT GRANTED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY THE OWNER OF LOT 2.



THIS IS AN EXISTING PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF THE ROMAN CATHOLIC CHURCH OF THE ARCHDIOCESE OF SANTA FE. (03-30-67, BK. MISC. 63, PG. 472-479) A NON-VEHICULAR PRIVATE ACCESS EASEMENT IS ALSO GRANTED TO THE OWNERS OF LOTS 1-24, AND FOR THE BENEFIT OF THE OWNERS OF LOTS 1-24.

THIS IS AN EXISTING PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF THE ROMAN CATHOLIC CHURCH OF THE ARCHDIOCESE OF SANTA FE. (03-30-67, BK. MISC. 63, PG. 472-479) THIS EASEMENT IS TO BE MAINTAINED BY THE OWNERS OF LOTS 19 AND 20, RESPECTIVELY.

(H) 10' WIDE PRIVATE NON-VEHICULAR ACCESS EASEMENT IS GRANTED TO THE OWNERS OF LOTS 1-24 FOR THE BENEFIT OF THE OWNERS OF LOTS 1-24, TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION.

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENT IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

SEE SHEET 2 OF 4 FOR EXISTING EASEMENTS

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: BASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 3 of 4
Scale: AS SHOWN	Date: 01/27/04	Job: A03027	

PLAT FOR
VILLA DE LA CAPILLA
 WITHIN THE
 ELENA GALLEGOS GRANT
 AND
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 31
 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2003

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C1	54.44	525.43	5°56'13"	27.25	N67°32'39"W	54.42
C2	47.60	525.43	5°11'27"	23.82	N61°58'49"W	47.59
C3	23.93	45.63	30°03'08"	12.25	S79°17'44"W	23.66
C4	86.96	45.63	109°12'24"	64.21	N31°04'30"W	74.38
C5	43.77	45.63	54°57'37"	23.73	N51°00'30"E	42.11
C6	73.57	521.00	8°05'26"	36.85	N82°32'02"E	73.51
C7	51.59	521.00	5°40'25"	25.82	N89°24'58"E	51.57
C8	6.60	521.00	0°43'34"	3.30	S87°23'03"E	6.60
C9	43.71	171.00	14°38'43"	21.97	S79°41'55"E	43.59
C10	14.36	171.00	4°48'38"	7.18	S69°58'14"E	14.35
C11	14.55	25.00	33°21'18"	7.49	N84°14'34"W	14.35
C12	26.71	25.00	61°13'17"	14.79	S48°28'08"W	25.46
C13	38.36	45.00	48°50'28"	20.43	N42°16'44"E	37.21
C14	36.38	45.00	46°18'58"	19.25	N89°51'27"E	35.39
C15	17.12	25.00	39°13'53"	8.91	S86°36'01"E	16.79
C16	17.12	25.00	39°13'54"	8.91	N54°10'06"E	16.79
C17	61.62	45.00	78°27'47"	36.74	S73°47'02"W	56.92
C18	48.29	2023.00	1°22'04"	24.15	N18°32'31"E	48.29
C19	23.82	139.37	9°47'34"	11.94	S71°52'51"E	23.79
C20	37.25	25.00	85°21'52"	23.06	N60°32'26"E	33.90
C21	56.22	1977.00	1°37'45"	28.11	N18°40'22"E	56.21
C22	37.27	25.00	85°25'25"	23.08	S24°51'13"E	33.92
C23	5.65	133.00	2°25'57"	2.82	S68°46'53"E	5.65
C24	39.52	133.00	17°01'24"	19.90	S78°30'34"E	39.37
C25	12.09	483.00	1°26'02"	6.04	S87°44'17"E	12.09
C26	39.14	483.00	4°38'36"	19.58	N89°13'24"E	39.13
C27	34.91	25.00	80°00'14"	20.98	N46°54'00"E	32.14
C28	45.69	45.63	57°22'17"	24.96	S35°35'01"W	43.80
C29	14.79	2000.00	1°37'45"	28.44	N18°40'22"E	56.87
C30	20.30	150.00	7°45'11"	10.16	N71°26'30"W	20.28
C31	50.94	150.00	19°27'21"	25.72	S77°17'36"E	50.69
C32	126.45	500.00	14°29'25"	63.57	N85°44'01"E	126.12
C33	45.16	133.00	19°27'21"	22.80	S77°17'36"E	44.95
C34	58.07	171.00	19°27'21"	29.32	S77°17'36"E	57.79
C35	131.76	521.00	14°29'25"	66.23	N85°44'01"E	131.41
C36	51.23	483.00	6°04'38"	25.64	N89°56'25"E	51.21
C37	200.34	45.63	251°35'26"	63.27	N47°18'24"W	74.01
C38	41.27	25.00	94°34'35"	27.08	S65°08'47"W	36.74
C39	57.09	34.38	95°09'26"	37.62	N65°26'13"E	50.75
C40	74.74	45.00	95°09'26"	49.24	N65°26'13"E	66.44
C41	39.44	23.75	95°09'26"	25.99	N65°26'13"E	35.06
C42	34.24	25.00	78°27'47"	20.41	N73°47'02"E	31.62
C43	54.00	34.38	90°00'00"	34.37	S68°00'56"W	48.61
C45	74.61	23.75	180°00'00"		S23°00'56"W	47.50
C46	32.73	160.63	11°40'33"	16.42	S72°49'21"E	32.68
C47	30.57	150.00	11°40'33"	15.34	S72°49'21"E	30.51
C48	15.79	9.38	96°31'07"	10.51	N30°24'04"W	13.99
C49	21.89	25.00	50°10'37"	11.17	N44°34'33"E	21.20
C50	40.01	25.00	91°42'04"	25.75	N65°20'17"E	35.88
C51	18.12	25.00	41°31'28"	9.48	S89°34'25"E	17.72
C52	22.42	525.43	2°26'42"	11.21	N67°35'20"W	22.42
C53	32.87	25.00	75°19'57"	19.30	S20°38'10"E	30.55

DESCRIPTION

A tract of land situate within the Elena Gallegos Grant and Town of Albuquerque Grant, projected Section 31, Township 11 North, Range 3 East New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of TRACTS 161A, 161B1, 162A, 166A, 166B AND 167A, M.R.G.C.D. MAP 31, and being more particularly described as follows:

BEGINNING at the southwest corner of the herein described tract, from whence the Albuquerque Control Survey Monument "10-G13-A" bears S 34°46'24" W, 4054.97 feet;

THENCE N 38°35'43" E, 91.09 feet to a point;
 THENCE N 53°13'43" E, 81.85 feet to a point;
 THENCE N 21°28'43" E, 132.93 feet to a point;
 THENCE N 27°56'13" E, 135.68 feet to the northwest corner;
 THENCE S 70°30'45" E, 14.95 feet to a point;
 THENCE S 27°44'48" W, 109.39 feet to a point;
 THENCE S 16°35'52" W, 94.60 feet to a point;
 THENCE S 75°05'52" E, 111.65 feet to a point;
 THENCE S 17°10'20" W, 5.34 feet to a point;
 THENCE S 72°47'45" E, 60.22 feet to a point;
 THENCE N 18°43'38" E, 53.11 feet to a point;
 THENCE S 65°32'11" E, 37.82 feet to a point;
 THENCE N 18°21'53" E, 6.25 feet to a point;
 THENCE S 55°37'34" E, 23.41 feet to a point;
 THENCE S 74°56'34" E, 85.28 feet to a point;
 THENCE N 12°12'26" E, 141.24 feet to a point;
 THENCE S 70°30'45" E, 75.93 feet to a point of curvature;
 THENCE 102.05 feet along a curve to the right, whose radius is 525.43 feet through a central angle of 11°07'40" and whose chord bears S 64°56'55" E, 101.89 feet to a point of tangency;
 THENCE S 59°23'05" E, 161.81 feet to the northeast corner;
 THENCE S 24°24'42" W, 75.46 feet to a point;
 THENCE N 74°51'00" W, 15.50 feet to a point;
 THENCE S 23°31'42" W, 130.00 feet to a point;
 THENCE S 50°31'42" W, 18.50 feet to a point;
 THENCE S 62°45'56" W, 70.45 feet to a point;
 THENCE S 63°00'45" W, 59.75 feet to a point;
 THENCE N 75°53'47" W, 31.02 feet to a point;
 THENCE S 77°01'26" W, 87.03 feet to a point;
 THENCE S 65°25'29" W, 61.00 feet to the southeast corner;
 THENCE N 66°59'04" W, 460.87 feet to the point of beginning and containing (207,438s.f.) 4.7621 acres more or less.

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of :

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities necessary to provide Cable TV service.
5. The New Mexico Utilities, Inc., for the installation, maintenance and service of water and sanitary sewer lines and any other equipment, fixtures, structures and related facilities reasonably necessary to provide water and sewer services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

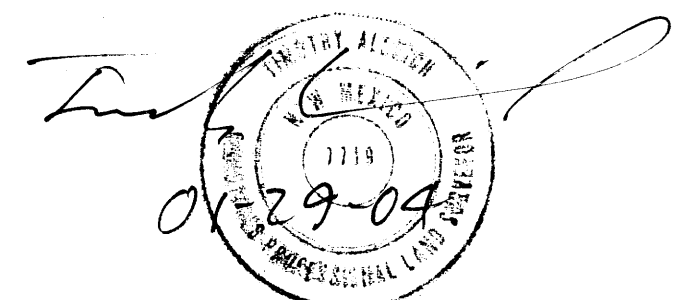
In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

LINE TABLE		
LINE	BEARING	DISTANCE
L2	S25°43'50"E	31.42
L3	N04°19'18"E	11.16
L4	S66°38'41"E	8.12
L5	S68°00'56"W	14.14
L6	N16°12'58"W	44.27
L7	S78°39'37"E	40.48
L8	N75°19'06"W	16.05
L9	S67°33'55"E	30.27
L10	S11°30'41"E	24.63



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



Dwg: BASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 4 of 4
Scale: AS SHOWN	Date: 01/27/04	Job: A03027	

PRELIMINARY PLAT

VILLA DE LA CAPILLA

M.R.G.C.D. MAP No. 31

WITHIN THE

ELENA GALLEGOS GRANT

AND

TOWN OF ALBUQUERQUE GRANT

PROJECTED SECTION 31

TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER, 2003

11/5/03
W/T, D. condition
on final plat.

PURPOSE OF PLAT

1. SUBDIVIDE NINE PARCELS INTO 24 RESIDENTIAL LOTS AND 3 TRACTS
2. GRANT NEW EASEMENTS AS SHOWN

LEGAL DESCRIPTION

A tract of land situate within the Elena Gallegos Grant and Town of Albuquerque Grant, projected Section 31, Township 11 North, Range 3 East New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of TRACT 161A, 161B1, 161B2, 162A, 162B, 163A, 166A, 166B, AND 167A, M.R.G.C.D. MAP 31, and containing 4.7621 acres more or less.

NOTES

1. UNLESS OTHERWISE NOTED ALL POINTS ARE "SET 5/8" REBAR WITH CAP "ALS LS 7719".
2. BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
3. BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
4. ALL DISTANCES SHALL BE GROUND DISTANCES.
5. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

SUBDIVISION DATA

GROSS ACREAGE 4.7621 ac
 ZONE ATLAS NO. F-13
 NO. OF EXISTING PARCELS 9
 NO. OF TRACTS/LOTS CREATED 3 TRACTS / 24 LOTS
 NO. OF PARCELS ELIMINATED 9
 AREA DEDICATED TO CITY OF ALBUQUERQUE 0.0000 AC
 DATE OF SURVEY JUNE 2003
 ZONING SU1 FOR PRD

OWNERS

LOS GRIEGOS DEVELOPMENT LLC.
 3404 CARLISE NE
 ALBUQUERQUE, N.M. 87107
 (505) 883-1674

DANNY N. MARTINEZ
 MARLORENE S. MARTINEZ
 515 EDITH NE
 ALBUQUERQUE, N.M. 87102

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

SURVEYOR

ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190-0701
 (505) 884-1990



LOCATION MAP
 NOT TO SCALE

OWNERS:

Ronald D. Brown 9/12/03
 DATE
 RONALD D. BROWN
 MANAGING MEMBER, LOS GRIEGOS DEVELOPMENT, LLC

Danny N. Martinez 9/12/03
 DATE
 DANNY N. MARTINEZ
 HUSBAND

Marlorene S. Martinez 9/12/03
 DATE
 MARLORENE S. MARTINEZ
 WIFE

APPROVED

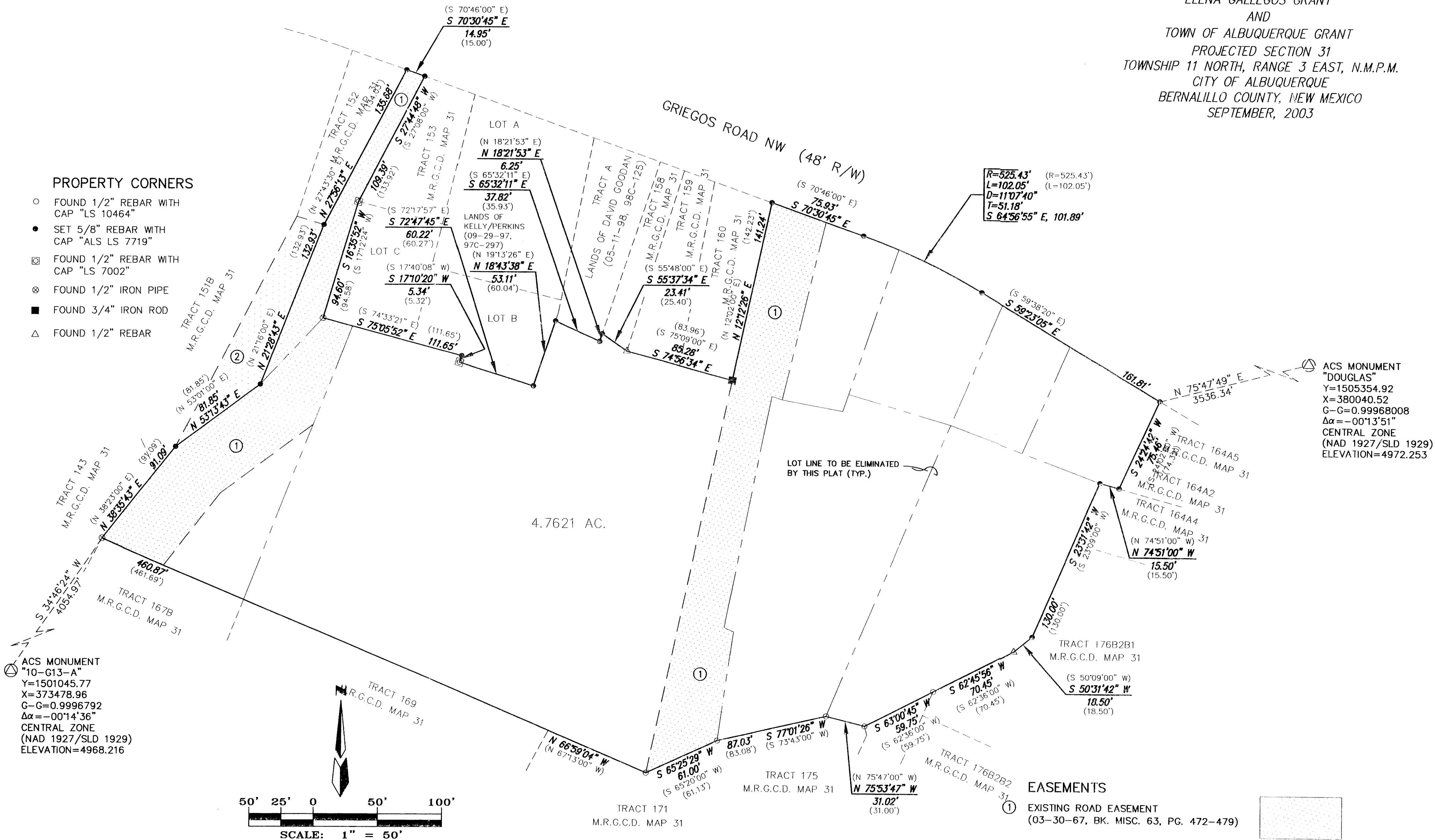
M. B. Hart 9-18-03
 Date
 City Surveyor, City of Albuquerque, N.M.

Dwg:	COVER	Drawn:	SPS	Checked:	ALS	Sheet	1	of	4
Scale:	AS SHOWN	Date:	12/27/00	Job:	A03027				

PRELIMINARY PLAT
VILLA DE LA CAPILLA
M.R.G.C.D. MAP No. 31
 WITHIN THE
 ELENA GALLEGOS GRANT
 AND
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 31
 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2003

PROPERTY CORNERS

- FOUND 1/2" REBAR WITH CAP "LS 10464"
- SET 5/8" REBAR WITH CAP "ALS LS 7719"
- ⊠ FOUND 1/2" REBAR WITH CAP "LS 7002"
- ⊗ FOUND 1/2" IRON PIPE
- FOUND 3/4" IRON ROD
- △ FOUND 1/2" REBAR



$R=525.43'$ ($R=525.43'$)
 $L=102.05'$ ($L=102.05'$)
 $D=1107'40''$
 $T=51.18'$
 $S 64^{\circ}56'55'' E, 101.89'$

ACS MONUMENT
 "DOUGLAS"
 Y=1505354.92
 X=380040.52
 G-G=0.99968008
 $\Delta\alpha=-00^{\circ}13'51''$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=4972.253

ACS MONUMENT
 "10-G13-A"
 Y=1501045.77
 X=373478.96
 G-G=0.9996792
 $\Delta\alpha=-00^{\circ}14'36''$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=4968.216

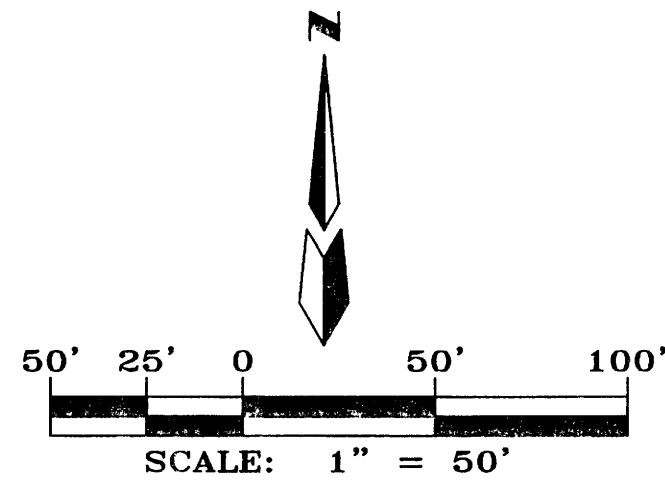
EASEMENTS

- ① EXISTING ROAD EASEMENT
 (03-30-67, BK. MISC. 63, PG. 472-479)
- ② EXISTING ROAD AND UTILITY EASEMENT
 (06-21-67, BK. MISC. 71, PG. 587-589)

C:\A03JOB\A03027LPO\SPSBASE.dwg, 09/11/03 01:41:15 P.M., stephen

Dwg: SPSBASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 4
Scale: AS SHOWN	Date: 09/11/03	Job: A03027	

PRELIMINARY PLAT
VILLA DE LA CAPILLA
M.R.G.C.D. MAP No. 31
 WITHIN THE
 ELENA GALLEGOS GRANT
 AND
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 31
 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2003



20' WIDE (UNLESS OTHERWISE NOTED) PUBLIC WATER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

25' WIDE PUBLIC SANITARY SEWER AND PUBLIC WATER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

20' WIDE PUBLIC WATER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

TRACT 143
 M.R.G.C.D. MAP 31

TRACT 167B
 M.R.G.C.D. MAP 31

TRACT 169
 M.R.G.C.D. MAP 31

TRACT 171
 M.R.G.C.D. MAP 31

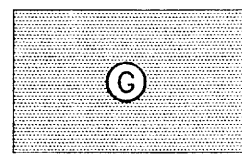
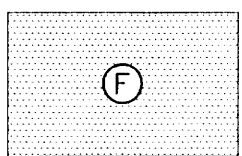
TRACT 175
 M.R.G.C.D. MAP 31

TRACT 176B2B2
 M.R.G.C.D. MAP 31

TRACT 176B2B1
 M.R.G.C.D. MAP 31

TRACT 164A5
 M.R.G.C.D. MAP 31
 TRACT 164A2
 M.R.G.C.D. MAP 31
 TRACT 164A4
 M.R.G.C.D. MAP 31

- (A) TRACT "A" IS AN EXISTING PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF THE ROMAN CATHOLIC CHURCH OF ARCHDIOCESE OF SANTA FE, TO BE OWNED AND TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION.
- (B) EASEMENT "B", WHICH IS WITHIN TRACT C, IS A PRIVATE NON-VEHICULAR ACCESS EASEMENT AND PRIVATE DRAINAGE EASEMENT GRANTED TO THE OWNERS OF LOTS 1-24 BY THIS PLAT FOR THE BENEFIT OF THE OWNERS OF LOTS 1-24, AND TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION.
- (C) TRACT "C" IS A PRIVATE ACCESS ROAD EASEMENT GRANTED TO THE OWNERS OF LOTS 1-24 BY THIS PLAT, FOR THE BENEFIT OF THE OWNERS LOTS 1-24 AND TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION. IT IS ALSO ENCUMBERED WITH PUBLIC WATER, PUBLIC SANITARY SEWER AND PRIVATE DRAINAGE EASEMENTS THAT ARE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- (D) 22' PRIVATE ACCESS EASEMENT GRANTED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY OWNER'S OF LOTS 1, 2, 6 AND 7.
- (E) 20' PRIVATE DRAINAGE EASEMENT GRANTED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY THE OWNER OF LOT 2.



