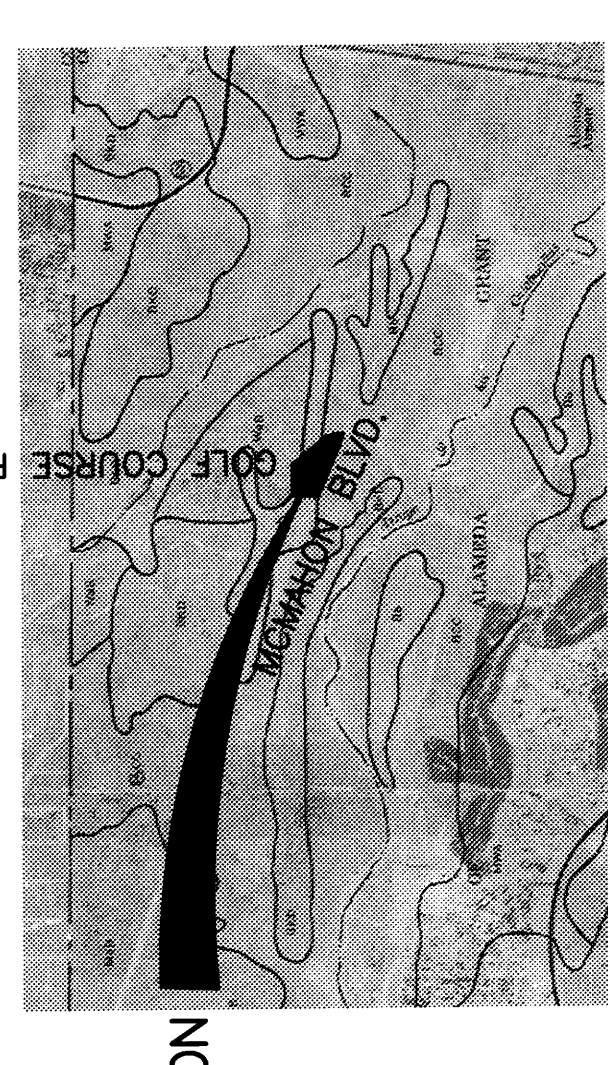
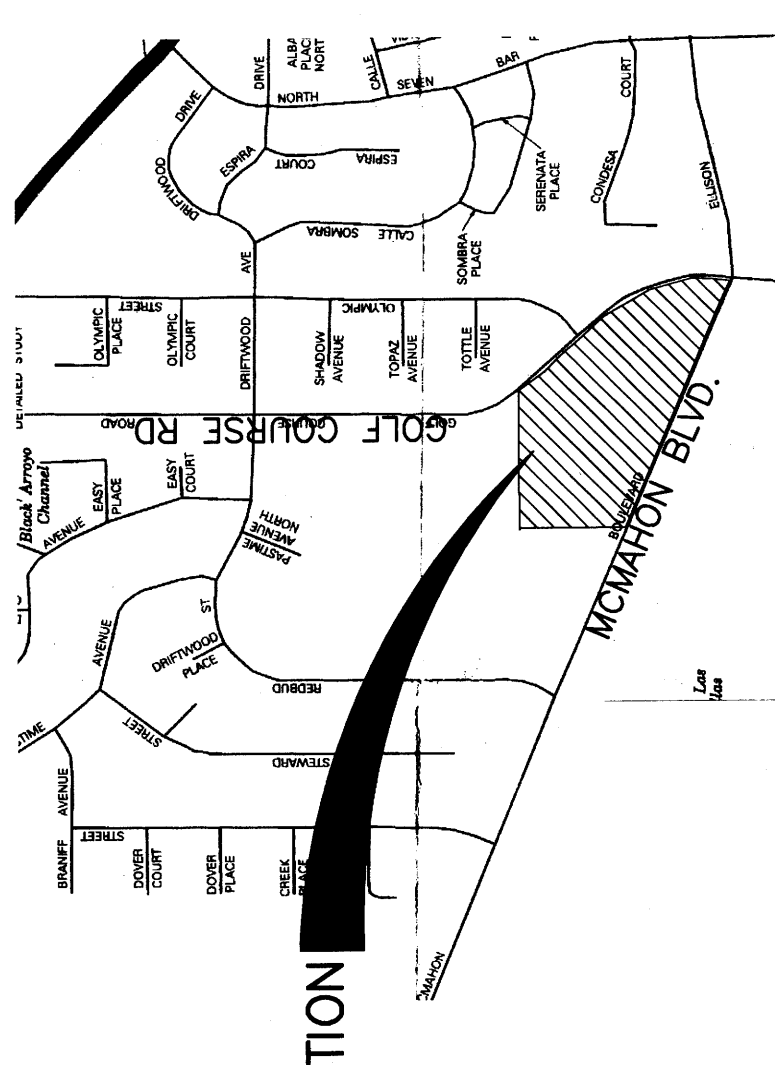


SITE LOCATION



SITE LOCATION



SITE LOCATION

DRAINAGE REPORT

DEVELOPED CONDITIONS:

THE PROPOSED CONDITIONS INCLUDE THE CONSTRUCTION OF A NEW MEDICAL OFFICE BUILDING, NEW SEWER MAIN AND STORM DRAINAGE SYSTEMS, AND NEW PAVING. THE SITE WILL BE DISCHARGED AT A MAXIMUM RATE OF 10 CFS INTO THE EXISTING STORM DRAIN SYSTEM CONSTRUCTED WITH THE GOLF COURSE ROADWAY PROJECT.

