

COMPARATIVE SITE ANALYSIS BETWEEN PAST & PRESENT
1988 APPROVED EPC CURRENT EPC

115,000 SF EXISTING HOSPITAL
305,000 SF PROPOSED 3RD FLOOR EXPANSION
35,000 SF EXISTING MEDICAL OFFICE BUILDING
3,500 EXISTING MAINTENANCE SHED
43,200 SF PROPOSED IN (1) 4-STORY MEDICAL OFFICE BUILDINGS FOR PHASE II OF THE WEST MESA MEDICAL CENTER MASTERPLAN
10,000 SF PROPOSED 1-STORY AMBULATORY SERVICES BUILDING FOR PHASE III OF THE WEST MESA MEDICAL CENTER MASTERPLAN
80,000 4-STORY PARKING GARAGE (268 SPACES) PHASE IV
48,000 SF PROPOSED IN (2) 2-STORY MEDICAL OFFICE BUILDING FOR PHASE V OF THE WEST MESA MEDICAL CENTER MASTERPLAN
GRAND TOTAL OF 522,700 GSF

125,500 SF EXISTING HOSPITAL
61,000 SF PROPOSED ADDITIONS
35,000 SF EXISTING MEDICAL OFFICE BUILDING
-3,500 EXISTING MAINTENANCE SHED TO BE REMOVED
47,000 SF PROPOSED 3-STORY MEDICAL OFFICE BUILDING REPLACING PHASE I/II OF THE WEST MESA MEDICAL CENTER MASTERPLAN
77,000 4-STORY PARKING GARAGE (256 SPACES) PHASE IV
48,000 SF PROPOSED 26x3-STORY MEDICAL OFFICE BUILDING FOR PHASE V OF THE WEST MESA MEDICAL CENTER MASTERPLAN
GRAND TOTAL OF 408,500 GSF

PARKING DATA

PARKING REQUIRED FOR EXISTING HOSPITAL:
130 BEDS @ 1 SPACE / 2 BEDS = 65 SPACES
26 DOCTORS @ 5 SPACES / DOCTOR = 130 SPACES
TOTAL SPACES REQUIRED FOR HOSPITAL = 195 SPACES

PARKING REQUIRED FOR EXISTING MEDICAL OFFICE BUILDINGS:
35,000 SF X .85% NET LEASABLE SPACE = 29,750 GSF
1ST FLOOR AT 14,875 SF @ 1 SPACE / 200 SF = 75 SPACES
2ND FLOOR AT 14,875 SF @ 1 SPACE / 300 SF = 50 SPACES
TOTAL SPACES REQUIRED FOR MEDICAL OFFICE BUILDINGS = 125 SPACES

PARKING REQUIRED FOR NEW MEDICAL OFFICE BUILDINGS:
47,000 SF X .85% NET LEASABLE SPACE = 40,000 GSF
1ST FLOOR AT 20,000 SF @ 1 SPACE / 200 SF = 100 SPACES
2ND FLOOR AT 20,000 SF @ 1 SPACE / 300 SF = 67 SPACES
TOTAL SPACES REQUIRED FOR NEW M.O.B. = 167 SPACES
TOTAL SPACES DEDICATED TO NEW M.O.B. = 167 SPACES

TOTAL REQUIRED = 487 SPACES
TOTAL PROVIDED = 423 SPACES

PARKING REQUIRED FOR FUTURE HOSPITAL ADDITIONS:
80 BEDS / 2 BEDS PER SPACE = 40 SPACES
61,000 SF / 800 SF PER DOCTOR = 76 SPACES
(OR = 5 SPACES PER DOCTOR AT 14 NEW DOCTORS)
TOTAL SPACES REQUIRED FOR ADDITIONS = 116 SPACES

PARKING FOR FUTURE MEDICAL OFFICE BUILDINGS:
48,000 SF X .85% NET LEASABLE SPACE = 40,800 GSF
1st FLOOR AT 10,000 SF @ 1 SPACE / 200 SF = 50 SPACES
2nd FLOOR AT 19,500 SF @ 1 SPACE / 300 SF = 65 SPACES
3rd FLOOR AT 9,500 SF @ 1 SPACE / 300 SF = 32 SPACES
TOTAL SPACES REQUIRED FOR FUTURE M.O.B. = 147 SPACES

TOTAL ADDITIONAL REQUIRED = 255 SPACES
ENTIRE SITE GRAND TOTAL REQUIRED = 750 SPACES
ENTIRE SITE GRAND TOTAL PLANNED = (600 SPACES)

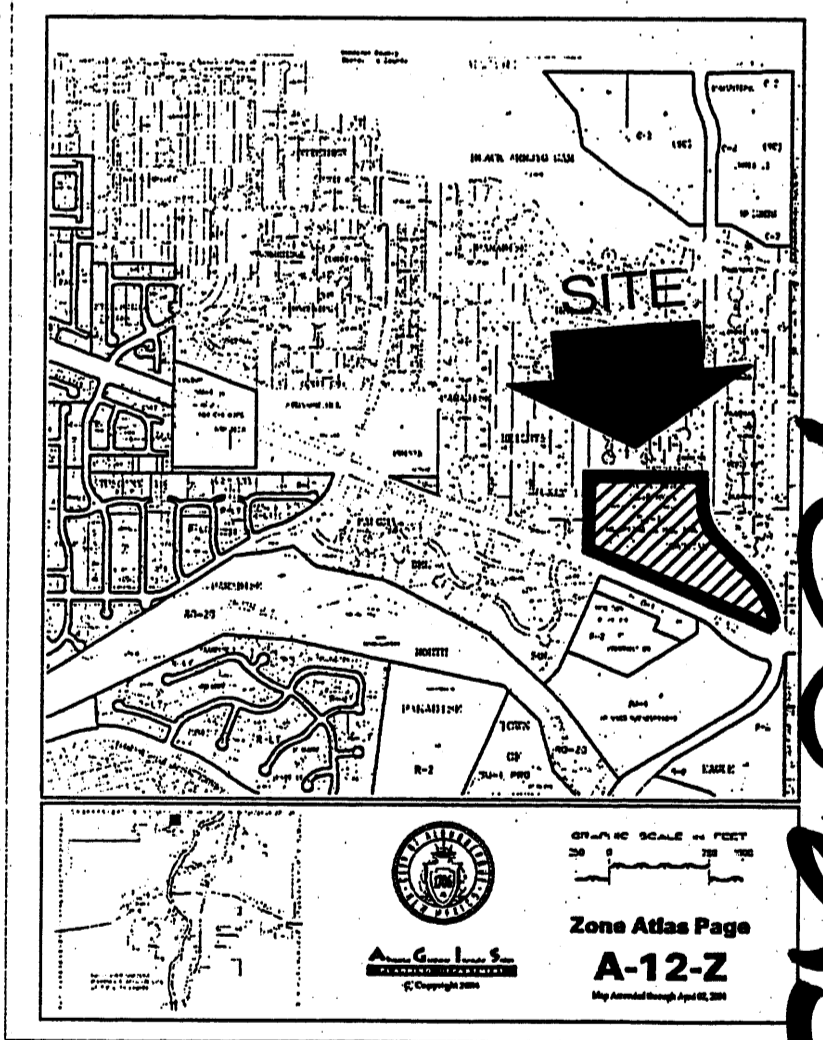
PROJECT DATA

ADDRESS
10501 GOLF COURSE ROAD NW, ALBUQUERQUE, NM
LEGAL DESCRIPTION
PARCEL ID #1012068481504001
17-1-4 ST JOSEPH WEST MESA HOSPITAL PARADISE HEIGHTS UNIT
#1CONT 20.0829 AC
ZONING: SU-1 FOR HOSPITAL USE
(PROPOSED ZONING FOR MOBS SU-1 FOR G-1 USES)
TOTAL ACREAGE: 19.03 ACRES (828,905 S.F.)
BUILDING AREA: ~47,000 G.S.F.
BUILDING USE: MEDICAL OFFICE
BUILDING CODE ANALYSIS (UBC 1997)
OCCUPANCY GROUP: B - OFFICE AREA
STORIES ALLOWED: 2
STORIES PROVIDED: 2
MAXIMUM BUILDING HEIGHT ALLOWED: 55'
MAXIMUM BUILDING HEIGHT PROVIDED: 28'
OCCUPANCY LOADS:
B - OFFICE OCCUPANCY 47,000 S.F./100: 470 OCC.
CITY PROJECT #: 1002584
EPC #: Z-98-90
AA #: 03-AA-00579
PROJECT NUMBER: 1002584
APPLICATION NUMBER:
SITE DEVELOPMENT PLAN APPROVAL:
TRANSPORTATION DEVELOPMENT DATE
UTILITY DEVELOPMENT DATE
PARKS AND RECREATION DATE
HYDROLOGY DATE
SOLID WASTE MANAGEMENT DATE
PLANNING DEPARTMENT DATE