THIS IS AN EXISTING PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF THE ROMAN CATHOLIC CHURCH OF THE ARCHDIOCESE OF SANTA FE. A NON-VEHICULAR PRIVATE ACCESS EASEMENT IS ALSO GRANTED TO THE OWNERS OF LOTS 1-24.

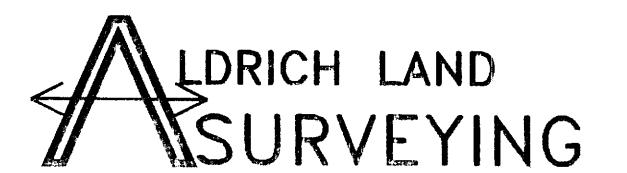
THIS IS AN EXISTING PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF THE ROMAN CATHOLIC CHURCH OF THE ARCHDIOCESE OF SANTA FE. A PRIVATE ACCESS EASEMENT IS ALSO GRANTED TO THE OWNERS OF LOTS 1-24 FOR THE BENEFIT OF THE OWNERS OF LOTS 1-24. THIS EASEMENT IS TO BE MAINTAINED BY THE OWNERS OF LOTS 19 AND 20, RESPECTIVELY.

(H) 10' WIDE PRIVATE NON-VEHICULAR ACCESS EASEMENT IS GRANTED TO THE OWNERS OF LOTS 1-24 FOR THE BENEFIT OF THE OWNERS OF LOTS 1-24, TO BE MAINTAINED BY THE VILLA DE LA CAPILLA HOME OWNERS ASSOCIATION.

R=525.43'
 L=102.05'
 D=1107.40'
 T=51.18'
 S 64°56'55" E, 101.89'

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

SEE SHEET 2 OF 4 FOR EXISTING EASEMENTS



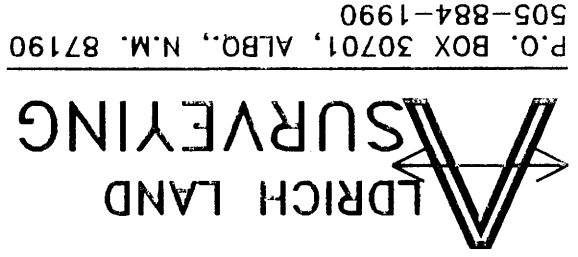
P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

Dwg: SPSBASE2.dwg	Drawn: RICHARD	Checked: ALS	Sheet 3 of 4
Scale: AS SHOWN	Date: 11/04/03	Job: A03027	

E:\A03027\A03027LPG\SPSBASE2.dwg, 11/04/03, 04:56:20, P14, PLOTTED BY RDO

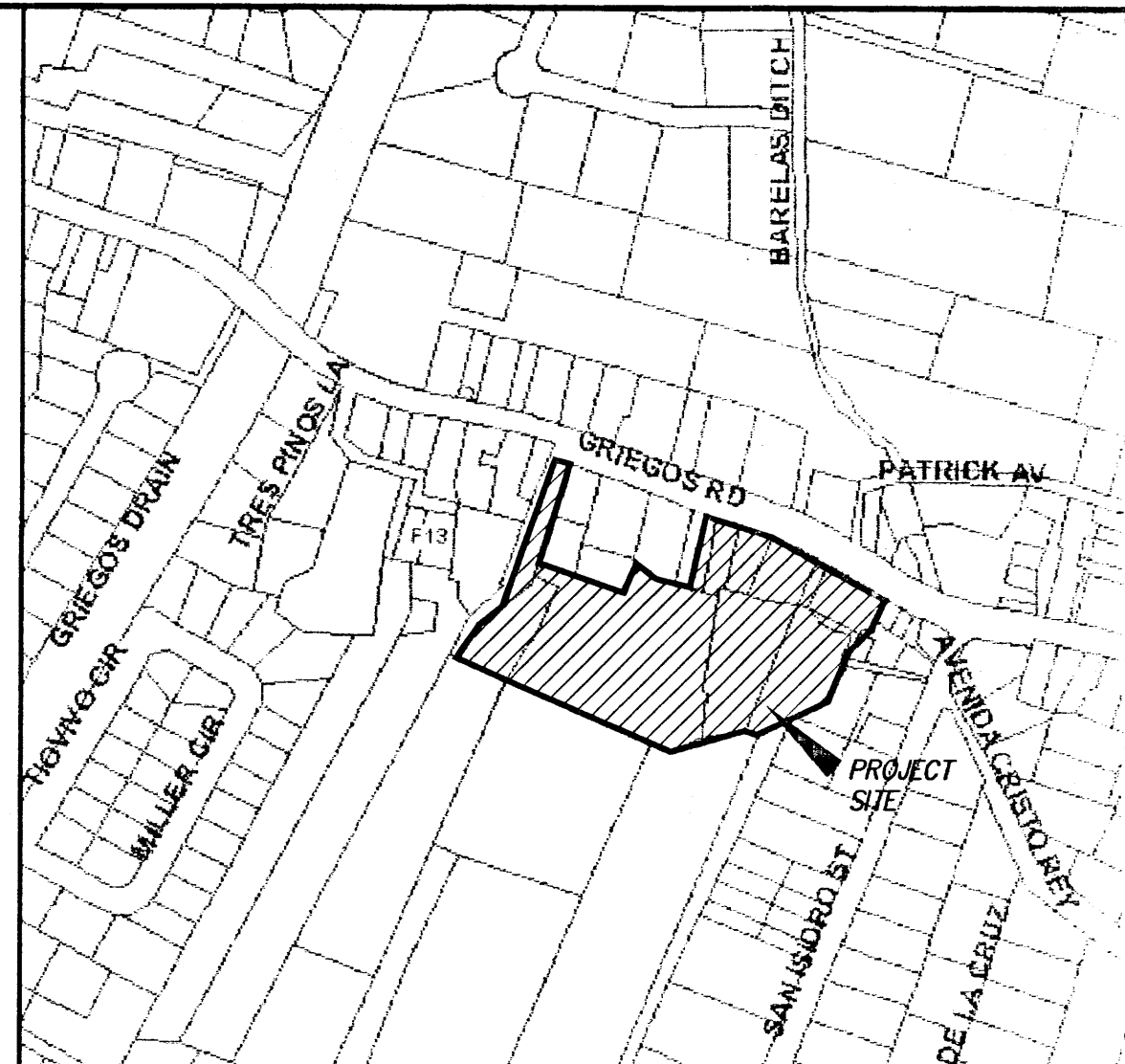
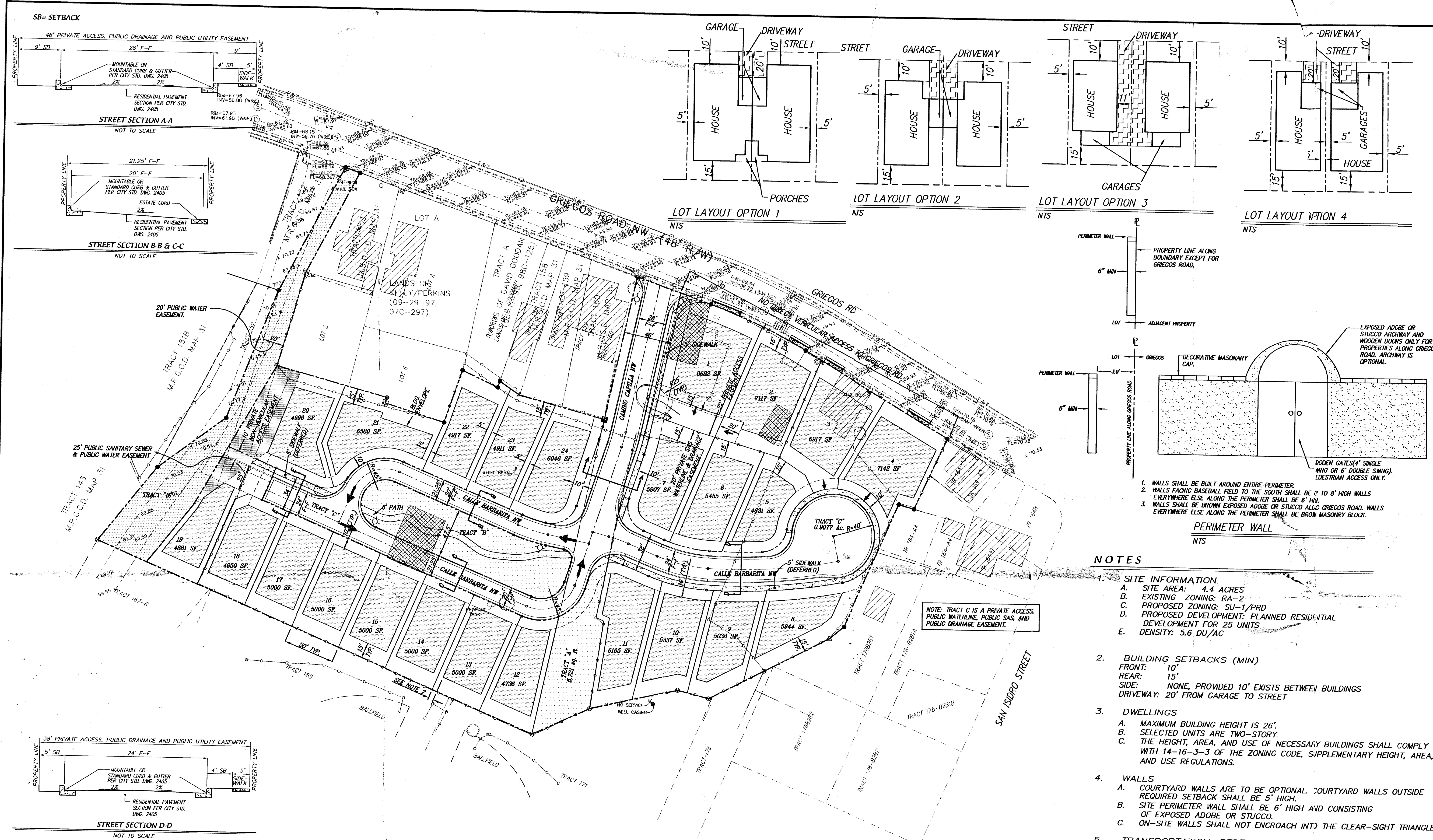
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C1	54.44	525.43	556.13"	27.25	N67.32.39"W	54.42
C2	47.60	525.43	511.27"	23.82	N61.58.49"W	47.59
C3	23.93	45.63	30.03.08"	12.25	S79.17.44"W	23.66
C4	86.96	45.63	109.12.24"	64.21	N31.04.30"W	74.38
C5	43.77	45.63	54.57.37"	23.73	N51.00.30"E	42.11
C6	73.57	521.00	8.05.26"	36.85	N82.32.02"E	73.51
C7	51.59	521.00	5.40.25"	25.82	N89.24.58"E	51.57
C8	6.60	521.00	0.43.34"	3.30	S87.23.03"E	6.60
C9	43.71	171.00	14.38.43"	21.97	S79.41.55"E	43.59
C10	14.36	171.00	4.48.38"	7.18	S69.58.14"E	14.35
C11	14.55	25.00	33.21.18"	7.49	N84.14.34"W	14.35
C12	26.71	25.00	61.13.17"	14.79	S48.28.08"W	25.46
C13	38.36	45.00	48.50.28"	20.43	N42.16.44"E	37.21
C14	36.38	45.00	46.18.58"	19.25	N89.51.27"E	35.39
C15	17.12	25.00	39.13.53"	8.91	S86.36.01"E	16.79
C16	17.12	25.00	39.13.54"	8.91	N54.10.06"E	16.79
C17	61.62	45.00	78.27.47"	36.74	S73.47.02"W	56.92
C18	12.53	127.00	5.39.03"	6.27	N15.01.58"E	12.52
C19	23.82	139.37	9.47.34"	11.94	S71.52.51"E	23.79
C20	37.25	25.00	85.21.52"	23.06	N60.32.26"E	33.90
C21	17.06	173.00	5.39.03"	8.54	N15.01.58"E	17.06
C22	37.27	25.00	85.25.25"	23.08	S24.51.13"E	33.92
C23	5.65	133.00	2.25.57"	2.82	S68.46.53"E	5.65
C24	39.52	133.00	17.01.24"	19.90	S78.30.34"E	39.37
C25	12.09	483.00	1.26.02"	6.04	S87.44.17"E	12.09
C26	39.14	483.00	4.38.36"	19.58	N89.13.24"E	39.13
C27	34.91	25.00	80.00.14"	20.98	N46.54.00"E	32.14
C28	45.69	45.63	57.22.17"	24.96	S35.35.01"W	43.80
C29	14.79	150.00	5.39.03"	7.40	N15.01.58"E	14.79
C30	20.30	150.00	7.45.11"	10.16	N71.26.30"W	20.28
C31	50.94	150.00	19.27.21"	25.72	S77.17.36"E	50.69
C32	126.45	500.00	14.29.25"	63.57	N85.44.01"E	126.12
C33	45.16	133.00	19.27.21"	22.80	S77.17.36"E	44.95
C34	58.07	171.00	19.27.21"	29.32	S77.17.36"E	57.79
C35	131.76	521.00	14.29.25"	66.23	N85.44.01"E	131.41
C36	51.23	483.00	6.04.38"	25.64	N89.56.25"E	51.21
C37	200.34	45.63	251.35.26"	63.27	N47.18.24"W	74.01
C38	41.27	25.00	94.34.35"	27.08	S65.08.47"W	36.74
C39	57.09	34.38	95.09.26"	37.62	N65.26.13"E	50.75
C40	74.74	45.00	95.09.26"	49.24	N65.26.13"E	66.44
C41	39.44	23.75	95.09.26"	25.99	N65.26.13"E	35.06
C42	34.24	25.00	78.27.47"	20.41	N73.47.02"E	31.62
C43	54.00	34.38	90.00.00"	34.37	S68.00.56"W	48.61
C45	74.61	23.75	180.00.00"	S23.00.56"	47.50	
C46	32.73	160.63	11.40.33"	16.42	S72.49.21"E	32.68
C47	30.57	150.00	11.40.33"	15.34	S72.49.21"E	30.51
C48	15.79	9.38	96.31.07"	10.51	N30.24.04"W	13.99
C49	42.45	25.00	97.16.48"	28.40	N60.50.50"E	37.53

LINE	BEARING	DISTANCE
L1	S56.05.16"E	30.76
L2	S25.43.50"E	18.89
L3	N04.19.18"E	11.16
L4	S66.38.41"E	8.12
L5	S68.00.56"W	14.14
L6	N16.12.58"W	44.27
L7	S78.39.37"E	40.48
L8	N75.19.06"W	16.05
L9	S67.33.55"E	30.27
L10	S11.30.41"E	24.63



P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

PRELIMINARY PLAT
 VILLA DE LA CAPILLA
 M.R.G.C.D. MAP NO. 31
 WITHIN THE
 ELENA GALLEGOS GRANT
 AND
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 31
 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2003



LEGAL DESCRIPTION
TRACTS 161-A, 163-A, 167-A, 162-B, 166-B, 161-B-1, 161-B-2, 166-A, 162-A, MRGCD MAP 31, ELENA GALLEGOS GRANT.

SUBDIVISION DATA

GROSS ACREAGE	4.7621 AC
ZONE ATLAS NO.	F-13-Z
NO. OF EXISTING TRACTS	9
NO. OF TRACTS/LOTS CREATED	3/24
NO. OF TRACTS ELIMINATED	9
ZONING	SU-1 FOR PDR
DATE OF SURVEY	JUNE 2003

OWNERS

LOS GRIEGOS DEVELOPMENT LLC 3404 CARLISE NE ALBUQUERQUE, N.M. 87107 (505) 883-1674	DANNY N. MARTINEZ MARLORENE S. MARTINEZ 515 EDITH NE ALBUQUERQUE, N.M. 87102
---	---

ENGINEERS
D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR
ALDRICH LAND SURVEYING
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990

APPROVED AND ACCEPTED BY:

Project No. _____

DRB Application No. _____

Planning Department _____

City Engineer _____

Transportation Development _____

Utility Development _____

Parks and Recreation _____

EPC Case Planner _____

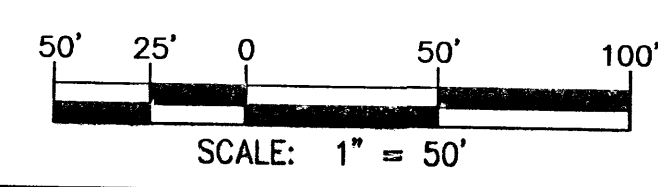
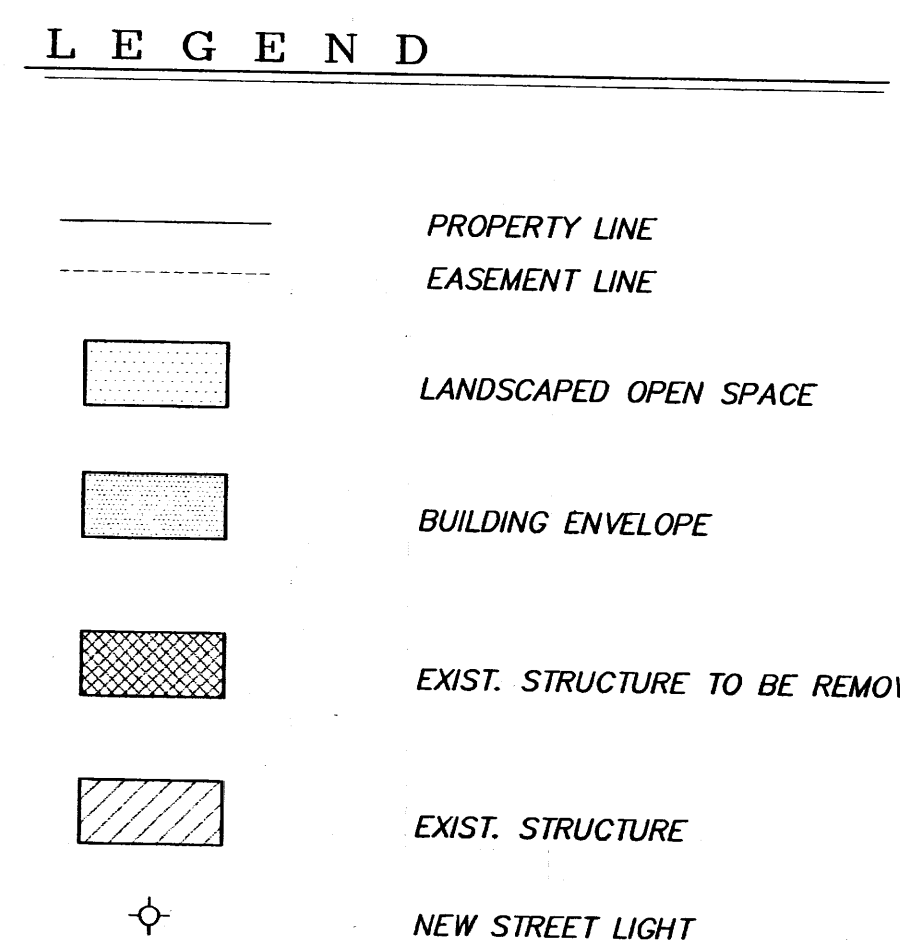
**VILLA DE LA CAPILLA
SITE PLAN FOR SUBDIVISION**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: ALD	Drawn: mjr	Checked: DMG	Sheet 1 of 5
Scale: 1" = 50'	Date: 10-09-03	Job: A03027	

