

COMPARATIVE SITE ANALYSIS BETWEEN PAST & PRESENT  
1988 APPROVED EPC CURRENT EPC

1988 APPROVED EPC	CURRENT EPC
115,000 SF EXISTING HOSPITAL	125,500 SF EXISTING HOSPITAL
305,000 SF PROPOSED 3RD FLOOR EXPANSION	61,000 SF PROPOSED ADDITIONS
35,000 SF EXISTING MEDICAL OFFICE BUILDING	35,000 SF EXISTING MEDICAL OFFICE BUILDING
3,500 EXISTING MAINTENANCE SHED	-3,500 EXISTING MAINTENANCE SHED TO BE REMOVED
43,200 SF PROPOSED IN (1) 1-STORY MEDICAL OFFICE BUILDINGS FOR PHASE II OF THE WEST MESA MEDICAL CENTER MASTERPLAN	47,000 SF PROPOSED 2-STORY MEDICAL OFFICE BUILDING REPLACING PHASES II/III OF THE WEST MESA MEDICAL CENTER MASTERPLAN
10,000 SF PROPOSED 1-STORY AMBULATORY SERVICES BUILDING FOR PHASE II OF THE WEST MESA MEDICAL CENTER MASTERPLAN	
80,000 4-STORY PARKING GARAGE (288 SPACES) PHASE IV	77,000 4-STORY PARKING GARAGE (256 SPACES) PHASE IV
46,000 SF PROPOSED 2103-2-STORY MEDICAL OFFICE BUILDINGS FOR PHASE V OF THE WEST MESA MEDICAL CENTER MASTERPLAN	46,000 SF PROPOSED 2103-2-STORY MEDICAL OFFICE BUILDING FOR PHASE V OF THE WEST MESA MEDICAL CENTER MASTERPLAN
GRAND TOTAL OF 522,700 GSF	GRAND TOTAL OF 408,500 GSF

PARKING DATA

**PARKING REQUIRED FOR EXISTING HOSPITAL:**  
130 BEDS @ 1 SPACE / 2 BEDS = 65 SPACES  
28 DOCTORS @ 5 SPACES / DOCTOR = 140 SPACES  
TOTAL SPACES REQUIRED FOR HOSPITAL = 205 SPACES

**PARKING REQUIRED FOR EXISTING MEDICAL ARTS BUILDING:**  
35,000 SF X .85% NET LEASABLE SPACE = 29,750 GSF  
1ST FLOOR AT 14,875 SF @ 1 SPACE / 200 SF = 75 SPACES  
2ND FLOOR AT 14,875 SF @ 1 SPACE / 300 SF = 50 SPACES  
TOTAL SPACES REQUIRED FOR MEDICAL ARTS BUILDING = 125 SPACES

**PARKING REQUIRED FOR NEW MEDICAL OFFICE BUILDING:**  
47,000 SF X .85% NET LEASABLE SPACE = 40,000 GSF  
1ST FLOOR AT 20,000 SF @ 1 SPACE / 200 SF = 100 SPACES  
2ND FLOOR AT 20,000 SF @ 1 SPACE / 300 SF = 67 SPACES  
TOTAL SPACES REQUIRED FOR NEW M.O.B. = 167 SPACES

**TOTAL REQUIRED = 495 SPACES**  
TOTAL PROVIDED = 645 SPACES

**PARKING REQUIRED FOR FUTURE HOSPITAL ADDITIONS:**  
80 BEDS / 2 BEDS PER SPACE = 40 SPACES  
61,000 SF / 900 SF PER DOCTOR = 68 SPACES  
(OR ~ 5 SPACES PER DOCTOR AT 14 NEW DOCTORS)  
TOTAL SPACES REQUIRED FOR ADDITIONS = 108 SPACES

**PARKING FOR FUTURE MEDICAL OFFICE BUILDING:**  
46,000 SF X .85% NET LEASABLE SPACE = 39,100 GSF  
1ST FLOOR AT 10,000 SF @ 1 SPACE / 200 SF = 50 SPACES  
2ND FLOOR AT 19,000 SF @ 1 SPACE / 300 SF = 63 SPACES  
3RD FLOOR AT 6,000 SF @ 1 SPACE / 300 SF = 20 SPACES  
TOTAL SPACES REQUIRED FOR FUTURE M.O.B. = 133 SPACES

**TOTAL ADDITIONAL REQUIRED = 241 SPACES**  
**TOTAL ADDITIONAL PLANNED FOR = 373 SPACES**

ENTIRE SITE GRAND TOTAL REQUIRED = 750 SPACES  
ENTIRE SITE GRAND TOTAL PLANNED = 1024 SPACES

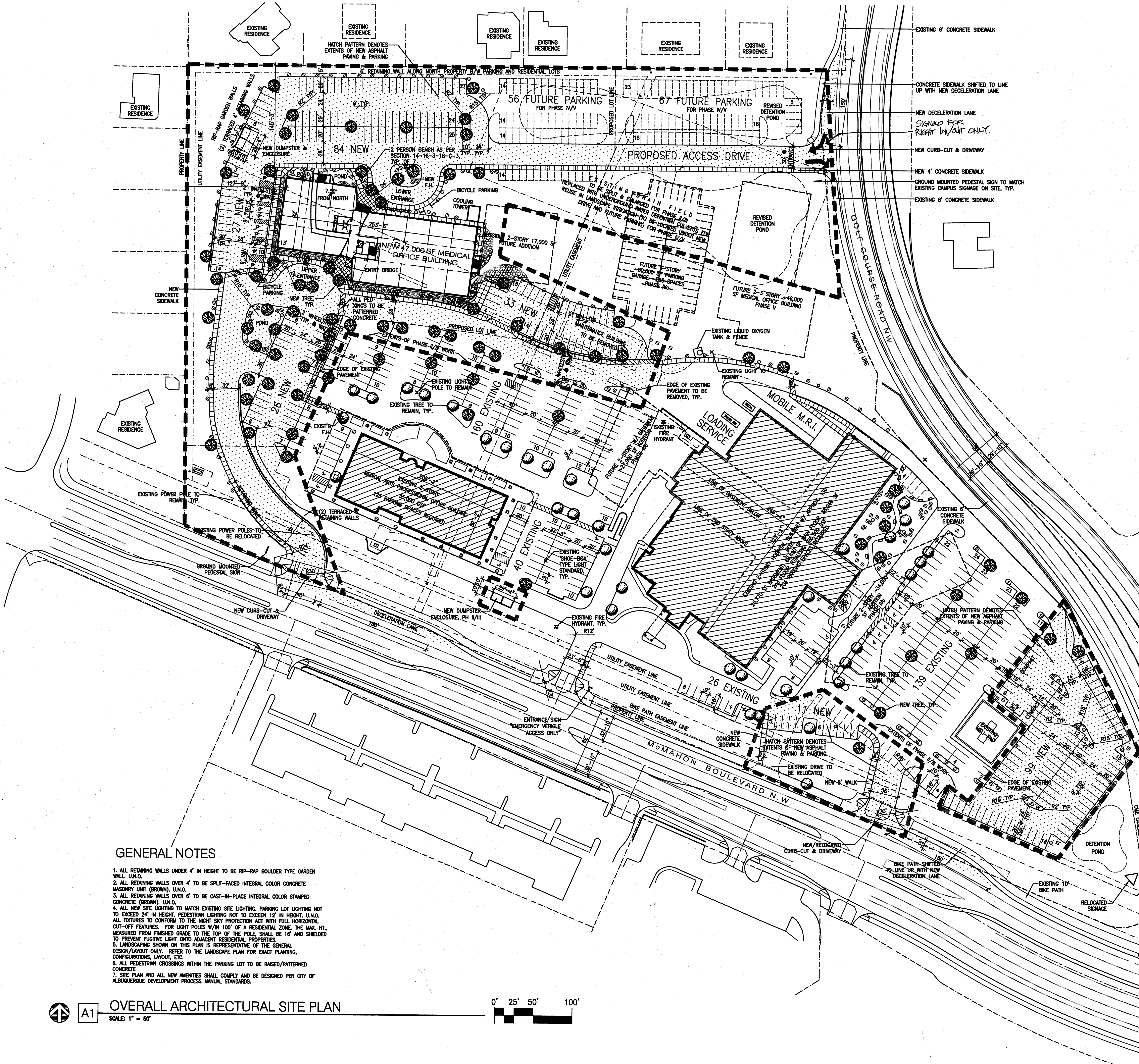
**BICYCLE PARKING FOR PROPOSED M.O.B.**  
BICYCLE PARKING REQUIRED (1/20 REQ'D PARKING SPACES)  
107/20 = 5.4 BICYCLE PARKING SPACES REQUIRED  
14 PROVIDED (7 @ NORTH ENTRANCE & 7 @ SOUTH ENTRANCE)

**BICYCLE PARKING FOR EXISTING M.O.B. & HOSPITAL**  
BICYCLE PARKING REQUIRED: 11 (AS PER EPC CONDITION 2E)  
14 PROVIDED (7 @ MOB ENTRANCE & 7 @ HOSPITAL ENTRANCE)

PROJECT DATA

ADDRESS: 10501 GOLF COURSE ROAD NW, ALBUQUERQUE, NM  
LEGAL DESCRIPTION: PARCEL ID #101206644815040401 TR 1-A ST JOSEPH WEST MESA HOSPITAL PARADISE HEIGHTS UNIT #10CONT 20.0829 AC  
ZONING: SU-1 FOR HOSPITAL USE  
TOTAL ACREAGE: 19.03 ACRES (828,905 S.F.)  
BUILDING AREA: ~47,000 G.S.F.  
BUILDING USE: MEDICAL OFFICE  
BUILDING CODE ANALYSIS (UBC 1997)  
OCCUPANCY GROUP: B - OFFICE AREA  
STORIES ALLOWED: 2  
STORIES PROVIDED: 2  
MAXIMUM BUILDING HEIGHT ALLOWED: 55'  
MAXIMUM BUILDING HEIGHT PROVIDED: 28'  
OCCUPANCY LOADS:  
B - OFFICE OCCUPANCY 47,000 S.F./100: 470 OCC.

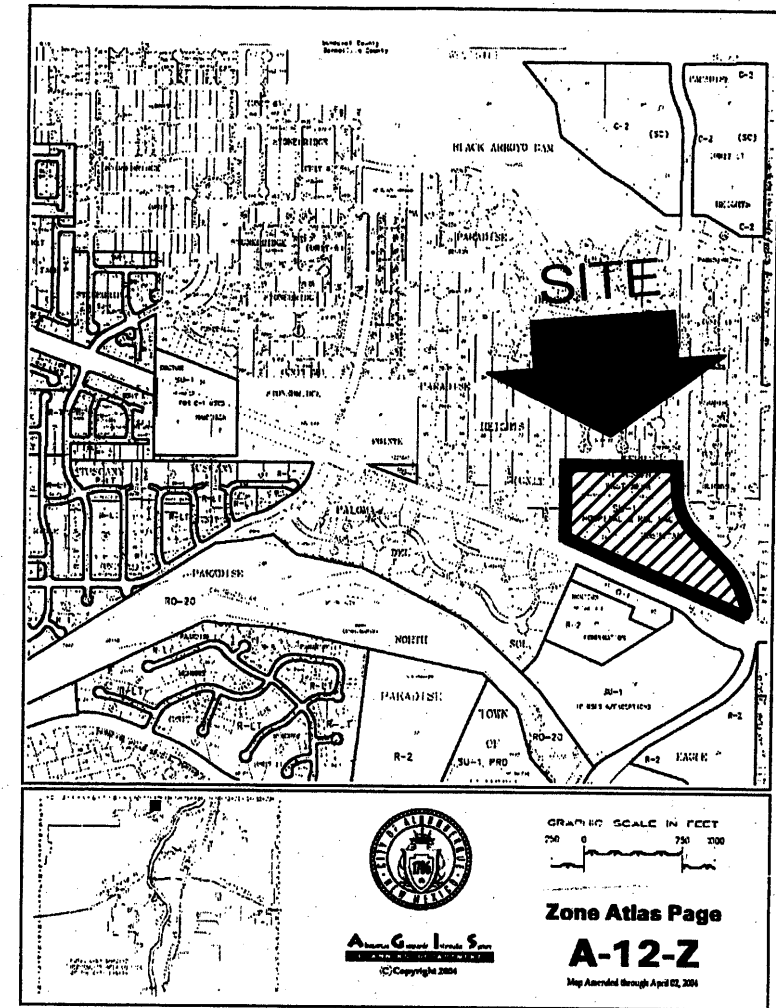
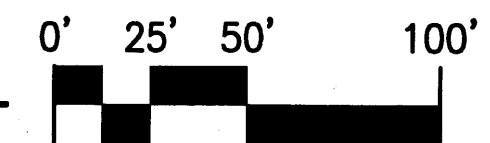
CITY PROJECT #: 1002584  
EPC #: 2-88-90  
AS #: 03-04-00579  
15411 HURON AVENUE LAW OFFICES (C) 1995 C AND IF YES THEN A SET OF APPROVED PLANS WITH A SEAL AND SIGNATURE OF THE ARCHITECT SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.  
PROJECT NUMBER: 1002584  
APPLICATION NUMBER: 04-DRB-01089  
SITE DEVELOPMENT PLAN APPROVAL:  
DATE: 7-29-04  
DATE: 7/29/04  
DATE: 7/26/04  
DATE: 12/16/04  
DATE: 7-13-04  
DATE: 7/26/04