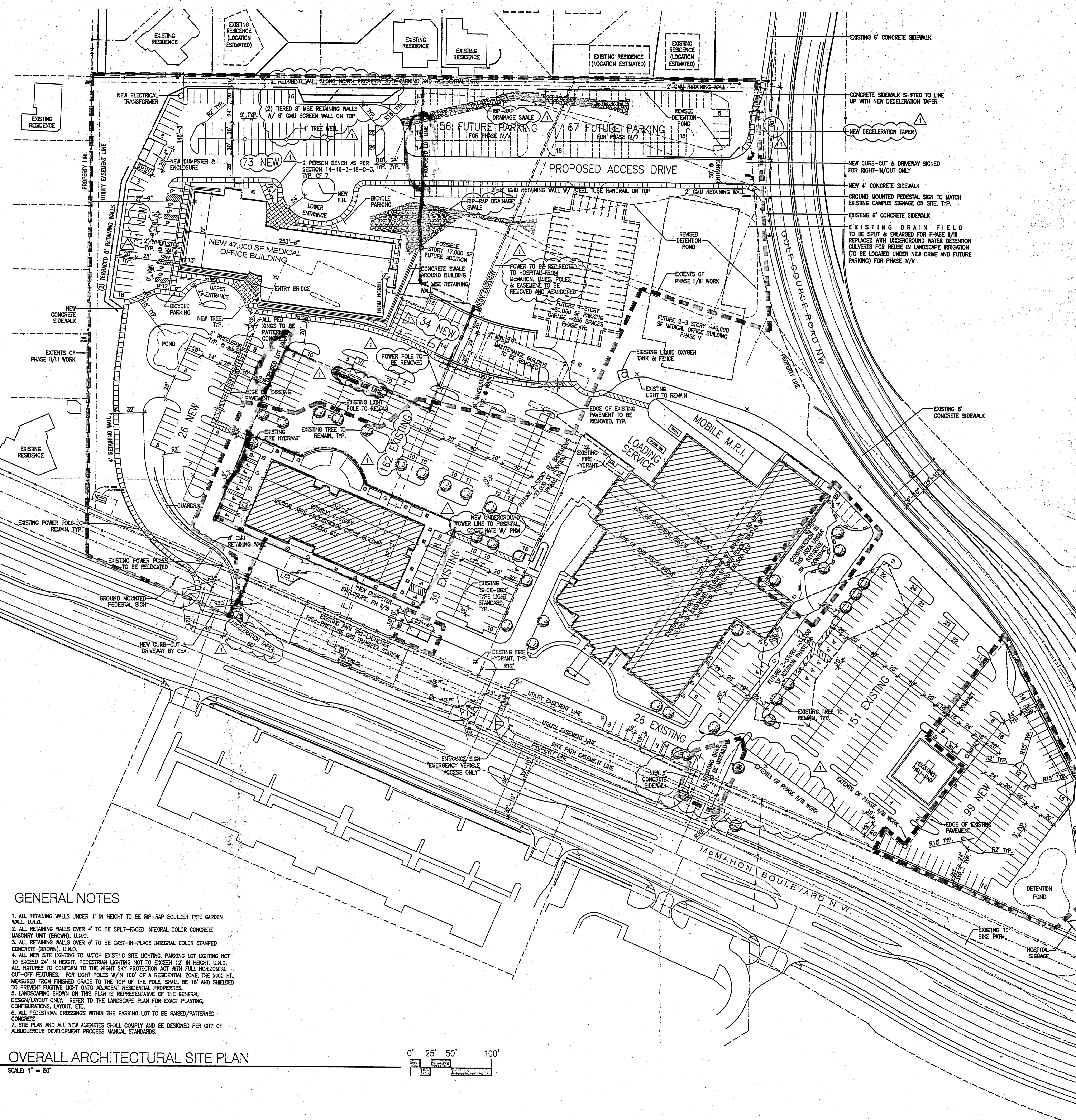
BICYCLE PARKING FOR PROPOSED M.O.B.
BICYCLE PARKING REQUIRED (1/20 RECD PARKING SPACES)
187/20 = 9.4 BICYCLE PARKING SPACES REQUIRED
14 PROVIDED (7 @ NORTH ENTRANCE & 7 @ SOUTH ENTRANCE)

BICYCLE PARKING FOR EXISTING M.O.B. & HOSPITAL
BICYCLE PARKING REQUIRED: 11 (AS PER EPC CONDITION 2E)
14 PROVIDED (7 @ MOB ENTRANCE & 7 @ HOSPITAL ENTRANCE)

ADMINISTRATIVE AMENDMENT
File # 03-01458, Project # 1002584
Zonings and other adjustments. All requirements as to zoning.
Approved by: [Signature]
DATE: 1/11/05



1002584 AA



- GENERAL NOTES
1. ALL RETAINING WALLS UNDER 4' IN HEIGHT TO BE RIP-RAP BOULDER TYPE GARDEN WALL, U.L.O.
 2. ALL RETAINING WALLS OVER 4' TO BE SPLIT-FACED INTEGRAL COLOR CONCRETE MASONRY UNIT (BROWN), U.L.O.
 3. ALL RETAINING WALLS OVER 6' TO BE CAST-IN-PLACE INTEGRAL COLOR STAMPED CONCRETE (BROWN), U.L.O.
 4. ALL NEW SITE LIGHTING TO MATCH EXISTING SITE LIGHTING. PARKING LOT LIGHTING NOT TO EXCEED 24" IN HEIGHT. PEDESTRIAN LIGHTING NOT TO EXCEED 12" IN HEIGHT, U.L.O. ALL FIXTURES TO CONFORM TO THE NIGHT SKY PROTECTION ACT WITH FULL HORIZONTAL CUT-OFF FEATURES. FOR LIGHT POLES W/IN 100' OF A RESIDENTIAL ZONE, THE MAX. HT. MEASURED FROM FINISHED GRADE TO THE TOP OF THE POLE SHALL BE 16' AND SHIELDED TO PREVENT FUGITIVE LIGHT ONTO ADJACENT RESIDENTIAL PROPERTIES.
 5. LANDSCAPING SHOWN ON THIS PLAN IS REPRESENTATIVE OF THE GENERAL DESIGN/LAYOUT ONLY. REFER TO THE LANDSCAPE PLAN FOR EXACT PLANTING, CONFIGURATIONS, LAYOUT, ETC.
 6. ALL PEDESTRIAN CROSSINGS WITHIN THE PARKING LOT TO BE RAISED/PATTERNED CONCRETE.
 7. SITE PLAN AND ALL NEW ADVERTISEMENTS SHALL COMPLY AND BE DESIGNED PER CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL STANDARDS.

A1 OVERALL ARCHITECTURAL SITE PLAN
SCALE: 1" = 50'
0' 25' 50' 100'

THE DESIGN GROUP
ARCHITECTS PLANNERS INTERIORS DESIGNERS
303 CENTRAL AVENUE SE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.263.8888 FAX: 505.263.8880

PROJECT NAME:
West Mesa Medical Center
Medical Office Building
Golf Course & McMahon NW, Albuquerque, NM
REVISIONS