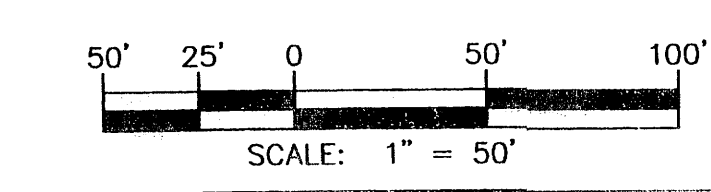
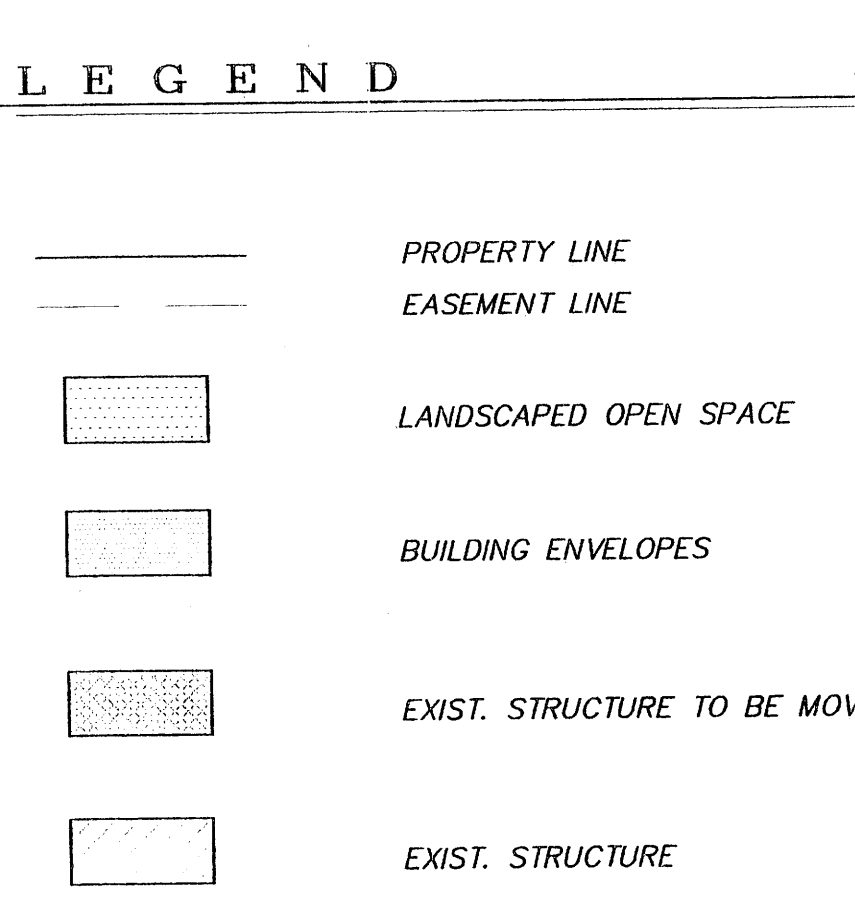
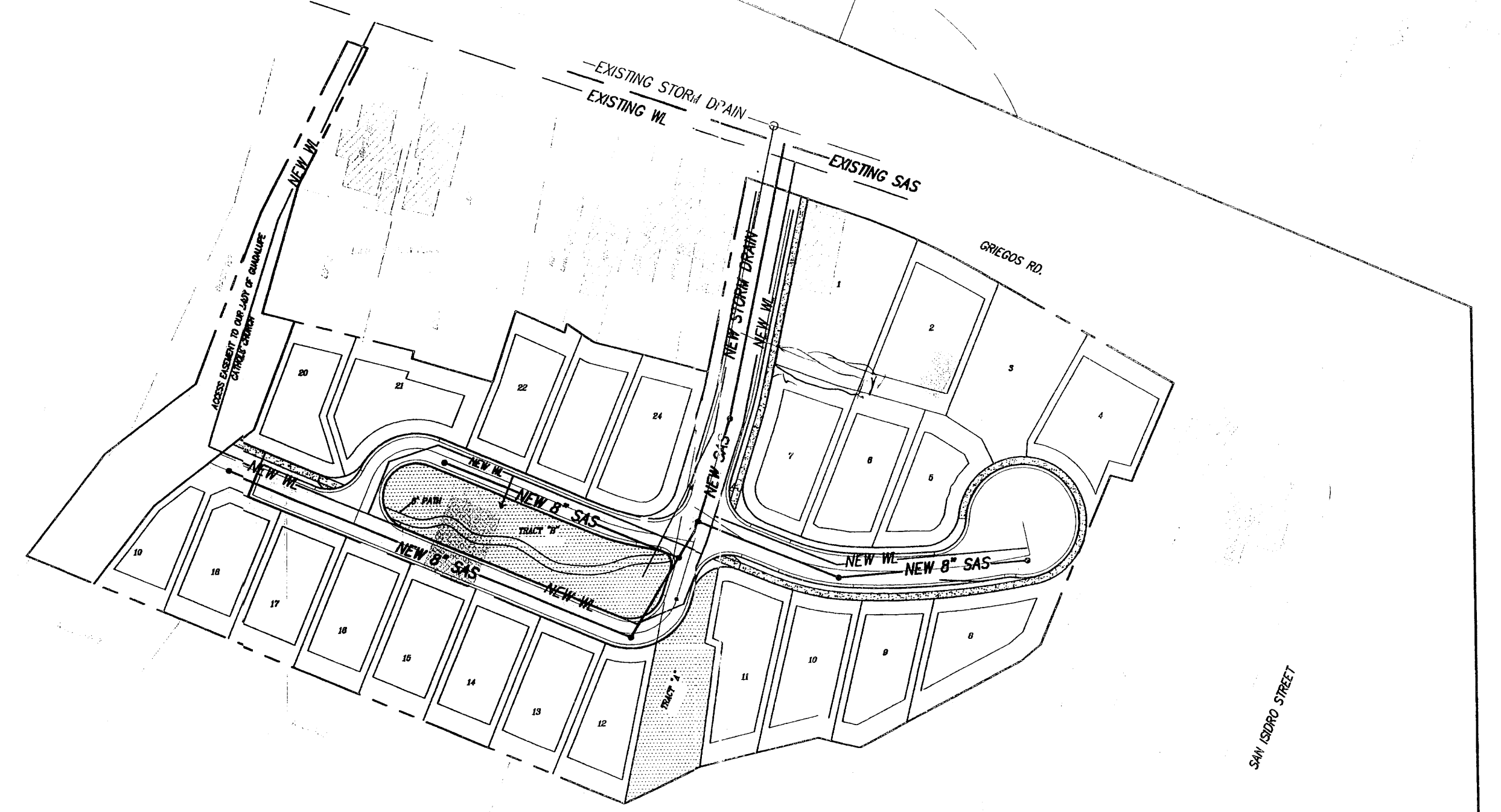
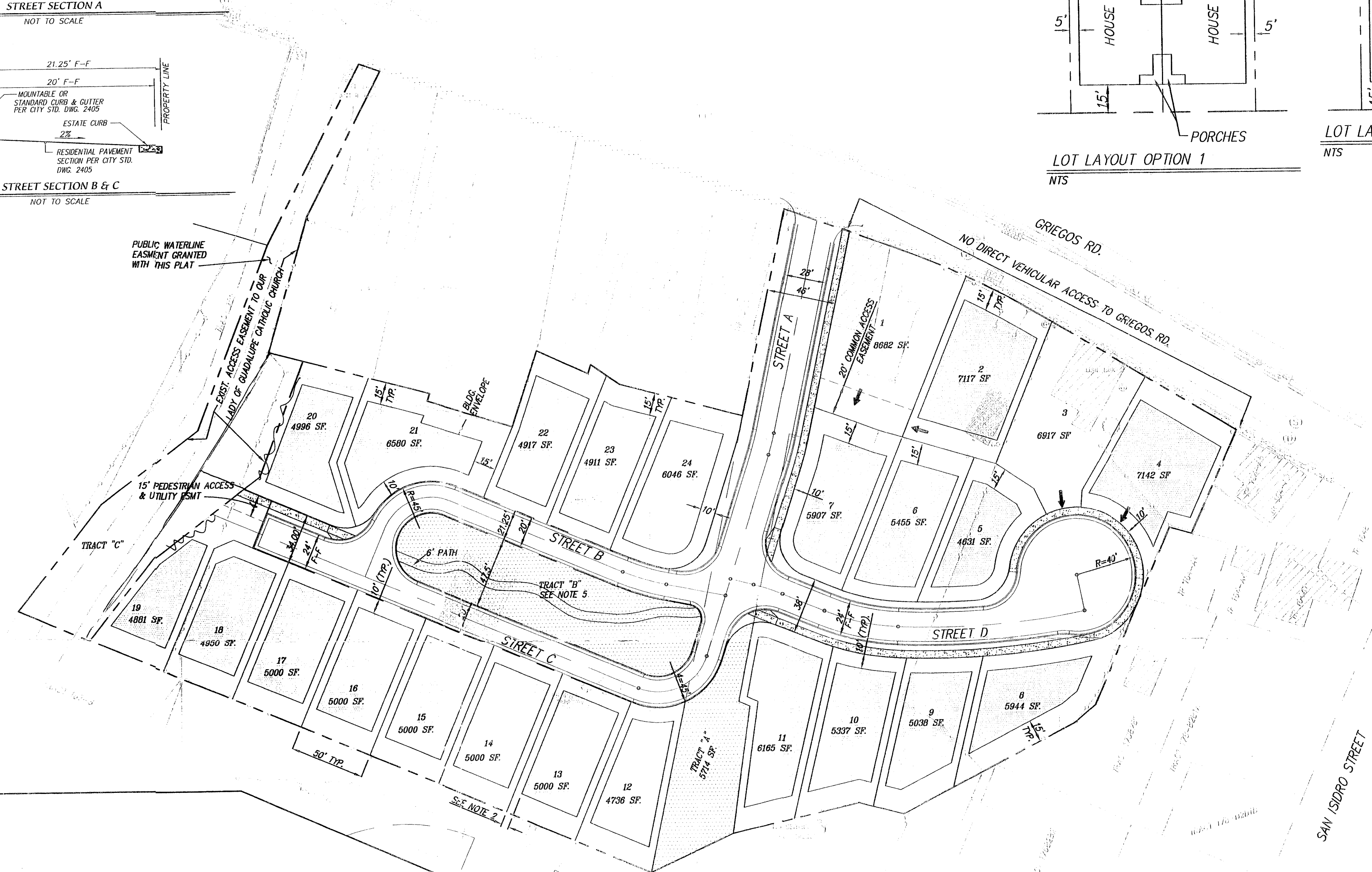
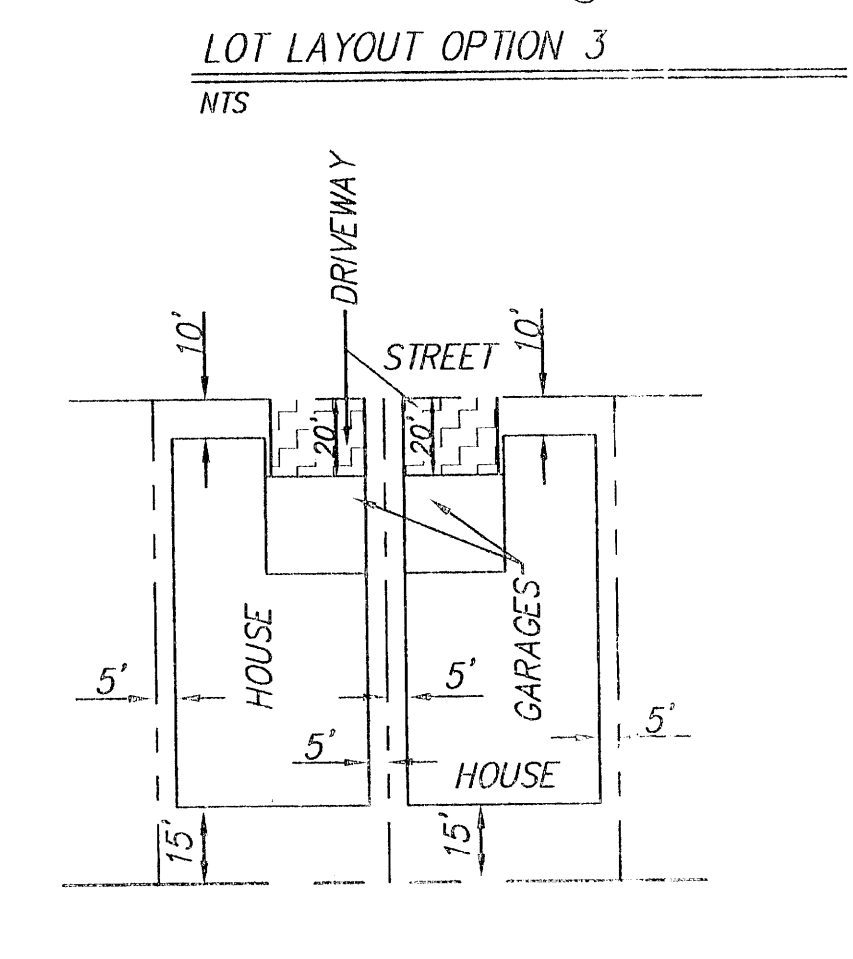
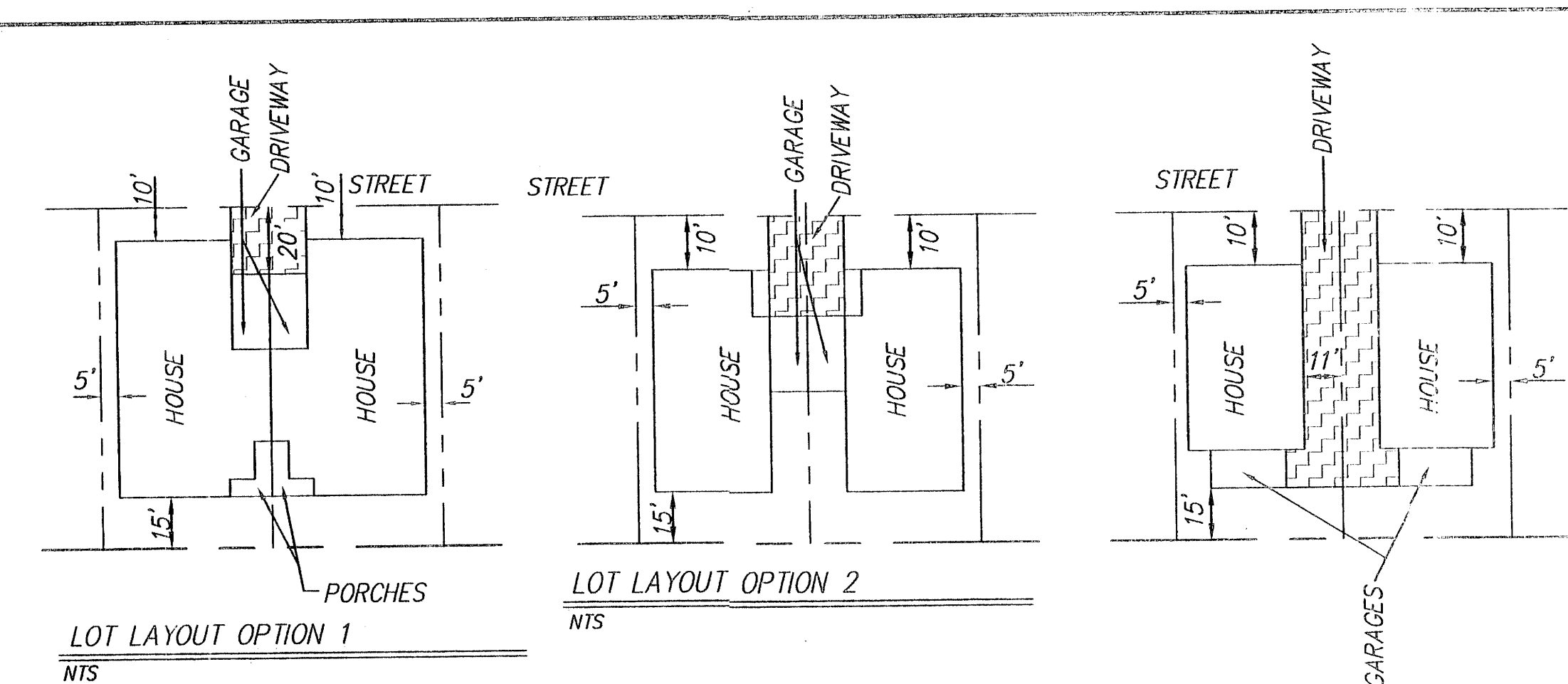
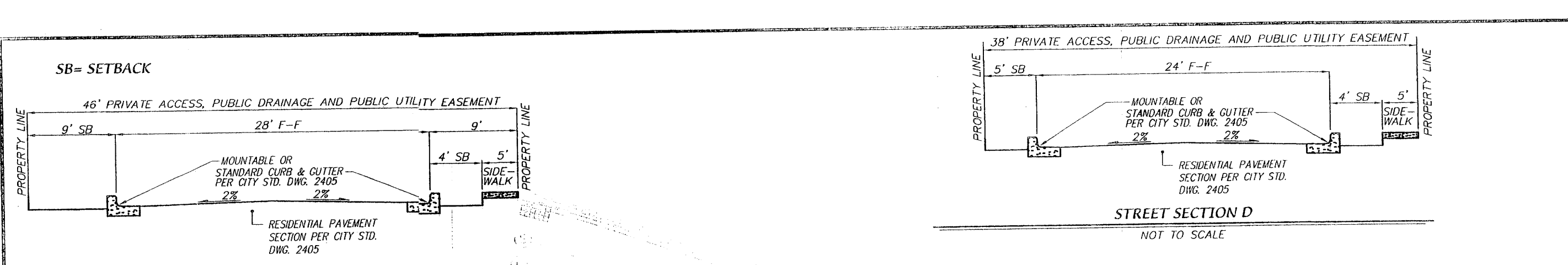
- NOTES**
- SITE INFORMATION**
 - SITE AREA: 4.4 ACRES
 - EXISTING ZONING: RA-2
 - PROPOSED ZONING: SU-1/PRD
 - PROPOSED DEVELOPMENT: PLANNED RESIDENTIAL DEVELOPMENT FOR 25 UNITS
 - DENSITY: 5.6 DU/AC
 - BUILDING SETBACKS (MIN)**