GENERAL NOTES

1. ALL RETAINING WALLS UNDER 4' IN HEIGHT TO BE RIP-RAP BOULDER TYPE GARDEN WALL, U.N.O.
2. ALL RETAINING WALLS OVER 4' TO BE SPLIT-FACED INTEGRAL COLOR CONCRETE MASONRY UNIT (BROWN), U.N.O.
3. ALL RETAINING WALLS OVER 6' TO BE CAST-IN-PLACE INTEGRAL COLOR STAMPED CONCRETE (BROWN), U.N.O.
4. ALL NEW SITE LIGHTING TO MATCH EXISTING SITE LIGHTING. PARKING LOT LIGHTING NOT TO EXCEED 24' IN HEIGHT. PEDESTRIAN LIGHTING NOT TO EXCEED 12' IN HEIGHT, U.N.O. ALL FIXTURES TO CONFORM TO THE NIGHT SKY PROTECTION ACT WITH FULL HORIZONTAL CUT-OFF FEATURES. FOR LIGHT POLES W/IN 100' OF A RESIDENTIAL ZONE, THE MAX. HT., MEASURED FROM FINISHED GRADE TO THE TOP OF THE POLE, SHALL BE 14' AND SHIELDED TO PREVENT FUGITIVE LIGHT ONTO ADJACENT RESIDENTIAL PROPERTIES.
5. LANDSCAPING SHOWN ON THIS PLAN IS REPRESENTATIVE OF THE GENERAL DESIGN/LAYOUT ONLY. REFER TO THE LANDSCAPE PLAN FOR EXACT PLANTING, CONFIGURATIONS, LAYOUT, ETC.
6. ALL PEDESTRIAN CROSSINGS WITHIN THE PARKING LOT TO BE RAISED/PATTERNED CONCRETE.
7. SITE PLAN AND ALL NEW AMENITIES SHALL COMPLY AND BE DESIGNED PER CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL STANDARDS.

A1 OVERALL ARCHITECTURAL SITE PLAN  
SCALE: 1" = 50'



SUBMITTED FOR DRB APPROVAL  
JULY 6th, 2004  
NOT FOR CONSTRUCTION

THE DESIGN GROUP  
ARCHITECTS & PLANNERS  
303 CENTRAL AVENUE SE, SUITE 200  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE: 505.242.6800 FAX: 505.242.6801

PROJECT NAME:  
West Mesa Medical Center  
DRB Submittal  
Golf Course & McMahon NW, Albuquerque, NM

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE:  
Phase II & III Site Development Plan  
For Building Permit

DESIGNED: EPH-1 SCALE: 1" = 50'  
CHECKED: CLM JOB NO: 4003  
DATE: 6/8/2004 COMP. FILE: TSP

SHEET 1 OF 7

PROJ# 1002584

DESIGN DATA

AREA CALCULATIONS

TOTAL SITE (19.03ac.)	828,905 S.F.
BUILDING TOTAL (FIRST FLOOR) =	142,690 S.F.
NET SITE AREA =	686,215 S.F.
LANDSCAPE AREA REQUIRED =	102,932 S.F.
LANDSCAPE AREA REQUIRED AS PERCENT OF NET SITE AREA =	15%
LANDSCAPE AREA PROVIDED =	181,925 S.F.
LANDSCAPE AREA AS PERCENT OF NET SITE AREA =	26%

LANDSCAPING NOTES

ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" LAYER OF 3/4" SANTA ANA TAN GRAVEL.

TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.

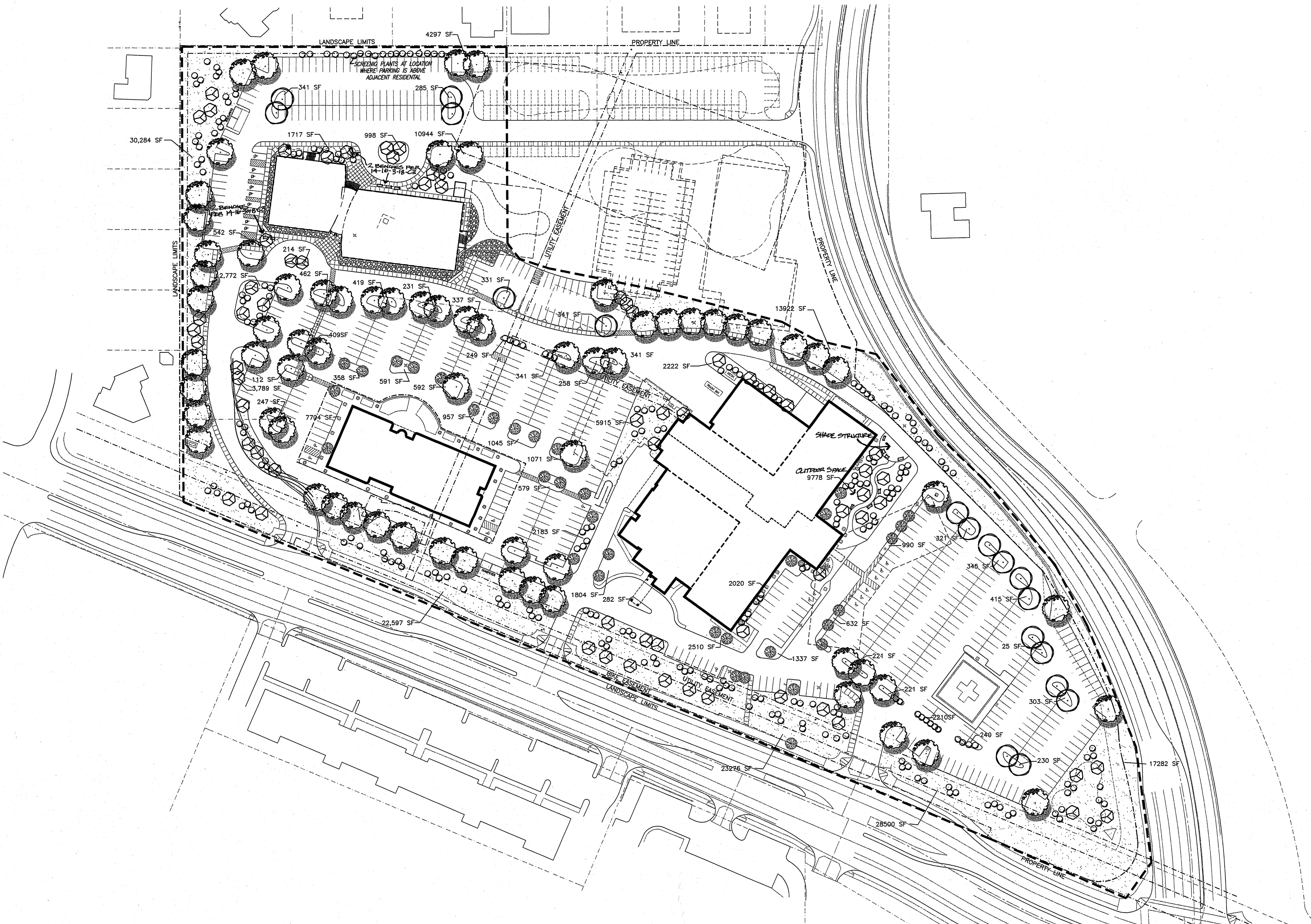
RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.

AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. GRASS AREAS WILL BE SPRAY IRRIGATED, TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.

AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.

LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C. ORD. 19-1095.

ALL LANDSCAPING IS TO BE PROPOSED, ESTABLISHED FOR GENERAL LANDSCAPING, UNLESS OTHERWISE SHOWN ON THE PLANS.



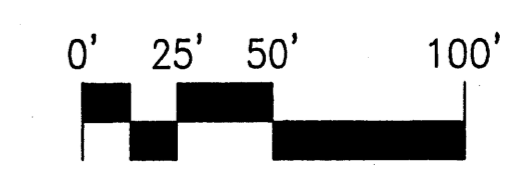
LANDSCAPE PLAN

Symbol	Botanical Name	Common Name	Size/Notes	Symbol	Botanical Name	Common Name	Size/Notes	Symbol	Botanical Name	Common Name	Size/Notes
<b>TREES</b>											
	<i>Celtis occidentalis</i>	COMMON HACKBERRY	2 1/2" CAL.		<i>Pinus mugo</i>	MUGO PINE	5 GAL.		<i>Soliva greggii</i>	CHERRY SAGE	1 GAL.
	<i>Platanus wrightii</i>	ARIZONA SYCAMORE			<i>Colocaster buxifolius</i>	GRAYLEAF COTONEASTER			<i>Achillea millefolium</i>	MOONSHINE YARROW	
	<i>Pistacia chinensis</i>	CHINESE PISTACHE	2 1/2" CAL.		<i>Nolina microcarpa</i>	BEARGRASS			<i>Stipa tenuifolia</i>	SILKY THREAD GRASS	
	<i>Fraxinus velutina</i>	ARIZONA ASH			<i>Rhus trilobata</i>	THRELEAF SUMAC			<i>Muhlenbergia capillaris</i>	REGAL MIST	
	<i>Chilopsis linearis</i>	DESERT WILLOW	15 GAL.		<i>Rosemarinus officinalis</i>	ROSEMARY			<i>Levandula angustifolia</i>	LAVENDER	
	<i>Forestiera neomexicana</i>	NEW MEXICO OLIVE			<i>Fallugia paradoxa</i>	APACHE PLUME		<b>RECLAMATION SEEDING</b>			
	<i>Robinia pseudoacacia</i>	PURPLE ROBE LOCUST			<i>Artemisia pycnantha</i>	SANDHILL SAGE		CONTRACTOR SHALL PROVIDE NATIVE GRASS SEEDING AS PER COA STD SPEC 1012, EAST SIDE MIX, OMIT SALTBRUSH. (10 LBS PLS PER ACRE)			
		EXISTING TREES			<i>Chrysothamnus nauseosus</i>	CHAMISA					

SUBMITTED FOR DRB APPROVAL  
JUNE 6th, 2004  
NOT FOR CONSTRUCTION

**THE DESIGN GROUP**  
ARCHITECTS PLANNERS INTERIOR DESIGN  
282 CENTRAL AVENUE SE SUITE 200  
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PHONE: 505.442.4480 FAX: 505.442.4881

PROJECT NAME: West Mesa Medical Center EPC Submittal Golf Course & McMahon NW, Albuquerque, NM		
REVISIONS		
No.	DATE	DESCRIPTION
SHEET TITLE: Phase II & III Site Development Plan LANDSCAPE PLAN		
DESIGNED: CBD	SCALE: 1" = 50'	
CHECKED: JES	JOB NO: 4003	
DATE: 5/6/2004	COMP. FILE: "SFP"	



**DRAINAGE REPORT**

**DEVELOPED CONDITIONS:**

THE PROPOSED CONDITIONS INCLUDE THE CONSTRUCTION OF A NEW MEDICAL OFFICE BUILDING, A NEW SERVICE ROAD AND VARIOUS PARKING FACILITIES. ALL OF THE TWO EXISTING STRUCTURES WILL BE DEMOLISHED. THE RUNOFF FROM THE SITE WILL BE DETAINED IN TWO PONDS LOCATED AT THE NORTHEAST CORNER OF THE SITE AND WILL BE DISCHARGED AT A MAXIMUM RATE OF 10 CFS INTO THE EXISTING STORM DRAIN SYSTEM CONSTRUCTED WITH THE GOLF COURSE ROADWAY PROJECT.