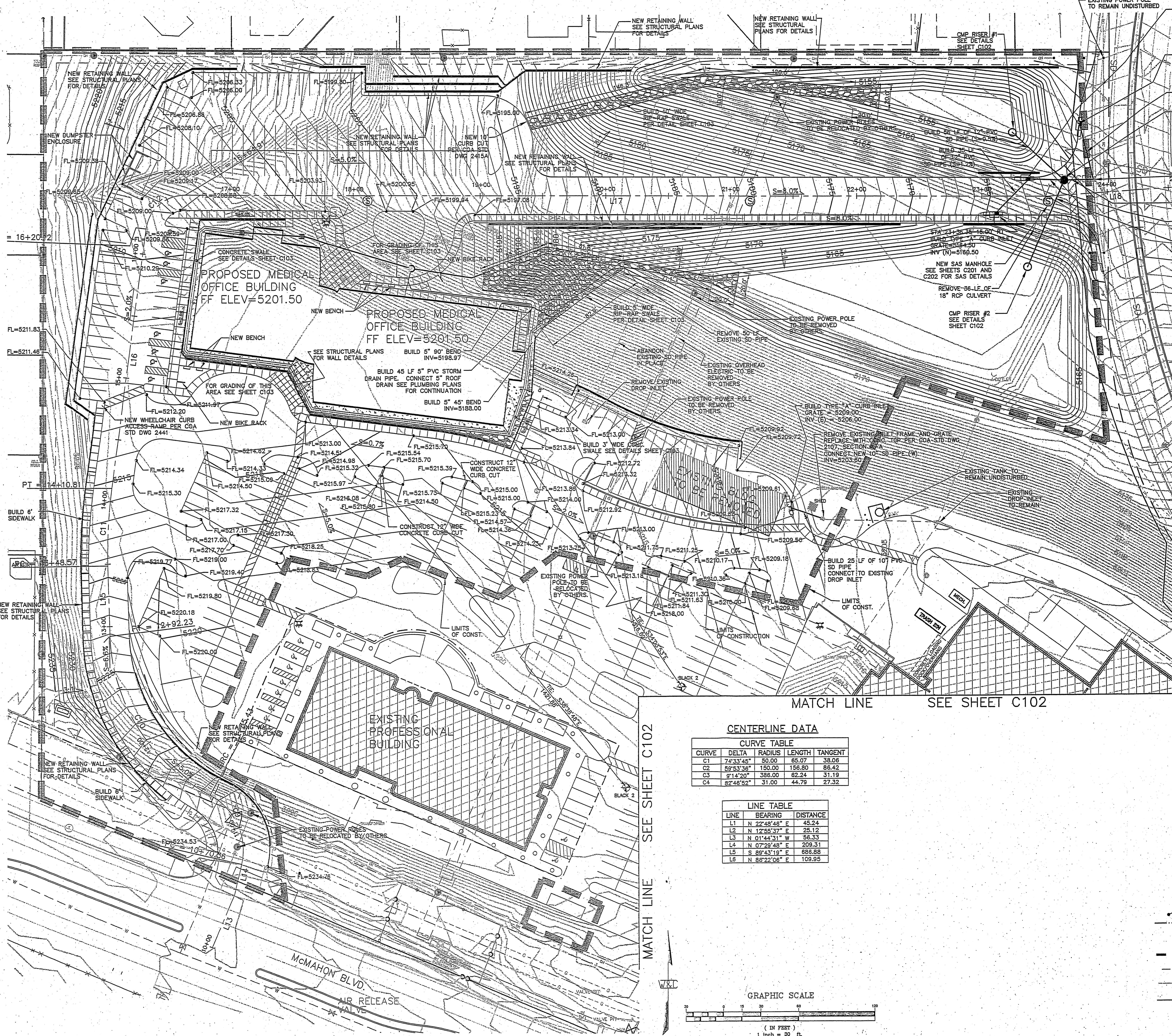
NO.	DATE	DESCRIPTION
1	9/16/04	ADMINISTRATIVE AMENDMENT

SHEET TITLE:
Phase II & III Site Development Plan
For Building Permit

DESIGNED: EPH
CHECKED: DJM
DATE: 9/15/2004

SCALE: 1" = 50'
JOB NO.: 4003
COMP. FILE: 15P

SHEET 1 OF 6



NOTES
 1. SEE SHEETS C104 THRU C107 FOR CURB DETAILS.
 2. SEE STRUCTURAL PLANS FOR TOP AND BOTTOM OF WALL ELEVATIONS.

STA 23+36.35-15.00' LT
 BUILD TYPE "A" CURB INLET
 GRATE=5164.00
 INV (S)=5160.10
 INV (E)=5160.00

STA 23+80.94-55.97' LT
 BUILD TYPE "A" CURB INLET
 GRATE=5155.27
 INV (S)=5152.66

BUILD 46 LF OF 18" RCP
 SD PIPE (S=1.0%)

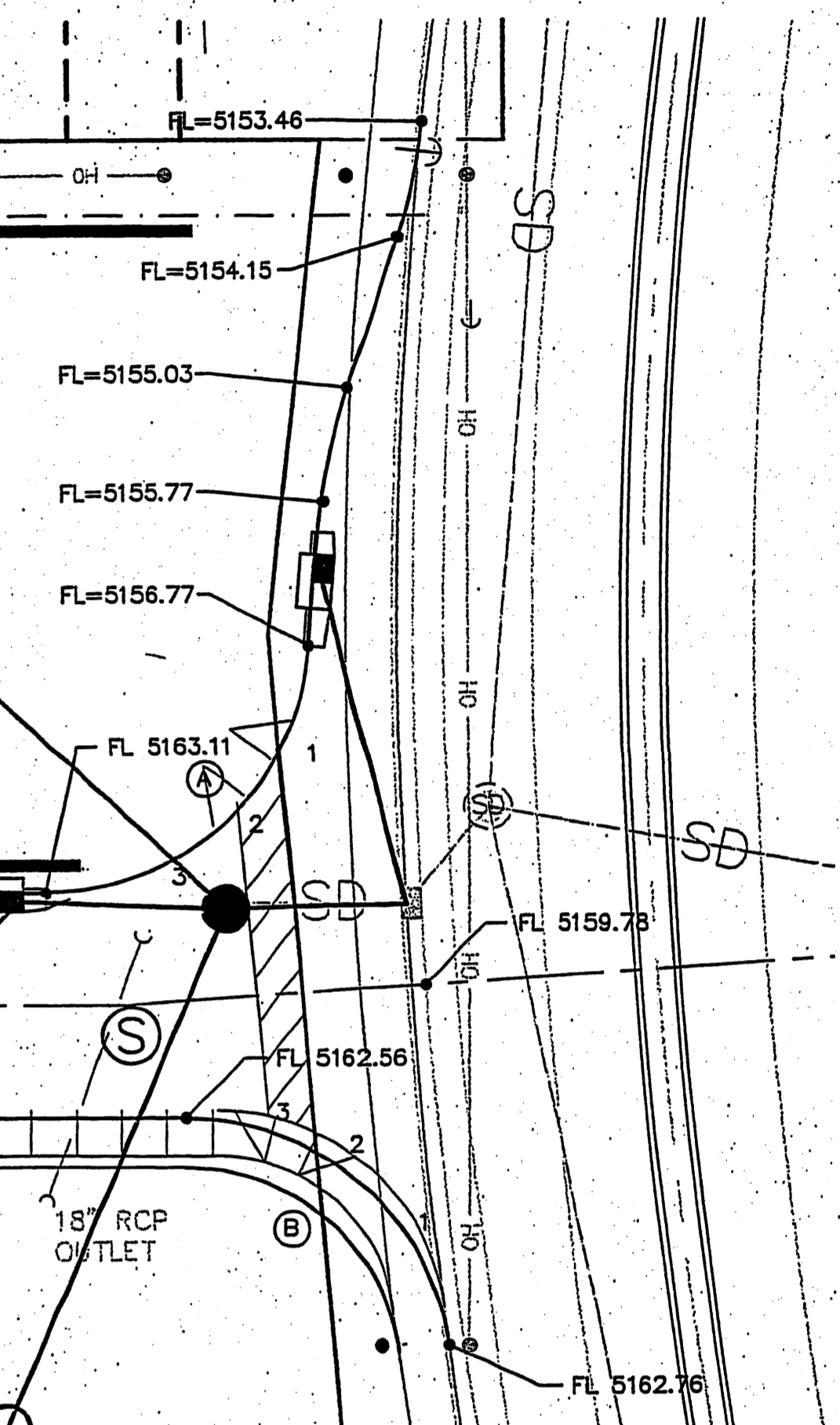
STA 23+65.85-11.85' LT
 REMOVE EXISTING DROP INLET
 BUILD 6" DIAM MANHOLE
 RIM=5162.00
 INV (W)=5158.50
 INV (E)=5152.82
 INV (NW)=5152.92
 INV (SW)=5158.00

REMOVE EXISTING INLET FRAME AND GRATE.
 REPLACE WITH CONC. TOP PER COA STD DWG
 2107, SECTION A-A
 CONNECT NEW 12" SD PIPE (W)
 INV=5152.20
 CONNECT NEW 18" SD PIPE (N)
 INV=5152.20

BUILD 24 LF OF 18" RCP
 SD PIPE (S=8.0%)

BUILD 27 LF OF 12" PVC
 SD PIPE (S=5.5%)

BUILD 75 LF OF 12" PVC
 SD PIPE (S=5.3%)



GOLF COURSE ROAD DRIVEWAY DETAIL
 SCALE: 1"=20'

LEGAL DESCRIPTION
 TRACT 1A OF PARADISE HEIGHTS
 UNIT ONE BERNALILLO COUNTY
 TOWN OF ALAMEDA, ALBUQUERQUE, N.M.

