

#3



DRB CASE ACTION LOG

REVISED 10/08/07

(Final / Final)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70215 Project # 7002567
 Project Name: Hacienda De Lois
 Agent: Advanced Engineering & Consulting LLC Phone No.: _____

Your request was approved on 5-7-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): want 15 day appeal period

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required. *OK*
 - Copy of recorded plat for Planning.

Created On:

#3



DRB CASE ACTION LOG
REVISED 10/08/07

(Final / Final)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70215 Project # 7002567
Project Name: Hacienda De Lois
Agent: Advanced Engineering & Consulting LLC Phone No.:

Your request was approved on 5-14-08 by the DRB with delegation of signature(s) to the following departments.

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UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

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 - Copy of recorded plat for Planning.**

Created On:

2567

DXF Electronic Approval Form

DRB Project Case #: 1002567

Subdivision Name: COLEMAN ADDN LOT 5A1A

Surveyor: LEONARD G MARTINEZ

Contact Person: SHAKEEL RIZUI

Contact Information: 899-5570

DXF Received: 5/13/2008

Hard Copy Received: 5/13/2008

Coordinate System: NMSP Grid (NAD 83)


Approved

05.13.2008
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc 2567 to agiscov on 5/14/2008 Contact person notified on 5/14/2008



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 14, 2008

Project# 1002567

08DRB-70184 VACATION OF PUBLIC EASEMENT

08DRB-70185 VACATION OF PRIVATE EASEMENT

ADVANCED ENGINEERING AND CONSULTING, LLC agent(s) for STEVE KIRK request(s) the above/ referenced action(s) for a 34 foot Private Access and Drainage Easement, a 10 foot Public Utility Easement, and a 25 foot Public Water and Sewer Easement, all or a portion on Lot(s) 1-11, **HACIENDA DE LOIS**, zoned R-2, located on the west side of 12TH ST NW BETWEEN MENAUL BLVD NW AND LA POBLANA RD NW containing approximately 0.8544 acre(s). (H-13)

At the May 14, 2008 Development Review Board meeting, the vacations were approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance.

(A)(1) The public utility easement vacation requests were filed by the owners of a majority of the footage of land abutting the proposed vacation.

(B)(1) The public welfare is in no way served by retaining the public utility easements.

(B)(3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

08DRB-70215 PRELIMINARY/FINAL PLAT

The Preliminary/Final Plat was approved with final sign-off delegated to planning for 15 day appeal period and to record.

If you wish to appeal this decision, you must do so by May 29, 2008 in the manner described below.

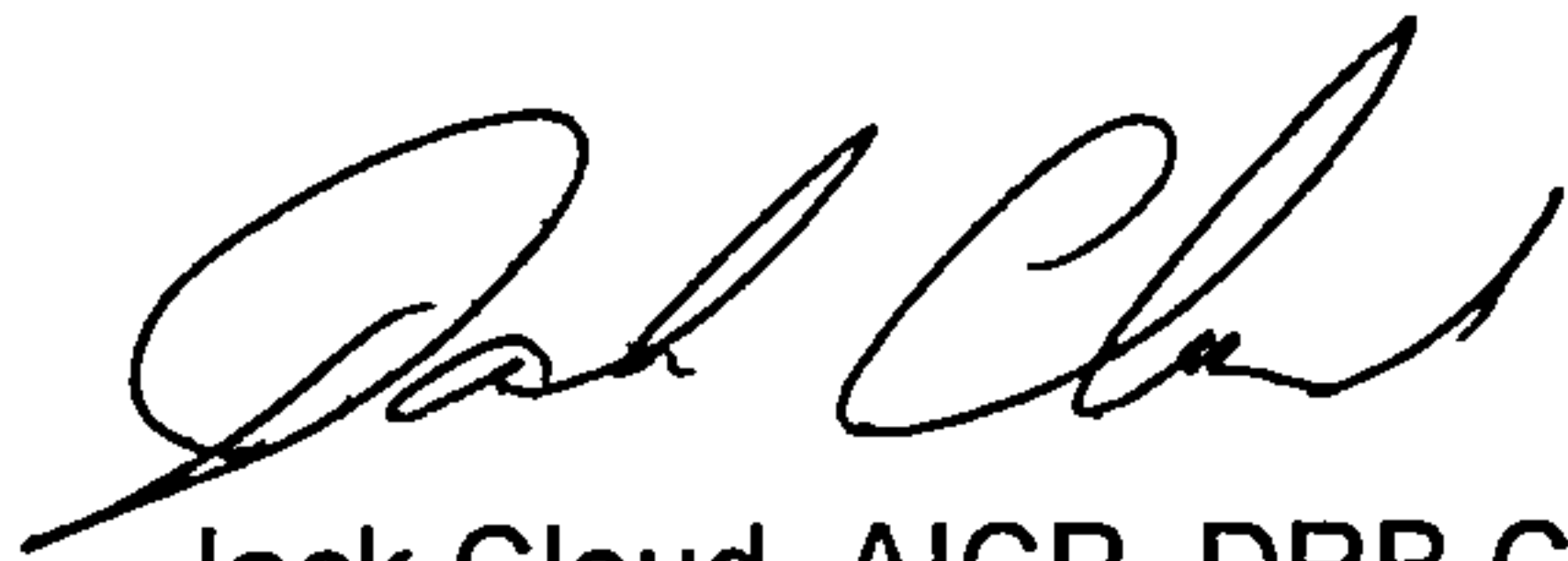
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, AICP, DRB Chair

Cc: Steve Kirk – P.O, Box 10356 – Albuquerque, NM 87184

Cc: Advanced Engineering and Consulting, LLC – 4416 Anaheim Ave, NE –
Albuquerque, NM 87113

Cc: Scott Howell
Marilyn Maldonado
File

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1002567 AGENDA# 3 DATE: 5/14/08

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD MEMO

DRB CASE NO/PROJECT NO: 1002567

AGENDA ITEM NO: 3

SUBJECT:

Vacation of Public Easement
Vacation of Private Easement
~~Final Plat~~

Preliminary plat & plan

ENGINEERING COMMENTS:

The Hydrology section has no objection to the vacation requests.
No adverse comments on the Plat.

PO Box 1293

Albuquerque

RESOLUTION:

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

NM 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

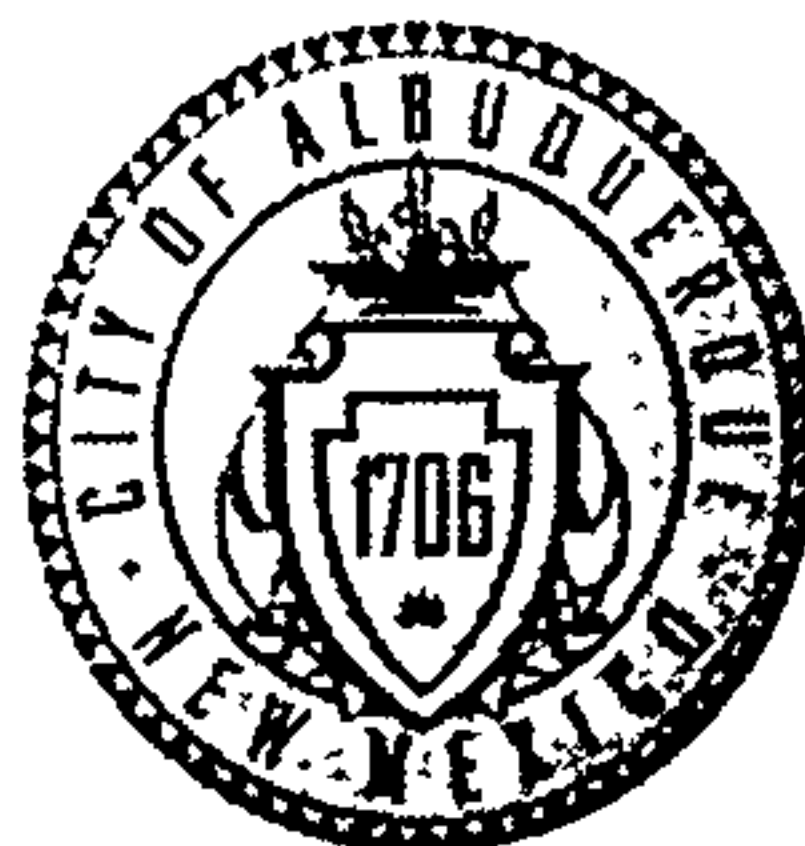
www.cabq.gov

FOR: _____

SIGNED:

Curtis Cherne
City Engineer Designee
924-3695

DATE: 5-14-08



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

May 14, 2008 9:00 AM

MEMBERS:

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

**Kristal Metro, P.E. , Transportation Development
Brad Bingham, P.E., Hydrology/ Alternate City Engineer**

**Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Christina Sandoval, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1000316**
08DRB-70186 MAJOR - 2YR
EXTENSION OF SUBDIVISION
IMPROVEMENTS

HUITT-ZOLLARS, INC., agent(s) for GSL PROPERTIES INC request(s) the above/ referenced action(s) for all or a portion of Tract(s) A-C, **COTTONWOOD SUBDIVISION**, zoned SU-1 FOR C2 & IP USES , and SU-1 FOR PRD,, located on the north side of SEVEN BAR LOOP RD NW BETWEEN COORS BLVD NW AND COTTONWOOD DR NW containing approximately 16.11 acre(s). **(B-16) THE ONE YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

- 2. Project# 1002949**
08DRB-70182 MAJOR - 2YR
EXTENSION OF SUBDIVISION
IMPROVEMENTS

JAMES CRABTREE request(s) the above/ referenced action(s) for all or a portion of Lot(s) 1-A, B, C, D, & E, Block 10, **PETROGLYPH PARK**, zoned O-1, located on the east side of UNSER BLVD NW BETWEEN SANTO DOMINGO ST NW AND MOJAVE ST NW containing approximately 1 acre(s). **(E-10) THE ONE YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

3. **Project# 1002567**
08DRB-70184 VACATION OF PUBLIC EASEMENT
08DRB-70185 VACATION OF PRIVATE EASEMENT
08DRB-70215 PRELIMINARY/FINAL PLAT

ADVANCED ENGINEERING AND CONSULTING, LLC agent(s) for STEVE KIRK request(s) the above/ referenced action(s) for a 34 foot Private Access and Drainage Easement, a 10 foot Public Utility Easement, and a 25 foot Public Water and Sewer Easement, all or a portion on Lot(s) 1-11, **HACIENDA DE LOIS**, zoned R-2, located on the west side of 12TH ST NW BETWEEN MENAUL BLVD NW AND LA POBLANA RD NW containing approximately 0.8544 acre(s). (H-13) **THE VACATION OF PUBLIC EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE VACATION OF PRIVATE EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15 DAY APPEAL PERIOD AND TO RECORD.**

4. **Project# 1006822**
08DRB-70146 VACATION OF PUBLIC RIGHT-OF-WAY
08DRB-70147 MINOR - PRELIMINARY/FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for 2000 GOLD AVE LLC PHILLIP RABY PRINCIPAL request(s) the above action(s) for all or a portion of Lot(s) 1&2, Block(s) 76, **TERRACE ADDITION, TOGETHER WITH VACATED PORTIONS OF TERRACE ST GOLD AV & BUENA VISTA DR**, zoned SU-2 / PR, located on GOLD AV SE BETWEEN TERRACE ST SE AND BUENA VISTA DR SE containing approximately 0.411 acre(s). (R-15) [*Deferred from 4/16/08 & 4/30/08*]. **DEFERRED TO 5/21/08 AT THE AGENT'S REQUEST.**

5. **Project# 1005540**
08DRB-70187 VACATION OF PUBLIC EASEMENT
08DRB-70188 MAJOR - PRELIMINARY PLAT APPROVAL
08DRB-70189 - TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

WILSON & COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT, INC. request(s) the above action(s) for all or a portion of Tract(s) D & E, **LA CUENTISTA SUBDIVISION**, zoned SU-2 (VOLCANO HEIGHTS SECTOR PLAN), located on the east side of KIMMICK DR NW BETWEEN FIRE THORN LN NW AND ROSA PARKS RD NW containing approximately 91.037 acre(s). (C-11, D-11) **DEFERRED TO 5/21/08 AT THE AGENT'S REQUEST.**

6. **Project# 1004354**
08DRB-70048 SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

TIERRA WEST LLC agent(s) for MCDONALD'S CORPORATION request(s) the above action(s) for all or a portion of Lot 2, **KRANIA ADDITION**, zoned SU-2 PCA, located on the SE corner of 98TH ST NW AND VOLCANO RD NW containing approximately 1.1172 acre(s). (K-9) [*Deferred from 2/20/08, 3/5/08, 3/12/08, 3/19/08, 3/26/08 & 4/2/08, 4/16/08 & 5/7/08*].
THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 15 DAY APPEAL PERIOD.

7. **Project# 1006833**
07DRB-70255 MAJOR - SDP FOR
BUILDING PERMIT

GEORGE RAINHART ARCHITECTS agent(s) for WEBER AND COMPANY request(s) the above action(s) for all or a portion of Tract(s) S2A2, S2A1 & S1A, **ATRISCO BUSINESS ADDITION (to be known as UNSER TOWNE CROSSING)**, zoned IP, located on LOS VOLCANES NW BETWEEN UNSER BLVD NW AND GALATIN NW containing approximately 53 acre(s). (J-9 & J-10) [*Deferred from 10/10/07, 11/14/07, 12/12/07, 1/30/08, 2/27/08, 3/26/08 & 4/9/08, 4/16/08 & 4/30/08*]

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR SIA, AND TO PLANNING FOR ZONING LETTER REFERENCING SIGNS, VERIFICATION OF ARTICULATION CALCULATION, AND TO SHOW PHASING ON THE SITE PLAN, AND 3 COPIES OF THE APPROVED SITE PLAN.

8. **Project # 1005070**
06DRB-01154 MAJOR-PRELIMINARY
PLAT APPROVAL
06DRB-01156 MINOR-SIDEWALK
WAIVER
06DRB-01155 MINOR-TEMP DEFER
SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, **THE TRAILS, UNIT 2 (to be known as TAOS @ THE TRAILS, UNIT 2)** zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). (C-9) [*Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07, 7/18/07, 08/22/07 & 09/05/07 & 09/26/07, 10/17/08 & 4/16/08*]. **DEFERRED TO 7/16/08 AT THE AGENT'S REQUEST.**

9. **Project# 1006516**
 07DRB-70030 BULK LAND VARIANCE
 07DRB-70031 MAJOR - PRELIMINARY
 PLAT APPROVAL
 07DRB-70032 MINOR - TEMP DEFR
 SWDK CONST
 07DRB-70033 SIDEWALK WAIVER
 07DRB-70034 VACATION OF PUBLIC
 EASEMENT
 07DRB-70085 MINOR - PRELIMINARY/
 FINAL PLAT APPROVAL

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL, LLC request(s) the above action(s) for all or a portion of Tract(s) PORTION OF TRACT 4A, **MESA DEL SOL**, zoned SU-2/PC, located on UNIVERSITY BLVD. SE BETWEEN SOLAR MESA AVE. SE AND BOBBY FOSTER SE containing approximately 114.7792 acre(s). (R15, R16, S15, AND S16) [*Deferred from 6/27/07, 7/25/07, 7/22/07, 8/22/07 & 9/26/07, 1/30/08, 3/5/08 & 4/9/08*] **DEFERRED TO 5/28/08 AT THE AGENT'S REQUEST.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

10. **Project# 1003125**
 08DRB-70183 MINOR - SDP FOR
 BUILDING PERMIT

MOLZEN-CORBIN & ASSOCIATES agent(s) for TRI MOTOR LLC request(s) the above action(s) for all or a portion of Tract(s) S-1, **AEROSPACE TECHNOLOGY PARK IN DOUBLE EAGLE II AIRPORT**, zoned SU-1 FOR AIRPORT & REL FAC, located on AEROSPACE PARKWAY NW BETWEEN SHOOTING RANGE PARK RD NW AND AREOSPACE PARKWAY NW containing approximately 2 acre(s). (G-6) [*Deferred from 4/30/08 & 5/7/08*] **DEFERRED TO 5/21/08 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project# 1006767**
 08DRB-70214 MINOR - PRELIMINARY/
 FINAL PLAT APPROVAL

MULLEN HELLER ARCHITECTURE agent(s) for CHAPARRAL ELECTRIC request(s) the above action(s) for all or a portion of Lot(s) B, 1 & 2 (TBK 1-A), Block(s) 2, **HILLS ACRES**, zoned S-ML, located on 6TH ST NW BETWEEN MCKNIGHT AVE NW AND BEZEMEK NW containing approximately .63 acre(s). (M-14) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE.**

12. **Project# 1007083**
08DRB-70206 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- JACKS HIGH COUNTRY INC agent(s) for JOSEPH E SAMORA JR request(s) the above action(s) for all or a portion of Lot(s) 16-A, 17-A, 18-A, AND NORTH 1/2 OF 19-A, **JM MOORE REALTY COMPANY'S ADDITION NO.1**, zoned R-1, located on 8TH ST NW BETWEEN MOUNTAIN NW AND SUMMER NW containing approximately .3001 acre(s). (J-14) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE, 15' PRIVATE WATER AND SANITARY SEWER DRAINAGE AND UTILITY EASEMENT, AMAFCA SIGNATURE, AND A COPY OF THE RECORDED PLAT FOR PLANNING.**
13. **Project# 1007275**
08DRB-70213 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- CARTESIAN SURVEYS INC agent(s) for US POST OFFICE request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) A, Tract(s) A & B, 16-95A2, 202A & 203 A, **KW PHILLIPS ADDITION, SLADE-OLSON**, zoned SU-2 MH, located on LOMAS BLVD NE BETWEEN BROADWAY BLVD NE AND A.T. & S.F. RAILROAD containing approximately 6.0643 acre(s). (J-14)**INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
14. **Project# 1007214**
08DRB-70169 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for KENDALL SYKES C/O: TERRY SYKES request(s) the above action(s) for all or a portion of Lot(s) L-4, **COLES INDUSTRIAL SUBD., #2** zoned M-1, located on STANFORD DR NE BETWEEN CANDELARIA RD NE AND VASSAR NE containing approximately 0.267 acre(s). (H-16) *[Deferred from 4/16/08 & 4/30/08].* **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
15. **Project# 1007271**
08DRB-70211 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- HARRIS SURVEYING INC agent(s) for ISIDOR GALLEGOS request(s) the above action(s) for all or a portion of Lot(s) 7 & NORTH 1/2 OF 8, **HUBBELL HEIGHTS**, zoned R-1, located on 65TH ST SW BETWEEN CENTRAL AVE SW AND CHURCHILL RD SW containing approximately 0.3185 acre(s). (K-11) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR NET LOT AREA, PRIVATE EASMENT FOR WATER AND SEWER AND DRAINAGE, AMAFCA SIGNATURE, AND MAINTENANCE AND BENEFICIARY.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project# 1007270**
08DRB-70210 SKETCH PLAT REVIEW
AND COMMENT

HARRIS SURVEYING, INC agent(s) for CRIS JAFFA request(s) the above action(s) for all or a portion of Lot(s) 1-A, **TRACT 22-B, M.R.G.C.D MAP 33, LOTS 17, 18, & 27**, zoned M-1, located on 2ND ST NW BETWEEN LAS HERMANAS ST NW AND CARLTON ST NW containing approximately 6.7219 acre(s). (G-15) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS GIVEN.**

17. Approval of the Development Review Board Minutes for February 27, 2008.

Other Matters: None

ADJOURNED: 10:25



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

May 14, 2008

Project# 1002567

08DRB-70184 VACATION OF PUBLIC EASEMENT

08DRB-70185 VACATION OF PRIVATE EASEMENT

ADVANCED ENGINEERING AND CONSULTING, LLC agent(s) for STEVE KIRK request(s) the above/ referenced action(s) for a 34 foot Private Access and Drainage Easement, a 10 foot Public Utility Easement, and a 25 foot Public Water and Sewer Easement, all or a portion on Lot(s) 1-11, **HACIENDA DE LOIS**, zoned R-2, located on the west side of 12TH ST NW BETWEEN MENAUL BLVD NW AND LA POBLANA RD NW containing approximately 0.8544 acre(s). (H-13)

AMAFCA No comment.																				
COG No comment.																				
TRANSIT No comment.																				
ZONING ENFORCEMENT No comment.																				
NEIGHBORHOOD COORDINATION Letters sent to: Near North Valley NA (R)																				
<p>APS Hacienda de Lois, Lots 1-11, is located on the west side of 12th St NW between Menaul Blvd NW and La Poblana Rd NW. The owner of the above property requests a Vacation of Public Easement, and a Vacation of Private Easement for a development that will consist of 1 residential lot. This will have no adverse impacts to the APS district. This will have minimal impacts to Cochiti Elementary School, Garfield Middle School, and Valley High School. All three schools have excess capacity.</p> <table border="1"> <thead> <tr> <th>Loc No</th> <th>School</th> <th>2007-08 40th Day</th> <th>2007-08 Capacity</th> <th>Space Available</th> </tr> </thead> <tbody> <tr> <td>237</td> <td>Cochiti</td> <td>338</td> <td>368</td> <td>30</td> </tr> <tr> <td>410</td> <td>Garfield</td> <td>393</td> <td>456</td> <td>63</td> </tr> <tr> <td>560</td> <td>Valley</td> <td>1,684</td> <td>2,200</td> <td>516</td> </tr> </tbody> </table>	Loc No	School	2007-08 40th Day	2007-08 Capacity	Space Available	237	Cochiti	338	368	30	410	Garfield	393	456	63	560	Valley	1,684	2,200	516
Loc No	School	2007-08 40th Day	2007-08 Capacity	Space Available																
237	Cochiti	338	368	30																
410	Garfield	393	456	63																
560	Valley	1,684	2,200	516																
<p>POLICE DEPARTMENT No crime prevention or CPTED comments for the proposed Vacations due to incomplete information about land use at this time.</p>																				
<p>FIRE DEPARTMENT No comment.</p>																				
<p>PNM ELECTRIC & GAS No comment.</p>																				
<p>COMCAST No comment.</p>																				

QWEST No comment.
ENVIRONMENTAL HEALTH No comment.
M.R.G.C.D No adverse comments.
OPEN SPACE DIVISION Open Space has no adverse comments
CITY ENGINEER The Hydrology section has no objection to the vacation requests on condition that the subsequent plat reconsolidate all lots into one.
TRANSPORTATION DEVELOPMENT No adverse comments. The interior lot lines must be eliminated when the site is replatted.
PARKS AND RECREATION Defer to affected agencies.
ABCWUA No objection to Vacation requests.
PLANNING DEPARTMENT Refer to comments from Transportation and Hydrology regarding proposed vacation of private easement; refer to comments from affected utilites regarding proposed vacation of P.U.E. and the Water and Sewer Easement.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Steve Kirk – P.O. Box 10356 – Albuquerque, NM 87184

Cc: Advanced Engineering and Consulting LLC – Albuquerque, NM 87113

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: May 14, 2008
Zone Atlas Page: H-13
Notification Radius: 100 Ft.

Project# 1002567
App#08DRB-70184
08DRB-70185

Cross Reference and Location: 2901 ST NW BETWEEN MENAUL EXTENSION
NW AND LA POBLANA NW

Applicant: STEVE KIRK
PO BOX 10356
ALBUQUERQUE, NM 87184

Agent: ADVANCED ENGINEERING AND CONSULTING LLC
4416 ANAHEIM AVE NE
ALBUQUERQUE, NM 87113

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: APRIL 25, 2008
Signature: ERIN TREMLIN

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
 Minor Subdivision action
 Vacation
 Variance (Non-Zoning)

S Z

ZONING & PLANNING

- Annexation
 County Submittal
 EPC Submittal
 Zone Map Amendment (Establish or Change Zoning)
 Sector Plan (Phase I, II, III)
 Amendment to Sector, Area, Facility or Comprehensive Plan
 Text Amendment (Zoning Code/Sub Regs)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
 ...for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC)

P

L A

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Steve Kirk PHONE: (505) 897-5971
 ADDRESS: PO Box 10356 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87184 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Steve Kirk and Debra Kirk
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Avenue, NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

DESCRIPTION OF REQUEST: Vacation of private access and drainage easement, vacation of public utility and public water and sewer easement.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. X No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 1-11 Block: _____ Unit: _____
 Subdiv. / Addn. Hacienda de Lois
 Current Zoning: R-2 Proposed zoning: The Same
 Zone Atlas page(s): H-13-Z No. of existing lots: 11 No. of proposed lots: 1
 Total area of site (acres): .8544 Acres Density if applicable: _____ dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? X Yes. No _____, but site is within 5 miles of the city limits. Within 1000FT of a landfill? No
 UPC No. 101305949642811007, 101305948043111033 MRGCD Map No. _____
 PROPERTY BY STREETS: On or Near: 2901 12 St., NW
 Between: Menaul Extension NW and La Poblana, NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): DRB Project # 1002567

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 4/17/08
 (Print) Shawn Baizar, Managing Member Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB - 70184</u>	<u>VPE</u>		<u>\$ 90.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>06DRB - 70185</u>	<u>VPRE</u>		<u>\$ 45.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>ADU</u>		<u>\$ 75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> Case history #s are listed				<u>\$</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				<u>\$</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus				<u>Total</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 230.00</u>

Hearing date May 14, 2008

[Signature] 4/17/08
 Planner signature / date

Project # 1002567

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
 - Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
 - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - ✓ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - ✓ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - ✓ Zone Atlas map with the entire property(ies) clearly outlined
 - ✓ Letter briefly describing, explaining, and justifying the request
 - ✓ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ✓ Sign Posting Agreement
 - ✓ Fee (see schedule)
 - ✓ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.


- SIDEWALK VARIANCE (DRB20)**
 - SIDEWALK WAIVER (DRB21)**
 - Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
 - VACATION OF RECORDED PLAT (DRB29)**
 - ✓ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - ✓ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - ✓ Zone Atlas map with the entire property(ies) clearly outlined
 - ✓ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - ✓ Letter of authorization from the grantors and the beneficiaries (private easement only)
 - ✓ Fee (see schedule)
 - ✓ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.


I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Shawn Biazar
 Applicant name (print)

 Applicant signature / date 4/17/08



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 DRB - 70184
 DRB - 70185

Form revised 4/07

 Planner signature / date 4-17-08
 Project # 1002567

16	101305 949844 311032	ORTIZ AURORA	2911 12T H ST NW	ALBU QUE RQU E	N M	871 07 1 123	C	A1 AM	* 6-C RE- AMENDED REPLAT OF LOT 6 COLEMAN ADDITION
17	101305 948844 211031	ORTIZ AURORA	2911 12T H ST NW	ALBU QUE RQU E	N M	871 07 1 123	V	A1 AM	* 6-B RE- AMENDED REPLAT OF LOT 6 COLEMAN ADDITION
18	101305 952245 011404	WASH JAMES VARDAMAN & YVONNE RAMIREZ	3008 12T H ST NW	ALBU QUE RQU E	N M	871 07 1 126	R	A1 AM	* 001 MCDONALD ACRES A SUB DIV
19	101305 947944 011008	ORTIZ AURORA	2911 12T H ST NW	ALBU QUE RQU E	N M	871 07 1 123	R	A1 AM	* 6-A RE- AMENDED REPLAT OF LOT 6 COLEMAN ADDITION
20	101405 900543 921103	THOMAS PAUL A JR & MA RIT S	1107 LA POBLANA NW	ALBU QUE RQU E	N M	871 07	R	A1 AM	* 057 MCDONALD AC 4TH UNIT
21	101305 945643 111015	CHIFALO FRANK ETUX	2900 SIE RRA VIST A ST NW	ALBU QUE RQU E	N M	871 07 1 042	R	A1 AM	SIERRA V SUB S50FT TR11
22	101305 945342 511016	GONZALES EVIDELIO & E RALIA	2834 SIE RRA VIST A ST NW	ALBU QUE RQU E	N M	871 07 1 040	R	A1 AM	* 012 SIERRA V SUB N1/2
23	101305 944641 311018	REMO ROXANNE & ABRA MS KIMBERLY	2824 SIE RRA VIST A NW	ALBU QUE RQU E	N M	871 07 1 040	R	A1 AM	* 013 SIERRA V SUB NO 50FT
24	101305 945640 911005	BERRY PROPERTIES LLC	5001 CIN AMMON T EAL NW	ALBU QUE RQU E	N M	871 20	R	A1 AM	LOT 9-A-1 AMENDED PLAT OF LTS 9- A, 10-B, 10-C & 10- D COLEMAN ADD CONT 8,06 4 SQ FT M/ L
25	101305 946841 011004	BERRY PROPERTIES LLC	5001 CIN NAMON T EAL NW	ALBU QUE RQU E	N M	871 20	R	A1 AM	LOT 9-A-2 AMENDED PLAT OF LTS 9- A, 10-B, 10-C & 10- D COLEMAN ADD CONT 5,22 0 SQ FT M/ L
26	101305 946841 011004	BERRY PROPERTIES LLC	5001 CIN NAMON T EAL NW	ALBU QUE RQU E	N M	871 20	R	A1 AM	LOT 9-A-2 AMENDED PLAT OF LTS 9- A, 10-B, 10-C & 10- D COLEMAN ADD CONT 5,22 0 SQ FT M/ L
27	101305 944540 911019	CHAVEZ FRANK L & MART HA P	2820 SIE RRA VIST A ST NW	ALBU QUE RQU E	N M	871 07 1 040	R	A1 AM	SIERRA V SUB N33FT S 93FT L13
28	101305 950840 511301	ORTEGA DAVID ETUX	1111 WO ODLAND AVE NW	ALBU QUE RQU E	N M	871 07 1 156	R	A1 AM	* 079 MCDONALD ACRES 4TH UNIT
29	101305 945539 711003	BERRY CHARLES G & SHA RON C	5001 CIN NAMON T EAL NW	ALBU QUE RQU E	N M	871 20	R	A1 AM	LOT 11 A COLEMAN ADD REPLAT SLY 70 FT LOT 9 & ALL LOTS 10 & 11 & VACATE D PO

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIPCODE	PROPERTY CLASS	TAX DISTRICT	LEGAL
1	101305945041711017	ARUNDALE CONNIE J	1518 VAN CLEAVE NW	ALBUQUERQUE	NM	87107	R	A1AM	* 012 SIERRA V SUB S1/2

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	OW NE R ST AT E	OW NE R ZIP CO DE	PR OP ERT Y CL AS S	TA X DIS TRI CT	LEGAL
1	101305 948341 711025	CITY OF ALBUQUERQUE	PO BOX 1 293	ALBU QUE RQU E	N M	871 03 1 293	C	A1 AM	LTS 3 & 4 & S90 FT OF LOT 8 & N 30 FT O F LT 9 COLEMAN ADDN. & POR. OF VAC.
2	101305 951641 711323	LOVATO JUANITA E	1122 LA POBLANA RD NW	ALBU QUE RQU E	N M	871 07 1 138	R	A1 AM	* 077 MCDONALD ACRES #4
3	101305 951041 911324	ROMERO THOMAS A & AN TOINETTE M SANCHEZ- ROMERO	5766 GR EER LP S W	ALBU QUE RQU E	N M	871 05	R	A1 AM	* 078 MCDONALD ACRES #4
4	101305 951244 111403	MATTISON SANDRA P & NI COLE A MATTISON	2912 12T H ST NW	ALBU QUE RQU E	N M	871 07 1 124	R	A1 AM	LOT 55- A REVISED SUMMARY PLAT LOT 55 REDI VISION 4TH UNIT MCD ONALD ACRES SU B'D CONT 0.11535 AC M/L
5	101305 949144 811009	ORTIZ AURORA	2911 12T H ST NW	ALBU QUE RQU E	N M	871 04	R	A1 AM	* 007 COLEMAN ADD
6	101305 951943 811402	TEN BROECK TRUST J HU NTER & BARBARA K TEN BROECK TRUSTEES	1109 LA POBLANA RD NW	ALBU QUE RQU E	N M	871 07	R	A1 AM	* 056 MCDONALD #4
7	101305 945943 611014	CHIFALO FRANK ETUX	2900 SIE RRA VIST A RD NW	ALBU QUE RQU E	N M	871 07	R	A1 AM	* 011 EXC S 50 FT SIERRA VISTA SUB
8	101305 948943 211007	KIRK STEVEN D & DEBRA G	PO BOX 1 0356	ALBU QUE RQU E	N M	871 84	R	A1 AM	LT 5-A-1 PLAT OF LOT 5-A- 1 COLEMAN ADDITION CONT .8647 AC
9	101305 946444 611013	DILS BONNIE A	2916 SIE RRA VIST A ST NW	ALBU QUE RQU E	N M	871 07	R	A1 AM	LT 10C SIERRA VISTA SUB
10	101305 951440 511302	PERALTA LAWRENCE & C AROLYN J	1109 WO ODLAND NW	ALBU QUE RQU E	N M	871 07	R	A1 AM	* 080 MCDONALD ACRES #4
11	101305 946740 511006	BERRY CHARLES & SHAR ON	5001 CIN AMMON T EAL NW	ALBU QUE RQU E	N M	871 20	R	A1 AM	LOT 10-B-1 AMENDED PLAT OT LTS 9- A, 10-B, 10-C & 10- D COLEMA N ADD CONT 5,4 56 AC M/L
12	101305 947045 811011	SALAZAR JOE ROBERT	2926 SIE RRA VIST A NW	ALBU QUE RQU E	N M	871 07	R	A1 AM	LT 9 SIERRA VISTA ADDN EXCEPT POR OUT TO LA POBLANA RD NW
13	101305 951243 611401	WENDT GERALD E	1111 LA POBLANA NW	ALBU QUE RQU E	N M	871 07	R	A1 AM	* 55B REVISED SUMMARY PLAT LOT 55 R EDIVISION 4TH UNIT MCDONA LD ACRES SUBD CONT 0 .13292 AC M/L
14	101305 946645 111012	GONZALES MONICA M	2920 SIE RRA VIST A ST NW	ALBU QUE RQU E	N M	871 07 1 042	R	A1 AM	LT 10A X 10B SIERRA VISTA SUB
15	101305 952341 711322	FELT CONRAD E & DRUSI LLA O	1120 LA POBLANA RD NW	ALBU QUE RQU E	N M	871 07 1 138	R	A1 AM	* 076 MCDONALD ACRES #4

OR CURRENT RESIDENT
101305946740511006
BERRY CHARLES & SHARON
5001 CINAMMON TEAL NW
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT
101305948341711025
CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE, NM 87103 1293

OR CURRENT RESIDENT
101305945342511016
GONZALES EVIDELIO & ERALIA
2834 SIERRA VISTA ST NW
ALBUQUERQUE, NM 87107 1040

OR CURRENT RESIDENT
101305951641711323
LOVATO JUANITA E
1122 LA POBLANA RD NW
ALBUQUERQUE, NM 87107 1138

OR CURRENT RESIDENT
101305949144811009
ORTIZ AURORA
2911 12TH ST NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305951041911324
ROMERO THOMAS A & ANTOINETTE
M SANCHEZ- ROMERO
5766 GREER LP SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
101405900543921103
THOMAS PAUL A JR & MARIT S
1107 LA POBLANA NW
ALBUQUERQUE, NM 87107

Project# 1002567
ADVANCED ENGINEERING &
CONSULTING LLC
4416 ANAHEIM AVE NE
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT
101305944540911019
CHAVEZ FRANK L & MARTHA P
2820 SIERRA VISTA ST NW
ALBUQUERQUE, NM 87107 1040

OR CURRENT RESIDENT
101305946444611013
DILS BONNIE A
2916 SIERRA VISTA ST NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305946645111012
GONZALES MONICA M
2920 SIERRA VISTA ST NW
ALBUQUERQUE, NM 87107 1042

OR CURRENT RESIDENT
101305951244111403
MATTISON SANDRA P & NICOLE A
MATTISON
2912 12TH ST NW
ALBUQUERQUE, NM 87107 1124

OR CURRENT RESIDENT
101305951440511302
PERALTA LAWRENCE & CAROLYN J
1109 WOODLAND NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305947045811011
SALAZAR JOE ROBERT
2926 SIERRA VISTA NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305952245011404
WASH JAMES VARDAMAN &
YVONNE RAMIREZ
3008 12TH ST NW
ALBUQUERQUE, NM 87107 1126

Project# 1002567
CLAUDE MORELLI
Near North Valley NA
PO BOX 6953
ALBUQUERQUE, NM 87197

OR CURRENT RESIDENT
101305945943611014
CHIFALO FRANK ETUX
2900 SIERRA VISTA RD NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305952341711322
FELT CONRAD E & DRUSILLA O
1120 LA POBLANA RD NW
ALBUQUERQUE, NM 87107 1138

Project# 1002567
101305948943211007
KIRK STEVEN D & DEBRA G
PO BOX 10356
ALBUQUERQUE, NM 87184

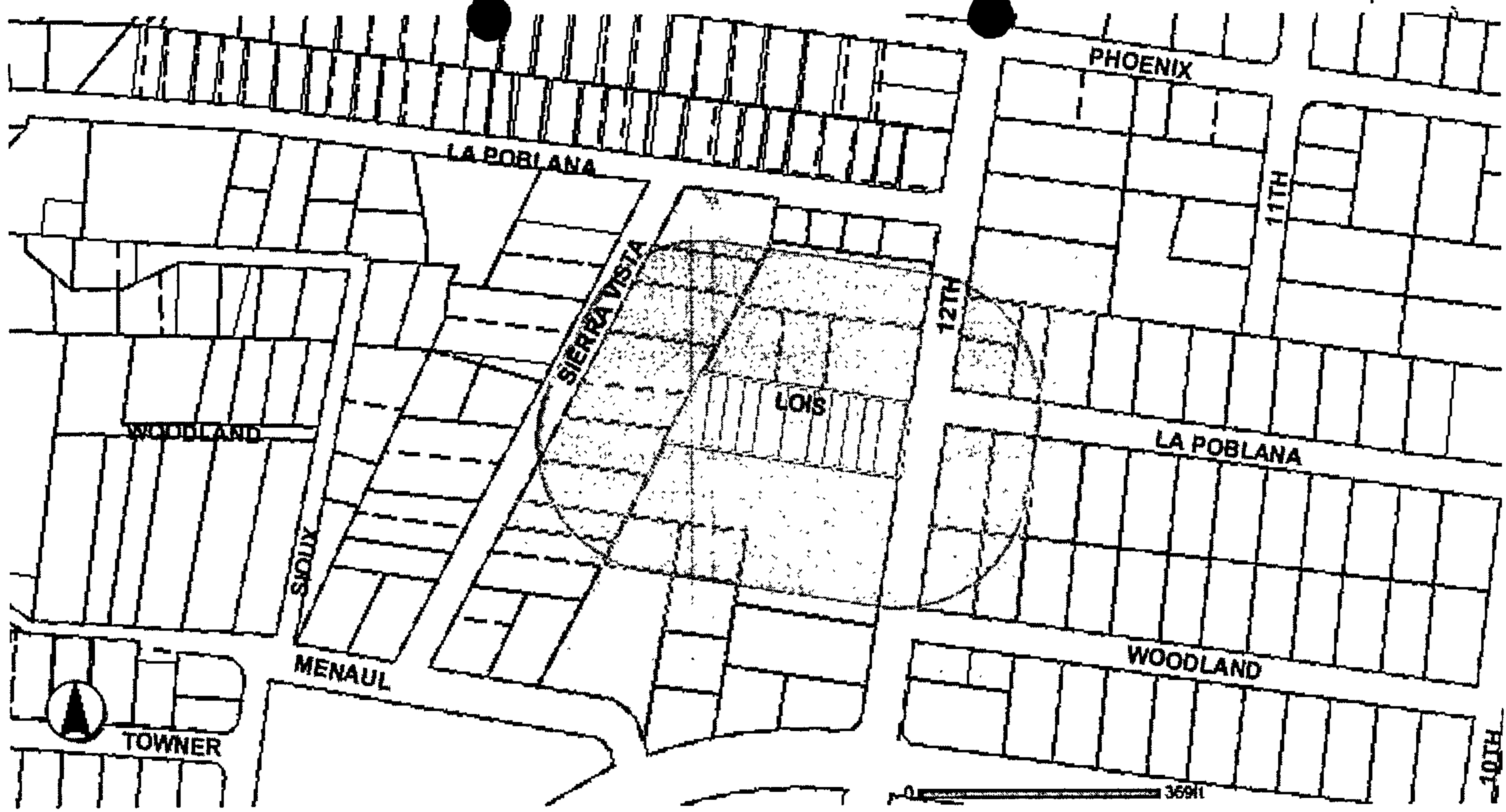
OR CURRENT RESIDENT
101305950840511301
ORTEGA DAVID ETUX
1111 WOODLAND AVE NW
ALBUQUERQUE, NM 87107 1156

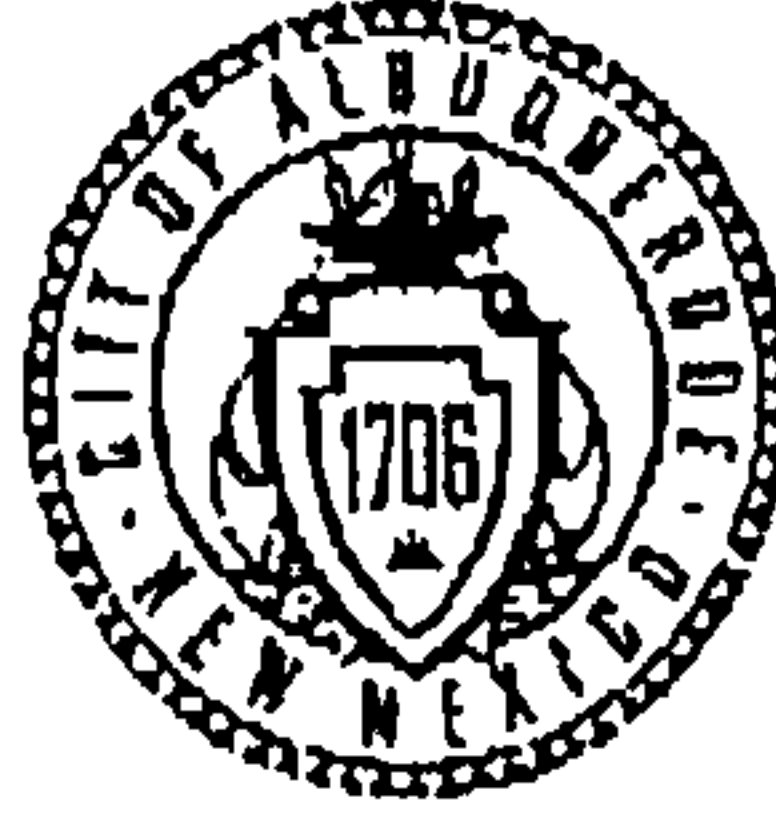
OR CURRENT RESIDENT
101305944641311018
REMO ROXANNE & ABRAMS
KIMBERLY
2824 SIERRA VISTA NW
ALBUQUERQUE, NM 87107 1040

OR CURRENT RESIDENT
101305951943811402
TEN BROECK TRUST J HUNTER &
BARBARA K TEN BROECK TRUSTEES
1109 LA POBLANA RD NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305951243611401
WENDT GERALD E
1111 LA POBLANA NW
ALBUQUERQUE, NM 87107

Project# 1002567
CHRISTIAN KENESSON
Near North Valley NA
1130 MAJOR NW
ALBUQUERQUE, NM 87107





City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: April 15, 2008

TO CONTACT NAME: Gina Biazar
 COMPANY/AGENCY: Advanced Engineering and Consulting, LLC
 ADDRESS/ZIP: 4416 Anaheim Ave NE - 87113
 PHONE/FAX #: 899-5576 877-4996

Thank you for your inquiry of April 15, 2008 requesting the names of **ALL Affected**

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Tracts 5-A-1 of the Coleman Addn. Hacienda de Lois Subdivision located on 2901 12th St NW between La Poblana and Menaul NW
 zone map page(s) H-13

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

Near North Valley NA
 Neighborhood or Homeowner Association
 Contacts: Claude Morelli
P.O. Box 6953 87197
344-9742(w)
Christian Kenesson
1130 Major NW 87107
345-7404(h) 246-8888(w)

Neighborhood or Homeowner Association
 Contacts: _____

See reverse side for additional Neighborhood and/or Homeowner Associations

Information:

YES { } NO {x}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

 OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

7003 2260 0005 8324 7366

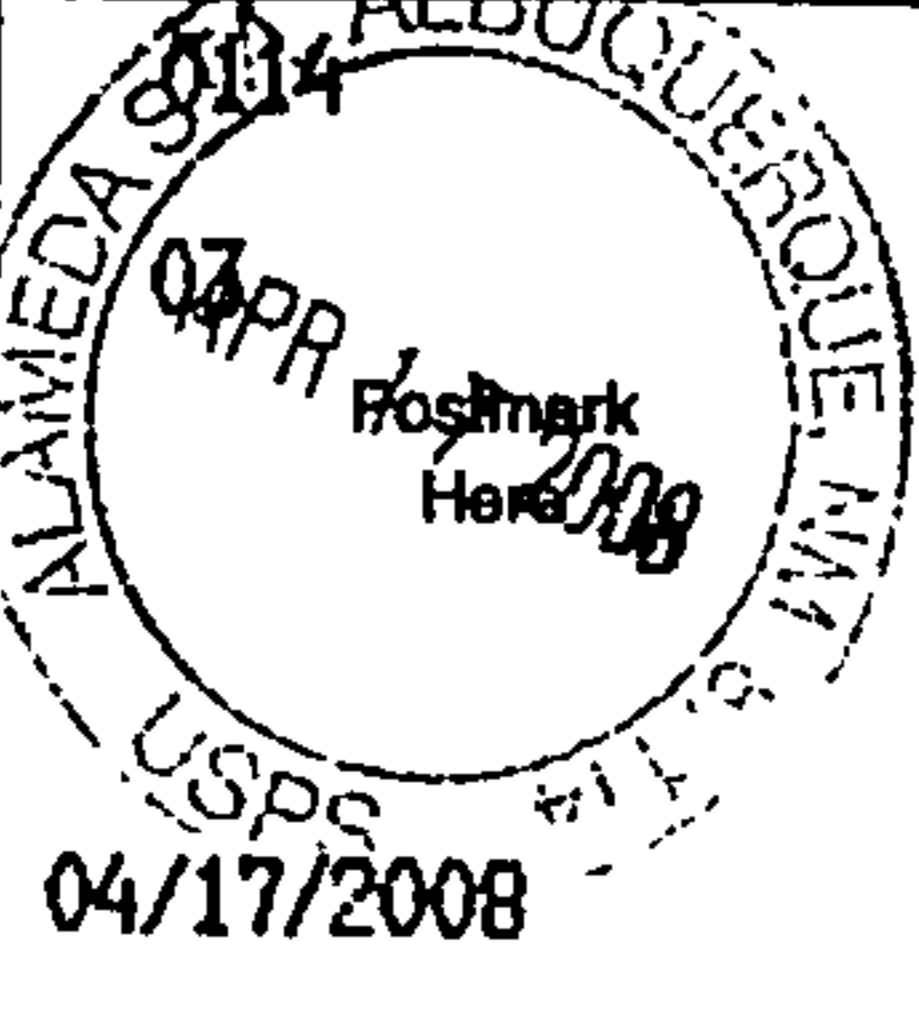
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For delivery information visit our website at www.usps.com

ALBUQUERQUE NM 87107

OFFICIAL USE

Postage	\$	\$1.48
Certified Fee		\$2.65
Return Receipt Fee (Endorsement Required)		\$2.15
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$6.28



Sent To Christian Kenesbon
 Street, Apt. No., or PO Box No. 1130 Mayor NW
 City, State, ZIP+4 Albu NM 87107

PS Form 3800, June 2002 See Reverse for Instructions

7003 2260 0005 8324 7366

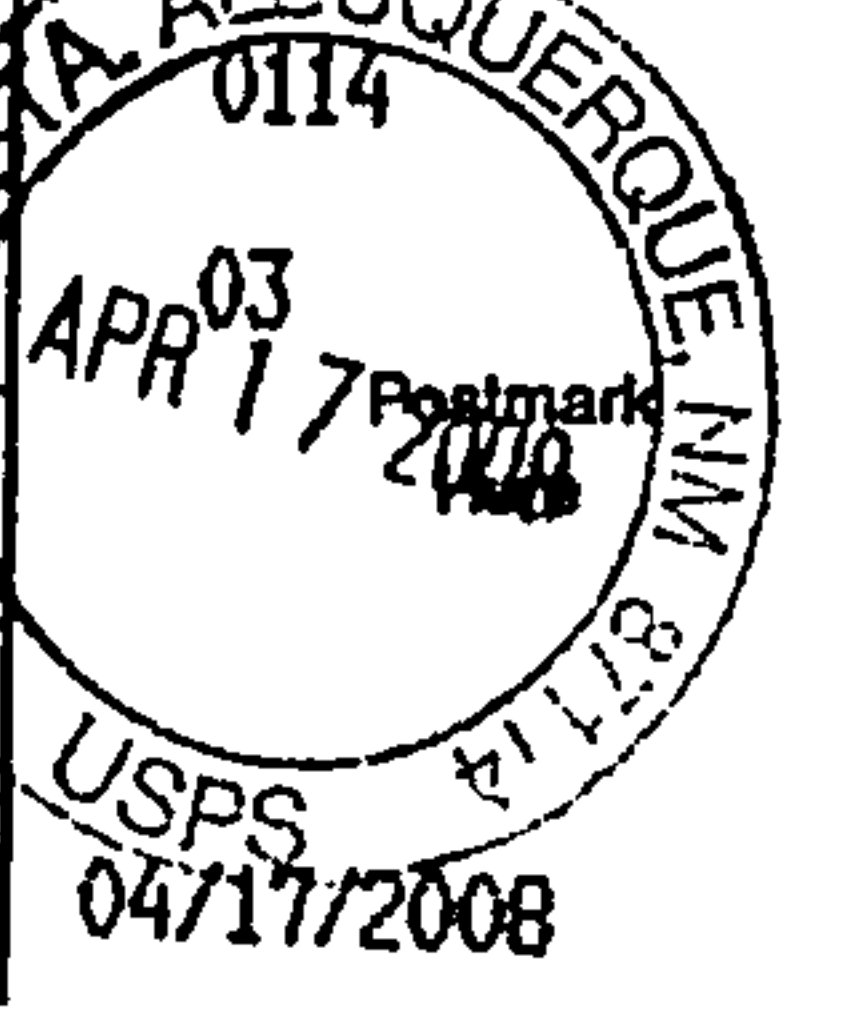
U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
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ALBUQUERQUE NM 87197

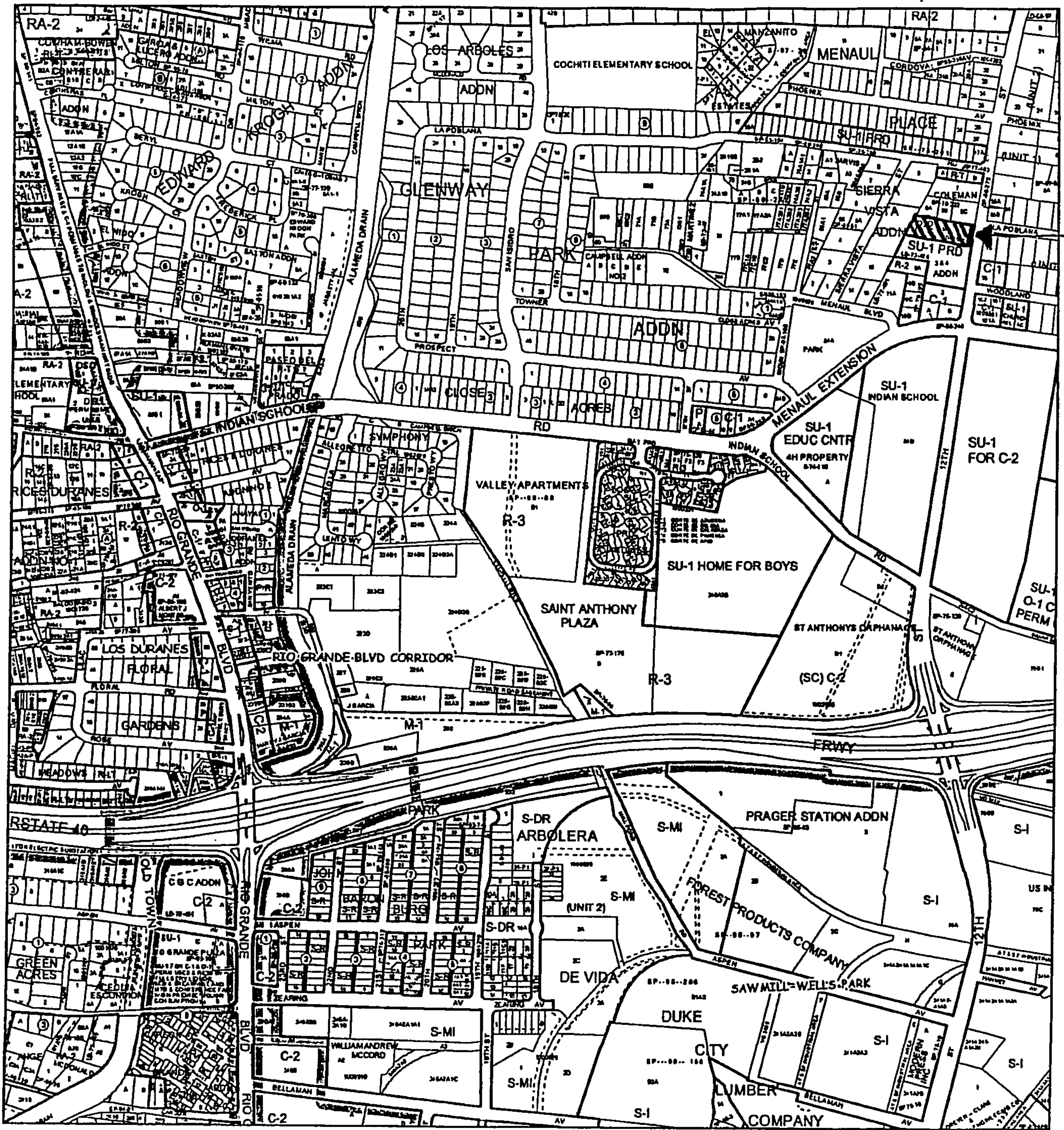
OFFICIAL USE

Postage	\$	\$1.48
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Total Postage & Fees	\$	\$6.28

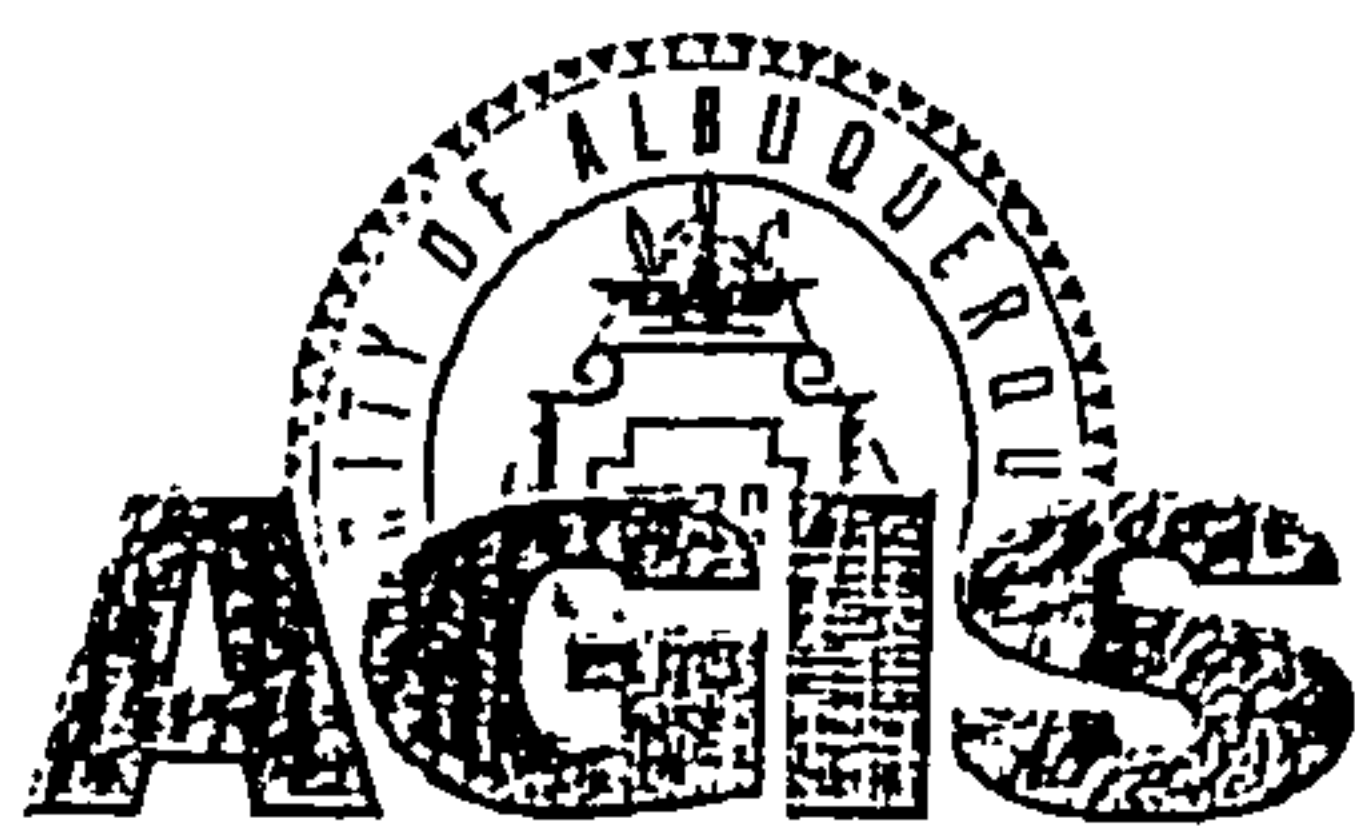


Sent To Claude morelli
 Street, Apt. No., or PO Box No. PO Box 6953
 City, State, ZIP+4 Albu NM 87197

PS Form 3800, June 2002 See Reverse for Instructions

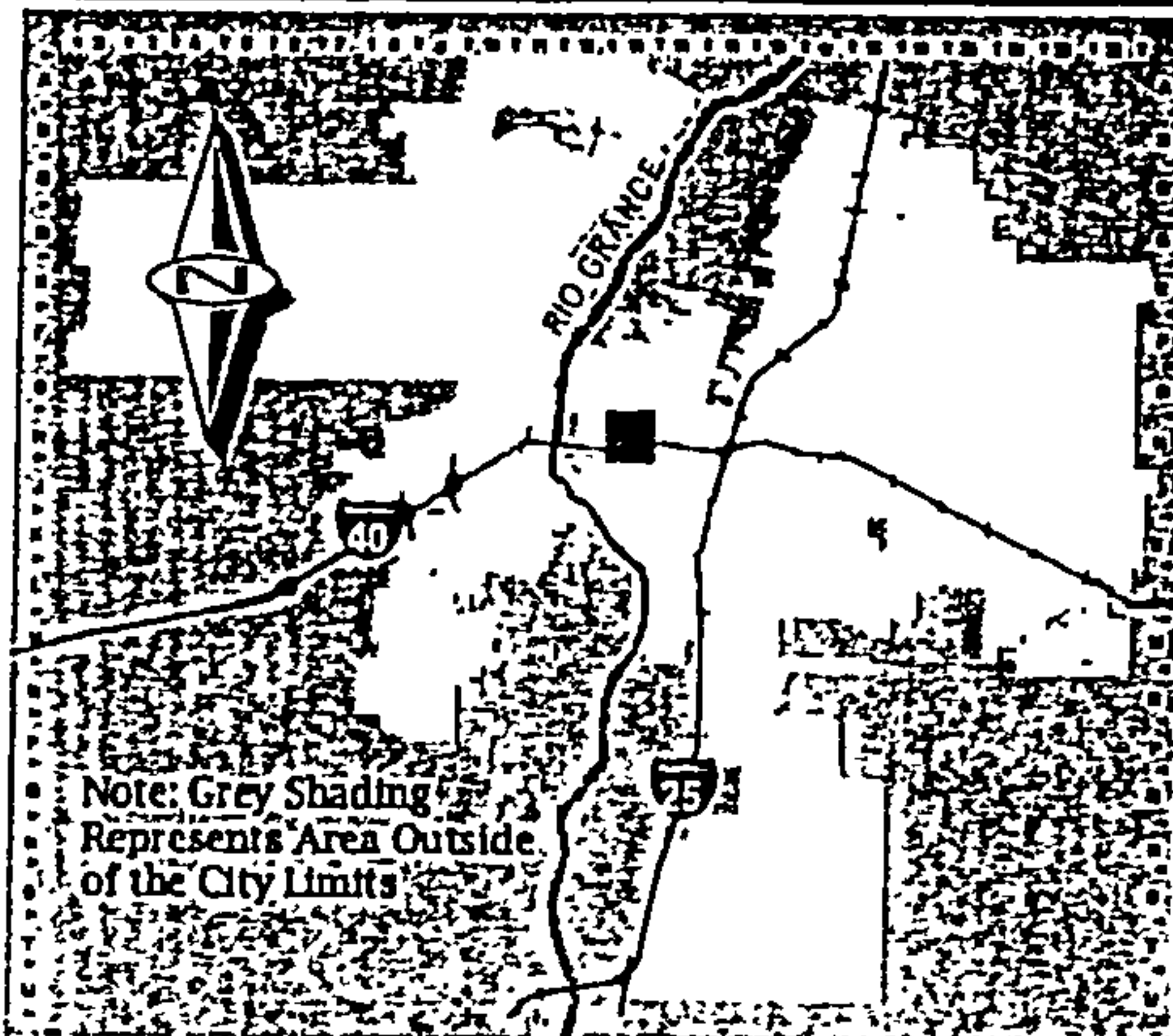


For more current information and more details visit: <http://www.cabq.gov/gis>



Albuquerque Geographic Information System

Map amended through: 1/12/2006



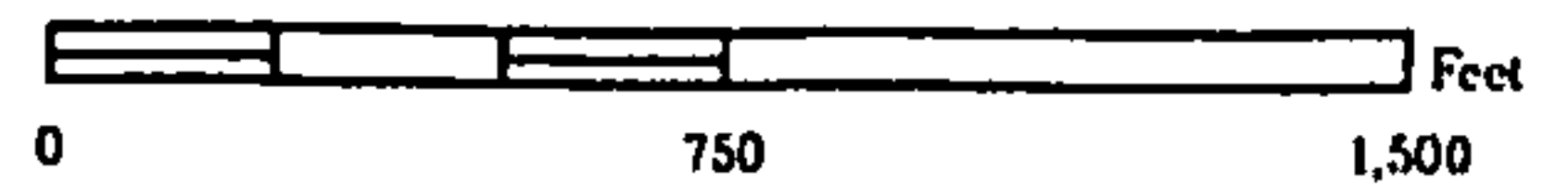
Note: Grey Shading Represents Area Outside of the City Limits

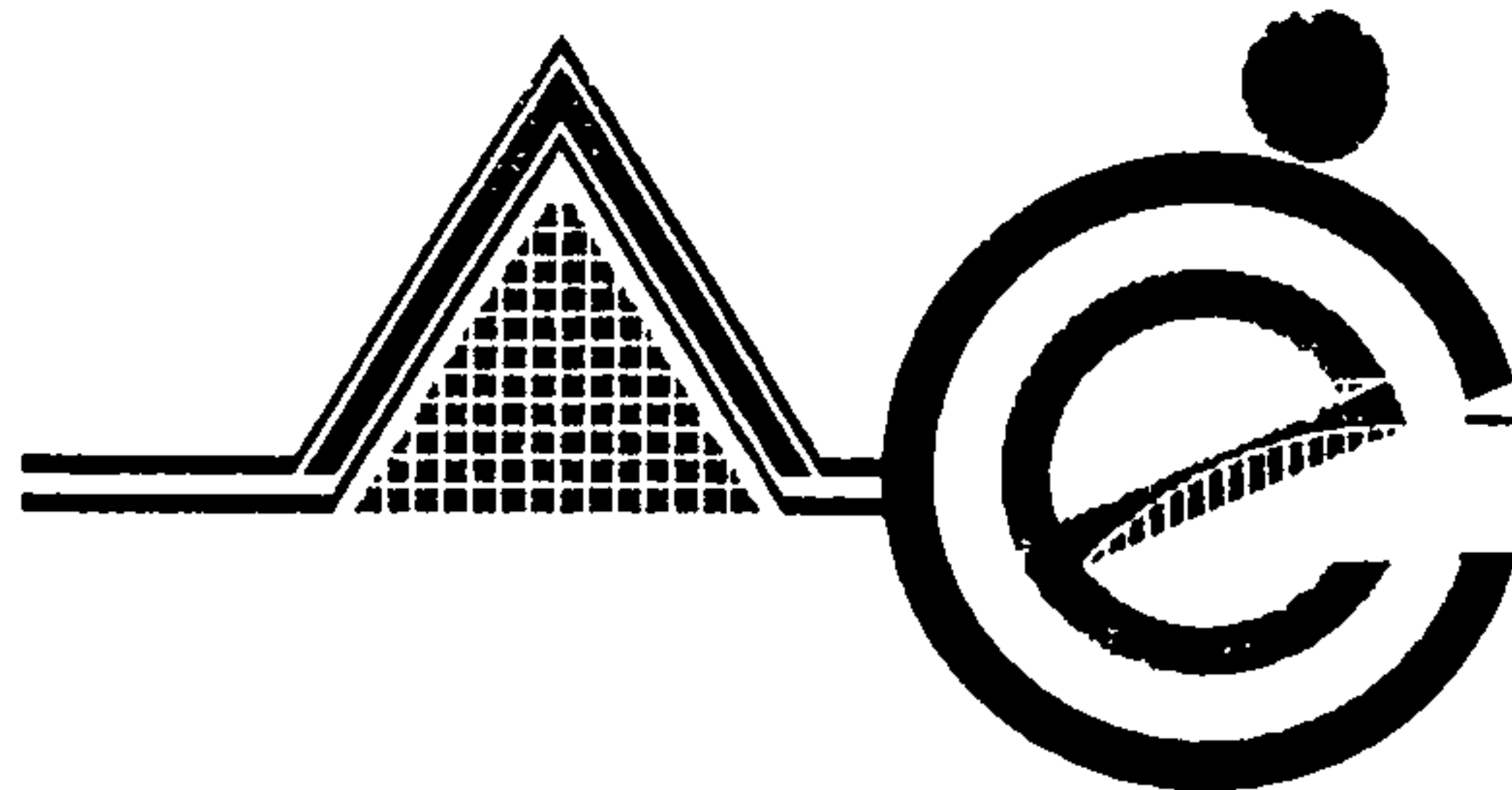
Zone Atlas Page:

H-13-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





ADVANCED ENGINEERING and CONSULTING, LLC

April 17, 2008

Consulting
Design
Development
Management
Inspection
Surveying

Jack Cloud, AICP, Chairman Planning Department
City of Albuquerque Planning Department
Plaza Del Sol, 2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Vacation Request of 34' Private Access and Drainage Easement, Vacation of 10' Public Utility Easement, and Vacation of 25' Public Water and Sanitary Sewer Line Easement for Lots 1 thru 11, Hacienda De Lois Subdivision, DRB Project # 1002567, Containing ± 0.8544 Acres, Zone Atlas Page H-13-Z

Dear Mr. Cloud:

Advanced Engineering and Consulting, on behalf of Steve Kirk, Owner, is requesting a Vacation of the 34' Private Access and Drainage Easement, Vacation of the 10' Public Utility Easement, and Vacation of the 25' Public Water and Sanitary Sewer Line Easement for "Hacienda De Lois Subdivision". The site is located on 2901 12th Street, NW between Menaul Extension, NW and La Poblana, NW.