- PERFORATION ZONE: 1
- TOTAL TRACT AREA = 24.45 Ac
- LAND TREATING AREAS WITHIN TRACT
- CONTRIBUTING STORM WATER:
- 48% LAND TREATMENT B = 11.68 Ac
- 52% LAND TREATMENT D = 12.57 Ac
- PEAK DISCHARGE 0.0100YR - 24HR = (AREA) X (G_{0.1}-H(AREA) X (G_{0.1}) = 79.04 cfs
- (11.88Ac)(2.08cfs/Ac) + (12.57Ac)(4.37)

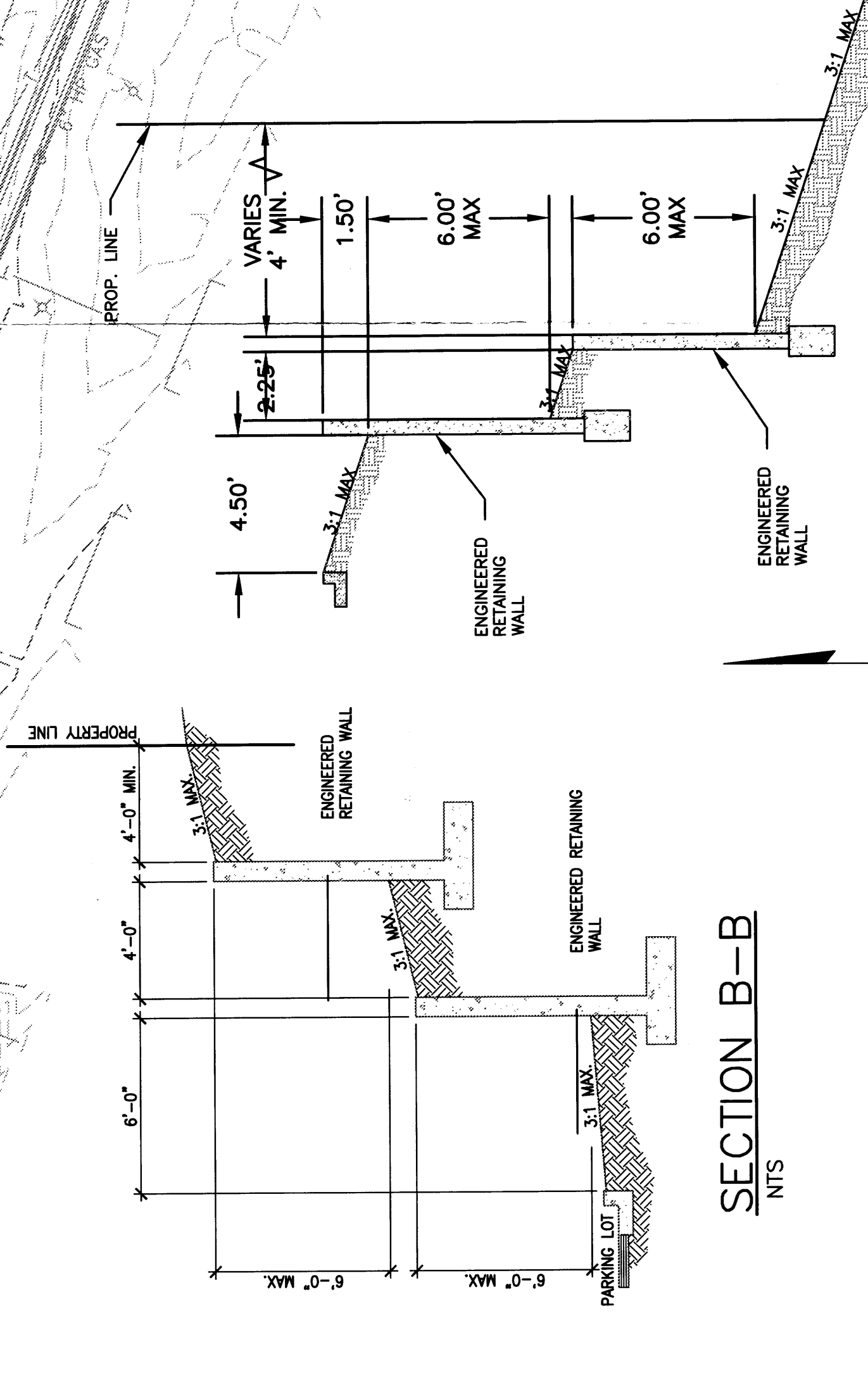
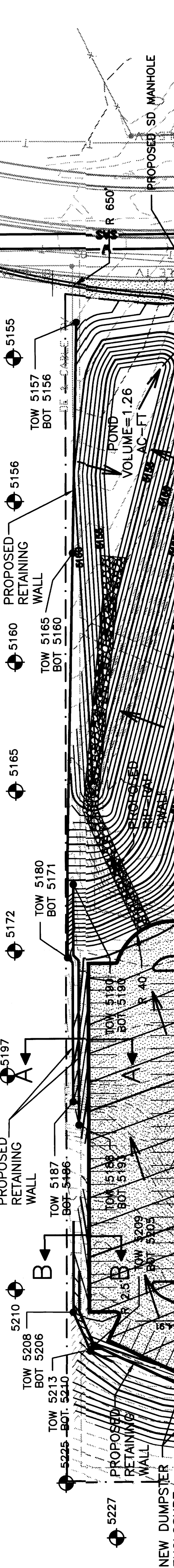
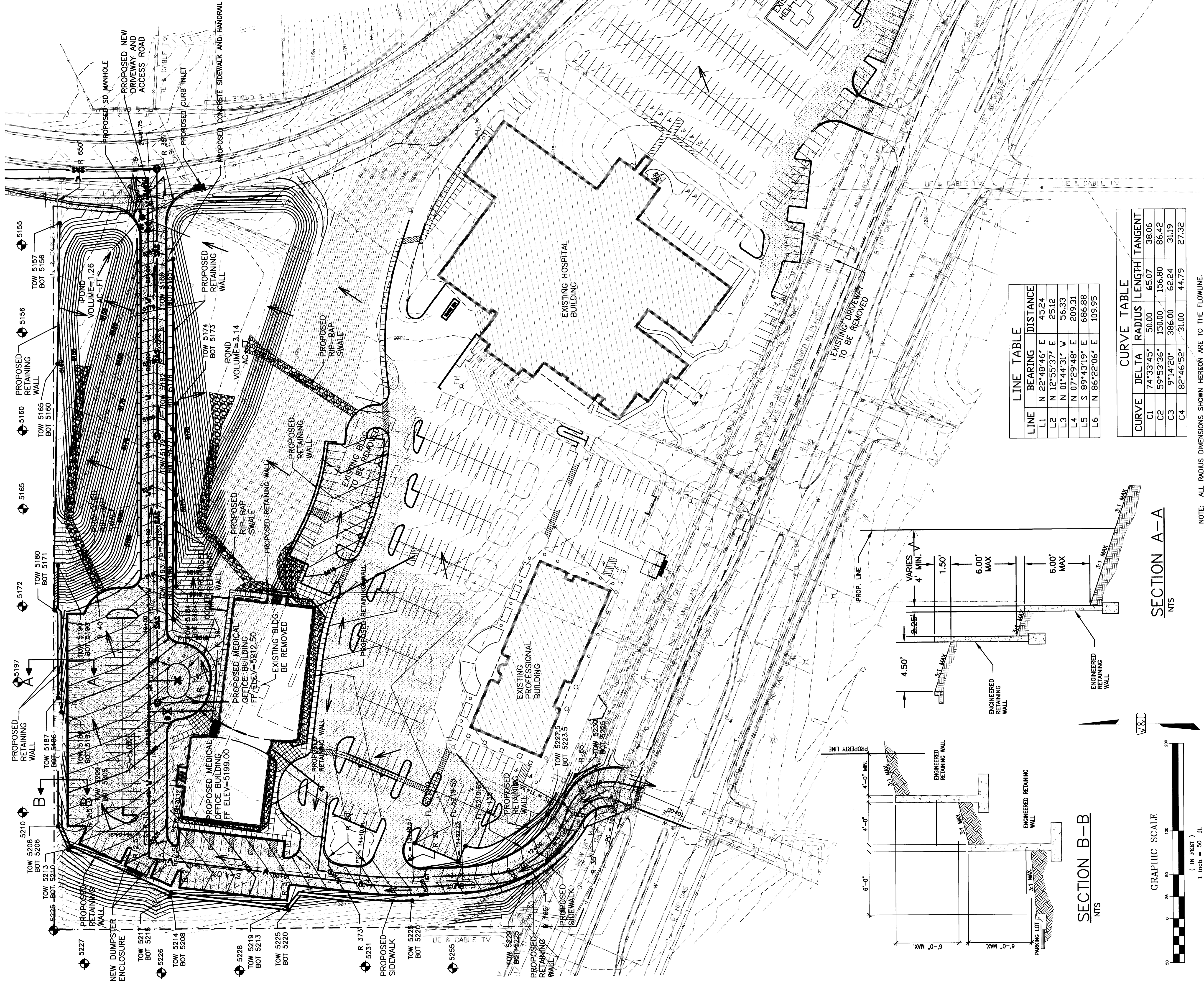
EARTHWORK:

- BUILDING & PARKING LOT: CUT = 22,832 CY
- FILL = 35,108 CY

SITE NARRATIVE:

THE PROPOSED MEDICAL CENTER SITE IS LOCATED ON A SLOPED SITE WITH A MAXIMUM GRADE OF CHANGE OF APPROXIMATELY R2% FROM THE SOUTHWEST CORNER TO THE NORTHEAST CORNER. THE SITE IS GRADED SUCH THAT THE EXISTING HOSPITAL AND PROFESSIONAL BUILDING SIT ON A SLIGHTLY SLOPED PLATEAU FROM WEST TO EAST. THE PLATEAU DOWN INTO A RETENTION POND IN THE NORTHEAST CORNER OF THE SITE. THE NORTHERN SECTION ALSO SLOPES FROM WEST TO EAST AN APPROX. MAX SLOPE OF 12%. ALL SURFACE DRAINAGE FLOWS TOWARD THE POND WHICH ACCUMULATES TO BE 5% ACCUMULATED IN THE EXISTING RETENTION POND.