BENCH MARK
 THE STA. IS A USGS BRASS TABLET STAMPED
 "BLACK-2 1977" SET FLUSH W/THE GROUND. THE
 STA. IS LOCATED 8.5 MI. N.W. OF DOWNTOWN ALBQ.
 TO REACH THE STA. FROM THE INTX. OF COORS/1-40
 GO N. ON COORS 5.8 MI. TO PARADISE BLVD., W. ON
 PARADISE BLVD. 1.1 MI. TO GOLF COURSE RD., N. ON
 GOLF COURSE RD. 1.3 MI. TO McMAHON BLVD. THE
 STA IS ON THE LEFT. ELEVATION = 5213.926 (2ND
 ORDER) (NGVD 29)

CENTERLINE DATA

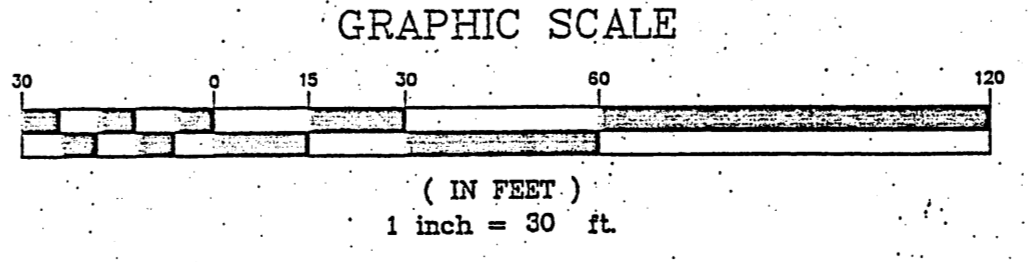
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	74°33'45"	50.00	65.07	38.66
C2	59°53'38"	150.00	156.20	86.42
C3	9°14'20"	386.00	62.24	31.19
C4	82°48'52"	31.00	44.79	27.32

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 22°48'46" E	45.24
L2	N 12°55'37" E	25.12
L3	N 01°44'31" W	56.33
L4	N 07°29'48" E	209.31
L5	S 89°43'19" E	686.88
L6	N 86°22'06" E	109.95

MATCH LINE SEE SHEET C102

MATCH LINE SEE SHEET C102



LEGEND

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- NEW INTERMEDIATE CONTOUR
- 18" NEW INDEX CONTOUR
- SD EXISTING STORM DRAIN
- SD NEW STORM DRAIN
- EXISTING DROP INLET
- NEW RIPRAP
- FLOW ARROW
- NEW STORM DRAIN MANHOLE
- FL NEW FLOWLINE ELEVATION
- PROPERTY LINE
- NEW DROP INLET
- LIMITS OF DEMOLITION
- UTILITY EASEMENT
- OH EXISTING OVERHEAD ELECTRIC/POLE
- NEW WATER BLOCK

SUBMITTED FOR BUILDING
 PERMIT REVIEW



WILSON & COMPANY
 ARCHITECTS • PLANNERS • INTERIOR DESIGN
 4900 LANG AVENUE N.E.
 SUITE 100
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000

THE DESIGN GROUP
 ARCHITECTS • PLANNERS • INTERIOR DESIGN
 335 CENTRAL AVENUE SE SUITE 200
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: 505.342.8888 FAX: 505.242.6881

PROJECT NAME:
**West Mesa Medical Center
 Medical Office Building**
 Golf Course & McMahon NW, Albuquerque, NM

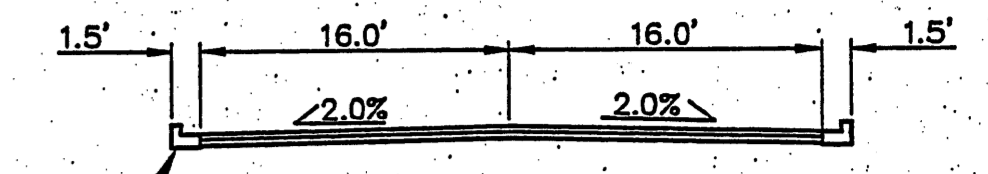
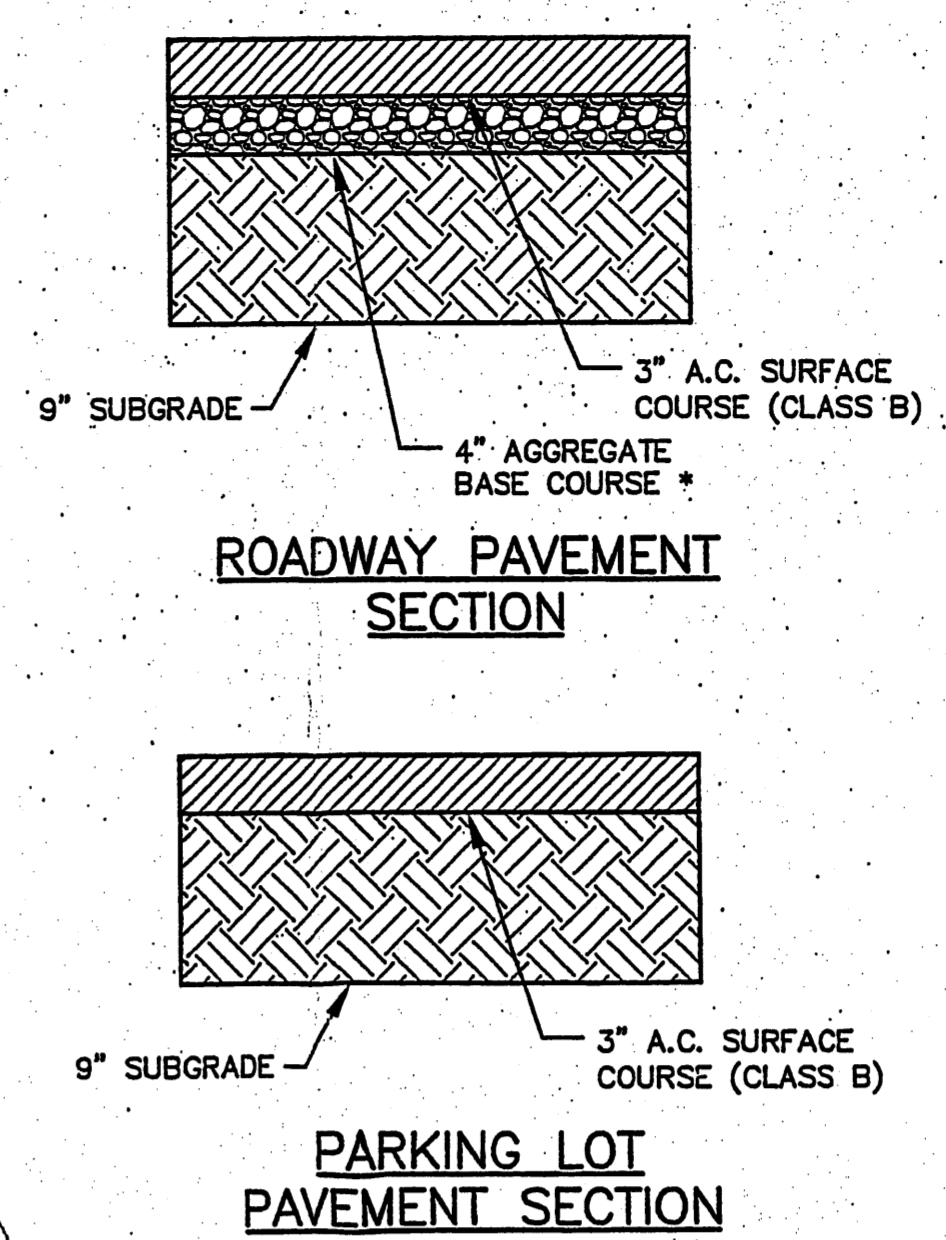
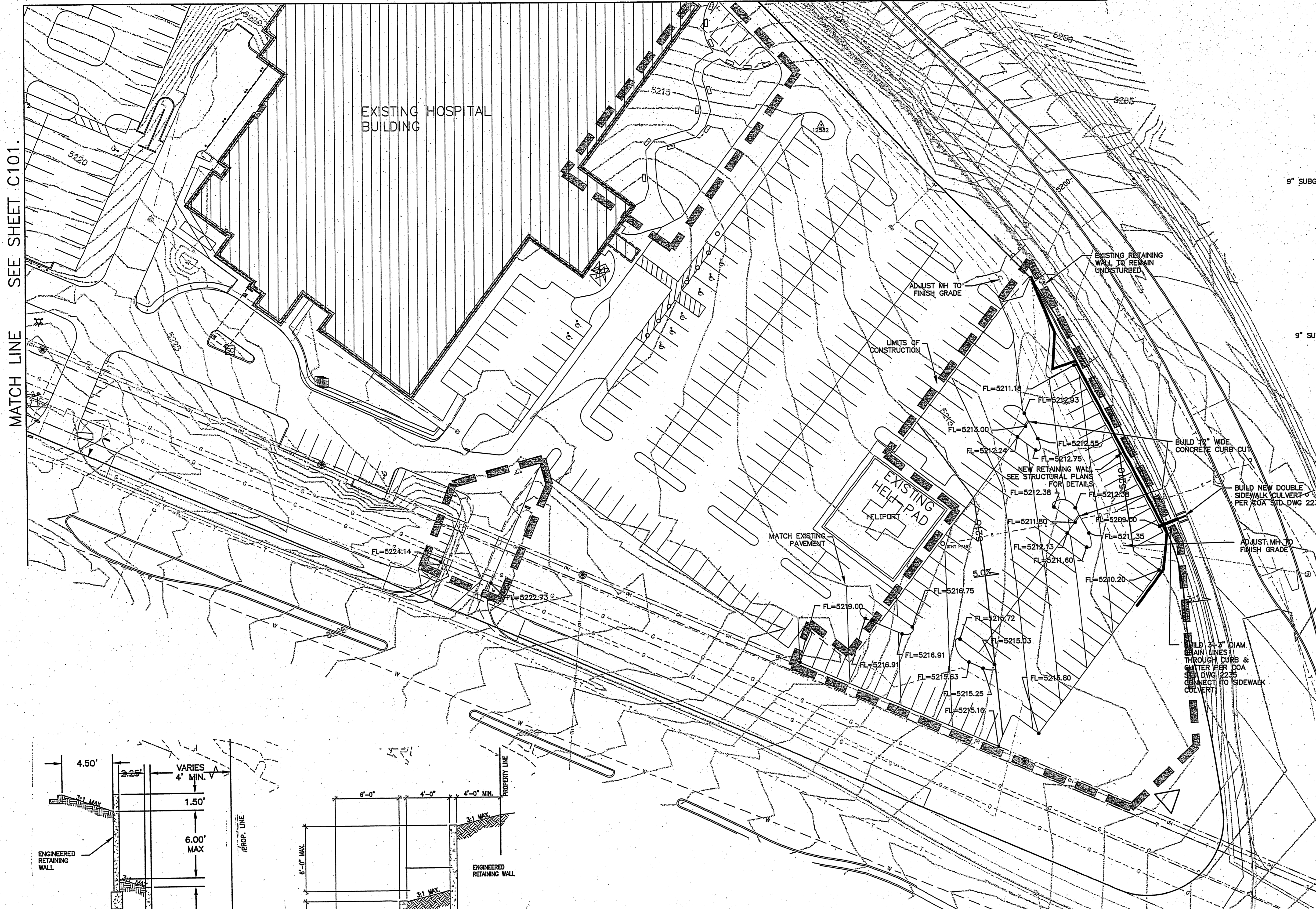
REVISIONS