The Owner is vacating all the easements and combining all eleven lots into one lot. He would therefore request that his Financial Guarantee for the previously approved plat be released. A preliminary/ final plat showing the eliminated lot lines will be submitted before the Vacation Request Hearing.

If you require additional information, please contact our office at your convenience.

Sincerely,

Shahram (Shawn) Biazar, Managing Member

Enclosures
JN: 200604



20
1002567
10.25.2006

12TH ST + NW LA POBLANA RD NW

H13

LA POBLANA

H

#20



DRB CASE ACTION LOG (FINAL PLAT)

Comp \$5 10/31/06

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01523 (FP)

Project # 1002567

Project Name: HACIENDA DE LOIS SUBD.

Agent: Advanced Engineering

Phone No.: 899-5570

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/25/06 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): record plat.
 AGU jdf

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Called agent for P. U. 10/31/06 \$5.

Project Number 1002567

#20



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01523 (FP)
Project Name: HACIENDA DE LOIS SUBD.
Agent: Advanced Engineering

Project # 1002567
Phone No.: 899-5570

Project Number

1002567

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/25/06 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- PLANNING (Last to sign): record plat.
- AGU - hof
- _____
- _____

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- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

OK

2567

DXF Electronic Approval Form

DRB Project Case #: 1002567

Subdivision Name: HACIENDA DE LOIS

Surveyor: LEONARD G MARTINEZ

Contact Person: SHAWN BIAZAR

Contact Information: 899-5570

DXF Received: 10/30/2006

Hard Copy Received: 10/30/2006

Coordinate System: NMSP Grid (NAD 27)


Approved

10-30-2006
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

1
2
3

AGIS Use Only
Copied fc **2567** to agiscov on **10/31/2006** Contact person notified on **10/31/2006**



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 25, 2006 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 1:50 P.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001562**
06DRB-01408 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for PULTE HOMES OF NEW MEXICO request(s) the above action(s) for the **RESERVE @ FOUR HILLS**, zoned R-1, located on WAGON TRAIN SE, between RATON AVE SE and RIO ARRIBA AVE SE containing approximately 17 acre(s) (M-22) **TWO YEAR SIA WAS APPROVED.**

2. **Project # 1002984**
06DRB-01386 Major-Vacation of Pub
Right-of-Way

3. **Project # 1004989**
06DRB-01411 Major-Preliminary Plat
Approval
06DRB-01412 Major-Vacation of Public
Easements
06DRB-01413 Minor-Subd Design (DPM)
Variance
06DRB-01414 Minor-Sidewalk Waiver
06DRB-01415 Minor-Temp Defer SDWK

4. **Project # 1005179**
06DRB-01417 Major-Amnd SiteDev Plan
BldPermit

ROBERT J. POWERS request(s) the above action(s) for all or a portion of Lot(s) 21, Block(s) 2, **VOLCANO CLIFFS, UNIT 2**, zoned R-1, located on KIMBERLITE NW, between CLIFF RD NW and POPO NW containing approximately 1 acre(s). (E-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

BOHANNAN HUSTON INC agent(s) for MESA VERDE DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) A, UNIT 2, **WILDERNESS @ HIGH DESERT** (to be known as **WILDERNESS CANON @ HIGH DESERT**) zoned SU-2, HD/R-R, located on HIGH DESERT PL NE, between TRAILHEAD RD NE and EMBUDITO VIEW CT NE containing approximately 4 acre(s). [REF: 06DRB-00933, 04DRB-00713,, 04DRB-01723] [*Deferred from 10/25/06*] (F-23) **DEFERRED AT THE BOARD'S REQUEST TO 11/8/06.**

MAHLMAN STUDIO ARCHITECTURE agent(s) for CITY OF ALBUQUERQUE OFFICE OF SENIOR AFFAIRS, request(s) the above action(s) for all or a portion of Lot(s) 1-A-2, ATRISCO BUSINESS PARK, UNIT 2 (to be known as **LOS VOLCANES FITNESS CENTER**) zoned SU-1 FOR SENIOR CENTER, located on LOS VOLCANES RD NW, between AIRPORT NW and COORS NW containing approximately 3 acre(s). (J-10) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PARKING ISSUES AND SIDEWALK EASEMENT QUESTION AND PLANNING FOR 3 COPIES OF THE PLAN AND COMMENTS IN THE FILE.**

5. **Project # 1005031**
06DRB-01077 Major-Vacation of Public Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] [Deferred from 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/29/06.**

- 06DRB-01017 Major-Preliminary Plat Approval
06DRB-01018 Minor-Temp Defer SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) [Deferred from 8/9/06 & 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/29/06.**

- 06DRB-01282 Minor-Subd Design (DPM) Variance

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018, DRB-01077] [Deferred from 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/29/06.**

6. **Project # 1005070**
06DRB-01154 Major-Preliminary Plat Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). [Deferred from 9/6/06 & 9/13/06 & 9/27/06 & 10/11/06 & 10/25/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/29/06.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

- 7. Project # 1003272**
06DRB-01509 Minor-SiteDev Plan
BldPermit

CLAUDIO VIGIL ARCHITECTS agent(s) for AMERI-CONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) 2-A-1-B-2-B-1, **ALBUQUERQUE WEST, UNIT 2**, zoned SU-1 FOR C-3 USES, located on EAGLE RANCH RD NW, between PASEO DEL NORTE NW and ALL SAINTS NW containing approximately 1 acre(s). [REF: 06DRB01253] (C-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK EASEMENTS ALONG HIGH ASSETS AND EAGLE RANCH ROAD, PICTURES OF PERMANENT CURVE AND UTILITIES DEVELOPMENT FOR RESOLUTION OF SEWER SERVICE AND 3 COPIES OF THE SITE PLAN.**

- 8. Project # 1004644**
06DRB-01189 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of, THE TRAILS, UNIT 2, SANTA FE 3, (to be known as **THE TRAILS, UNIT 9A**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [Deferred from 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06] (C-9) **WITHDRAWN AT THE AGENT'S REQUEST.**

- 9. Project # 1004872**
06DRB-01491 Minor-SiteDev Plan
BldPermit/EPC

DENISH & KLINE ASSOCIATES agent(s) for FOREST CITY COVINGTON NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) within the NW ¼ of the NW ¼ of Section 22, T9N, R3E, NMPM, Mesa Del Sol Employment Center, Phase I, **MESA DEL SOL, BUILDINGS 2 & 3**, zoned SU-1/IP Uses, located on University Blvd Extension SE between Street C SE and Street D SE containing approximately 12 acre(s). [Catalina Lehner, EPC Case Planner] [Deferred from 10/18/06] (R-16) **WITH THE SIGNING OF THE**

INFRASTRUCTURE LIST DATED 10/25/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/10/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND COMPLETION OF AMENDMENT TO UTILITY DEVELOPMENT AGREEMENT AND PLANNING FOR 3 COPIES OF THE SITE PLAN.

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project # 1000029**
06DRB-01517 Minor-Extension of Preliminary Plat

BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND AND TRUST request(s) the above action(s) for all or a portion of Lot(s) C and B-1A-1, **DUKE CITY LUMBER COMPANY ADDITION** and Lot(s) D-1-A, **ARBOLERA DE VIDA, PHASE 2**, zoned S-M1, S-DR, located on Bellamah Ave NW between 19th St NW and 18th St NW containing approximately 25 acre(s). [REF: 05DRB-01681] (H-13) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

11. **Project # 1001656**
06DRB-01510 Minor-Prelim&Final Plat Approval

SANTIAGO ROMERO JR. agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT request(s) the above action(s) for all or a portion of Tract(s) A & L, Parcels 1-5, **DOUBLE EAGLE II AIRPORT**, zoned SU-1 Airport Related Facilities, located west of Paseo De Vulcan NW and north of Double Eagle II Airport containing approximately 3, 489 acre(s). [REF: 02DRB00710] (C-4, C-5, D-5, D-6, E-4, E-5, E-6, G-4, G-5 & G-6) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SHOWING OF ACCESS FOR PARCELS 1-5 AND PLANNING FOR NOTICE OF SUBDIVISION PLAT CONDITIONS DOCUMENT AND TO RECORD.**

12. **Project # 1003757**
06DRB-01522 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN PA agent(s) for CREAMLAND LLC request(s) the above action(s) for Lot(s) 1-12, Block(s) 4, FRANCISCAN ADDITION and Lot(s) 1-7, Block(s) 2, ALVARADO ADDITION and Lot(s) 1-7, Block(s) 7, ALVARADO ADDITION and VACATED HAINES AVE RIGHT-OF-WAY (to be known as **TRACT A, LANDS OF CREAMLAND LLC**) zoned M-1 light manufacturing zone, located on MCKNIGHT AVE NW, between 2ND ST NW and 3RD ST NW containing approximately 3 acre(s). [REF: 04DRB-01688] (H-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/25/06 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

13. **Project # 1005219**
06DRB-01516 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING agent(s) for DAVID HILLSON request(s) the above action(s) for all or a portion of Tract(s) A-1, **WAGGOMAN-DENISON ADDITION**, zoned C-2, located on Wyoming Blvd SE between Central Ave SE and Zuni Rd SE containing approximately 2 acre(s). (K-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS EASEMENTS AND DRIVE PAD CONSOLIDATION AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**

14. **Project # 1005147**
06DRB-01527 Minor-Prelim&Final Plat
Approval

B. KAY SHAFER request(s) the above action(s) for all or a portion of Lot(s) 47, **UNIT 3 MCDONALD ACRES**, zoned R-1 residential zone, located on PHOENIX AVE NW, between 9TH ST NW and 10TH ST NW containing approximately 1 acre(s). [REF: 06DRB-01342] (H-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

15. **Project # 1004924**
06DRB-01514 Minor-Final Plat Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Tract(s) B, **FEDERAL PLAZA**, zoned SU-1 FOR O-1 USES, located on HOMESTEAD RD NE, between MONTGOMERY BLVD NE and SAN MATEO BLVD NE containing approximately 4 acre(s). [REF: 06DRB-01181, 06DRB-01274, 06DRB-01273] (G-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR MAINTENANCE OF NOTE 14 PUBLIC SIDEWALK EASEMENT.**

16. **Project # 1004739**
06DRB-01511 Minor-Final Plat Approval

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 4, Trails, Unit 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**), zoned SU-2-UR, located on Oakridge St NW between Rainbow Blvd NW and Universe Blvd NW containing approximately 19 acre(s). [REF: 06DRB-01382, 06DRB-01383, 06DRB-01384] (C-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR NMU INC SIGNATURE AND TO RECORD.**

17. **Project # 1002730**
06DRB-01521 Minor-Final Plat Approval

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS II LLC request(s) the above action(s) for all or a portion of Lot(s) 13-A-1, Block(s) 6, Tract(s) 3, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **VILLA FIRENZE**) zoned R-D, located on CORONA AVE NE, between VENTURA ST NE and MENDOCINO DR NE containing approximately 4 acre(s). [REF: 06DRB-01204] [*Deferred from 10/25/06*] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 11/8/06.**

18. **Project # 1003523**
06DRB-01529 Major-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for MONTEREY LAND GROUP II, LLC request(s) the above action(s) for all or a portion of Lot(s) 30, 31, 32 & 33, LANDS OF ATRISCO GRANT, UNIT 3 (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2/RLT, located on 98th St NW between Endee Rd NW and Interstate 25 containing approximately 14 acre(s). [REF: 05DRB01369] (J-8, J-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR VERIFICATION IF SIDEWALK WAIVER IS NOT NEEDED, ENTRADA VISTA ENTRANCE, TRACT A DRAINAGE EASEMENT TO CITY OF ALBUQUERQUE AND MAINTENANCE AND BENEFICIARIES OF ALL HOME OWNERS ASSOCIATION TRACTS (FIX NOTE), AMAFCA'S SIGNATURE AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**

19. **Project # 1004675**
06DRB-01518 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for MONTEREY LAND GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) 1, SP KINSCHERFFLAND and SW ¼ ON NE ¼, SEC 35, T11N, R2E (to be known as **VISTA DE LA LUZ**) zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAIL NW and DELLYNE AVE NW containing approximately 28 acre(s). [REF: 06DRB-00836, 06DRB-01026, 01027, 01028, 01029 & 01030] (F-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA'S SIGNATURE AND TO RECORD.**

20. **Project # 1002567**
06DRB-01523 Minor-Final Plat Approval

ADVANCED ENGINEERING & CONSULTING agent(s) for STEVE KIRK request(s) the above action(s) for all or a portion of Lot(s) 5-A & 5-B, COLEMAN ADDITION (to be known as **HACIENDA DE LOIS SUBDIVISION**) zoned R-2 residential zone, located on 12TH ST NW, between MENAUL EXTENSION NW and LA POBLANA NW containing approximately 1 acre(s). [REF: 06DRB-00726] (H-13)

FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.

21. Project # 1004240

06DRB-01524 Major-Final Plat Approval
06DRB-01525 Minor-Subd Design (DPM)
Variance

ADVANCED ENGINEERING AND CONSULTING agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 & A-2, **LANDS OF E. MAS**, zoned SU-1 for C-1 and R-1, located on Indian School Rd NW between Meadow View Dr NW and Rio Grande Blvd NW containing approximately 5 acre(s). [REF: 05DRB-00918] (H-13) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EASEMENT ADJUSTMENTS AND A NOTE TO ADD CURB AND SIDEWALK MAINTENANCE AND PLANNING FOR AGIS DXF FILE AND TO RECORD. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

22. Project # 1003004

06DRB-01512 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for STILLBROOKE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 414, 415-B, 415-C, 415-D & 41, ATRISCO GRANT UNIT 3 (to be known as **STINSON PARK SUBDIVISION**) zoned R-D residential and related uses zone, developing area, located on TOWER RD SW, between UNSER BLVD SW and STINSON ST SW containing approximately 15 acre(s). [REF: 04DRB-01974, 04DRB-01975, 05DRB-01776] (L-10) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR OPEN SPACE NOTE AND PAYMENT AND TO PLANNING TO RECORD.**

23. **Project # 1003991**
06DRB-01513 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for FD SAGE MARKET PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) A-1-C, TOWN OF ATRISCO GRANT, UNIT 7 (to be known as **SAGE RANCH SUBDIVISION**) zoned R-LT, located on Snow Vista Blvd SW between Sage Rd SW and Reba Ave SW containing approximately 4 acre(s). [REF: 05DRB-01293, 05DRB-01294, 06DRB-00437] (M-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR RESOLVING ISSUES WITH EXISTING 20-FOOT WATER LINE EASEMENT AND 7-FOOT PUE EASEMENT ON TRACT A AND PLANNING FOR HOME OWNER'S ASSOCIATION PRESIDENT'S SIGNATURE ON THE PLAT AND TO RECORD.**

24. **Project # 1002632**
06DRB-01409 Major-Final Plat Approval

TIERRA WEST LLC agent(s) for CAPITAL ALLIANCE INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 3-9, 12, 23 & 24, Block(s) 5, Tract(s) A & 5, SUNDANCE ESTATES, UNIT 1 (to be known as **SUNDANCE ESTATES, UNIT 1-B**) zoned R-LT, located on LYON BLVD NW, between PARADISE BLVD NW and UNSER NW containing approximately 11 acre(s). [REF: 03EPC-00690, 03DRB-01306, 04DRB-00760, 04DRB-00761, 04DRB-01761] [*Deferred from 10/11/06 & Deferred at the Board's request from 10/18/06*] (B-11) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR NATIONAL PARK SERVICE LETTER AND PLANNING TO RECORD. THIS PLAT IS NOT WITHIN THE BOUNDARIES OF THE PETROGLYPH NATIONAL MONUMENT.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

25. **Project # 1005220**
06DRB-01519 Minor-Sketch Plat or Plan

HARRIS SURVEYING INC. agent(s) for JOHN S. PALONI request(s) the above action(s) for **UNPLATTED LAND**, zoned M-1, located on MENAUL BLVD NE, between the

NORTH FRONTAGE RD NE and UNIVERSITY BLVD NE containing approximately 7 acre(s). (H-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. **Project # 1005221**
06DRB-01520 Minor-Sketch Plat or Plan

PRECISION SURVEYS INC., agent(s) for JOURNAL PUBLISHING COMPANY request(s) the above action(s) for Tract(s) 5-B-1-A-1, 5-B-1-A-2, 5-B-1-B (to be known as **JOURNAL CENTER, TRACTS 5-B-1-A-1-B, 5-B-1-A-2-B & 5-B-1-B-2**) zoned IP, located on JEFFERSON ST NE and TIBURON ST NE containing approximately 12 acre(s). (D-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

27. Approval of the Development Review Board Minutes for October 18, 2006. **THE DRB MINUTES FOR OCTOBER 18, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 1:50 P.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1002567

AGENDA ITEM NO: 20

SUBJECT:

Final Plat

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: OCTOBER 25, 2006



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 6, 2006

3. Project # 1002567

06DRB-01158 Major-Preliminary Plat Approval
06DRB-01163 Minor-Vacation of Private Easements
06DRB-01159 Minor-Subd Design (DPM) Variance
06DRB-01161 Minor-Sidewalk Variance
06DRB-01162 Minor-Temp Defer SDWK

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for STEVE KIRK request(s) the above action(s) for all or a portion of Lot(s) 5-A-1, COLEMAN ADDITION (to be known as **HACIENDA DE LOIS SUBDIVISION**) zoned R-2 residential zone, located on 12TH ST NW, between MENAUL EXTENSION NW and LA POBLANA NW containing approximately 1 acre(s). [REF: 06DRB-00726] (H-13)

At the September 6, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 9/6/06 and approval of the grading plan engineer stamp dated 8/31/06 the preliminary plat was approved with the following conditions of final plat approval:

If the final plat is approved after October 31, 2006, the subdivider must comply with City Council Resolution R-06-74 regarding Pre-Development Facility Fee agreements with the Albuquerque Public Schools (APS).

M.R.G.C.D. signature on the plat is required unless proof of final easement is given.

An improved wall design is needed,

13-feet from face of curb to property line should be dedicated as right-of-way.

The vacation of the private easements was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

*No signature needed
per B.B.*



OFFICIAL NOTICE OF DECISION

PAGE 2

A subdivision design variance from minimum design standards was approved as shown on Exhibit C in the Planning file.

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by September 21, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

A handwritten signature in black ink, appearing to read "Sheran Matson".

Sheran Matson, AICP, DRB Chair

Cc: Steve Kirk, P.O. Box 10356, 87184
Advanced Engineering & Consulting LLC, 4416 Anaheim Ave NE, 87113
George Hutton, 1820 Indian School Rd NW, Apt. 103, 87104
Claude Morrelli, 7 Garden Park Cr NW, 87107
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002567 AGENDA#: 3 DATE: 9/6/06

NEIGHBOR

1. Name: George Hutter Address: 1820 Judson School Rd Zip: 87103

NEIGHBOR

2. Name: Cloude Morelli Address: 7 Garden Park Zip: 87107

3. Name: Steve Kil Address: Circle NW PO Box 10356 Albuquerque NM Zip: 87104

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1002567

AGENDA ITEM NO: 3

SUBJECT:

Preliminary Plat
Sidewalk Deferral
Sidewalk Variance
Vacation of Private Easements
Subdivision Design Variance

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

P.O. Box 1293

ENGINEERING COMMENTS:

Albuquerque

No objection to Sidewalk Waiver or Sidewalk Deferral request.
Prior to Final Plat approval, MRGCD must concur with the Vacation request
An approved drainage plan dated 8-31-06 is on file for Preliminary Plat approval.
No objection to design variance.

New Mexico 87103

www.cabq.gov

RESOLUTION:

Signed IL

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: SEPTEMBER 6, 2006



*Late
Comment*

PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, September 6, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

Comments by Roger Green

Project # 1003366

06DRB-01160 Major-Two Year SIA
No objection to Extension Request.

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for FELIX RABADI request(s) the above action(s) for all or a portion of Tract(s) T-1-A-2, TOWN OF ALAMEDA GRANT (to be known as **RABADI COMPLEX**) zoned SU-1 PRD, located on GOLF COURSE NW between IRVING BLVD NW and the CALABACILLAS ARROYO containing approximately 9 acre(s). [REF: 04EPC-00498, 04DRB-00596, 06DRB-00056] (B-12)

Project # 1002567

06DRB-01158 Major-Preliminary Plat Approval
06DRB-01163 Minor-Vacation of Private Easements
06DRB-01159 Minor-Subd Design (DPM) Variance
06DRB-01161 Minor-Sidewalk Variance
06DRB-01162 Minor-Temp Defer SDWK
Minor revisions required on the Infrastructure List for Preliminary Plat approval.
No objection to Design Variance or Sidewalk Variance and Deferral.

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for STEVE KIRK request(s) the above action(s) for all or a portion of Lot(s) 5-A-1, COLEMAN ADDITION (to be known as **HACIENDA DE LOIS SUBDIVISION**) zoned R-2 residential zone, located on 12TH ST NW, between MENAUL EXTENSION NW and LA POBLANA NW containing approximately 1 acre(s). [REF: 06DRB-00726] (H-13)

Project # 1005070

06DRB-01154 Major-Preliminary Plat Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK
No objection to Preliminary Plat approval, NMUI must sign the Infrastructure List.
No objection to Sidewalk Waiver/Defferal.

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). (C-9)

Project # 1004943

06DRB-01164 Major-Preliminary Plat Approval
06DRB-01165 Minor-SiteDev Plan BldPermit
06DRB-01166 Minor-Sidewalk Waiver
06DRB-01167 Minor-Temp Defer SDWK
No objection to Preliminary Plat approval, NMUI must sign the Infrastructure List.
No objection to Site Plan approval.
No objection to Sidewalk Waiver/Defferal.

ISAAC BENTON & ASSOCIATES agent(s) for J & J REAL ESTATE PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) D, VILLAGE CENTER NORTH (to be known as **PINNACLE PEAK TOWNHOMES**) zoned SU-1 for R-2, located on PINNACLE PEAK NW, between SUMMER RIDGE NW and MCMAHON NW containing approximately 2 acre(s). [REF: 06DRB-00801] (A-11)



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

September 6, 2006

Project # 1002567

- 06DRB-01158 Major-Preliminary Plat Approval
- 06DRB-01163 Minor-Vacation of Private Easements
- 06DRB-01159 Minor-Subd Design (DPM) Variance
- 06DRB-01161 Minor-Sidewalk Variance
- 06DRB-01162 Minor-Temp Defer SDWK

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for STEVE KIRK request(s) the above action(s) for all or a portion of Lot(s) 5-A-1, COLEMAN ADDITION (to be known as **HACIENDA DE LOIS SUBDIVISION**) zoned R-2 residential zone, located on 12TH ST NW, between MENAUL EXTENSION NW and LA POBLANA NW containing approximately 1 acre(s). [REF: 06DRB-00726] (H-13)

AMAFCA No adverse comments.

COG 12th St is designated a minor arterial with an established right of way of 86 feet in the Long Range Roadway System. 12th St also has on-street bike lanes. Please coordinate with DMD to insure project conformity with these adopted policies of the Metropolitan Transportation Board.

Transit No objection to the request.

Zoning Enforcement No adverse comments.

Neighborhood Coordination Letter sent to Near North Valley NA (R).

APS **Hacienda de Lois Subdivision** is a proposed development consisting of 11 single-family homes. The proposed development will affect Cochiti Elementary School, Garfield Middle School, and Valley High School.

School	2006-07 Projections	2006-07 Capacity	Space Available
Cochiti	312	369	57
Garfield	367	456	89
Valley	1,750	2,100	350

Cochiti Elementary will be nearing capacity as projects in the area build out (e.g. Alameda Lateral will consist of 216 condos).

Garfield Middle School and Valley High School will have excess capacity to support future student growth in the proposed development.

In regards to sidewalks, sidewalks near schools should not be waived as this would discourage walking to school. Subdivisions that are located within one mile of an elementary school, 1 ½ miles of a middle school, and 2 miles of a high school should be required to provide sidewalks/paths for students to access nearby schools

Police Department No crime prevention or CPTED comments at this time.

Fire Department Fire Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Electric & Gas Approved.

Comcast No comments received.

QWEST No comments received.

Environmental Health No comments received.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer

An approved drainage report is required for Preliminary Plat approval. MRGCD concurrence is required for vacation request. No objection to DPM or Sidewalk variance.

Transportation Development

The drainage plan does not show the proper street width. Fire and Solid Waste need to approve the use of the K-turn in lieu of a cul-de-sac. No objection to the sidewalk variance or deferral. No objection to the vacation request. The sub-division design variance needs should have an exhibit showing the cross-section. What is the distance from face of curb to the property line? I am assuming that the 6' sidewalk will be placed at property line? Signage per DRC needs to be added.

Parks & Recreation

No objection to the platting action. Defer to MRGCD regarding the ditch easement. Defer to Transportation regarding the DPM variance and sidewalk issues

Utilities Development

Comments will be provided at hearing.

Planning Department Planning has no objection to any of the requested actions.

Impact Fee Administrator

The creation of a new residential subdivision, vacation of easements and a temporary deferral of sidewalks will not require payment of Impact Fees. However, Impact Fees will be required at the time a building permit is issued for each home on each lot. Using an average of 2000sf of heated area the estimated impact fees are as follows:

1. Public Safety Facilities, Eastside: \$552.00
2. Parks, Recs., Trails, Open Space North Valley: \$3260.00

Impact Fees are to be paid at the time of issuance of building permits; however, the total Impact Fees may be paid at a rate of 67% if permits are obtained by December 29, 2006

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Steve Kirk, P.O. Box 10356, 87184

Advanced Engineering & Consulting LLC, 4416 Anaheim Ave NE, 87113



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, September 6, 2006, beginning at 9:00 a.m.** for the purpose of considering the following:

Project # 1003366

06DRB-01160 Major-Two Year SIA

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for FELIX RABADI request(s) the above action(s) for all or a portion of Tract(s) T-1-A-2, TOWN OF ALAMEDA GRANT (to be known as **RABADI COMPLEX**) zoned SU-1 PRD, located on GOLF COURSE NW between IRVING BLVD NW and the CALABACILLAS ARROYO containing approximately 9 acre(s). [REF: 04EPC-00498, 04DRB-00596, 06DRB-00056] (B-12)

Project # 1002567

06DRB-01158 Major-Preliminary Plat Approval
06DRB-01163 Minor-Vacation of Private Easements
06DRB-01159 Minor-Subd Design (DPM) Variance
06DRB-01161 Minor-Sidewalk Variance
06DRB-01162 Minor-Temp Defer SDWK

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for STEVE KIRK request(s) the above action(s) for all or a portion of Lot(s) 5-A-1, COLEMAN ADDITION (to be known as **HACIENDA DE LOIS SUBDIVISION**) zoned R-2 residential zone, located on 12TH ST NW, between MENAUL EXTENSION NW and LA POBLANA NW containing approximately 1 acre(s). [REF: 06DRB-00726] (H-13)

Project # 1005070

06DRB-01154 Major-Preliminary Plat Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). (C-9)

Project # 1004943

06DRB-01164 Major-Preliminary Plat Approval
06DRB-01165 Minor-SiteDev Plan BldPermit
06DRB-01166 Minor-Sidewalk Waiver
06DRB-01167 Minor-Temp Defer SDWK

ISAAC BENTON & ASSOCIATES agent(s) for J & J REAL ESTATE PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) D, VILLAGE CENTER NORTH (to be known as **PINNACLE PEAK TOWNHOMES**) zoned SU-1 for R-2, located on PINNACLE PEAK NW, between SUMMER RIDGE NW and MCMAHON NW containing approximately 2 acre(s). [REF: 06DRB-00801] (A-11)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 21, 2006.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: SEPTEMBER 6, 2006
Zone Atlas Page: H-13-Z
Notification Radius: 100 Ft.

Project# 1002567
App#06EPC-01158
App#06EPC-01159
App#06EPC-01161
App#06EPC-01162
App#06EPC-01163

Cross Reference and Location: 12 ST NW BETWEEN MENAUL EXTENSION
NW AND LA POBLANA NW

Applicant: STEVE KIRK
Address: PO BOX 10356
ALBUQUERQUE, NM 87184

Agent: ADVANCED ENGINEERING AND CONSULTING, LLC
4416 ANAHEIM AVENUE NE
ALBUQUERQUE, NM 87113

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: AUGUST 18, 2006
Signature: YVONNE SAAVEDRA

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

S Z

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

P

L A

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Steve Kirk PHONE: (505) 897-5971
 ADDRESS: PO Box 10356 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87184 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Steve Kirk
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Avenue, NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

DESCRIPTION OF REQUEST: Preliminary Plat Approval, Sidewalk Deferral, Road Design Variance and Sidewalk Design Variance, Grading Plan Approval
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 5-A-1 Block: _____ Unit: _____
 Subdiv. / Addn. Coleman Addition TBK: HACIENDA DE LOIS SUBDIVISION
 Current Zoning: R-2 Proposed zoning: The Same
 Zone Atlas page(s): H-13-Z No. of existing lots: 1 No. of proposed lots: 11
 Total area of site (acres): .8647 Acres Density if applicable: dwellings per gross acre: .08 dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits. Within 1000FT of a landfill? No
 UPC No. 101305949642811007, 101305948043111033 MRGCD Map No. _____
 PROPERTY BY STREETS: On or Near: 12 St. NW
 Between: Menaul Extension NW and La Poblana. NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1002567, 06DRB-00726

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 8-10-06
 (Print) Shawn Baizar, Managing Member Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

06DRB - 01158
06DRB - 01159
06DRB - 01161
06DRB - 01162
06DRB - 01163

Action

PP S(2)
SDV Y
SV Y
TDS Y
VPRE Y
ADV
CMF

S.F.

5(2)
Y
Y
Y
Y
Y

Fees

\$ 825.00
 \$ 0.00
 \$ 0.00
 \$ 0.00
 \$ 45.00
 Total 75.00
 \$ 905.00

Hearing date 09/06/06

Sandy Handley 08/11/06
 Planner signature / date

Project # 1002567

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Proposed Infrastructure List
 - Design elevations & cross sections of perimeter walls 3 copies (11" x 17" maximum)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed plat
 - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Signed Pre-Annexation Agreement if Annexation required.
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dr. Pm Shaan Biazas
 Applicant name (print)
Dr. Pm Biazas 8-10-06
 Applicant signature / date



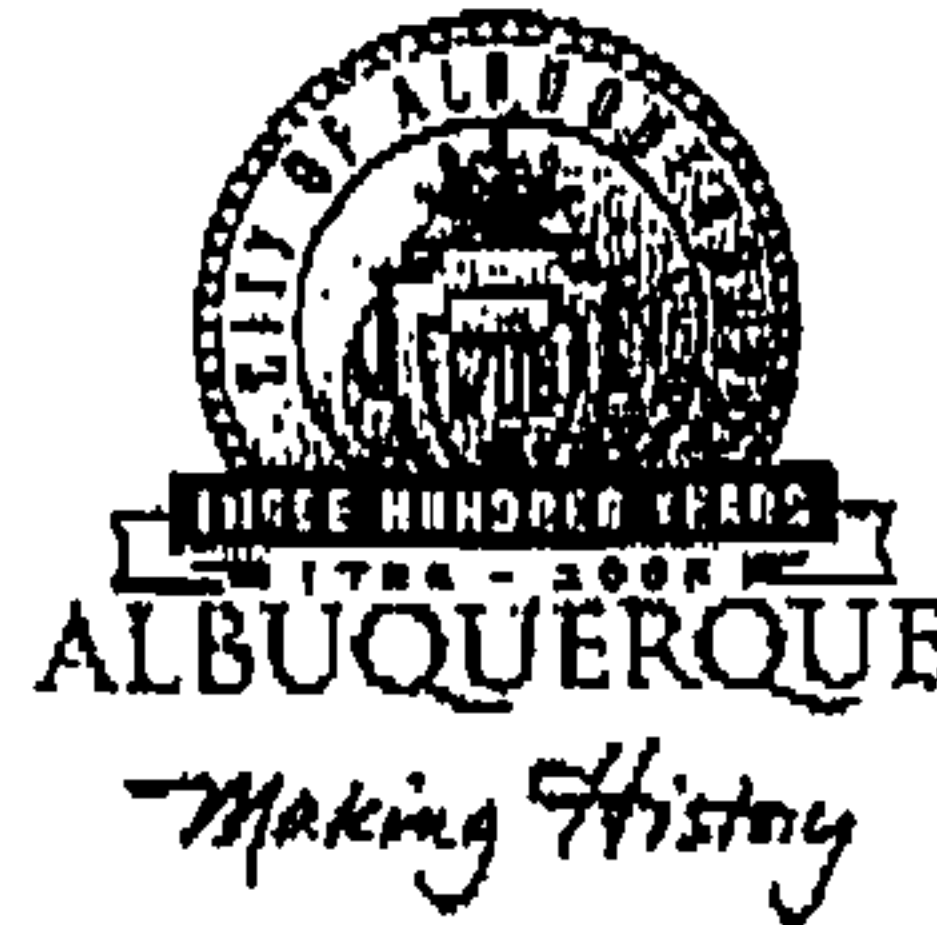
Form revised 11/04 and JUNE 05

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 06DRB - 01158

Sandy Handley 08/11/06
 Planner signature / date
 Project # 1002567

Re c	UPC CODE	OWNER	OWNER ADDRESS	OWNE R CITY	OWNE R STATE	OWNE R ZIP CODE	PRO PERT Y CLA SS	TAX DIST RICT	LEGAL
1	1013059 4504171 1017	ARUNDALE CONN IE J	1518 VAN CL EAVE NW	ALBUQ UERQU E	NM	87107	RES	A1A M	* 012 SIERRA V SUB S1/2
2	1013059 4793851 1023	NELSON GORDA NE & CHOM T	4623 GREEN E NW B	ALBUQ UERQU E	NM	87107	COM M	A1A M	TR A PLAT OF TRS A & B LAND OF HORN INVESTME L OF LT 1 COLEM AN AD
3	1013059 4644461 1013	DILS BONNIE A	2916 SIERR A VISTA ST N W	ALBUQ UERQU E	NM	87107	RES	A1A M	LT 10C SIERRA VISTA SUB
4	1013059 4594361 1014	CHIFALO FRANK ETUX	2900 SIERR A VISTA RD NW	ALBUQ UERQU E	NM	87107	RES	A1A M	* 011 EXC S 50 FT SIERRA VISTA S UB
5	1013059 5124361 1401	WENDT GERALD E	1111 LA POB LANA NW	ALBUQ UERQU E	NM	87107	RES	A1A M	* 55B REVISED SUMMARY PLAT LO T 55 REDIVISION A LD ACRES SUB D CONT
6	1013059 4913851 1022	ROBBINS RUTHIE HORN	634 GRACEL AND SE	ALBUQ UERQU E	NM	87108	COM M	A1A M	TR B PLAT OF TRS A & B LAND OF HORN INVESTME L OF LT 1 COLEM AN AD
7	1013059 4664001 1029	BERRY CHARLES & SHARON	PO BOX 3741 0	ALBUQ UERQU E	NM	87176	RES	A1A M	LOT 10-C- 1 AMENDED PLAT OT LTS 9-A, 10- B, 10 A N ADD CONT 5,4 56
8	1013059 5093901 1212	BAIRD DAVID E	6916 4TH ST NW B	ALBUQ UERQU E	NM	87107 6119	COM M	A1A M	MCDONALD ACRES #4 N52FT OF L 10 1&L102
9	1013059 4914481 1009	ORTIZ AURORA	2911 12TH S T NW	ALBUQ UERQU E	NM	87104	RES	A1A M	* 007 COLEMAN ADD
10	1013059 4834171 1025	CITY OF ALBUQU ERQUE	PO BOX 1293	ALBUQ UERQU E	NM	87103 1293	COM M	A1A M	LTS 3 & 4 & S90 FT OF LOT 8 & N 3 0 FT OF LT & POR. OF VAC.
11	1013059 4794401 1008	ORTIZ AURORA	2911 12TH S T NW	ALBUQ UERQU E	NM	87107 1123	RES	A1A M	* 6-A RE- AMENDED REPLAT OF LOT 6 COLE MAN ADD
12	1013059 4884421 1031	ORTIZ AURORA	2911 12TH S T NW	ALBUQ UERQU E	NM	87107 1123	VAC	A1A M	* 6-B RE- AMENDED REPLAT OF LOT 6 COLE MAN ADD
13	1013059 4984431 1032	ORTIZ AURORA	2911 12TH S T NW	ALBUQ UERQU E	NM	87107 1123	COM M	A1A M	* 6-C RE- AMENDED REPLAT OF LOT 6 COLE MAN ADD
14	1013059 4804311 1033	KIRK STEVEN D & DEBRA G	PO BOX 1035 6	ALBUQ UERQU E	NM	87184	VAC	A1A M	LT 5-A PLAT OF LOT 5-A & 5- B C OLEMAN ADDITIO C
15	1013059 4564311 1015	CHIFALO FRANK ETUX	2900 SIERR A VISTA ST N W	ALBUQ UERQU E	NM	87107 1042	RES	A1A M	SIERRA V SUB S50FT TR11
16	1013059 4964281 1007	KIRK STEVEN D & DEBRA G	PO BOX 1035 6	ALBUQ UERQU E	NM	87184	RES	A1A M	LT 5-B PLAT OF LOT 5-A & 5- B C OLEMAN ADDITIO C
17	1013059 4534251 1016	GONZALES EVID ELIO & ERALIA	2834 SIERR A VISTA ST N W	ALBUQ UERQU E	NM	87107 1040	RES	A1A M	* 012 SIERRA V SUB N1/2
18	1013059 5104191 1324	ROMERO THOMA S A & ANTOINETT E M	1124 LA POB LANA RD NW	ALBUQ UERQU E	NM	87107	RES	A1A M	* 078 MCDONALD ACRES #4
19	1013059 4464131 1018	REMO ROXANNE &	2824 SIERR A VISTA NW	ALBUQ UERQU E	NM	87107 1040	RES	A1A M	* 013 SIERRA V SUB NO 50FT
20	1013059	BERRY PROPERT	PO BOX 3741	ALBUQ	NM	87176	RES	A1A	LOT 9-A-

	4564091 1005	IES LLC	0	UERQU E				M	1 AMENDED PLAT OF LTS 9-A, 10-B, 10- N ADD CONT 8,06 4 S
21	1013059 4684101 1004	BERRY PROPERT IES LLC	PO BOX 3714 0	ALBUQ UERQU E	NM	87176	RES	A1A M	LOT 9-A- 2 AMENDED PLAT OF LTS 9-A, 10-B, 10- N ADD CONT 5,22 0 S
22	1013059 4454091 1019	CHAVEZ FRANK L & MARTHA P	2820 SIERR A VISTA ST N W	ALBUQ UERQU E	NM	87107 1040	RES	A1A M	SIERRA V SUB N33FT S 93FT L13
23	1013059 5084051 1301	ORTEGA DAVID E TUX	1111 WOOD LAND AVE N W	ALBUQ UERQU E	NM	87107 1156	RES	A1A M	* 079 MCDONALD ACRES 4TH UNIT
24	1013059 4434041 1020	CHIFALO FRANK A	2900 SIERR A VISTA ST N W	ALBUQ UERQU E	NM	87107 1042	RES	A1A M	* 013 SIERRA V SUB S 60FT
25	1013059 4553971 1003	BERRY CHARLES G & SHARON C	1303 MENAU L BLV NW	ALBUQ UERQU E	NM	87107	RES	A1A M	LOT 11 A COLEMAN ADD REPLAT S L Y 70FT LOT 9 & 1 1 & VACATED P O
2 6 6	10130594674051100	BERRY CHARL ES & SHARON	PO BOX 3 7410	ALBUQU ERQUE	NM	87 17 6	RES	A1 AM	LOT 10-B- 1 AMENDED PLAT OT LTS 9-A, 10- B, 10 A N ADD CONT 5,4 56
2 7 4	10130594843951102	TRUJILLO LOUI S B & MARIA T	1589 BRI DGE BLV SW	ALBUQU ERQUE	NM	87 10 5	RES	A1 AM	LOT 2 COLEMAN ADD & E 20FT VA C ATED COLEMAN A
2 8 1	10130595093841120	ALL WASHED U P INC	407 RIO G RANDE N W	ALBUQU ERQUE	NM	87 10 4	COM M	A1 AM	LOT 101-A PLAT OF LOT 101- A MC DONALD ACRES F T .3438 A C



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

July 21, 2006

Sally Salazar
Advanced Engineering and Consulting, LLC
4416 Anaheim Avenue NE/87113
Phone: (505) 899-5570/Fax: (505) 897-4996

Dear Sally

Thank you for your inquiry of July 21, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **LOT 5-A-1 COLEMAN ADDITION, LOCATED ON 12TH STREET NW BETWEEN MENAUL EXTENSION NW AND LA POBLANA NW Zone Map: H-13.**

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

NEAR NORTH VALLEY N.A. (NNV) "R"

***George Hutton**

1820 Indian School NW #103/87104 220-9863 (h)

Kristina Anderson

1115 Mildred Ave. NW/87107 345-1963 (h) 345-3258 (w)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

planningrnaform(10/08/05)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet **-OR-**
- [] The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.
- [] Copies of Letters to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **07/21/06** Time Entered: **2:50 p.m.** ONC Rep. Initials: **SW**

OR CURRENT RESIDENT
101305945041711017
ARUNDALE CONNIE J
1518 VAN CLEAVE NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305945943611014
CHIFALO FRANK ETUX
2900 SIERRA VISTA RD NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305946640011029
BERRY CHARLES & SHARON
PO BOX 37410
ALBUQUERQUE, NM 87176

OR CURRENT RESIDENT
101305947944011008
ORTIZ AURORA
2911 12TH ST NW
ALBUQUERQUE, NM 87107 1123

OR CURRENT RESIDENT
101305949642811007
KIRK STEVEN D & DEBRA G
PO BOX 10356
ALBUQUERQUE, NM 87184

OR CURRENT RESIDENT
101305944641311018
REMO ROXANNE &
2824 SIERRA VISTA NW
ALBUQUERQUE, NM 87107 1040

OR CURRENT RESIDENT
101305950840511301
ORTEGA DAVID ETUX
1111 WOODLAND AVE NW
ALBUQUERQUE, NM 87107 1156

OR CURRENT RESIDENT
101305948439511024
TRUJILLO LOUIS B & MARIA T
1589 BRIDGE BLV SW
ALBUQUERQUE, NM 87105

Project # 1002567

ADVANCED ENGINEERING &
CONSULTING, LLC
4416 ANAHEIM AVENUE NE
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT
101305947938511023
NELSON GORDAN E & CHOM T
4623 GREENE NW B
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305951243611401
WENDT GERALD E
1111 LA POBLANA NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305950939011212
BAIRD DAVID E
6916 4TH ST NW B
ALBUQUERQUE, NM 87107 6119

OR CURRENT RESIDENT
101305948043111033
KIRK STEVEN D & DEBRA G
PO BOX 10356
ALBUQUERQUE, NM 87184

OR CURRENT RESIDENT
101305945342511016
GONZALES EVIDELIO & ERALIA
2834 SIERRA VISTA ST NW
ALBUQUERQUE, NM 87107 1040

OR CURRENT RESIDENT
101305945640911005
BERRY PROPERTIES LLC
PO BOX 37410
ALBUQUERQUE, NM 87176

OR CURRENT RESIDENT
101305944340411020
CHIFALO FRANK A
2900 SIERRA VISTA ST NW
ALBUQUERQUE, NM 87107 1042

OR CURRENT RESIDENT
101305950938411201
ALL WASHED UP INC
407 RIO GRANDE NW
ALBUQUERQUE, NM 87104

Project # 1002567
GEORGE HUTTON
Near North Valley N.A.
1820 INDIAN SCHOOL NW # 103
ALBUQUERQUE, NM 87103

OR CURRENT RESIDENT
101305946444611013
DILS BONNIE A
2916 SIERRA VISTA ST NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305949138511022
ROBBINS RUTHIE HORN
634 GRACELAND SE
ALBUQUERQUE, NM 87108

OR CURRENT RESIDENT
101305949144811009
ORTIZ AURORA
2911 12TH ST NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305945643111015
CHIFALO FRANK ETUX
2900 SIERRA VISTA ST NW
ALBUQUERQUE, NM 87107 1042

OR CURRENT RESIDENT
101305951041911324
ROMERO THOMAS A & ANTOINETTE
M
1124 LA POBLANA RD NW
ALBUQUERQUE, NM 87107


OR CURRENT RESIDENT
101305944540911019
CHAVEZ FRANK L & MARTHA P
2820 SIERRA VISTA ST NW
ALBUQUERQUE, NM 87107 1040

OR CURRENT RESIDENT
101305945539711003
BERRY CHARLES G & SHARON C
1303 MENAUL BLV NW
ALBUQUERQUE, NM 87107

Project # 1002567

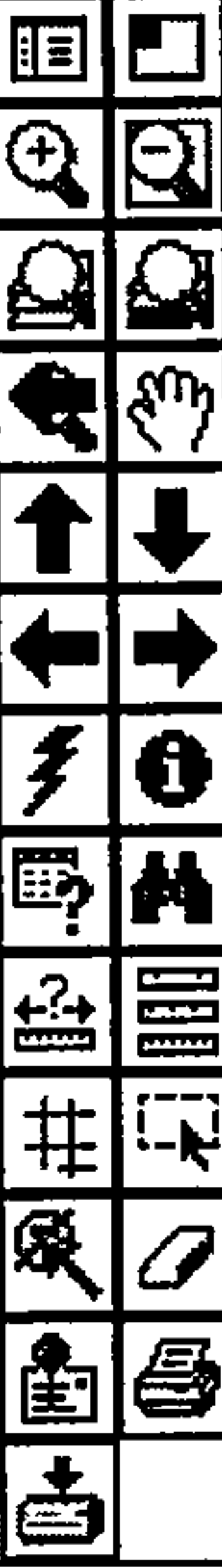
STEVE KIRK
PO BO 10356
ALBUQUERQUE, NM 87184

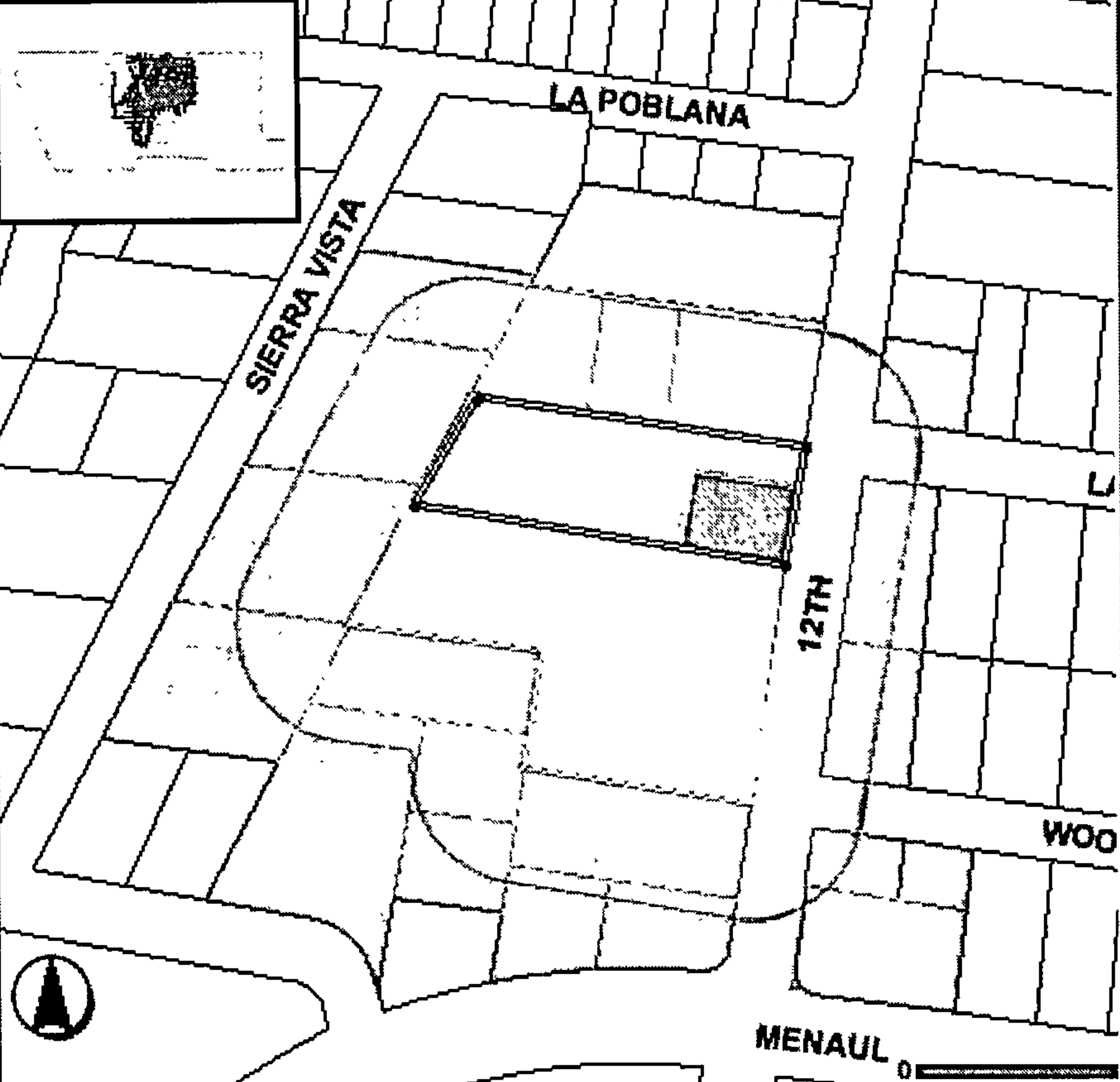
Project # 1002567
KRISTINA ANDERSON
Near North Valley N.A.
1115 MILDRED AVE NW
ALBUQUERQUE, NM 87107



CITY OF ALBUQUERQUE
www.cabq.gov

ALBUQUERQUE GIS DATA WEBSITE





LAYERS

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
 - 2004 AIR PHOTO
 - 2002 AIR PHOTO
 - 1999 AIR PHOTO

Refresh Map

Auto Refresh

Help:

- Closed group, click to open.
- Open group, click to close.
- Map layer.
- Hidden group/layer, click for visible.
- Visible group/layer, click to hide.
- Layer not visible at this scale.
- Partially visible group, click for visible.
- Inactive layer, click for active.
- The active layer.