THE PROPOSED CHANGES INCLUDE REGRADING THE SITE IN THE EAST-NORTHEAST AND BLDG. ENTRANCE NORTH AND WEST TO THE PROPOSED GOLF COURSE ENTRANCE. SLOPING A MAXIMUM OF 8% WITH AN AVERAGE AROUND 5%. THE PROPOSED MEDICAL OFFICE BUILDING WILL BE APPEARED TO BE 1-STORY BUILDING. THE BUILDING WOULD IN FACT BE 2-STORY BUILDING WITH ENTRANCES TO BOTH FLOORS. THE SECOND FLOOR WOULD BE ACCESSIBLE FROM THE SOUTH EXISTING PARKING LOT. THE PROPOSED MEDICAL OFFICE BUILDING WOULD BE 1(120) TO ACCOMMODATE ACCESSIBILITY WITH THE EXCEPTION OF THE EASTERN EDGE OF THE BUILDING WHICH WOULD SLOPE DOWN TO THE PROPOSED REVISED RETENTION POND.



LINE TABLE

LINE	BEARING	DISTANCE
L1	N 22°48'46" E	45.24
L2	N 12°45'37" E	25.13
L3	N 01°42'31" V	36.33
L4	N 07°25'48" E	207.31
L5	S 89°43'19" E	666.88
L6	N 86°22'05" E	109.93

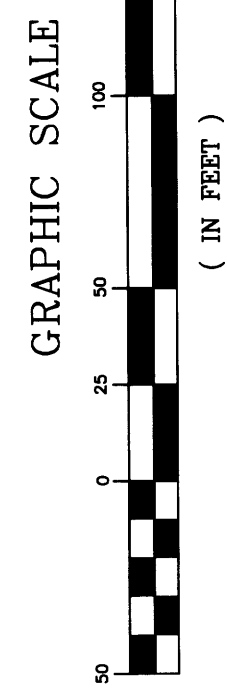
CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	74°33'45"	50.00	65.07	38.06
C2	59°53'36"	150.00	156.80	86.42
C3	91°14'20"	386.00	62.24	31.19
C4	82°46'52"	31.00	44.79	27.32

NOTE: ALL RADIUS DIMENSIONS SHOWN HEREON ARE TO THE FLOWLINE.

SECTION A-A
NTS

SECTION B-B
NTS



FOR SUBMITTAL TO THE CITY OF ALBUQUERQUE
JULY 6th, 2004
NOT FOR CONSTRUCTION

WILSON & COMPANY
4800 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO
(505) 979-0000

The Design Group
10110 ALBUQUERQUE AVENUE, N.W.
ALBUQUERQUE, NEW MEXICO 87113
PROJECT #20030404 FAX 505-241-4444

PROJECT NAME: West Mesa Medical Center
EPC Submittal
Golf Course & Marmon NW, Albuquerque, NM