NO.	DATE	DESCRIPTION

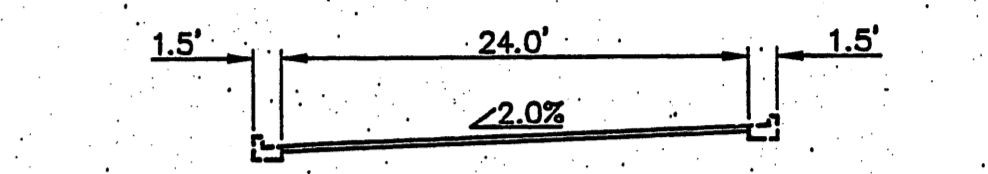
SHEET TITLE:
CIVIL SITE PLAN

DESIGNED BY: [Name] SCALE: 4003-MCB
 CHECKED BY: [Name] JOB NO.:
 DATE: 7/9/2004 COND. FILE:

SHEET 3 OF 6



ROADWAY TYPICAL SECTIONS
 STA 10+00.00 TO STA 13+30.00
 AND STA 18+00.00 TO END

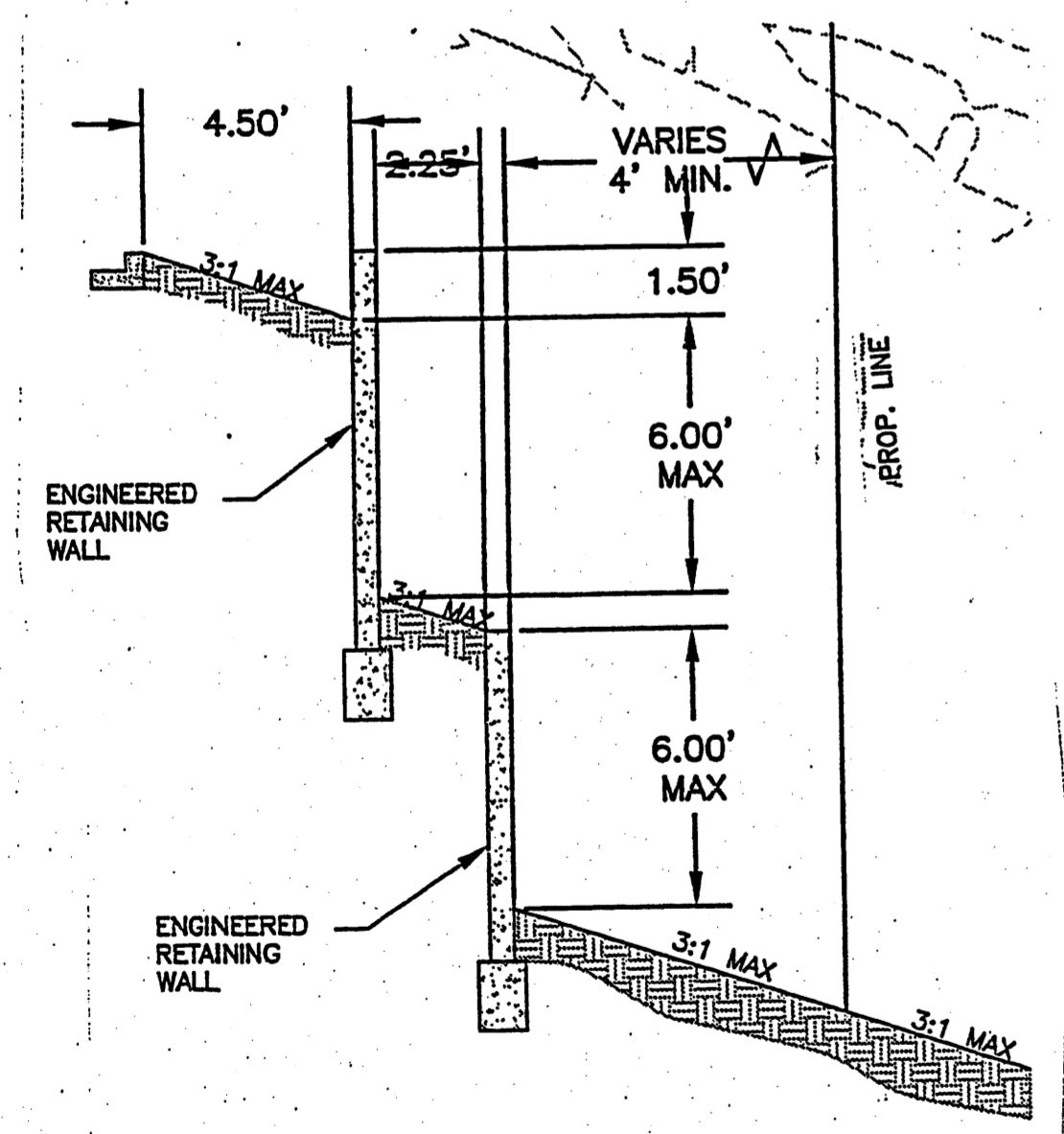


ROADWAY TYPICAL SECTIONS
 STA 13+30.00 TO STA 14+70.00
 AND STA 16+64.00 TO STA 18+00.00

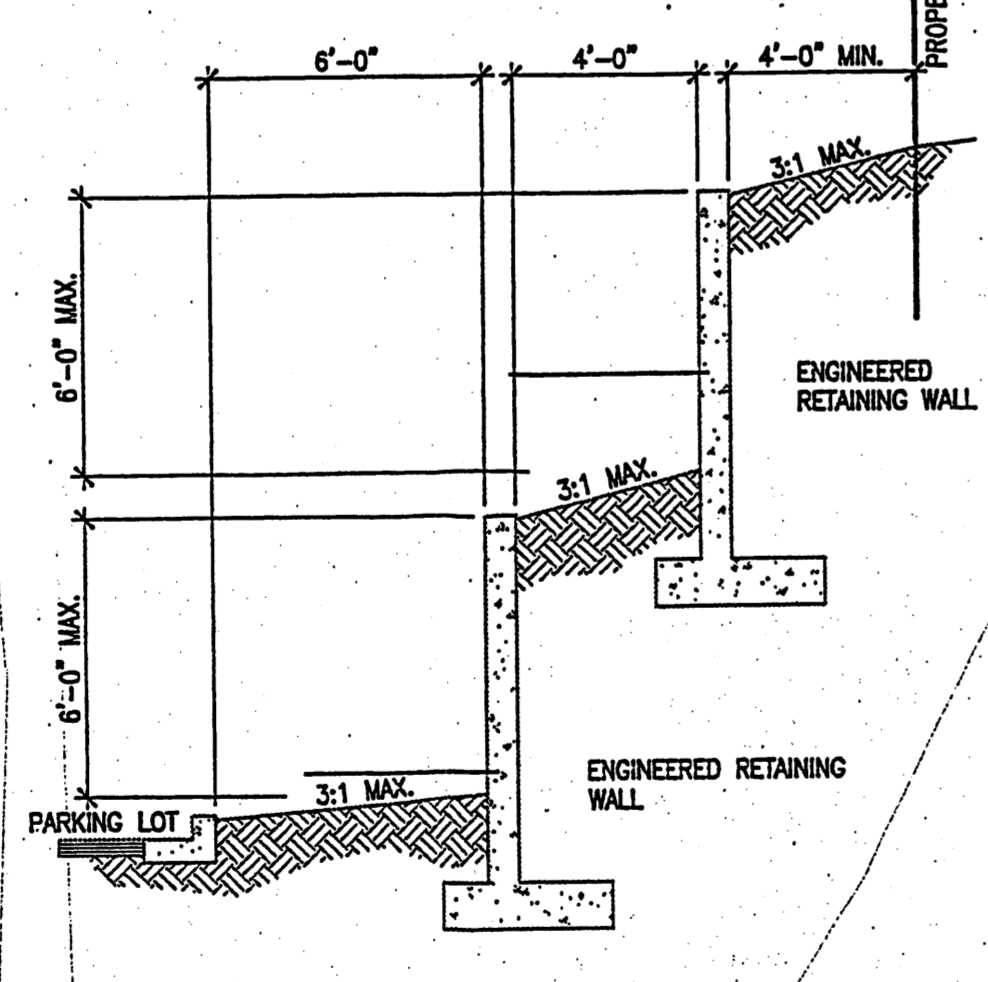
* AGGREGATE BASE COURSE SHALL CONSIST OF CLASS I OR CLASS II MATERIAL PER SEC. 302 OF COA STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