OWNERSHIP

Rec	UPC CODE	OWNER	OWNER ADDRESS
1	101305945041711017	ARUNDALE CONNIE J	1518 VAN CLEAVE
2	101305947938511023	NELSON GORDAN E & CHOM T	4623 GREENE NV
3	101305948444044040	DILLON BONNIE A	3040 SIERRA VISTA

Zoom Out

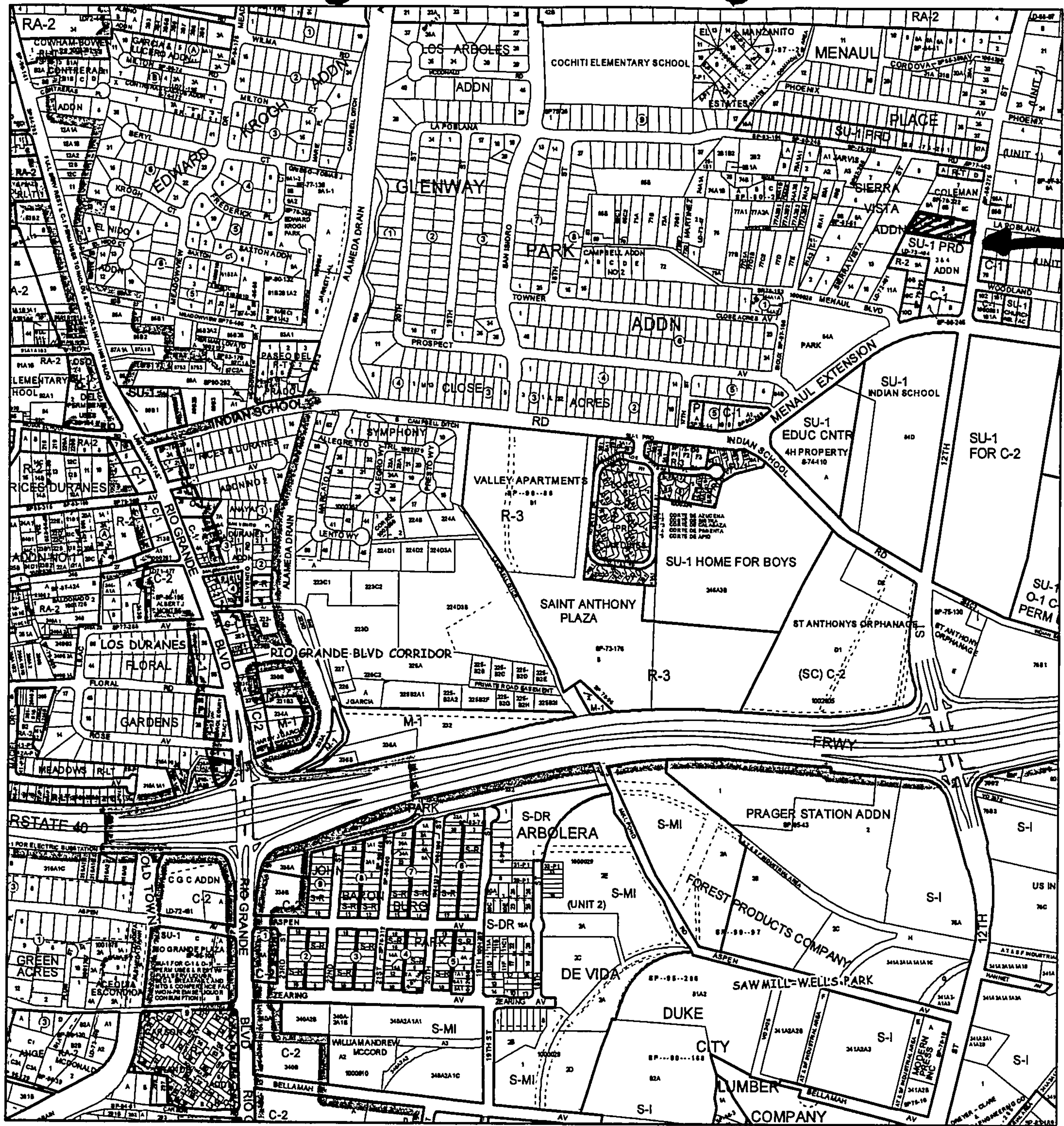
[SEARCH](#)

[REFRESH](#)

[HELP](#)

[INDEX PAGE](#)

[CONTACT](#)



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

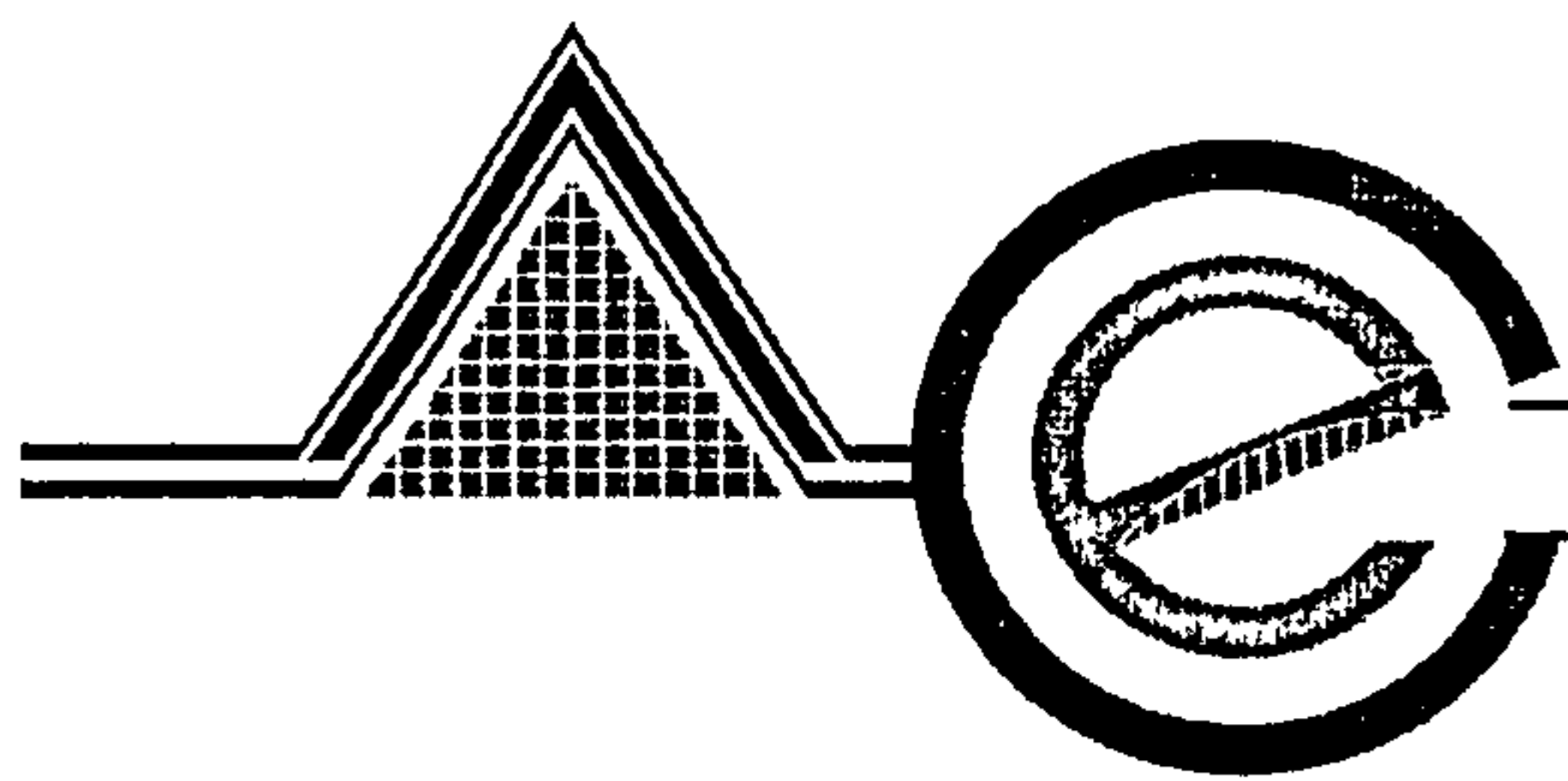
Zone Atlas Page:
H-13-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Map amended through: 1/12/2006



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection
Surveying*

August 11, 2006

Sheran Matson, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol, 2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Preliminary Plat , Grading & Drainage Plan Approval, Sidewalk Design Variance,
Vacation of Private Access Easement, Road Design Variance, Temporary Deferral of
Construction of the Sidewalks for Hacienda De Lois Subdivision, DRB Project
1002567, Containing \pm 0.8647 Acres, Zone Atlas Page H-13-Z

Dear Ms. Matson:

Advanced Engineering and Consulting, on behalf of Steve Kirk, is requesting a Preliminary Plat approval and a Grading and Drainage plan approval for the above referenced site. Enclosed please find 24 copies of the Preliminary Plat including 24 copies of the Grading Plan for your review. The site is located on Twelve Street, NW between Menaul Extension, NW and La Poblana, NW.

We are requesting a sidewalk design variance to construct the sidewalk on one side of the road. This was previously presented to the DRB at the sketch plat review and did not receive objection. Please find 6 copies of the exhibit for reference.

We also are requesting to vacate a ditch easement. There is an existing 10' ditch easement on the property, which is no longer needed. Attached are 6 copies of the document that created the existing easement for your review.

We are requesting a road design variance. This will be a 34' access easement in lieu of a 47' Right of Way (ROW). Please find 6 copies of the exhibit for reference.

Lastly, we are requesting a temporary deferral of the construction of the sidewalks to avoid damaging the sidewalks during the construction of the houses. The construction of the sidewalks will be completed with each house. Please find 6 copies of the exhibit for reference.



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

August 21, 2006

TO: George Hutton and Kristina Anderson, Near North Valley Neigh. Assoc.

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately one (1) acre(s) - Major Preliminary Plat Approval; Minor Vacation of Private Easements; Minor Subdivision Design (DPM) Variance; Minor Sidewalk Variance; Minor Temporary Deferral of Sidewalks for Hacienda De Lois Subdivision.**

Proposed by: Advanced Engineering and Consulting, LLC at (505) 898-5570
Agent for: Steve Kirk

P.O. Box 1293

For property located: On or near 12th Street NW between Menaul Extension NW and La Poblana NW

Albuquerque

The case number(s) assigned is: 06DRB- 01158, 01163, 01159, 01161, 01162, Project # 1002567.

City Planning accepted application for this request on August 11, 2006.

New Mexico 87103

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, September 6, 2006 in the Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call Stephani Winklepleck at 924-3902 or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, September 6, 2006, beginning at 9:00 a.m.** for the purpose of considering the following:

Project # 1003366

06DRB-01160 Major-Two Year SIA

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for FELIX RABADI request(s) the above action(s) for all or a portion of Tract(s) T-1-A-2, TOWN OF ALAMEDA GRANT (to be known as **RABADI COMPLEX**) zoned SU-1 PRD, located on GOLF COURSE NW between IRVING BLVD NW and the CALABACILLAS ARROYO containing approximately 9 acre(s). [REF: 04EPC-00498, 04DRB-00596, 06DRB-00056] (B-12)

Project # 1002567

06DRB-01158 Major-Preliminary Plat Approval
06DRB-01163 Minor-Vacation of Private Easements
06DRB-01159 Minor-Subd Design (DPM) Variance
06DRB-01161 Minor-Sidewalk Variance
06DRB-01162 Minor-Temp Defer SDWK

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for STEVE KIRK request(s) the above action(s) for all or a portion of Lot(s) 5-A-1, COLEMAN ADDITION (to be known as **HACIENDA DE LOIS SUBDIVISION**) zoned R-2 residential zone, located on 12TH ST NW, between MENAUL EXTENSION NW and LA POBLANA NW containing approximately 1 acre(s). [REF: 06DRB-00726] (H-13)

Project # 1005070

06DRB-01154 Major-Preliminary Plat Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). (C-9)

Project # 1004943

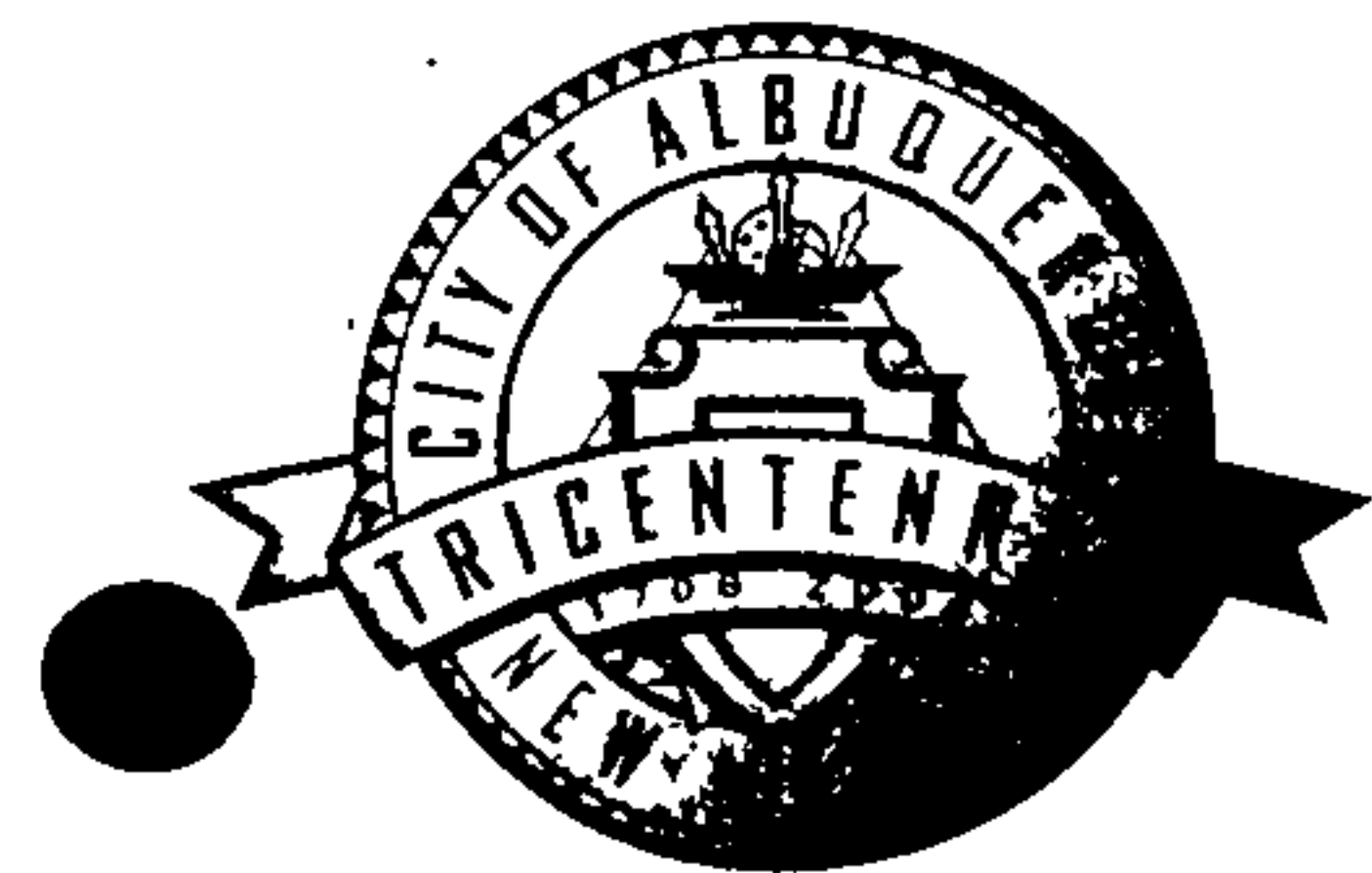
06DRB-01164 Major-Preliminary Plat Approval
06DRB-01165 Minor-SiteDev Plan BldPermit
06DRB-01166 Minor-Sidewalk Waiver
06DRB-01167 Minor-Temp Defer SDWK

ISAAC BENTON & ASSOCIATES agent(s) for J & J REAL ESTATE PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) D, VILLAGE CENTER NORTH (to be known as **PINNACLE PEAK TOWNHOMES**) zoned SU-1 for R-2, located on PINNACLE PEAK NW, between SUMMER RIDGE NW and MCMAHON NW containing approximately 2 acre(s). [REF: 06DRB-00801] (A-11)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 21, 2006.

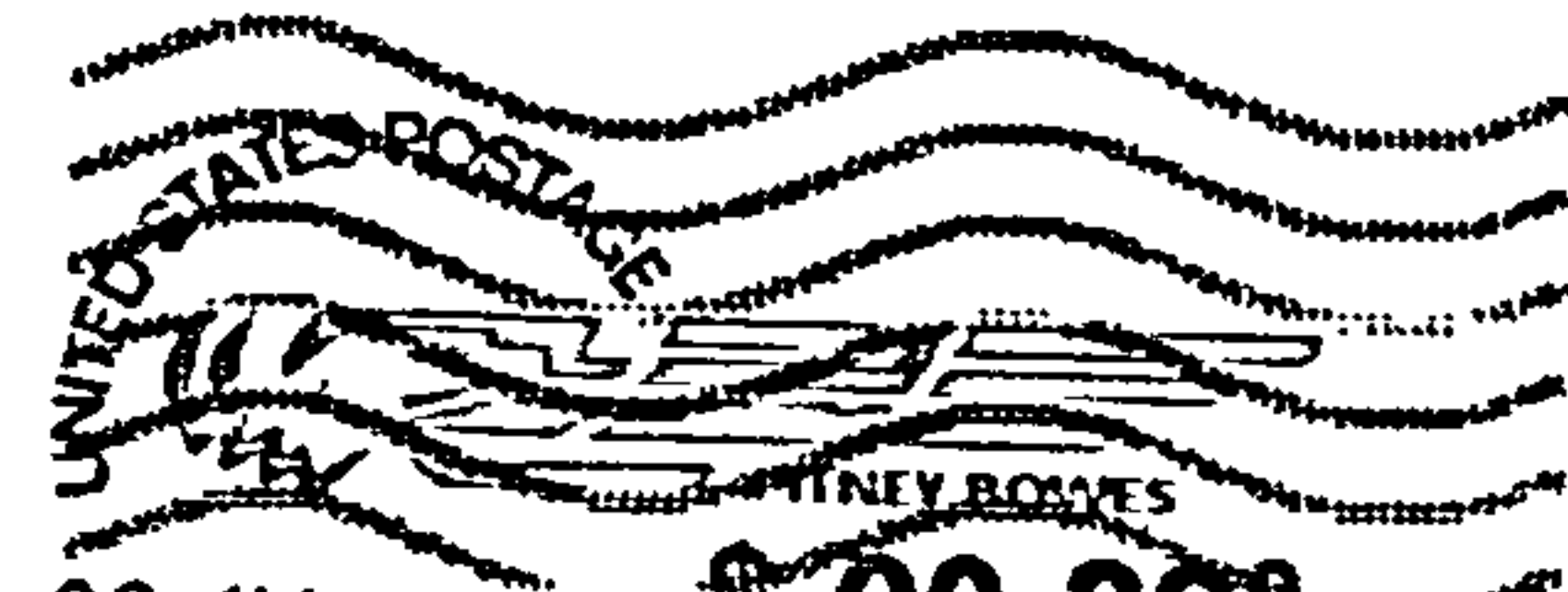
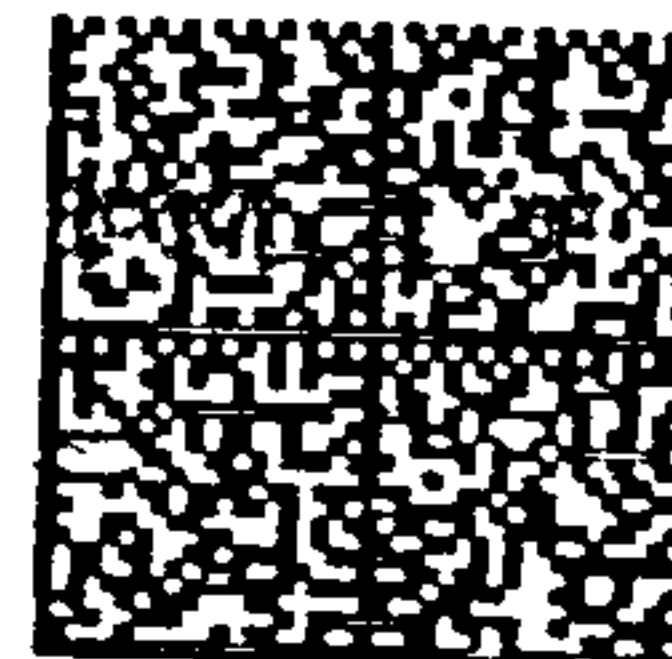


Planning Department

DRB

CITY OF ALBUQUERQUE NM 871

18 AUG 2006



02 1M \$ 00.39⁰
0004219022 AUG 18 2006
MAILED FROM ZIP CODE 87102

Or Current Resident

[Handwritten signature]

OR CURRENT RESIDENT
101305945640911005
BERRY PROPERTIES LLC
PO BOX 37410
ALBUQUERQUE, NM 87176

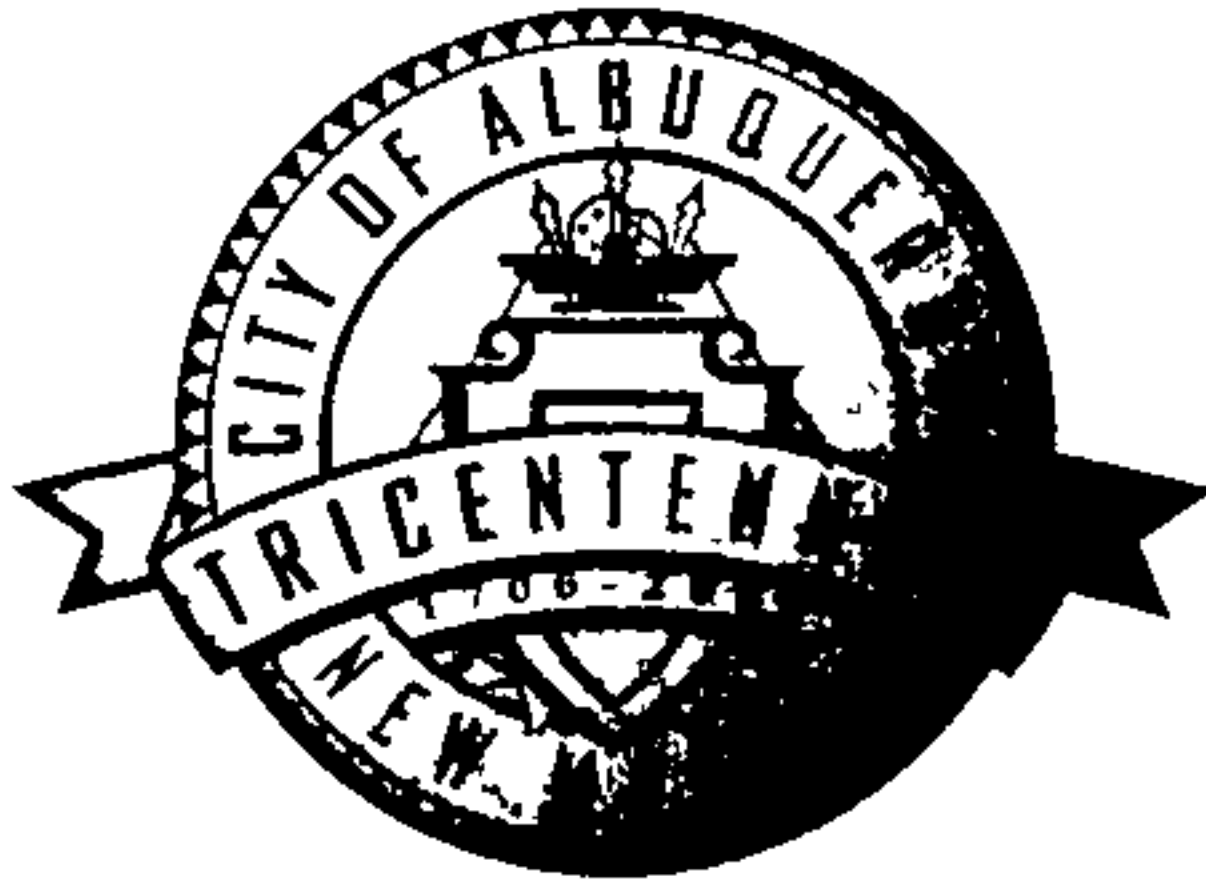
87176+7410



P O Box 1293 Albuquerque, New Mexico 87103

87103/1293

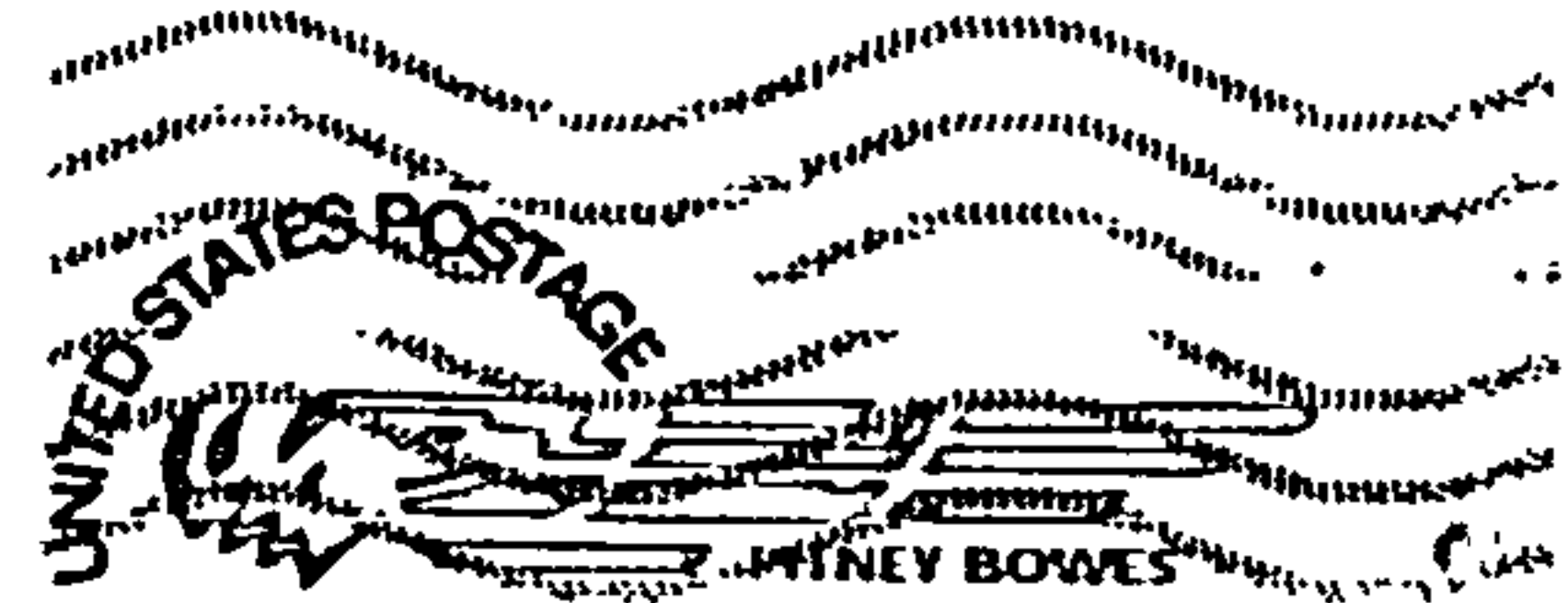
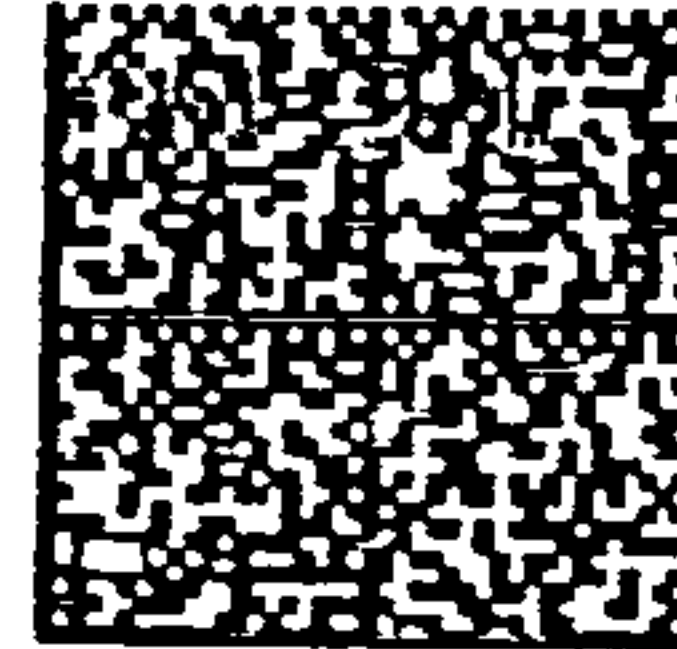
|||||



Planning Department

CITY OF ALBUQUERQUE NM 871

18 AUG 2006



02 1M \$ 00.39⁰
0004219022 AUG 18 2006
MAILED FROM ZIP CODE 87102

Or Current Resident

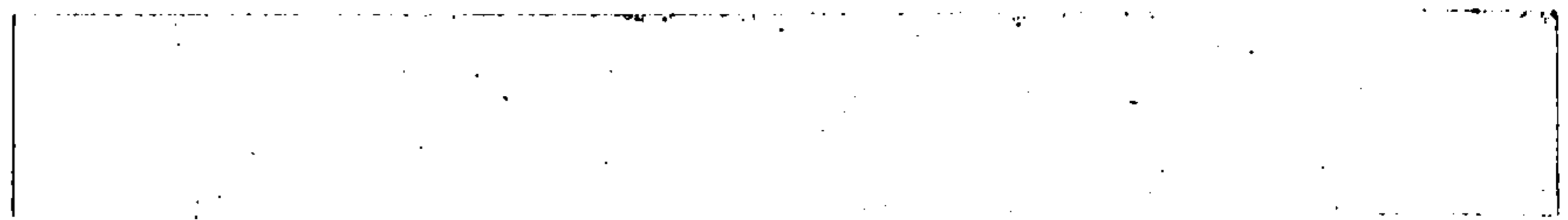
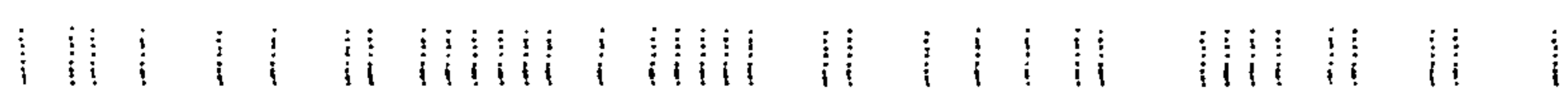
BC

OR CURRENT RESIDENT
101305946640011029
BERRY CHARLES & SHARON
PO BOX 37410
ALBUQUERQUE, NM 87176

DRB



P O Box 1293 Albuquerque, New Mexico 87103



City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

04/17/2008 Issued By: PLNSDH



Permit Number: 2008 070 185 **Category Code 910**

Application Number: 08DRB-70185, Vacation Of Private Easement

Address:

Location Description: 12TH ST NW BETWEEN MENAUL EXTENSION NW AND LA POBLANA NW

Project Number: 1002567

Applicant
Advanced Engineering And Consulting, Llc

Agent / Contact
Steve Kirk

4418 Anaheim Ave Ne
Albuquerque NM 87113

Po Box 10356
Albuquerque NM 87184
897-5971

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$45.00
TOTAL:		\$45.00

City Of Albuquerque
Treasury Division

4/17/2008 4:14PM LOC: ANNX
WSH 008 TRANSH 0032
RECEIPT# 00090255-00090256
PERMIT# 2008070185 TRSSVG
Trans Amt \$230.00
DRB Actions \$45.00
VI \$230.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

04/17/2008 Issued By: PLNSDH

Permit Number: 2008 070 184 **Category Code 910**

Application Number: 08DRB-70184, Vacation Of Public Easement

Address:

Location Description: 12TH ST NW BETWEEN MENAUL EXTENSION NW AND LA POBLANA NW

Project Number: 1002587

Applicant
Advanced Engineering And Consulting, Llc

Agent / Contact
Steve Kirk

4416 Anaheim Ave Ne
Albuquerque NM 87113

Po Box 10358
Albuquerque NM 87184
997-5971

Application Fees

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$90.00
TOTAL:		\$185.00

City Of Albuquerque
Treasury Division

4/17/2008 4:14PM LOC: ANNX
WSH 008 TRANS# 0032
RECEIPT# 00090255-00090255
PERMIT# 2008070184 TRSSVG
Trans Amt \$230.00
APN Fee \$75.00
Conflict Manag. Fee \$20.00
DRB Actions \$90.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

05/06/2008 Issued By: E08375

Permit Number: 2008 070 215 **Category Code 910**

Application Number: 08DRB-70215, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: 12TH ST NW BETWEEN MENAUL EXT NW AND LA PABLANA NW

Project Number: 1002567

Applicant
Steve Kirk

Agent / Contact
Advanced Engineering And Consulting, Llc

Po Box 10356
Albuquerque NM 87184
897-5971

4416 Anaheim Ave Ne
Albuquerque NM 87113
899-5570

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$215.00
TOTAL:		\$235.00

City Of Albuquerque
Treasury Division

5/6/2008 12:17PM LDC: AMWX
USR 007 TRASH 0026
RECEIPT# 0000091-00093071
PERMIT# 2008070215 TRSLJS
Trans Amt \$235.00
Conflict Mgmt. Fee \$20.00
DRB Actions \$215.00
VT \$235.00
CHARGE \$0.00

Thank You

A City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan		
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	
		APPEAL / PROTEST of...
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Steve Kirk PHONE: (505) 897-5971
 ADDRESS: PO Box 10356 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87184 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Steve Kirk
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Avenue, NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

DESCRIPTION OF REQUEST: Preliminary/Final Plat Approval.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 1-11 Block: _____ Unit: _____
 Subdiv. / Addn. Hacienda de Lois
 Current Zoning: R-2 Proposed zoning: The Same
 Zone Atlas page(s): H-13-Z No. of existing lots: 11 No. of proposed lots: 1
 Total area of site (acres): .8544 Acres Density if applicable: dwellings per gross acre: n/a dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits. Within 1000FT of a landfill? No
 UPC No. 101305949642811007, 101305948043111033 MRGCD Map No. _____
 PROPERTY BY STREETS: On or Near: 2901 12 St., NW
 Between: Menaul Extension NW and La Poblana, NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): DRB 1002567, 08DRB-70184, 08DRB-70185
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 05-06-08
 (Print) Shawn Baizar, Managing Member Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08DRB - - 70215</u>	<u>DBF</u>		<u>\$ 215.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 235.00</u>

Hearing date May 14 2008

Project # 1002567

[Signature] 5/6/08
 Planner signature / date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SHAWN BIAZAIZ
 Applicant name (print)
Shawn Biazai
 Applicant signature / date
5/6/08

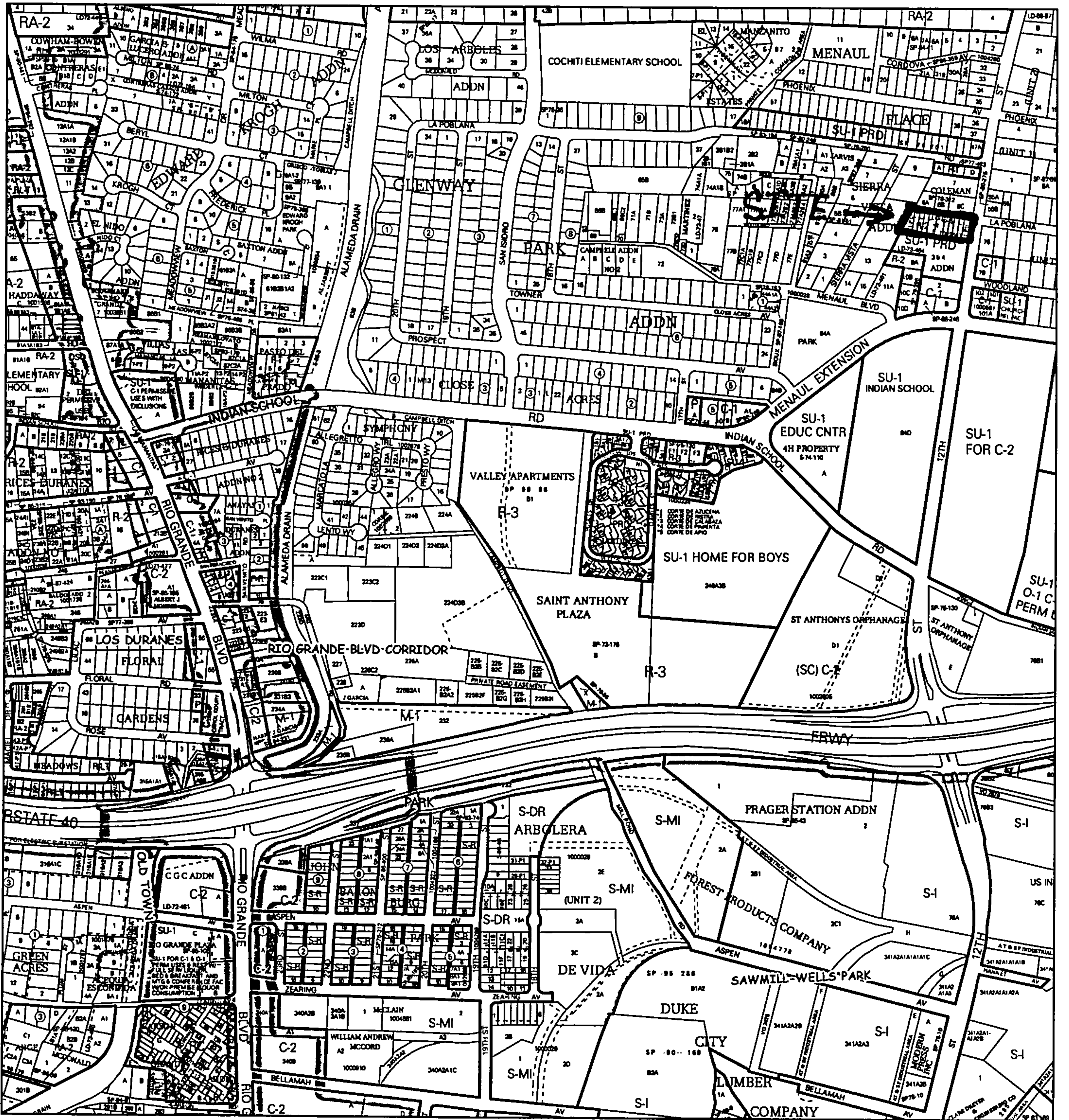


- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 O&DRB - 70215

[Signature] 5/6/08
 Planner signature / date
Project # 1002567

Form revised 4/07



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 1/4/2008

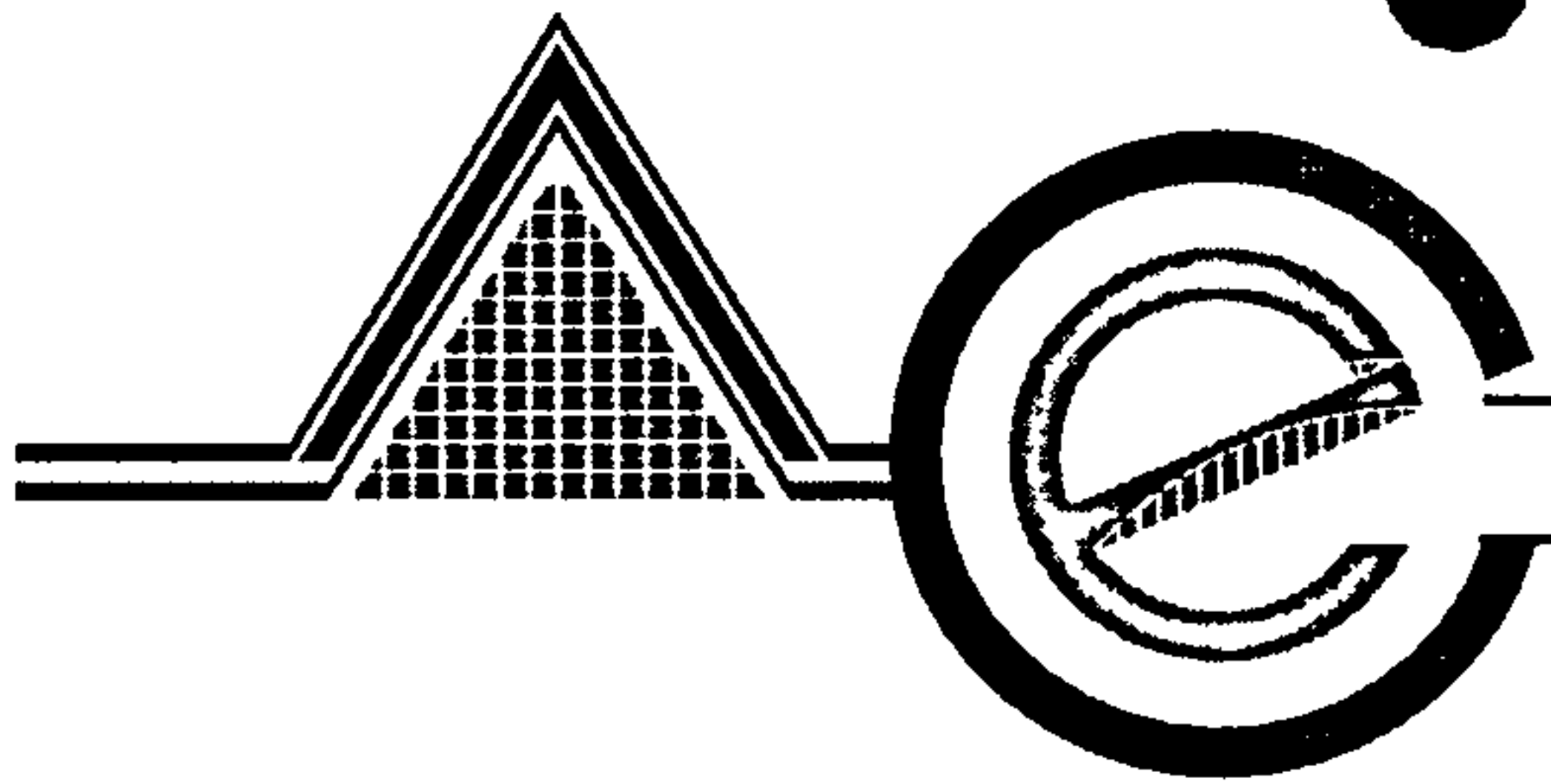
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-13-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection
Surveying*

May 6, 2008

Jack Cloud, AICP, Chairman Planning Department
City of Albuquerque Planning Department
Plaza Del Sol, 2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Preliminary/Final Plat Approval for Lots 1 thru 11, Hacienda De Lois Subdivision, to be known as Lot 5-A-1-A Coleman Addition, DRB Project # 1002567, Containing \pm 0.8544 Acres, Zone Atlas Page H-13-Z

Dear Mr. Cloud:

Advanced Engineering and Consulting, on behalf of Steve Kirk, Owner, is requesting a preliminary/final plat approval for the above referenced project. The site is located on 2901 12th Street, NW between Menaul Extension, NW and La Poblana, NW.

The Owner is vacating all the easements and combining all eleven lots into one lot. This preliminary/ final plat reflects the vacations and combination of 11 lots into one lot. This is going to be known as Lot 5-A-1-A Coleman Addition.

If you require additional information, please contact our office at your convenience.

Sincerely,

Shahram (Shawn) Biazar, Managing Member

Enclosures
JN: 200604



Pre-Development Facilities Fee (PDFF) Cover Sheet

PDFF agreements received by SPM Thursday will be ready for pick up by 8AM on the following Tuesday.

Please drop off and pick up all Pre-Development Facilities Fee agreements at APS' Capital Master Plan office. The office is located in Suite 9, 2nd floor, of the Lincoln Building at 915 Locust St SE. A map to our offices is located at: <http://construction.voteaps.com/LincolnMap.html>

Project # (if already assigned by DRB/EPC) 1002567

Please check one:

Preliminary PDFF
(Preliminary PDFF are required for preliminary plat submittals.)

Final PDFF
(Final PDFF are required for final plat submittals and must be recorded prior to DRB hearing)

Waiver/Deferral
(Must provide reason for waiver/deferral)

Project Information

Subdivision Name Hacienda de Lois

Legal Description Lot 1-A

Location of Project (address or major cross streets) 2901 12th St NW

Proposed Number of Units: 1 Single-Family _____ Multi-Family 1 Total Units

Note: A single-family unit is a single-family, detached dwelling unit.

Comments _____

Waiver Information

Property Owner Steve Kirk Legal Description Lot 1-A Zoning R-2

Reason for Waiver/Deferral The property owner is vacating all the easements and combining original lots 1-11 into lot 1-A. This will result in no net gain of residential units.

Contact Information

Name _____

Company Advanced Engineering and Consulting, LLC

Phone 899-5570

E-mail AECLLC@aol.com

Please include with your submittal:

- Zone Atlas map with the entire property(ies) precisely and clearly outlined
- Copy of a plat or plan for the proposed project
- List of legal description (e.g. lot, block) and street address for each lot (for final plat only)
- Please include project number on the top right corner of all documents
- Please paper clip all submitted documents (for ease of making copies)

FOR OFFICE USE ONLY

APS Cluster Valley

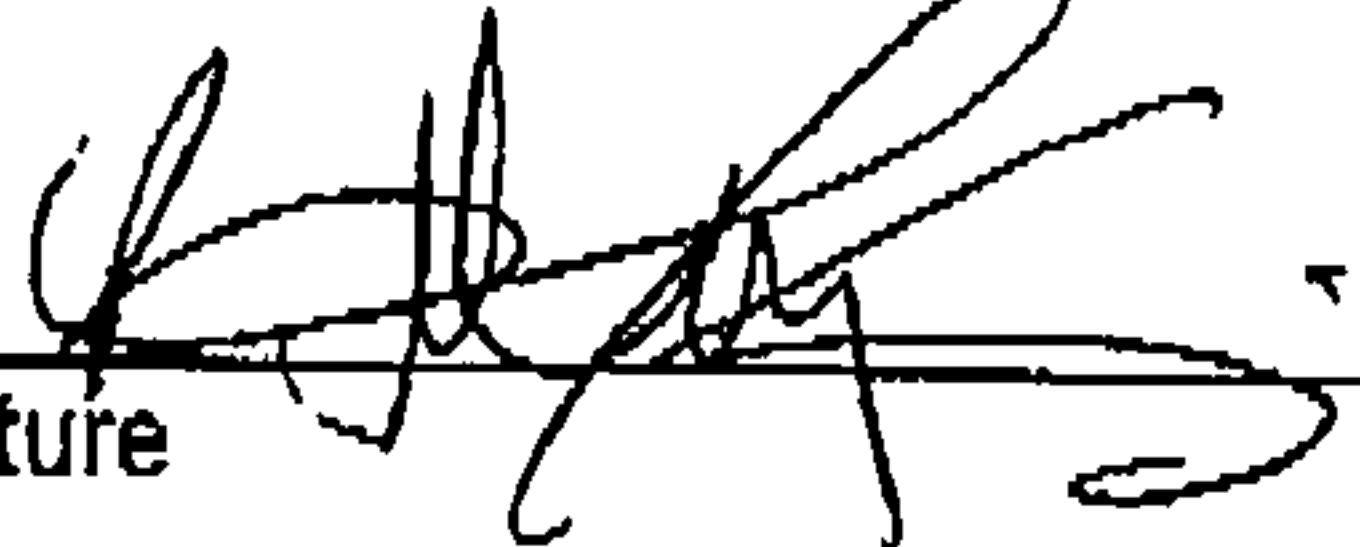
Date Submitted 5/6/2008

Date Completed 5/6/2008

**ALBUQUERQUE PUBLIC SCHOOLS
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT WAIVER**

Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), having reviewed the proposed plat of Lot 1-A, Hacienda De Lois, which is zoned as R-2, on May 6, 2008 submitted by Steve Kirk, owner of above property, has determined that no Pre-Development Facilities Fee Agreement is required with respect to that proposed plat because the property owner is vacating all the easements and combining original lots 1-11 into lot 1-A. This will result in no net gain of residential units.

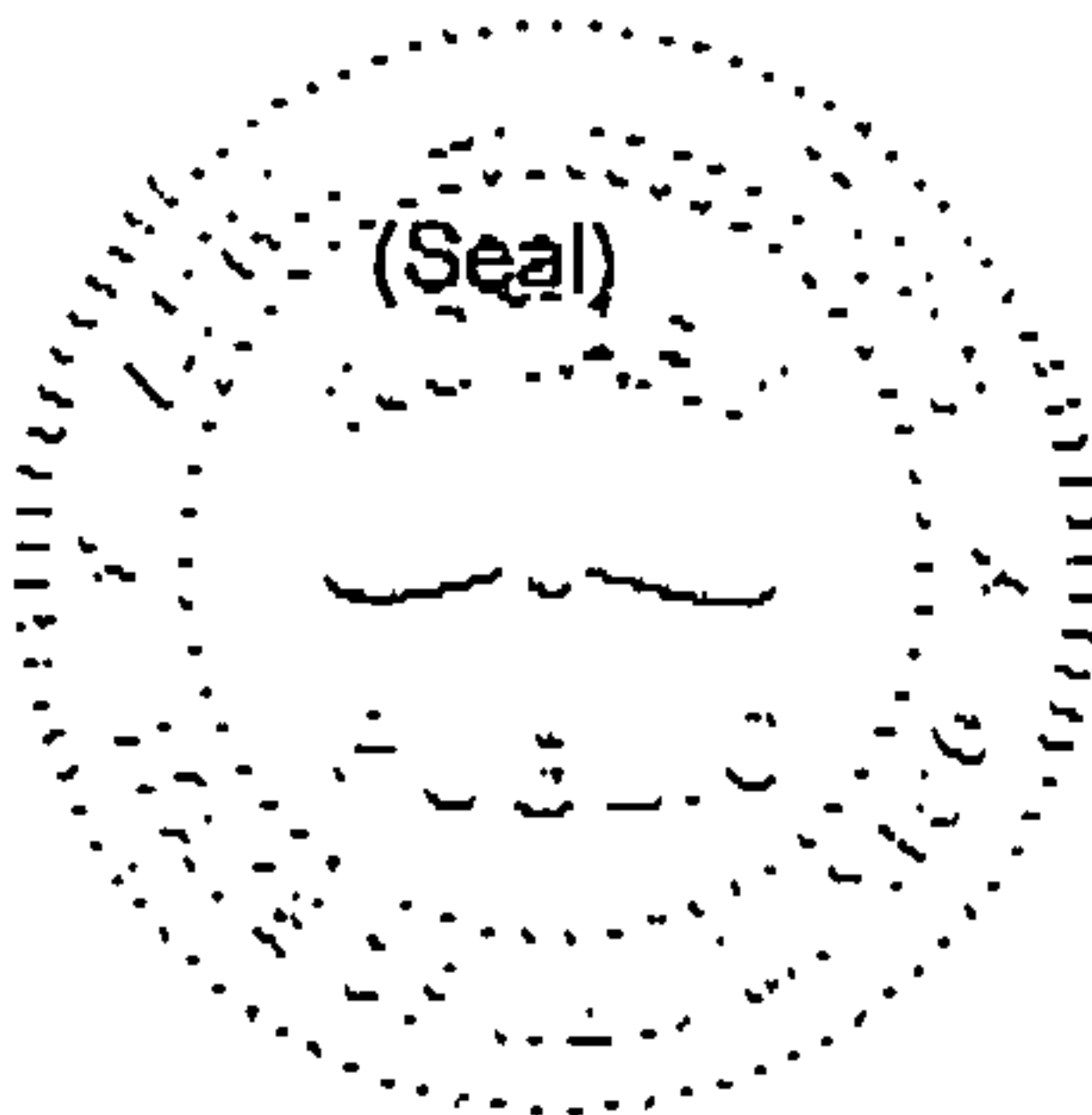
ALBUQUERQUE PUBLIC SCHOOLS

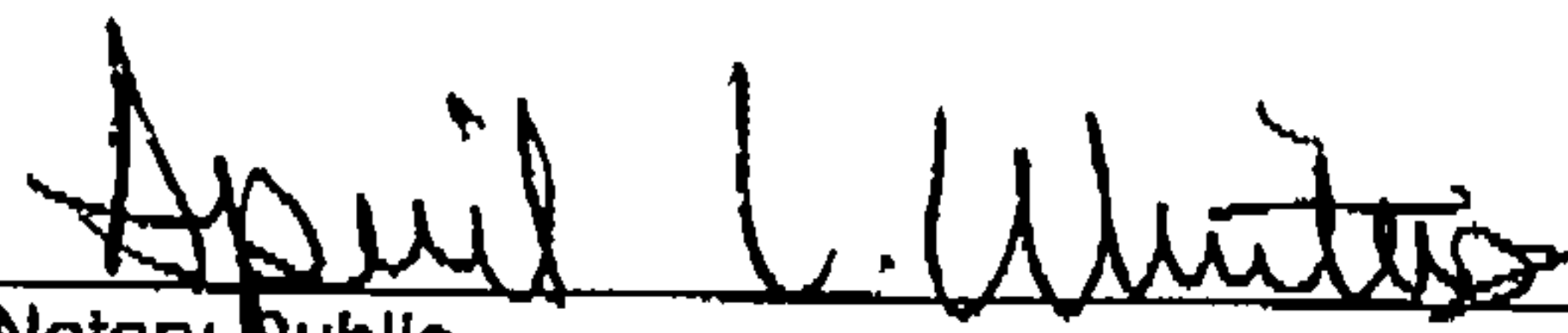
By: 
Signature

Betty King, Planner, Capital Master Plan

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on May 6, 2008, by Betty King as Planner, Capital Master Plan of the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under the laws of the State of New Mexico.




Notary Public

My commission expires: May 18, 2011

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

S Z

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

P

L A

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Steve Kirk PHONE: (505) 897-5971
 ADDRESS: PO Box 10356 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87184 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Steve Kirk and Debra Kirk
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Avenue, NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

DESCRIPTION OF REQUEST: Vacation of private access and drainage easement, vacation of public utility and public water and sewer easement.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. X No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 1-11 Block: _____ Unit: _____
 Subdiv. / Addn. Hacienda de Lois
 Current Zoning: R-2 Proposed zoning: The Same
 Zone Atlas page(s): H-13-Z No. of existing lots: 11 No. of proposed lots: 1
 Total area of site (acres): .8544 Acres Density if applicable: _____ dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? X Yes. No _____, but site is within 5 miles of the city limits. Within 1000FT of a landfill? No
 UPC No. 101305949642811007, 101305948043111033 MRGCD Map No. _____
 PROPERTY BY STREETS: On or Near: 2901 12 St., NW
 Between: Menaul Extension NW and La Poblana, NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB Project # 1002567

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 4/17/08
 (Print) Shawn Baizar, Managing Member Applicant X Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>DRB</u> - <u>70184</u>	<u>VPE</u>		<u>\$ 90.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>DRB</u> - <u>70185</u>	<u>VPRE</u>		<u>\$ 45.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>ADU</u>		<u>\$ 75.00</u>
<input checked="" type="checkbox"/> Case history #s are listed		<u>CMF</u>		<u>\$ 20.00</u>
<input type="checkbox"/> AGIS copy has been sent				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 230.00</u>

Hearing date May 14, 2008

[Signature] 4/17/08
 Planner signature / date

Project # 1002567

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
 - Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
 - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.