REVISIONS

NO.	DATE	DESCRIPTION

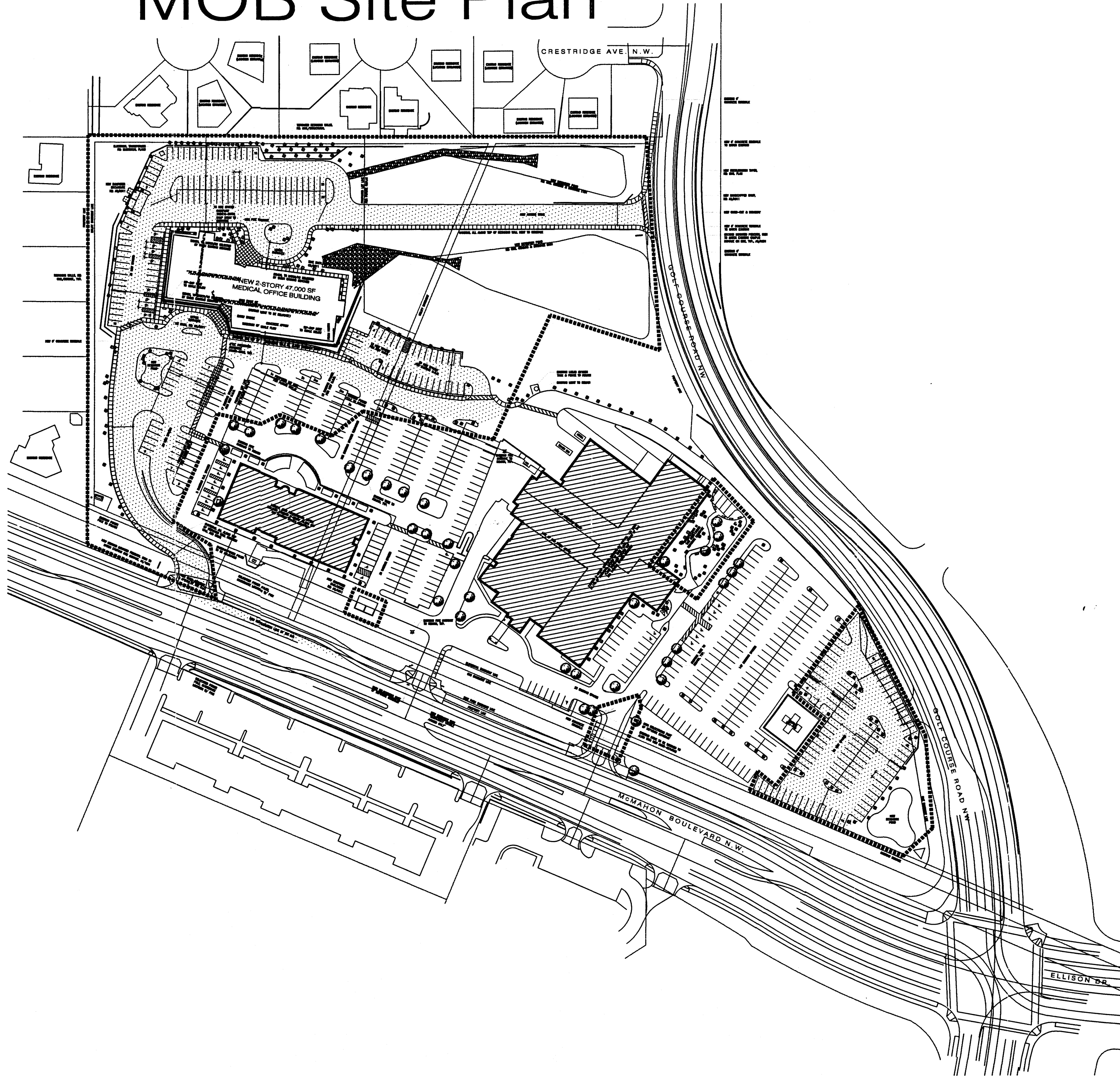
SHEET TITLES:
CONCEPTUAL GRADING & DRAINAGE AND UTILITIES PLAN

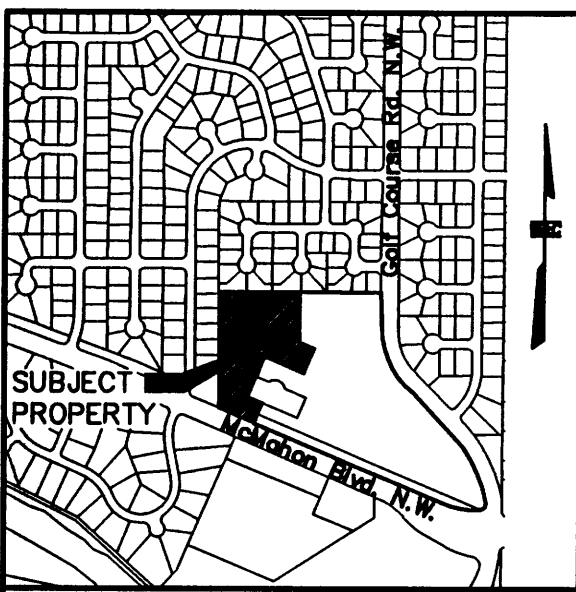
DATE	DESIGNED	CHECKED	IN CHARGE

- LEGEND**
- EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - PROPOSED INTERMEDIATE CONTOUR
 - S180- PROPOSED INDEX CONTOUR
 - S0- EXISTING STORM DRAIN
 - S- PROPOSED STORM DRAIN
 - SD- EXISTING DROP INLET
 - S- PROPOSED SANITARY SEWER
 - W- PROPOSED WATERLINE
 - G- PROPOSED GASLINE
 - EXISTING PAVED ROAD
 - PROPOSED PAVED AREA
 - PROPOSED RIPRAP
 - FLOW ARROW
 - PROPOSED STORM DRAIN MANHOLE
 - TOW PROPOSED TOP OF WALL ELEVATION
 - BOT PROPOSED BOTTOM OF WALL ELEVATION
 - FL PROPOSED FLOWLINE ELEVATION
 - PROPERTY LINE
 - 5155 EXISTING SPOT ELEVATION

PLANNING

MOB Site Plan





VICINITY MAP A-12-Z
SCALE: 1" = 750'

OWNER(S) AND/OR PROPRIETOR(S)
FOR: TRACTS 1-A-1-A and 1-A-3-A,
ST. JOSEPH WEST MESA HOSPITAL
PARADISE HEIGHTS - UNIT ONE

SUBDIVISION DATA:

D.R.B. PROJECT NO. _____
D.R.B. APPLICATION NO. _____
ZONE ATLAS INDEX NO. A - 12 - Z
TOTAL NO. OF LOTS EXISTING: TWO
TOTAL NO. OF LOTS CREATED: TWO
GROSS SUBDIVISION ACREAGE: 5.0323 ACRES
TOTAL MILES OF STREETS CREATED: NONE
TALOS LOG NO. 2004372645
DATE OF SURVEY: JULY 2005

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO REPLAT TRACT 1-A-3 WITHIN TRACT 1-A-1, ST. JOSEPH WEST MESA HOSPITAL - PARADISE HEIGHTS UNIT ONE. THE EXTERIOR DIMENSIONS OF TRACT 1-A-3-A ARE THE SAME AS TRACT 1-A-3 SHOWN ON THE PLAT (2005C, 88), HOWEVER THE TIE AND PHYSICAL LOCATION HAVE BEEN REVISED AND REFLECTED ON THIS PLAT.