MATCH LINE SEE SHEET C101.

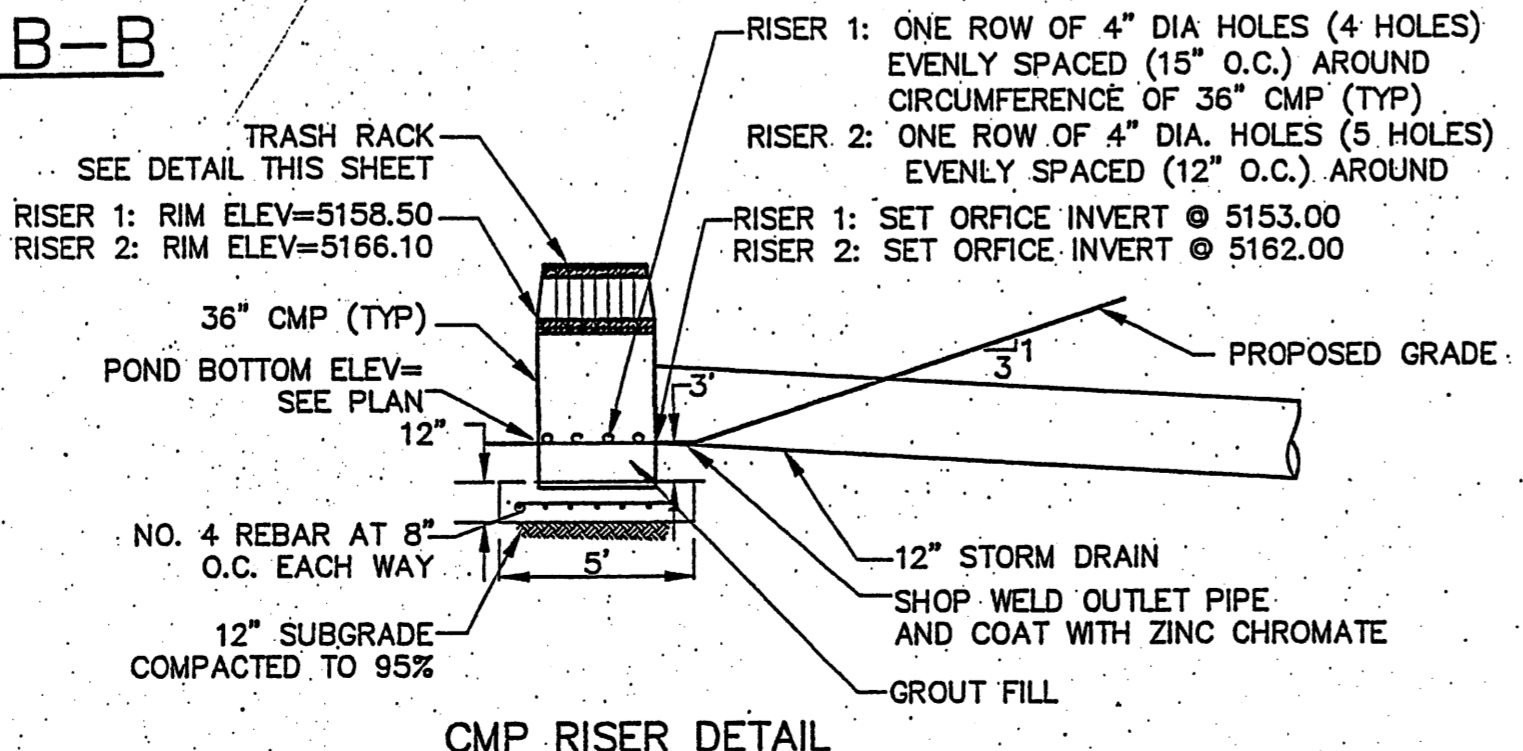
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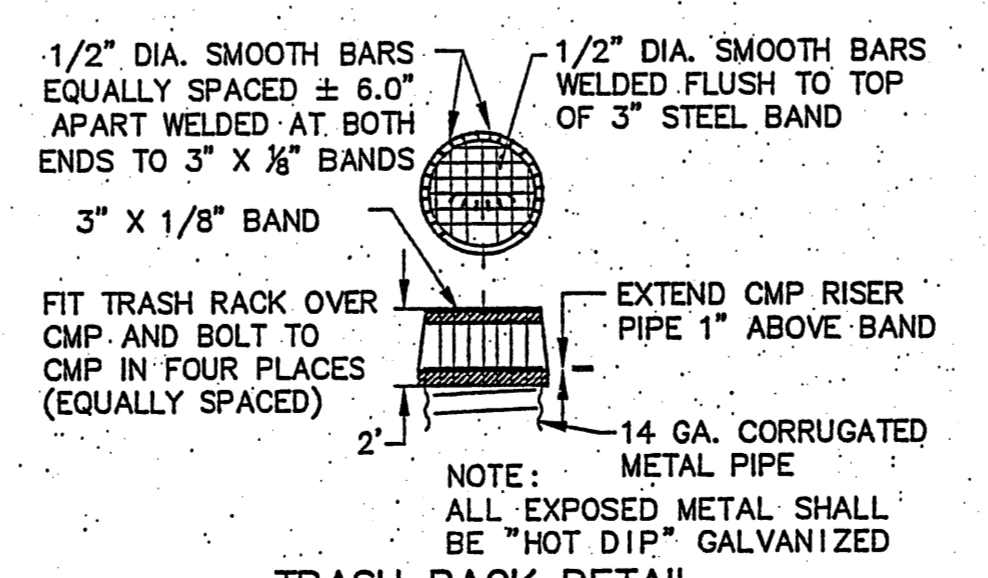
SECTION A-A
 NTS



SECTION B-B
 NTS



CMP RISER DETAIL
 SCALE: 1"=5'

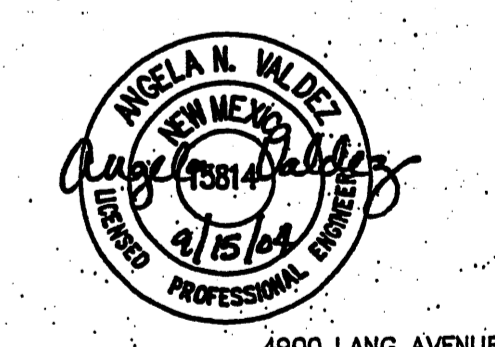


TRASH RACK DETAIL
 SCALE: 1"=5'

LEGEND

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- NEW INTERMEDIATE CONTOUR
- 5180 — NEW INDEX CONTOUR
- SD — EXISTING STORM DRAIN
- SD — NEW STORM DRAIN
- EXISTING DROP INLET
- NEW RIPRAP
- NEW STORM DRAIN MANHOLE
- FL — NEW FLOWLINE ELEVATION
- PROPERTY LINE
- NEW DROP INLET
- LIMITS OF DEMOLITION
- UTILITY EASEMENT
- OH — EXISTING OVERHEAD ELECTRIC/POLE
- NEW MEDIAN TYPE CURB AND GUTTER