- SIDEWALK VARIANCE (DRB20)**
 - SIDEWALK WAIVER (DRB21)**
 - Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

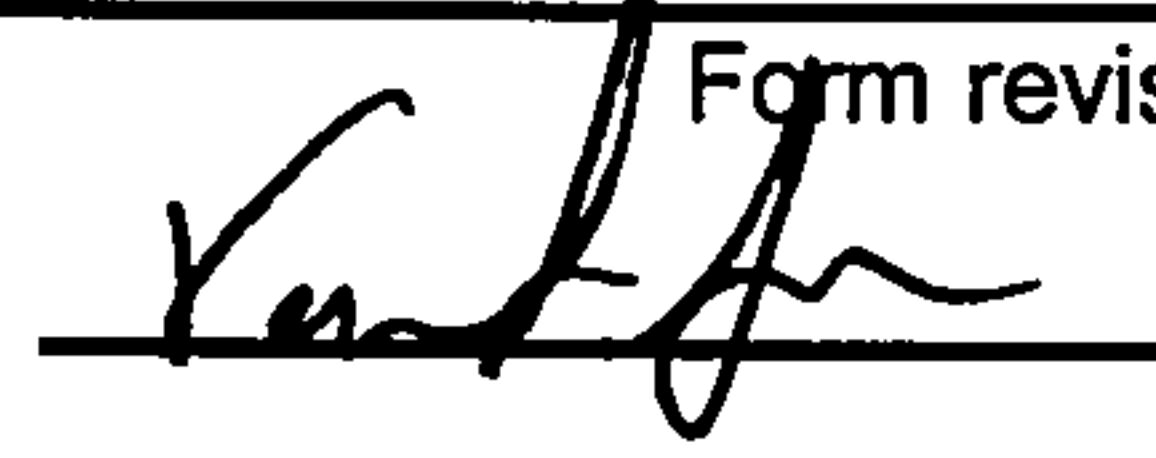
- VACATION OF PRIVATE EASEMENT (DRB26)**
 - VACATION OF RECORDED PLAT (DRB29)**
 - The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - Letter of authorization from the grantors and the beneficiaries (private easement only)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

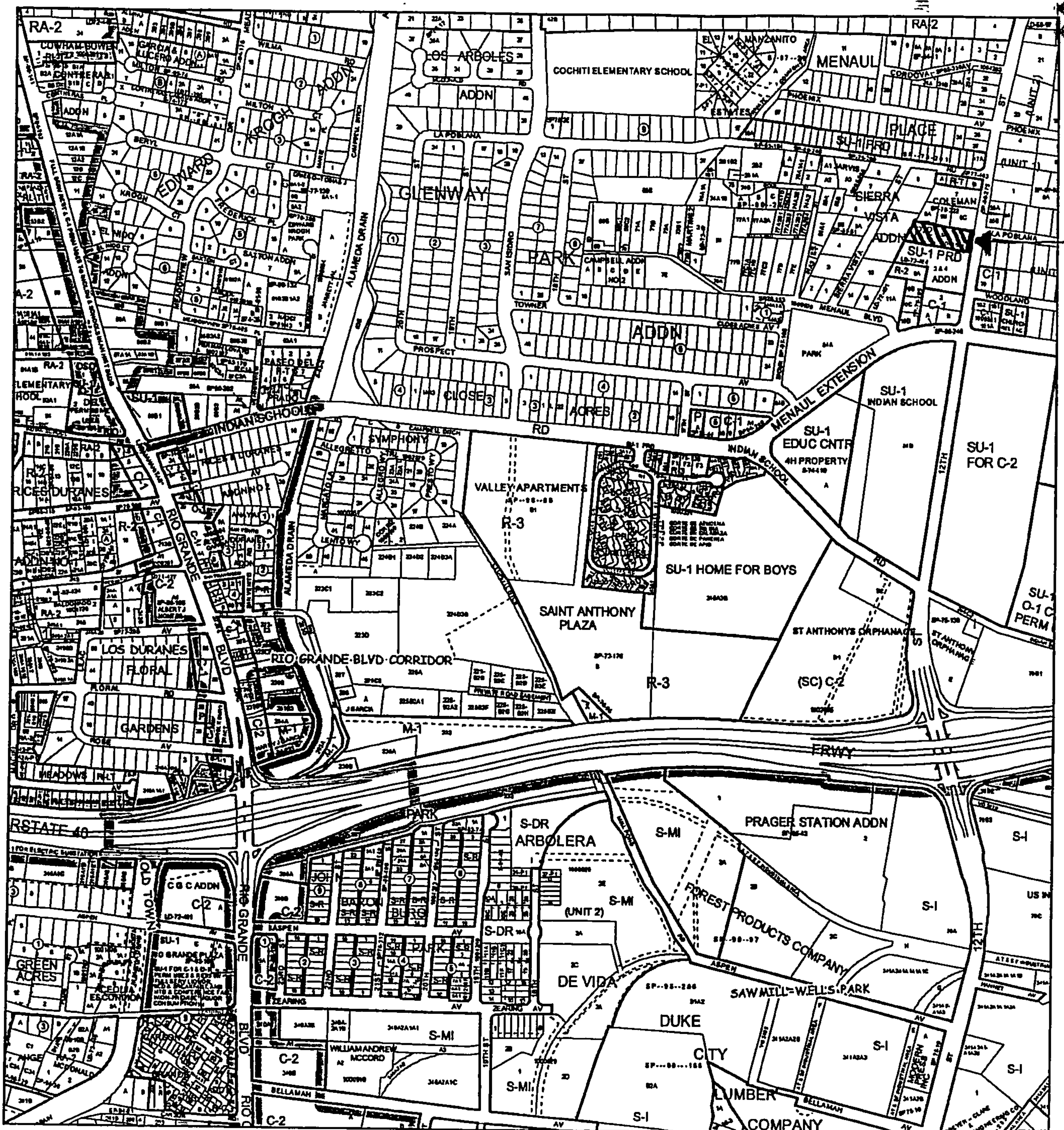
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Shawn Biazar
 Applicant name (print)

 Applicant signature / date 4/17/08



<input checked="" type="checkbox"/> Checklists complete	Application case numbers
<input checked="" type="checkbox"/> Fees collected	<u>06DRB</u> - _____ - <u>70184</u>
<input checked="" type="checkbox"/> Case #s assigned	<u>06DRB</u> - _____ - <u>70185</u>
<input checked="" type="checkbox"/> Related #s listed	_____ - _____ - _____

Form revised 4/07

 Planner signature / date 4-17-08
 Project # 1002567



SITE

For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

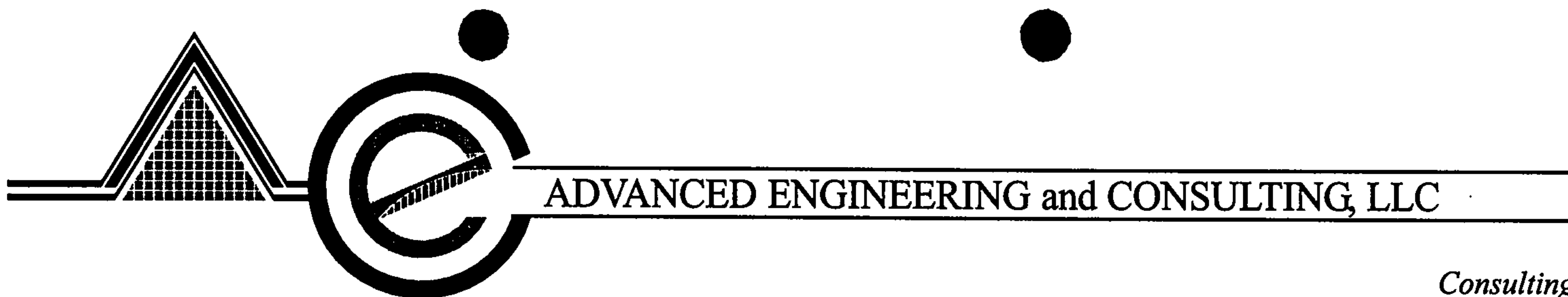
Map amended through: 1/12/2006

Zone Atlas Page:
H-13-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

Feet
0 750 1,500



April 17, 2008

*Consulting
Design
Development
Management
Inspection
Surveying*

Jack Cloud, AICP, Chairman Planning Department
City of Albuquerque Planning Department
Plaza Del Sol, 2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Vacation Request of 34' Private Access and Drainage Easement, Vacation of 10' Public Utility Easement, and Vacation of 25' Public Water and Sanitary Sewer Line Easement for Lots 1 thru 11, Hacienda De Lois Subdivision, DRB Project # 1002567, Containing ± 0.8544 Acres, Zone Atlas Page H-13-Z

Dear Mr. Cloud:

Advanced Engineering and Consulting, on behalf of Steve Kirk, Owner, is requesting a Vacation of the 34' Private Access and Drainage Easement, Vacation of the 10' Public Utility Easement, and Vacation of the 25' Public Water and Sanitary Sewer Line Easement for "Hacienda De Lois Subdivision". The site is located on 2901 12th Street, NW between Menaul Extension, NW and La Poblana, NW.

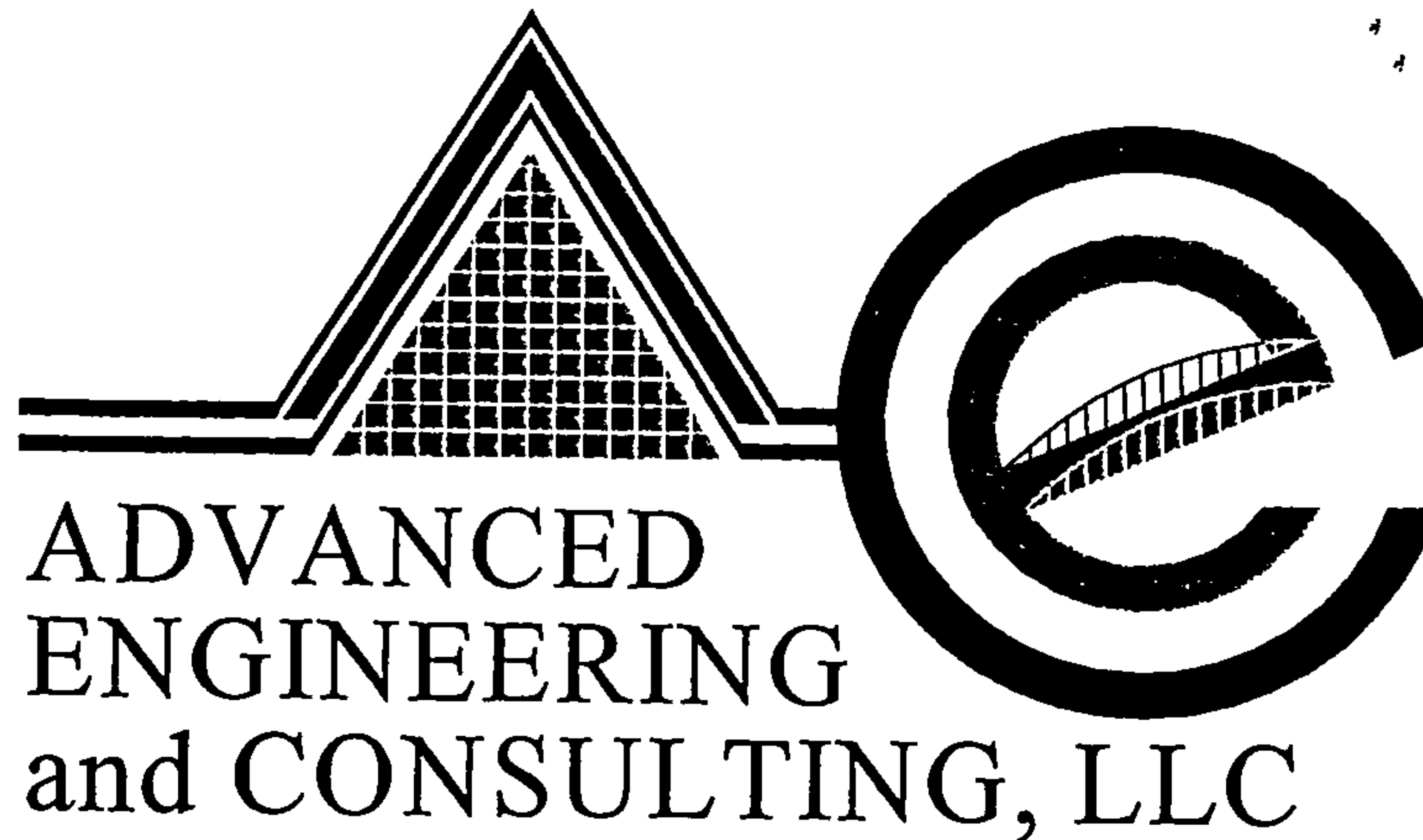
The Owner is vacating all the easements and combining all eleven lots into one lot. He would therefore request that his Financial Guarantee for the previously approved plat be released. A preliminary/ final plat showing the eliminated lot lines will be submitted before the Vacation Request Hearing.

If you require additional information, please contact our office at your convenience.

Sincerely,

Shahram (Shawn) Biazar, Managing Member

Enclosures
JN: 200604



To: Claude Morelli and Christian Kenesson

From: Shawn Biazar

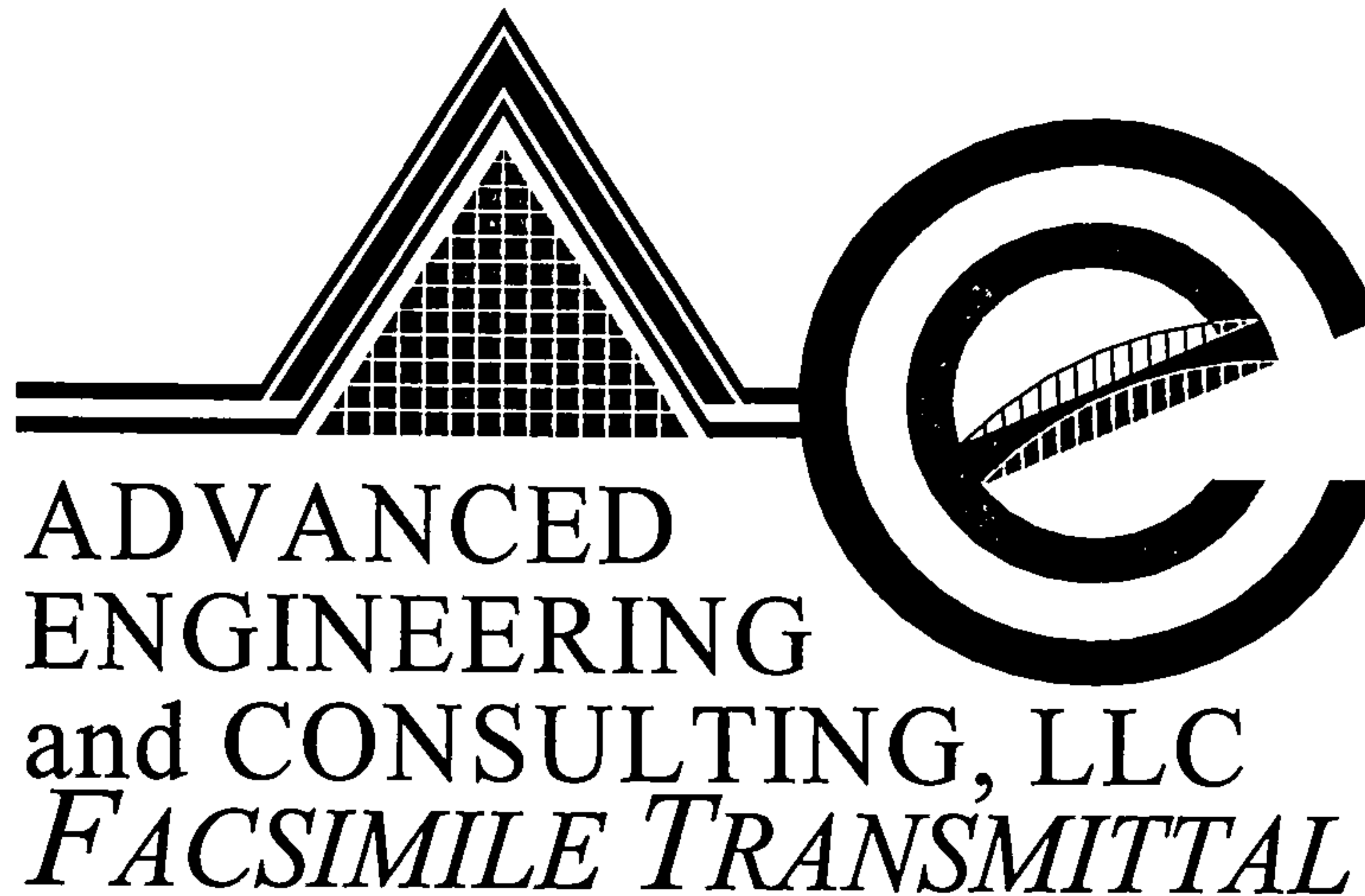
Subject: Vacation of private access and drainage easement, vacation of public utility, water and sanitary sewer easement for Lots 1 thru 11, Hacienda de Lois

Date: April 17, 2008

Dear Sirs:

Please find a copy of the submittals for a Vacation of Easements Request for the above property, DRB Project # 1002567. This site is located on 2901 12th St., NW. between Menaul Blvd., NW and La Poblana, NW, on the West side of the street.

If there are any questions or you would like to meet with me on this project, please do not hesitate to contact me at (505) 899-5570.



To:	OFFICE OF NEIGHBORHOOD COORDINATION	FAX: 924-3913
From:	GINA BLAZAR, OFFICE MANAGER	# OF PAGE(S) 2
Subject:	HOMEOWNER'S ASSOCIATION INFORMATION	JN: 200604
Date:	April 15, 2008	

PLEASE FORWARD INFORMATION ON ANY HOMEOWNER ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS:

Tracts 5-A-1 of The Coleman Addition, Hacienda de Lois Subdivision,

LEGAL DESCRIPTION

LOCATED ON: 2901 12th St NW

STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN La Poblana AND

STREET NAME OR OTHER IDENTIFYING LANDMARK

Menaul

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS SHEET (H-13-Z).

ZONE ATLAS #

SHOULD YOU HAVE ANY QUESTIONS REGARDING THIS TRANSMITTAL OR ANY OTHER ITEMS PERTAINING TO THIS PROJECT, PLEASE DO NOT HESITATE TO CONTACT OUR OFFICE.



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: April 15, 2008

TO CONTACT NAME: Gina Biazar
 COMPANY/AGENCY: Advanced Engineering and Consulting, LLC
 ADDRESS/ZIP: 4416 Anaheim Ave NE 87113
 PHONE/FAX #: 899-5576 517-4996

Thank you for your inquiry of April 15, 2008 (date) requesting the names of **ALL Affected**

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Tracts 5-A-1 of the Coleman Addn. Hacienda de Lols Subdivision located on 2901 12th St NW between La Poblana and Menaul NW zone map page(s) H-13.

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

Near North Valley NA
 Neighborhood or Homeowner Association
 Contacts: Claude Morelli
P.O. Box 6953 87197
344-9742(w)
Christian Kenesson
1130 Major NW 87107
345-7404(h) 246-8888(w)

Neighborhood or Homeowner Association
 Contacts: _____

See reverse side for additional Neighborhood and/or Homeowner Associations Information:

YES { } NO {x}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

7003 2260 0005 8324 7366

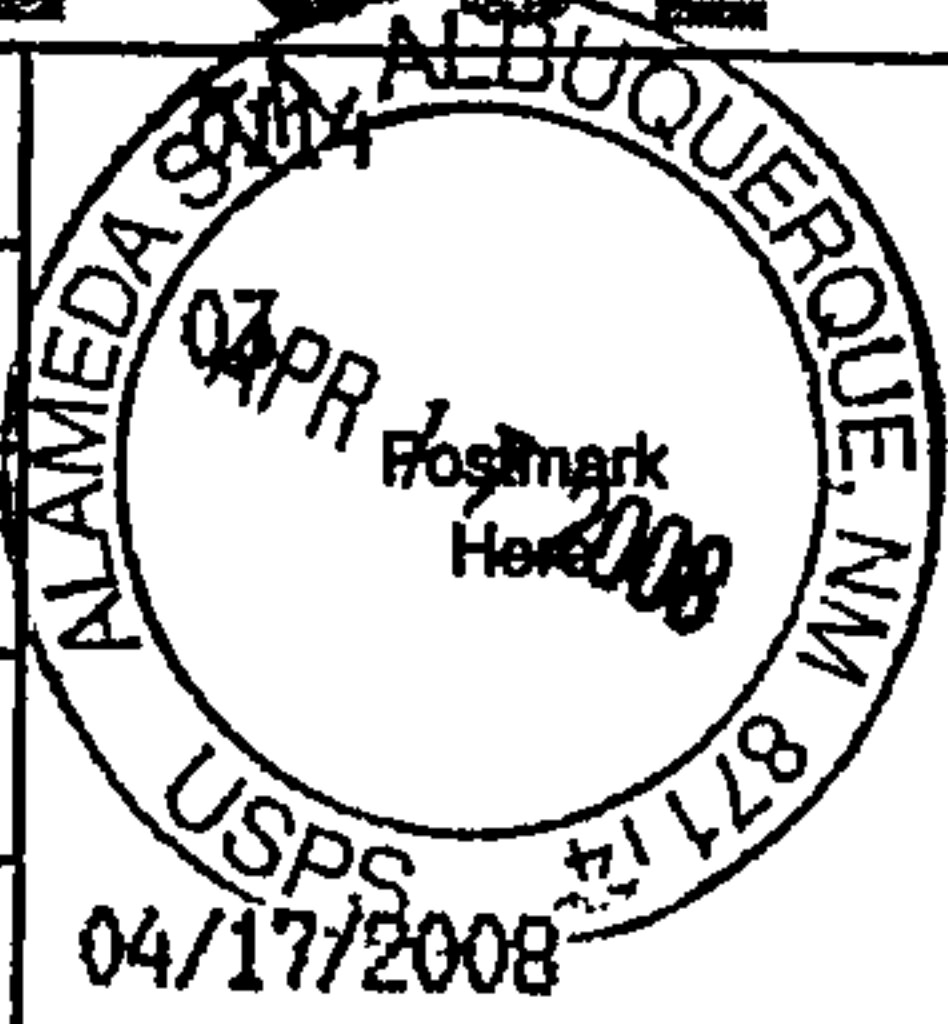
U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE NM 87197

OFFICIAL USE

Postage	\$	\$1.48
Certified Fee		\$2.65
Return Receipt Fee (Endorsement Required)		\$2.15
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$6.28



Sent To Christian Kenesson
 Street, Apt. No.,
 or PO Box No. 1130 major nw
 City, State, ZIP+4
Albuq. NM 87107

7003 2260 0005 8324 7366

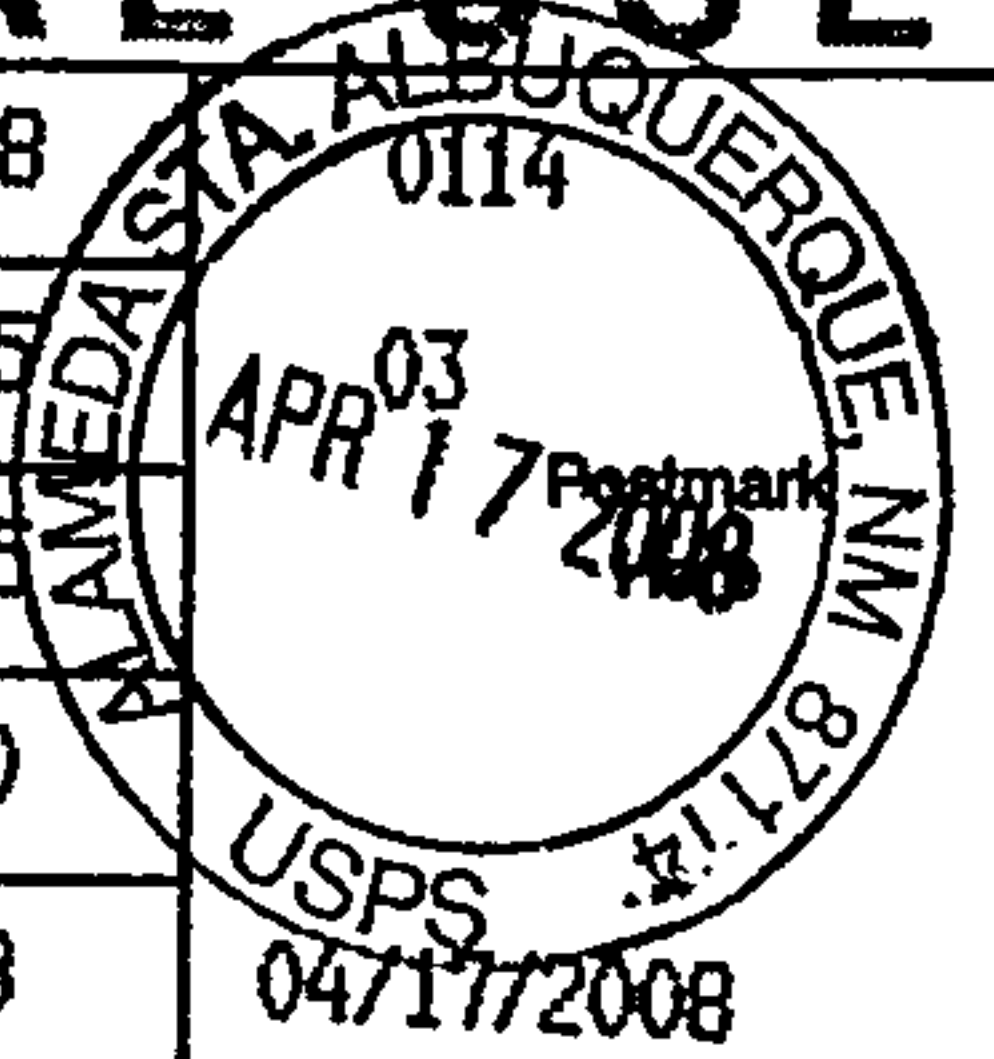
U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
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ALBUQUERQUE NM 87197

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Sent To Claude morelli
 Street, Apt. No.,
 or PO Box No. PO Box 6953
 City, State, ZIP+4
Albuq. NM 87197

April 17, 2008

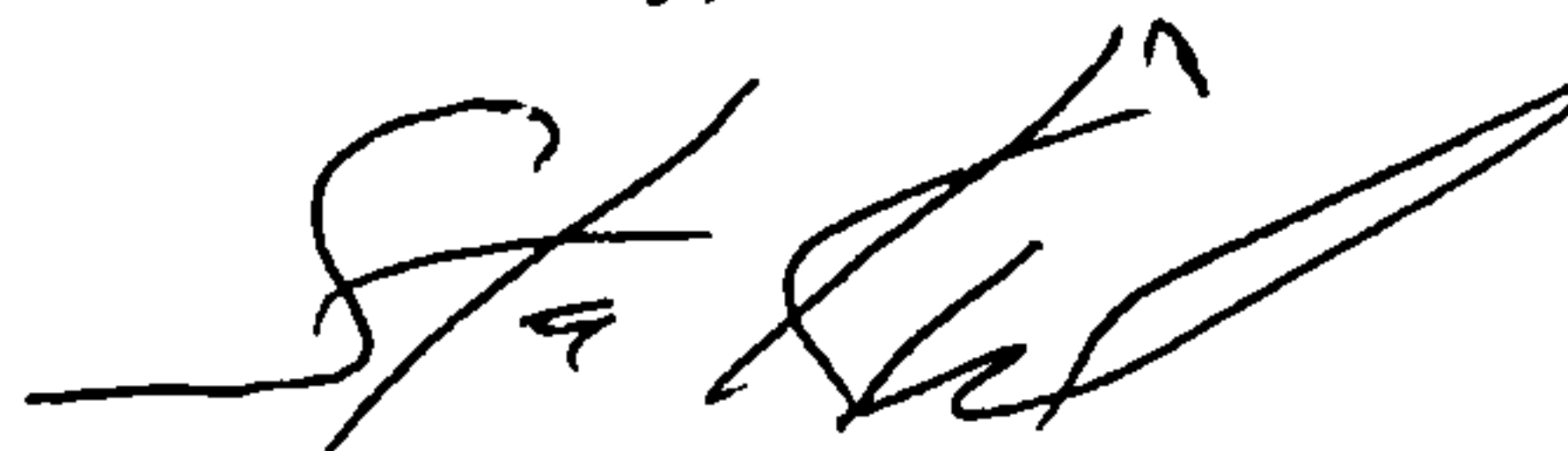
City of Albuquerque Planning Department
600 2nd Street, NW
Albuquerque, NM 87103

RE: Vacation Request of 34' Private Access and Drainage Easement, Vacation of 10' Public Utility Easement, and Vacation of 25' Public Water and Sanitary Sewer Line Easement for Lots 1 thru 11, Hacienda De Lois Subdivision, DRB Project # 1002567, Containing ± 0.8544 Acres, Zone Atlas Page H-13-Z

To Whom It May Concern:

I, Steve Kirk, Owner, for the above referenced property, have authorized Advanced Engineering and Consulting, LLC to act on my behalf regarding the preparation and submittal of all necessary materials and applications in connection with the Vacation of 34' Private Access and Drainage Easement, Vacation of 10' Public Utility Easement, and Vacation of 25' Public Water and Sanitary Sewer Line Easement for Lots 1 thru 11, Hacienda De Lois Subdivision

Sincerely,

A handwritten signature in black ink, appearing to read 'Steve Kirk', with a stylized flourish extending to the right.

Steve Kirk, Owner

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

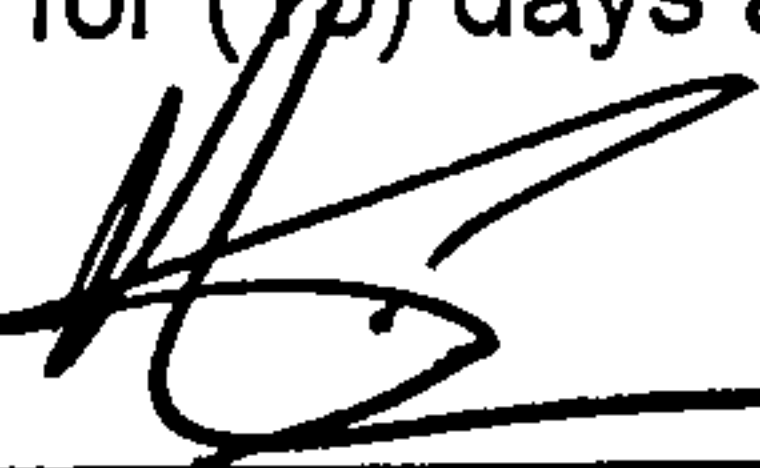
4. TIME

Signs must be posted from April 29, 2008 to May 14, 2008

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

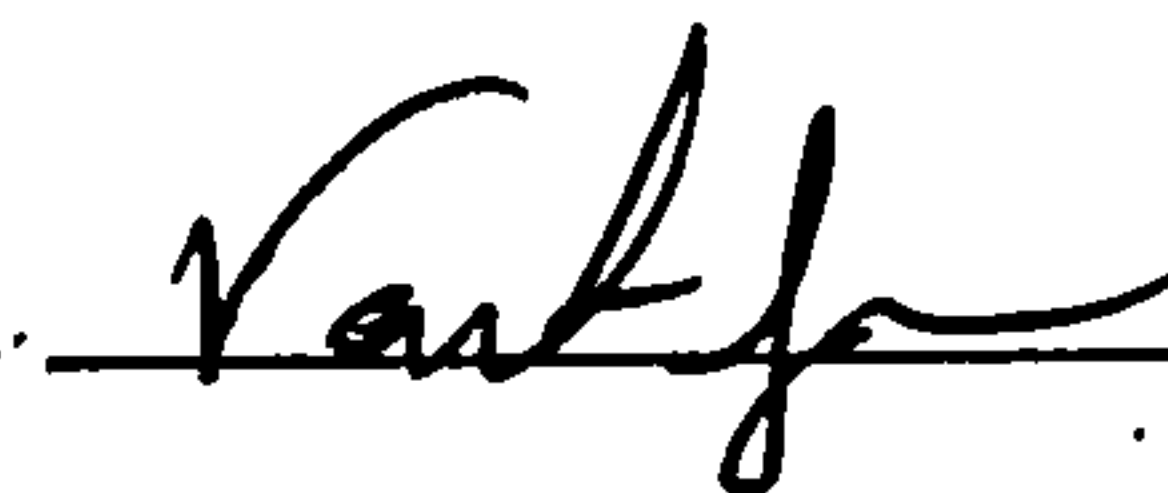


(Applicant or Agent)

4/17/08
(Date)

I issued 1 signs for this application,

4-17-2008
(Date)



(Staff Member)

DRB PROJECT NUMBER: 1002567

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan		
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	
		APPEAL / PROTEST of...
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Steve Kirk PHONE: (505) 897-5971
 ADDRESS: PO Box 10356 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87184 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Steve Kirk
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Avenue, NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

DESCRIPTION OF REQUEST: Final Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 5-A and 5-B Block: _____ Unit: _____
 Subdiv. / Addn. Coleman Addition **TBR HACIENDA DE LOIS SUBD.**
 Current Zoning: R-2 Proposed zoning: The Same
 Zone Atlas page(s): H-13-Z No. of existing lots: 1 No. of proposed lots: 11
 Total area of site (acres): .8647 Acres Density if applicable: dwellings per gross acre: .08 dwellings per net acre: _____
 Within city limits? Yes. No, but site is within 5 miles of the city limits. Within 1000FT of a landfill? No
 UPC No. 101305949642811007 MRGCD Map No. _____
 PROPERTY BY STREETS: On or Near: 12 St., NW
 Between: Menaul Extension NW and La Poblana, NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1002567, 06DRB-00726
 Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team . Date of review: _____

SIGNATURE Shawn Baizar DATE 10-17-06
 (Print) Shawn Baizar, Managing Member Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB - 01523</u>	<u>FP</u>	<u>5(3)</u>	<u>\$ 0.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CME</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> E.H.D.P. fee rebate	Hearing date <u>10/25/06</u>	_____	_____	Total <u>\$ 20.00</u>

Sandy Handley 10/17/06
 Planner signature / date

Project # 1002567

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OF INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera; if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
 - Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.


AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

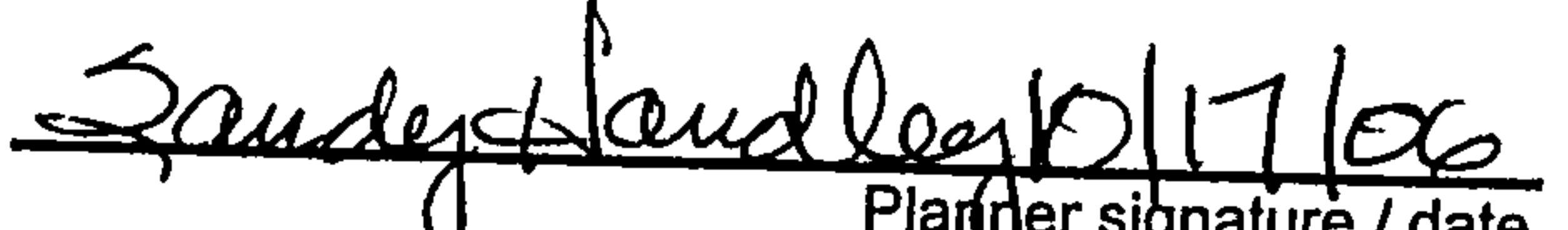
Shahram (Shawn) Biazar
 Applicant name (print)

 Applicant signature / date
 10-17-06



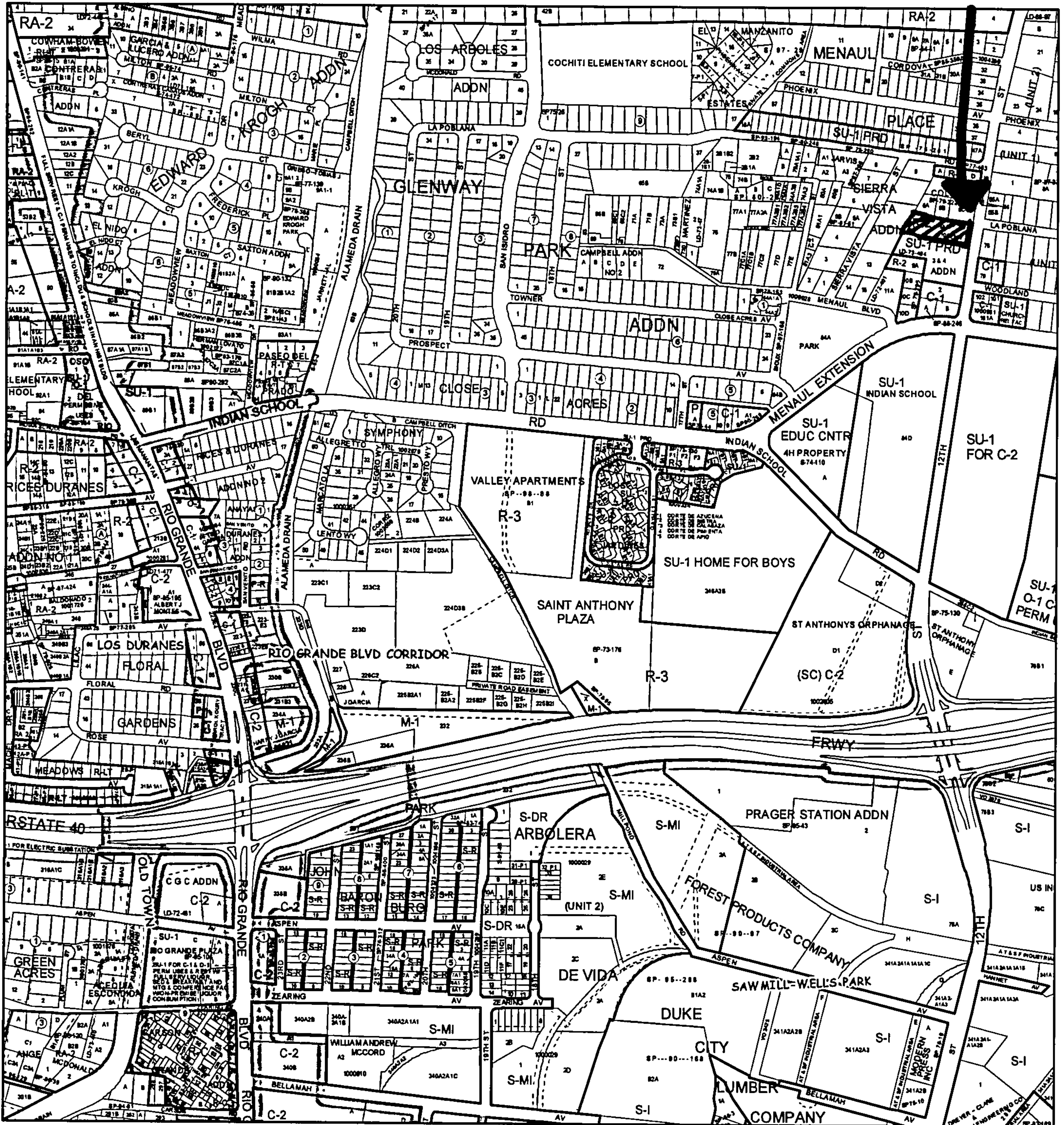
Form revised 8/04 & 1/05

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 06DRB- _____ -01523
 _____ - _____
 _____ - _____


 Planner signature / date
 Project # 1002567

SITE



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 1/12/2006

Note: Grey Shading Represents Area Outside of the City Limits

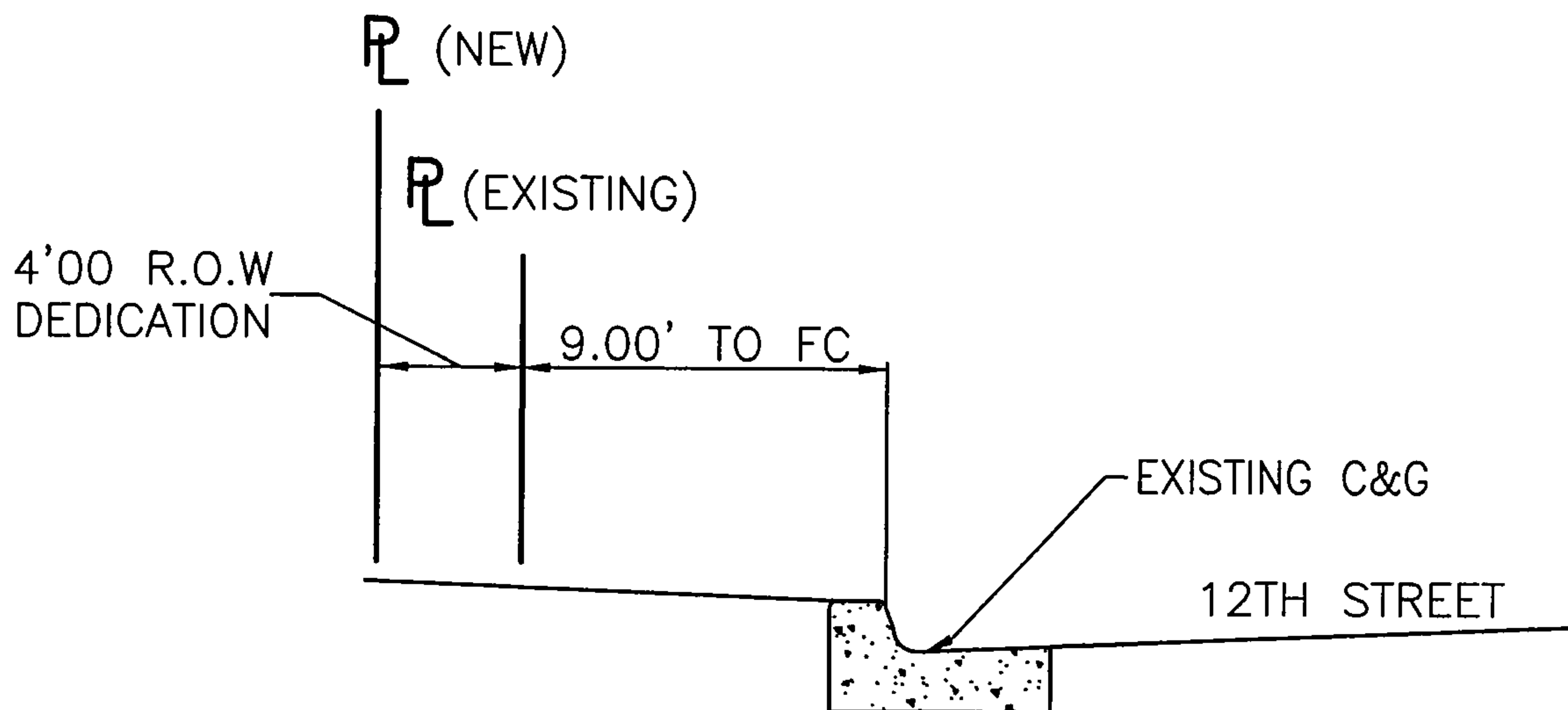
Zone Atlas Page:
H-13-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

HACIENDA DE LOIS SUBDIVISION
DRB # 200604



12TH ST. RIGHT OF WAY DEDICATION EXHIBIT

N.T.S

PRO
1002567

No. of Lots: Eleven
Nearest Major Streets
12th and Menaul

FIGURE 19
SIDEWALK DEFERRAL AGREEMENT

PROJECT NO. 793081

THIS AGREEMENT is made this 16th day of October, 2006, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P.O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103 and Steve D. and Debra G. Kirk ("Developer"), whose address is PO Box 10356, Albuquerque, NM 87184 and whose telephone number is (505) 228-6606, a (state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.): Married Couple, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

WHEREAS, the Developer is developing certain lands within the City of Albuquerque, County of Bernalillo, State of New Mexico, known as (existing legal description) Tracts 5-A-1 Coleman Addition (the "Subdivision"); and

WHEREAS, the Developer has submitted and the City has approved Developer's development plans and (state "preliminary" or "final":) Preliminary plat, to be identified as (state name of Plat:) Hacienda De Lois Subdivision; and

WHEREAS, Developer has requested and the City has determined that it is acceptable for the Developer to defer construction of the sidewalks within the Subdivision until after construction of other required infrastructure; and

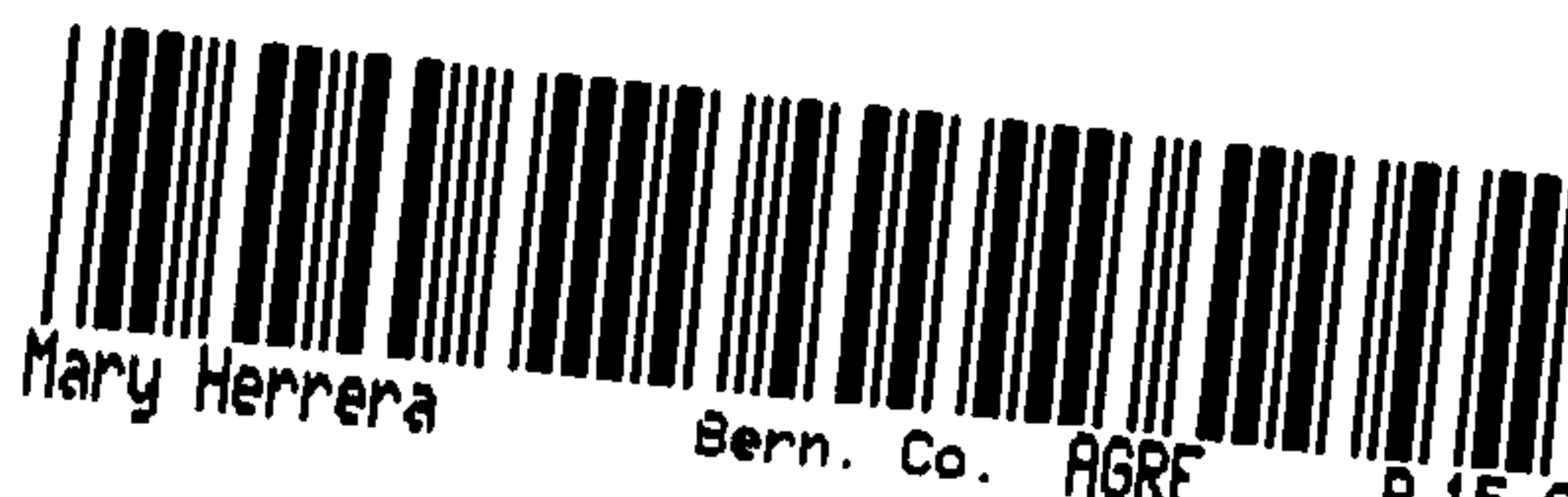
WHEREAS, the Subdivision Ordinance requires all sidewalks to be completed within four (4) years after execution of the Agreement to Construct Subdivision Improvements; and

WHEREAS, the Developer must execute and deliver to the City an Agreement and an acceptable financial guaranty to provide funds for construction of the sidewalk improvements in case the Developer does not complete the construction as required.

THEREFORE, the City and the Developer agree:

1.A. Sidewalk Construction Deadline. Developer has obtained a sidewalk deferral, as shown in the attached Exhibit "A", which is a copy of the Development Review Board's decision regarding the deferral granted. Developer agrees to utilize the City's sidewalk permit process and complete the sidewalk to the satisfaction of the City by August 10, 2007 ("Sidewalk Construction Deadline").

B. Request for Extension. If this Sidewalk Deferral Agreement establishes a Sidewalk Construction Deadline which is less than four (4) years after execution of the Subdivision Improvements Agreement, the Developer may request an extension from the Project Review Section for an additional period of time, which shall not exceed a total of four years after execution of the Subdivision Improvements Agreement. The form of the Financial Guaranty extension and the amount must be approved by the City, but shall not exceed 125% of the City's estimate of the cost of construction at the time Developer requests an extension. If the Developer will need more than four (4) years after execution of the Subdivision Improvements Agreement to construct the sidewalks, the Developer must request and obtain an extension from the Development Review Board and submit the required documentation to the Design Review Section before expiration of the four (4) years.



2. Financial Guaranty. Developer will provide a financial guaranty in an amount of not less than 125% of the cost of constructing the sidewalk improvements within the Subdivision, as determined by the City. The financial guaranty must be irrevocable and may be in the form of a City-approved bond, letter of credit, escrow deposit or loan reserve letter issued by a federally insured financial institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Sidewalk Construction Deadline. To meet the Subdivision Ordinance requirements, the Developer has provided the following "Financial Guaranty":

Type of Financial Guaranty: Loan Reserve (2354) Dated 10-10-06

Amount: \$ 6,303.31 Name of Financial Institution or Surety providing Guaranty: First Community Bank
Date City first able to call Guaranty (Sidewalk Construction Deadline): August 10, 20 07.

If Guaranty other than a Bond, last day City able to call Guaranty is: October 10, 20 07.

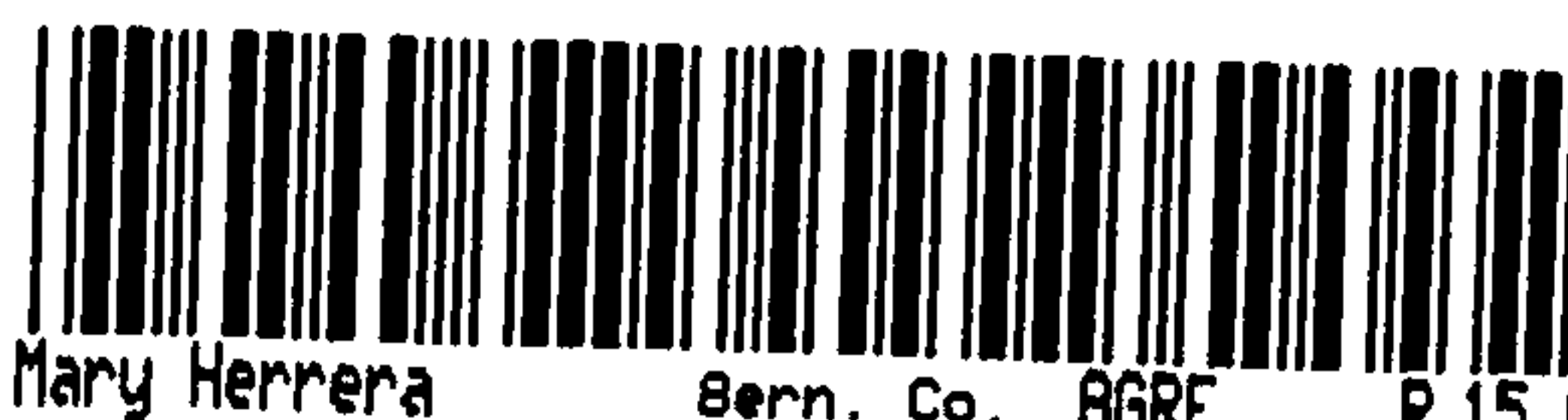
Additional Information: _____

3. Completion, Acceptance and Release. The Developer shall report completion of sidewalk construction in writing to the City. The City shall inspect the sidewalks to verify completion. Upon acceptance of the improvements, the City shall promptly release the financial guaranty and Sidewalk Deferral Agreement.

4. Conveyance of Property Rights. When the sidewalks have been constructed, if the City does not own the real property upon which the sidewalks are constructed, the Developer shall convey to the City the real property rights required by the City together with the improvements, free and clear of all claims, encumbrances and liens, before the City will release the Financial Guaranty and Sidewalk Variance Agreement. Conveyance may be by dedication on the final plat of the Subdivision.

5. Indemnification. Until the sidewalks are accepted by the City, the Developer shall be solely responsible for maintaining the premises upon which the sidewalks are being constructed in a safe condition. The Developer agrees to defend, indemnify and hold harmless the City and its officers, agents and employees from and against all suits, actions or claims of any kind brought because of any injury or damage arising out of the design or construction of the sidewalks, or by reason of any act, omission or misconduct of the Developer, its agents or employees. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico. Provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the City, or the agents or employees of the City; or (2) the giving of or the failure to give directions or instructions by the City, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

6. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Developer and the express written concurrence of financial institution or surety which has undertaken to guaranty the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.



7. Release. If the subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Developer from its obligations under this Agreement and will continue to hold the Developer responsible for all Improvements until a successor in interest to the Developer has posted a suitable financial guaranty and entered into a Sidewalk Improvements Agreement with the City. Thereafter, when the Developer's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

8. Payment for Incomplete Improvements. If the Developer fails to satisfactorily complete construction of the sidewalks by the Construction Completion Deadline, the City may construct or cause the sidewalks to be constructed as shown on the final plat and in the approved plans and specifications. The Developer shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Developer's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the Financial Guaranty, the Developer shall be liable to, and shall pay the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

9. Binding on Developer's Property. The provisions of this Agreement constitute covenants running with Developer's Subdivision for the benefit of the City and its successors and assigns until terminated, and are binding on the Developer and its heirs, successors and assigns.

10. Notice. For purposes of giving formal written notice, including notice of change of address, the Developer's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

11. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

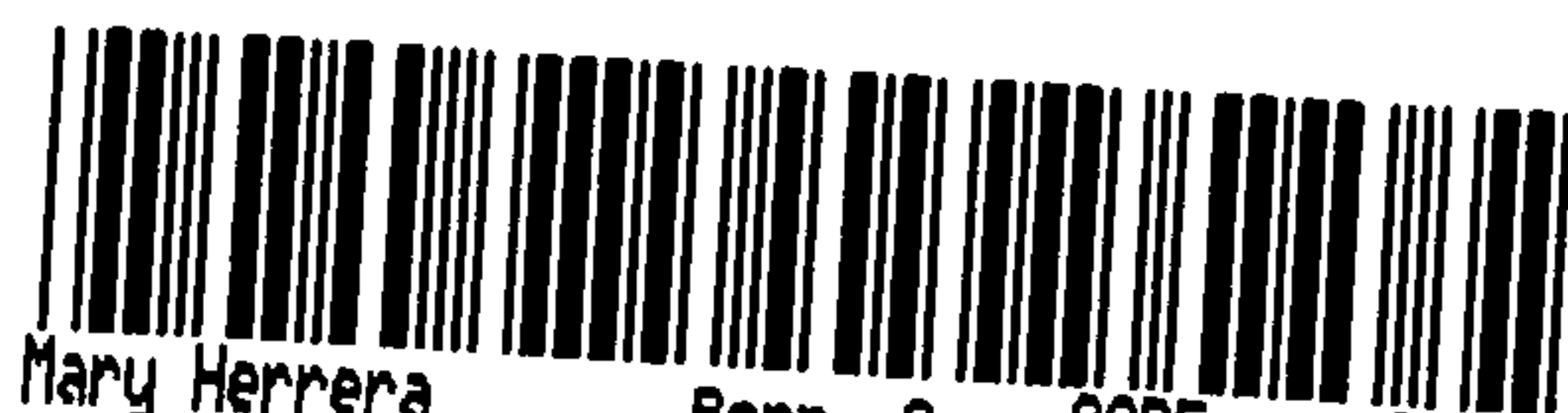
12. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

13. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

14. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meeting or construction of any of its provisions.

15. Form not Changes. Developer agrees that changes to this form are not binding unless initialed by the Developer and signed by the City's Legal Department on this form.

16. Authority to Execute. If the Developer signing below is not the Owner of the Subdivision, the owner must provide a Power of Attorney or other evidence of authority to execute this Agreement which is acceptable to the City.



Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:

Steve D. and Debra G. Kirk

By [Signature]: Steve D. Kirk

By [Signature]: Debra G. Kirk

Name: Steve D. and Debra G. Kirk

Title: Owners, Husband and Wife

Dated: October 10, 2006

CITY OF ALBUQUERQUE

Richard Nourte
City Engineer

Dated: 10-16-06

Ux lolladao

10-13-06

SUBDIVIDER'S NOTARY

STATE OF New Mexico)

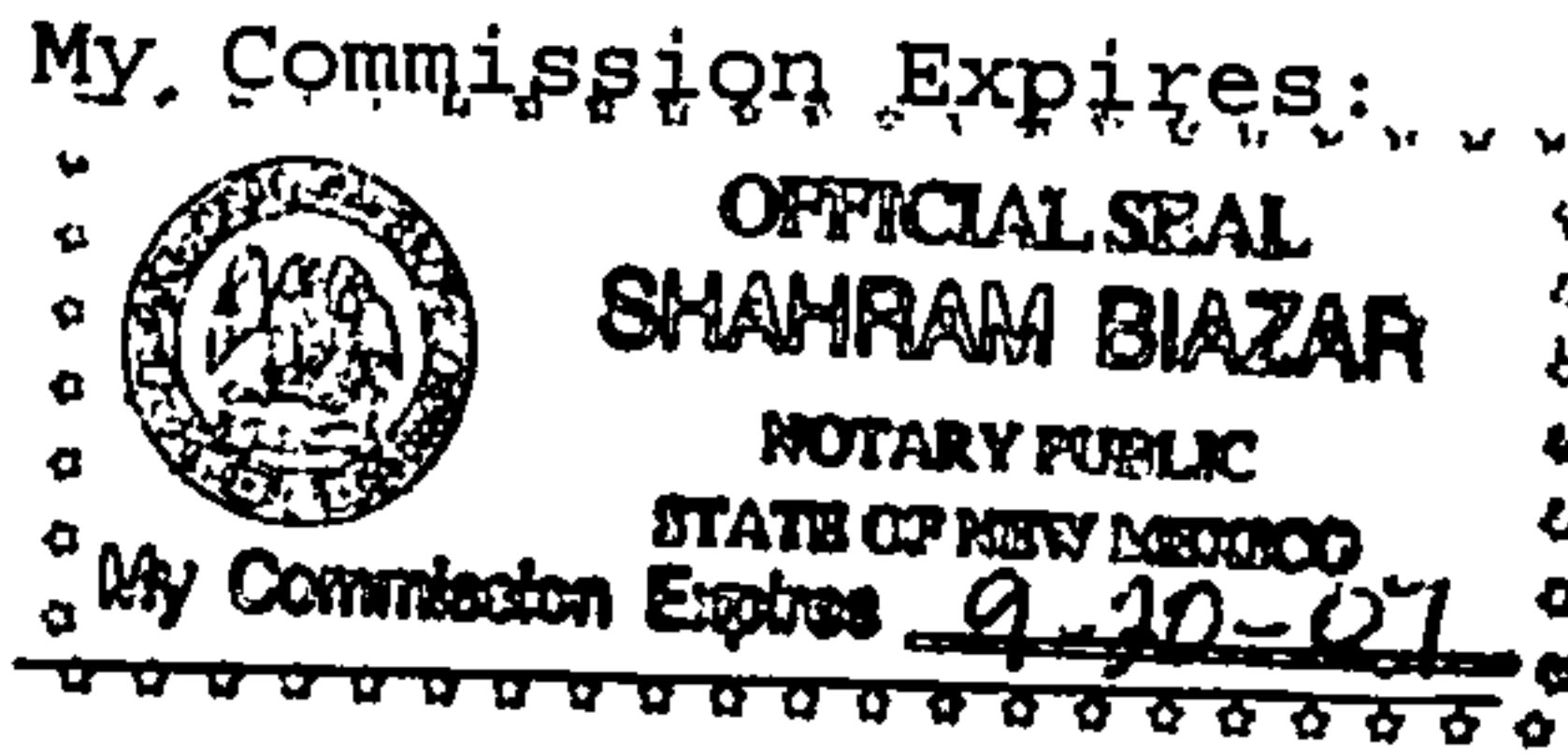
COUNTY OF Bernalillo)

ss.

This instrument was acknowledged before me on 10 day of October, 2006 by [name of person:] Steve D. and Debra G. Kirk, [title or capacity, for instance, "President" or "Owner":] Owners, Husband and Wife of [Subdivider:] _____

Shahram Biazar

Notary Public



CITY'S NOTARY

STATE OF NEW MEXICO)

COUNTY OF BERNALILLO)

ss.

This instrument was acknowledged before me on 16th day of October, 2006 by Richard Nourte, City Engineer, of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Alicia S. Saavedra

Notary Public

My Commission Expires:

11-25-2007



Mary Herrera Bern. Co. AGRE R 15.00

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Page: 4 of 4
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EXHIBIT "A" ATTACHED



EXHIBIT "A"

200604
DRB

OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 6, 2006

3. **Project # 1002567**
06DRB-01158 Major-Preliminary Plat Approval
06DRB-01163 Minor-Vacation of Private Easements
06DRB-01159 Minor-Subd Design (DPM) Variance
06DRB-01161 Minor-Sidewalk Variance
06DRB-01162 Minor-Temp Defer SDWK

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for STEVE KIRK request(s) the above action(s) for all or a portion of Lot(s) 5-A-1, COLEMAN ADDITION (to be known as **HACIENDA DE LOIS SUBDIVISION**) zoned R-2 residential zone, located on 12TH ST NW, between MENAUL EXTENSION NW and LA POBLANA NW containing approximately 1 acre(s). [REF: 06DRB-00726] (H-13)

At the September 6, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 9/6/06 and approval of the grading plan engineer stamp dated 8/31/06 the preliminary plat was approved with the following conditions of final plat approval:

If the final plat is approved after October 31, 2006, the subdivider must comply with City Council Resolution R-06-74 regarding Pre-Development Facility Fee agreements with the Albuquerque Public Schools (APS).

M.R.G.C.D. signature on the plat is required unless proof of final easement is given.

An improved wall design is needed,

13-feet from face of curb to property line should be dedicated as right-of-way.

The vacation of the private easements was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.



OFFICIAL NOTICE OF DECISION

PAGE 2

A subdivision design variance from minimum design standards was approved as shown on Exhibit C in the Planning file.