FRONT: 10'
REAR: 15'
SIDE: NONE, PROVIDED 10' EXISTS BETWEEN BUILDINGS
DRIVEWAY: 20' FROM GARAGE TO STREET
 - DWELLINGS**
 - MAXIMUM BUILDING HEIGHT IS 26'.
 - SELECTED UNITS ARE TWO-STORY.
 - THE HEIGHT, AREA, AND USE OF NECESSARY BUILDINGS SHALL COMPLY WITH 14-16-3-3 OF THE ZONING CODE, SUPPLEMENTARY HEIGHT, AREA, AND USE REGULATIONS.
 - WALLS**
 - COURTYARD WALLS ARE TO BE OPTIONAL. COURTYARD WALLS OUTSIDE REQUIRED SETBACK SHALL BE 5' HIGH.
 - SITE PERIMETER WALL SHALL BE 6' HIGH AND CONSISTING OF EXPOSED ADOBE OR STUCCO.
 - ON-SITE WALLS SHALL NOT ENCRoACH INTO THE CLEAR-SIGHT TRIANGLE.
 - TRANSPORTATION, PEDESTRIAN CIRCULATION AND ACCESS**
 - ALL ON-SITE STREETS ARE PRIVATE AND ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, INCLUDING LANDSCAPED AREAS IN TRACT B.
 - EACH LOT CONTAINS 4 PARKING SPACES.
 - DIRECT VEHICULAR ACCESS BETWEEN INDIVIDUAL LOTS AND GRIEGOS ROAD, A DESIGNATED COLLECTOR STREET ON THE LONG RANGE ROADWAY SYSTEM, WILL NOT BE PERMITTED.
 - LIGHTING**
 - STANDARD COA LIGHTING IS TO BE INSTALLED PERIODICALLY ALONG THE INTERNAL PRIVATE STREETS.
 - UTILITIES**
 - ALL COMMUNICATION, POWER AND GAS FACILITIES ARE UNDERGROUND.
 - ALL WATER AND SEWER LINES ARE TO BE PUBLIC AND TO BE MAINTAINED BY THE CITY OF ALBUQUERQUE.
 - REFUSE**
 - INDIVIDUAL ROLL-OUT REFUSE CONTAINERS ARE TO BE UTILIZED ON SITE AND HIDDEN FROM VIEW WHEN STORED.
 - OPEN SPACE**
 - A MINIMUM OF 1200 SF OF OPEN SPACE FOR EACH DWELLING SHALL BE FURNISHED EITHER ON-SITE OR IN ACCORDANCE WITH SECTION 14-16-3-8A OF THE ZONING CODE IF THERE IS AN ON-LOT DEFICIT.
 - LANDSCAPING**
 - LANDSCAPING WITHIN THE FRONT YARD (FROM THE SIDE-YARD WALL TO THE STREET) IS TO BE INSTALLED BY THE HOME BUILDER IN ACCORDANCE WITH THE LANDSCAPE PLAN AND IS TO BE MAINTAINED BY THE HOME OWNER.
 - COMMUNITY LANDSCAPING ALONG INTERIOR SITE ROADS IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

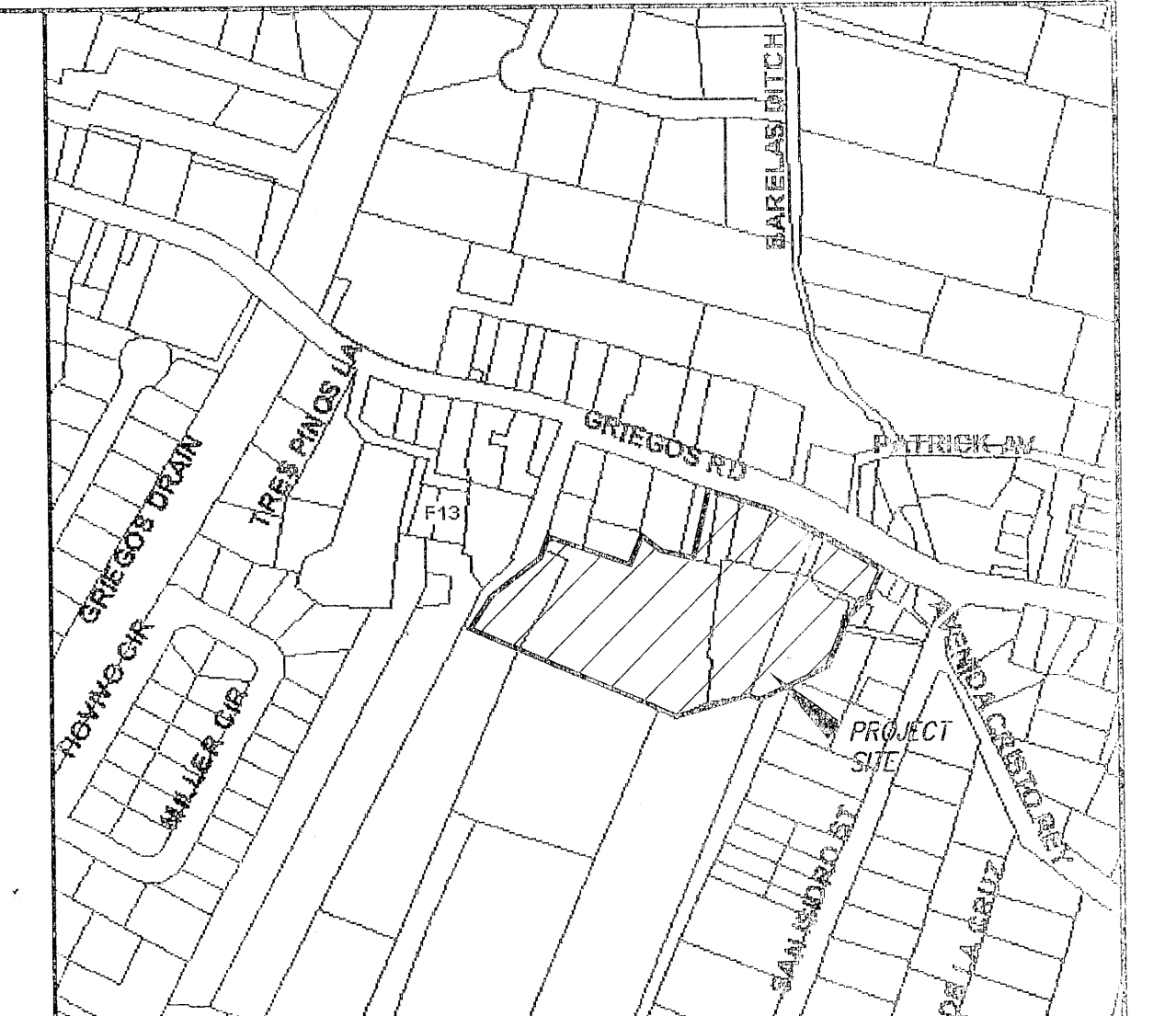


Solid Waste (WILL BE AUTOMATED CARTS)

A3027LPG/LAYOUT/SITEPLAN-NEW/10-09-03/JMR



- NOTES**
- SITE INFORMATION**
 - SITE AREA: 4.4 ACRES
 - EXISTING ZONING: RA-2
 - PROPOSED ZONING: SU-1/PRD
 - PROPOSED DEVELOPMENT: PLANNED RESIDENTIAL DEVELOPMENT FOR 25 UNITS
 - DENSITY: 5.6 DU/AC
 - BUILDING SETBACKS (MIN)**
 - FRONT: 10'
 - REAR: 15'
 - SIDE: NONE, PROVIDED 10' EXISTS BETWEEN BUILDINGS
 - DRIVEWAY: 20' FROM GARAGE TO STREET
 - DWELLINGS**
 - MAXIMUM BUILDING HEIGHT IS 26'
 - SELECTED UNITS ARE TWO-STORY.
 - WALLS**
 - COURTYARD WALLS ARE TO BE OPTIONAL
 - SITE PERIMETER WALL SHALL BE 5' OR 6' HIGH SPLIT AND CONSISTING OF STUCCO SURFACING.
 - ON-SITE WALLS SHALL NOT ENCRoACH INTO THE CLEAR-SIGHT TRIANGLE
 - TRANSPORTATION, PEDESTRIAN CIRCULATION AND ACCESS**
 - ALL ON-SITE STREETS ARE PRIVATE AND ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, INCLUDING LANDSCAPED AREAS IN TRACT B.
 - EACH LOT CONTAINS 4 PARKING SPACES.
 - LIGHTING**
 - STANDARD COA LIGHTING IS TO BE INSTALLED PERIODICALLY ALONG THE INTERNAL PRIVATE STREETS.
 - UTILITIES**
 - ALL COMMUNICATION, POWER AND GAS FACILITIES ARE UNDERGROUND.
 - ALL WATER AND SEWER LINES ARE TO BE PUBLIC AND TO BE MAINTAINED BY THE CITY OF ALBUQUERQUE.
 - REFUSE**
 - INDIVIDUAL ROLL-OUT REFUSE CONTAINERS ARE TO BE UTILIZED ON SITE AND HIDDEN FROM VIEW WHEN STORED.
 - OPEN SPACE**
 - A MINIMUM OF 1200 SF OF OPEN SPACE FOR EACH DWELLING SHALL BE FURNISHED EITHER ON-SITE OR IN ACCORDANCE WITH SECTION 14-16-3-BA OF THE ZONING CODE IF THERE IS AN ON-LOT DEFICIT.
 - LANDSCAPING**
 - LANDSCAPING WITHIN THE FRONT YARD (FROM THE SIDE-YARD WALL TO THE STREET) IS TO BE INSTALLED BY THE HOME BUILDER IN ACCORDANCE WITH THE LANDSCAPE PLAN AND IS TO BE MAINTAINED BY THE HOME OWNER.
 - COMMUNITY LANDSCAPING ALONG INTERIOR SITE ROADS IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.



LEGAL DESCRIPTION

TRACTS 161-A - 163-A, 167-A, 162-B, 166-B, 161-B-1, 162-B-2
 LOS PRADOS de GRIEGOS

SUBDIVISION DATA

GROSS ACREAGE ... 4.5412 AC
 ZONE ATLAS NO. ... M-10-2
 NO. OF EXISTING TRACTS ... 8
 NO. OF TRACTS/LOTS CREATED ... 3/24
 NO. OF TRACTS ELIMINATED ... 8
 DATE OF SURVEY ... FEBRUARY 2003

OWNERS

BROWN & ASSOCIATES, INC.
 P.O. BOX 3571
 ALBUQUERQUE, N.M. 87190
 (505) 833-1674

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190-0701

APPROVED AND ACCEPTED BY:

Project No. _____

DRB Application No. _____

Planning Department _____

City Engineer _____

Transportation Development _____

Utility Development _____

Parks and Recreation _____

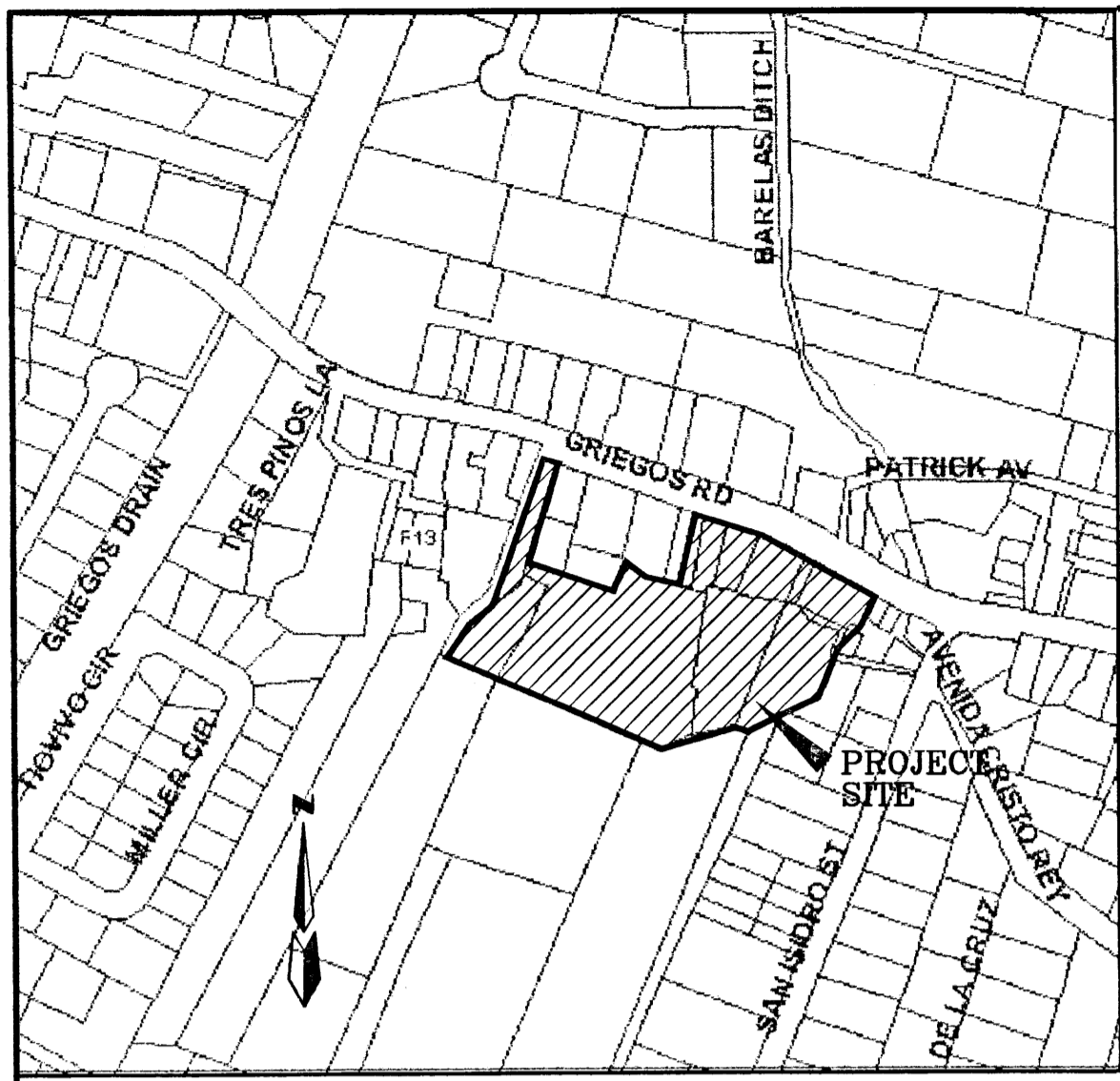
EPC Case Planner _____

LOS PRADOS de GRIEGOS

SITE PLAN FOR SUBDIVISION

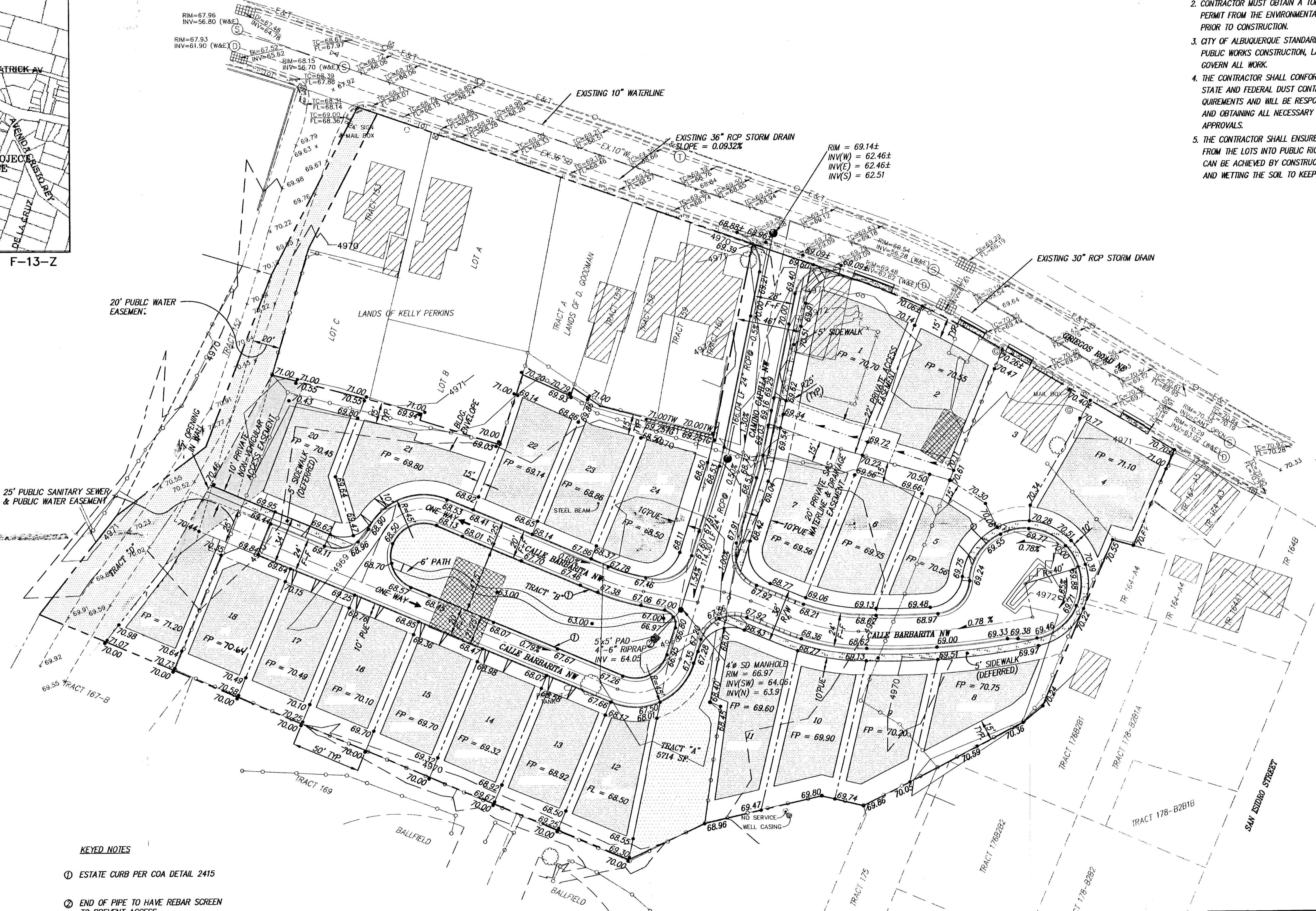
dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: JDM Drawn: mjr Checked: DMG Sheet 1 of 1
 Scale: 1" = 50' Date: 07-08-03 Job: A03027

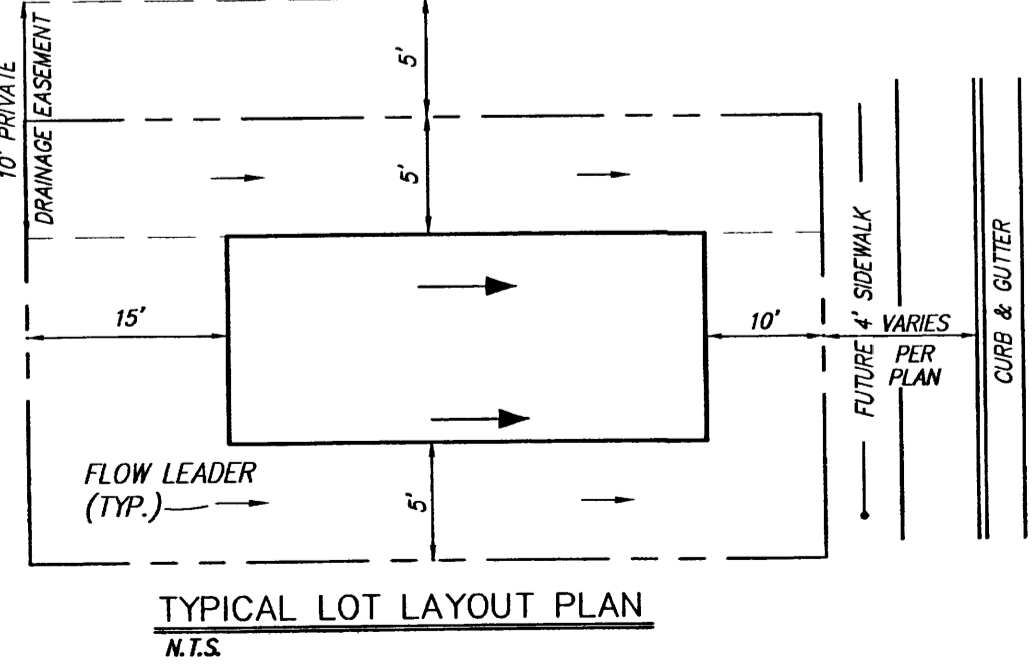


LOCATION MAP F-13-Z

- LEGEND**
- 5190- CONTOUR (MAJOR)
 - 5189- CONTOUR (MINOR)
 - TC- TOP CURB FLOWLINE
 - x 00.00 SPOT ELEV
 - CHAIN LINK FENCE
 - WOOD FENCE
 - CURB AND GUTTER
 - CONCRETE/SIDEWALK
 - ADOBE WALL
 - WOOD BOLLARD
 - ▲ TRAFFIC SIGN
 - TREE
 - SANITARY SEWER MANHOLE
 - CLEANOUT
 - WATER VALVE
 - FIRE HYDRANT
 - WATER METER
 - E&T- OVERHEAD UTILITY LINES
 - SERVICE POLE OVERHEAD ELECTRIC
 - LIGHT POLE
 - TELEPHONE MANHOLE
 - TELEPHONE PEDESTAL
 - GAS METER
 - STORM DRAIN MANHOLE
 - DROP INLET
 - WHEEL CHAIR RAMP
 - 00.00 NEW SPOT ELEVATION
 - FP = 0.00 FINISH PAD ELEVATION
 - 18 LOT NUMBER
 - FLOW DIRECTION
 - STANDARD CURB & GUTTER
 - NEW RETAINING WALL
 - 71.00TW TOP OF WALL ELEVATION
 - 69.00TG TOP OF GROUND ELEVATION
 - MOUNTABLE CURB & GUTTER



- KEYED NOTES**
- ① ESTATE CURB PER COA DETAIL 2415
 - ② END OF PIPE TO HAVE REBAR SCREEN TO PREVENT ACCESS.