PRECIPITATION ZONE: 1  
 TOTAL TRACT AREA = 24.45 Ac  
 LAND TREATMENT AREAS WITHIN TRACT  
 CONTRIBUTING STORM WATER:  
 48% LAND TREATMENT B = 11.88 Ac  
 52% LAND TREATMENT D = 12.57 Ac  
 PEAK DISCHARGE Qp100YR - 24HR = (AREA)(Qp)+(AREA)(Qp)  
 (11.88Ac)(2.09cfs/Ac)+(12.57Ac)(4.37) = 79.04 cfs

**EARTHWORK:**

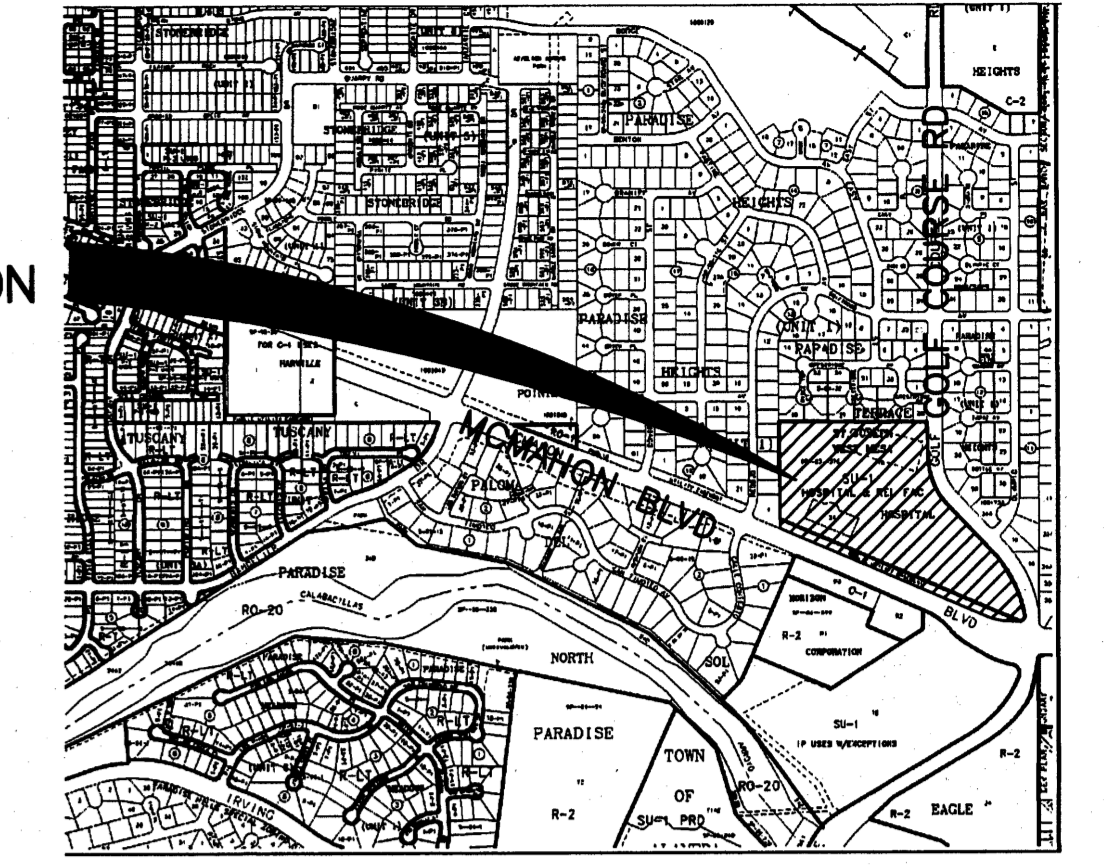
BUILDING & PARKING LOT :  
 CUT = 22,832 CY  
 FILL = 35,108 CY

**SITE NARRATIVE:**

THE EXISTING WEST MESA MEDICAL CENTER SITE IS LOCATED ON A SLOPED SITE WITH A MAXIMUM GRADE OF CHANGE OF APPROXIMATELY 5% FROM THE SOUTHWEST CORNER TO THE NORTHEAST CORNER. THE SITE IS GRADED SUCH THAT THE EXISTING HOSPITAL AND PROFESSIONAL BUILDING SIT ON A SLIGHTLY SLOPED "PLATEAU" FROM WEST TO EAST AT AN APPROX. MAX. SLOPE OF 5%. THE SITE DROPS OFF QUICKLY FROM THE NORTHERN EDGE OF THE PLATEAU DOWN INTO A RETENTION POND IN THE NORTHEAST CORNER OF THE SITE. THE NORTHERN SECTION ALSO SLOPES FROM WEST TO EAST AT AN APPROX. MAX. SLOPE OF 12%. ALL SURFACE DRAINAGE FLOWS TO THE NORTH OFF THE EDGE OF THE PLATEAU TO ACCUMULATE IN THE EXISTING RETENTION POND.

THE PROPOSED CHANGES INCLUDE REGRADING THE SITE IN THE EAST, NORTHEAST AND NORTH SECTIONS TO ACCOMMODATE A CONTINUOUS DRIVE FROM THE PROPOSED McMAHON BLVD. ENTRANCE NORTH AND WEST TO THE PROPOSED GOLF COURSE ENTRANCE, SLOPING A MAXIMUM OF 6% WITH AN AVERAGE AROUND 5%. THE PROPOSED MEDICAL OFFICE BUILDING WILL BE NESTLED IN THE HILLSIDE SO THAT FROM THE EXISTING PORTION OF THE WMMC, IT WOULD APPEAR TO BE A 1-STORY BUILDING. THE BUILDING WOULD IN FACT BE A 2-STORY BUILDING WITH ENTRANCES TO BOTH FLOORS. THE SECOND FLOOR WOULD BE ACCESSIBLE FROM THE SOUTH EXISTING PARKING LOT. THE FIRST FLOOR WOULD BE ACCESSIBLE FROM THE NORTH NEW PARKING LOT. THE MAXIMUM GRADE AROUND THE BUILDING WOULD BE 5% (1:20) TO ACCOMMODATE ACCESSIBILITY WITH THE EXCEPTION OF THE EASTERN EDGE OF THE BUILDING WHICH WOULD SLOPE DOWN TO THE PROPOSED REVISED RETENTION POND.

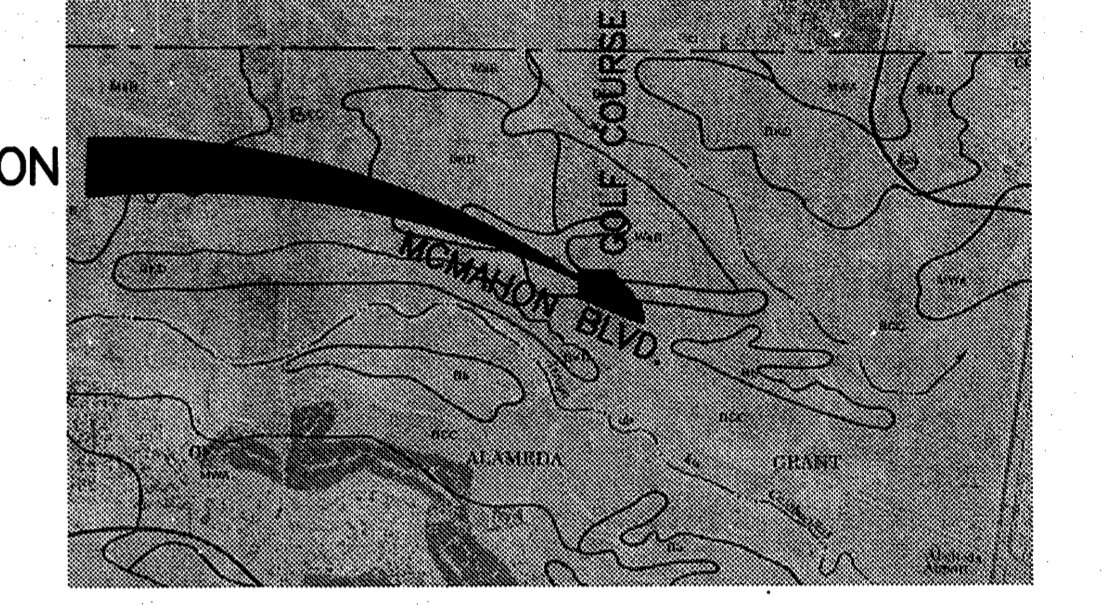
**SITE LOCATION**



**VICINITY MAP**

SCALE: 8:1  
 ZONE ATLAS MAP A-12

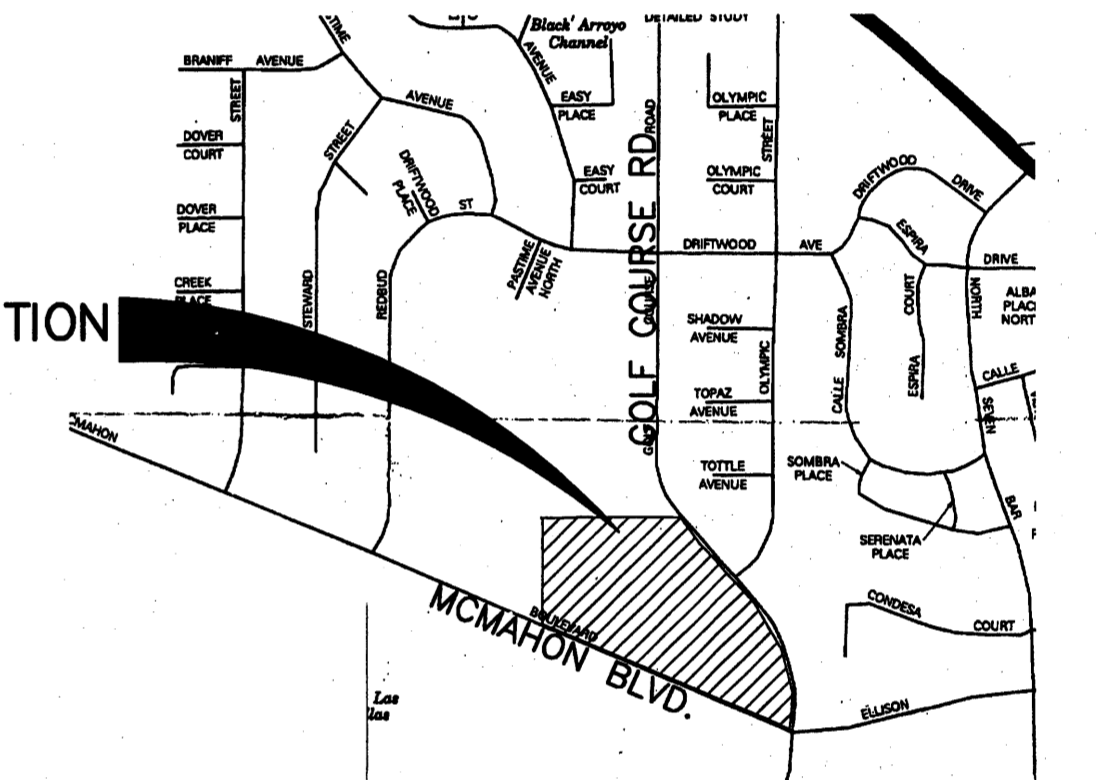
**SITE LOCATION**



**SOILS MAP**

REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 20

**SITE LOCATION**



**FLOOD INSURANCE MAP**

REFERENCE: FLOOD INSURANCE STUDY PANEL 108

**LEGAL DESCRIPTION**

TRACT 1A OF PARADISE HEIGHTS UNIT ONE BERNALILLO COUNTY TOWN OF ALAMEDA, ALBUQUERQUE, N.M.