SUBMITTED FOR BUILDING PERMIT REVIEW



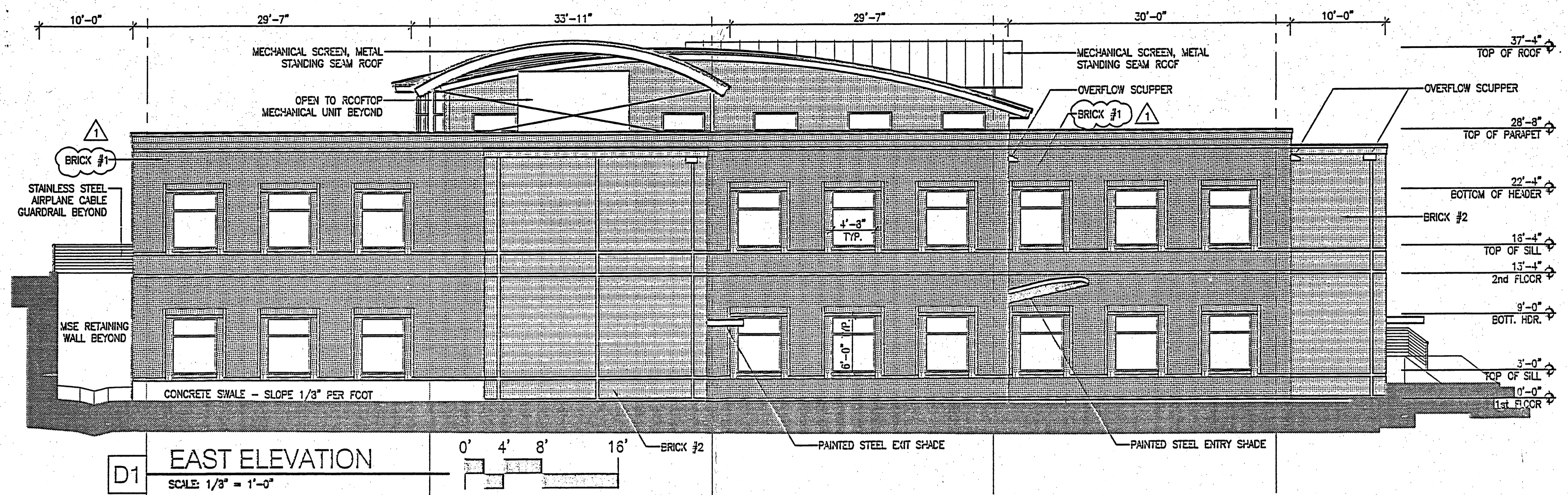
WILSON & COMPANY
 4000 LANG AVENUE N.E. SUITE 100 ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000

THE DESIGN GROUP
 ARCHITECTS - PLANNERS - INTERIOR DESIGN
 241 CENTRAL AVENUE SE SUITE 200 ALBUQUERQUE, NEW MEXICO 87102 PHONE: 505.242.6187 FAX: 505.242.6181

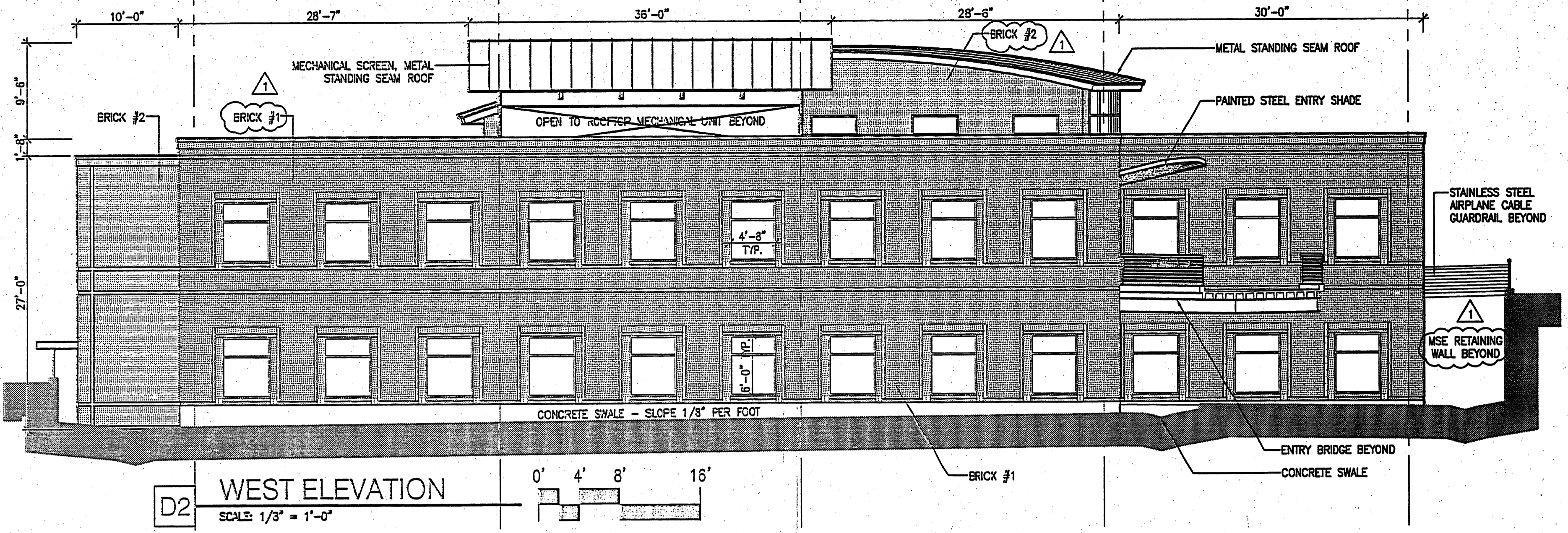
PROJECT NAME:
 West Mesa Medical Center
 Medical Office Building
 Golf Course & McMahon NW, Albuquerque, NM

NO.	DATE	DESCRIPTION

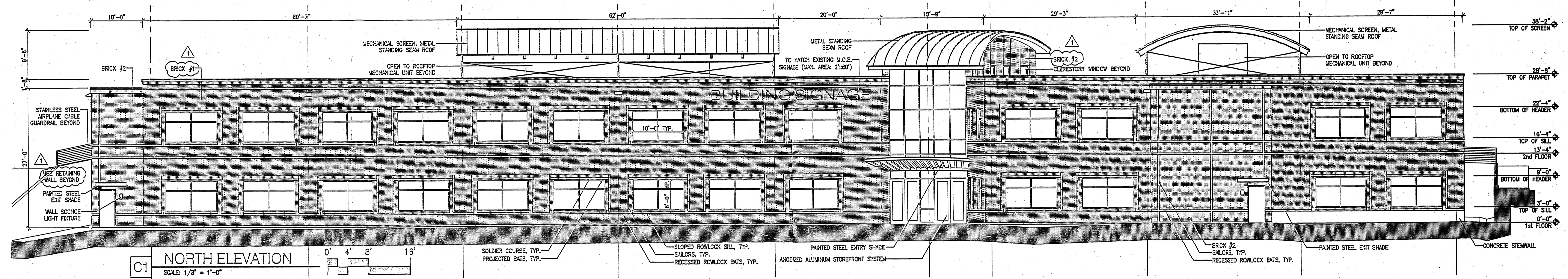
DESIGNED: _____ **SCALE:** _____
CHECKED: _____ **JOB NO.:** 4003-MCB
DATE: 7/9/2004 **COMP. FILE:** _____



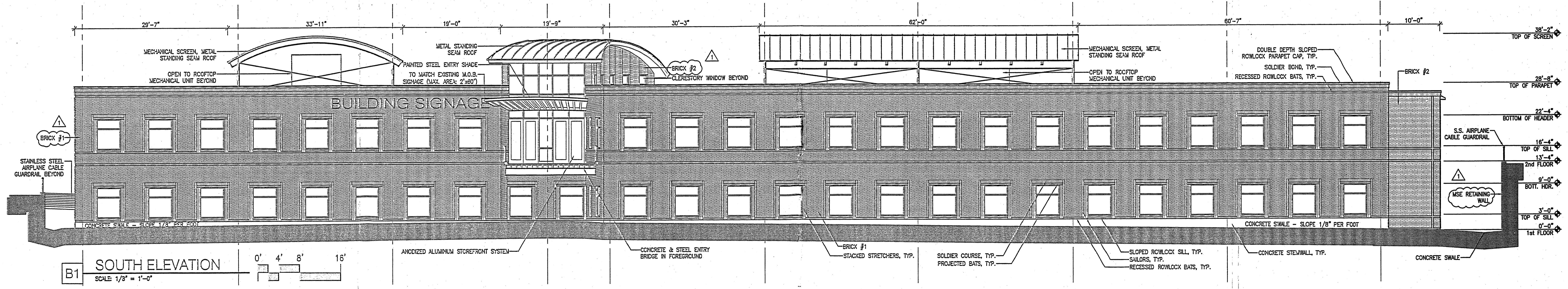
D1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