TYPICAL LOT LAYOUT PLAN N.T.S.

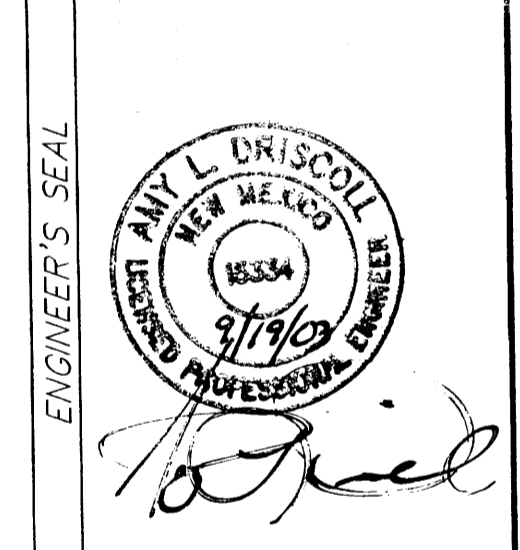
- NOTES**
1. OFFSITE FLOWS WILL BE ROUTED ALONG THE RETAINING WALL ON THE PROPERTY LINE TO THE R.O.W. OR ARROYO.
 2. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 3. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 4. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 5. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND NETTING THE SOIL TO KEEP IT FROM BLOWING.

AS BUILT INFORMATION

CONTRACTOR	DATE
INSPECTOR'S NAME	DATE
FIELD VERIFICATION BY	DATE
CORRECTED BY	DATE
RECORDED BY	DATE

SURVEY INFORMATION

NO.	DATE	BY



NO.	DATE	REMARKS

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 30606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

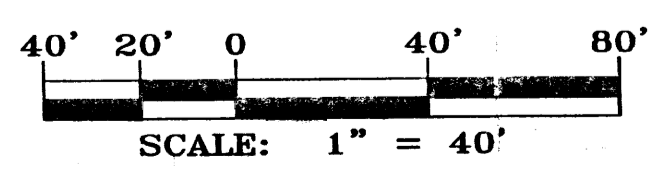
**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **VILLA DE LA CAPPILLA
GRADING AND DRAINAGE PLAN**

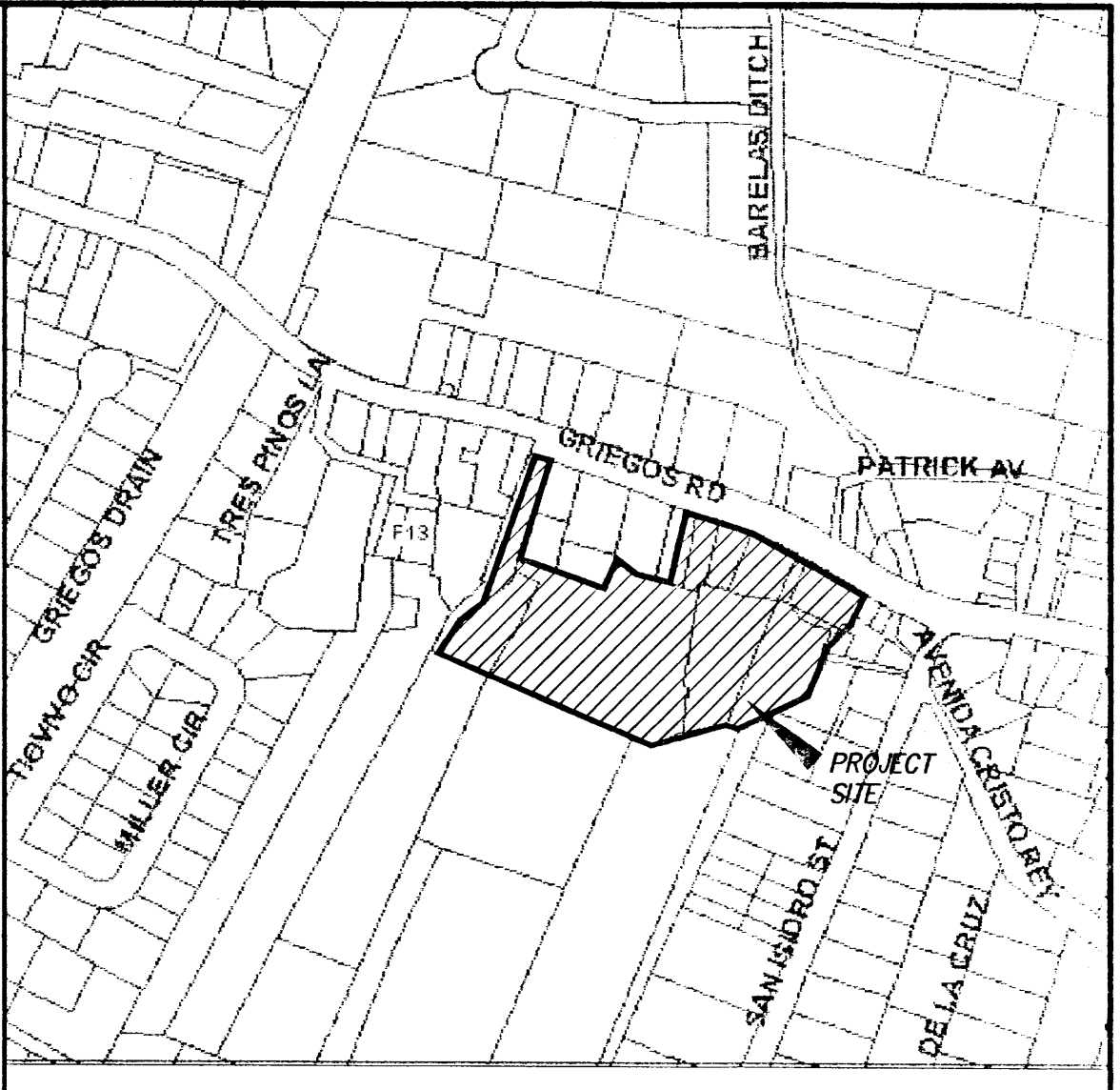
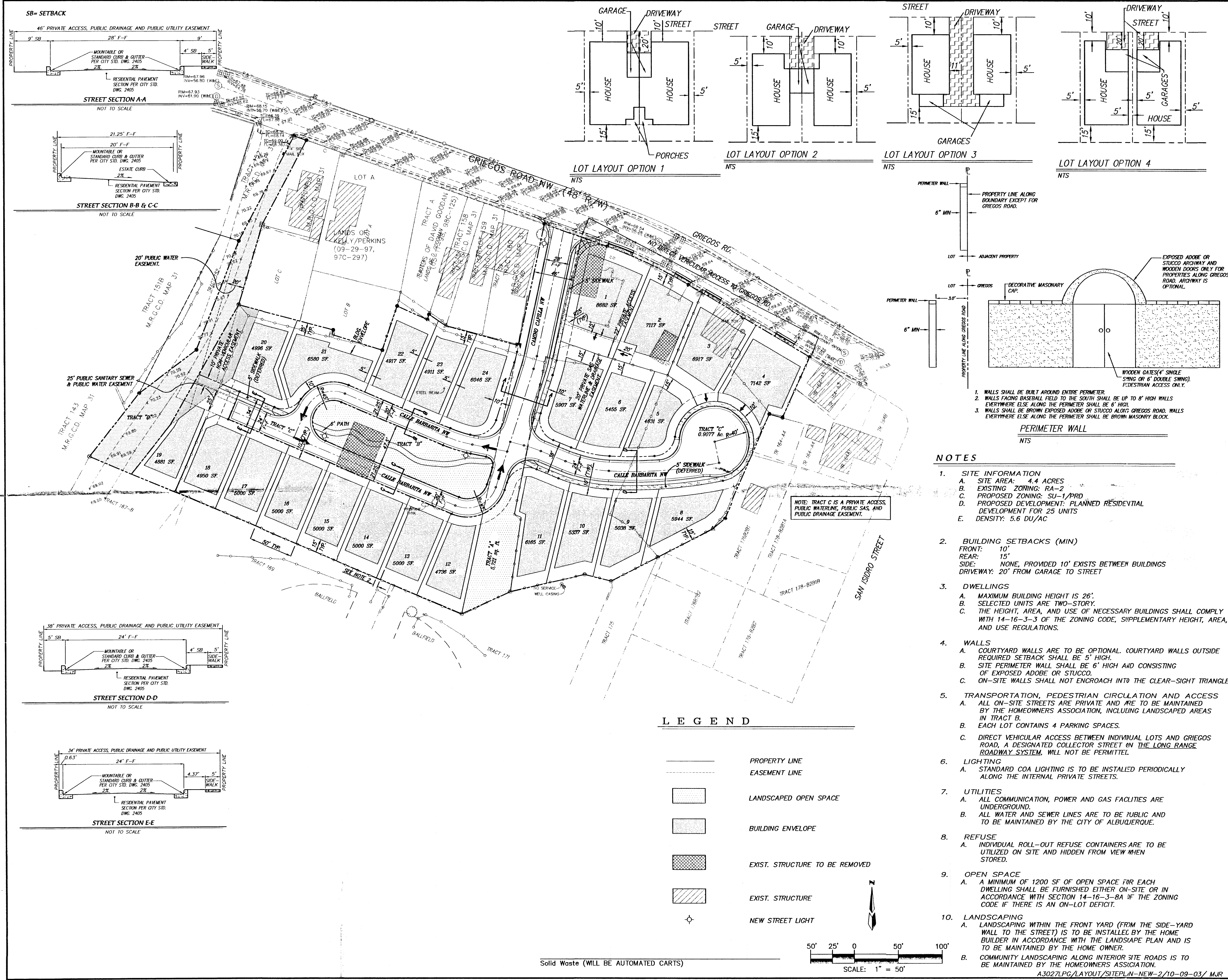
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **F-13-Z** SHEET **5** OF **5**

DESIGNED BY **ALD** DATE **09/03**
DRAWN BY **MJR** DATE **09/03**
CHECKED BY **DMG** DATE **09/03**



A3027LPG/A03027GD-1/09-19-03/ MJR



VICINITY MAP ZONE ATLAS F-13-Z SCALE: NONE

LEGAL DESCRIPTION

TRACTS 161-A, 163-A, 167-A, 162-B, 166-B, 161-B-1, 161-B-2, 166-A, 162-A, MRGCD MAP 31, ELENA GALLEGOS GRANT.

SUBDIVISION DATA

GROSS ACREAGE	4.7621 AC
ZONE ATLAS NO.	F-13-Z
NO. OF EXISTING TRACTS	9
NO. OF TRACTS/LOTS CREATED	3/24
NO. OF TRACTS ELIMINATED	9
ZONING	SU-1 FOR PDR
DATE OF SURVEY	JUNE 2003

OWNERS

LOS GRIEGOS DEVELOPMENT LLC. 3404 CARLISE NE ALBUQUERQUE, N.M. 87107 (505) 883-1674
 DANNY N. MARTINEZ MARLORENE S. MARTINEZ 515 EDITH NE ALBUQUERQUE, N.M. 87102

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200

SURVEYOR

ALDRICH LAND SURVEYING P.O. BOX 30701 ALBUQUERQUE, N.M. 87190-0701 (505) 884-1990

APPROVED AND ACCEPTED BY:

Project No. _____

DRB Application No. _____

Planning Department _____

City Engineer _____

Transportation Development _____

Utility Development _____

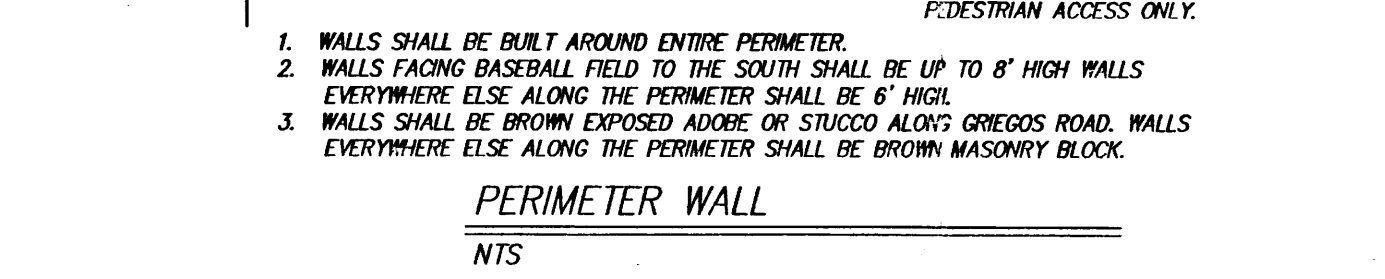
Parks and Recreation _____

EPC Case Planner _____

VILLA DE LA CAPILLA SITE PLAN FOR BUILDING PERMIT

dmg MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS
 P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539

Designed: ALD	Drawn: mjr	Checked: DMG	Sheet 2 of 5
Scale: 1" = 50'	Date: 10-09-03	Job: A03027	

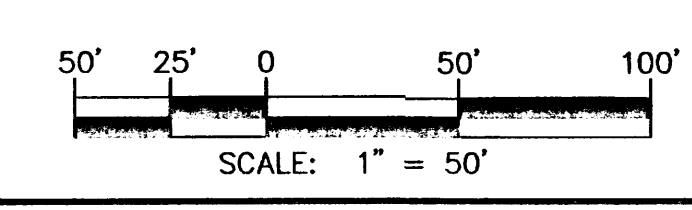


PERIMETER WALL NTS

- NOTES**
- SITE INFORMATION
 - SITE AREA: 4.4 ACRES
 - EXISTING ZONING: RA-2
 - PROPOSED ZONING: SU-1/PRD
 - PROPOSED DEVELOPMENT: PLANNED RESIDENTIAL DEVELOPMENT FOR 25 UNITS DENSITY: 5.6 DU/AC
 - BUILDING SETBACKS (MIN)
 - FRONT: 10'
 - REAR: 15'
 - SIDE: NONE, PROVIDED 10' EXISTS BETWEEN BUILDINGS
 - DRIVEWAY: 20' FROM GARAGE TO STREET
 - DWELLINGS
 - MAXIMUM BUILDING HEIGHT IS 26'
 - SELECTED UNITS ARE TWO-STORY.
 - THE HEIGHT, AREA, AND USE OF NECESSARY BUILDINGS SHALL COMPLY WITH 14-16-3-3 OF THE ZONING CODE, SUPPLEMENTARY HEIGHT, AREA, AND USE REGULATIONS.
 - WALLS
 - COURTYARD WALLS ARE TO BE OPTIONAL. COURTYARD WALLS OUTSIDE REQUIRED SETBACK SHALL BE 5' HIGH.
 - SITE PERIMETER WALL SHALL BE 6' HIGH AND CONSISTING OF EXPOSED ADOBE OR STUCCO.
 - ON-SITE WALLS SHALL NOT ENCRroach INTO THE CLEAR-SIGHT TRIANGLE.
 - TRANSPORTATION, PEDESTRIAN CIRCULATION AND ACCESS
 - ALL ON-SITE STREETS ARE PRIVATE AND ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, INCLUDING LANDSCAPED AREAS IN TRACT B.
 - EACH LOT CONTAINS 4 PARKING SPACES.
 - DIRECT VEHICULAR ACCESS BETWEEN INDIVIDUAL LOTS AND GRIEGOS ROAD, A DESIGNATED COLLECTOR STREET ON THE LONG RANGE ROADWAY SYSTEM, WILL NOT BE PERMITTED.
 - LIGHTING
 - STANDARD COA LIGHTING IS TO BE INSTALLED PERIODICALLY ALONG THE INTERNAL PRIVATE STREETS.
 - UTILITIES
 - ALL COMMUNICATION, POWER AND GAS FACILITIES ARE UNDERGROUND.
 - ALL WATER AND SEWER LINES ARE TO BE PUBLIC AND TO BE MAINTAINED BY THE CITY OF ALBUQUERQUE.
 - REFUSE
 - INDIVIDUAL ROLL-OUT REFUSE CONTAINERS ARE TO BE UTILIZED ON SITE AND HIDDEN FROM VIEW WHEN STORED.
 - OPEN SPACE
 - A MINIMUM OF 1200 SF OF OPEN SPACE FOR EACH DWELLING SHALL BE FURNISHED EITHER ON-SITE OR IN ACCORDANCE WITH SECTION 14-16-3-8A OF THE ZONING CODE IF THERE IS AN ON-LOT DEFICIT.
 - LANDSCAPING
 - LANDSCAPING WITHIN THE FRONT YARD (FROM THE SIDE-YARD WALL TO THE STREET) IS TO BE INSTALLED BY THE HOME BUILDER IN ACCORDANCE WITH THE LANDSCAPE PLAN AND IS TO BE MAINTAINED BY THE HOME OWNER.
 - COMMUNITY LANDSCAPING ALONG INTERIOR SITE ROADS IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

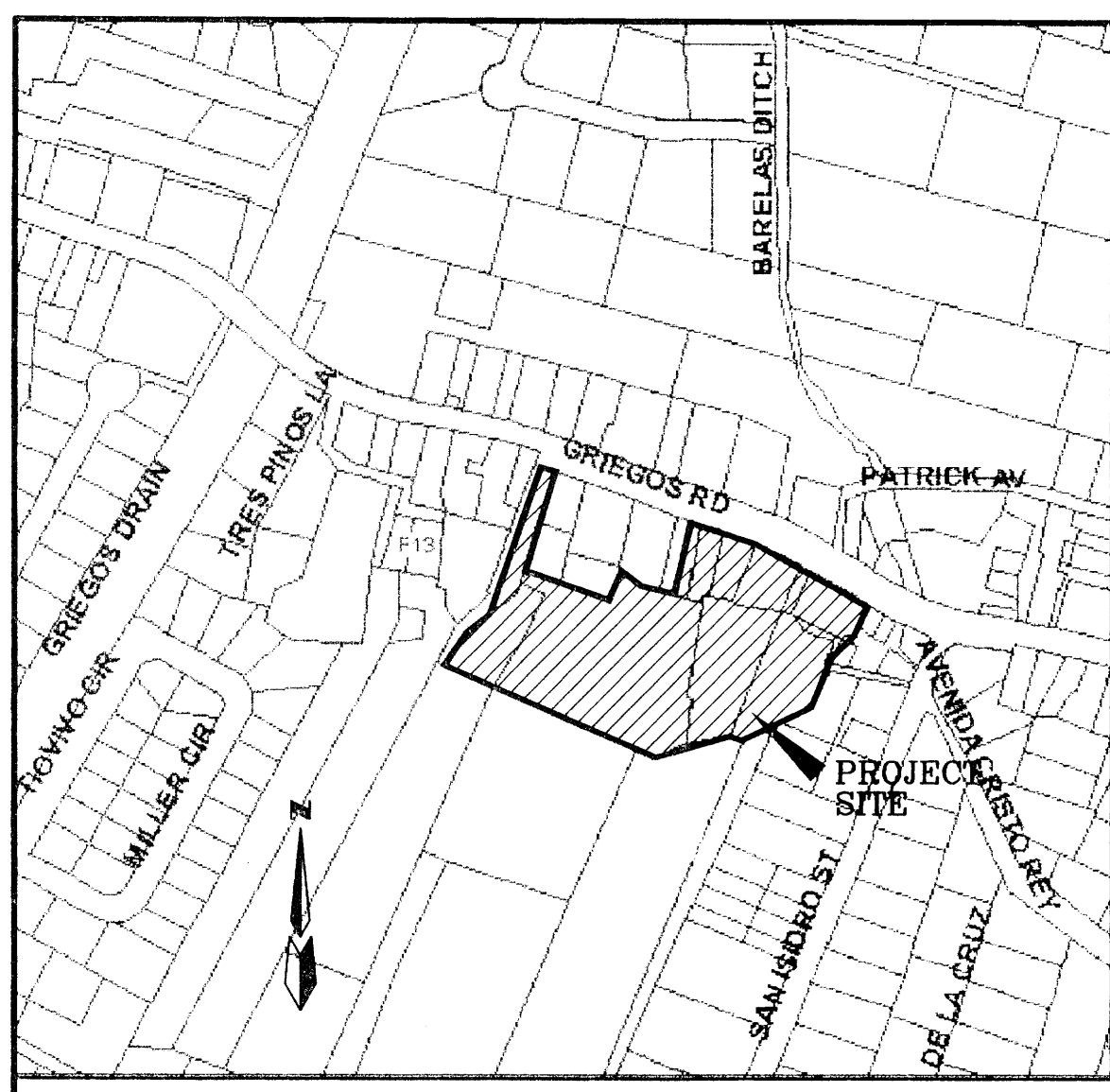
LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- LANDSCAPED OPEN SPACE
- BUILDING ENVELOPE
- ▨ EXIST. STRUCTURE TO BE REMOVED
- ▨ EXIST. STRUCTURE
- ◇ NEW STREET LIGHT