**BENCH MARK**

THE STA. IS A USGS BRASS TABLET STAMPED 'BLACK-2 1977' SET FLUSH W/THE GROUND. THE STA. IS LOCATED 8.5 MI. N.W. OF DOWNTOWN ALBQ. TO REACH THE STA. FROM THE INTX. OF COORS/1-40 GO N. ON COORS 5.8 MI. TO PARADISE BLVD., W. ON PARADISE BLVD. 1.1 MI. TO GOLF COURSE RD., N. ON GOLF COURSE RD. 1.3 MI. TO McMAHON BLVD. THE STA IS ON THE LEFT. ELEVATION = 5213.926 (2ND ORDER) (NGVD 29)

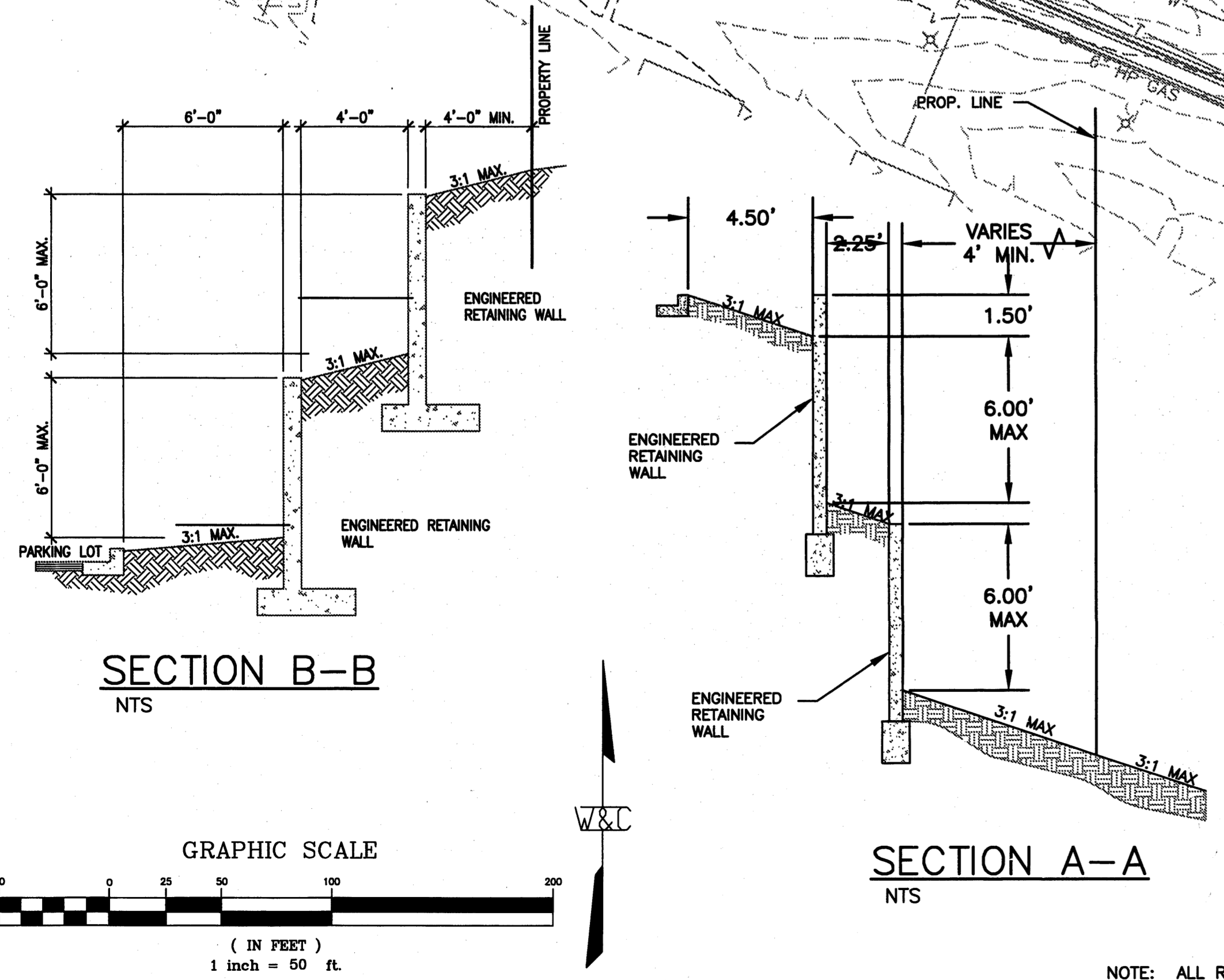
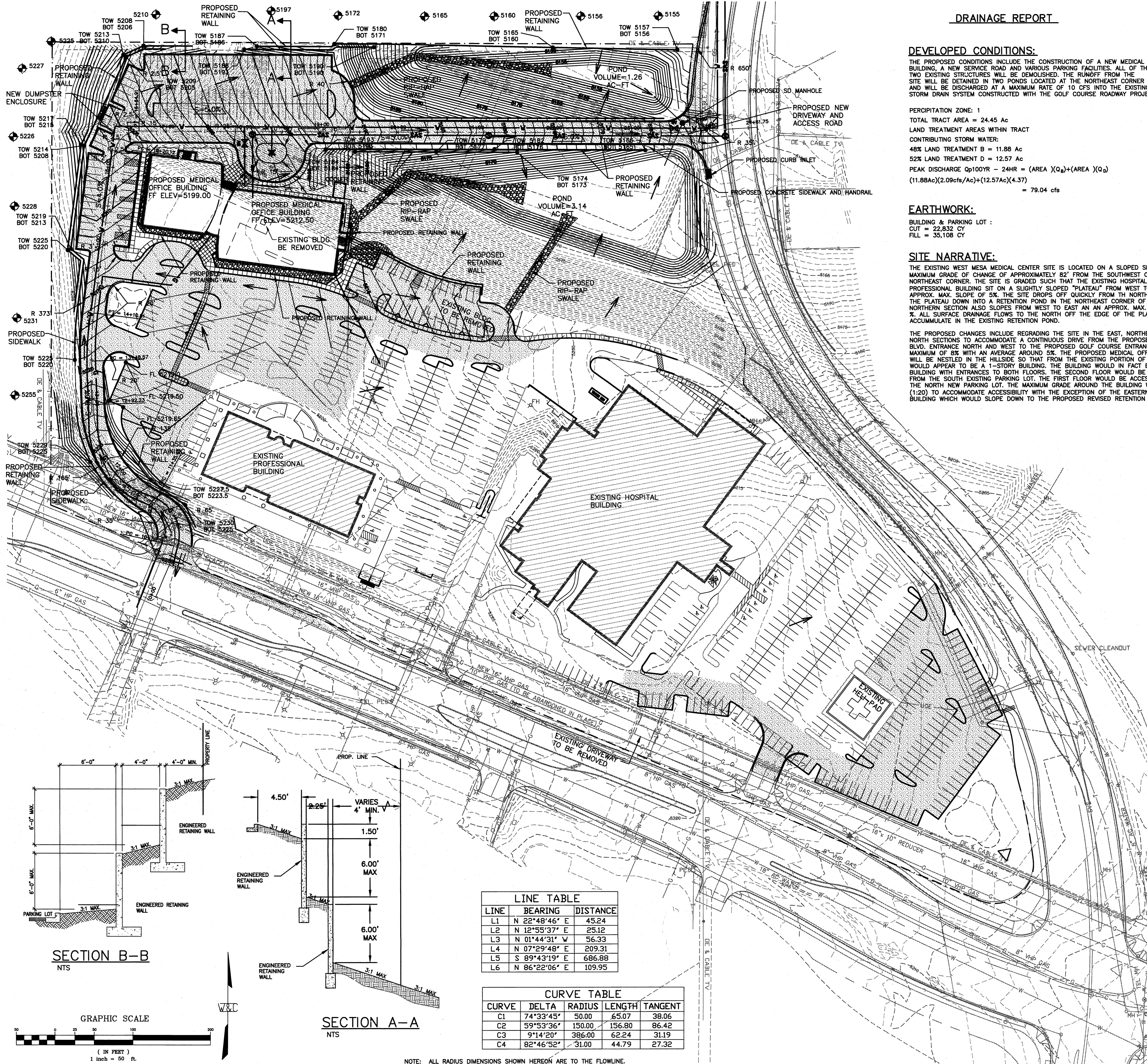
**LEGEND**

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- 5180 PROPOSED INDEX CONTOUR
- SD EXISTING STORM DRAIN
- SD PROPOSED STORM DRAIN
- SI EXISTING DROP INLET
- SS PROPOSED SANITARY SEWER
- W PROPOSED WATERLINE
- G PROPOSED GASLINE
- EXISTING PAVED ROAD
- PROPOSED PAVED AREA
- PROPOSED RIPRAP
- FLOW ARROW
- PROPOSED STORM DRAIN MANHOLE
- TOW PROPOSED TOP OF WALL ELEVATION
- BOT PROPOSED BOTTOM OF WALL ELEVATION
- FL PROPOSED FLOWLINE ELEVATION
- PROPERTY LINE
- 5155 EXISTING SPOT ELEVATION

SUBMITTED FOR DRB APPROVAL  
**JULY 6th, 2004**  
 NOT FOR CONSTRUCTION

4900 LANG AVENUE N.E. SUITE 100  
 ALBUQUERQUE, NEW MEXICO 87109  
 (505) 348-4000  
**WILSON & COMPANY**  
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 PHONE: 505.242.0889 FAX: 505.242.0891

PROJECT NAME:  
**West Mesa Medical Center  
 EPC Submittal**  
 Golf Course & McMahon NW, Albuquerque, NM  
 REVISIONS  
 No. DATE DESCRIPTION  
 SHEET TITLE:  
**CONCEPTUAL  
 GRADING & DRAINAGE  
 AND UTILITIES PLAN**  
 DESIGNED: SCALE:  
 CHECKED: JOB NO. 4003  
 DATE: 5/8/2004 COMP. FILE:



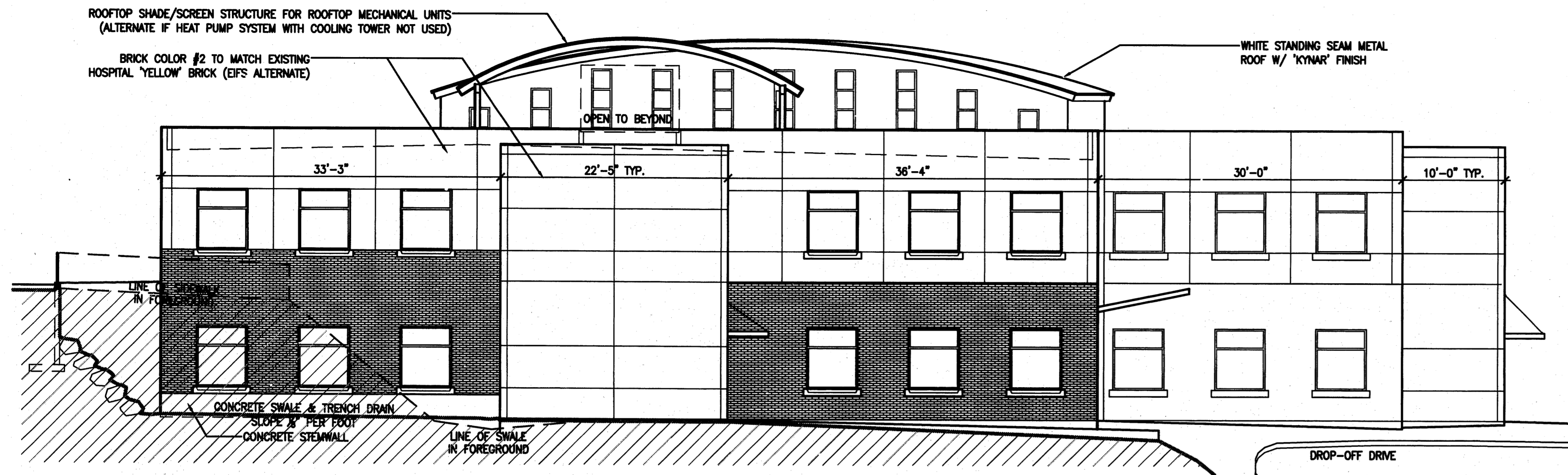
**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 22°48'46" E	45.24
L2	N 12°55'37" E	25.12
L3	N 01°44'31" W	56.33
L4	N 07°29'48" E	209.31
L5	S 89°43'19" E	686.88
L6	N 86°22'06" E	109.95