BY: [Signature]
AHS WEST MESA HOSPITAL, LLC

STATE OF Tennessee)
) SS.
COUNTY OF Davidson)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 27th DAY OF September, 2005, FOR AND ON THE BEHALF OF LOVELACE SANDIA HEALTH SYSTEM, INC. d/b/a WEST MESA MEDICAL CENTER

BY: Ron Stein

NOTARY PUBLIC: [Signature]

MY COMMISSION EXPIRES: 9/20/06

NOTES:

- USGS Brass Tablet stamped "Black-2 1977" New Mexico State Plane Coordinates (Central Zone) X=372,920.43 Y=1,530,241.52 NAD 1927 Ground-to-Grid factor: 0.9996784
 - NMSHC Brass Tablet stamped "NM448-N12" New Mexico State Plane Coordinates (Central Zone) X=381,108.54 Y=1,528,911.33 NAD 1927 Ground-to-Grid factor: 0.9996784
 - Field survey performed on July 2005.
 - Basis of Bearings: New Mexico State Plane coordinates (Central Zone). Based on a line from "NM448-N12" to "Black-2 1977". Bearing: N.80°46'09"W.
 - All distances are ground distances.
 - Bearings and distances shown in parenthesis are per plat entitled, Redivision of Tracts 1 and 2, St. Joseph West Mesa Hospital, Paradise Heights-Unit No. One.
- One" filed in the Office of the County Clerk of Bernalillo County, New Mexico on December 15, 1983, in Map Book C22, Folio 163.
- Monuments indicated as □ are set with either a 5/8" rebar with a cap stamped "PS 14733" or a P.K. Nail with a tag stamped "PS 14733".

LEGAL DESCRIPTION for TRACT 1-A-1-A:

A certain parcel of land being all of Tract 1-A1 as shown on the plat of TRACTS A-A1, 1-A2, 1-A3 AND 2-A1 ST. JOSEPH WEST MESA MEDICAL HOSPITAL - PARADISE HEIGHTS UNIT NO. ONE as shown and designated on the plat filed in Map Book 2005C, Page 88, records of Bernalillo County, New Mexico within projected Section 1, Township 11 North, Range 2 East of the N.M.P.M..

LEGAL DESCRIPTION for TRACT 1-A-3-A:

A certain parcel of land being all of Tract 1-A3 as shown on the plat of TRACTS A-A1, 1-A2, 1-A3 AND 2-A1 ST. JOSEPH WEST MESA MEDICAL HOSPITAL - PARADISE HEIGHTS UNIT NO. ONE as shown and designated on the plat filed in Map Book 2005C, Page 88, records of Bernalillo County, New Mexico within projected Section 1, Township 11 North, Range 2 East of the N.M.P.M..

FREE CONSENT AND DEDICATION:

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S), AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE EASEMENTS SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON, AND DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

CROSS-LOT DRAINAGE AND ACCESS EASEMENTS ON TRACT 1-A-1-A FOR THE BENEFIT OF TRACT 1-A-3. ST. JOSEPH'S WEST MESA HOSPITAL - PARADISE HEIGHTS, UNIT NO. ONE (GRANTED BY THIS PLAT), ARE FOR THE BENEFIT AND USE BY AND FOR THE OWNER(S) AND/OR PROPRIETOR(S) OF SAID TRACTS AND ARE TO BE MAINTAINED BY SAID OWNER(S). ALSO INCLUDED IS CROSS-LOT PARKING.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #: 101206644815040401
PROPERTY OWNER OF RECORD: AHS West Mesa Hospital, LLC
BERNALILLO COUNTY TREASURER'S OFFICE:

PLAT
OF
TRACTS 1-A-1-A and 1-A-3-A
OF
TRACTS 1-A1, 1-A2, 1-A3 and 2-A1
ST. JOSEPH WEST MESA HOSPITAL
PARADISE HEIGHTS - UNIT NO. ONE
WITHIN PROJECTED SECTION 1, T.11N., R2E., N.M.P.M.
TOWN OF ALAMEDA GRANT
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER 2005

APPROVALS:

SUBDIVISION CASE NO.: _____
[Signature] D.R.B. NO. _____
CITY SURVEYOR, ALBUQUERQUE, NM DATE 10/3/05

TRAFFIC ENGINEERING, ALBUQUERQUE, NM DATE _____

C.I.P./DESIGN DEVELOPMENT, ALBUQUERQUE, NM DATE _____

UTILITY DEVELOPMENT DIVISION, ALBUQUERQUE, NM DATE _____

PARKS AND RECREATION DEPARTMENT DATE _____

A.M.A.F.C.A. DATE _____

CITY ENGINEER, ALBUQUERQUE, NM DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE _____

UTILITY COMPANY APPROVALS:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE NOT EXCLUSIVE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF THE UTILITIES DESIGNATED ON THIS PLAT, THEIR SUCCESSORS AND ASSIGNS, AND FOR THE USE OF ANY OTHER PUBLIC UTILITIES WHOSE USE OF SAID EASEMENT IS DEEMED TO BE IN THE PUBLIC INTEREST. P.N.M. GAS & ELECTRIC SERVICES DISCLAIMER:

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT, OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.