Solid Waste (WILL BE AUTOMATED CARTS)

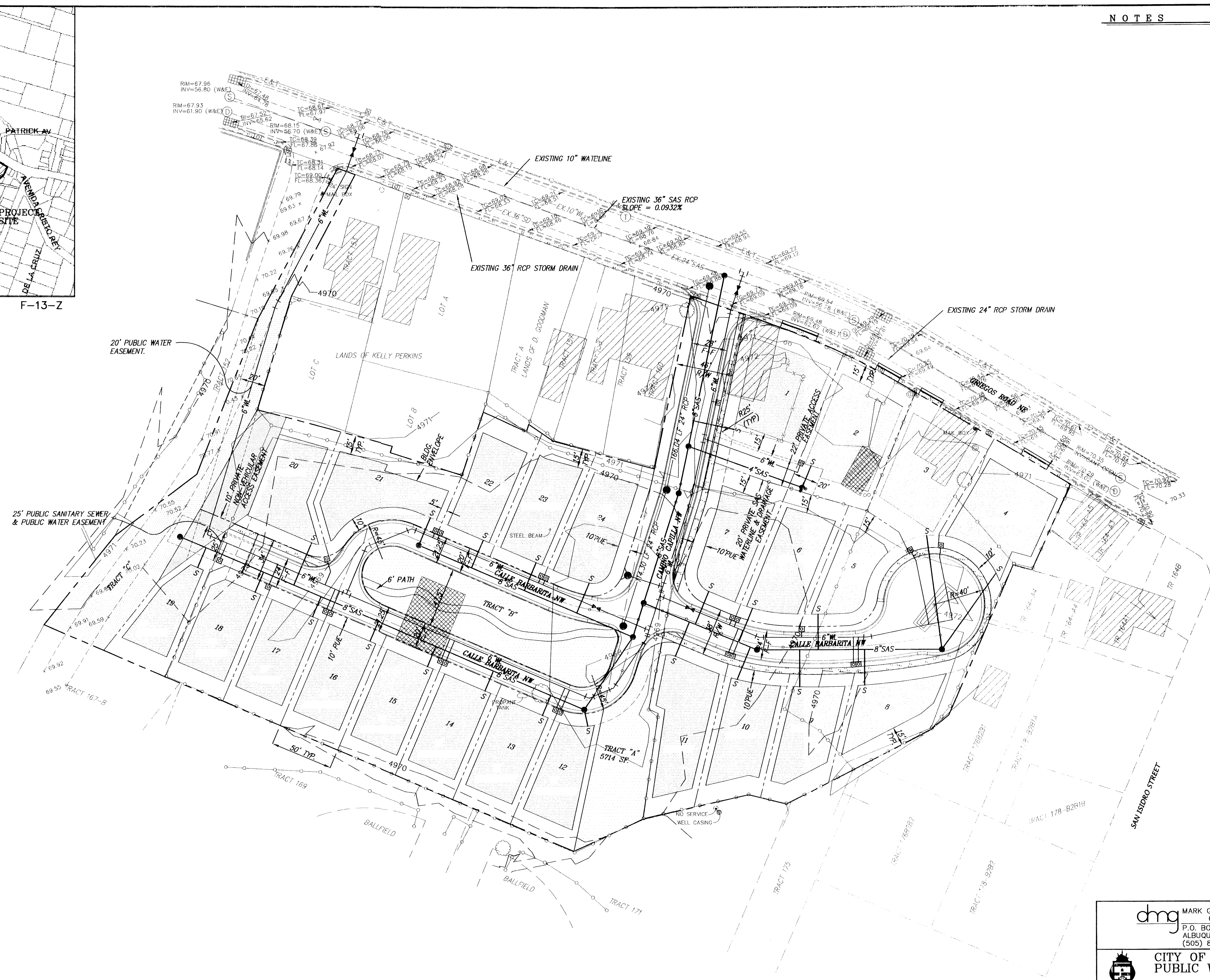
A.3027LPG/LAYOUT/SITEPLAN-NEW-2/10-09-03/MJR



LOCATION MAP F-13-Z

LEGEND

- 5190- CONTOUR (MAJOR)
- 5189- CONTOUR (MINOR)
- TC= FLOLINE TOP CURB
- FL= FLOLINE FLOLINE
- x 00.00 SPOT ELEV
- CHAIN LINK FENCE
- WOOD FENCE
- CURB AND GUTTER
- CONCRETE/SIDEWALK
- ADOBE WALL
- WOOD BOLLARD
- TRAFFIC SIGN
- TREE
- SANITARY SEWER MANHOLE
- CLEANOUT
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- E&T- OVERHEAD UTILITY LINES
- SERVICE POLE OVERHEAD ELECTRIC
- LIGHT POLE
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- GAS METER
- STORM DRAIN MANHOLE
- DROP INLET
- WHEEL CHAIR RAMP
- NEW SAS MANHOLE
- NEW SD MANHOLE
- 18 LOT NUMBER
- 8"SAS- NEW 8" SAS
- 6"WL- NEW 6" WATERLINE
- S NEW SEWER SERVICE
- NEW SINGLE WATER METER
- NEW DOUBLE WATER METER
- NEW SAS CLEANOUT
- NEW FIRE HYDRANT



NOTES

BENCH MARKS		AS BUILT INFORMATION	
CONTRACTOR	WORK	CONTRACTOR	DATE
STARTED BY	DATE	STARTED BY	DATE
ACCEPTED BY	DATE	ACCEPTED BY	DATE
FIELD NOTES	DATE	FIELD NOTES	DATE
NO.	BY	NO.	BY
REVISIONS	DATE	REVISIONS	DATE
DESIGNED BY	DATE	DESIGNED BY	DATE
DRAWN BY	DATE	DRAWN BY	DATE
CHECKED BY	DATE	CHECKED BY	DATE

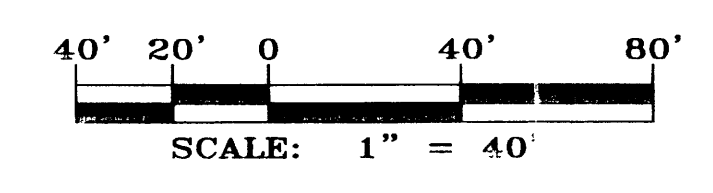
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

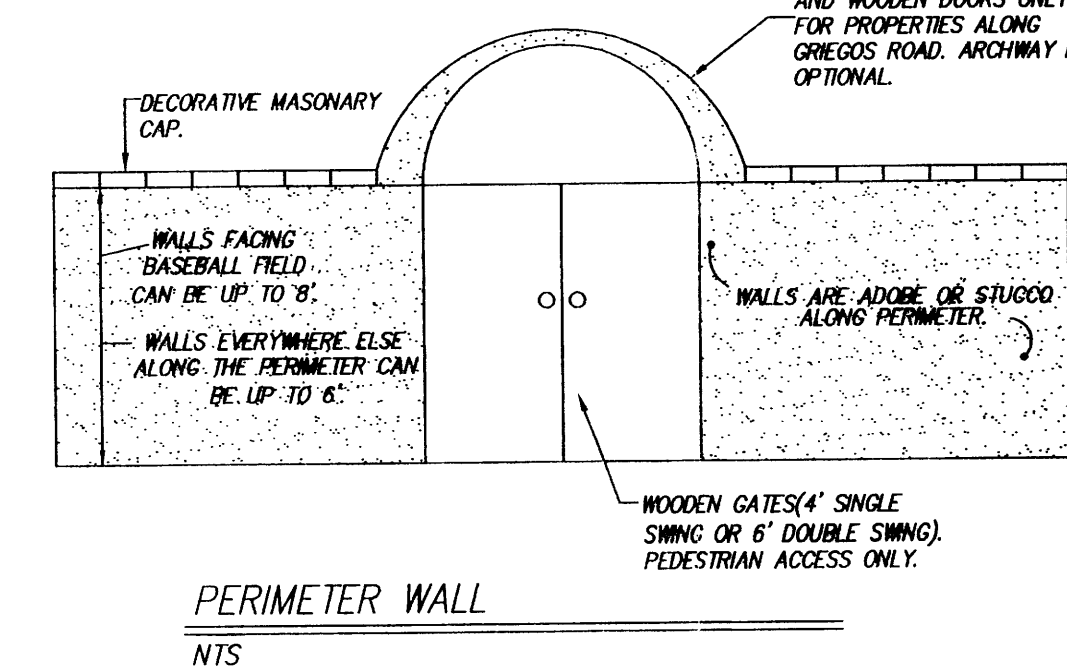
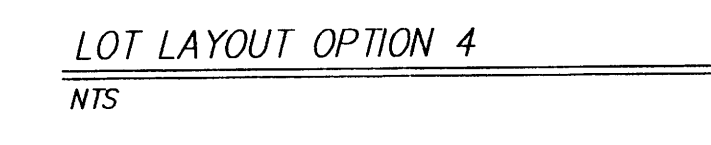
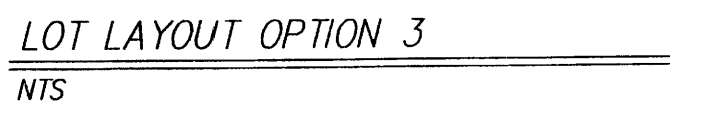
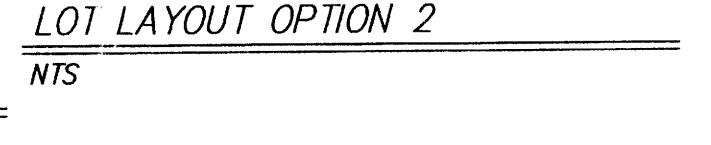
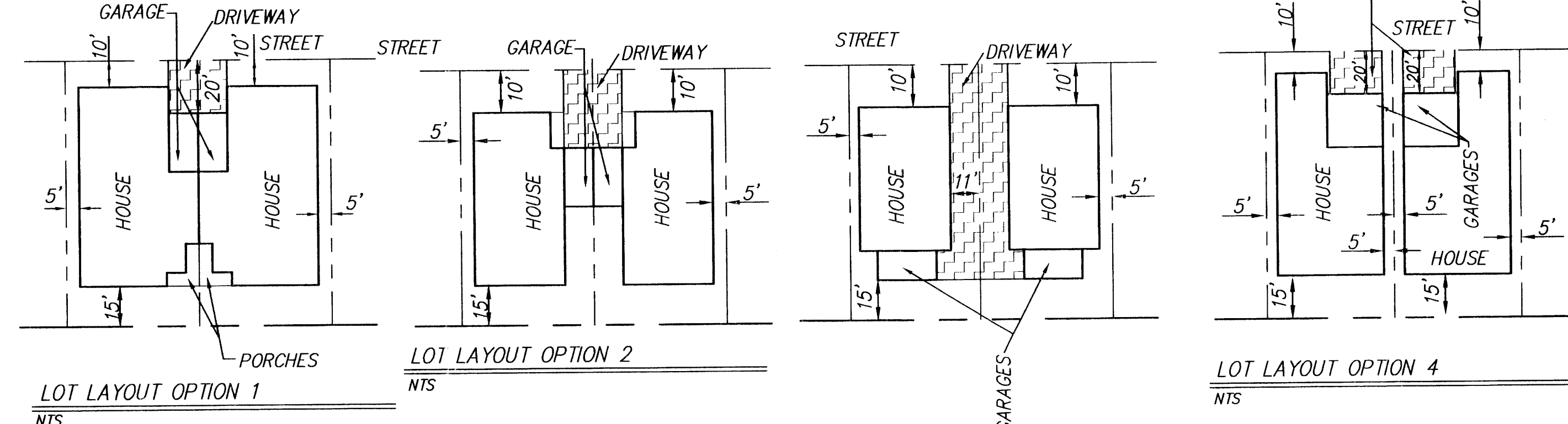
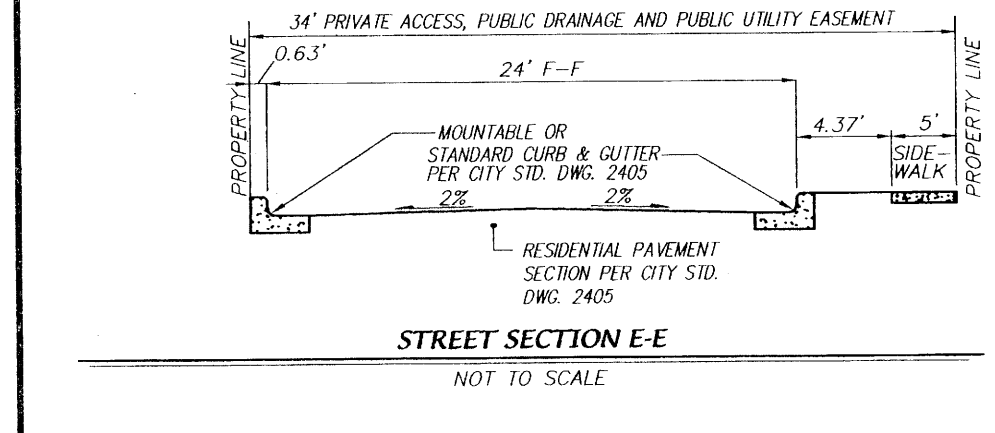
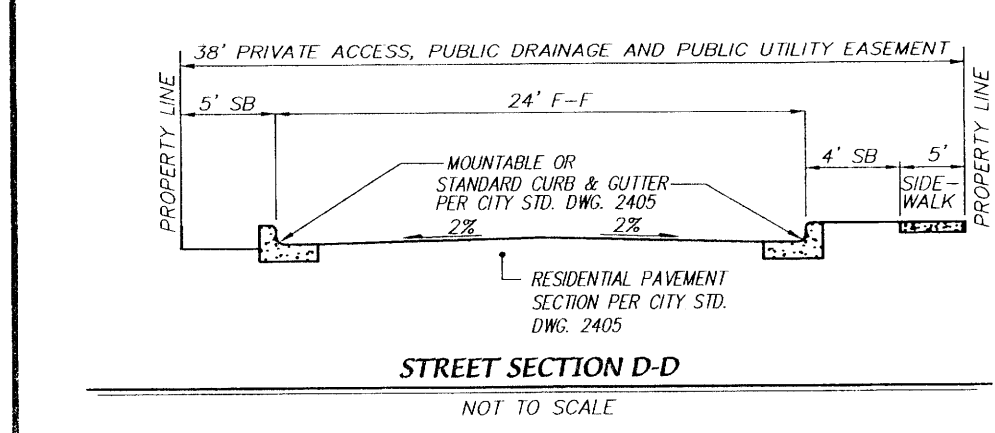
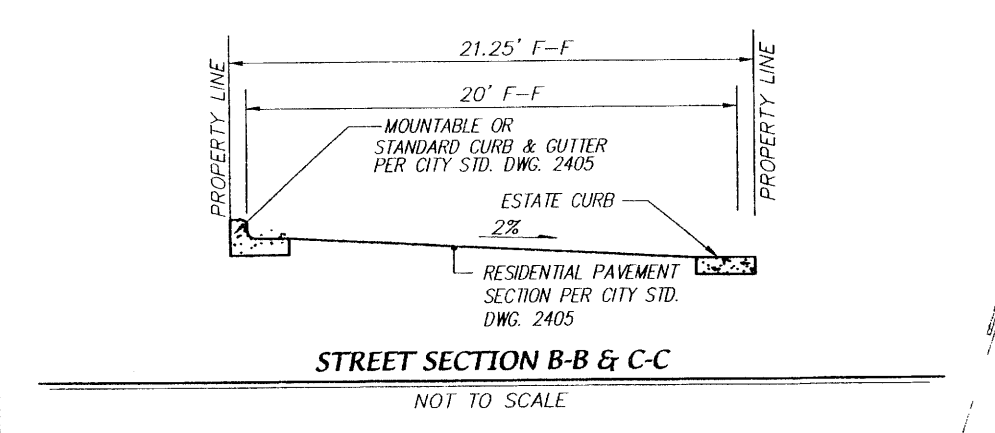
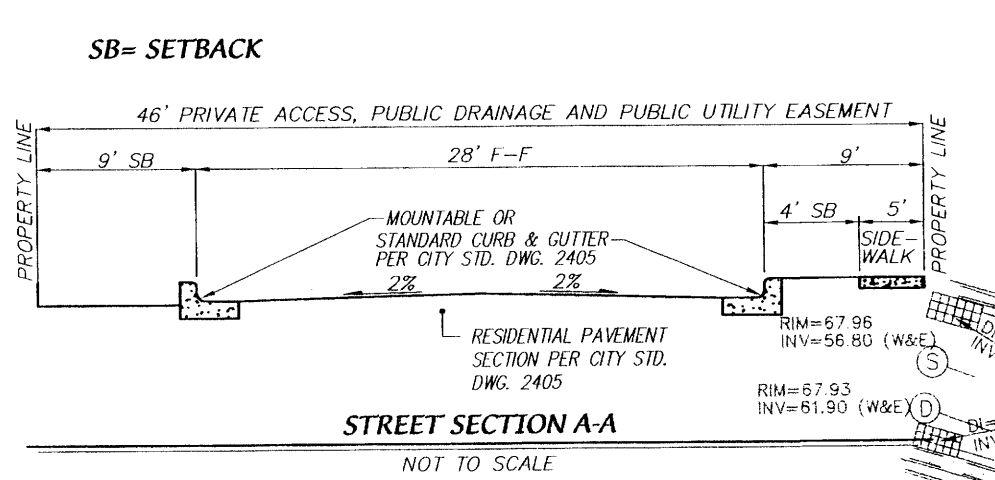
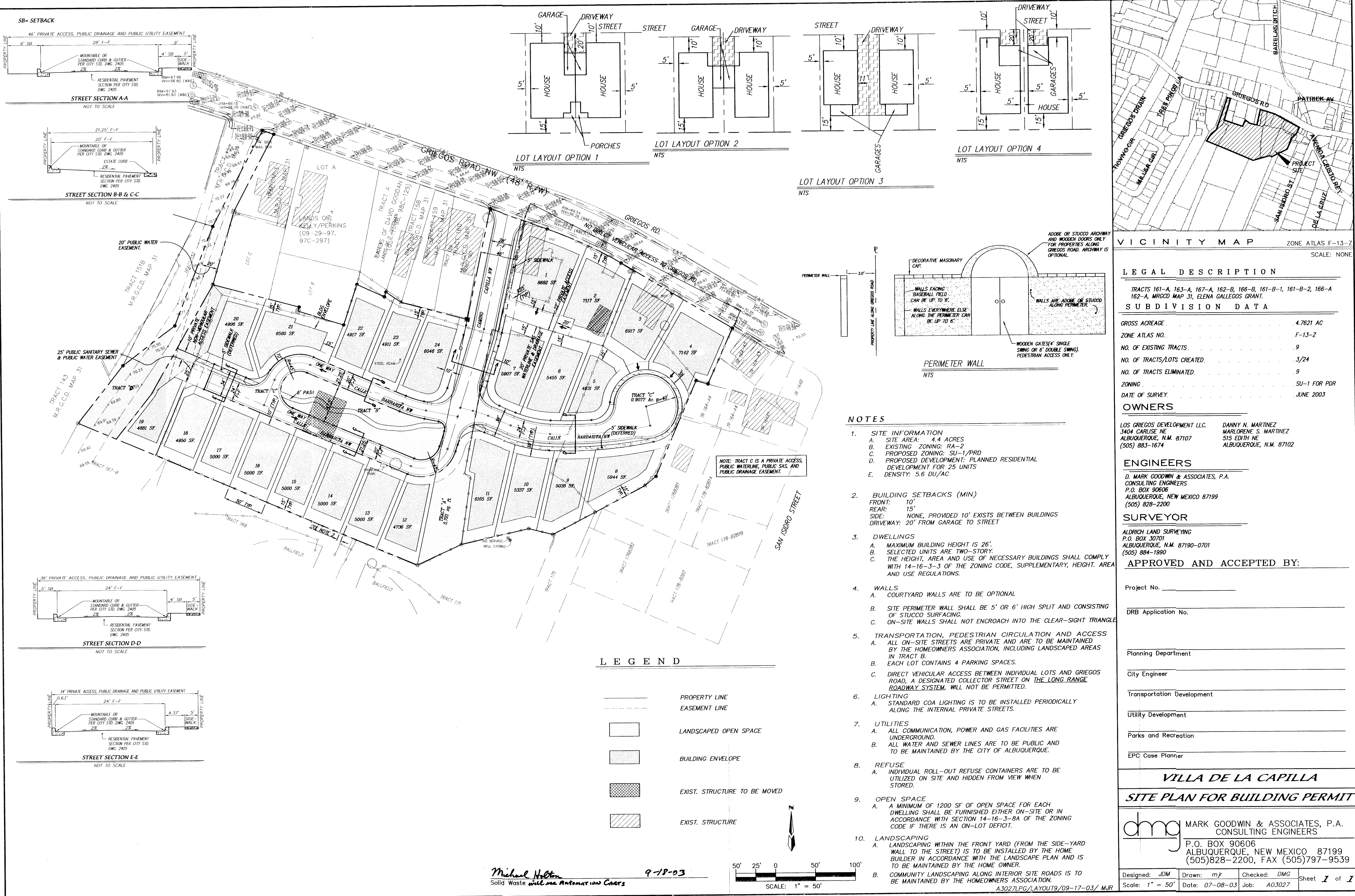
TITLE: **VILLA DE LA CAPILLA**
CONCEPTUAL MASTER UTILITY PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. _____ ZONE MAP NO. _____ SHEET OF _____
F-13-Z 4 of 5