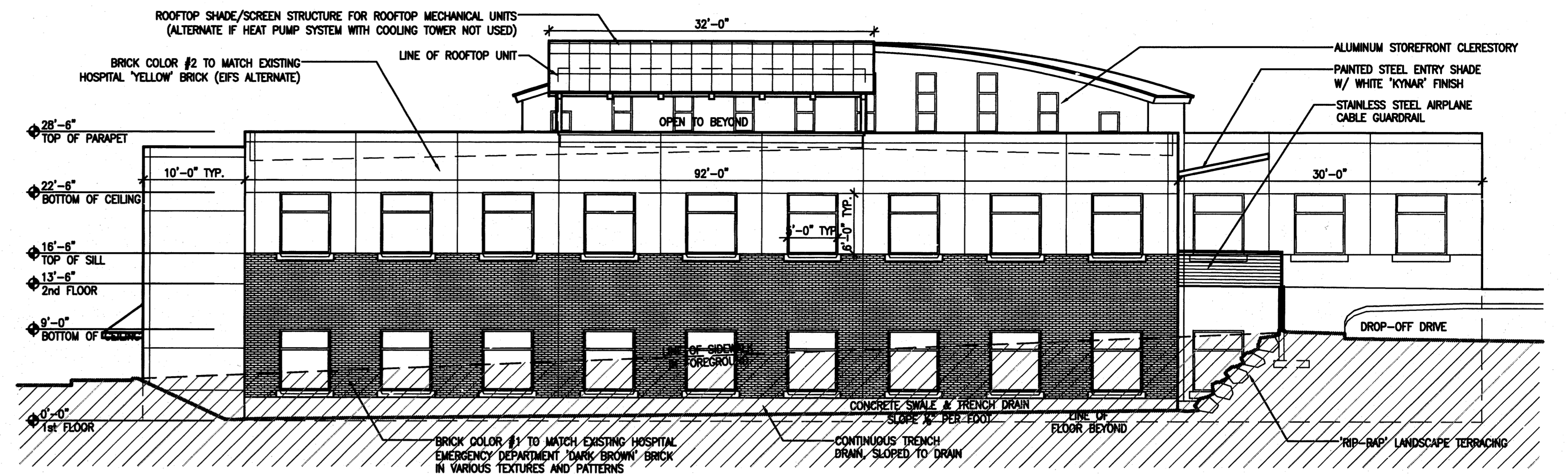
**CURVE TABLE**

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	74°33'45"	50.00	65.07	38.06
C2	59°53'36"	150.00	156.80	86.42
C3	9°14'20"	386.00	62.24	31.19
C4	82°46'52"	31.00	44.79	27.32

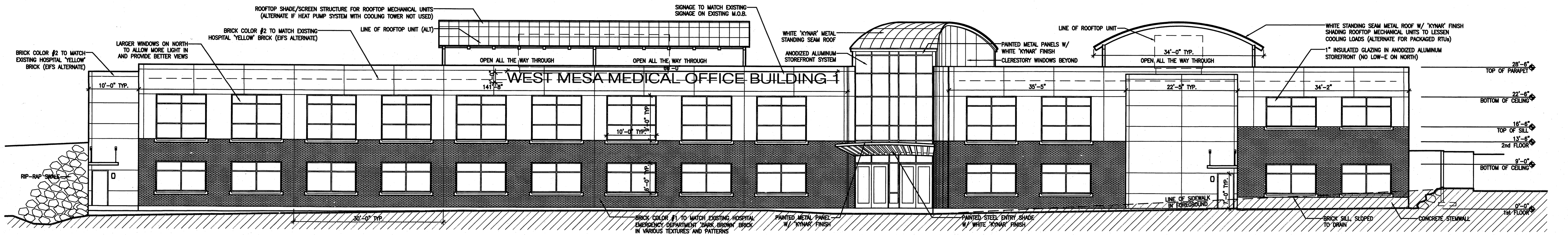
NOTE: ALL RADIUS DIMENSIONS SHOWN HEREON ARE TO THE FLOWLINE.



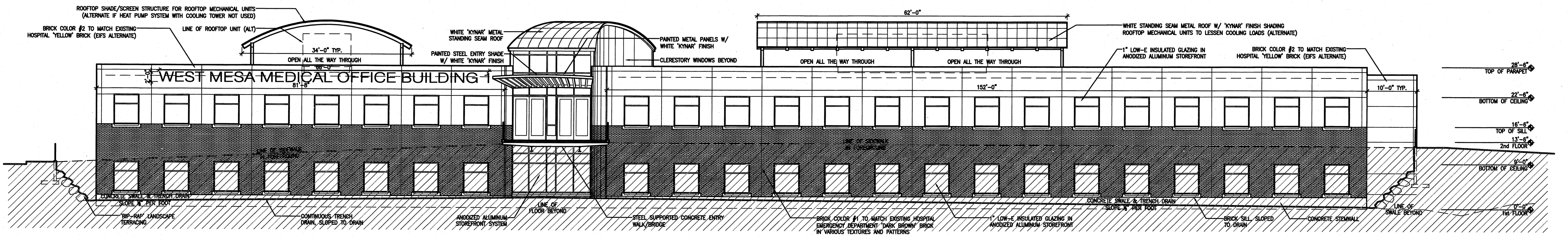
**D1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



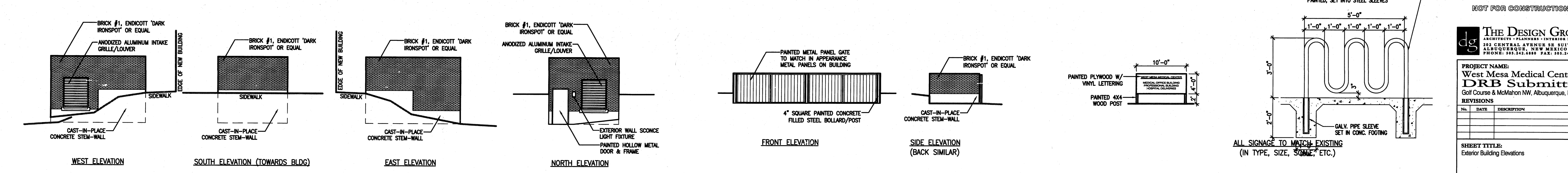
**D2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**C1 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**B1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**A1 COOLING TOWER ELEVATIONS (alt. for heat-pump in lieu of RTUs)**  
SCALE: 1/8" = 1'-0"

**A4 DUMPSTER ENCLOSURE ELEVATIONS**  
SCALE: 1/8" = 1'-0"

**A6 ENTRY DRIVE SIGNAGE**  
SCALE: 1/8" = 1'-0"

**A7 BIKE RACK**  
SCALE: 1/2" = 1'-0"

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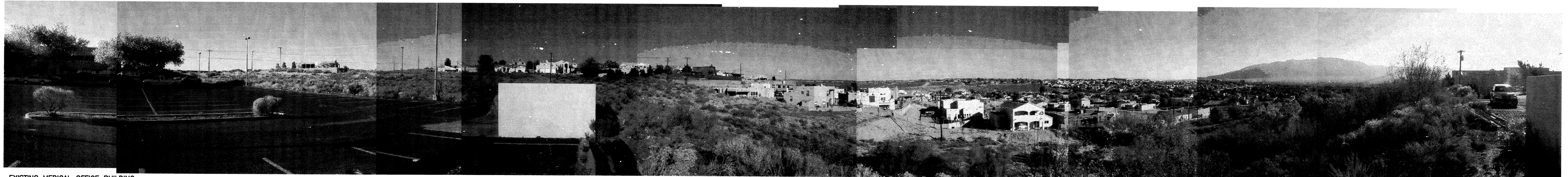
**THE DESIGN GROUP**  
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PHONE: 505.242.4888 FAX: 505.242.4881

PROJECT NAME:  
**West Mesa Medical Center  
DRB Submittal**  
Golf Course & McMahon NW, Albuquerque, NM

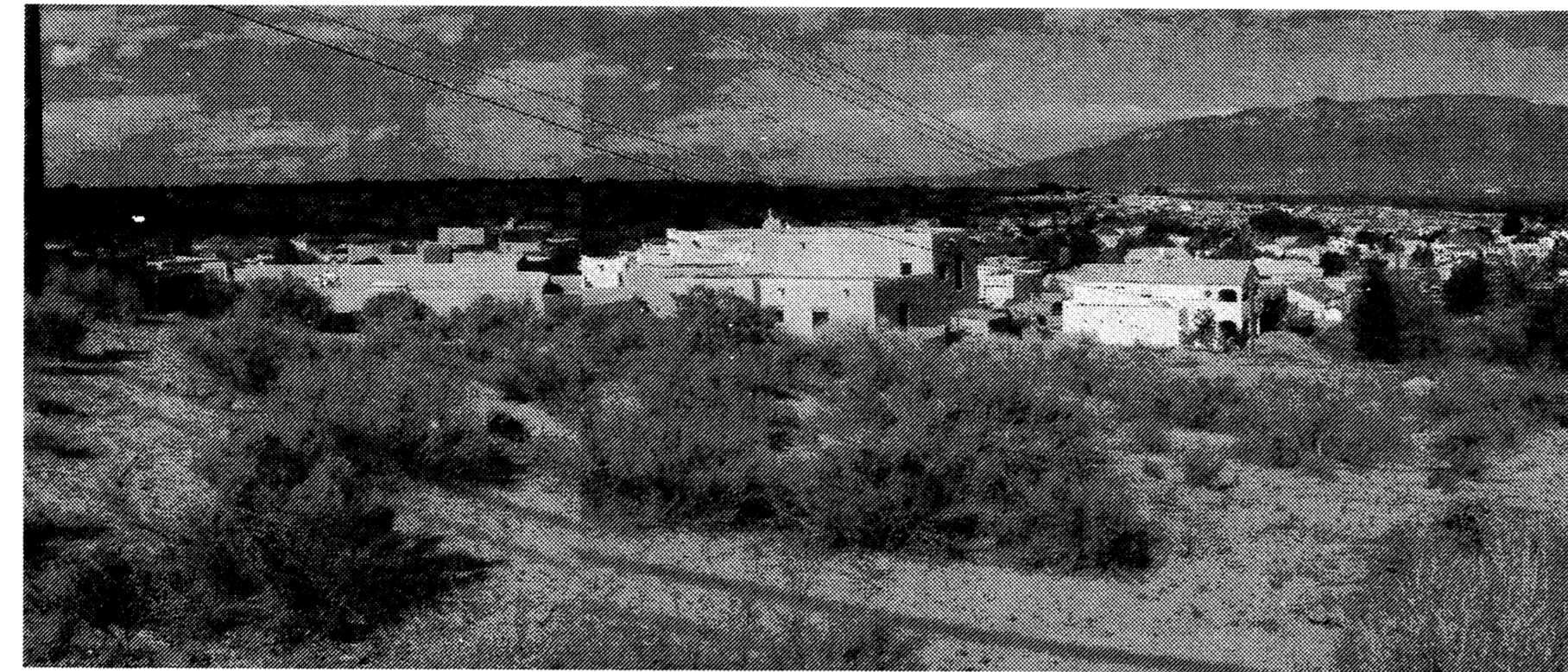
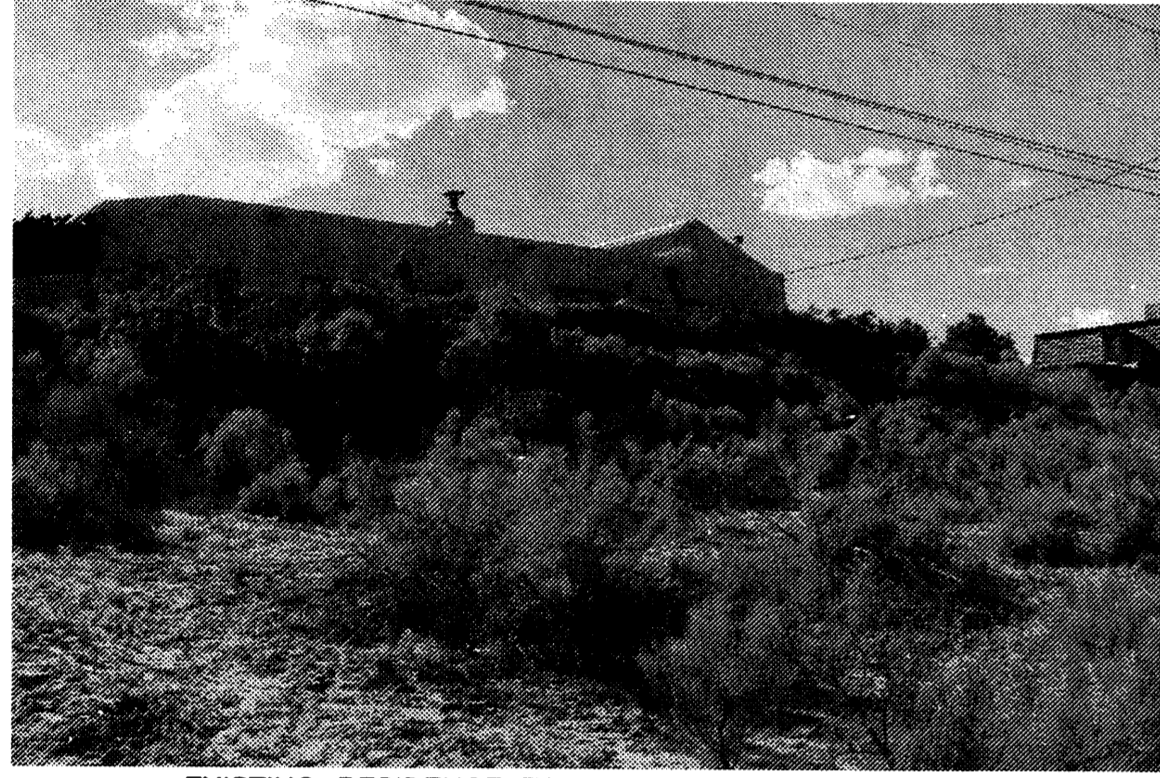
REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE:  
Exterior Building Elevations