A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by September 21, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)



Sheran Matson, AICP, DRB Chair

Cc: Steve Kirk, P.O. Box 10356, 87184
Advanced Engineering & Consulting LLC, 4416 Anaheim Ave NE, 87113
George Hutton, 1820 Indian School Rd NW, Apt. 103, 87104
Claude Morrelli, 7 Garden Park Cr NW, 87107
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

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FINANCIAL GUARANTY AMOUNT

09/27/2006

Type of Estimate: Sidewalk Deferral

Project Description:

Project ID #: 793081, Hacienda de Lois Subdivision, Phase/Unit #: 1

Requested By: Shahram (Shawn) Biazar - Advanced Engineering

Approved estimate amount:		\$4,718.27
NMGRT	6.875%	\$324.38
Subtotal:		\$5,042.65
125% FINANCIAL GUARANTY RATE		1.25
TOTAL FINANCIAL GUARANTY REQUIRED		\$6,303.31

APPROVAL:

DATE:



9/27/06

Notes:



**FIRST
COMMUNITY
BANK**

October 10, 2006

Bruce J. Pearlman, PhD
Chief Administrative Officer
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

LOAN RESERVE LETTER No. 2354

RE: Loan Reserve for Steve D. Kirk and Debra G. Kirk
City of Albuquerque, Project ID#793081
Project Name: Hacienda de Lois
Loan Reserve Amount: Six Thousand Three Hundred Three
Dollars and 31/100, (\$6,303.31)

Dear Dr. Pearlman:

This is to advise the City of Albuquerque ("City") that, at the request of Steve D. Kirk and Debra G. Kirk ("Borrower"), First Community Bank, ("Financial Institution") in , New Mexico, commits the sum of Six Thousand Three Hundred Three Dollars and 31/100, (\$6,303.31) ("Loan Reserve") for the exclusive purpose of providing the financial guarantee which the City requires Steve D. Kirk and Debra G. Kirk, ("Subdivider") to provide for the installation of the improvements which must be constructed at , Project No. (Project). The Amount of the Loan Reserve is 125% of the City's estimated cost of the Project, as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 10.16.06 in the records of the Clerk of Bern County, New Mexico, in Book Misc. A125 at pages 8174 to 8174, ("Agreement").

1. Reduction of Commitment. If the City Engineer, or that person's authorized designee, determines that it is appropriate to release a specified amount of the Loan Reserve as the result of the Subdivider's construction of a portion of the required infrastructure, then the City Engineer, or that person's authorized designee, may execute an "Authorization to Reduce" which will authorize the Financial Institution to release a specified amount from the Loan Reserve.

The Authorization to Reduce will state the amount of the "Reduced Loan Reserve Balance" which must be maintained following the reduction. The Reduced Loan Reserve Balance shall not be reduced by more than 90% of the City's estimated cost of the Project until the Project is accepted by the City. When the Financial Institution receives the Authorization to Reduce, which has been signed by the City, the Financial Institution may reduce the Loan Reserve to the Reduced Loan Reserve Balance.

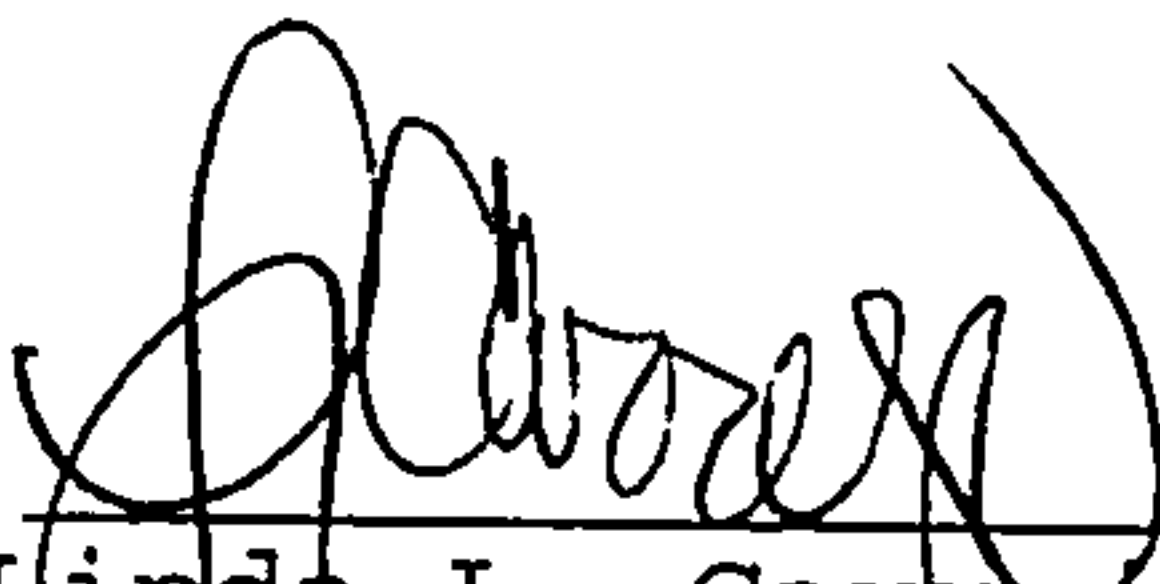
2. Liability of Financial Institution. Although the City may approve the Financial Institution's release of a part of the Loan Reserve, the approval will not constitute the City's final acceptance of part or all of the Project. However, no matter what agreement exists between the Subdivider and the City, the total liability of the Financial Institution to the City with respect to the Loan Reserve established pursuant to this Loan Reserve Letter shall at all times be limited to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City, and the Financial Institution's liability to the City under this Loan Reserve Letter shall cease upon termination of the Loan Reserve as provided in Section 4 herein.

3. Draw on Reserve. If by August 10, 2007, the improvements described in the Agreement have not been fully installed, inspected, approved and accepted by the City, then, upon presentation between August 10, 2007, and October 10, 2007, inclusive, the City may demand payment from the Financial Institution up to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The City may demand payment by delivering to the Financial Institution a certified "Demand for Payment" executed by the CAO which shall state that the Subdivider has failed to comply with the terms of the Agreement and also shall state the estimated cost of completing the improvements specified in the Agreement ("Estimated Cost of Completion"). Upon receipt of the Demand for Payment, the Financial Institution promptly shall draw from the Loan Reserves cashier's check to the City of Albuquerque the amount of 125% of the estimated cost of completion, not to exceed the lesser of the total Loan Reserve amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The Financial Institution shall deliver the cashier's check promptly to the City.

4. Termination of Reserve. This Loan Reserve is for the benefit of the City and shall be irrevocable until the occurrence of one of the following:

- A. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
- B. City delivery of the Demand for Payment and the Financial Institution's payment to the City of cashier's check as required in Section 3 herein; or
- C. Expiration of the date October 10, 2007; or
- D. Written termination of this Loan Reserve Letter, signed by the Chief Administrative Officer of the City.

Very truly yours,



Linda L. Carrejo,
Vice President

ACCEPTED:

City of Albuquerque

By: 

Chief Administrative Officer
Or authorized designee

Title: City Engineer

Dated: 10-16-06

Ug 10/16/06

10-13-06



**FIRST
COMMUNITY
BANK**

October 10, 2006

Bruce J. Pearlman, PhD
Chief Administrative Officer
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

LOAN RESERVE LETTER No. 2354

RE: Loan Reserve for Steve D. Kirk and Debra G. Kirk
City of Albuquerque, Project ID# 793081
Project Name:
Loan Reserve Amount: Six Thousand Three Hundred Three
Dollars and 31/100, (\$6,303.31)

Dear Dr. Pearlman:

This is to advise the City of Albuquerque ("City") that, at the request of Steve D. Kirk and Debra G. Kirk ("Borrower"), First Community Bank, ("Financial Institution") in , New Mexico, commits the sum of Six Thousand Three Hundred Three Dollars and 31/100, (\$6,303.31) ("Loan Reserve") for the exclusive purpose of providing the financial guarantee which the City requires _____, ("Subdivider") to provide for the installation of the improvements which must be constructed at , Project No. (Project"). The Amount of the Loan Reserve is 125% of the City's estimated cost of the Project, as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on _____ in the records of the Clerk of _____ County, New Mexico, in Book Misc. _____ at pages _____ to _____, ("Agreement").

1. Reduction of Commitment. If the City Engineer, or that person's authorized designee, determines that it is appropriate to release a specified amount of the Loan Reserve as the result of the Subdivider's construction of a portion of the required infrastructure, then the City Engineer, or that person's authorized designee, may execute an "Authorization to Reduce" which will authorize the Financial Institution to release a specified amount from the Loan Reserve.

The Authorization to Reduce will state the amount of the "Reduced Loan Reserve Balance" which must be maintained following the reduction. The Reduced Loan Reserve Balance shall not be reduced by more than 90% of the City's estimated cost of the Project until the Project is accepted by the City. When the Financial Institution receives the Authorization to Reduce, which has been signed by the City, the Financial Institution may reduce the Loan Reserve to the Reduced Loan Reserve Balance.


2. Liability of Financial Institution. Although the City may approve the Financial Institution's release of a part of the Loan Reserve, the approval will not constitute the City's final acceptance of part or all of the Project. However, no matter what agreement exists between the Subdivider and the City, the total liability of the Financial Institution to the City with respect to the Loan Reserve established pursuant to this Loan Reserve Letter shall at all times be limited to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City, and the Financial Institution's liability to the City under this Loan Reserve Letter shall cease upon termination of the Loan Reserve as provided in Section 4 herein.

3. Draw on Reserve. If by August 10, 2007, the improvements described in the Agreement have not been fully installed, inspected, approved and accepted by the City, then, upon presentation between August 10, 2007, and October 10, 2007, inclusive, the City may demand payment from the Financial Institution up to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The City may demand payment by delivering to the Financial Institution a certified "Demand for Payment" executed by the CAO which shall state that the Subdivider has failed to comply with the terms of the Agreement and also shall state the estimated cost of completing the improvements specified in the Agreement ("Estimated Cost of Completion"). Upon receipt of the Demand for Payment, the Financial Institution promptly shall draw from the Loan Reserves cashier's check to the City of Albuquerque the amount of 125% of the estimated cost of completion, not to exceed the lesser of the total Loan Reserve amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The Financial Institution shall deliver the cashier's check promptly to the City.

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- A. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
- B. City delivery of the Demand for Payment and the Financial Institution's payment to the City of cashier's check as required in Section 3 herein; or
- C. Expiration of the date October 10, 2007; or
- D. Written termination of this Loan Reserve Letter, signed by the Chief Administrative Officer of the City.

Very truly yours,



Linda L. Carrejo,
Vice President

ACCEPTED:

City of Albuquerque

By: _____

Chief Administrative Officer
Or authorized designee

Title: _____

Dated: _____

PROJ
1002567

No. of Lots: Eleven
Nearest Major Streets
12th and Menaul

FIGURE 12

**SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)**

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 16th day of October, 2006, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Steve D. And Debra G. Kirk ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] Owners, Husband and Wife, whose address is PO Box 10356 Albuquerque, NM 87184 and whose telephone number is 228-6606, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Tract 5-A-1, Coleman Addition, recorded on 10-20 2005 in the records of the Bernalillo County Clerk Book 2005C, Page 348 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Steve D. and Debra G. Kirk ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Hacienda De Lois Subdivision describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 10th day of August, 2007 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 793081.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



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the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insureds. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Advanced Engineering and Consulting, LLC, and construction surveying of the private Improvements shall be performed by Advanced Engineering and Consulting, LLC. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Advanced Engineering and Consulting, LLC, and inspection of the private Improvements shall be performed by Advanced Engineering and Consulting, LLC, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider shall ensure that the inspecting entity provides all inspection results,



reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Vinyard & Associates, Inc., and field testing of the private Improvements shall be performed by Vinyard & Associates, Inc., both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guarantee:"

Type of Financial Guaranty: Loan Reserve Letter (2355), Dated 10-10-06
Amount: \$ 101,959.30 Name of Financial Institution or Surety
providing Guaranty: First Community Bank
Date City first able to call Guaranty: 08-10-2007
[Construction Completion Deadline]: 10-10, 2007
If Guaranty other than a Bond, last day City able to call Guaranty is:
10-10, 2007
Additional information: _____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

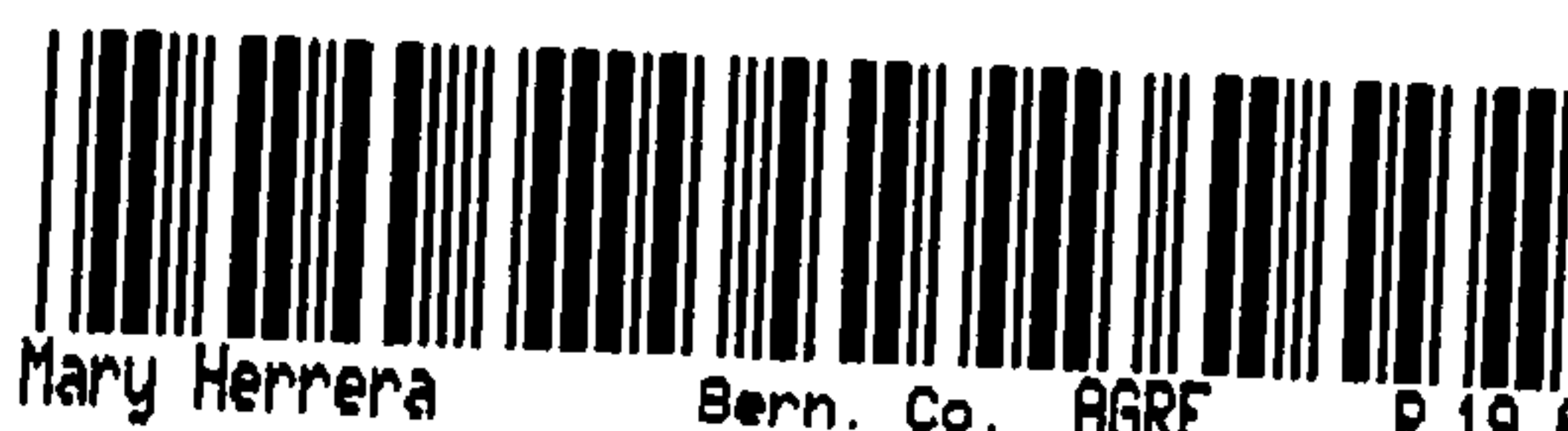
(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:

Steve D. and Debra G. Kirk

By [Signature]: Steve D. Kirk

By [Signature]: Debra G. Kirk

Name: Steve D. and Debra G Kirk

Title: Owners, Husband and Wife

Dated: 10-10-2006

CITY OF ALBUQUERQUE

Paul Sanchez
City Engineer

Dated: 10-16-06

Ye ididob

ju
10-13-06

SUBDIVIDER'S NOTARY

STATE OF New Mexico)

) ss.

COUNTY OF Bernalillo)

This instrument was acknowledged before me on 10th day of October, 20 06 by [name of person:] Steve D. and Debra G. Kirk, [title or capacity, for instance, "President" or "Owner":] Owners, Husband and Wife of [Subdivider:] _____

Shahram Biazar
Notary Public

My Commission Expires:
OFFICIAL SEAL
SHAHRAM BIAZAR
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires 9-20-07
.....

CITY'S NOTARY

STATE OF NEW MEXICO)

) ss.

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 10th day of October, 20 06 by Richard Saavedra, City Engineer, of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Richard Saavedra
Notary Public

My Commission Expires:

11-25-2007

EXHIBIT A AND POWER OF ATTORNEY ATTACHED



Current DRC
Project Number: _____

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Hacienda de Lois Subdivision

PROPOSED NAME OF PLAT AND/OR ~~SEE DEVELOPMENT PLAN~~

Lot 5-A-1, Coleman Addition

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: 8-11-06
Date Site Plan Approved: N/A
Date Preliminary Plat Approved: 9/6/06
Date Preliminary Plat Expires: 9/6/07
DRB Project No.: 1002567
DRB Application No.: 06-DRB-0

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portion of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition any unforeseen items which arise during construction which are necessary to complete the project and which normally are the provider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		6" ⁵⁰	Waterline Waterline PVC C-900 <i>with Fire Hydrant</i>	25' Public SAS & WL Ease. Lois Lane NW	<i>La Poblana, NW</i> 12th St., NW	Lot 11 End of Lois Lane NW	/	/	/
		8"	Sanitary Sewer Sanitary Sewer Line SDR-35	25' Public SAS & WL Ease. Lois Lane NW	12th St., NW	Lot 11 End of Lois Lane NW	/	/	/
		26' F-F	Paving Residential Pavement C&G on Both Sides	Lois Lane NW	12th St., NW	Lot 11 End of Lois Lane NW	/	/	/
		**	6' Sidewalk on South Side Only	<i>12th St. NW</i>			/	/	/
			6' Sidewalk on West Side Only	<i>Gonzalez Ave., NW</i>	South property line	North property line	/	/	/
		20' FF	<i>STUB STREET</i> W C & G	<i>Private. Government</i>	<i>Lois Lane</i>	<i>South P.L.</i>	/	/	/
							/	/	/
							/	/	/
							/	/	/

** Deferred Sidewalk Items

Fax:
897-4996

FINANCIAL GUARANTY AMOUNT

09/27/2006

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

Project ID #: 793081, Hacienda de Lois Subdlvision, Phase/Unit #: 1

Requested By: Shahram (Shawn) Biazar - Advanced Engineering

Approved estimate amount:		\$63,887.84
Contingency Amount:	10.00%	\$6,388.78
Subtotal:		\$70,276.62
NMGRT	6.875%	\$4,831.52
Subtotal:		\$75,108.14
Engineering Fee	6.60%	\$4,957.14
Testing Fee	2.00%	\$1,502.16
Subtotal:		\$81,567.44
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		\$101,959.30

APPROVAL:

DATE:

Shahram Biazar

9/27/06

Notes: Certified G&D and Wall for SIA/FG release; Wall certification from registered engineer and/or registered architect prior to release of financial guarantee



**FIRST
COMMUNITY
BANK**

October 10, 2006

Bruce J. Pearlman, PhD
Chief Administrative Officer
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

LOAN RESERVE LETTER No. 2355

RE: Loan Reserve for Steve D. Kirk and Debra G. Kirk
City of Albuquerque, Project ID# 793081
Project Name: Hacienda de Lois
Loan Reserve Amount: One Hundred One Thousand Nine
Hundred Fifty Nine Dollars and 30/100, (\$101,959.30)

Dear Dr. Pearlman:

This is to advise the City of Albuquerque ("City") that, at the request of Steve D. Kirk and Debra G. Kirk ("Borrower"), First Community Bank, ("Financial Institution") in , New Mexico, commits the sum of One Hundred One Thousand Nine Hundred Fifty Nine Dollars and 30/100, (\$101,959.30) ("Loan Reserve") for the exclusive purpose of providing the financial guarantee which the City requires Steve D. Kirk and Debra G. Kirk, ("Subdivider") to provide for the installation of the improvements which must be constructed at Hacienda de Lois, Project No. 793081 (Project). The Amount of the Loan Reserve is 125% of the City's estimated cost of the Project, as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 10/16/06 in the records of the Clerk of Bernalillo County, New Mexico, in Book Misc. A125 at pages 8172 to 8173, ("Agreement").

1. Reduction of Commitment. If the City Engineer, or that person's authorized designee, determines that it is appropriate to release a specified amount of the Loan Reserve as the result of the Subdivider's construction of a portion of the required infrastructure, then the City Engineer, or that person's authorized designee, may execute an "Authorization to Reduce" which will authorize the Financial Institution to release a specified amount from the Loan Reserve.

The Authorization to Reduce will state the amount of the "Reduced Loan Reserve Balance" which must be maintained following the reduction. The Reduced Loan Reserve Balance shall not be reduced by more than 90% of the City's estimated cost of the Project until the Project is accepted by the City. When the Financial Institution receives the Authorization to Reduce, which has been signed by the City, the Financial Institution may reduce the Loan Reserve to the Reduced Loan Reserve Balance.

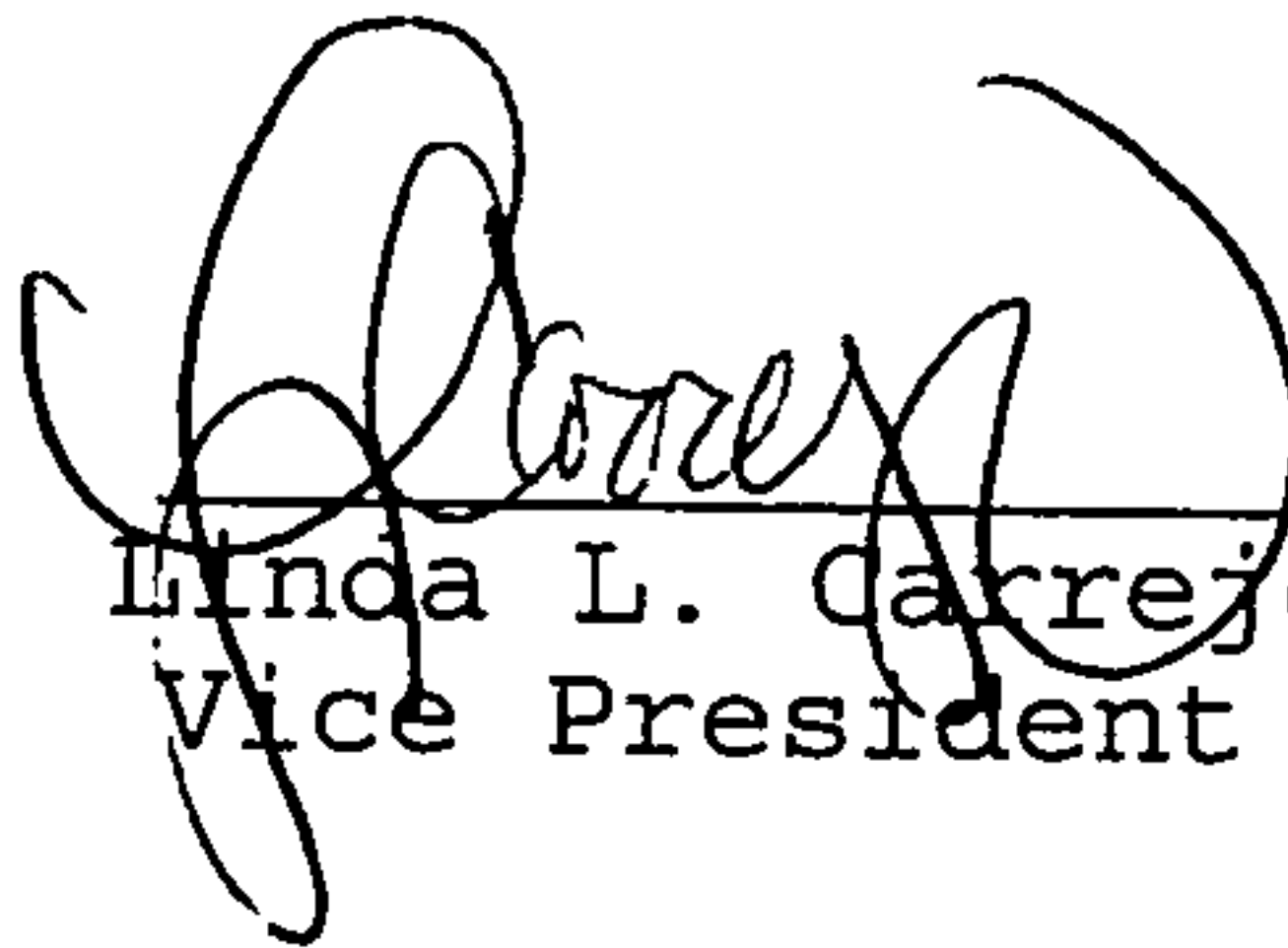
2. Liability of Financial Institution. Although the City may approve the Financial Institution's release of a part of the Loan Reserve, the approval will not constitute the City's final acceptance of part or all of the Project. However, no matter what agreement exists between the Subdivider and the City, the total liability of the Financial Institution to the City with respect to the Loan Reserve established pursuant to this Loan Reserve Letter shall at all times be limited to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City, and the Financial Institution's liability to the City under this Loan Reserve Letter shall cease upon termination of the Loan Reserve as provided in Section 4 herein.

3. Draw on Reserve. If by August 10, 2007, the improvements described in the Agreement have not been fully installed, inspected, approved and accepted by the City, then, upon presentation between August 10, 2007, and October 10, 2007, inclusive, the City may demand payment from the Financial Institution up to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The City may demand payment by delivering to the Financial Institution a certified "Demand for Payment" executed by the CAO which shall state that the Subdivider has failed to comply with the terms of the Agreement and also shall state the estimated cost of completing the improvements specified in the Agreement ("Estimated Cost of Completion"). Upon receipt of the Demand for Payment, the Financial Institution promptly shall draw from the Loan Reserves cashier's check to the City of Albuquerque the amount of 125% of the estimated cost of completion, not to exceed the lesser of the total Loan Reserve amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The Financial Institution shall deliver the cashier's check promptly to the City.

4. Termination of Reserve. This Loan Reserve is for the benefit of the City and shall be irrevocable until the occurrence of one of the following:

- A. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
- B. City delivery of the Demand for Payment and the Financial Institution's payment to the City of cashier's check as required in Section 3 herein; or
- C. Expiration of the date October 10, 2007; or
- D. Written termination of this Loan Reserve Letter, signed by the Chief Administrative Officer of the City.

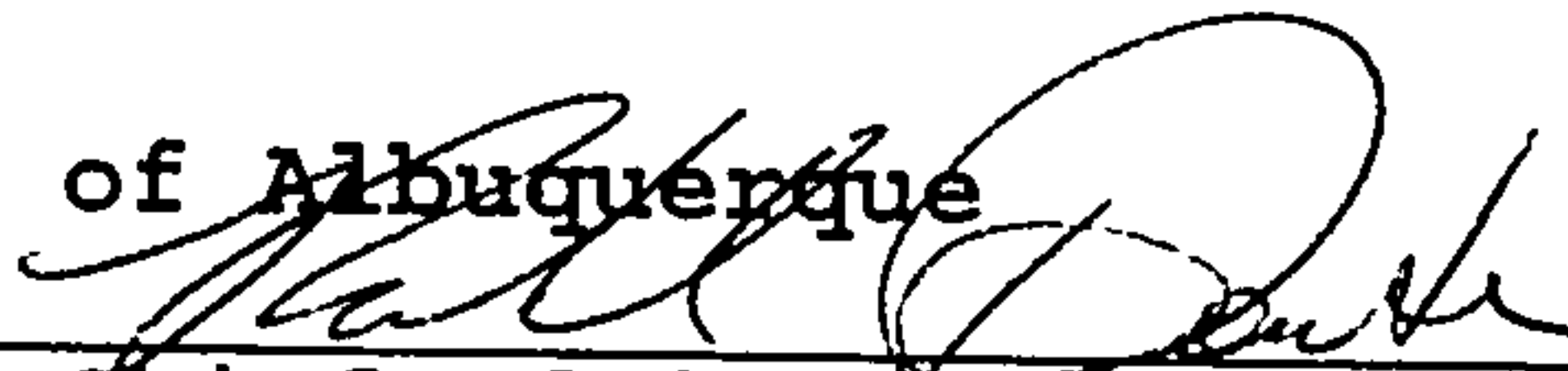
Very truly yours,



Linda L. Carrejo,
Vice President

ACCEPTED:


City of Albuquerque

By: 

Chief Administrative Officer
Or authorized designee

Title: City Engineer
Dated: 10-16-06




10-13-06



**FIRST
COMMUNITY
BANK**

October 10, 2006

Bruce J. Pearlman, PhD
Chief Administrative Officer
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

LOAN RESERVE LETTER No. 2355

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City of Albuquerque, Project ID# 793081
Project Name:
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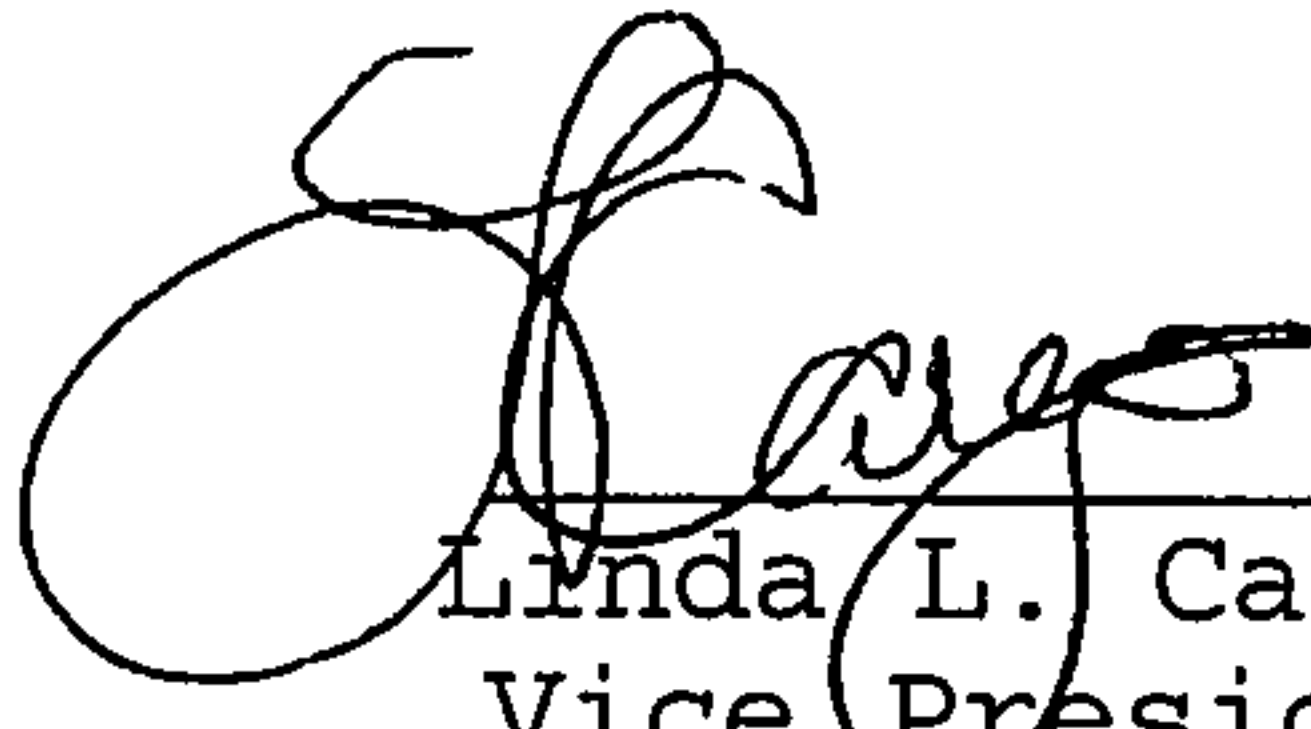
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- C. Expiration of the date October 10, 2007; or
- D. Written termination of this Loan Reserve Letter, signed by the Chief Administrative Officer of the City.

Very truly yours,



Linda L. Carrejo,
Vice President

ACCEPTED:

City of Albuquerque

By: _____

Chief Administrative Officer
Or authorized designee

Title: _____

Dated: _____

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME STEVE KIRK
AGENT ADVANCED ENGINEERING & CONSULTING LLC
ADDRESS 4416 ANAHEIM AVE NE
PROJECT & APP # 1002567/06 DRB 01523
PROJECT NAME LISA-5B COLEMAN ADDITION

\$ 20.00 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

10/17/2006 11:56AM LOC: ANN
X
RECEIPT# 00068214 WS# 006 TRANS# 0039
Account 441032 Fund 0110
Activity 3424000 TRSCXG
Trans Amt \$20.00
J24 Misc \$20.00
VI \$20.00
CHANGE \$0.00

Thank You

9/06/06

1002567

Claude Morelli

• Ped issues

Steve • 6' landscape strip then
Kirk 6' sidewalk
DWNW
agreed - prop north is this
way already

• Review way issue
OK

Current DRC
Project Number:

FIGURE 12

Claire

Date Submitted: 8-11-06

Date Site Plan Approved: N/A

Date Preliminary Plat Approved: 9/6/06

Date Preliminary Plat Expires: 9/6/07

DRB Project No.: 1002567

DRB Application No.: 06-DRB-08

0115

ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Hacienda de Lois Subdivision

PROPOSED NAME OF PLAT AND/OR ~~SUB-DEVELOPMENT PLAN~~

Lot 5-A-1, Coleman Addition

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portion of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition any unforeseen items which arise during construction which are necessary to complete the project and which normally are the provider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		6" ^{8"} ^{SB}	Waterline Waterline PVC C-900 with Fire Hydrant	25' Public SAS & WL Ease. Lois Lane NW	La Poblana, NW 12th St., NW	Lot 11 End of Lois Lane NW	/	/	/
		8"	Sanitary Sewer Sanitary Sewer Line SDR-35	25' Public SAS & WL Ease. Lois Lane NW	12th St., NW	Lot 11 End of Lois Lane NW	/	/	/
		26' F-F	Paving Residential Pavement C&G on Both Sides	Lois Lane NW	12th St., NW	Lot 11 End of Lois Lane NW	/	/	/
		**	6' Sidewalk on South Side Only	12th St. NW			/	/	/
			6' Sidewalk on West Side Only	Gonzalez Ave., NW	South property line	North property line	/	/	/
		20' FF	STUB STREET w/ C&G	Private Easement	Lois Lane	South P.L.	/	/	/
							/	/	/
							/	/	/

** Deferred Sidewalk Items

ORIGINAL

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
							/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA. Street lights per City requirements.

- 1 Water Infrastructure to Include Services, Vales, Fittings, Valve Boxes, and Fire Hydrants as Required.
- 2 Sanitary Sewer to Include manholes and Service Connections as required
- 3 Residential Street Lights Per DPM *SIGNATURE PER DRC*
- 4 Certified Grading and Drainage and Wall for SIA/Financial Release
- 5 Sidewalks which front the lots will be deferred and built during the construction of the individual houses
- 6 Perimeter Wall per DRB Approved Perimeer Wall Design
- 7 Wall Certification from Registered Engineer and/or Registered Architect Prior to Release of Financial Guarantee
- 8 _____
- 9 _____

AGENT / OWNER

Shawn Blazar, Managing Manager
NAME (print)

Advanced Engineering and Consulting, LLC

FIRM

Sally Lopez
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Melton Hobbs
DRB CHAIR - date

David Jones 9-6-06
PARKS & RECREATION - date

John Self 9-6-06
TRANSPORTATION DEVELOPMENT - date

N/A
AMAFCA - date

Ray A. Mac 9/6/06
UTILITY DEVELOPMENT - date

_____- date

Mc D 25 9/6/06
CITY ENGINEER - date

_____- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input checked="" type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan		
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	
		APPEAL / PROTEST of...
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Steve Kirk PHONE: (505) 897-5971
 ADDRESS: PO Box 10356 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87184 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Steve Kirk
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Avenue, NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

DESCRIPTION OF REQUEST: Preliminary Plat Approval, Sidewalk Deferral, Road Design Variance and Sidewalk Design Variance, Grading Plan Approval
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 5-A-1 Block: _____ Unit: _____
 Subdiv. / Addn. Coleman Addition **TBK: HACIENDA DE LOIS SUBDIVISION**
 Current Zoning: R-2 Proposed zoning: The Same
 Zone Atlas page(s): H-13-Z No. of existing lots: 1 No. of proposed lots: 11
 Total area of site (acres): .8647 Acres Density if applicable: dwellings per gross acre: .08 dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits. Within 1000FT of a landfill? No
 UPC No. 101305949642811007, 101305948043111033 MRGCD Map No. _____
 PROPERTY BY STREETS: On or Near: 12 St., NW
 Between: Menaul Extension NW and La Poblana, NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1002567, 06DRB-00726

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 8-10-06
 (Print) Shawn Baizar, Managing Member Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB - 01158</u>	<u>PP</u>	<u>5(2)</u>	<u>\$ 825.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>06DRB - 01159</u>	<u>SDV</u>	<u>Y</u>	<u>\$ 0.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	<u>06DRB - 01161</u>	<u>SV</u>	<u>Y</u>	<u>\$ 0.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	<u>06DRB - 01162</u>	<u>TDS</u>	<u>Y</u>	<u>\$ 0.00</u>
<input checked="" type="checkbox"/> Case history #s are listed	<u>06DRB - 01163</u>	<u>VPRE</u>	<u>Y</u>	<u>\$ 45.00</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill		<u>ADV</u>		<u>75.00</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>09/06/06</u>	<u>CMF</u>		<u>20.00</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 965.00</u>

Sandy Handley 08/11/06
 Planner signature / date

Project # 1002567

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Proposed Infrastructure List
 - Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed plat
 - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Signed** Pre-Annexation Agreement if Annexation required.
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT
 (Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Devin Shawn Biazar
 Applicant name (print)
Devin Biazar
 Applicant signature / date
 8-10-06



Form revised 11/04 and JUNE 05

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 06DRB-01158

Sandy Handley 08/11/06
 Planner signature / date
 Project # 1002567

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Shawn Biazus
 Applicant name (print)
[Signature] 8-10-06
 Applicant signature / date

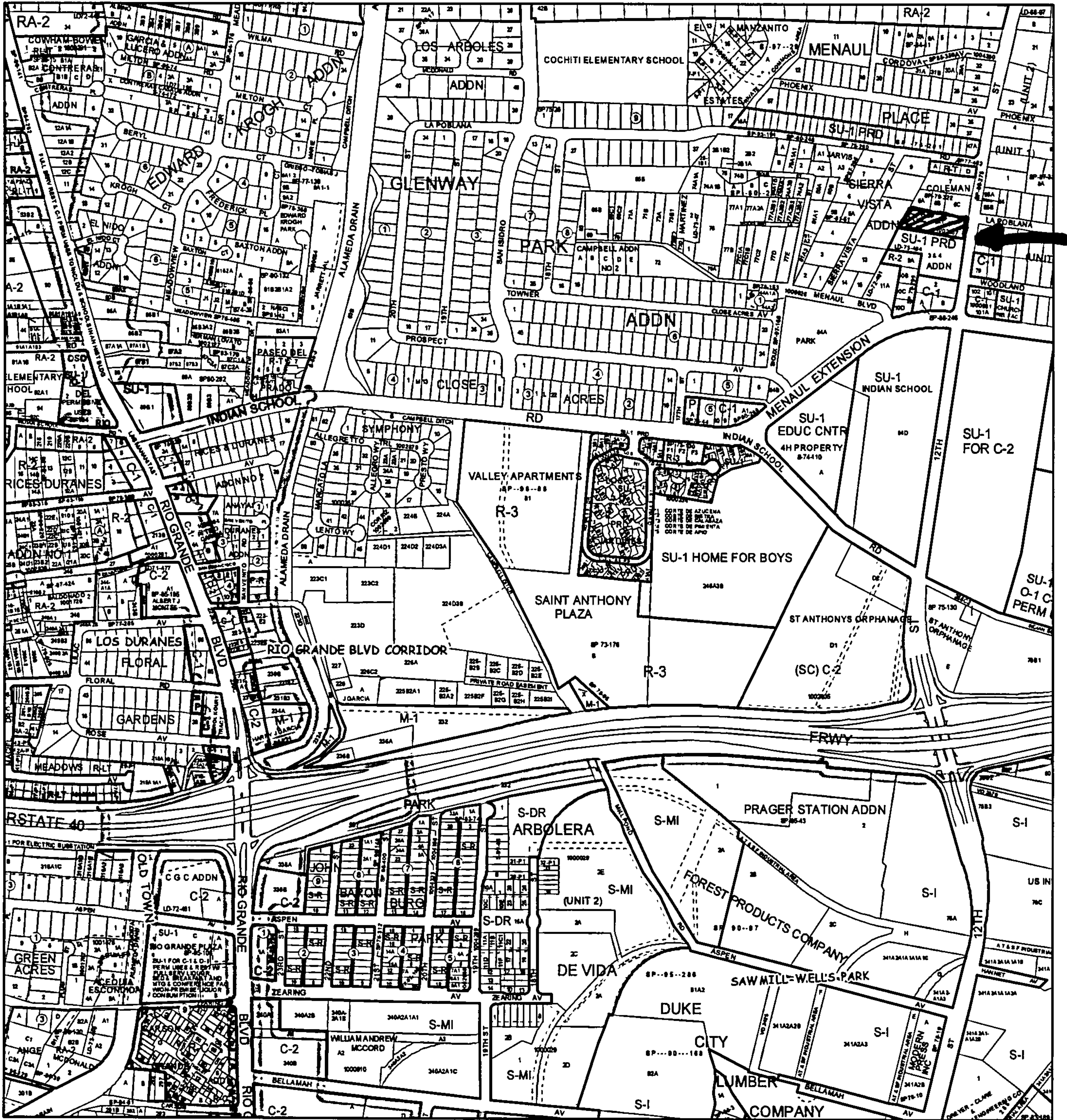


Form revised 4/03, 10/03 and JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed


Application case numbers
 06DRB - 01158
 06DRB - 01161
 06DRB - 01162
 06DRB 01163

Sandy Landrey 08/11/06
 Planner signature / date
Project # 1002567



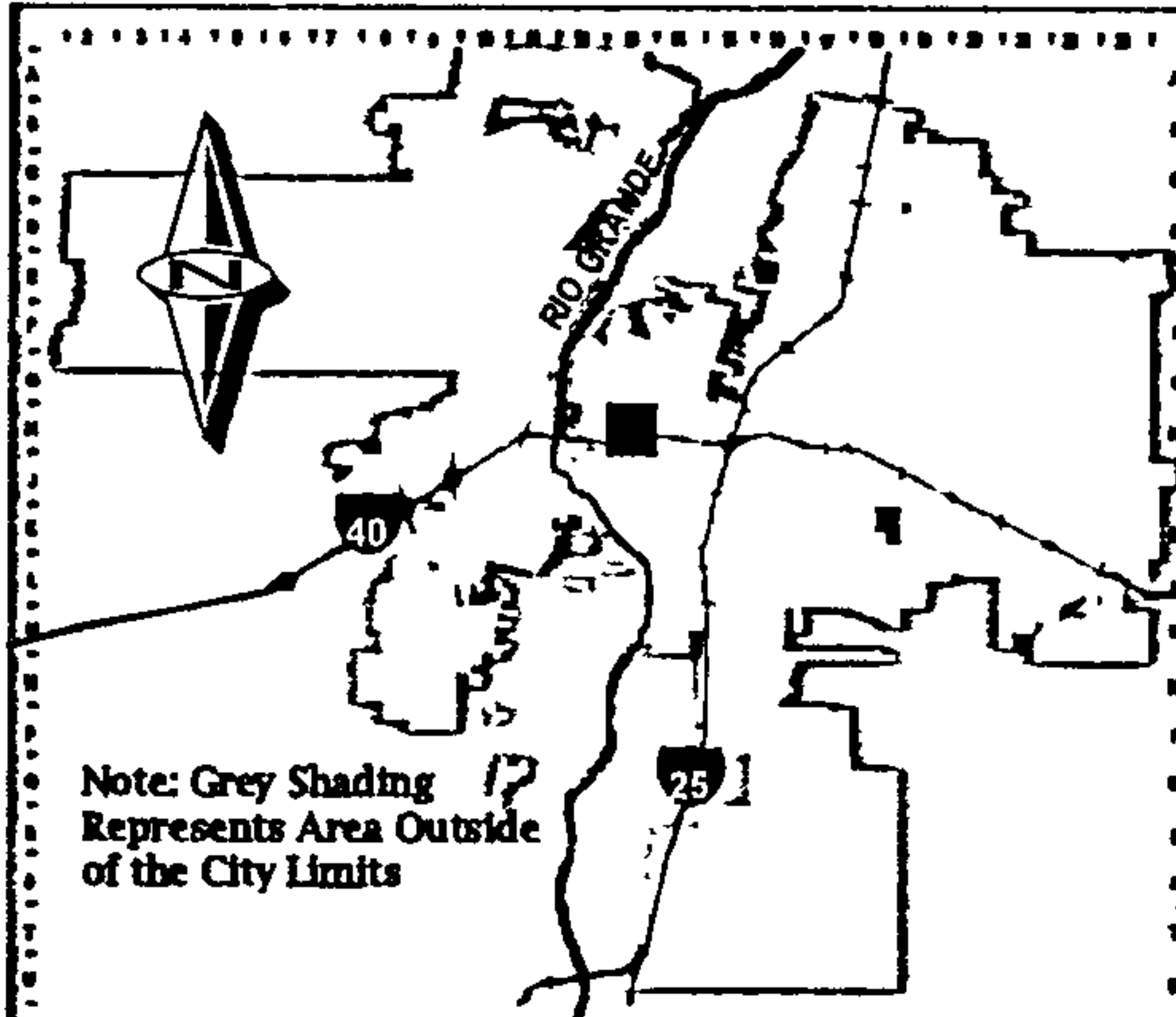
SITE

For more current information and more details visit: <http://www.cabq.gov/gis>



AGIS
Albuquerque Geographic Information System

Map amended through: 1/12/2006



Note: Grey Shading Represents Area Outside of the City Limits

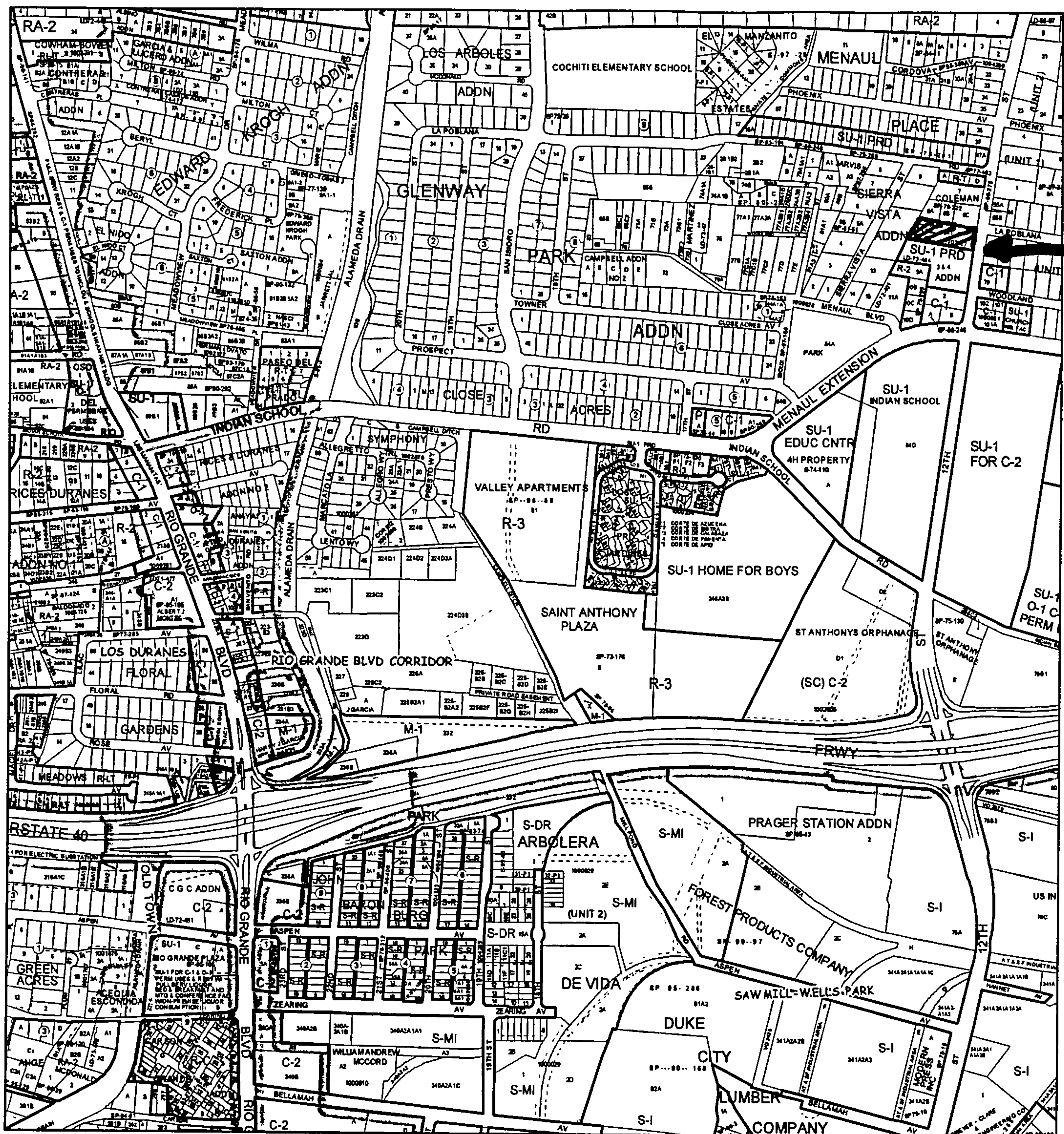
Zone Atlas Page:
H-13-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

SITES



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 1/12/2006

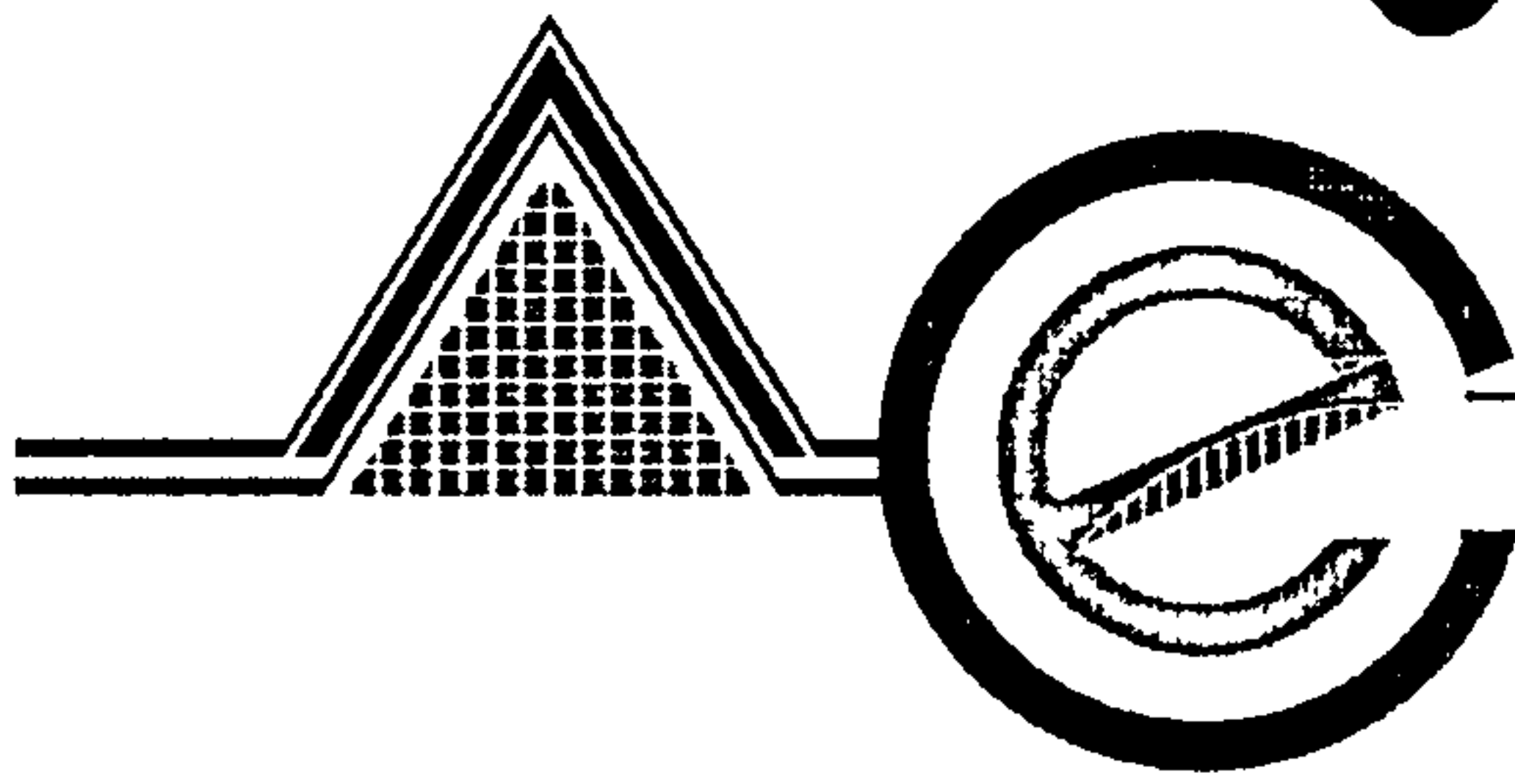
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-13-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection
Surveying*

August 11, 2006

Sheran Matson, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol, 2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Preliminary Plat , Grading & Drainage Plan Approval, Sidewalk Design Variance, Vacation of Private Access Easement, Road Design Variance, Temporary Deferral of Construction of the Sidewalks for Hacienda De Lois Subdivision, DRB Project # 1002567, Containing \pm 0.8647 Acres, Zone Atlas Page H-13-Z

Dear Ms. Matson:

Advanced Engineering and Consulting, on behalf of Steve Kirk, is requesting a Preliminary Plat approval and a Grading and Drainage plan approval for the above referenced site. Enclosed please find 24 copies of the Preliminary Plat including 24 copies of the Grading Plan for your review. The site is located on Twelve Street, NW between Menaul Extension, NW and La Poblana, NW.

We are requesting a sidewalk design variance to construct the sidewalk on one side of the road. This was previously presented to the DRB at the sketch plat review and did not receive objection. Please find 6 copies of the exhibit for reference.

We also are requesting to vacate a ditch easement. There is an existing 10' ditch easement on the property, which is no longer needed. Attached are 6 copies of the document that created the existing easement for your review.

We are requesting a road design variance. This will be a 34' access easement in lieu of a 47' Right of Way (ROW). Please find 6 copies of the exhibit for reference.

Lastly, we are requesting a temporary deferral of the construction of the sidewalks to avoid damaging the sidewalks during the construction of the houses. The construction of the sidewalks will be completed with each house. Please find 6 copies of the exhibit for reference.

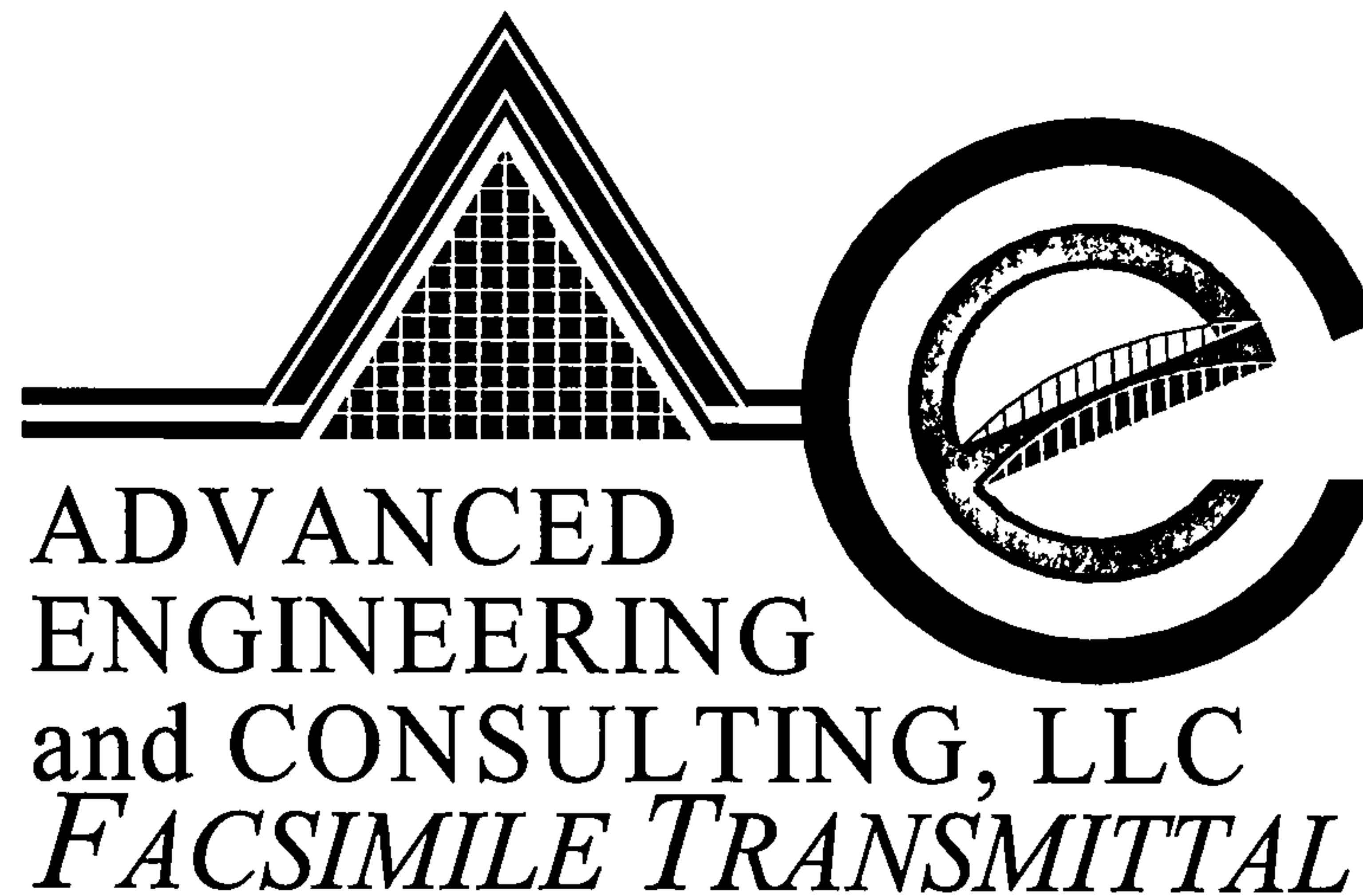
If you require additional information, please contact our office at your convenience.

Sincerely,

A handwritten signature in black ink, reading "Sally Salazar Cass". The signature is written in a cursive style with a long, sweeping tail on the final "s".

Sally Salazar Cass, Operations Manager

Enclosures
JN: 200604



To:	OFFICE OF NEIGHBORHOOD COORDINATION	FAX: 924-3913
From:	SALLY SALAZAR, OFFICE MANAGER	# OF PAGE(S) 2
Subject:	HOMEOWNER'S ASSOCIATION INFORMATION	JN: 200604
Date:	July 21, 2006	

PLEASE FORWARD INFORMATION ON ANY HOMEOWNER ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS:

Lot 5-A-1 Coleman Addition,

LEGAL DESCRIPTION

LOCATED ON: 12 St., NW

STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN Menaul Extension NW AND La Poblana, NW

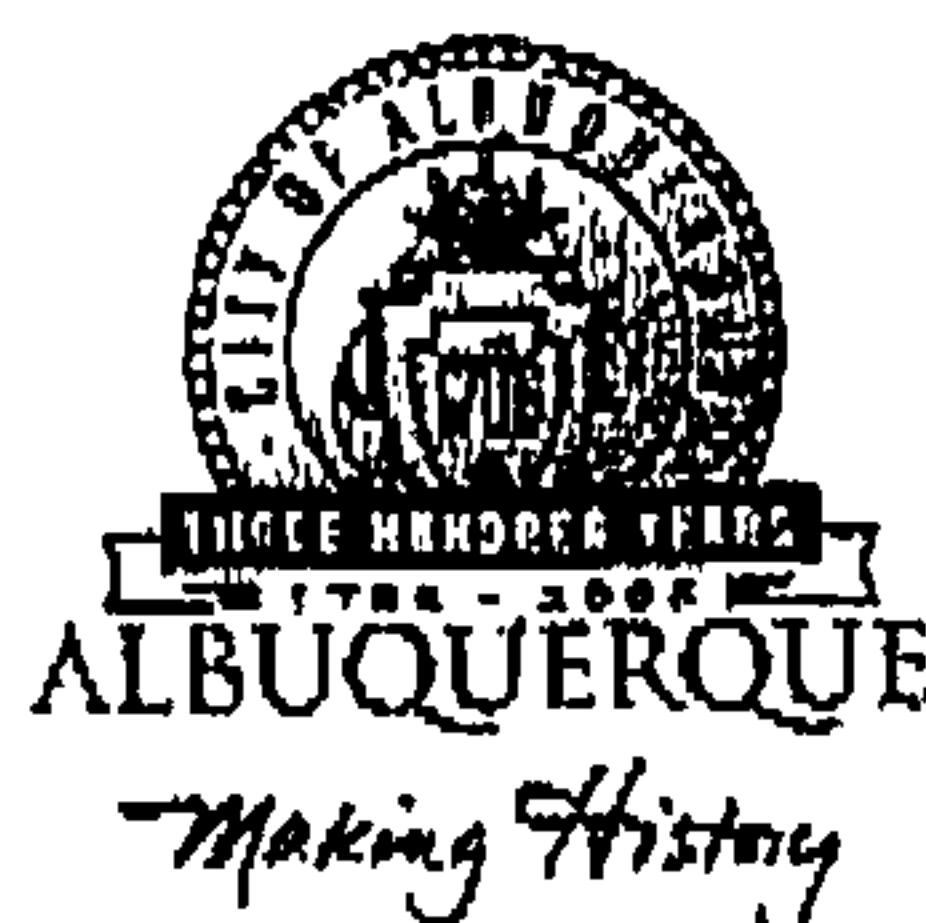
STREET NAME OR OTHER IDENTIFYING LANDMARK

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS SHEET (H-13-Z).