A3027LPG/A03027-C-MUTIL/09-13-03/ MJR

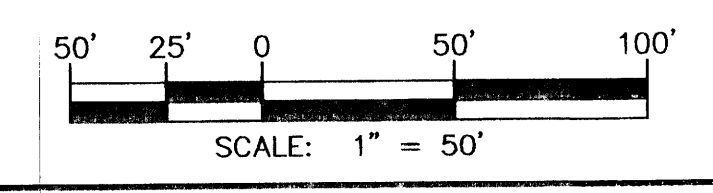


NOTES

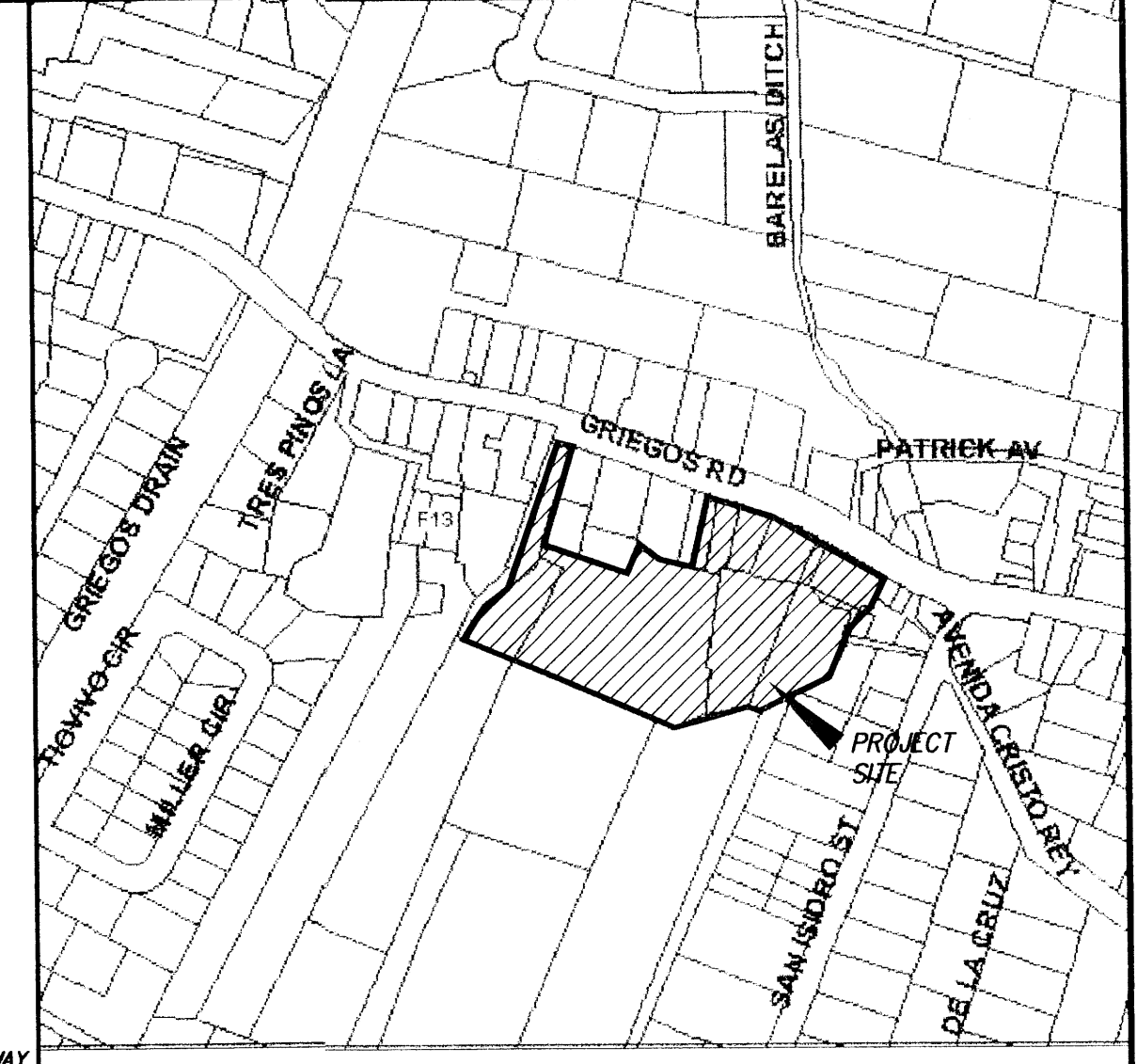
- SITE INFORMATION**
 - SITE AREA: 4.4 ACRES
 - EXISTING ZONING: RA-2
 - PROPOSED ZONING: SU-1/PRD
 - PROPOSED DEVELOPMENT: PLANNED RESIDENTIAL DEVELOPMENT FOR 25 UNITS
 - DENSITY: 5.6 DU/AC
- BUILDING SETBACKS (MIN)**
 - FRONT: 10'
 - REAR: 15'
 - SIDE: NONE, PROVIDED 10' EXISTS BETWEEN BUILDINGS
 - DRIVEWAY: 20' FROM GARAGE TO STREET
- DWELLINGS**
 - MAXIMUM BUILDING HEIGHT IS 26'
 - SELECTED UNITS ARE TWO-STORY
 - THE HEIGHT, AREA AND USE OF NECESSARY BUILDINGS SHALL COMPLY WITH 14-16-3-3 OF THE ZONING CODE, SUPPLEMENTARY, HEIGHT, AREA AND USE REGULATIONS.
- WALLS**
 - COURTYARD WALLS ARE TO BE OPTIONAL
 - SITE PERIMETER WALL SHALL BE 5' OR 6' HIGH SPLIT AND CONSISTING OF STUCCO SURFACING.
 - ON-SITE WALLS SHALL NOT ENCROACH INTO THE CLEAR-SIGHT TRIANGLE
- TRANSPORTATION, PEDESTRIAN CIRCULATION AND ACCESS**
 - ALL ON-SITE STREETS ARE PRIVATE AND ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, INCLUDING LANDSCAPED AREAS IN TRACT B.
 - EACH LOT CONTAINS 4 PARKING SPACES.
 - DIRECT VEHICULAR ACCESS BETWEEN INDIVIDUAL LOTS AND GRIEGOS ROAD, A DESIGNATED COLLECTOR STREET ON THE LONG RANGE ROADWAY SYSTEM, WILL NOT BE PERMITTED.
- LIGHTING**
 - STANDARD COA LIGHTING IS TO BE INSTALLED PERIODICALLY ALONG THE INTERNAL PRIVATE STREETS.
- UTILITIES**
 - ALL COMMUNICATION, POWER AND GAS FACILITIES ARE UNDERGROUND.
 - ALL WATER AND SEWER LINES ARE TO BE PUBLIC AND TO BE MAINTAINED BY THE CITY OF ALBUQUERQUE.
- REFUSE**
 - INDIVIDUAL ROLL-OUT REFUSE CONTAINERS ARE TO BE UTILIZED ON SITE AND HIDDEN FROM VIEW WHEN STORED.
- OPEN SPACE**
 - A MINIMUM OF 1200 SF OF OPEN SPACE FOR EACH DWELLING SHALL BE FURNISHED EITHER ON-SITE OR IN ACCORDANCE WITH SECTION 14-16-3-8A OF THE ZONING CODE IF THERE IS AN ON-LOT DEFICIT.
- LANDSCAPING**
 - LANDSCAPING WITHIN THE FRONT YARD (FROM THE SIDE-YARD WALL TO THE STREET) IS TO BE INSTALLED BY THE HOME BUILDER IN ACCORDANCE WITH THE LANDSCAPE PLAN AND IS TO BE MAINTAINED BY THE HOME OWNER.
 - COMMUNITY LANDSCAPING ALONG INTERIOR SITE ROADS IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- LANDSCAPED OPEN SPACE
- BUILDING ENVELOPE
- EXIST. STRUCTURE TO BE MOVED
- EXIST. STRUCTURE



Michael Holton 9-18-03
Solid Waste will use Automated Cans



VICINITY MAP ZONE ATLAS F-13-Z SCALE: NONE

LEGAL DESCRIPTION

TRACTS 161-A, 163-A, 167-A, 162-B, 166-B, 161-B-1, 161-B-2, 166-A, 162-A, MRGCD MAP 31, ELENA GALLEGOS GRANT.

SUBDIVISION DATA

GROSS ACREAGE	4.7621 AC
ZONE ATLAS NO.	F-13-Z
NO. OF EXISTING TRACTS	9
NO. OF TRACTS/LOTS CREATED	3/24
NO. OF TRACTS ELIMINATED	9
ZONING	SU-1 FOR PDR
DATE OF SURVEY	JUNE 2003

OWNERS

LOS GRIEGOS DEVELOPMENT LLC. 3404 CARLISE NE ALBUQUERQUE, N.M. 87107 (505) 883-1674
DANNY N. MARTINEZ MARLORENE S. MARTINEZ 515 EDITH NE ALBUQUERQUE, N.M. 87102

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200

SURVEYOR

ALDRICH LAND SURVEYING P.O. BOX 30701 ALBUQUERQUE, N.M. 87190-0701 (505) 884-1990

APPROVED AND ACCEPTED BY:

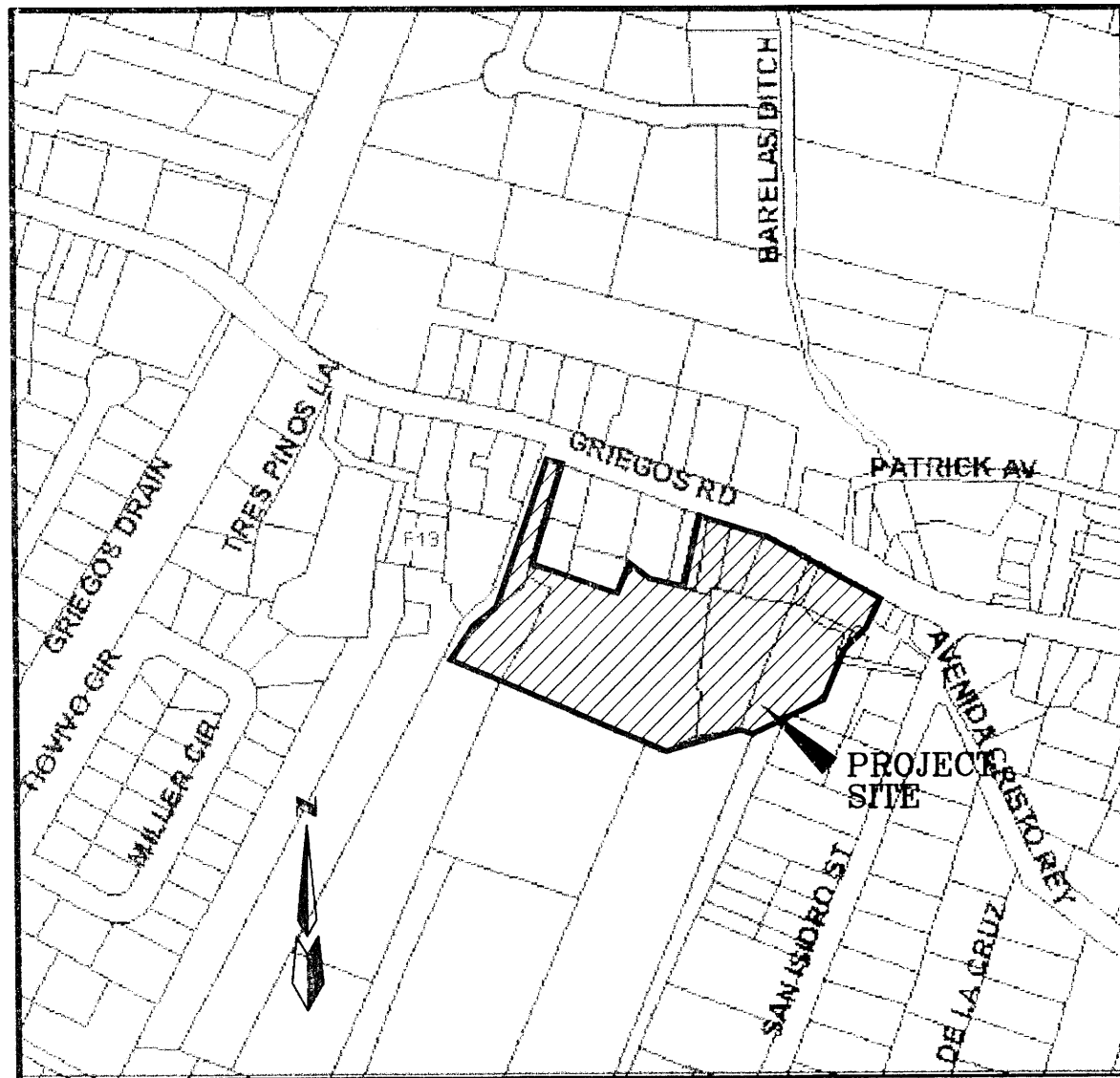
Project No. _____
 DRB Application No. _____
 Planning Department _____
 City Engineer _____
 Transportation Development _____
 Utility Development _____
 Parks and Recreation _____
 EPC Case Planner _____

VILLA DE LA CAPILLA
SITE PLAN FOR BUILDING PERMIT

dmg MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS
 P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539

Designed: JDM	Drawn: mJ	Checked: DMG	Sheet 1 of 1
Scale: 1" = 50'	Date: 07-08-03	Job: A03027	

A3027PG/LAYOUT9/07-19-03/MJR



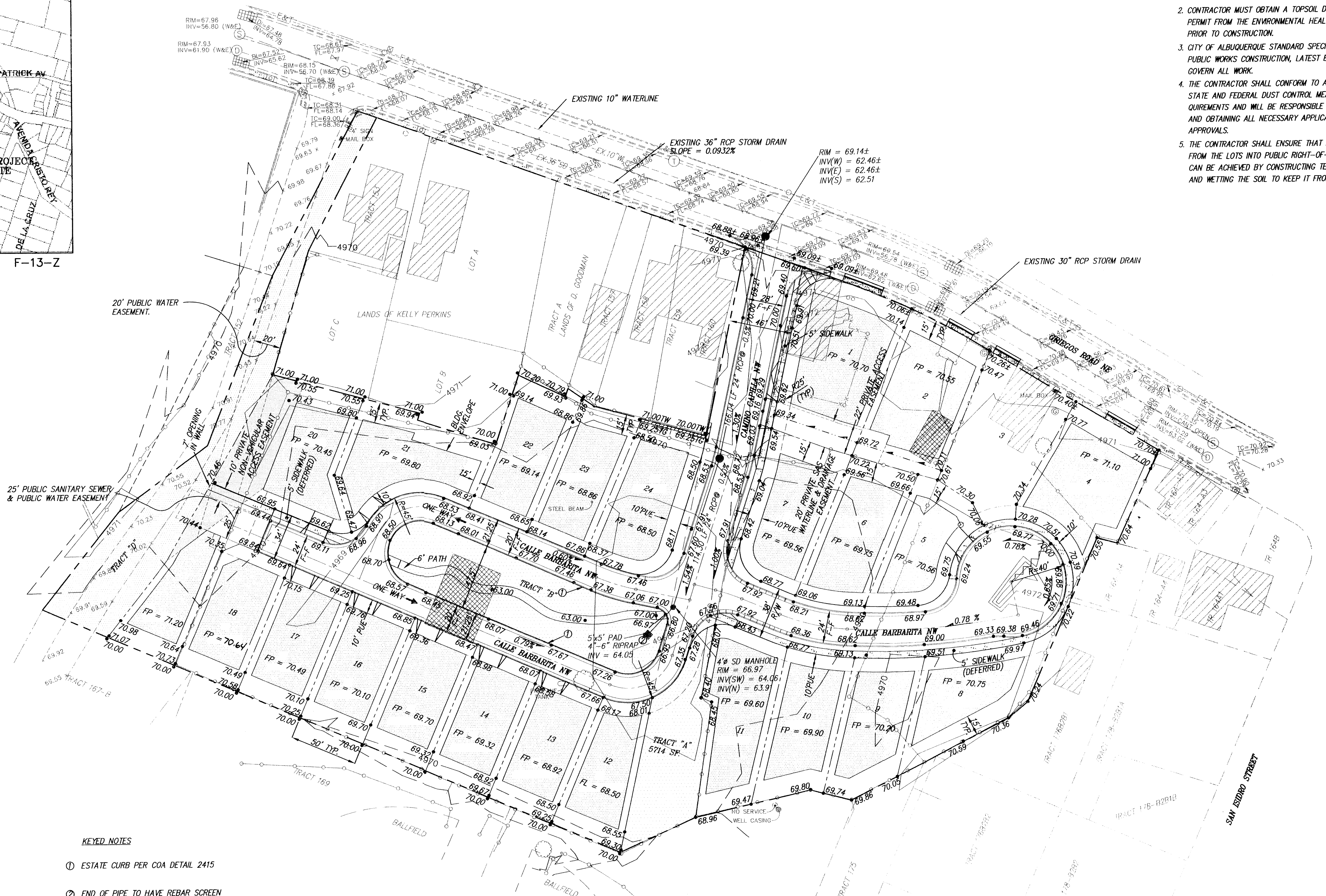
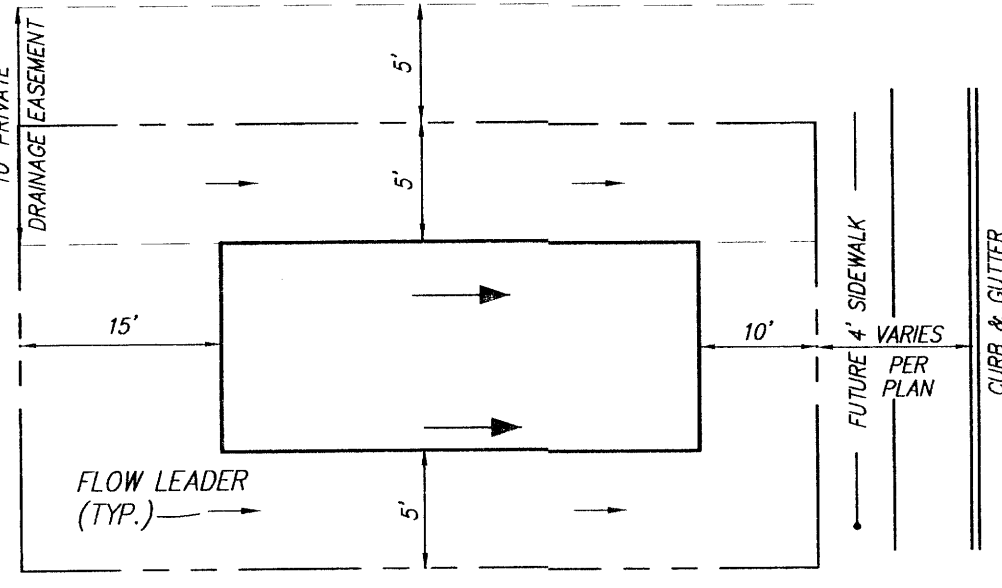
LOCATION MAP F-13-Z

LEGEND

- 5190- CONTOUR (MAJOR)
- 5189- CONTOUR (MINOR)
- TC= TOP CURB
- FL= FLOWLINE
- SPOT ELEV
- CHAIN LINK FENCE
- WOOD FENCE
- CURB AND GUTTER
- CONCRETE/SIDEWALK
- ADOBE WALL
- WOOD BOLLARD
- TRAFFIC SIGN
- TREE
- SANITARY SEWER MANHOLE
- CLEANOUT
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- E&T- OVERHEAD UTILITY LINES
- SERVICE POLE OVERHEAD ELECTRIC
- LIGHT POLE
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- GAS METER
- STORM DRAIN MANHOLE
- DROP INLET
- WHEEL CHAIR RAMP
- NEW SPOT ELEVATION
- FP = 0.00 FINISH PAD ELEVATION
- 18 LOT NUMBER
- FLOW DIRECTION
- STANDARD CURB & GUTTER
- NEW RETAINING WALL
- 71.00TW TOP OF WALL ELEVATION
- 69.00TG TOP OF GROUND ELEVATION
- MOUNTABLE CURB & GUTTER

KEYED NOTES

- ① ESTATE CURB PER COA DETAIL 2415
- ② END OF PIPE TO HAVE REBAR SCREEN TO PREVENT ACCESS.