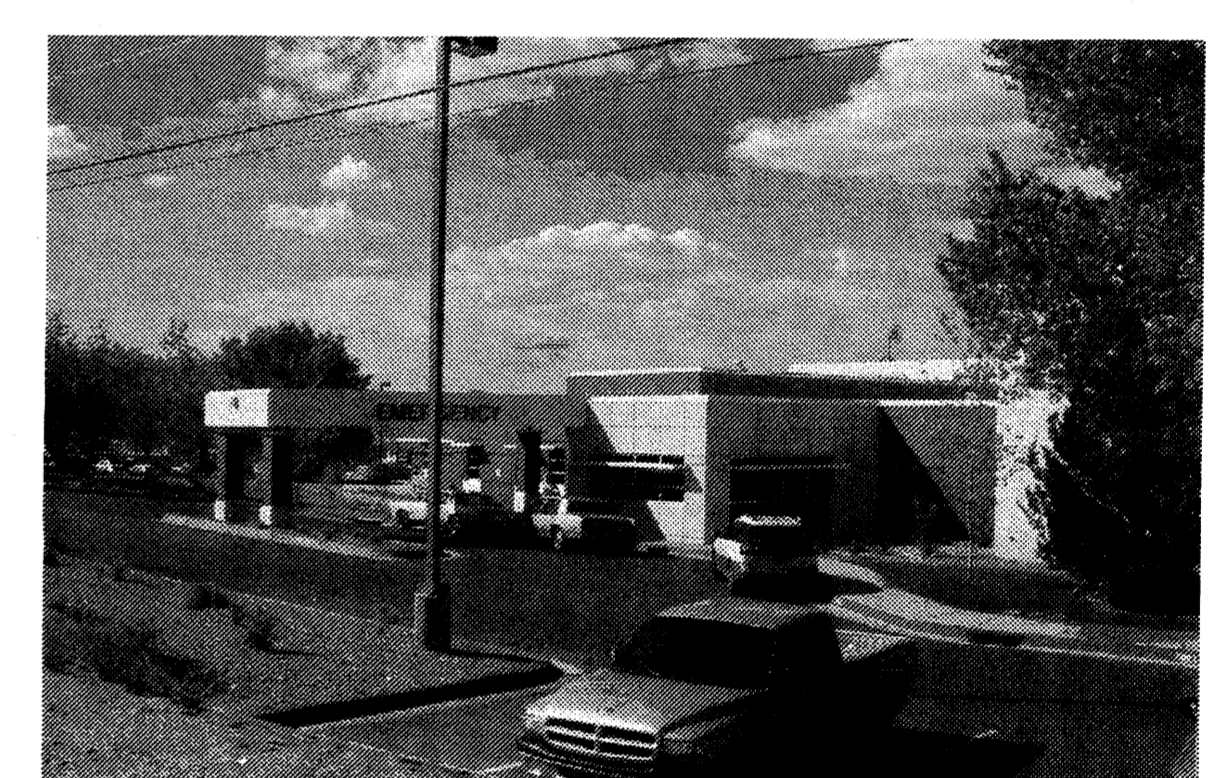
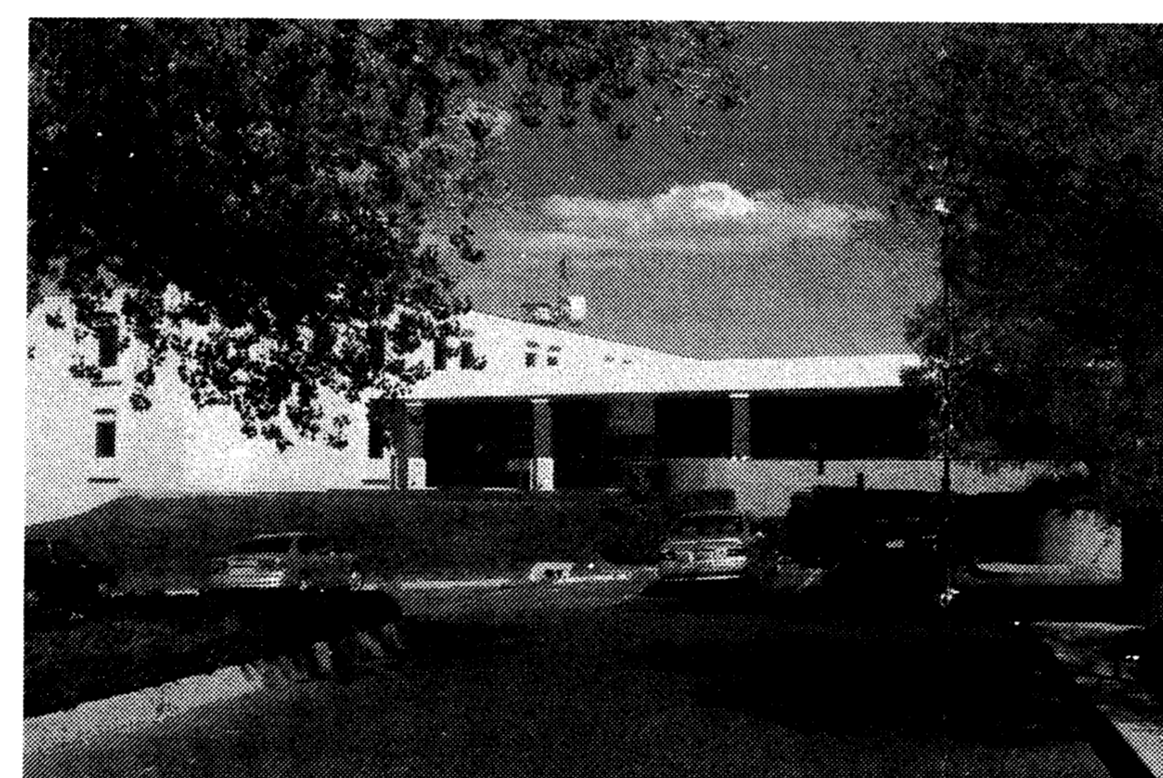
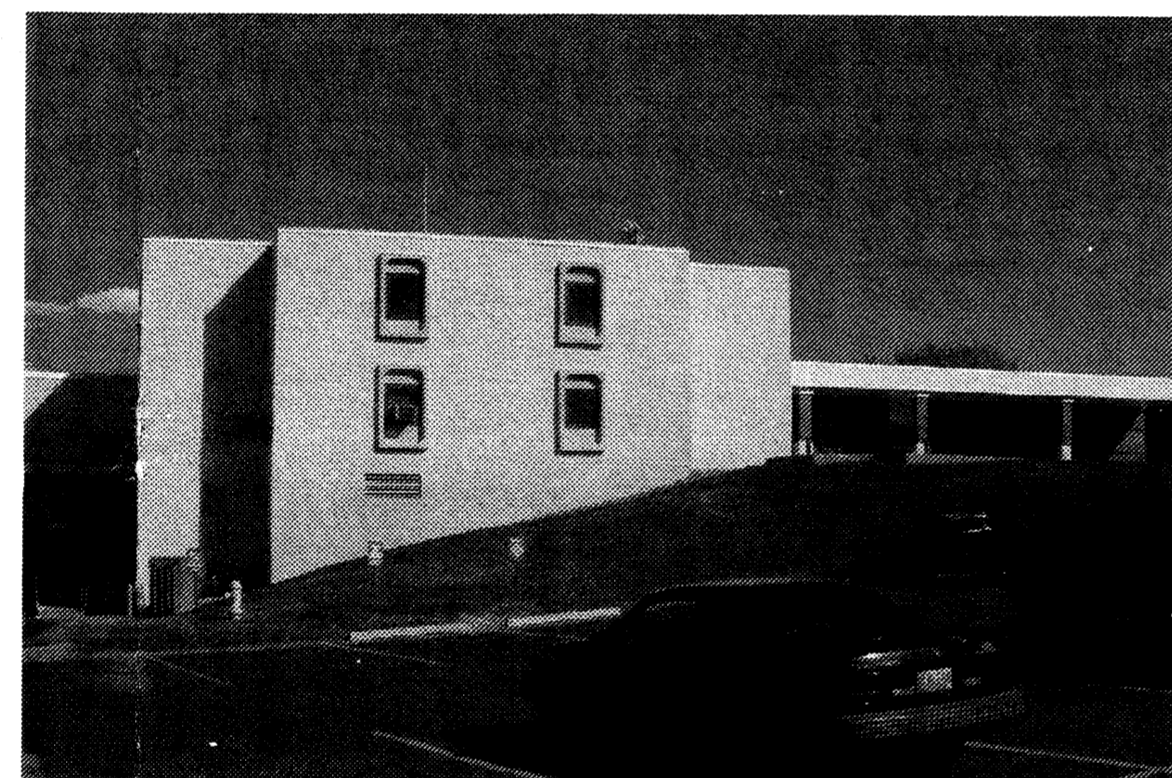
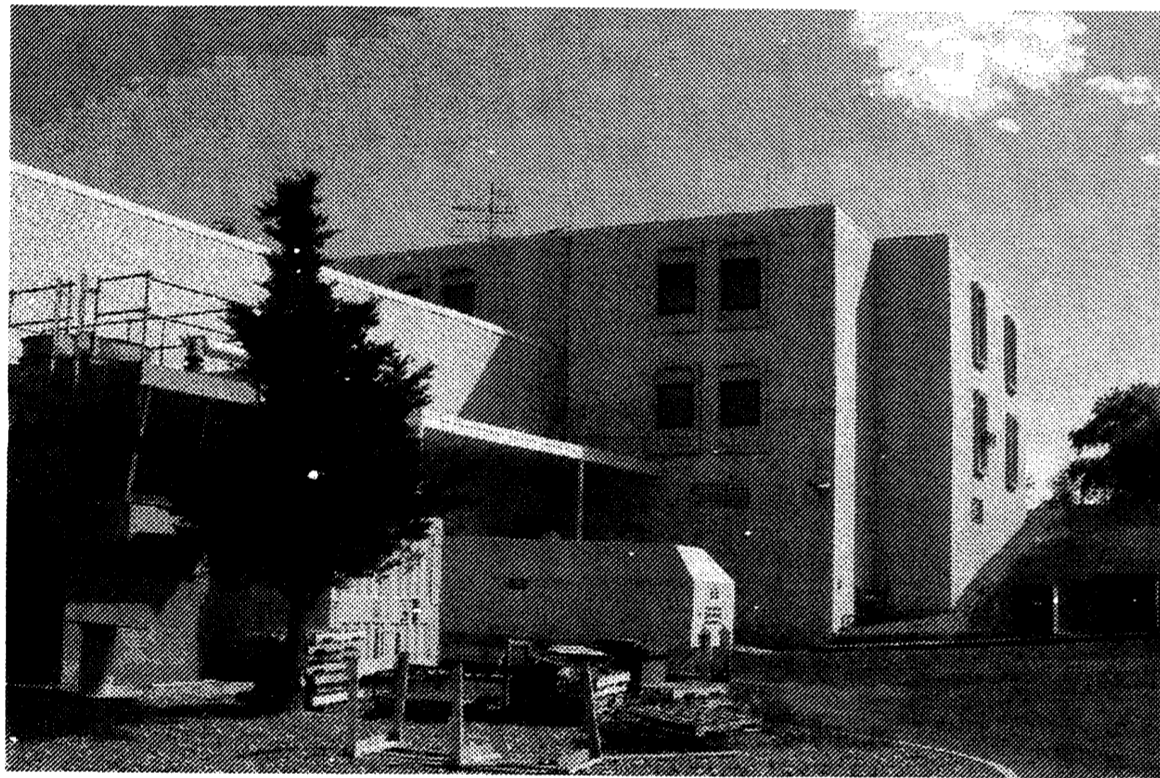