ZONE ATLAS #

SHOULD YOU HAVE ANY QUESTIONS REGARDING THIS TRANSMITTAL OR ANY OTHER ITEMS PERTAINING TO THIS PROJECT, PLEASE DO NOT HESITATE TO CONTACT OUR OFFICE.



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

July 21, 2006

Sally Salazar
Advanced Engineering and Consulting, LLC
4416 Anaheim Avenue NE/87113
Phone: (505) 899-5570/Fax: (505) 897-4996

Dear Sally

Thank you for your inquiry of July 21, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **LOT 5-A-1, COLEMAN ADDITION, LOCATED ON 12TH STREET NW BETWEEN MENAUL EXTENSION NW AND LA POBLANA NW Zone Map: H-13.**

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

NEAR NORTH VALLEY N.A. (NNV) "R"

***George Hutton**

1820 Indian School NW #103/87104 220-9863 (h)

Kristina Anderson

1115 Mildred Ave. NW/87107 345-1963 (h) 345-3258 (w)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

planningrnaform(10/08/05)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet **-OR-**
- [] The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.
- [] Copies of Letters to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.

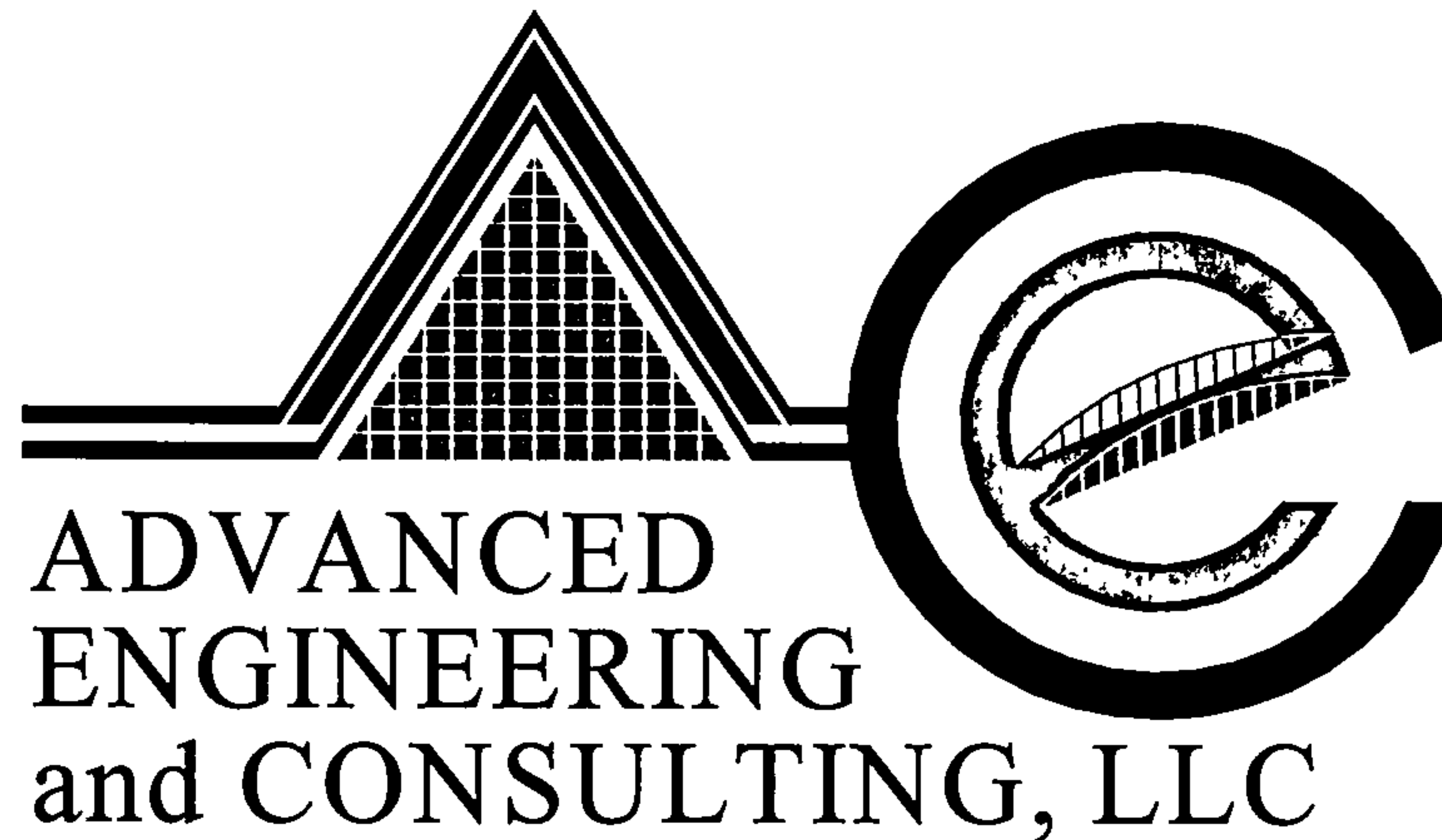
Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **07/21/06** Time Entered: **2:50 p.m.** ONC Rep. Initials: **SW**



To: George Hutton, and Kristina Anderson

From: Shawn Biazar

Subject: Tracts 5-A-1, Coleman Addition DRB Submittal

Date: July 24, 2006

Dear Sirs, and Madams:

Please find a copy of the submittals for Preliminary Plat, Sidewalk Deferral, : Design Variance and Vacation of Ditch Easement for Coleman Addition, DRB Project # 1002567. This site is located on 12th St., NW. between Menaul Extension, NW and La Poblana, NW, on the West side of the street.

If there are any questions or you would like to meet with me on this project, please do not hesitate to contact me at (505) 899-5570.



***** WELCOME TO *****
 ALAMEDA STATION
 Albuquerque, NM 87114-9998
 08/11/06 09:58AM

Store USPS Trans 20
 Wkstn sys5002 Cashier K7J8CO
 Cashier's Name Archuleta, M
 Stock Unit Id WINMPA
 PO Phone Number 1-800ASKUSPS
 USPS # 3401500114

C. Richter

1. Priority Mail 4.05
 Destination: 07960
 Weight: 6.40 oz.
 Postage Type: PVI
 Total Cost: 4.05
 Base Rate: 4.05

2. First Class 6.32
 Destination: 87104
 Weight: 7.60 oz.
 Postage Type: PVI
 Total Cost: 6.32
 Base Rate: 2.07

SERVICES
 Certified Mail 2.40
 70031010000286757476
 Rtn Recpt (Green Card) 1.85

3. First Class 6.32
 Destination: 87107
 Weight: 7.60 oz.
 Postage Type: PVI
 Total Cost: 6.32
 Base Rate: 2.07

SERVICES
 Certified Mail 2.40
 70031010000286757483
 Rtn Recpt (Green Card) 1.85

Subtotal 16.69
 Total 16.69

VISA 16.69

<23-902810167-98>

VISA ACCT. NUMBER CLERK ID
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 AUTH 097010 CREDIT TRANS # 238

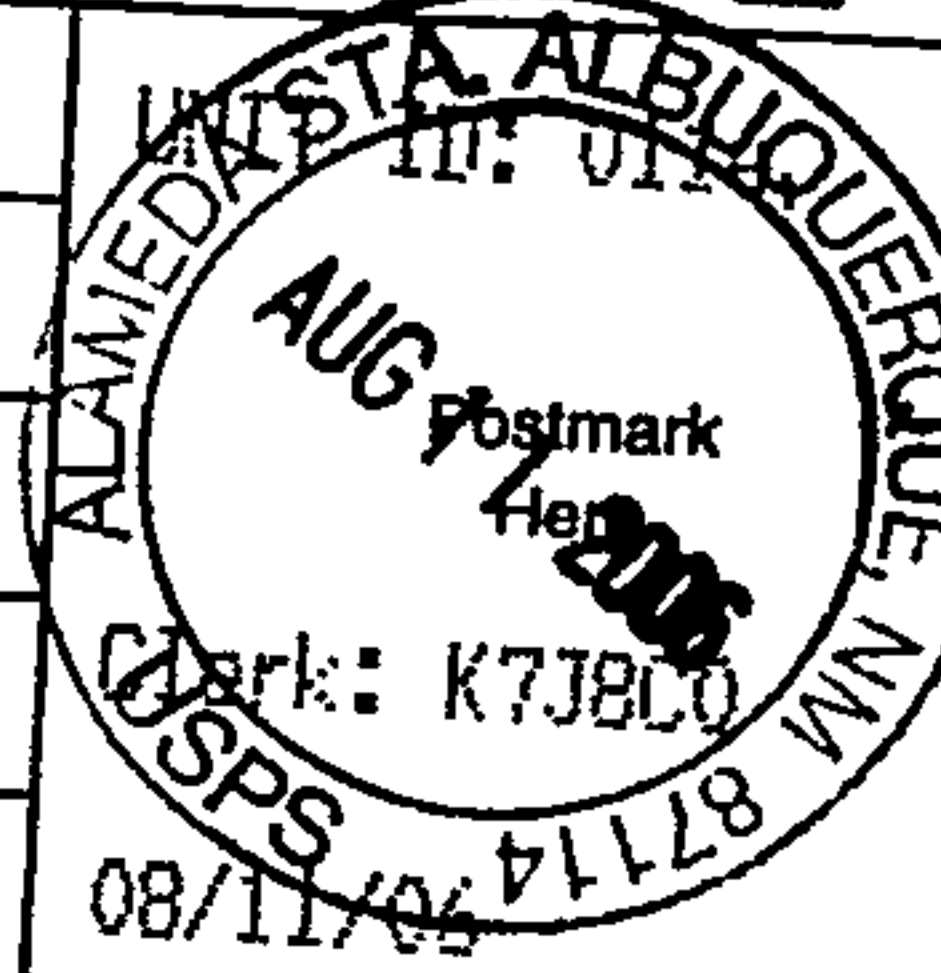
ALL SALES FINAL ON STAMPS AND POSTAGE.
 REFUNDS FOR GUARANTEED SERVICES ONLY.

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87107 **OFFICIAL USE**

Postage	\$ 2.07
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.32



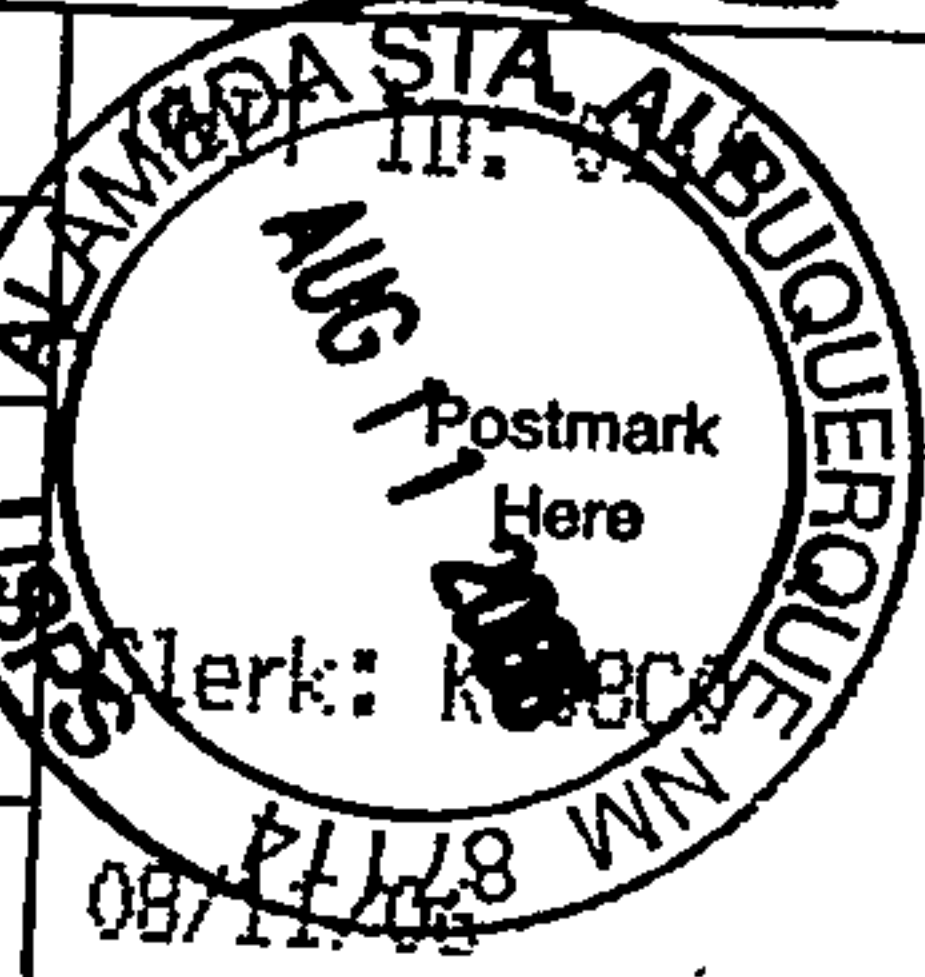
Sent To *Kristina Anderson*
 Street, Apt. No., or PO Box No. *1115 Mildred Ave. NW*
 City, State, ZIP+4 *Albuquerque NM 87107*
 PS Form 3800, June 2002 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87104 **OFFICIAL USE**

Postage	\$ 2.07
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.32



Sent To *George Hutton*
 Street, Apt. No., or PO Box No. *1820 Indian School NW*
 City, State, ZIP+4 *Albuquerque NM 87104*
 PS Form 3800, June 2002 See Reverse for Instructions

CITY OF ALBUQUERQUE
TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Steve Kirk DATE OF REQUEST: 8 / /06 ZONE ATLAS PAGE(S): H-13-Z

CURRENT: Zoning R-2 Lot or Tract # Lot 5-A-1 Block # _____
Parcel Size (AC/SQ. FT.) .8647AC Subdivision Name Coleman Addition
Proposed Name: Hacienda De Lois Subdivision

REQUESTED CITY ACTION(S):
Annexation [] Sector Plan [] Site Development Plan:
Comp. Plan [] Zoning Change [] a) Subdivision [] Building Permit []
Amendment [] Conditional Use [] b) Build'g Purposes [] Access Permit []
c) Amendment [] Other [x] Plat Action

PROPOSED DEVELOPMENT: GENERAL DESCRIPTION OF ACTION:
No construction / development [] # of units - 11 Lots
New Construction [x] Building Size - NA (sq.ft.)
Expansion of existing development []

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative _____ Date _____
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)
Planning Department, Development & Building Services Division, Transportation Development
Section-
2nd Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [x] BORDERLINE []

THRESHOLDS MET? YES [] NO [x] Mitigating reasons for not requiring TSI: Previously Studied []
Notes:

If a TIS is required: A scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Tony Spel DATE 8-10-06
TRAFFIC ENGINEER DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

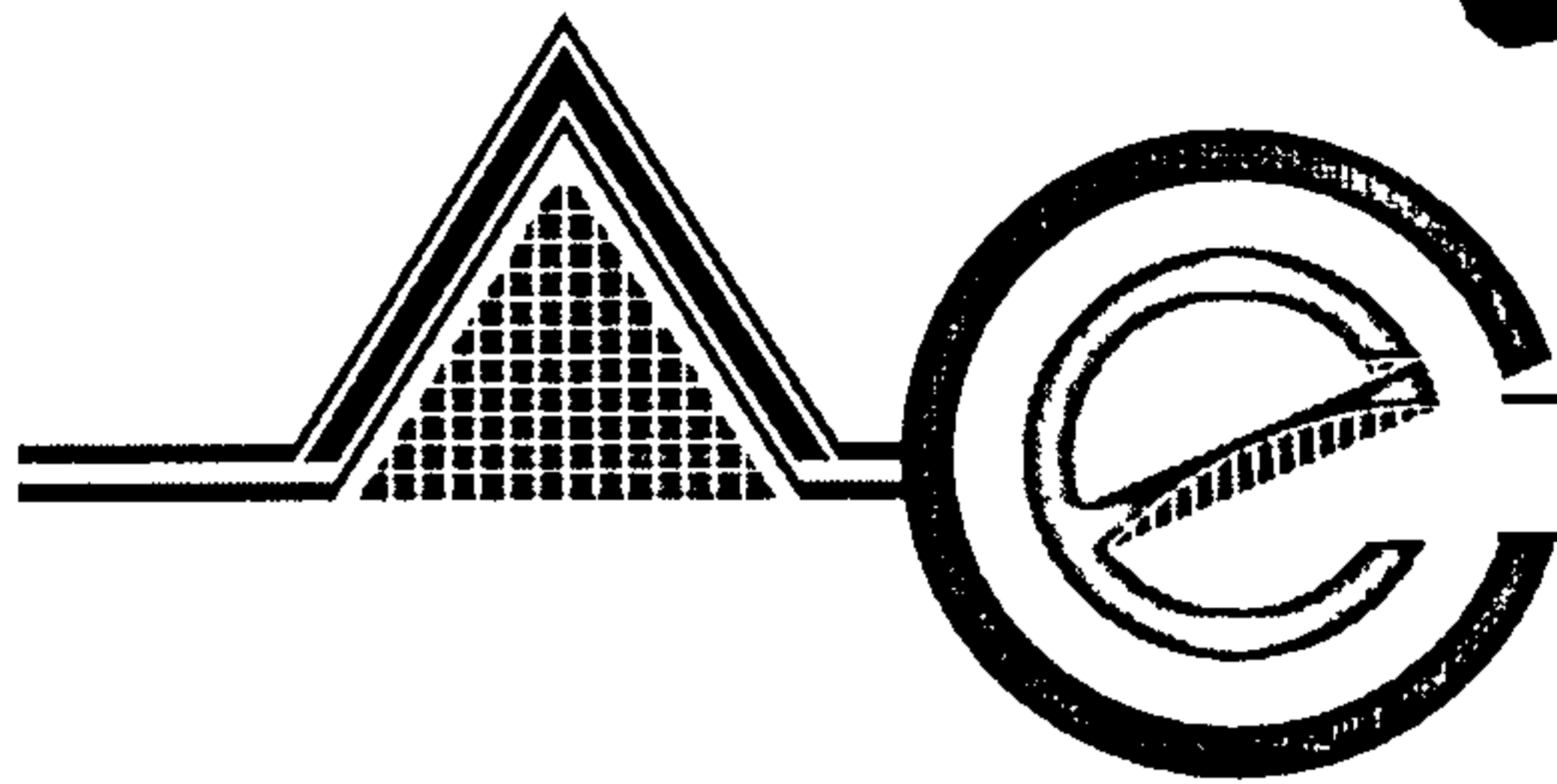
AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO [x]

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

Steve Kirk DATE 8-10-06
APPLICANT DATE

Required TSI must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TSI -SUBMITTED _____ / _____ / _____
-FINALIZED _____ / _____ / _____ TRAFFIC ENGINEER DATE



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection
Surveying*

August 11, 2006

Sheran Matson, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol, 2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Preliminary Plat , Grading & Drainage Plan Approval, Sidewalk Design Variance,
Vacation of Private Access Easement, Road Design Variance, Temporary Deferral of
Construction of the Sidewalks for Hacienda De Lois Subdivision, DRB Project
1002567, Containing \pm 0.8647 Acres, Zone Atlas Page H-13-Z

Dear Ms. Matson:

Advanced Engineering and Consulting, on behalf of Steve Kirk, is requesting a Preliminary Plat approval and a Grading and Drainage plan approval for the above referenced site. Enclosed please find 24 copies of the Preliminary Plat including 24 copies of the Grading Plan for your review. The site is located on Twelve Street, NW between Menaul Extension, NW and La Poblana, NW.

We are requesting a sidewalk design variance to construct the sidewalk on one side of the road. This was previously presented to the DRB at the sketch plat review and did not receive objection. Please find 6 copies of the exhibit for reference.

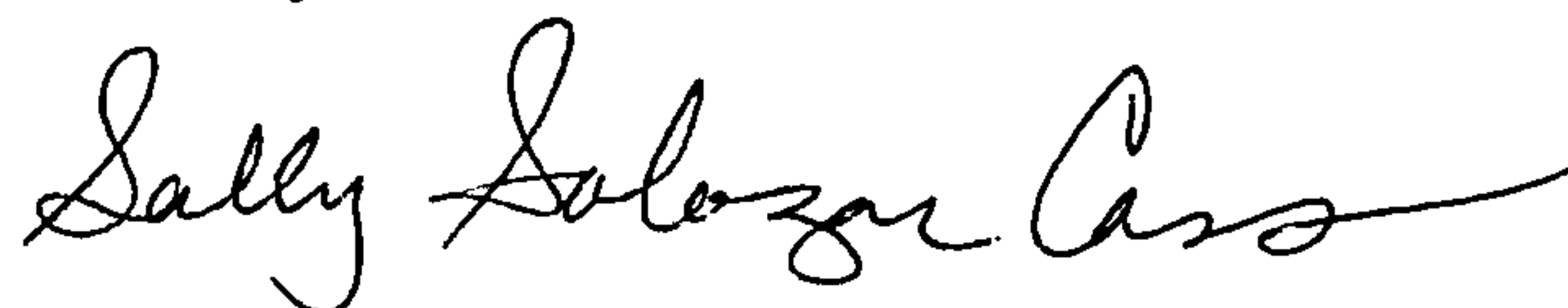
We also are requesting to vacate a ditch easement. There is an existing 10' ditch easement on the property, which is no longer needed. Attached are 6 copies of the document that created the existing easement for your review.

We are requesting a road design variance. This will be a 34' access easement in lieu of a 47' Right of Way (ROW). Please find 6 copies of the exhibit for reference.

Lastly, we are requesting a temporary deferral of the construction of the sidewalks to avoid damaging the sidewalks during the construction of the houses. The construction of the sidewalks will be completed with each house. Please find 6 copies of the exhibit for reference.

If you require additional information, please contact our office at your convenience.

Sincerely,

A handwritten signature in cursive script that reads "Sally Salazar Cass". The signature is fluid and extends to the right.

Sally Salazar Cass, Operations Manager

Enclosures
JN: 200604

August 10, 2006

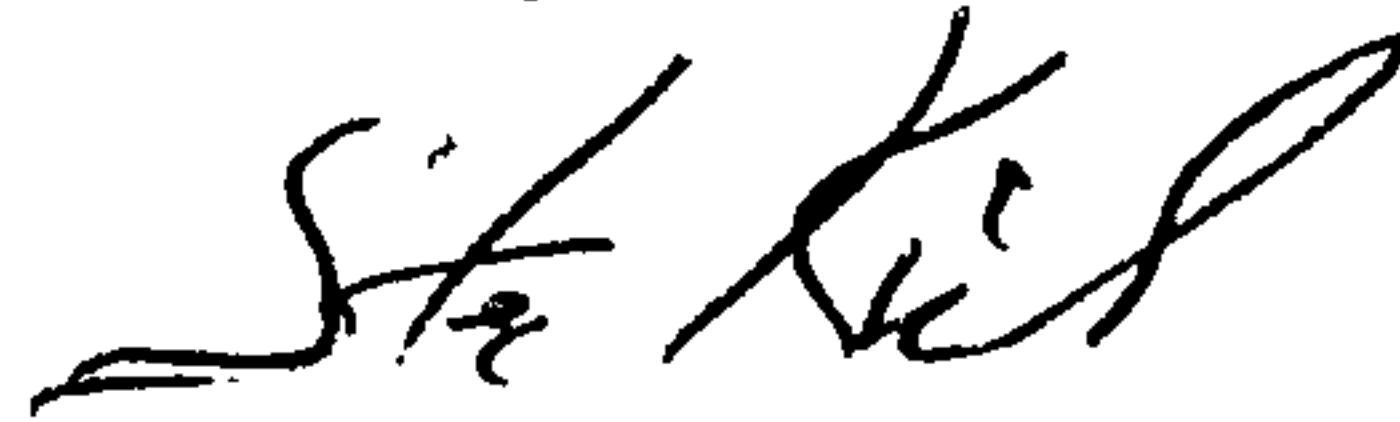
City of Albuquerque Planning Department
600 2nd Street, NW
Albuquerque, NM 87103

RE: Submittal for DRB, Preliminary/Final Plat, Sidewalk Deferral, Design Variance and Vacation of Ditch Easement for Lot 5-A-1, Coleman Addition. Mas Zone Atlas Page H-13-Z, Containing ± .8647 Acres

To Whom It May Concern:

I, Steve Kirk, Owner, for the above referenced property, have authorized Advanced Engineering and Consulting, LLC to act on my behalf regarding the preparation and submittal of all necessary materials and applications in connection with the Preliminary/Final Plat, Sidewalk Deferral, Design Variance and Vacation of Ditch Easement.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Kirk". The signature is written in a cursive style with a large, sweeping initial "S".

Steve Kirk, Owner

FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME Hacienda De Lois Subdivision

AGIS MAP # H-13-Z

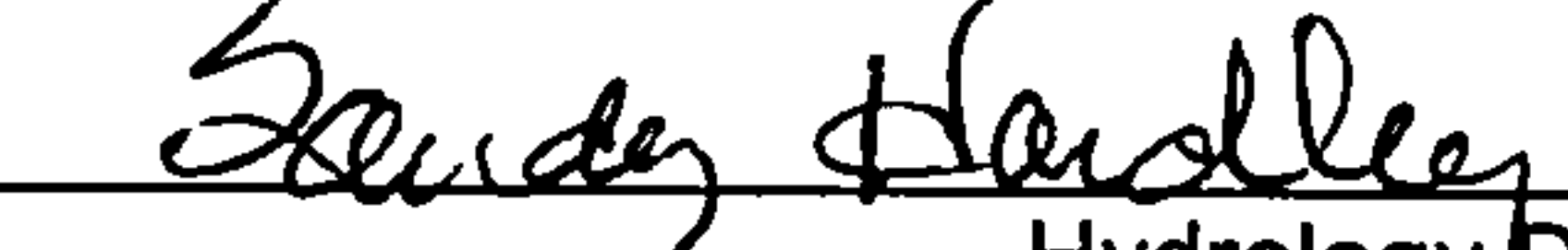
LEGAL DESCRIPTION Lot . 5-A-1, Coleman Addition.

DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on 8-10-06 [date].


Applicant / Agent

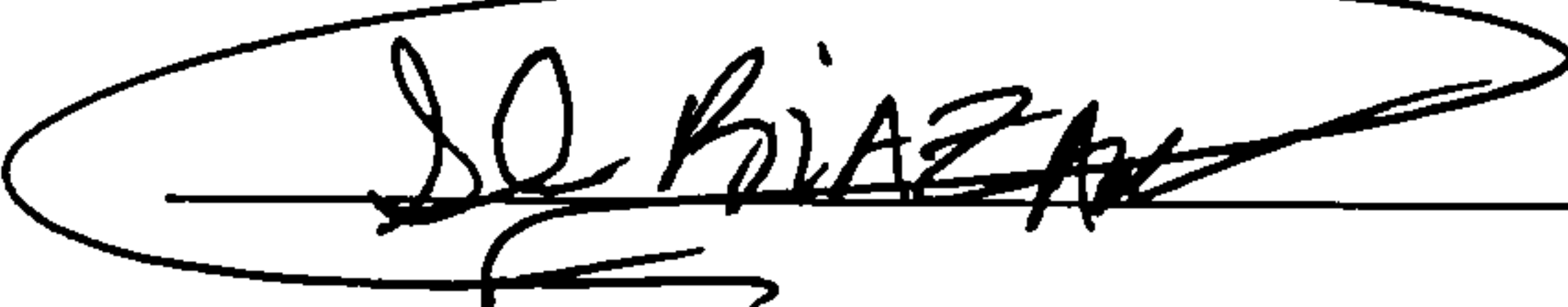
8-10-06
Date


Hydrology Division Representative

08/10/06
Date

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division 2nd floor Plaza del Sol) on 6-9-06 [date].


Applicant / Agent

8-10-06
Date


Utilities Division Representative

08/10/06
Date

DRB# _____ - _____

Thank You
\$20.00

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services
RECEIPT# 00065001 WSH# 006 TRANSH# 0025
LOC: ANNX
12:11PM
\$965.00

APPLICANT NAME STEVE KIRK

AGENT ADVANCED ENGINEERING & CONSULT & LLC

ADDRESS 4416 ANAHEIM AVE NE

PROJECT & APP # 1002567/06DRB 01158, 01159, 01161, 01162

PROJECT NAME LT 5-A-1 COLEMAN ADDITION 01163

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 870.00 441006/4983000 DRB Actions

\$ 0 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75.00 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 965.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

8/11/2006 12:11PM LOC: ANNX
RECEIPT# 00065002 WSH# 006 TRANSH# 0025
Account 441006 Fund 0110
Activity 4983000 TRSVRS
Trans Amt \$965.00
J24 Misc
Counterreceipt.doc 6/21/04

DUPLICATE
City Of Albuquerque
Treasury Division

DUPLICATE
City Of Albuquerque
Treasury Division

8/11/2006 12:11PM LOC: ANNX
RECEIPT# 00065003 WSH# 006 TRANSH# 0025
Account 441018 Fund 0110
Activity 4971000 TRSVRS
Trans Amt \$965.00
J24 Misc

965.00
\$0.00

Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from AUGUST 22, 2006 To SEPT. 06, 2006

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Sally Salazar Carr
(Applicant or Agent)

08/11/06
(Date)

I issued 2 signs for this application,

08/11/06
(Date)

Sandy Handley
(Staff Member)

DRB PROJECT NUMBER: 1002567

PLANNING TRACKING LOG

Date	Project Name & #	Action Request	Action Taken
5/31/06	Coleman Addition Proj 1002567	Sketch	Comments Given

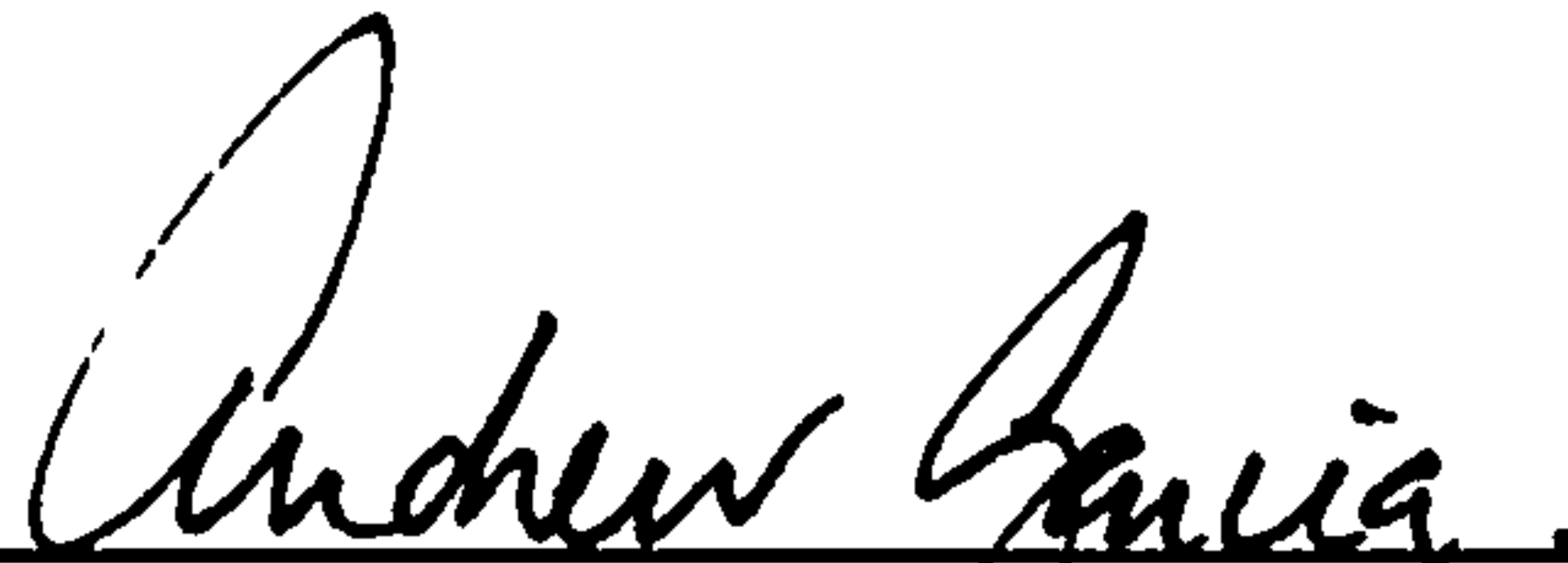
**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
May 31, 2006
DRB Comments**

ITEM # 21

PROJECT # 1002576 APPLICATION # 06-00726

RE: Lots 5-A & 5-B, Coleman Addition/sketch

There are no adverse comments to this request.



Andrew Garcia, Planning Alternate
924-3858 Fax 924-3864 agarcia@cabq.gov



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002567

AGENDA ITEM NO: 21

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.
An approved infrastructure list is required for Preliminary Plat approval.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: May 31, 2006

*discussed
no show*

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



IMPACT FEES – # 1002567

**Development Review Board 5/31/06 Agenda Item #21
Sketch Plat: Lots 5A & 5B, Coleman Addition**

Construction of a new single family residence within the proposed subdivision will require payment of Impact Fees. Based on a house size of approximately 2,000 square feet, it is estimated that impact fees will total approximately \$2,554 if a permit is obtained prior to December 29, 2006 and \$3,812 thereafter.

**JACK CLOUD
IMPACT FEE ADMINISTRATOR**

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

S Z

V

P

L A

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Steve Kirk PHONE: (505) 897-5971
 ADDRESS: PO Box 10356 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87184 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Steve Kirk
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Avenue, NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

DESCRIPTION OF REQUEST: Sketch plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 5-A and 5-B Block: _____ Unit: _____
 Subdiv. / Addn. Coleman Addition
 Current Zoning: R-2 Proposed zoning: The Same
 Zone Atlas page(s): H-13-Z No. of existing lots: 2 No. of proposed lots: 1
 Total area of site (acres): .8647 Acres Density if applicable: dwellings per gross acre: n/a dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits. Within 1000FT of a landfill? No
 UPC No. 101305949642811007, 101305948043111033 MRGCD Map No. _____
 PROPERTY BY STREETS: On or Near: 12 St. NW
 Between: Menaul Extension NW and La Poblana. N W

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 5-22-06
 (Print) Shawn Baizar, Managing Member _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB - -00726</u>	<u>sk</u>	<u>P(3)</u>	<u>\$ 0</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>May 31, 2006</u>			Total <u>\$ 0</u>

[Signature] 3/23/06
 Planner signature / date

Project # 1002567

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

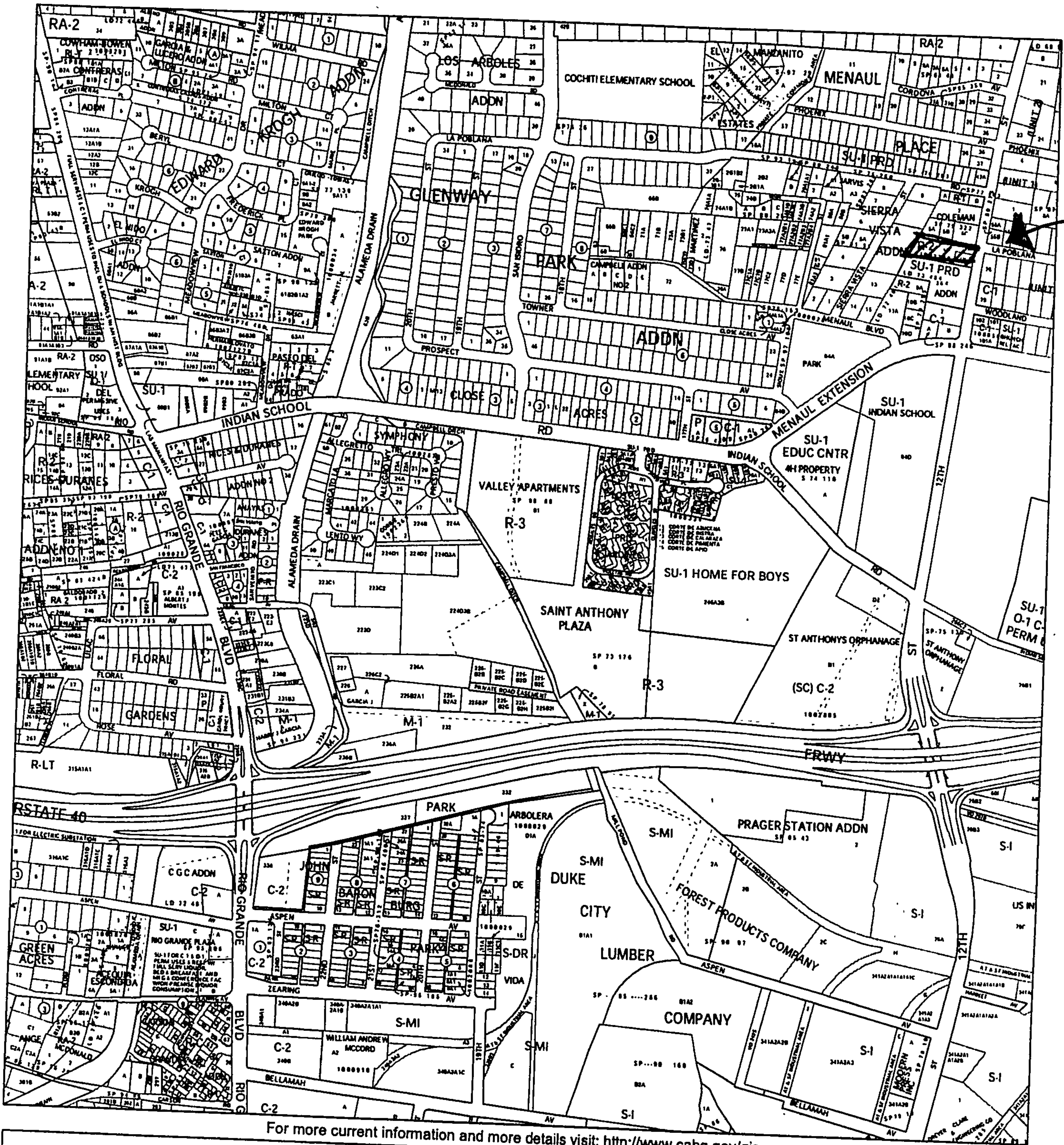
Shawn BIAZAR
Applicant name (print)
[Signature]
Applicant signature / date
5-22-06



Form revised JUNE 2005

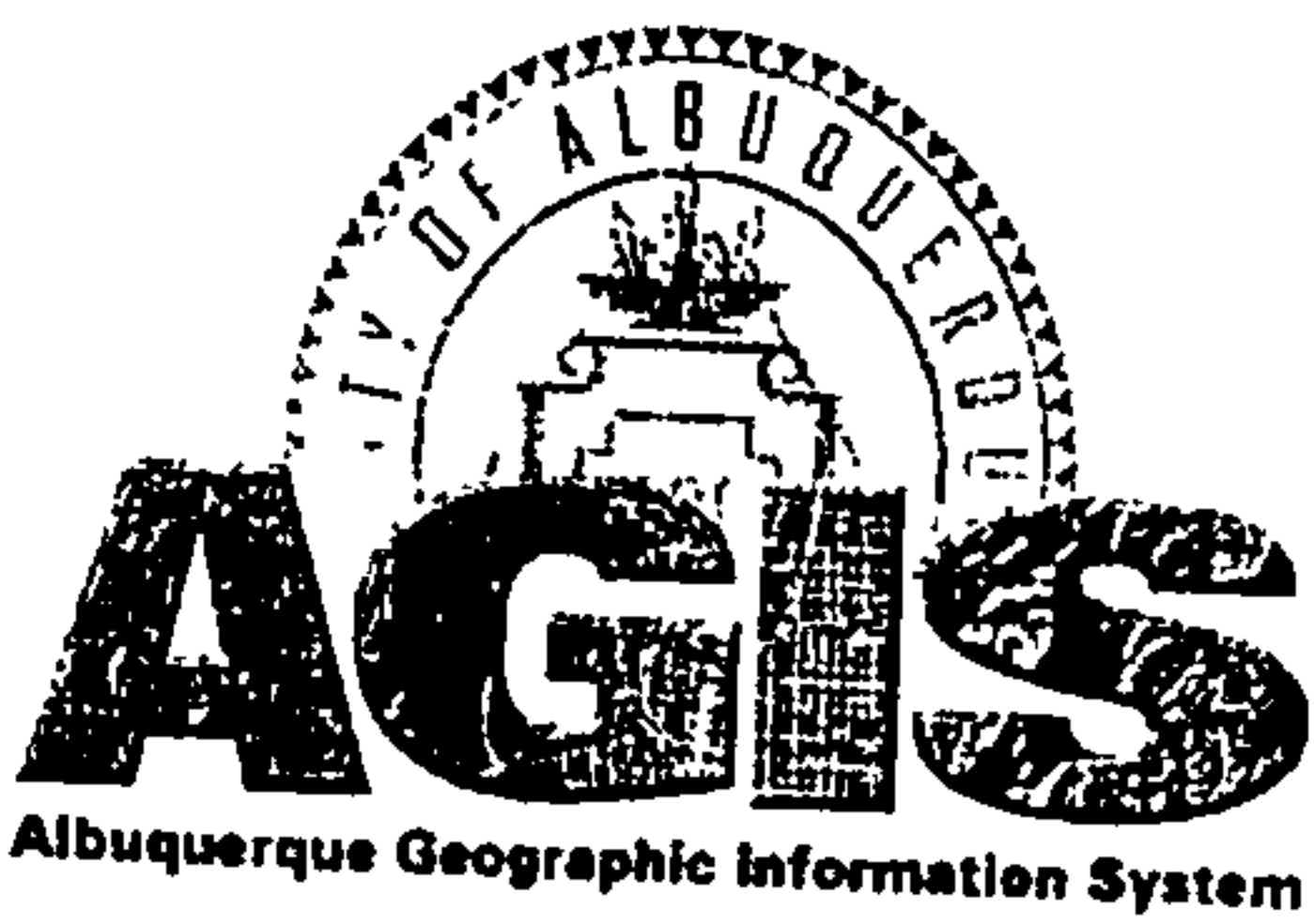
- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 DRB - _____ - 00726
 _____ - _____ - _____
 _____ - _____ - _____

Andrew Gucci 3/23/06
Planner signature / date
Project # 1002567

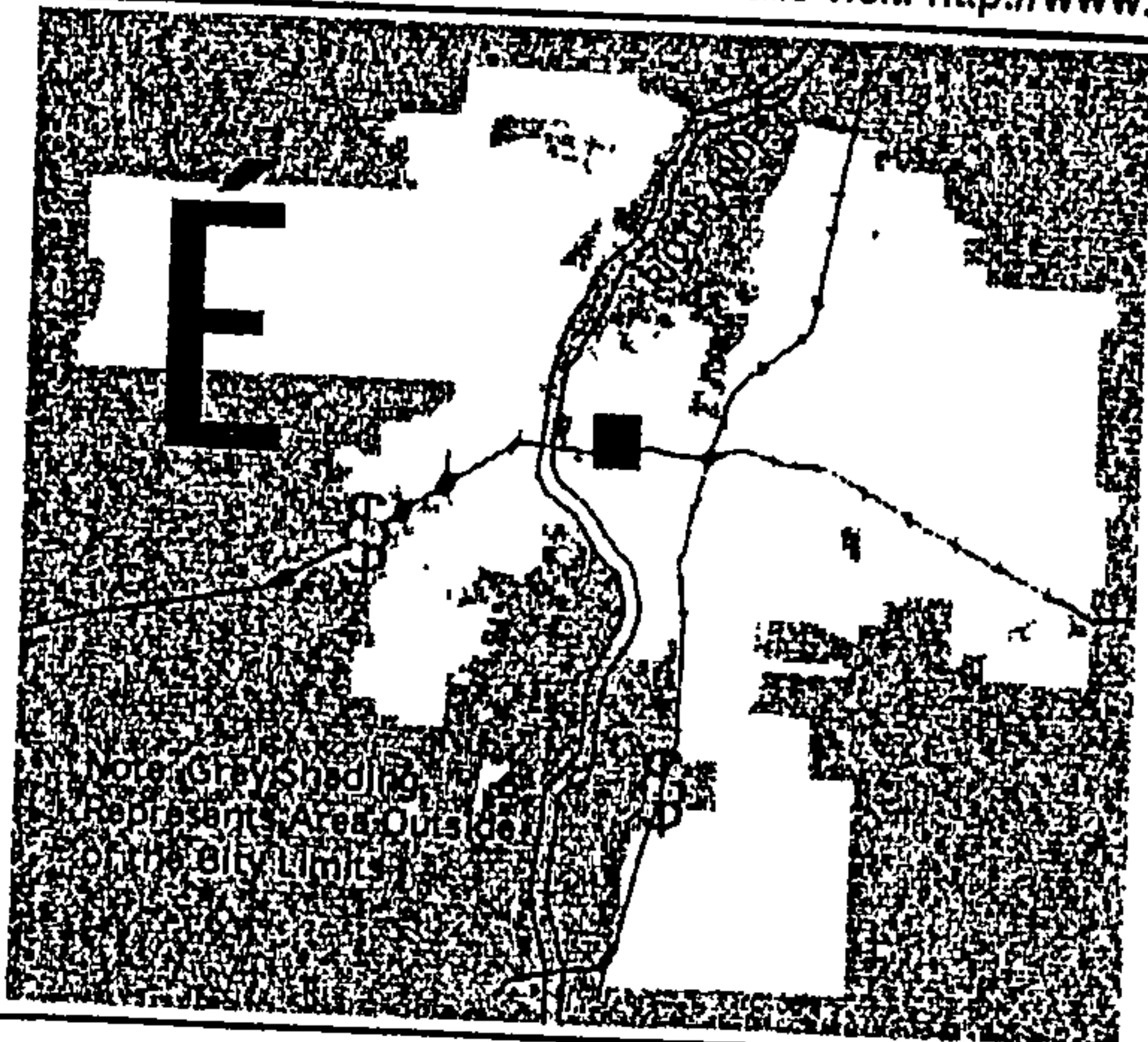


SITE

For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: Apr 22, 2005



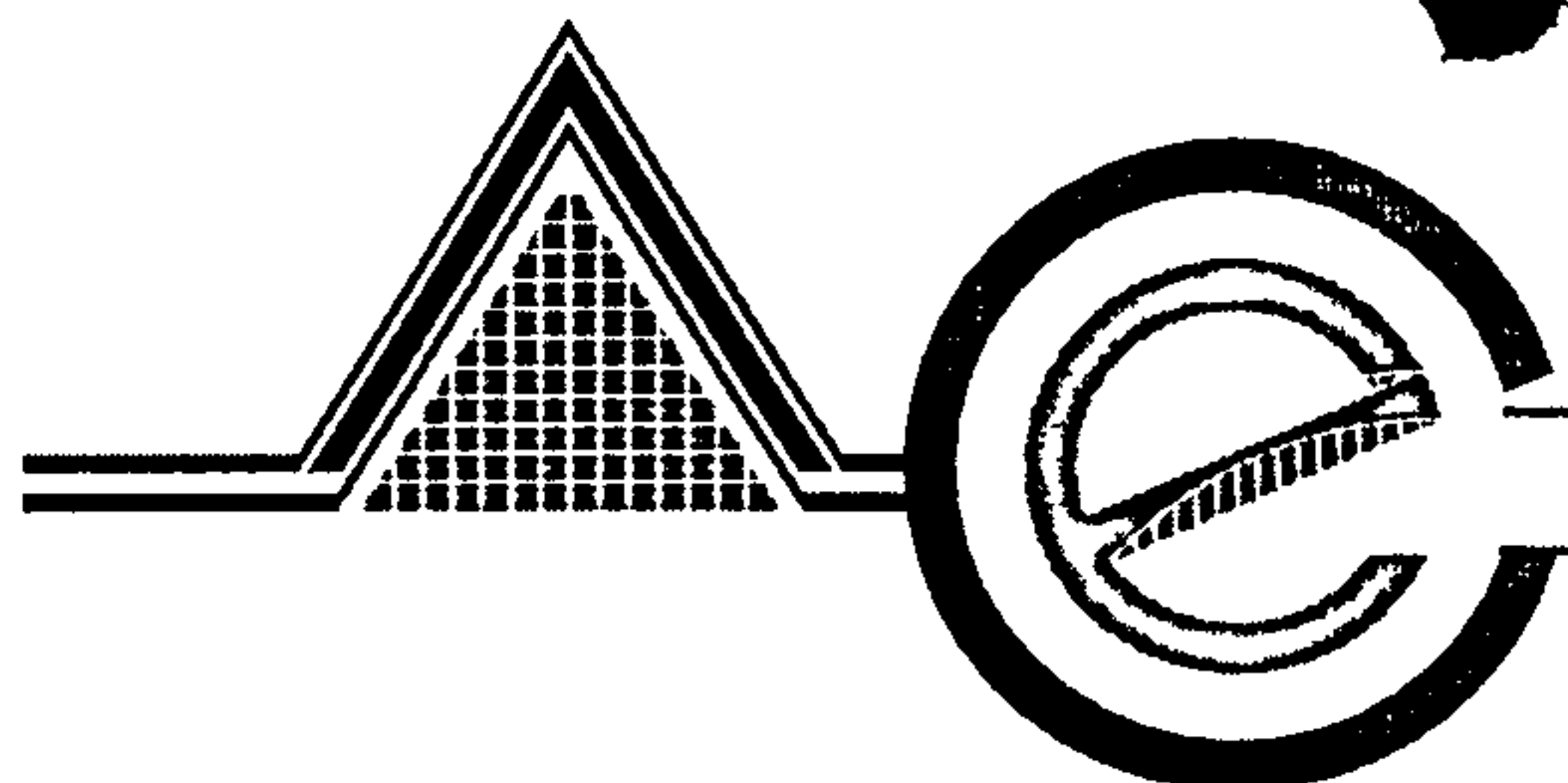
Zone Atlas Page:

H-13-Z

Selected Symbols

- Outside City Limits
- Sector Plans
- Design Overlay Zones
- City Historic Zone
- KKKH-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





ADVANCED ENGINEERING and CONSULTING, LLC

May 23, 2006

*Consulting
Design
Development
Management
Inspection
Surveying*

Sheran Matson, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol, 2nd floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Sketch Plat and Comments Request for Tracts 5-A and 5-B, Coleman Addition,
Zone Atlas Page H-13-Z, Containing 0.8647 Acre

Dear Ms. Matson:

Advanced Engineering and Consulting, on behalf of Steve Kirk, is requesting a sketch plat and comments for the above referenced site. Enclosed please find six copies of the sketch plat for your review. The site is located on Twelve Street, NW between Menaul Extension, NW and La Poblana, NW. Presently, we are proposing to replat the property into eleven townhomes.

If you require additional information, please contact our office at your convenience.