NOTES

1. OFFSITE FLOWS WILL BE ROUTED ALONG THE RETAINING WALL ON THE PROPERTY LINE TO THE R.O.W. OR ARROYO.
2. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
3. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
4. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
5. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	INSPECTOR'S DATE	FIELD PREPARE BY	NO.	BY	REMARKS	DATE

MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT

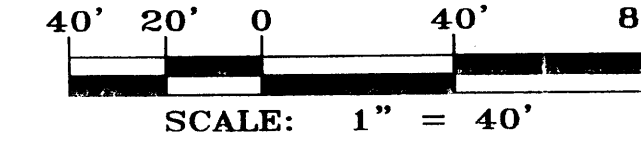
TITLE: **VILLA DE LA CAPILLA GRADING AND DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE: CITY ENGINEER APPROVAL

LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. ZONE MAP NO. SHEET OF

F-13-Z



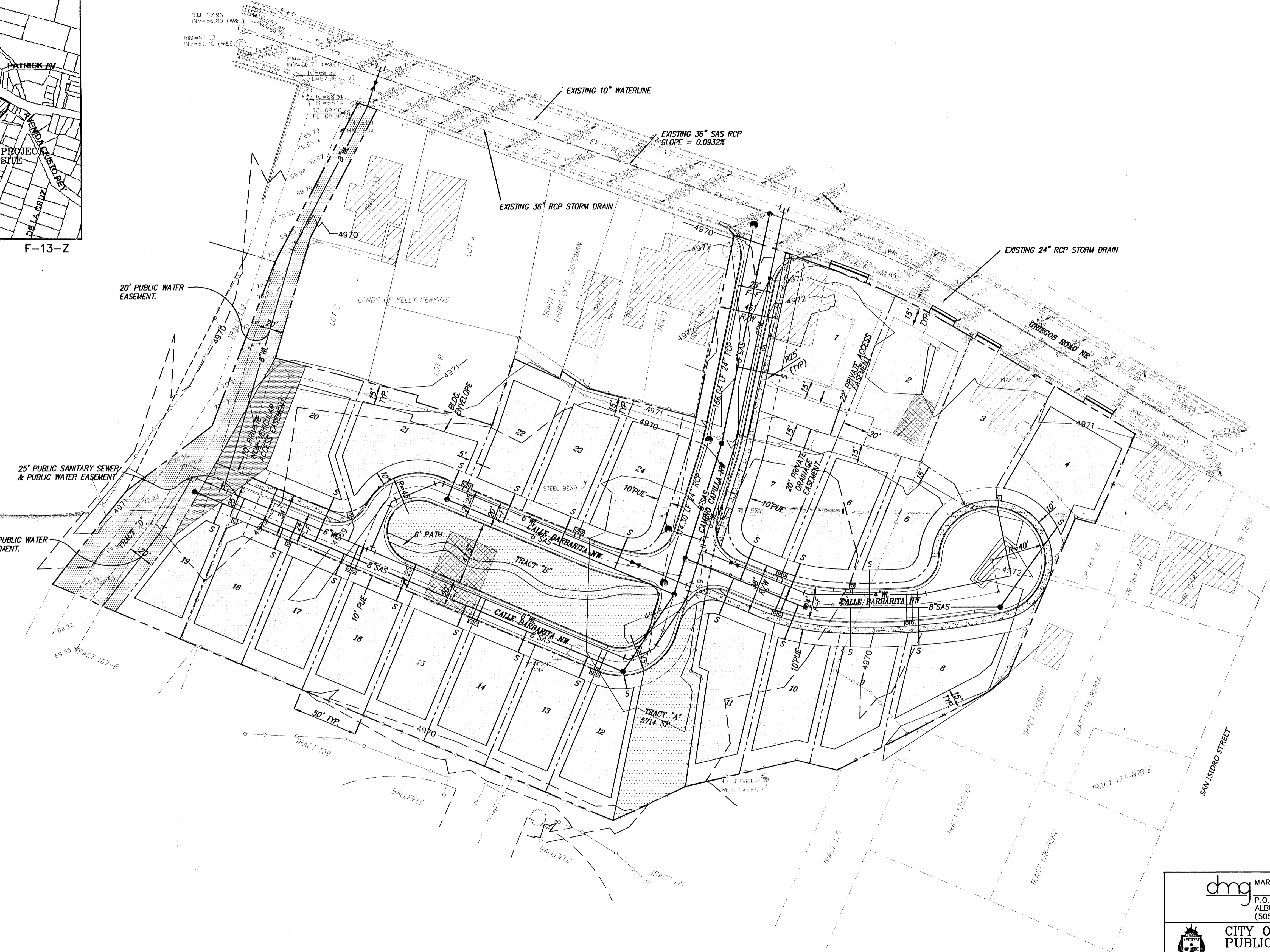
A3027LPG/A03027GD-1/09-19-03/ MJR



LOCATION MAP F-13-Z

LEGEND

- 5190- CONTOUR (MAJOR)
- 5189- CONTOUR (MINOR)
- TC — TOP CURB
- FL — FLOWLINE
- 60.00 SPOT ELEV
- CHAIN LINK FENCE
- WOOD FENCE
- CURB AND GUTTER
- CONCRETE/SIDEWALK
- ADOBE WALL
- WOOD BOLLARD
- ▲ TRAFFIC SIGN
- TREE
- SANITARY SEWER MANHOLE
- CLEANOUT
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- E&T — OVERHEAD UTILITY LINES
- SERVICE POLE OVERHEAD ELECTRIC
- LIGHT POLE
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- GAS METER
- STORM DRAIN MANHOLE
- DROP INLET
- WHEEL CHAIR RAMP
- NEW SAS MANHOLE
- NEW SD MANHOLE
- 18 LOT NUMBER
- 8"SAS — NEW 8" SAS
- 6"WL — NEW 6" WATERLINE
- S NEW SEWER SERVICE
- NEW SINGLE WATER METER
- NEW DOUBLE WATER METER
- NEW SAS CLEANOUT
- NEW FIRE HYDRANT



NOTES

AS BUILT INFORMATION	
CONTRACTOR	DATE
STAKED BY	DATE
INSPECTOR'S	DATE
FULL EXAMINE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
THE STATION IS LOCATED 3.7 MILES NORTH OF DOWNTOWN ALBUQUERQUE, AT THE N.E. CORNER OF THE INTERSECTION OF GREGGOS ROAD NW AND RIO GRANDE BLVD NE. TO REACH THIS STATION FROM THE INTERCHANGE AT I-40 AND RIO GRANDE NW, GO NORTH ON RIO GRANDE 2.3 MILES TO THE STATION ON THE RT. THE STATION IS A STAMPED ACS CAP STAMPED "11-F13R 1985". SET IN TOP OF SIDEWALK. ELEVATION = 4971.00 IN FEET. (SLD 1929)	

SURVEY INFORMATION	
FIELD NOTES	BY
NO.	
DATE	
REVISIONS	BY
DESIGN	DATE
DATE	09/03
DATE	09/03
DATE	09/03

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

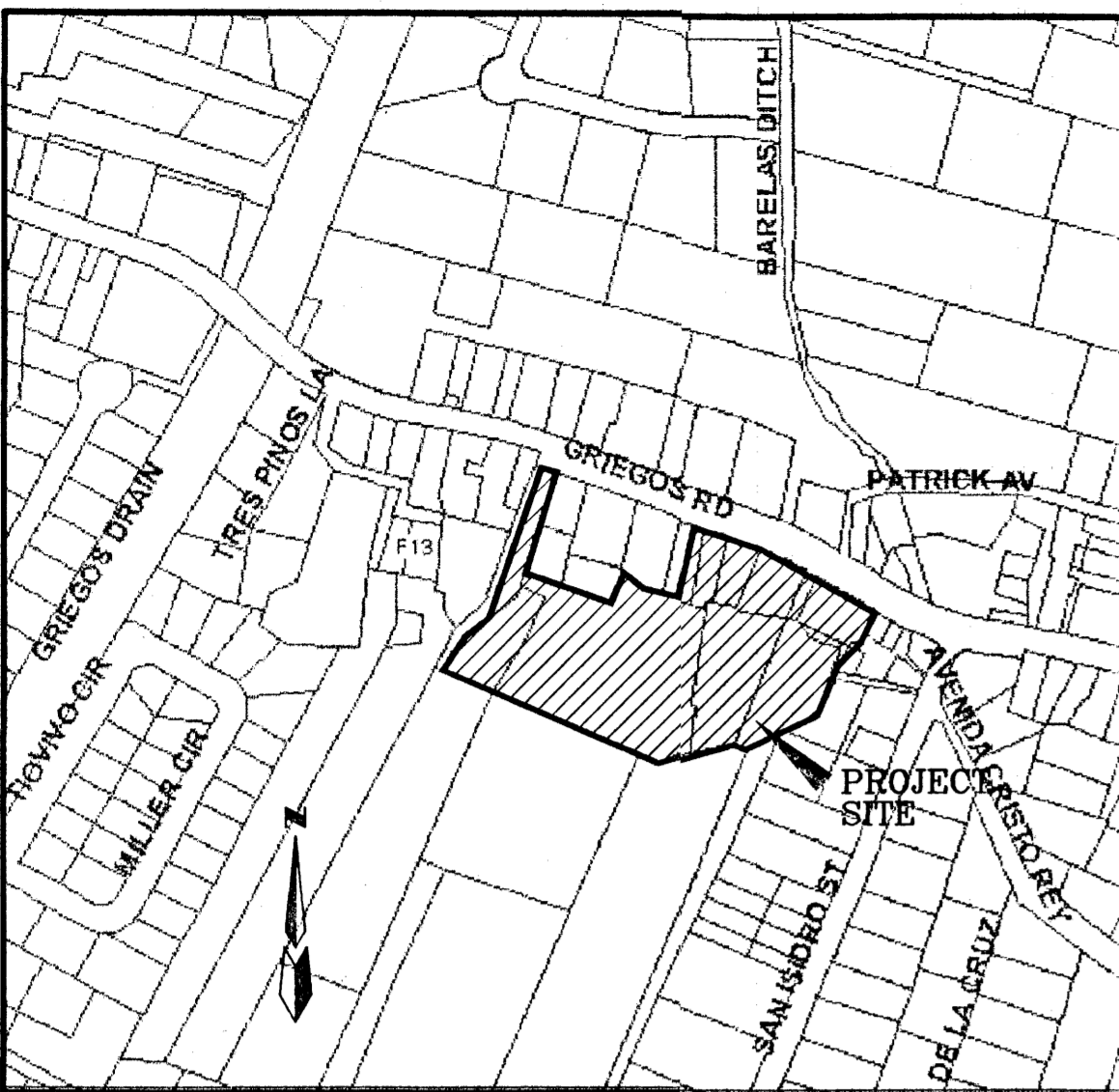
TITLE: **VILLA DE LA CAPILLA**
CONCEPTUAL MASTER UTILITY PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. _____ SHEET **1** OF **1**

SCALE: 1" = 40'

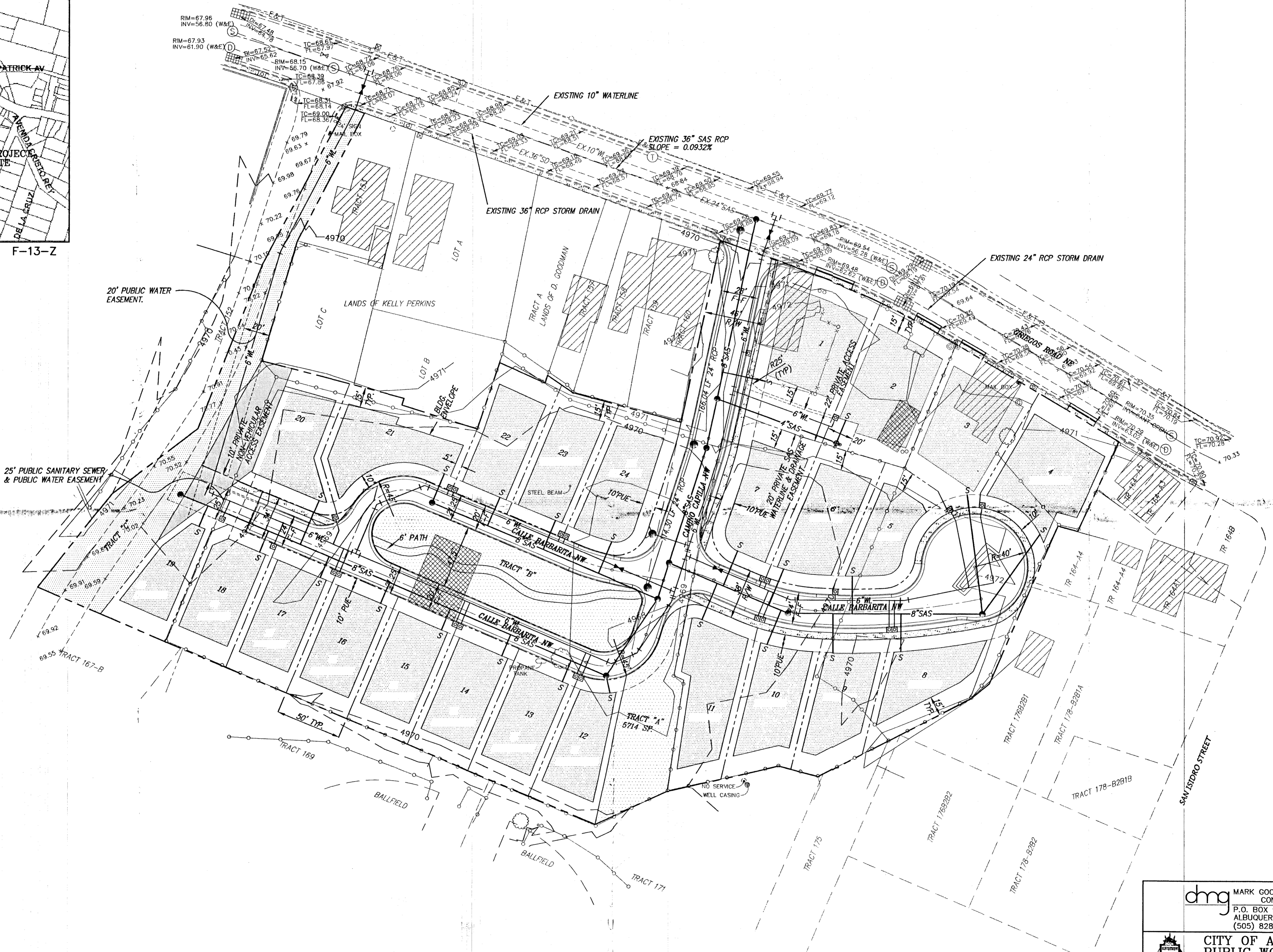
A3027LPG/A03027-C-MUTIL/09-18-03/ MJR



LOCATION MAP F-13-Z

LEGEND

- 5190 - CONTOUR (MAJOR)
- 5189 - CONTOUR (MINOR)
- TC= TOP CURB
- FL= FLOWLINE
- x 00.00 SPOT ELEV
- CHAIN LINK FENCE
- x x WOOD FENCE
- CURB AND GUTTER
- CONCRETE/SIDEWALK
- ADOBE WALL
- WOOD BOLLARD
- ▲ TRAFFIC SIGN
- TREE
- SANITARY SEWER MANHOLE
- CLEANOUT
- x WATER VALVE
- FIRE HYDRANT
- WATER METER
- E&T- OVERHEAD UTILITY LINES
- SERVICE POLE OVERHEAD ELECTRIC
- LIGHT POLE
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- GAS METER
- STORM DRAIN MANHOLE
- DROP INLET
- WHEEL CHAIR RAMP
- NEW SAS MANHOLE
- NEW SD MANHOLE
- 18 LOT NUMBER
- 8"SAS- NEW 8" SAS
- 6"WL- NEW 6" WATERLINE
- S NEW SEWER SERVICE
- NEW SINGLE WATER METER
- NEW DOUBLE WATER METER
- NEW SAS CLEANOUT
- NEW FIRE HYDRANT



NOTES

AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
INSPECTOR'S BY	DATE
FIELD CHANGE BY	DATE
VERIFICATION BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
THE STATION IS LOCATED 3.7 MILES NORTH OF DOWNTOWN ALBUQUERQUE, AT THE N.E. CORNER OF THE INTERSECTION OF GRIEGOS ROAD NW AND RIO GRANDE BLVD NE. TO REACH THIS STATION FROM THE INTERCHANGE AT 1-40 AND RIO GRANDE NW, GO NORTH ON RIO GRANDE 2.3 MILES TO THE STATION ON THE R.T. THE STATION IS A STAMPED ACS CAP STAMPED "11-F13R 1985". SET IN TOP OF SIDEWALK. ELEVATION = 4971.00 IN FEET. (SLD 1929)	

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

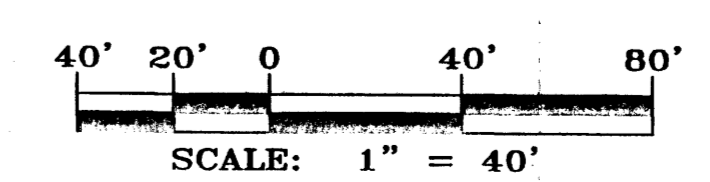
ENGINEER'S SEAL	
NO.	DATE
REMARKS	BY
REVISIONS	DESIGN
DESIGNED BY: ALD	DATE: 09/03
DRAWN BY: MJR	DATE: 09/03
CHECKED BY: DMG	DATE: 09/03

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **VILLA DE LA CAPILLA**
CONCEPTUAL MASTER UTILITY PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.	MO./DAY/YR.



A3027LPG/A03027-C-MUTIL/09-18-03/ MJR

FOR PLANNING