E1 PANORAMIC VIEW FROM LOCATION OF PROPOSED MEDICAL OFFICE BUILDING  
 SCALE: no scale

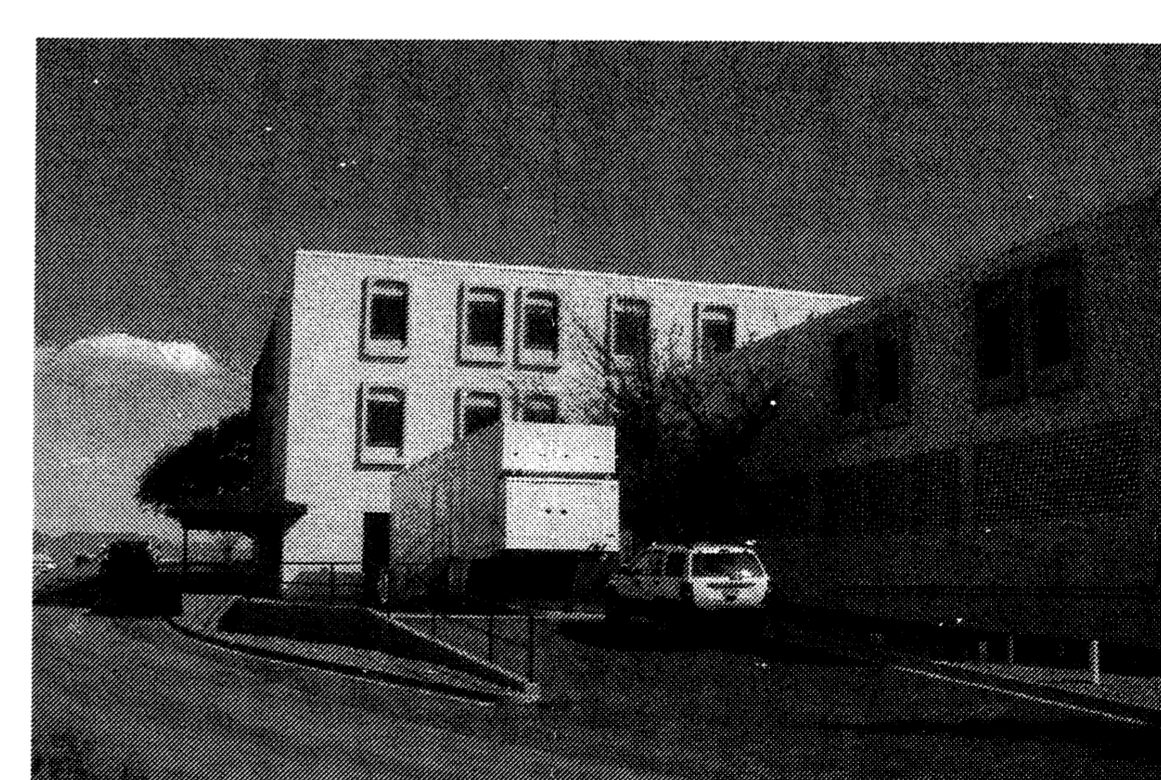
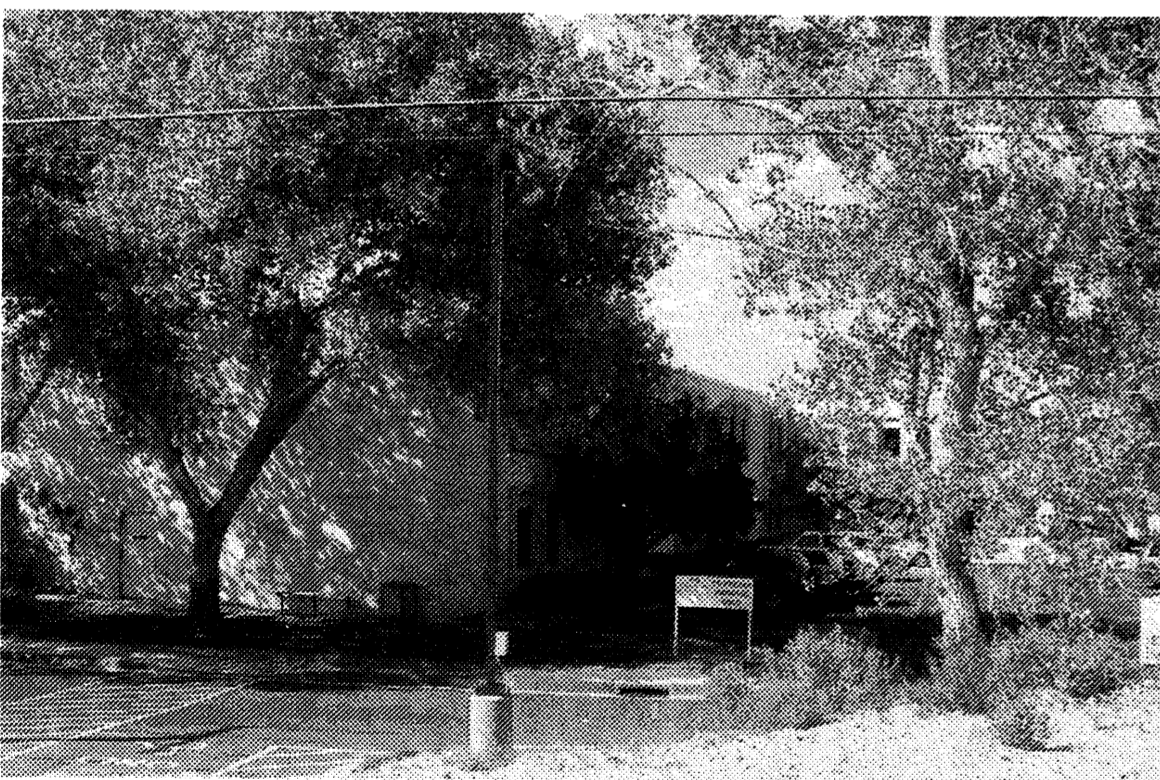


D1 VIEWS OF EXISTING RESIDENTIAL FROM PROPOSED M.O.B PARKING LOT  
 SCALE: no scale

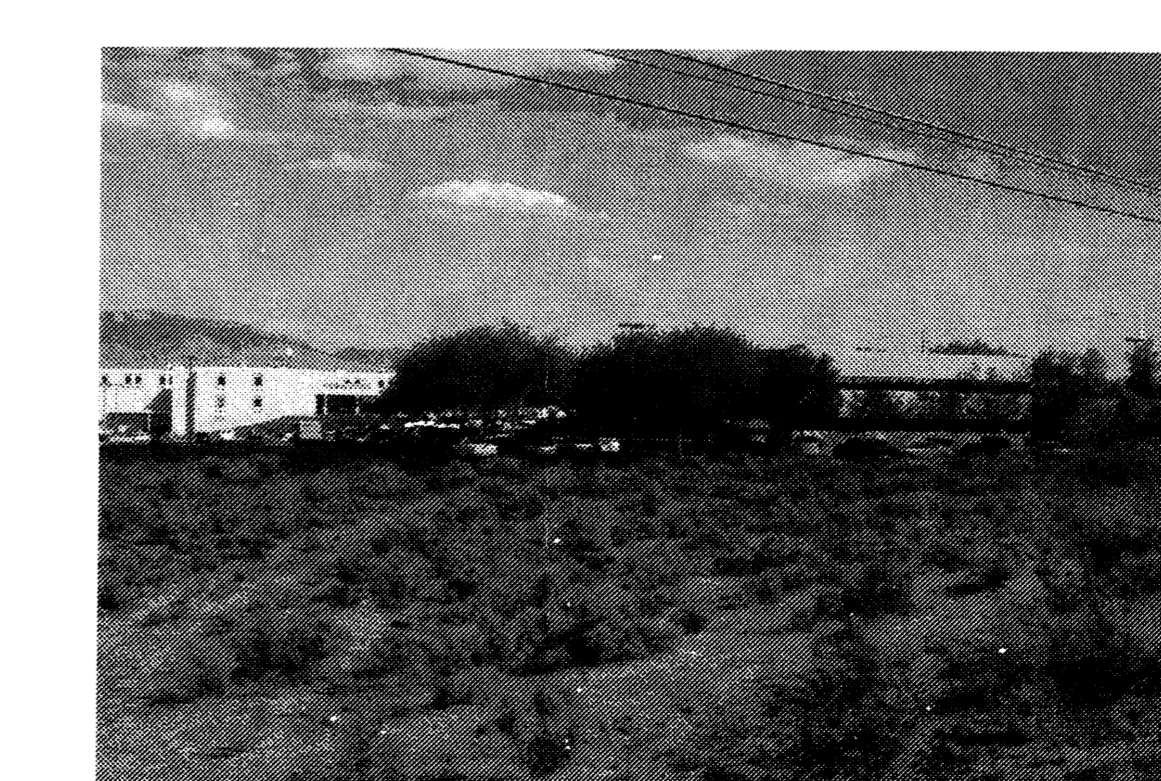
D4 PANORAMIC VIEW UP AT THE WEST MESA MEDICAL CENTER FROM THE NORTHEAST CORNER OF THE LOT  
 SCALE: no scale



C1 EXISTING HOSPITAL EXTERIOR (NORTHWEST CORNER TO SOUTHEAST CORNER)  
 SCALE: no scale



B1 EXISTING HOSPITAL EXTERIOR (SOUTHEAST CORNER TO NORTHWEST CORNER)  
 SCALE: no scale



A1 EXISTING MEDICAL OFFICE BUILDING EXTERIOR (SOUTHEAST CORNER TO SOUTHWEST CORNER)  
 SCALE: no scale

SUBMITTED FOR DRB APPROVAL  
 JULY 6th, 2004  
 NOT FOR CONSTRUCTION

**THE DESIGN GROUP**  
 ARCHITECTS • PLANNERS • INTERIOR DESIGNERS  
 202 CENTRAL AVENUE SUITE 200  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE: 505.242.6880 FAX: 505.242.6881

PROJECT NAME:  
**West Mesa Medical Center**  
**DRB Submittal**  
 Golf Course & McMahon NW, Albuquerque, NM