Sincerely,

Sally Salazar Cass, Operations Manager

Enclosures
JN: 200604

SIERRA VISTA ADDITION
FILED: OCTOBER 04, 1938
BK. C, PG. 648

LOT 12

LOT 11

LOT 10

(N28°42'00"E)
N29°30'26"E

(117.38')
117.38'

10' DITCH EASEMENT (D-77)

FND. 3/4"
IRON PIN

LOT 6-A

(S81°45'00"E)
S81°24'42"E

COLEMAN ADDITION, FILED: MAY 03, 1979, VOL. B16, FOLIO 99

LOT 6-B

(326.56')
323.35'

LOT 6-C

LOT 6-D

N81°21'42"W
(N81°45'00"W)

COLEMAN ADDITION, FILED: NOVEMBER 20, 1973, VOL. A5, FOLIO 11, LD NO. 73-484

362.67'
(365.33')

LOT 5-A

CAR-PORT

RESIDENCE

LOT 5-B

S09°56'20"W 109.99'

#5 RBR.
ILL. CAP
HELD FOR LINE

12TH STREET N.W.
60' PUBLICLY DEDICATED RIGHT-OF-WAY

#14



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

Comp 10/20/05 *AS*

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01575 (P&F)	Project # 1002567
Project Name: COLEMAN ADDITION	
Agent: Surveys Southwest	Phone No.: 998-0303

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/19/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): *AS* _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1002567

#14



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>05DRB-01575 (P&F)</u>	Project # <u>1002567</u>
Project Name: <u>COLEMAN ADDITION</u>	
Agent: <u>Surveys Southwest</u>	Phone No.: <u>998-0303</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/19/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): ASB
- _____
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1002567

OK



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 19, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:36 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1003238**
05DRB-01489 Major-Preliminary Plat
Approval

TIERRA WEST LLC agent(s) for EVERGREEN DURANES LTD CO LLC, request(s) the above action(s) for , Lot(s) 42-P1 and 44-P1 through 57-P1, **FLORAL MEADOWS**, zoned R-LT residential zone, located on MONTROYA ST NW, between FLORAL NW and INTERSTATE 40, containing approximately 2 acre(s). [REF: Z-71-118, 04EPC-00156,04EPC-00157, 04DRB-00661, 04DRB-01227] (H-12/13) **PRELIMINARY PLAT WAS APPROVED.**

2. **Project # 1000788**
05DRB-01491 Major-Vacation of Pub
Right-of-Way

RICHARD EVANS & KELLY CONABOY, request(s) the above action(s) for all or a portion of Block(s) P & R, **PARADISE SKIES, UNIT 9**, zoned R-T, located on SKY WATCHER ST NW, between CELESTIAL AVE NW and MCMAHON BLVD NW. [REF: 05DRB-00508] (A-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH AN ADDITIONAL CONDITION.**

3. **Project # 1004454**
05DRB-01499 Major-Vacation of Pub
Right-of-Way

PRECISION SURVEYS agent(s) for TIMOTHY & LORIE DROPPS request(s) the above action(s) for all or a portion of Lot(s) 7, Block(s) B **SOUTH BROADWAY ACRES, UNIT 1**, zoned SU-2 MR, located on JOHN ST SE, between BETHEL SE AND WOODWARD ST SE and containing approximately 1 acre(s). (M-14) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

4. **Project # 1004478**
05DRB-01581 Minor-SiteDev Plan
BldPermit

SANDERS & ASSOCIATES ARCHITECTS agent(s) for JON MITOVICH request(s) the above action(s) for all or a portion of Tract(s) 59, **ALAMEDA BUSINESS PARK**, zoned SU-2, IP-EP, located on CALLE ALAMEDA NE, between PASSEO ALAMEDA NE and VISTA ALAMEDA NE containing approximately 1 acre(s). [REF: DRB-98-223] (C-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

5. **Project # 1001831**
05DRB-01588 Minor-SiteDev Plan
BldPermit

CLAUDIO VIGIL ARCHITECTS agent(s) for WRANGLER PROPERTIES request(s) the above action(s) for all or a portion of Block(s) 000, Tract(s) G-1A-2C, **SEVEN BAR RANCH**, zoned SU-1 FOR C-2 USES, located on COTTONWOOD PARK NW, between ELLISON DR NW and SEVEN BAR LOOP NW containing approximately 2 acre(s). [REF: 02DRB-00879] (A-14) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RADII, SMALL CAR STALLS AND CROSS ACCESS AND TO PLANNING FOR REPLACEMENT OF TAM JUNIPER WITH ALTERNATE GROUND COVER & 3 COPIES OF THE SITE PLAN.**

6. **Project # 1004364**
05DRB-01585 Minor-SiteDev Plan
Subd/EPC
05DRB-01586 Minor-SiteDev Plan
BldPermit/EPC
05DRB-01587 Minor-Prelim&Final Plat
Approval

BRASHER & LORENZ INC agent(s) for VALUE PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) E-1 & E-2, CANYON ACRES SUBDIVISION, (to be known as **VALUE PLACE HOTEL**) zoned C-2 (SC), located on CENTRAL NE, between DORADO NE and TRAMWAY NE containing approximately 4 acre(s). [REF: 05EPC-01252, 05EPC-01253] [**David Stallworth, EPC Case Planner**] (L-22) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DAVID STALLWORTH'S INITIALS. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/19/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR DAVID STALLWORTH'S INITIALS AND 3 COPIES OF THE SITE PLAN. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND A COPY OF THE RECORDED PLAT.**

7. **Project # 1004097**
05DRB-01590 Minor-SiteDev Plan
Subd/EPC

MYERS, OLIVER & PRICE PC agent(s) for FOREST CITY COVINGTON NM, LLC and THE REGENTS OF UNM request(s) the above action(s) for Section(s) 15, 16, 21 and 22, **MESA DEL SOL**, zoned SU-1 FOR IP, located on UNIVERSITY BLVD SE, between LA SEMILLA WAY SE and LOS PICAROS RD SE containing approximately 208 acre(s). [REF: 05EPC-00576, 05EPC-00579] **[Russell Brito, EPC Case Planner]** (R-16/Q-16) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR EPC STAFF COMMENTS, FOR A PLAT TO COME BEFORE DRB AND 3 COPIES OF THE SITE PLAN.**

8. **Project # 1001685**
05DRB01349 Minor-SiteDev Plan
Subd/EPC
05DRB01350 Minor-SiteDev Plan
BldPermit/EPC

GREAT BASIN ENGINEERING agent(s) for SMITH'S FOOD & DRUG CENTERS request(s) the above action(s) for all or a portion of Tract(s) 1B, PARADISE NORTH (to be known as **GOLF COURSE MARKET PLACE**) zoned SU-1 for IP, located on GOLF COURSE RD NW and MCMAHON RD NW containing approximately 23.4 acre(s). [REF: Z-85-19, 04EPC-01348, 04EPC-01349, 04EPC-01590] **[Carmen Marrone, EPC Case Planner]** *[Was Indef deferred 8/31/05 for platting action]* (A-12) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/19/95 THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

05DRB-01582 Minor-Prelim&Final Plat
Approval

WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE, ANNETTE MONTOYA and GOLF COURSE & MCMAHON LLC request(s) the above action(s) for all or a portion of Tract(s) 1B, PARADISE NORTH (to be known as **GOLF COURSE MARKETPLACE**) zoned SU-1 FOR IP, located on GOLF COURSE RD NW, between MCMAHON BLVD NW and IRVING BLVD NW containing approximately 23.4acre(s).[REF:04DRB-01566,04DRB-01741](A-12) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CROSS LOT DRAINAGE EASEMENT 1B-2 THRU 1B-5, AMAFCA'S SIGNATURE, STORM**

**DRAIN EASEMENT (1B-1) AND RECORDING
INFORMATION FOR CROSS ACCESS AGREEMENT
AND TO PLANNING TO RECORD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1003828**
05DRB-01583 Minor-Final Plat Approval
- JEFF MORTENSEN & ASSOCIATES INC agent(s) for WILLIAM T CANIGLIA request(s) the above action(s) for Tract(s) 70A, 71A,113 & 114A (to be known as **CANDELARIA VILLAGE**) zoned R-1 residential zone, located on CANDELARIA RD NW, between 12TH ST NW and RIO GRANDE BLVD NW containing approximately 7 acre(s). [REF: 05DRB-00687, 00688, 00689, 00690] (G-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF AND TO RECORD.**
10. **Project # 1004162**
05DRB-01584 Minor-Final Plat Approval
- JEFF MORTENSEN & ASSOCIATES agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Tract(s) L-2, VISTA DEL NORTE and Lot(s) 1-P1 THRU Lot 31-P1, (to be known as **AGAVE SUBDIVISION**) zoned SU-1 special use zone PRD, located on VISTA DEL NORTE DR NE, between OSUNA RD NE and CALLE DEL CAMPO NE containing approximately 6 acre(s). [REF: 05EPC-00742, 05DRB-01139, 05DRB-01140, 05DRB-01193, 05DRB-01195, 05DRB-01197, 05DRB-01198, 05DRB-01275] (E-16) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF AND TO RECORD.**

11. **Project # 1003610**
05DRB-01570 Minor-Extension of
Preliminary Plat

WILSON & COMPANY, INC agent(s) for CURB, INC. request(s) the above action(s) for all or a portion of Tract(s) 29A, LANDS OF SALAZAR, QUATRO, JS HANNETT (to be known as **ARROWWOOD HILLS, UNIT 1**) zoned R-LT, located on 98TH ST SW, between RIO BRAVO SW and BLAKE SW containing approximately 29 acre(s). [REF: 02DRB-01621, 02DRB-01622, 04DRB-00261, 04DRB-00262, 04DRB-00263] (N-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

12. **Project # 1000469**
05DRB-01556 Minor-Prelim&Final Plat
Approval

ABQ ENGINEERING INC agent(s) for UNSER WEST TENANCY request(s) the above action(s) for all or a portion of Tract(s) L-1-C, **ATRISCO BUSINESS PARK**, zoned IP, located on UNSER BLVD NW, between BLUEWATER RD NW and LOS VOLCANES NW containing approximately 2 acre(s). [REF: 02DRB-01443, 01DRB-01787, 01DRB-01786, 01DRB-01325, 01DRB-00338, 01DRB-00336, 00DRB-01399, 00DRB-00532, 00DRB-01480] (K-10) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

13. **Project # 1002819**
05DRB-01506 Minor-Prelim&Final Plat
Approval

TIM ALDRICH agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) E-6-A, **ALBUQUERQUE SOUTH UNIT 3**, zoned SU-1, R-2, R-T, located on 98TH STREET SW, between GIBSON BLVD SW and BLAKE RD SW containing approximately 31 acre(s). [REF: 03DRB-01183, 03DRB-01180] [*Deferred from 10/5/05 & 10/12/05 & 10/19/05*] (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/26/05.**

14. **Project # 1002567**
05DRB-01575 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST agent(s) for STEVE KIRK request(s) the above action(s) for all or a portion of Lot(s) 5-A & 5-B, **COLEMAN ADDITION**, zoned R-2, located on 12TH ST NW, between the MENAUL EXTENSION and LA POBLANA NW containing approximately 1 acre(s). [REF: 1002279, 02DRB-01535, DRB-98-264] (H-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project # 1003759**
05DRB-00294 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for KEN BALIZER request(s) the above action(s) for all or a portion of Tract(s) 173A and 174, M.R.G.C.D. MAP 31, (to be known as **LANDS OF KEN BALIZER**, zoned RA-2, located on ARCADIAN TR NW, between CALLE LOS VECINOS NW and SAN ISIDRO ST NW containing approximately 1 acre(s). [REF: 04DRB-01702] [*Was Indef Deferred on 2/23/05*] (G-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/19/05 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA AND THE LICENSE AGREEMENT.**

16. **Project # 1004468**
05DRB-01553 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST agent(s) for SEAN GILLIGAN request(s) the above action(s) for all or a portion of Lot(s) 77 & 78, Block(s) 7, **TOGETHER WITH EAST 0.5 OF Lot(s) 76, PERFECTO ARMIJO & BROTHERS ADDITION**, zoned SU-2, located on ROMA AVE NW, between 8TH ST NW and MARQUETTE AVE NW containing approximately 1 acre(s). [REF: ZA-92-175, Z-1601] [*Deferred from 10/12/05*] (J-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/19/05 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

17. **Project # 1002321**
05DRB-01549 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11A & 11B, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP industrial park zone, located on RUTLEDGE RD NE, between MASTHEAD ST NE and WASHINGTON ST NE containing approximately 11 acre(s). [*Deferred from 10/12/05*] (D-17) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR A PRIVATE SANITARY SEWER SERVICE EASEMENT.**

18. **Project # 1002584**
05DRB-01554 Minor-Prelim&Final Plat
Approval

WILSON & CO agent(s) for LOVELACE SANDIA DBA WEST MESA MEDICAL CENTER request(s) the above action(s) for all or a portion of Tract(s) 1A1 & 1A3 PARADISE HEIGHTS, UNIT 1, **ST JOSEPH WEST MESA HOSPITAL**, zoned SU-1 special use zone, located on GOLF COURSE RD NW between GOLF COURSE RD NW AND MCMAHON BLVD NW containing approximately 6 acre(s). [REF: 05DRB-00168] [*Deferred from 10/12/05*] (A-12) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

19. **Project # 1004479**
05DRB-01591 Minor-Prelim&Final Plat
Approval

LAND DEVELOPMENT CONSULTANTS, LLC agent(s) for REGINA AVILA & MARY LUCERO request(s) the above action(s) for Tract(s) 133B1A1A & 133A2A1A, **M.R.G.C.D. MAP #39**, zoned R-1, located on 47TH ST NW, between BLUEWATER NW and RINCON RD NW containing approximately 1 acre(s). (J-12) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CONSTRUCTION OF A SIDEWALK AND A GAS LINE EASEMENT.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

20. **Project # 1004480**
05DRB-01592 Minor-Sketch Plat or Plan
- PHIL MIRABAL request(s) the above action(s) for all or a portion of Lot(s) 125A,126A-1, **M.R.G.C.D. MAP #39**, zoned R-1 residential zone, located on 47TH ST NW, between RINCON RD NW and GLENDALE PL NW containing approximately 2 acre(s). (K-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
21. **Project # 1004475**
05DRB-01576 Minor-Sketch Plat or Plan
- SHIRLEY SALVI request(s) the above action(s) for all or a portion of Lot(s) 8, **INDIAN FARMS ESTATES**, zoned RA-2 residential and agricultural zone, located on INDIAN FARMS LN NW, between CANDELARIA RD NW and GRIEGOS DRAIN containing approximately 1 acre(s). (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
22. Approval of the Development Review Board Minutes for October 5, 2005. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR OCTOBER 5, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:36 A.M.

City Of Albuquerque
PLANNING DEPARTMENT
October 19, 2005
DRB Comments

Item # 14

Project # 1002567

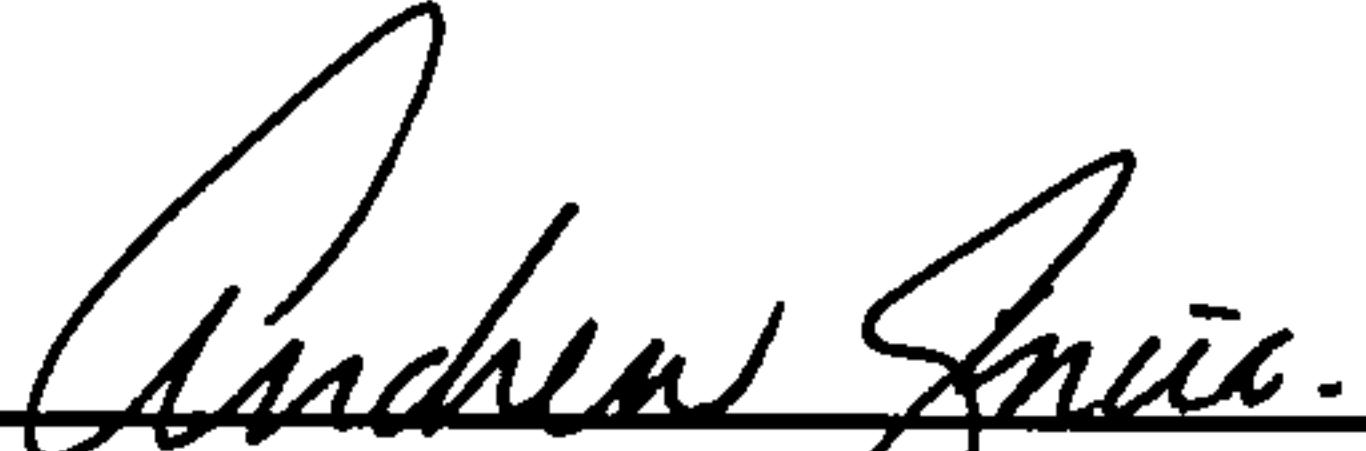
Application # 01575

RE: Lot 5A & 5B, Coleman Addition/pp & fp

There is no objection to this request.

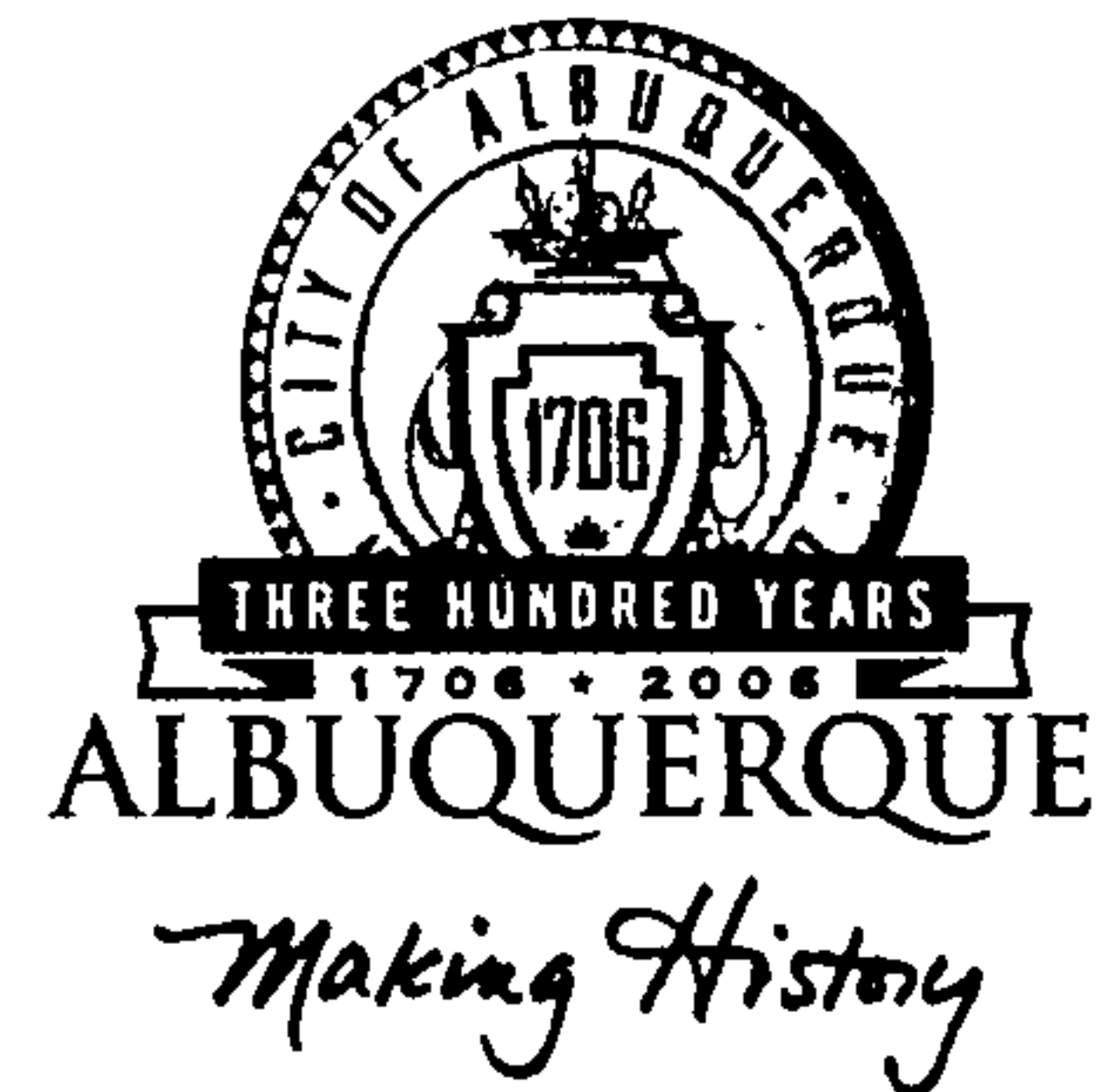
AGIA dxf approval dated 10/10/05 is on file.

Applicant may file the plat provided that Planning receives a recorded copy to close the file.



Andrew Garcia, DRB Planning Alternate
924-3858 Fax 924-3864 agarcia@cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002567

AGENDA ITEM NO: 14

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 19, 2005

2567

DXF Electronic Approval Form

DRB Project Case #:

Subdivision Name:

Surveyor:

Contact Person:

Contact Information:

DXF Received:

Hard Copy Received:

Coordinate System:


Approved

10-10-2005
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **2567** to agiscov on **10/10/2005** Contact person notified on **10/10/2005**



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 9, 2003 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946 (VOICE) OR TELETYPewriter (TTY) 924-3361 - TTY USERS MAY ALSO ACCESS THE VOICE NUMBER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE BOARD SECRETARY MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. Announcements

Adjourned: 12:15 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001122**
03DRB-00389 Major-Two Year SIA

03DRB-00526 Minor-Ext of SIA for Temp Defer
SDWK

BOHANNAN HUSTON, INC. agent(s) for CENTEX HOMES request(s) the above action(s) (Modified Procedure B Non-Work Order) for all Lot(s), **STONEBRIDGE SUBDIVISION, UNIT 1**, zoned R-1 residential zone, & SU-1 for R-2 USES, located North and East of McMahon Blvd NW between Tuscan Dr NW and Stonebridge Dr NW containing approximately 28 acre(s). [REF: 01DRB-01298, 02DRB-00896, DRB-98-124, Z-98-18] (A-12) **A 9-MONTH EXTENSION OF THE SIA WAS APPROVED. A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

2. **Project # 1000984**
03DRB-00378 Major-Vacation of Pub Right-of-Way
03DRB-00380 Major-Vacation of Pub Right-of-Way
03DRB-00381 Major-Vacation of Public Easements
03DRB-00382 Major-Bulk Land Variance
03DRB-00383 Minor-Prelim&Final Plat Approval

BOKAY CONSTRUCTION MANAGEMENT agent(s) for CURB INC. - R. J. SCHAEFER REALTY & INVESTMENTS INC., request(s) the above action(s) for all or a portion of Tract(s) A & B, Lot(s) B-34, B-35, B-36, B-37, B-38, B1B, Town of Atrisco Grant Unit 5 – (to be known as **AVALON SUBDIVISION, UNIT 4**, Tracts A, B & C, **NINETY EIGHTH STREET LAND IMPROVEMENT**, zoned IP, located on 94th ST NW, between I-40 NW and BLUEWATER RD NW containing approximately 57 acre(s). (K-9) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING FOR THE DXF FILE AND THE 15-DAY APPEAL PERIOD.**

3. **Project # 1002322**
03DRB-00420 – Major-Preliminary Plat Approval

MULE BARN ENTERPRISES, agent(s) for ACME REAL ESTATE FUND, LLC request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 23, **ORIGINAL TOWNSITE OF WESTLAND**, zoned SU-2 special neighborhood zone, IP, located on Sunset Gardens SW between 90th St SW and 94th St SW containing approximately 8 acre(s). [REF: 02DRB-01666 SK] [Deferred from 4/9/03] (L-9) **DEFERRED AT THE AGENT'S REQUEST TO 5/7/03.**

4. **Project # 1002377**
03DRB-00415 Major-Preliminary Plat Approval
03DRB-00416 Major-Vacation of Public Easements
03DRB-00417 Minor-Sidewalk Waiver

ISAACSON & ARFMAN, PA agent(s) for SANGRE DE CRISTO LLC request(s) the above action(s) for all or a portion of Tract(s) B, **LAS CASITAS DEL RIO PHASE II**, Albuquerque Christian Children's Home, zoned SU-1 PDA, located on WINTER HAVEN RD NW, NORTH OF MONTANO RD NW and SOUTH OF MONTANO PLAZA DR. NW, containing approximately 7 acre(s). [REF: 02DRB 01860, 03DRB 00126] [Deferred from 4/9/03] (E-12) **DEFERRED AT THE AGENT'S REQUEST TO 4/16/03.**

5. **Project # 1002492**
03DRB-00261 Major-Vacation of Public
Easements

03DRB-00398 Minor-Prelim&Final Plat Approval

PRECISION SURVEYS INC. agent(s) for GRANDE AVENUE PARTNERS LTD request(s) the above action(s) for all or a portion of Tract(s) A-1 & A-2, **BROWNEWELL & LAILS HIGHLAND ADDITION**, zoned SU-2-MD-1, located on DR MARTIN LUTHER KING JR AVE NE, between MULBERRY NE and CEDAR NE containing approximately 5 acre(s). [Deferred from 4/9/03] (K-15) **DEFERRED AT THE AGENT'S REQUEST TO 4/30/03.**

PRECISION SURVEYS INC agent(s) for GRANDE AVENUE PARTNERS LTD request(s) the above action(s) for all or a portion of Block(s) 28, Tract(s) A-1 & A-2, **BROWNEWELL & LAILS HIGHLAND ADDITION**, zoned SU-2 / MD-1, located on DR MARTIN LUTHER KING JR AVE NE, between MULBERRY NE and CEDAR NE containing approximately 1 acre(s). [REF: 03DRB-00261] [Deferred from 4/9/03] (K-15) **DEFERRED AT THE AGENT'S REQUEST TO 4/30/03.**

6. **Project # 1001021**
03DRB-00221 Major-Vacation of Public
Easements
03DRB-00222 Minor-Prelim&Final Plat Approval

MARK GOODWIN AND ASSOCIATES, PA, agent(s) for PIERRE AMESTOY JR request(s) the above action(s) for all or a portion of Tract(s) C-1, **IRVING LAND PARTNERS**, zoned M-1 light manufacturing zone, located on Irving Blvd NW between Eagle Ranch Rd NW and Golf Course Rd NW and containing approximately 9 acre(s). [REF: V-86-65] [DEFERRED FROM 4/2/03] (B-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. PRELIMINARY AND FINAL PLAT WERE INDEFINITELY DEFERRED.**

7. **Project # 1002243**
03DRB-00121 Major-Preliminary Plat Approval
03DRB-00122 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for TS MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 463, Town of Atrisco Grant, Unit 7, (to be known as **DESERT SAGE SUBDIVISION, UNIT 3**) zoned RD (9DU/AC), located on 82ND ST SW, between SAGE RD SW and SAN YGNACIO RD SW containing approximately 6 acre(s).[REF:02EPC01460] [DEFERRED FROM 4/9/03] (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 4/16/03.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. **Project # 1000694**
03DRB-00540 Minor-SiteDev Plan
Subd/EPC
- JCG & ASSOCIATES agent(s) for FAMILY WORSHIP CENTER request(s) the above action(s) for all or a portion of Tract(s) 226-230, Block(s) 2, **TOWN OF ATRISCO GRANT - AIRPORT UNIT**, zoned SU-1 for Church, located on GLENRIO RD NW, between I-40 and 72nd ST NW containing approximately 8 acre(s). [REF: 00EPC-01020, 00EPC-01021] **[Mary Piscitelli, EPC Case Planner]** [Deferred from 4/9/03] (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 4/23/03.**
9. **Project # 1001104**
03DRB-00288 Minor- SiteDev Plan Subd
03DRB-00289 Minor-Prelim&Final Plat
Approval

03DRB-00522 Minor-Sidewalk Waiver
- RHOMBUS PA agent(s) for TOR & RAQUEL RASMUSSEN request(s) the above action(s) for all or a portion of Lot(s) 31 and 32, Block(s) 2, Tract(s) 3, Unit 3, **NORTH ALBUQUERQUE ACRES (to be known as OAKLAND MEADOWS SUBDIVISON)** zoned R-D, located on BARSTOW ST NE, between OAKLAND AVE NE and the NORTHEAST CORNER OF THE INTERSECTION, containing approximately 2 acre(s). [REF: 01DRB-00312] [Deferred from 3/5/03, 3/26/03 & 4/9/03] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 4/16/03.**
10. **Project # 1000074**
03DRB-00392 Minor-SiteDev Plan Subd/EPC
03DRB-00394 Minor-SiteDev Plan
BldPermit/EPC
03DRB-00395 Minor- Prelim&Final Plat
Approval
- TIERRA WEST LLC agent(s) for MOUNTAIN RUN PARTNERS LTD. request(s) the above action(s) for all or a portion of Tract(s) H-3-A, LA REINA DEL LOS ALTOS, to be known as **KRISPY KREME @ SANDIA PLAZA**, zoned C-2 (SC), located on JUAN TABO BLVD NE, between JANE PL. NE and CANDELARIA NE containing approximately 9 acre(s). [REF: 02EPC-01478 & 01479] **[Russell Brito (for Len Malry) EPC Case Planner]** [Deferred from 3/19/03 and 3/26/03 and deferred at the Board's request on 4/2/03, we later received notice from agent to defer to 4/16/03] (G-21) **DEFERRED AT THE AGENT'S REQUEST TO 4/16/03.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1000505**
03DRB-00531 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for ALBERT GALLEGOS request(s) the above action(s) for all or a portion of Lot(s) 1A & 2A, Block(s) 5, **GRANT TRACT**, zoned SU-2/O, located on 6th ST NW, between MOUNTAIN RD NW and LOMAS NW containing approximately 1 acre(s). (J-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT APPROVAL DELEGATED TO PLANNING FOR THE DXF FILE.**

12. **Project # 1000893**
03DRB-00536 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP. agent(s) for CURB INC. request(s) the above action(s) for all or a portion of Lot(s) 157-161, **RIDGEVIEW VILLAGE, UNIT 2**, zoned R-2, located on BANDELIER DR NW, between NIGHT WHISPER RD NW and PINON DR NW containing approximately 1 acre(s). (A-11) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT APPROVAL DELEGATED TO PLANNING FOR THE DXF FILE.**

13. **Project # 1001067**
03DRB-00530 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for RAHIM KASSAM request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 4-A, **SUNPORT PARK**, zoned IP, located on WOODWARD RD SE, between UNIVERSITY BLVD SE and SUNPORT PL SE containing approximately 3 acre(s). (M-15) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT APPROVAL DELEGATED TO PLANNING FOR THE DXF FILE.**

14. **Project # 1001347**
03DRB-00538 Minor-Final Plat
Approval

ISAACSON & ARFMAN PA agent(s) for CURB INC. request(s) the above action(s) for all or a portion of Tract(s) B1, ALBUQUERQUE SOUTH, **EL RANCHO GRANDE UNIT 6**, zoned Under Rio Bravo SDP, located on VALLEY VIEW DR SW, between BENAVIDES SW and DE ANZA AVE SW containing approximately 20 acre(s). [03DRB-00165, 00167, 02DRB-00764, 00765, 01829, 00960, 00962] (M-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project # 1001918**
03DRB-00524 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for Parcel 6A, **EL RANCHO GRANDE I - UNIT 5B**, zoned RT, located on MUSTANG RIDGE DR SW, between BLAKE RD SW and BLACK STALLION RD SW containing approximately 10 acre(s). (N-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

16. **Project # 1002077**
03DRB-00513 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9A & A, **EL RANCHO GRANDE I (D & S ADDITION)**, zoned R-2, located on UNSER RD SW, between BLAKE RD SW and THE AMOLE CHANNEL SW containing approximately 29 acre(s). (N-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

17. **Project # 1001903**
03DRB-00535 Minor-Prelim&Final Plat
Approval
- MARK GOODWIN & ASSOCIATES agent(s) for D.R. HORTON CUSTOM HOMES request(s) the above action(s) for all or a portion of Lot(s) 18 & 19, **DESERT LANE SUBDIVISION**, zoned RD-7, located on DESERT EAGLE RD NE, between EAGLE ROCK AVE NE and OAKLAND AVE NE containing approximately 1 acre(s). (C-19) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT APPROVAL DELEGATED TO PLANNING FOR**
18. **Project # 1001463**
03DRB-00479 Major-Final Plat Approval
- CLARK CONSULTING ENGINEERS agent(s) for LLAVE CONSTRUCTION INC request(s) the above action(s) for all or a portion of Lot(s) 1-5 & 6A, Block(s) 19, Tract(s) 3, Unit 3, North Albuquerque Acres (to be known as **VENTURA VILLAGE** , zoned R-D residential and related uses zone, developing area, located on VENTURA NE between HOLLY NE and VENTURA NE containing approximately 5 acre(s). [REF: 01460-01291, 01494, 02EPC00148, 02EPC10058] [Deferred from 4/2/03, agent not present.] (C-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR DXF FILE AND PROPERTY MANAGEMENT'S SIGNATURE.**
19. **Project # 1001534**
02DRB-01931 Minor-Prelim&Final Plat
Approval
- CLARK CONSULTING ENGINEERS agent(s) for LLAVE CONSTRUCTION, INC. request(s) the above action(s) for all or a portion of Tract(s) A, **VINEYARD ESTATES, UNIT 4A**, zoned RD residential zone, located on the eastside of VENTURA ST NE, between ANAHEIM AVE NE and CARMEL AVE NE containing approximately 2 acre(s). [REF: 01DRB-01446] [Deferred from 1/8/03] [Final Plat was Indefinitely Deferred] [Deferred from 4/2/03 agent was not present.] (C-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE.**

20. **Project # 1002021**
03DRB-00528 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for WELSH IRREVOCABLE TRUST II - CAROLYN PICKA request(s) the above action(s) for all or a portion of Tract(s) E-2-A, **ONE PRESIDENTIAL PLAZA**, zoned IP, located on JEFFERSON ST NE, between PRESIDENTIAL DR NE and PAN AMERICAN FRWY NE containing approximately 3 acre(s). [REF: 02DRB-00919, DRB-99-206] (E-17) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR SHARED SEWER AGREEMENT, VERIFICATION OF PRIVATE FIRE HYDRANT ACCOUNT AND PRIVATE WATER AND SEWER EASEMENTS ON THE PLAT AND TO TRANSPORTATION DEVELOPMENT FOR VERIFICATION THAT ADEQUATE ACCESS AND PARKING ARE PROVIDED FOR EACH LOT AND FOR THE DXF FILE.**

21. **Project # 1002315**
03DRB-00539 Minor-Final Plat Approval

BOHANNAN HUSTON INC. agent(s) for HIGH DESERT INVESTMENT CORP. request(s) the above action(s) for all or a portion of Tract(s) 13A, **WILDERNESS ESTATES @ HIGH DESERT**, zoned SU-2/HD/R-R, located on TRAMWAY BLVD NE, between IMPERATA NE and WEST OF TRACT A FOREST SERVICE LAND, containing approximately 38 acre(s). [REF: 02DRB-01650] (F-23) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR RELABELING THE EASEMENT ON LOT 9, SHOW ADJOINER EASEMENTS ON THE PLAT AND AN ACCESS AGREEMENT FOR LOT 9 AND TO PLANNING FOR THE DXF FILE.**

22. **Project # 1002471**
03DRB-00533 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for COE PROPERTIES INC request(s) the above action(s) for all or a portion of Lot(s) 90-B, **MRGCD MAP 39**, zoned R-1, located on ATRISCO DR SW, between GONZALES RD SW and SUNSET GARDENS RD SW containing approximately 1 acre(s). [AX-70-27] (K-12) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

23. **Project # 1001934**
02DRB-01864 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC., agent(s) for WILLIAM RIORDAN request(s) the above action(s) for all or a portion of Lot(s) 4, **ALVARADO GARDENS - UNIT 1**, zoned RA-2 residential and agricultural zone, located on RIO GRANDE BLVD NW, between MATTHEW NW and CAMPBELL NW containing approximately 3 acre(s). [DEFERRED FROM 12/18/02] [Final plat was indefinitely deferred for the SIA] [Deferred from 4/2/03 agent was not present] (G-12) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

24. **Project # 1002539**
03DRB-00532 Minor-Prelim&Final Plat
Approval

JERRY CULAK, SURVEYOR agent(s) for HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 3 & 4, **ARIAS ACRES ADDITION**, zoned S-R, located on 15TH ST NW, between MOUNTAIN NW and BELLAMAH NW containing approximately 1 acre(s). [Deferred from 4/9/03] (J-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/16/03.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

25. **Project # 1002194**
03DRB-00537 Minor-Sketch Plat
or Plan

GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) 2 & 2B, **SUNPORT LODGINGS ADDITION**, zoned R-2, located on KATHRYN AVE SE, between GIRARD SE and GIBSON SE containing approximately 2 acre(s). (L-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. **Project # 1002566**
03DRB-00512 Minor-Sketch Plat
or Plan

WILSON & COMPANY request(s) the above action(s) for **BNSF RAILROAD CROSSING FACILITY**, located on WOODWARD EAST OF SECOND SE, between SECOND SE and BROADWAY SE. (M-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

27. **Project # 1002567**
03DRB-00514 Minor-Sketch Plat
or Plan

SURVEYS SOUTHWEST LTD agent(s) for STEVE KIRK request(s) the above action(s) for all or a portion of Lot(s) 5A, **COLEMAN ADDITION**, zoned R-2, located on 12TH ST NW, between MENAUL EXTENSION and LA POBLANA NW containing approximately 1 acre(s). (H-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

28. Approval of the Development Review Board Minutes for March 26, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 12:15 P.M.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1002567

Item No. 27

Zone Atlas H-13

DATE ON AGENDA 4-09-03

INFRASTRUCTURE REQUIRED (x)YES ()NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- (x) SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- () SITE PLAN FOR BUILDING PERMIT

No.	Comment
<input type="checkbox"/>	The standard street improvements are required on an infrastructure list.
<input type="checkbox"/>	The streets need to meet the requirements of the DPM.
<input type="checkbox"/>	A cul-de-sac is needed.
<input type="checkbox"/>	The access easement needs to be incorporated into the lots.

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:



City of Albuquerque
 CITY OF ALBUQUERQUE
 P.O. BOX 1299 ALBUQUERQUE, NEW MEXICO 87103
 PUBLIC WORKS DEPARTMENT
 DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002567

AGENDA ITEM NO: 27

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.
 An approved infrastructure list is required for Preliminary Plat approval.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED X; WITHDRAWN
 SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)
 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)
 FOR:

discussed

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: April 9, 2003



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1002567
Application Number: 03DRB-00514

DRB Date: 4/9/03
Item Number: 27

Subdivision:

Lot 5A, Coleman Addition

Zoning: R-2

Zone Page: H-13

New Lots (or units) : 8

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 8 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

Signed: 

Christina Sandoval, (PRD)

Phone: 768-5328

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board Comments
4/09/03**

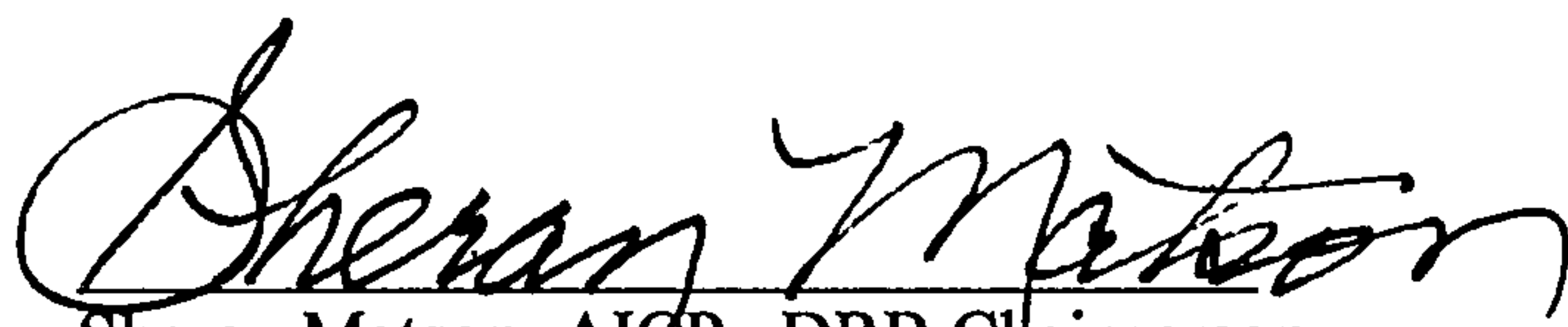
Item # 27

Project # 1002567

Application # 03DRB-00514

SUBJECT: Coleman Addition / sketch plat

Be sure to follow the City zoning Code requirements for R-2 zoning.


Sheran Matson, AICP DRB Chairperson
924-3880 Fax 924-3864

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		
		APPEAL / PROTEST of...	A
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: STEVE KIRK PHONE: 975-0197
 ADDRESS: P.O. BOX 10356 FAX: _____
 CITY: ALBU STATE NM ZIP 87184 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners:
 AGENT (if any): SURVELS SOUTHWEST, LTD PHONE: 998-0303
 ADDRESS: 333 LOMAS BLVD NE FAX: _____
 CITY: ALBU STATE NM ZIP 87102 E-MAIL: _____

DESCRIPTION OF REQUEST: COMBINE TWO EXISTING LOTS INTO ONE NEW LOT (PRELIM/FINAL)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A LOTS 5-A & 5-B Block: N/A Unit: N/A
 Subdiv. / Addn. COLEMAN ADDITION
 Current Zoning: P-2 Proposed zoning: N/A
 Zone Atlas page(s): H-13-2 No. of existing lots: 2 No. of proposed lots: 1
 Total area of site (acres): 0.8147 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 1-013-059-496-428-11007, 1-013-059-480-431-11033 MRGCD Map No. N/A
 LOCATION OF PROPERTY BY STREETS: On or Near: 1272 STREET NW
 Between: MENARD EXTENSION and LA POBLANA NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):
* PROJ # 1002279, 02DRB-01535 DRB-98-267 # 1002567

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____
 SIGNATURE Dan Graney DATE 10-07-05
 (Print) Dan Graney _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DRB - - 01575</u>	<u>P&S</u>	<u>53</u>	<u>\$ 215.00</u>
<input type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>10/19/05</u>			Total <u>\$ 235.00</u>
<u>Ki Sis 10/18/05</u>				
Planner signature / date				Project # <u>1002567</u>

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OF INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Infrastructure list if required (verify with DRB Engineer) NO INTERNAL ROUTING

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Craney
 Applicant name (print)
Dan Craney
 Applicant signature / date
 10-07-05

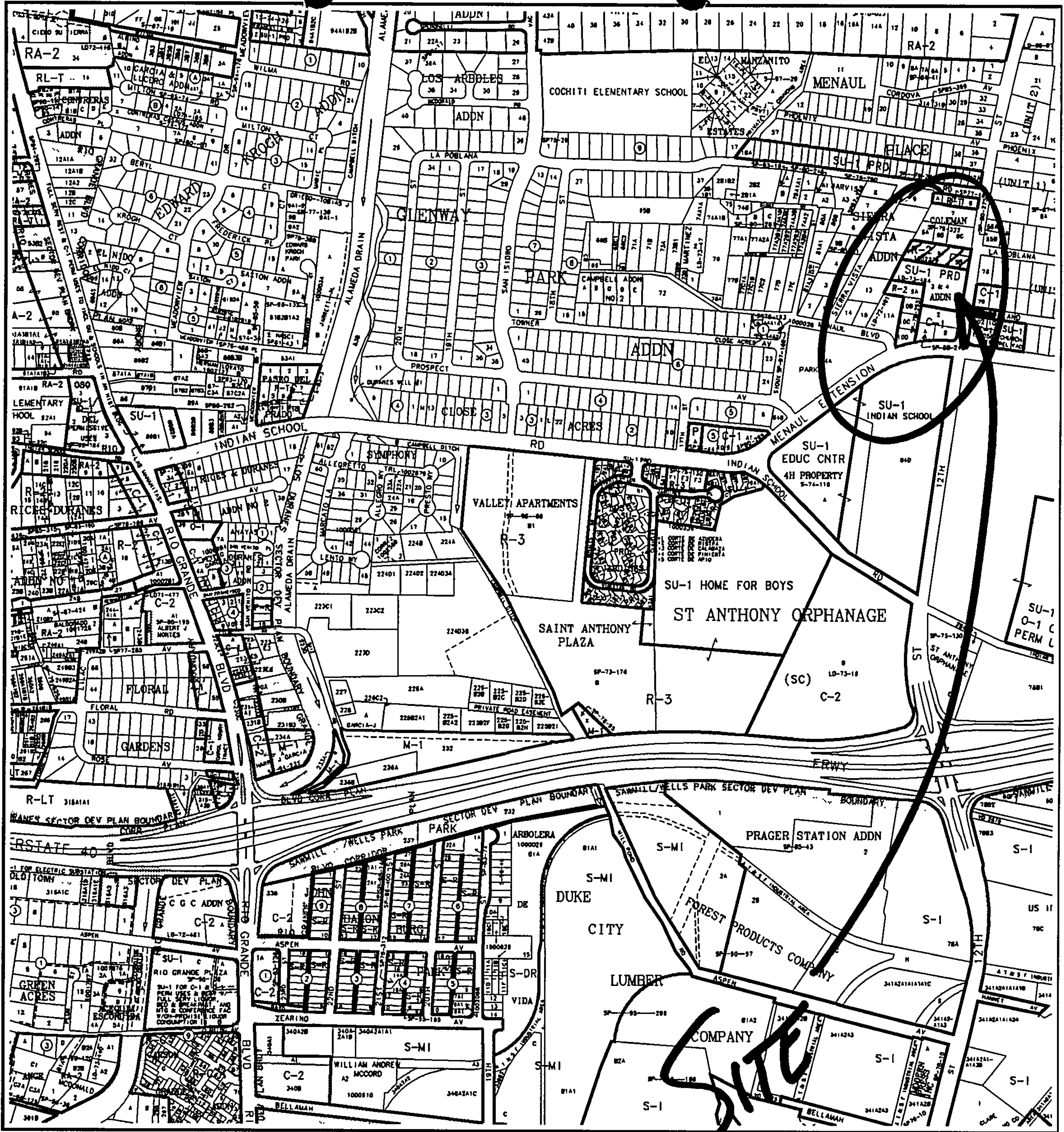


Form revised 3/03, 8/03 and 11/03

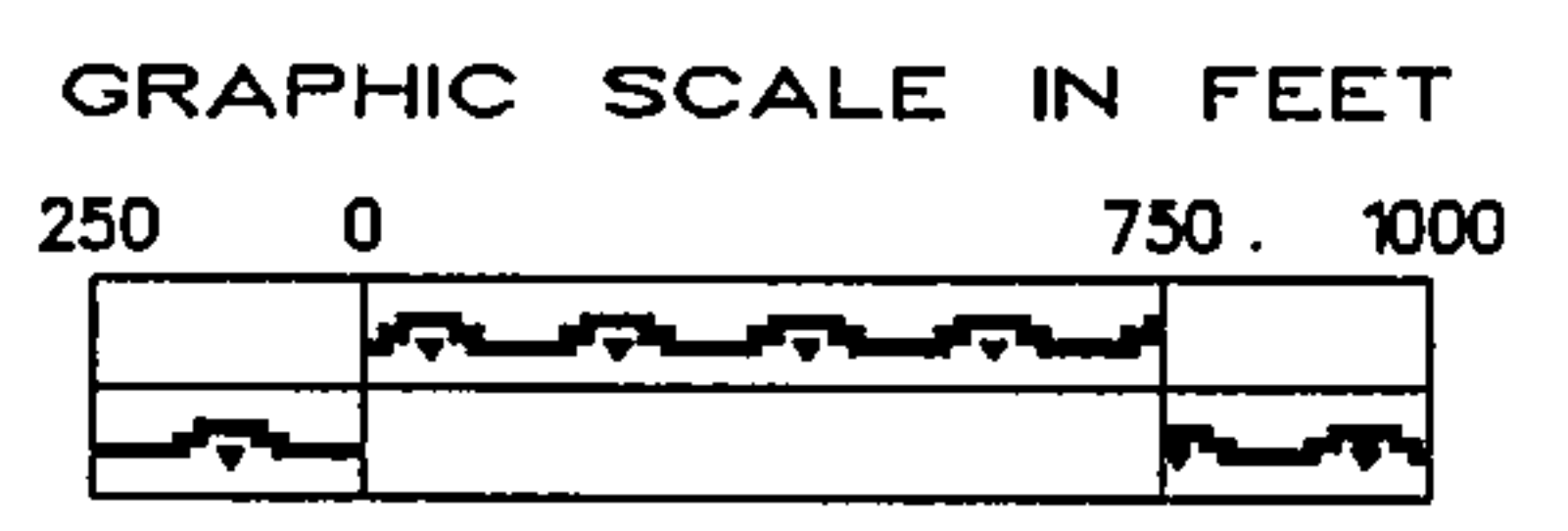
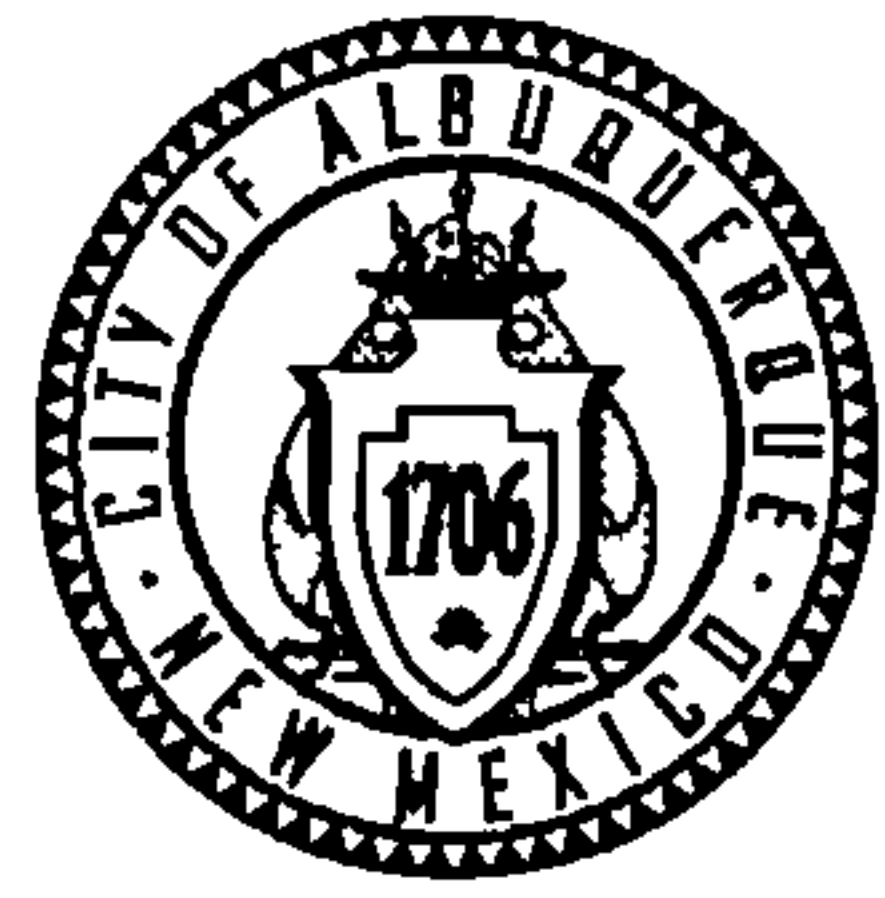
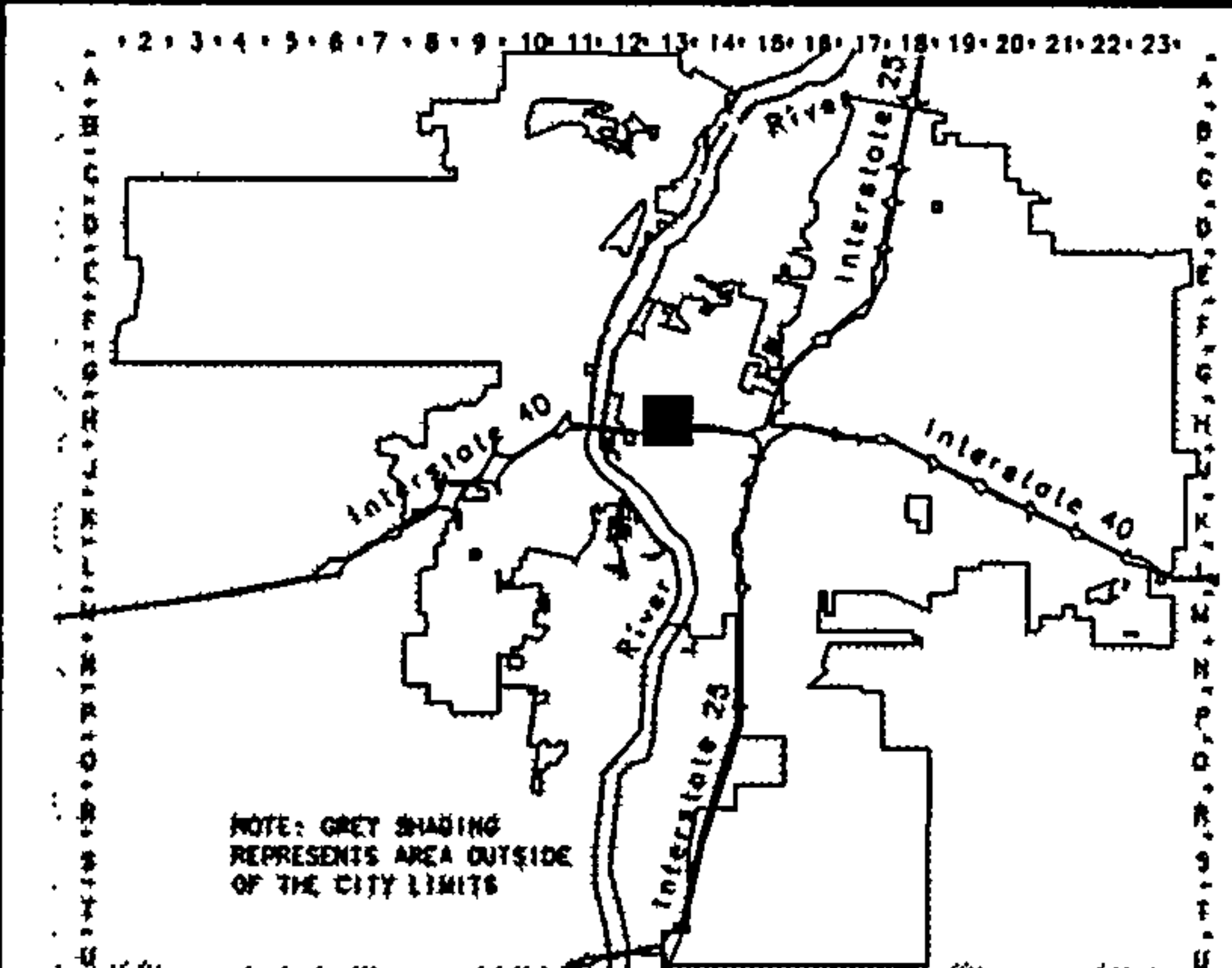
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 OSDRB - 01575

Kim S... 10/10/05
 Planner signature / date
Project # 1002567



SITE



Zone Atlas Page

H-13-Z

Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT

© Copyright 2004

Map Amended through August 03, 2004

Surveys Southwest, LTD

*333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306*

October 7, 2005

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102


REF: LOT 5-A-1, COLEMAN ADDITION

Dear Board Members:

The purpose of the above referenced property is to eliminate the lot lines, moving the existing residence and then developing the total site with (4) four-plexes.

If you have any questions please feel free to contact me.

Sincerely,


Dan Graney
President

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Steve Kirk
AGENT Supercy Southwest
ADDRESS 333 Comets
PROJECT & APP # 1002567 / 01575
PROJECT NAME Coleman Addition

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee
\$ 215.⁰⁰ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 235.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

KIRK PROPERTIES
P.O. BOX 10356
ALBUQUERQUE, NM 87184

95-145/1070
002249316

1247

DATE 100505

PAY TO THE ORDER OF City of Albuquerque

two hundred thirty five and no/100 \$ 235.00 DOLLARS

1ST STATE BANK
www.fsbnm.com

MEMO Plan Fee 12/5/05

+107001452101247002249316

*****DUPLICATE*****
City Of Albuquerque
Treasury Division

10/10/2005 10:33AM LOC: ANN
X
RECEIPT# 00050772 WSH 007 TRANSH 0015
Account 441006 Fund 0110
Activity 4983000 TRSKAL
Trans Amt \$235.00
J24 Misc

\$215.00

CK
CHANGE \$235.00

*****DUPLICATE*****
City Of Albuquerque
Treasury Division

10/10/2005 10:33AM LOC: ANN
X
RECEIPT# 00050771 WSH 007 TRANSH 0015
Account 441032 Fund 0110
Activity 3424000 TRSKAL
Trans Amt \$235.00
J24 Misc

\$20.00
Thank You

City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

SUBDIVISION Supplemental form S
 Major Subdivision action
 Minor Subdivision action **SKETCH**
 Vacation V
 Variance (Non-Zoning)

ZONING Supplemental form Z
 Annexation & Zone Establishment
 Sector Plan
 Zone Change
 Text Amendment

SITE DEVELOPMENT PLAN P
 ... for Subdivision Purposes
 ... for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC) L

APPEAL / PROTEST of... A
 Decision by: DRB, EPC, LUCC, Planning Director or Staff
 ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME STEVE KIRK PHONE: 897-4733
 ADDRESS 215 CENTRAL AVE NW
 CITY ALBU STATE NM ZIP 87102
 Proprietary interest in site: OWNER
 AGENT (if any) SURVEYS SOUTHWEST, LTD PHONE: 998-0303
 ADDRESS 333 LOMAS BLVD NE FAX: 998-0306
 CITY ALBU STATE NM ZIP 87102 E-MAIL: _____

DESCRIPTION OF REQUEST: DIVIDE ONE EXISTING NEEDED LOT INTO EIGHT NEW LOTS & TO DEDICATE ADDITIONAL PUBLIC STREET RIGHT-OF-WAY.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY

Lot or Tract No LOT 5-A Block: Unit:
 Subdiv / Addn COLEMAN ADDITION
 Current Zoning R-2 Proposed zoning: _____
 Zone Atlas page(s) H-13-2 No. of existing lots: 1 No. of proposed lots: 8
 Total area of site (acres) 0.1979 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes No but site is within 5 miles of the city limits (DRB jurisdiction.)
 Within 1000FT of a landfill? NO
 UPC No 1-013-059-482-430-11007 MRGCD Map No. Y
 LOCATION OF PROPERTY BY STREETS: On or Near: 12th STREET NW
 Between _____ and _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App, DRB, AX, Z, V, S, etc.): 2-85-110
DRB 98-264, APP # 021 DRB 01535 PROJ # 1001398

Check if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team Date of review: _____

SIGNATURE Dan Grady DATE 3-27-03
 (Print) Dan Grady Applicant Agent

FOR OFFICIAL USE ONLY

Form revised September 2001

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>03 DRB</u>	<u>SK</u>	<u>53</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill <u>NO</u>	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ <u>0</u>

Hearing date Apr. 19 2003

JM 3/28/03
 Planner signature / date

Project # 1002567

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Graney
Dan Graney

Applicant name (print)

3-27-03

Applicant signature / date



Form revised September 2001

Feb 2003

3/28/03

Planner signature / date

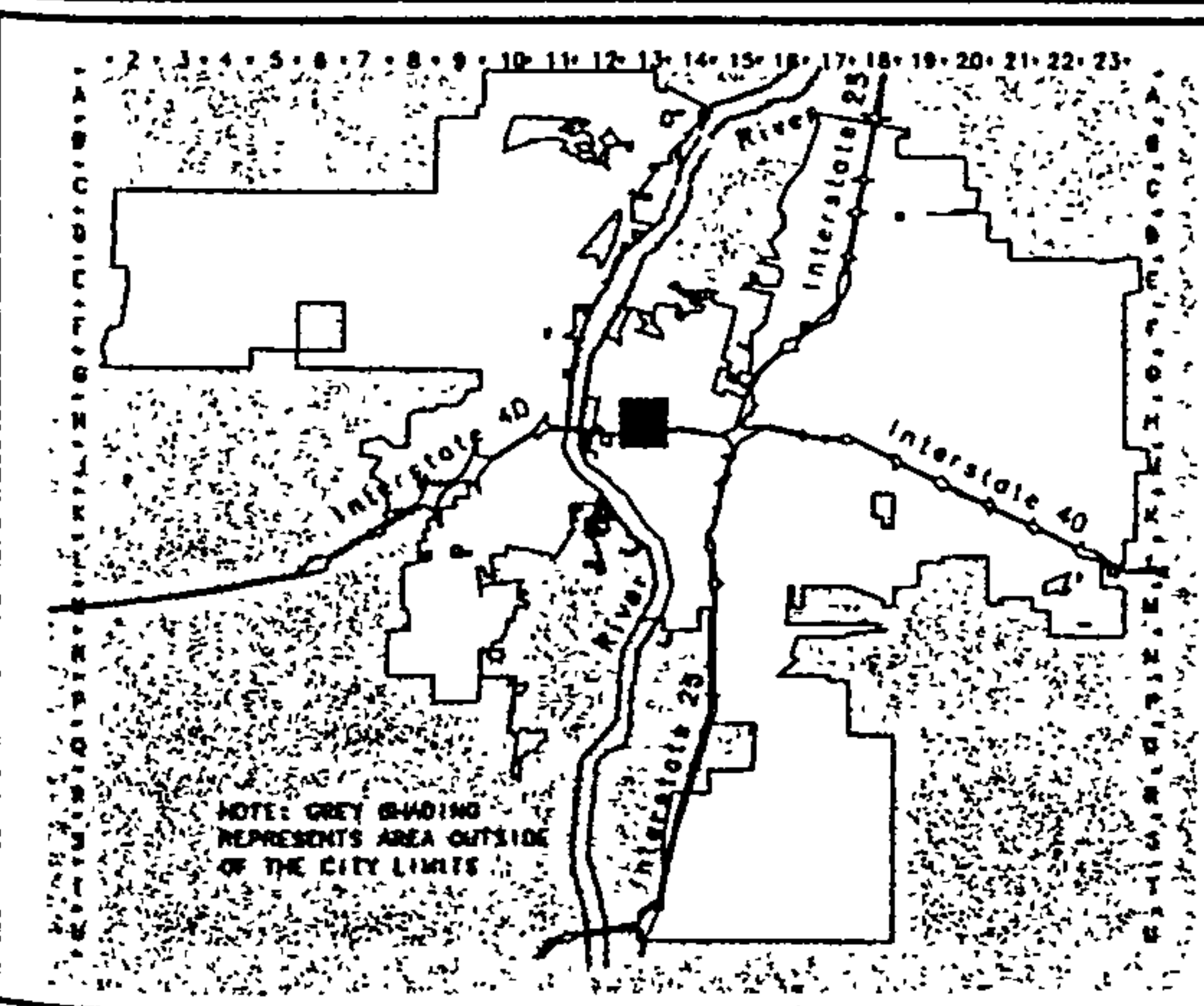
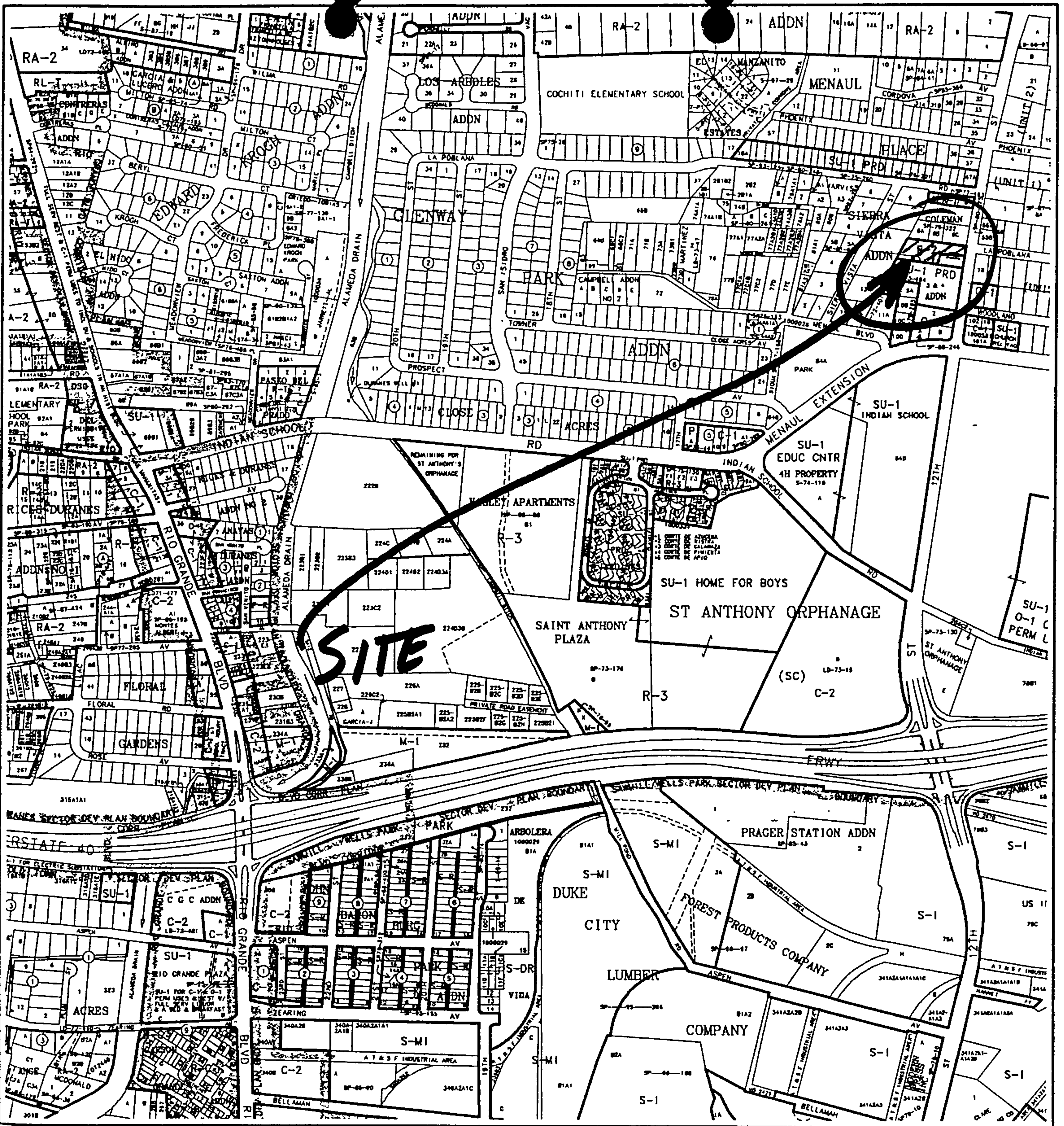
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

03DRB-00514

Project #

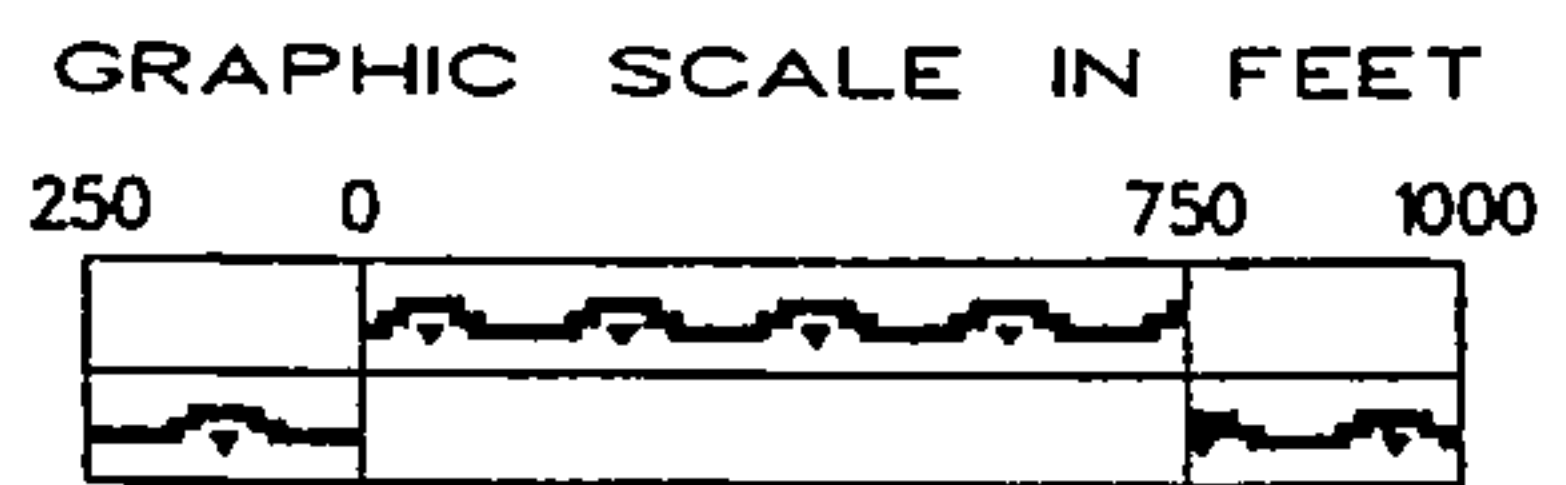
1002567



CITY OF
Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

© Copyright 2001



Zone Atlas Page

H-13-Z

Map Amended through July 19, 2001

Surveys Southwest, LTD

*333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306*

March 27, 2003

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

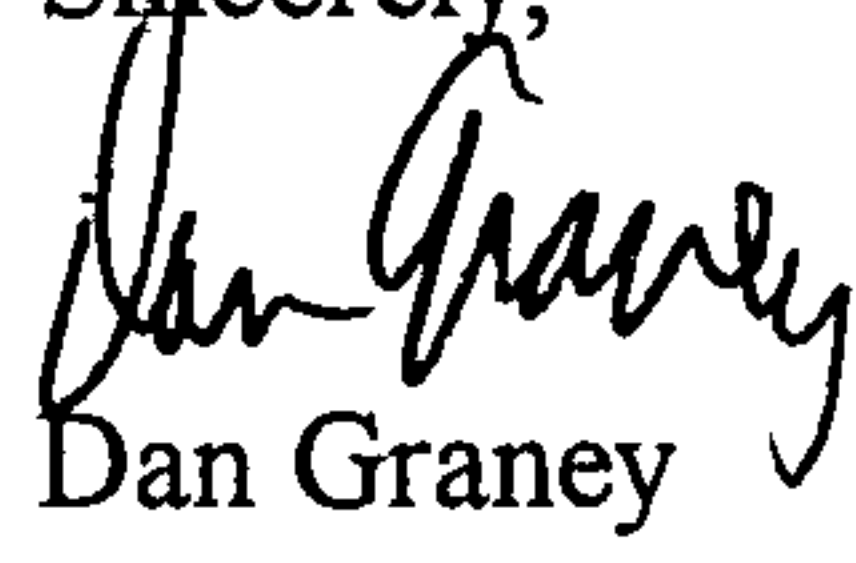
REF: LOTS 5-A1 THRU 5-A-8, COLEMAN ADDITION

Dear Board Members:

Surveys Southwest, LTD is requesting to divide One (1) deed lot into Eight (8) new lots and to dedicate additional public street right-of-way for the above referenced property.