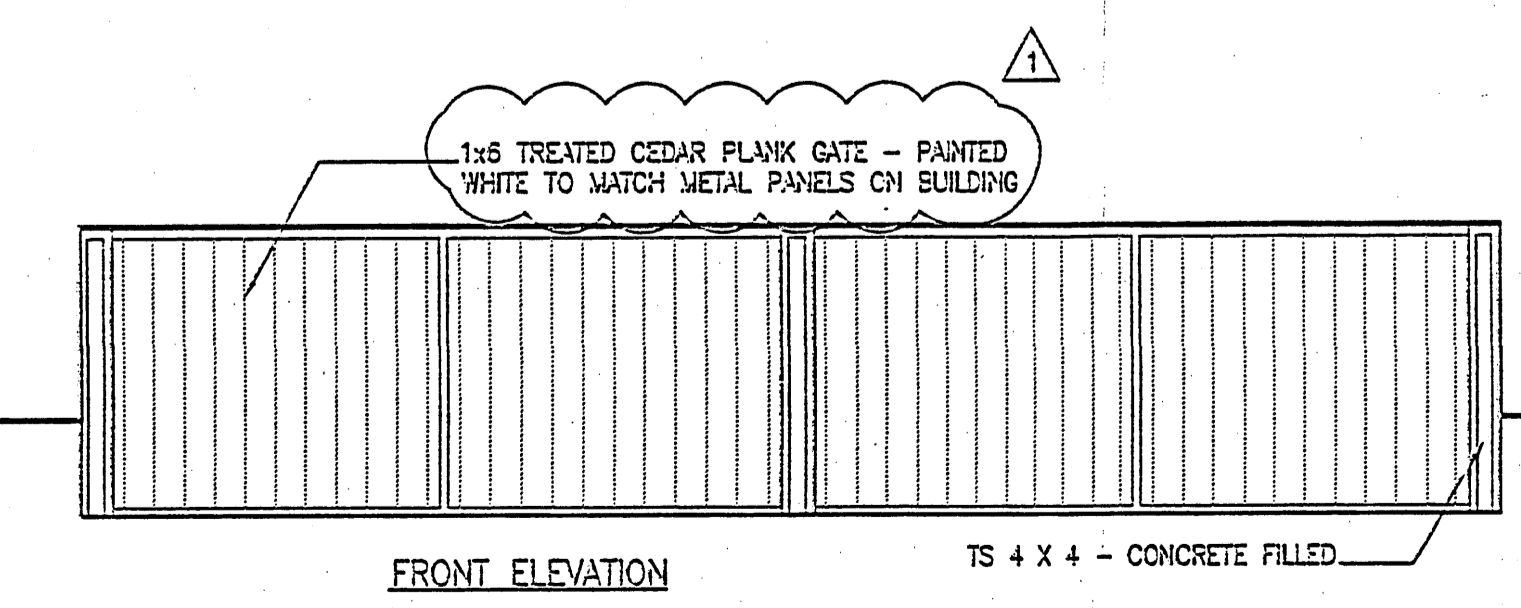
D2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



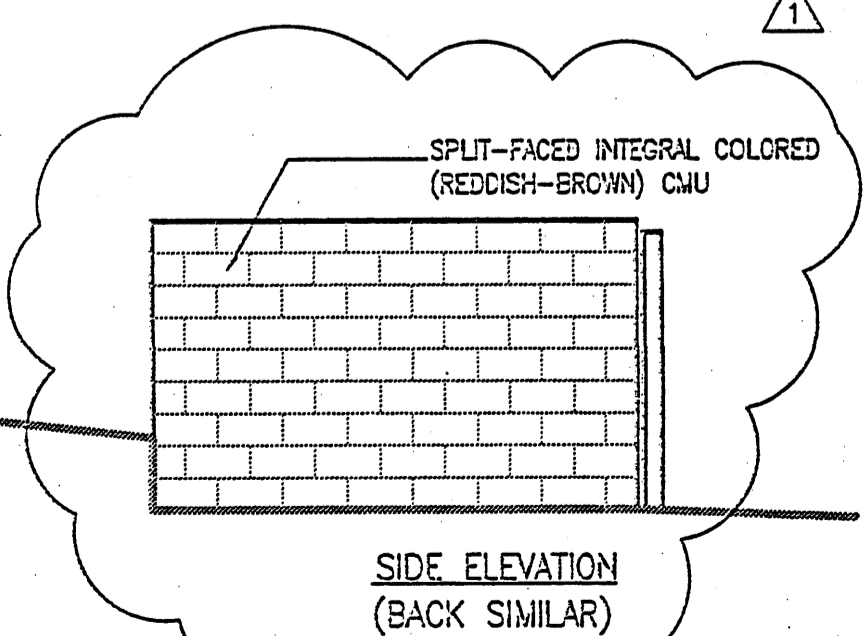
C1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



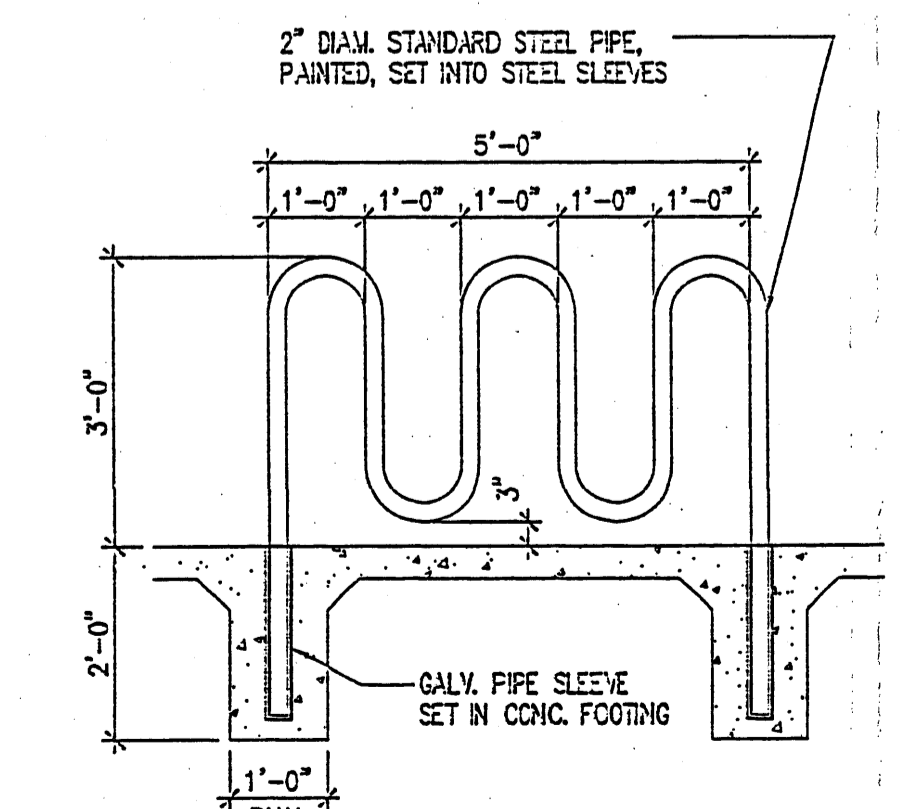
B1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



A4 DUMPSTER ENCLOSURE ELEVATIONS
SCALE: 1/4" = 1'-0"



A6 ENTRY DRIVE SIGNAGE
SCALE: 1/8" = 1'-0"



A7 BIKE RACK
SCALE: 1/2" = 1'-0"

- FINISH LEGEND:**
- BRICK #1: ENDICOTT 'DARK IRONSPOT' IRIDESCENT DARK BROWN/BLACK
 - BRICK #2: MATCH EXISTING HOSPITAL 'YELLOW' BRICK
- GENERAL NOTES:**
1. ALL GLAZING TO BE 1" INSULATED IN ANODIZED ALUMINUM STOREFRONT
 2. ALL GLAZING ON SOUTH, EAST & WEST FACES TO BE LOW-E
 3. ALL ALUMINUM STOREFRONT, FLASHING, SCUPPERS, ETC. TO REMAIN UNFINISHED.
 4. ALL STANDING SEAM ROOFING TO BE PAINTED WHITE 'KYNAR' FINISH
 5. ALL MISCELLANEOUS METAL WORK TO BE PAINTED WHITE 'KYNAR' FINISH
 6. ALL BRICK TO BE RUNNING BOND UNLESS NOTED OTHERWISE

THE DESIGN GROUP
ARCHITECTS PLANNERS INTERIORS DESIGN
505 CENTRAL AVENUE SE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6600 FAX: 505.242.6491

PROJECT NAME:
West Mesa Medical Center
Medical Office Building
Golf Course & McMahon NW, Albuquerque, NM

REVISIONS

No.	DATE	DESCRIPTION
1	9/16/04	ADMINISTRATIVE AMENDMENT

SHEET TITLE:
Exterior Building Elevations

DESIGNED: EPH SCALE: 1/8" = 1'-0"
CHECKED: DJM JOB NO: 4003
DATE: 9/16/04 COMP. FILE: A201-4003

SHEET 6 OF 6