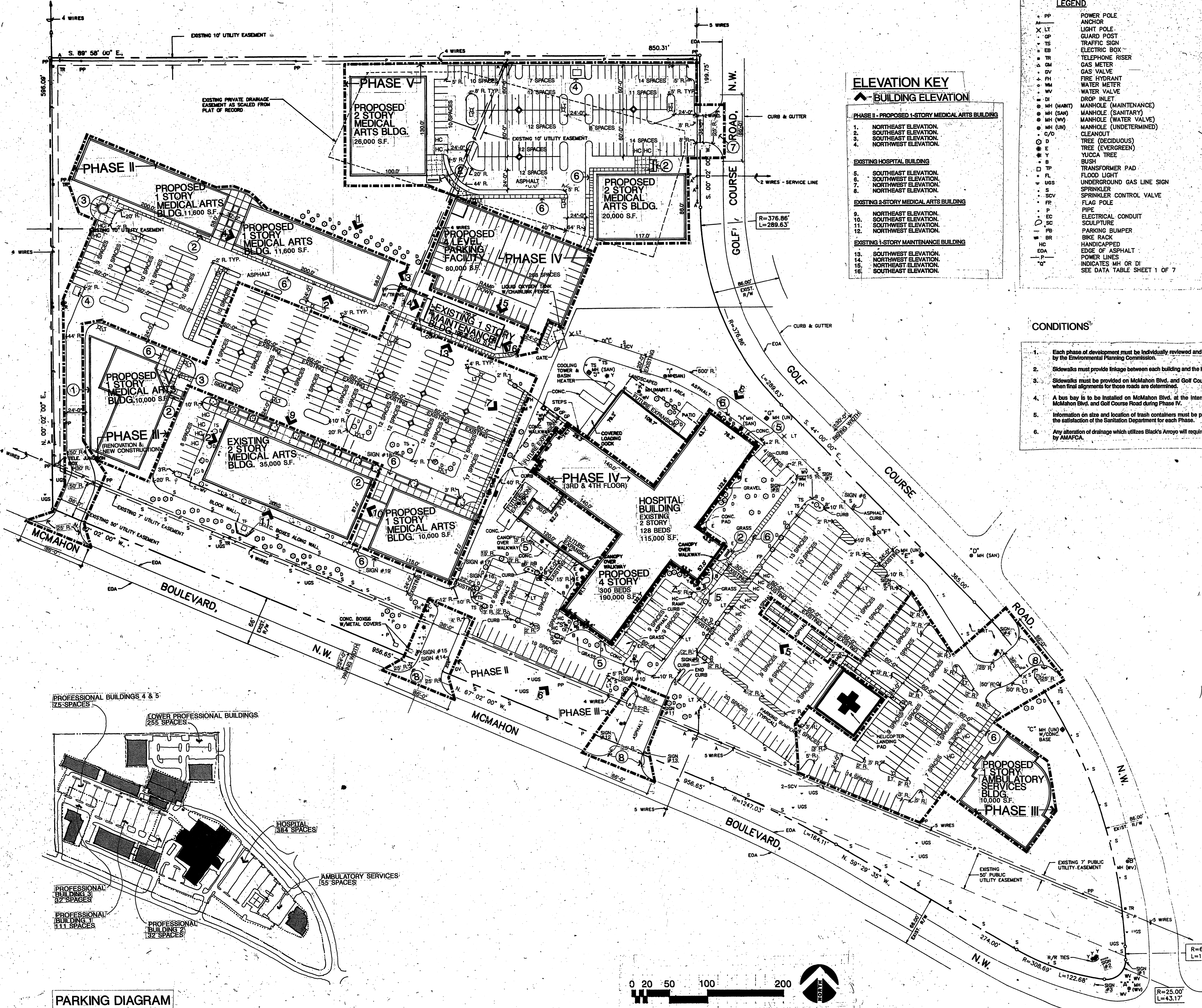
REVISIONS

No.	DATE	DESCRIPTION

SHEET TITLE:  
 Pictures of Existing Buildings & Site

DESIGNED: EPH	SCALE: no scale
CHECKED: DJM	JOB NO: 4603
DATE: 5/6/2004	COMP. FILE: 65X





**LEGEND**

- PP POWER POLE
- ANCHOR
- LT LIGHT POLE
- GP GUARD POST
- TS TRAFFIC SIGN
- EB ELECTRIC BOX
- TR TELEPHONE RISER
- GM GAS METER
- GV GAS VALVE
- FH FIRE HYDRANT
- WM WATER METER
- WV WATER VALVE
- DI DROP INLET
- MH (MANT) MANHOLE (MAINTENANCE)
- MH (SAN) MANHOLE (SANITARY)
- MH (WV) MANHOLE (WATER VALVE)
- MH (UN) MANHOLE (UNDETERMINED)
- C/O CLEANOUT
- D TREE (DECIDUOUS)
- E TREE (EVERGREEN)
- Y YUCCA TREE
- B BUSH
- TP TRANSFORMER PAD
- FL FLOOD LIGHT
- UGS UNDERGROUND GAS LINE SIGN
- S SPRINKLER
- SCV SPRINKLER CONTROL VALVE
- FP FLAG POLE
- P PIPE
- EC ELECTRICAL CONDUIT
- SC SCULPTURE
- PB PARKING BUMPER
- BR BIKE RACK
- HC HANDICAPPED
- EDA EDGE OF ASPHALT
- P POWER LINES
- INDICATES MH OR DI
- SEE DATA TABLE SHEET 1 OF 7

**ELEVATION KEY**

**BUILDING ELEVATION**

**PHASE II - PROPOSED 1-STORY MEDICAL ARTS BUILDING**

- NORTHEAST ELEVATION.
- SOUTHWEST ELEVATION.
- SOUTHEAST ELEVATION.
- NORTHWEST ELEVATION.

**EXISTING HOSPITAL BUILDING**

- SOUTHWEST ELEVATION.
- SOUTHWEST ELEVATION.
- NORTHWEST ELEVATION.
- NORTHWEST ELEVATION.

**EXISTING 2-STORY MEDICAL ARTS BUILDING**

- NORTHEAST ELEVATION.
- SOUTHWEST ELEVATION.
- SOUTHWEST ELEVATION.
- NORTHWEST ELEVATION.

**EXISTING 1-STORY MAINTENANCE BUILDING**

- SOUTHWEST ELEVATION.
- NORTHWEST ELEVATION.
- NORTHEAST ELEVATION.
- SOUTHWEST ELEVATION.

**NOTES:**

- 5'-0" HIGH RETAINING WALL.
- BICYCLE RACK FOR 10 BICYCLES.
- FOUNTAIN
- REFUSE CONTAINER.
- EXISTING SIDEWALK
- PROPOSED 5'-0" SIDEWALK (MIN.)
- CONCRETE CURB CUT (PROPOSED).
- CONCRETE CURB CUT (REMODELED).

**SITE AREA:** 908,882 S.F. (20.86 ACRES)

**PARKING REQUIREMENTS:**

(SEE PARKING DIAGRAM FOR DISTRIBUTION.)

	REQUIRED	PROVIDED
EXISTING	259	438
PHASE II	388	438
PHASE III	554	528
PHASE IV	640	786
PHASE V	900	920
HANDICAPPED	20	20

**BICYCLES**

**PARKING SPACE DIMENSIONS:**

STANDARD - 9'-0" X 20'-0" MIN.  
HANDICAPPED - 13'-0" X 20'-0" MIN.

**NOTE:** PARKING REQUIRED IS BASED ON 5 PARKING SPACES/DOCTOR - 887 S.F./DOCTOR = 1 PARKING SPACE/179 S.F. (FOR MEDICAL ARTS BUILDINGS).

**SIGNAGE**

ALL FUTURE SIGNAGE SHALL ADHERE TO SIZE, NUMBER AND LOCATION REQUIREMENTS AS SET FORTH IN THE CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE.

- CONDITIONS**
- Each phase of development must be individually reviewed and approved by the Environmental Planning Commission.
  - Sidewalks must provide linkage between each building and the Hospital.
  - Sidewalks must be provided on McMahon Blvd. and Golf Course Road when final alignments for those roads are determined.
  - A bus bay is to be installed on McMahon Blvd. at the intersection of McMahon Blvd. and Golf Course Road during Phase IV.
  - Information on size and location of trash containers must be provided to the satisfaction of the Sanitation Department for each Phase.
  - Any alteration of drainage which utilizes Black's Arroyo will require approval by AMAFCA.

**SIGNATURE BLOCK**

I CERTIFY THAT THIS AREA IS ZONED SU-1 FOR A HOSPITAL AND RELATED USES AND THIS PLAN IS CONSISTENT WITH THE MASTER PLAN AND SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON OCTOBER 21, 1988:

*Jack Clark* 11/29/88  
PLANNING DEPARTMENT DATE

APPROVED AS TO THE REQUIREMENTS:

*David W. Newman* 11/25/88  
TRANSPORTATION DEVELOPMENT DATE

*Williamson* 11-29-88  
UTILITY DEVELOPMENT DATE

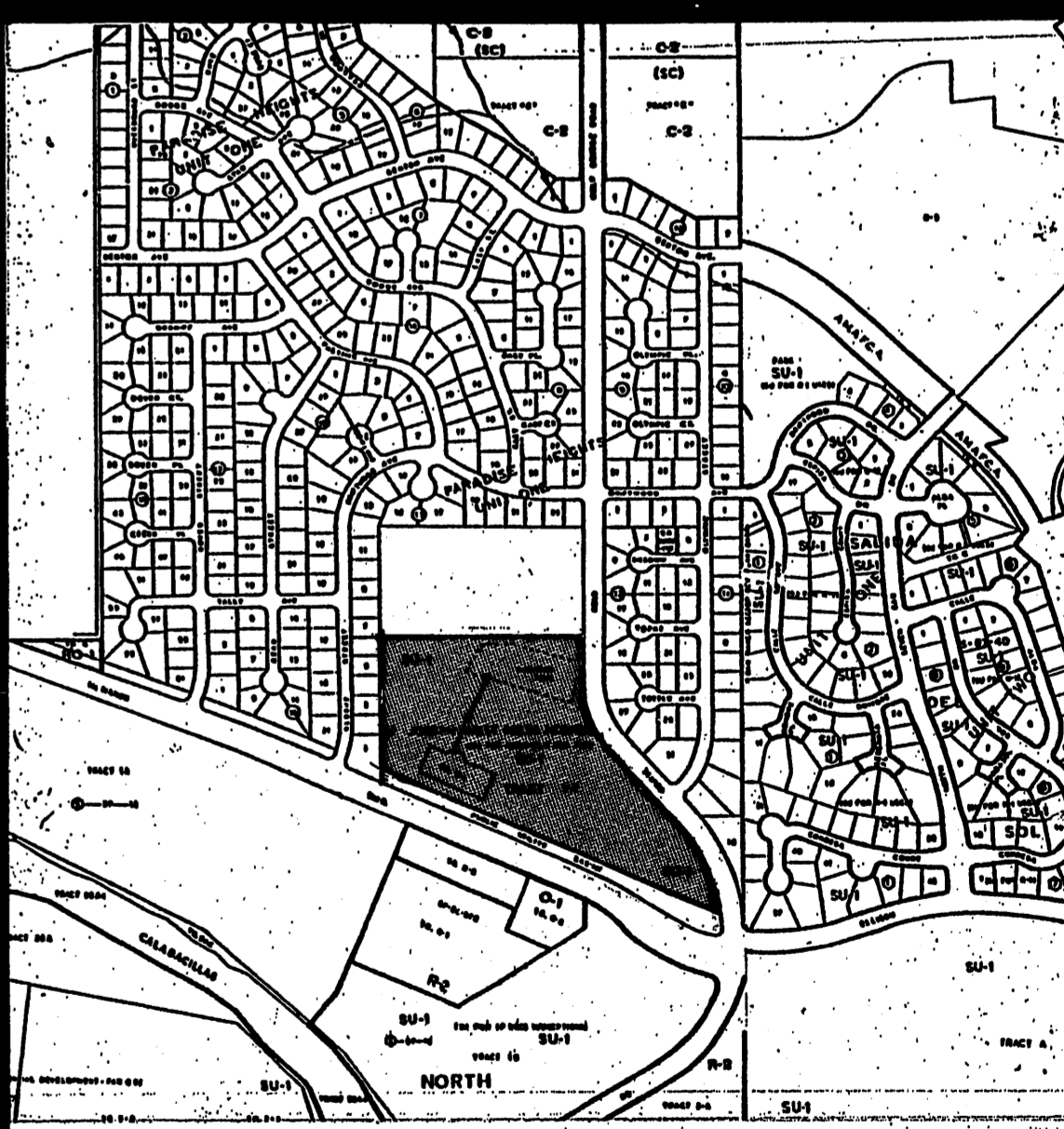
*Frank J. Arguins* 11-29-88  
HYDROLOGY DATE

*Thomas M. Stone* 11-25-88  
PARKS AND RECREATION DATE

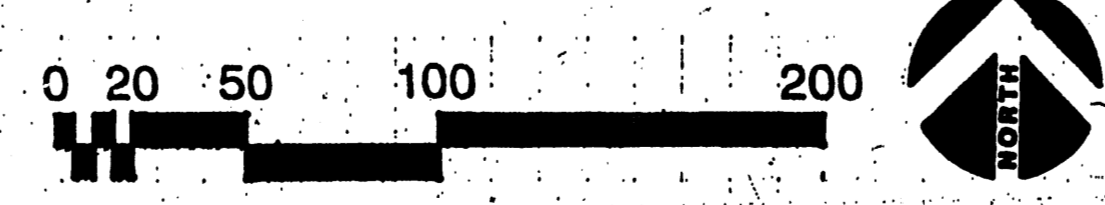
*Keeler J. Stone* 11-29-88  
SOLID WASTE DEPARTMENT DATE

*James P. Wood* 11/29/88  
NEW MEXICO UTILITIES DATE

SUBMITTED FOR DRB-APPROVAL  
NOVEMBER 29, 1988



**PARKING DIAGRAM**



**VICINITY MAP**

AUGUST 26, 1988  
DATE

**FMBSM**  
ST. JOSEPH  
WEST MESA  
HOSPITAL

FILE \_\_\_\_\_ BY \_\_\_\_\_  
PROJ. MGR. \_\_\_\_\_  
30 60 90 120 150 180 210 240  
QUALITY ASSURANCE  
SCALE

Flatow Moore Bryan Shaffer McCabe  
Architects Interior Designers  
Landscape Architects Planners  
Albuquerque, New Mexico  
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**SHEET NO. 02**  
**SITE DEVELOPMENT PLAN**