If you have any questions please feel free to contact me.

Sincerely,



Dan Graney
President





SIERRA V

3
1002567
9-6-06

10

R-1
6A

6B

6C

H13

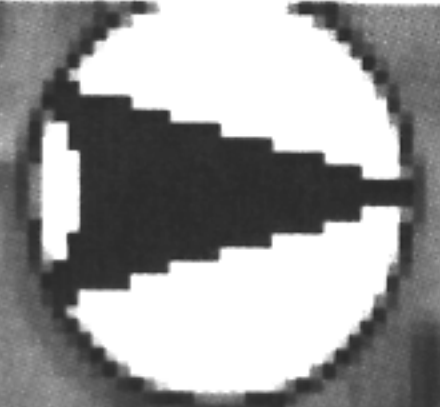
R-2
5A1

SU
3 & 4

12TH

13

12



34' ROAD VARIANCE EXHIBIT FOR HACIENDA DE LOIS SUBDIVISION DRB-1002567

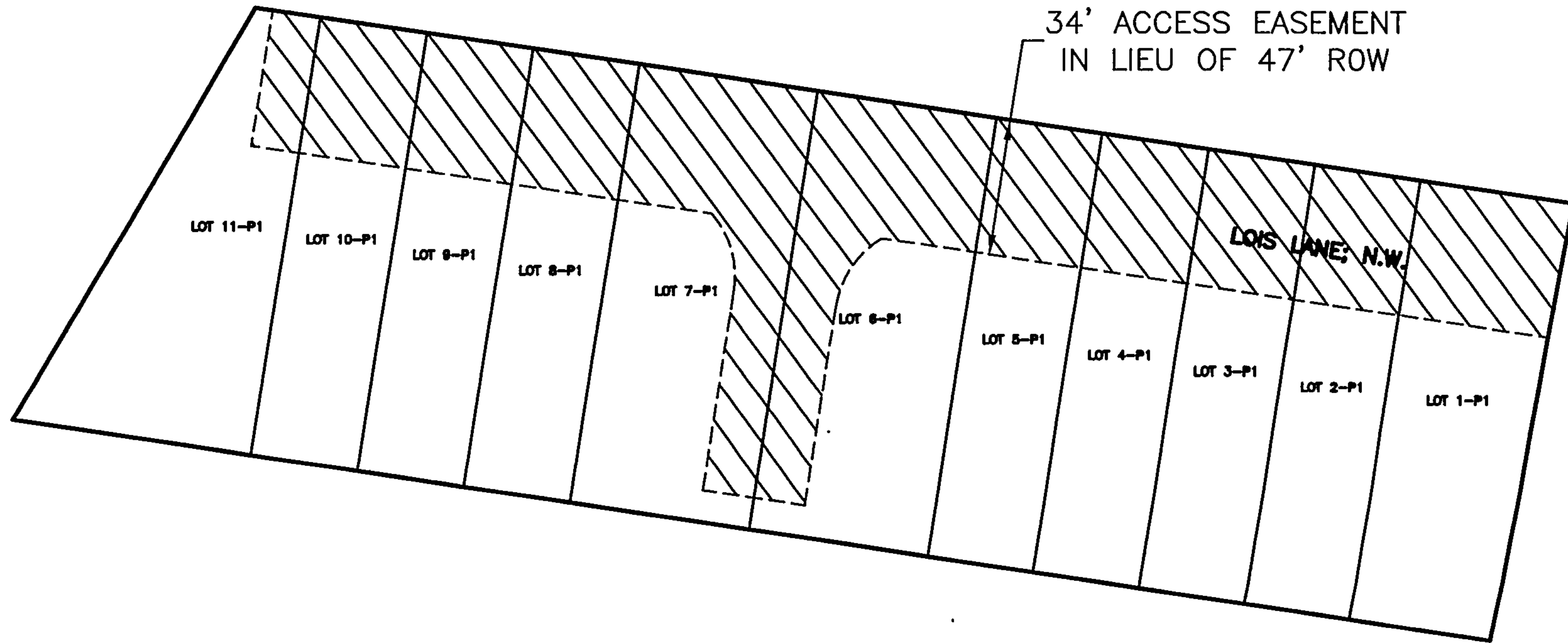


EXHIBIT C
Date 9/6/06

ADVANCED
ENGINEERING
and CONSULTING, LLC
4416 ANAHEIM AVE, NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

EXHIBIT SIDEWALK VARIANCE

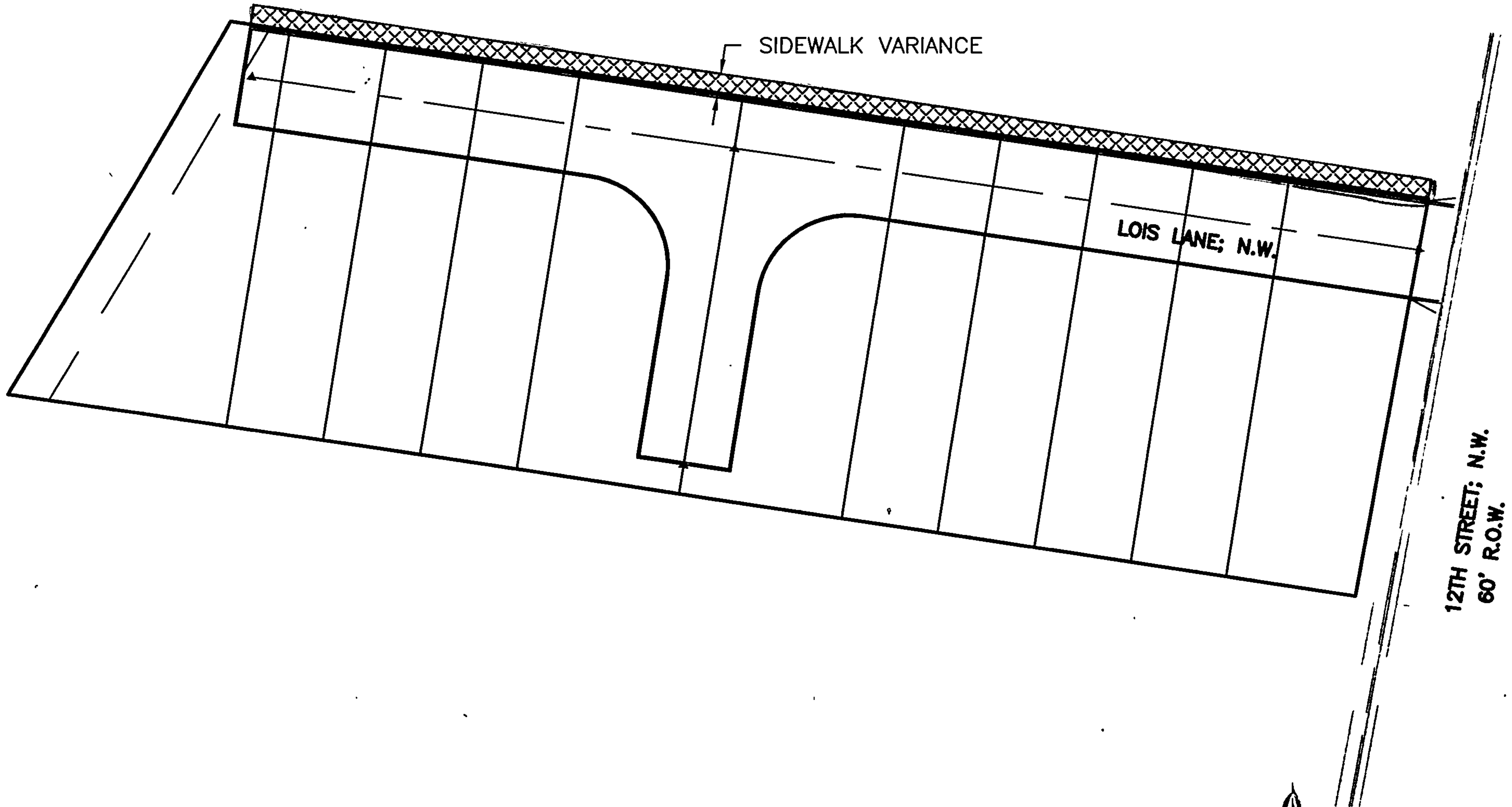


EXHIBIT C

Date 9/6/06

NO SCALE

ADVANCED
ENGINEERING
and CONSULTING, LLC
4416 ANAHEIM AVE, NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

EXHIBIT SIDEWALK DEFERRAL

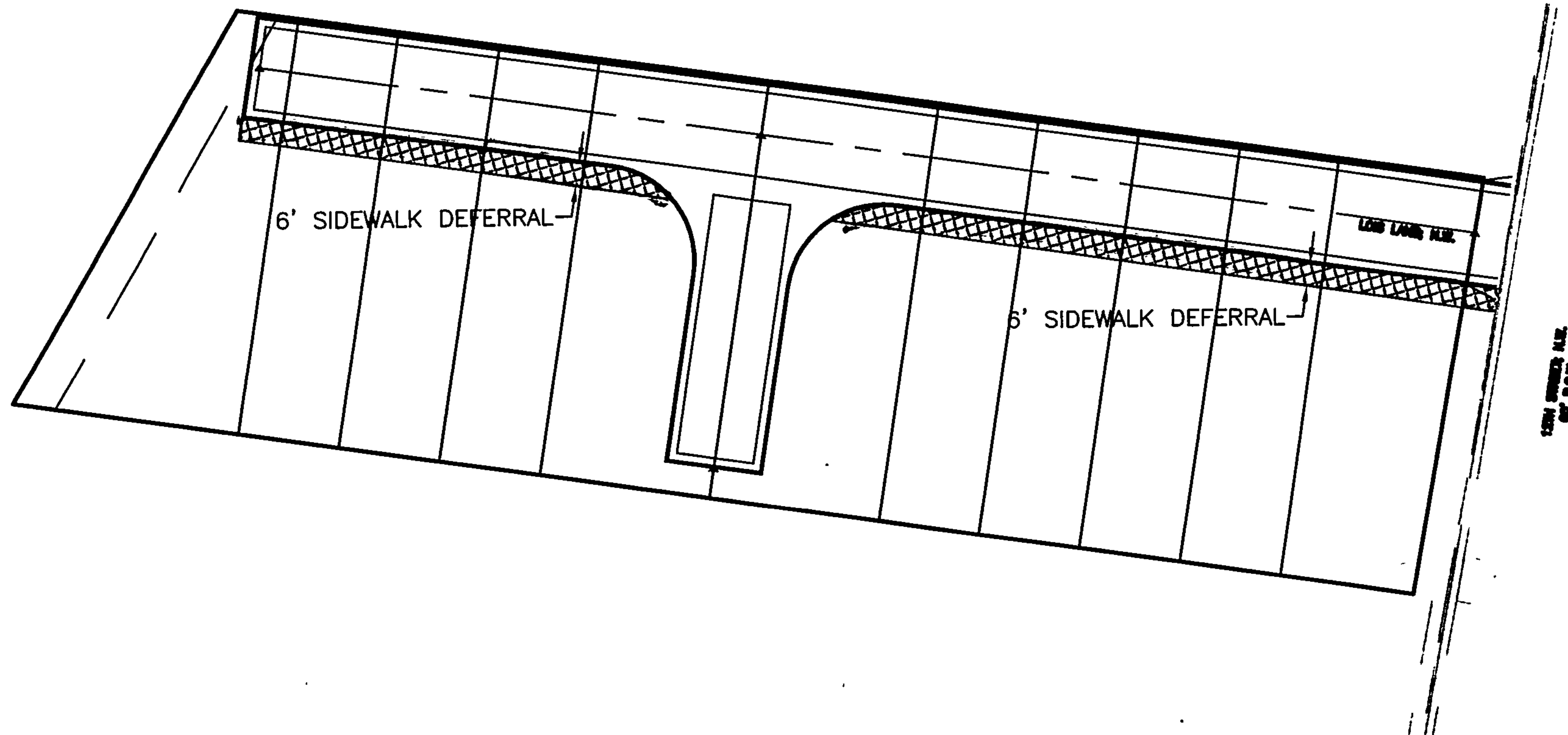


EXHIBIT C

Date 9/16/04



NO SCALE



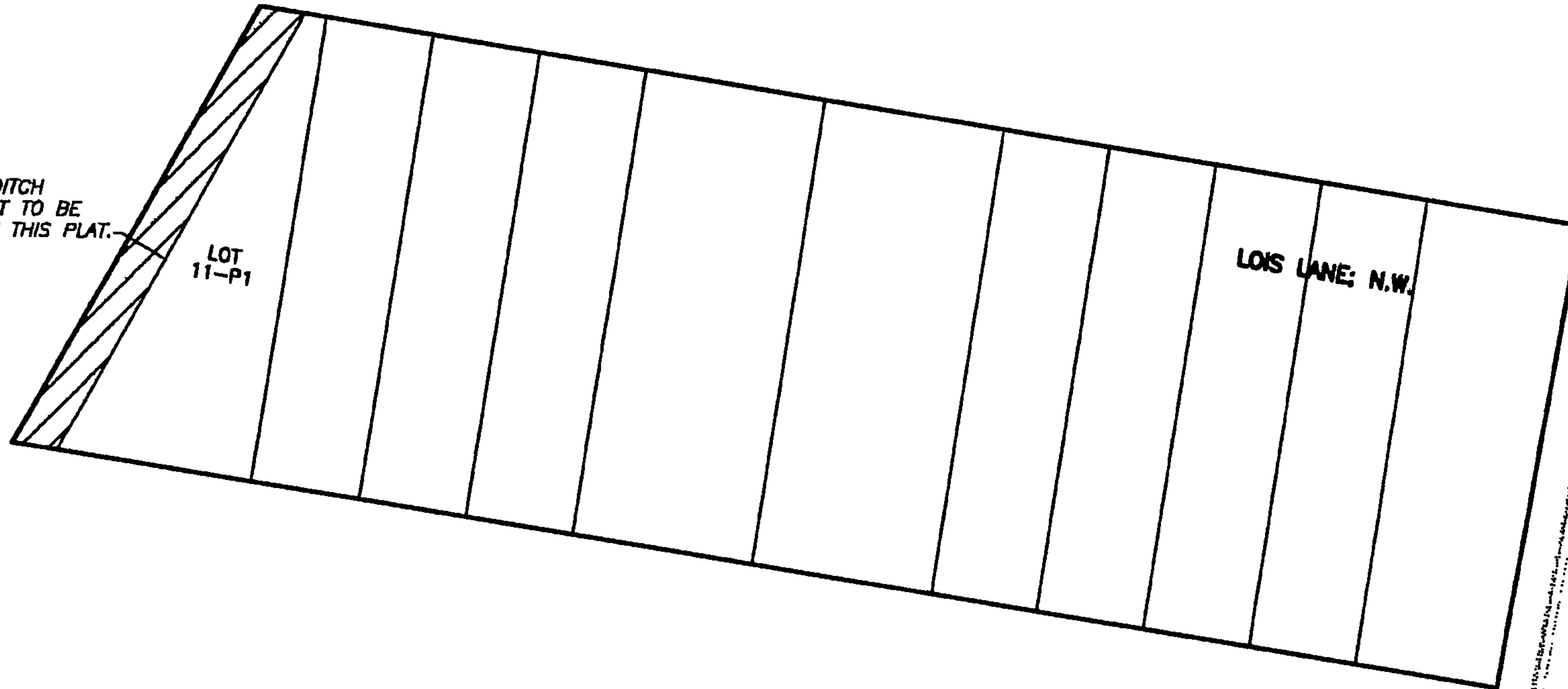
ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

SHEET 1 OF 1

VACATION OF 10' EXISTING
DITCH EASEMENT EXHIBIT FOR
HACIENDA DE LOIS SUBDIVISION
DRB-1002567

10' DITCH
EASEMENT TO BE
VACATED BY THIS PLAT.



EXHIBIT

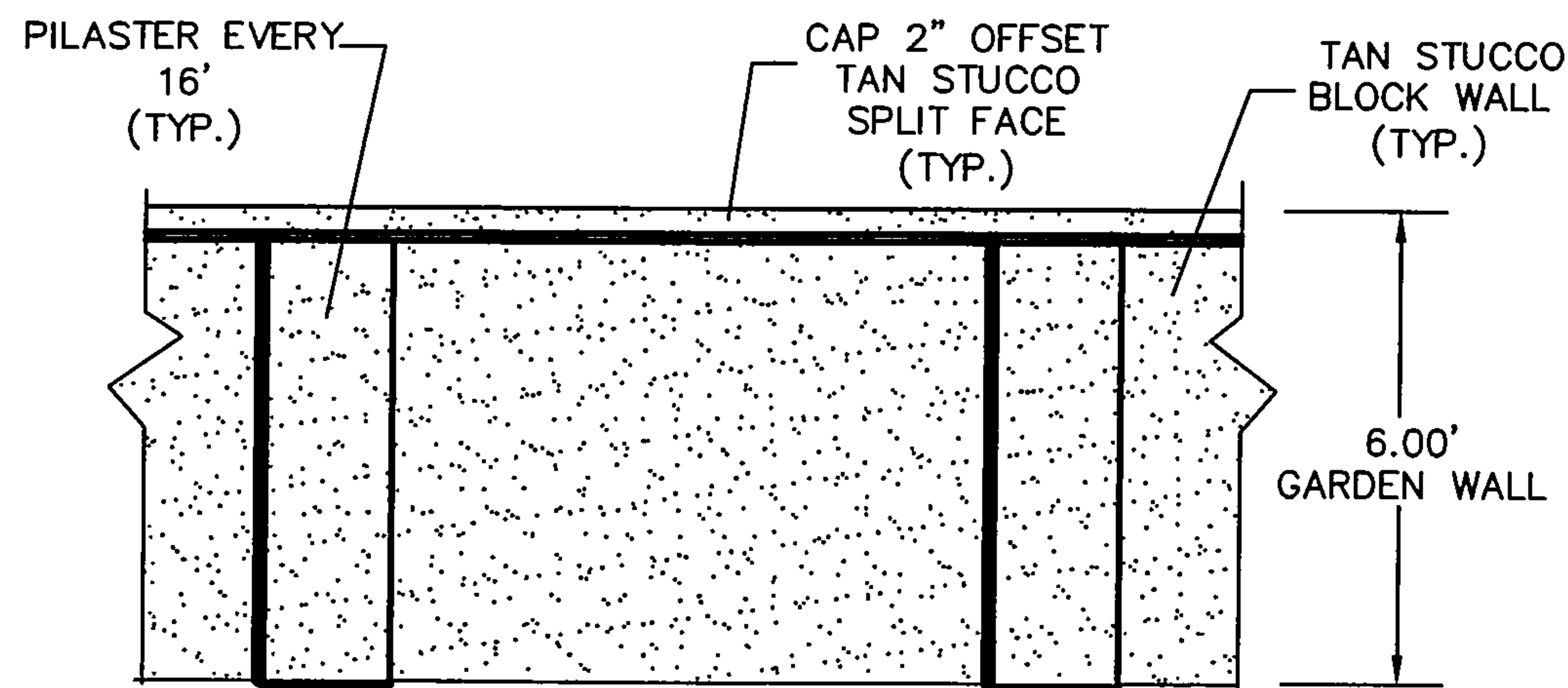
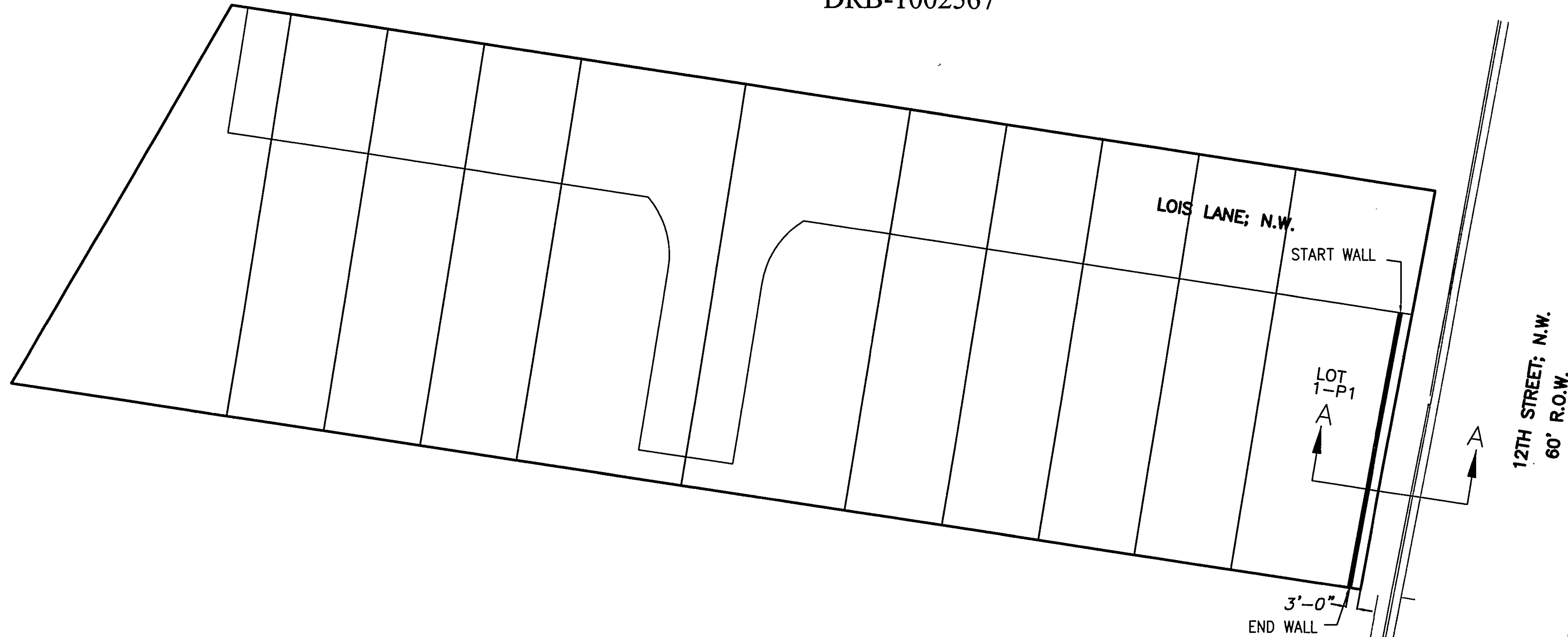
Date *B*
9/6/06

ADVANCED
ENGINEERING
and CONSULTING, LLC
4416 ANAHEIM AVE, NE
ALBUQUERQUE, NEW MEXICO 87113
(505) 899-5570

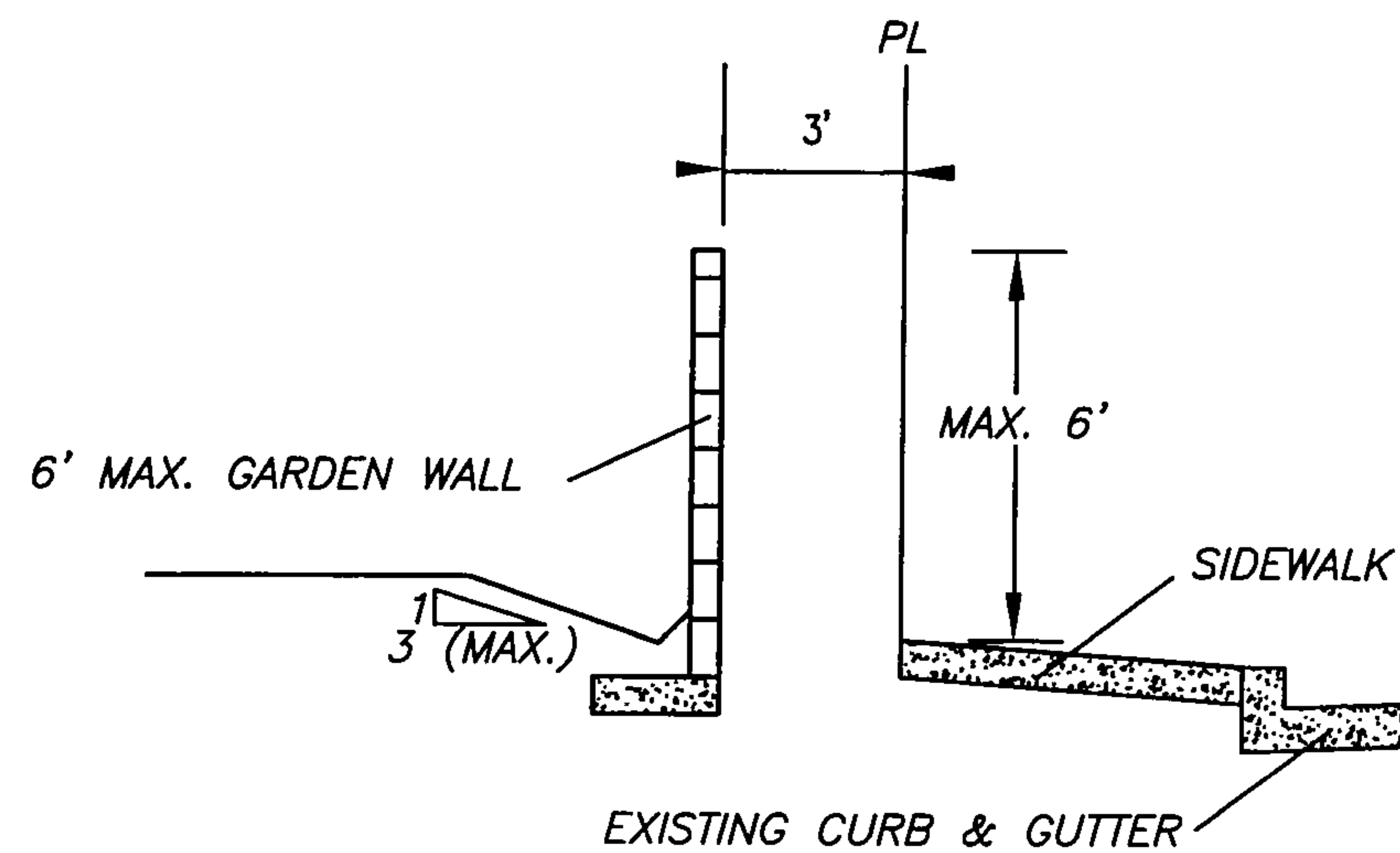
DRAWING: 200604-DITCH-EXHIBIT REVISED: 08-03-06

904-3964

GARDEN WALL EXHIBIT FOR
HACIENDA DE LOIS SUBDIVISION
DRB-1002567



TYPICAL WALL ELEVATION
SCALE: N.T.S



SECTION A-A
NTS

12TH STREET RD., N.W.



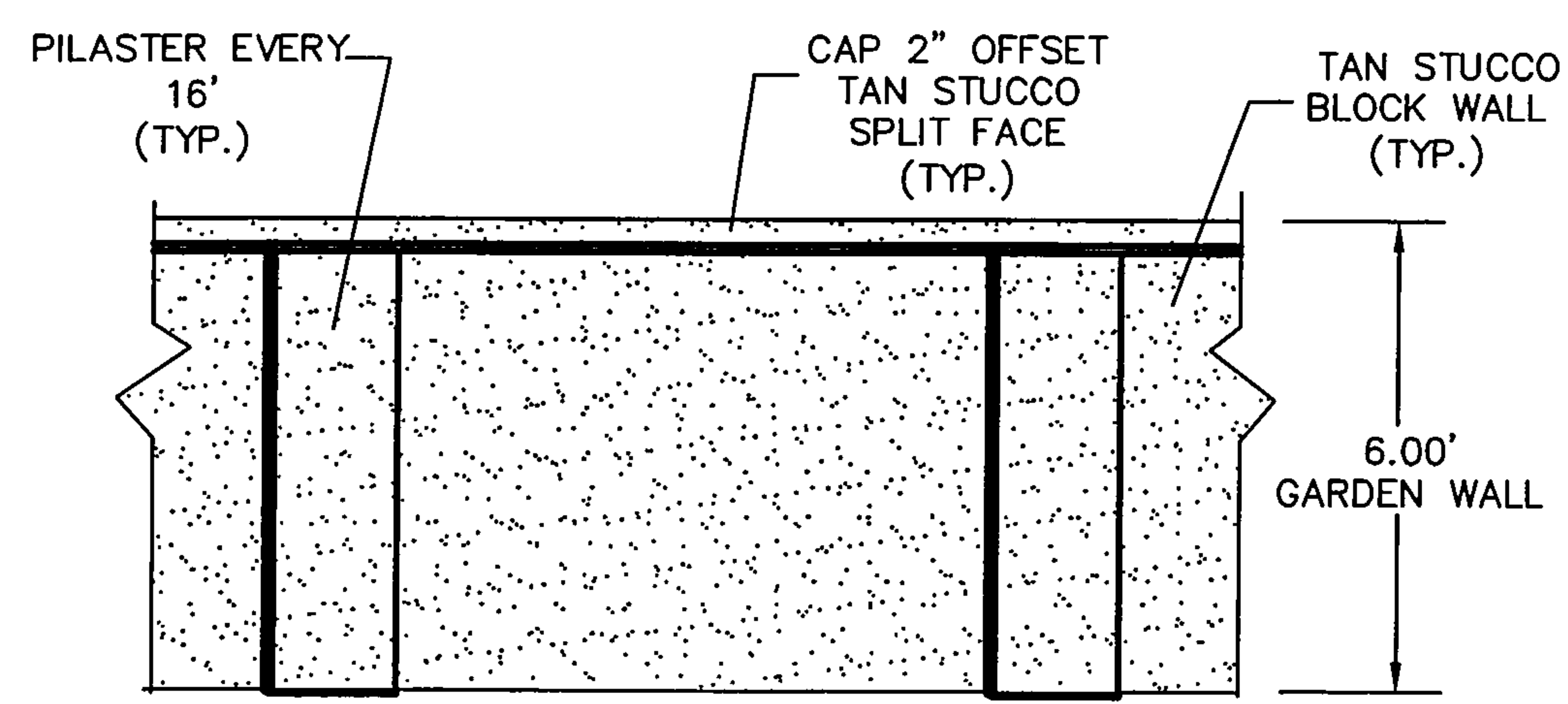
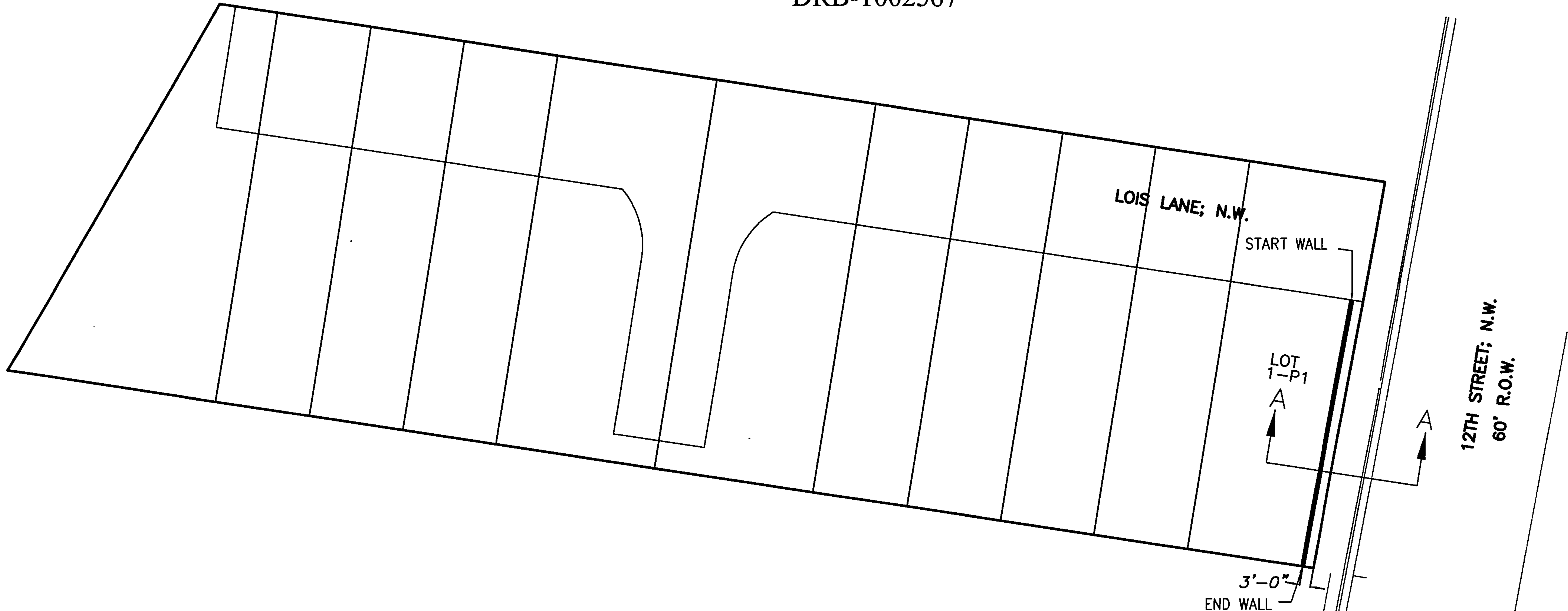
NOT TO SCALE



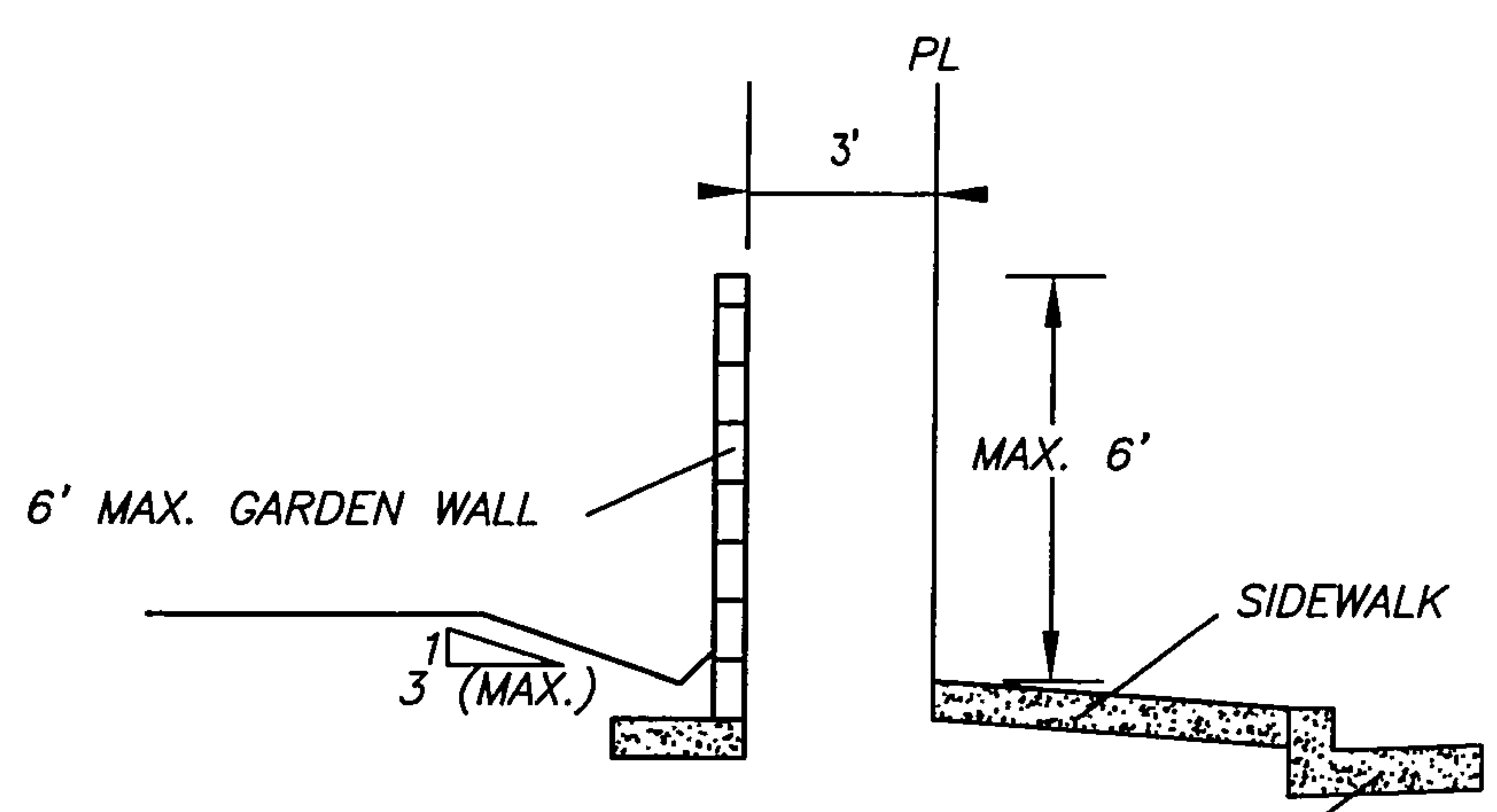
ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

GARDEN WALL EXHIBIT FOR
 HACIENDA DE LOIS SUBDIVISION
 DRB-1002567

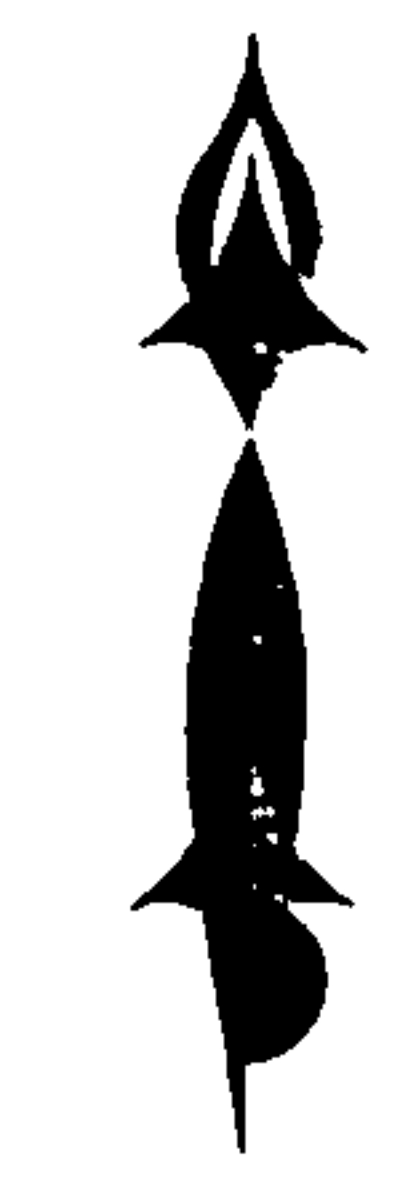


TYPICAL WALL ELEVATION
 SCALE: N.T.S



SECTION A-A
 NTS

12TH STREET RD., N.W.



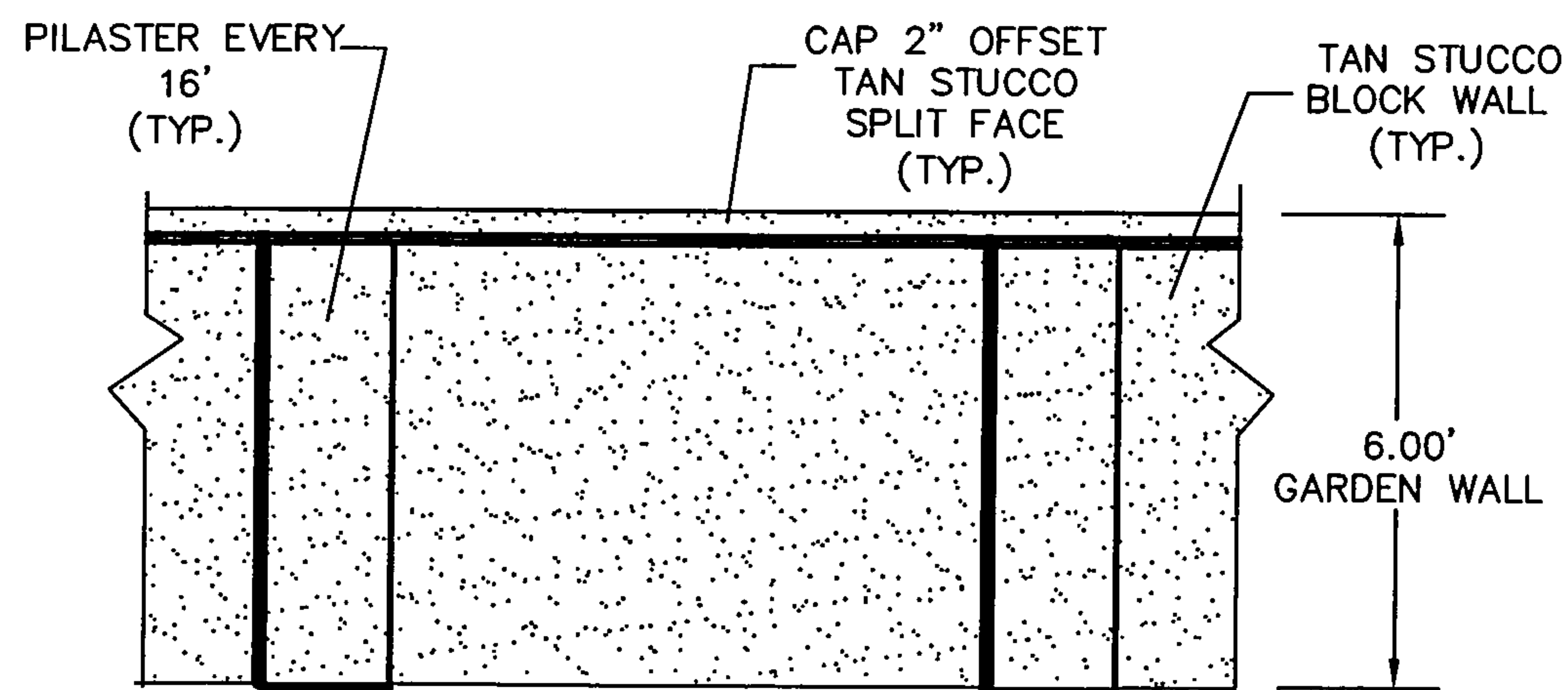
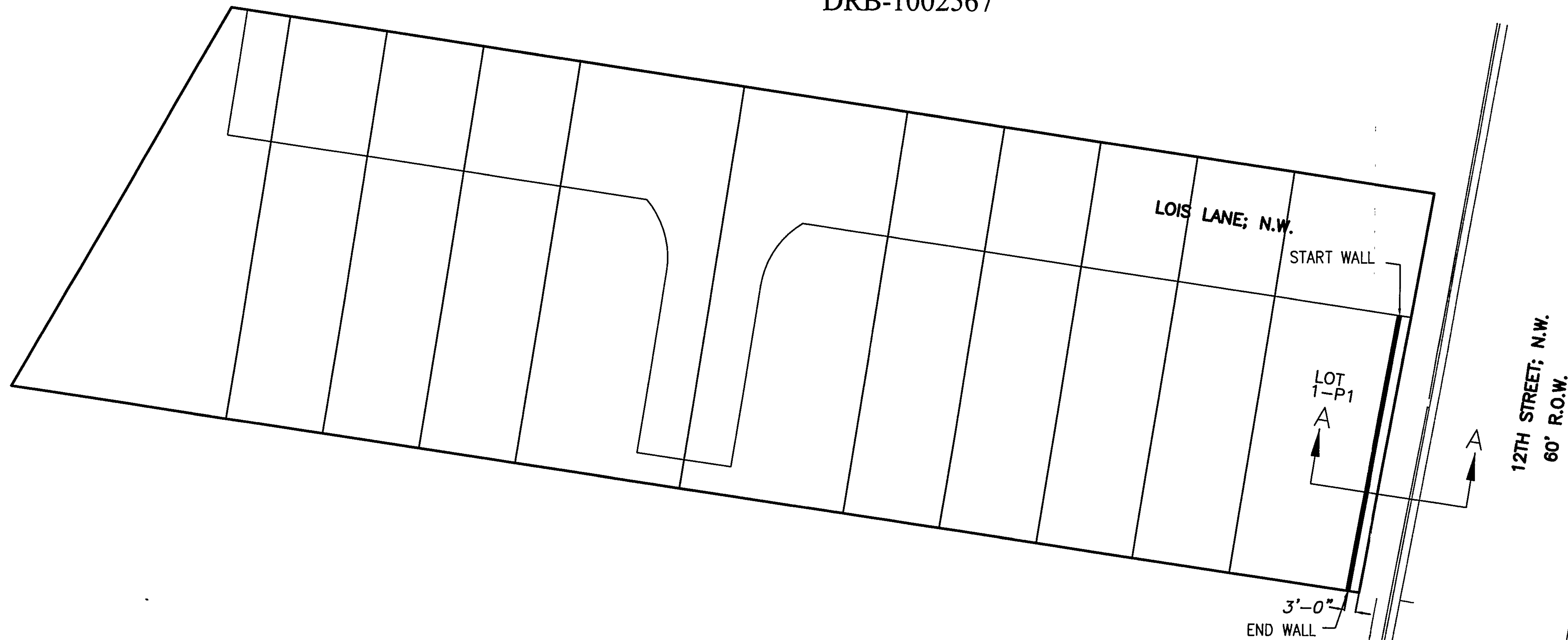
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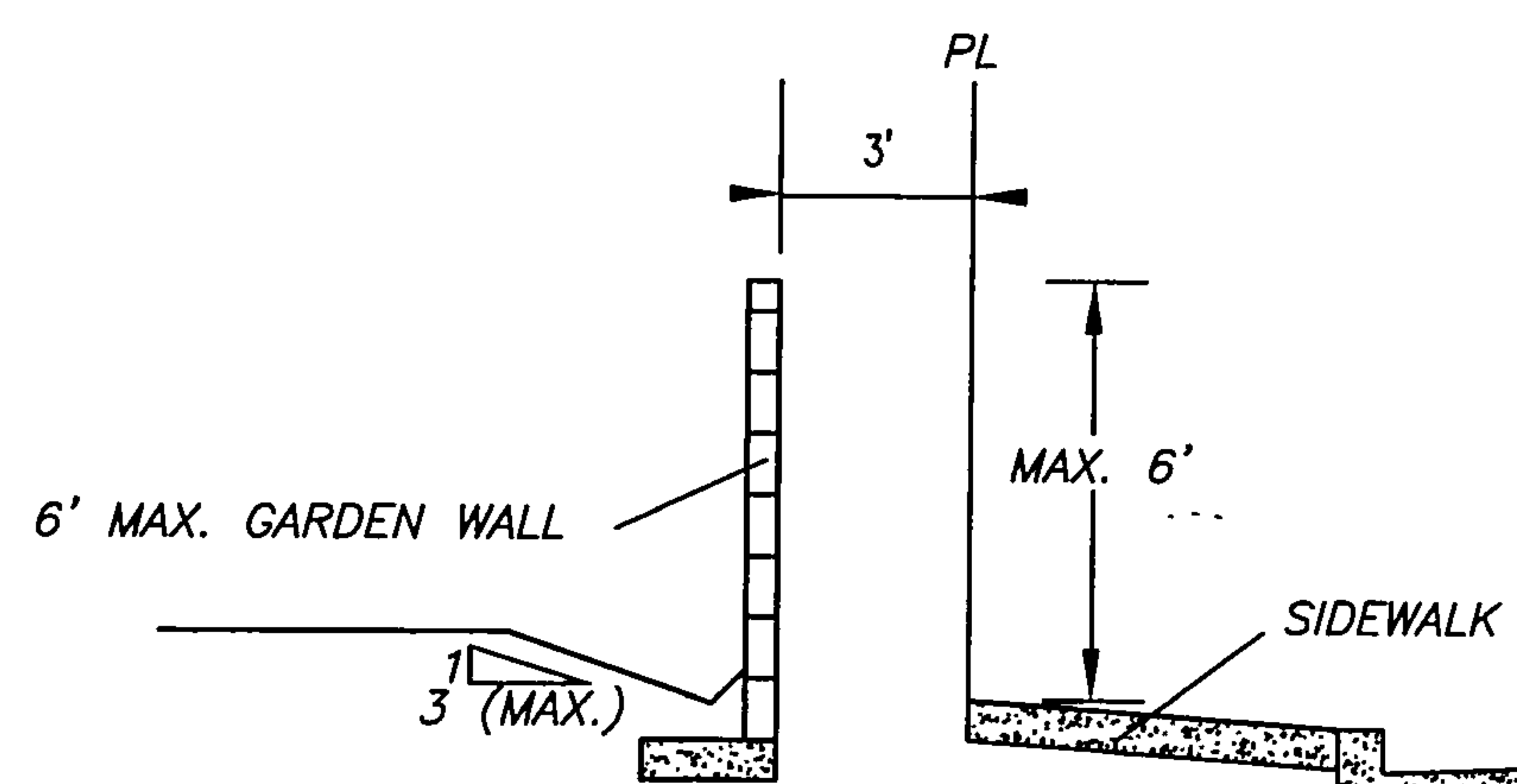
ADVANCED
 ENGINEERING
 and CONSULTING, LLC

4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

GARDEN WALL EXHIBIT FOR
 HACIENDA DE LOIS SUBDIVISION
 DRB-1002567



TYPICAL WALL ELEVATION
 SCALE: N.T.S



SECTION A-A
 NTS

12TH STREET RD., N.W.



NOT TO SCALE



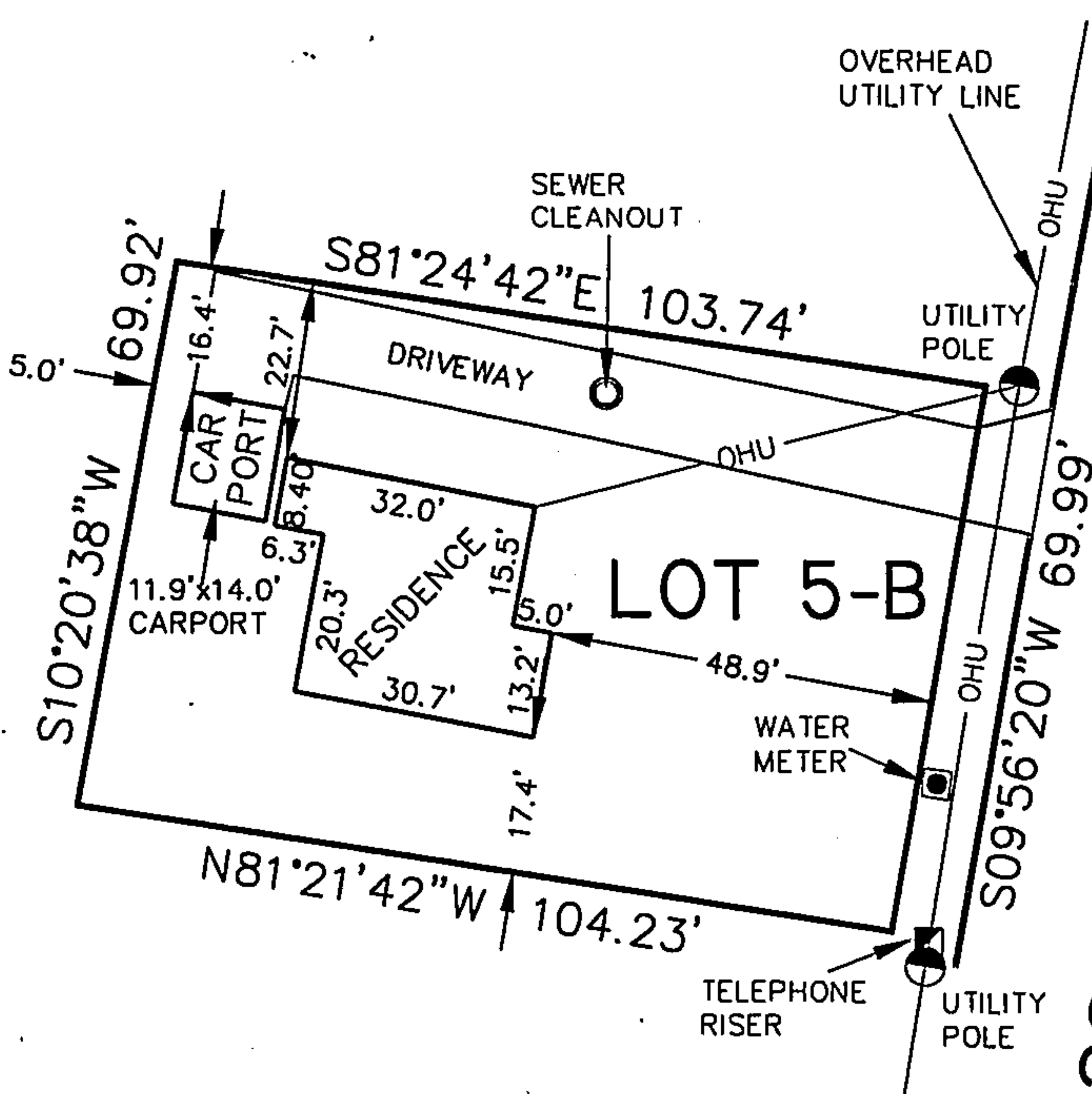
ADVANCED
 ENGINEERING
 and CONSULTING, LLC

4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

"EXHIBIT"



SCALE: 1" = 40'
PROJECT NO. 0208RS09
DRAWN BY PGB
ZONE ATLAS: H-13-Z



2902 12TH STREET N.W.
60' PUBLICLY DEDICATED RIGHT-OF-WAY

THIS REPORT IS NOT FOR USE BY A PROPERTY OWNER FOR ANY PURPOSE.

SURVEYS SOUTHWEST, LTD.

333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO
87102

PHONE: (505) 998-0303
FAX: (505) 998-0306

Coleman Addition