P.N.M. ELECTRIC SERVICES DATE _____

P.N.M. GAS SERVICES DATE _____

NEW MEXICO UTILITIES DATE _____

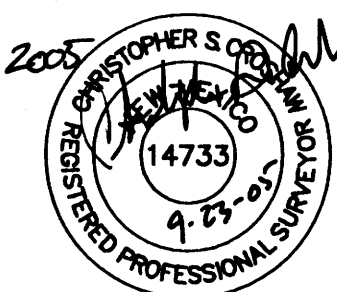
QWEST COMMUNICATIONS DATE _____

COMCAST DIGITAL CABLE DATE _____

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER S. CROSHAW, A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST; IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE OCTOBER 1, 2000.

[Signature]
CHRISTOPHER S. CROSHAW, N.M.R.P.S. NO. 14733
27 SEPTEMBER 2005
DATE



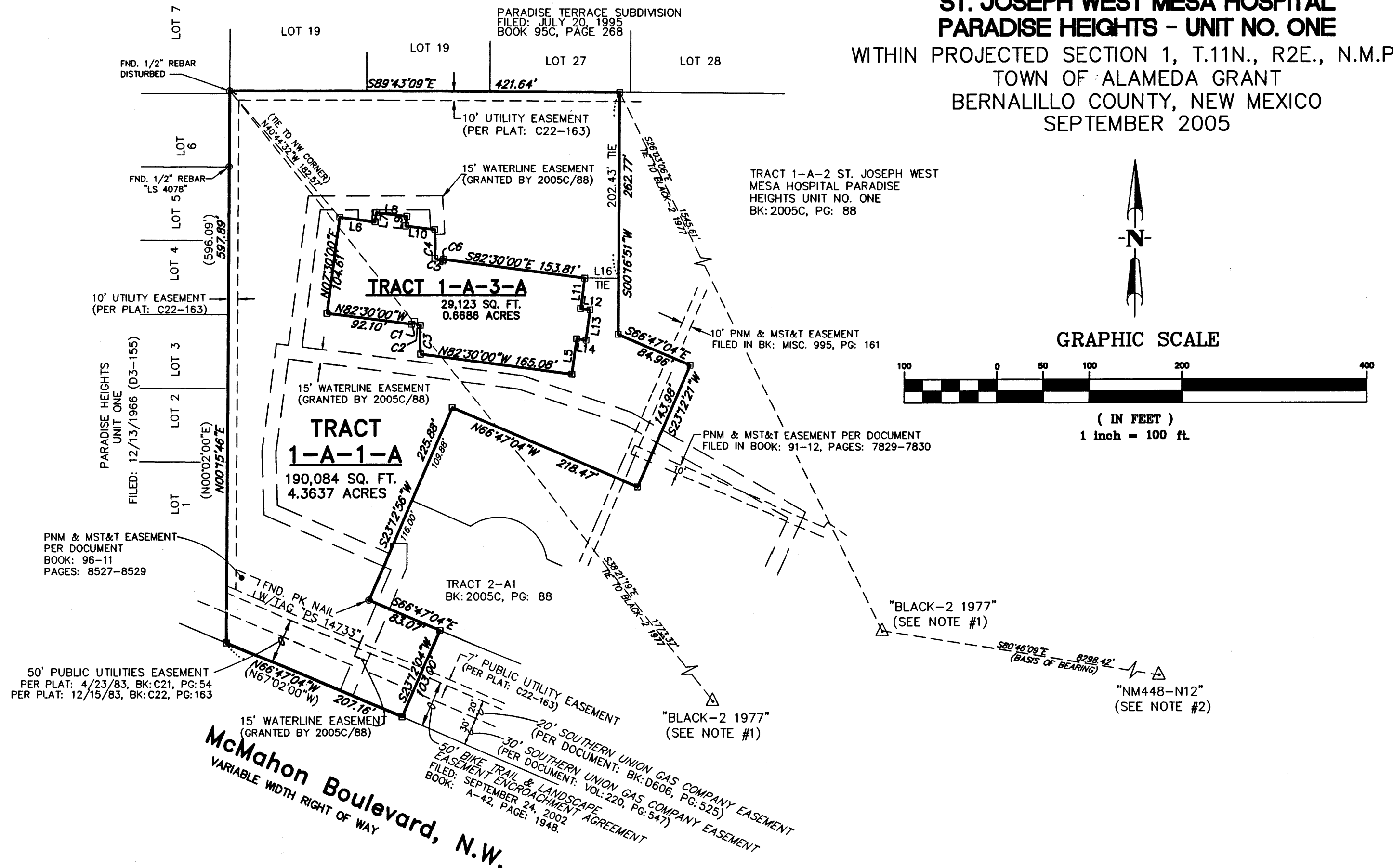
WILSON
& COMPANY
4900 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO
87109
(505) 348-4000

SHEET 1 OF 2
WCEA PROJ. NO. X5-430-090

PLAT
OF
TRACTS 1-A-1-A and 1-A-3-A
OF
TRACTS 1-A1, 1-A2, 1-A3 and 2-A1
ST. JOSEPH WEST MESA HOSPITAL
PARADISE HEIGHTS - UNIT NO. ONE
WITHIN PROJECTED SECTION 1, T.11N., R2E., N.M.P.M.
TOWN OF ALAMEDA GRANT
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER 2005

NOTE #1
USGS ALUMINUM TABLET
STAMPED "BLACK-2 1977"
X = 372,920.43
Y = 1,530,241.52
NEW MEXICO STATE PLANE
COORDINATE SYSTEM (GRID)
CENTRAL ZONE
DELTA ALPHA = (-)00°14'43"
GRND. TO GRID = 0.9996784
N.A.D. 1927

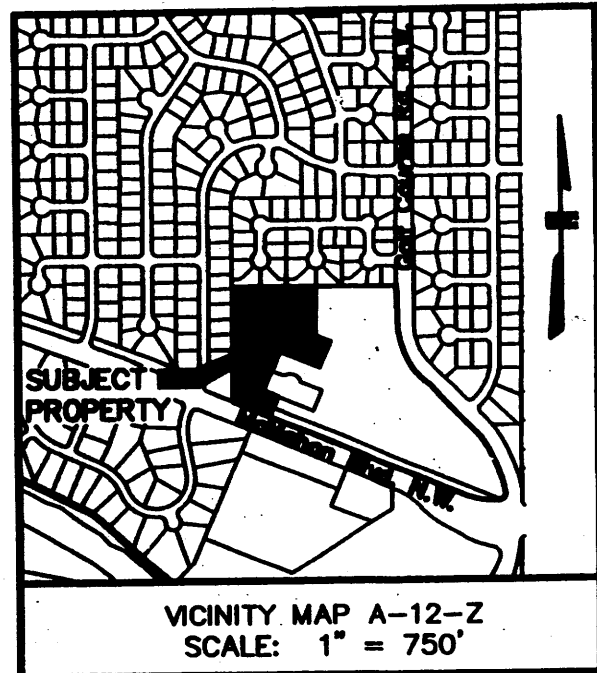
NOTE #2
NMSHC BRASS TABLET
STAMPED "NM448-N12"
X = 381,108.54
Y = 1,528,910.94
NEW MEXICO STATE PLANE
COORDINATE SYSTEM (GRID)
CENTRAL ZONE
DELTA ALPHA = (-)00°13'46"
GRND. TO GRID = 0.99967595
N.A.D. 1927



LINE TABLE		
LINE	LENGTH	BEARING
L1	56.23'	S40°27'30"E
L2	47.13'	S32°31'38"E
L3	26.92'	N66°36'39"W
L4	66.07'	N06°19'59"E
L5	46.84'	S03°39'43"W
L6	38.57'	S82°30'00"E
L7	10.28'	N07°30'00"E
L8	33.14'	S82°30'00"E
L9	10.28'	S07°30'00"W
L10	31.67'	S82°30'00"E
L11	32.91'	S07°30'00"W
L12	10.28'	S82°30'00"E
L13	33.14'	S07°30'00"W
L14	10.28'	N82°30'00"W

CURVE TABLE					
CURVE	LENGTH	RADIUS	Delta	Chord Bearing	Chord Length
C1	32.72'	40.00'	46°52'00"	N14°10'45"E	31.81'
C2	104.43'	50.00'	119°40'10"	N53°22'51"E	86.46'
C3	25.89'	50.00'	29°40'10"	N08°22'51"E	25.60'
C4	31.25'	153.27'	11°40'51"	N00°34'58"W	31.19'
C5	8.96'	37.19'	13°48'20"	N70°53'19"W	8.94'
C6	2.03'	153.27'	0°45'37"	S33°20'44"W	2.03'

WILSON
& COMPANY
4900 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO
87109
(505) 348-4000
SHEET 2 OF 2
WCEA PROJ. NO. X5-430-090



OWNER(S) AND/OR PROPRIETOR(S)
 FOR: TRACTS 1-A-1-A and 1-A-3-A,
 ST. JOSEPH WEST MESA HOSPITAL
 PARADISE HEIGHTS - UNIT ONE

SUBDIVISION DATA:

D.R.B. PROJECT NO. 1002584
 D.R.B. APPLICATION NO. _____
 ZONE ATLAS INDEX NO. A - 12 - Z
 TOTAL NO. OF LOTS EXISTING: TWO
 TOTAL NO. OF LOTS CREATED: TWO
 GROSS SUBDIVISION ACREAGE: 5.0323 ACRES
 TOTAL MILES OF STREETS CREATED: NONE
 TALOS LOG NO. 2004372645
 DATE OF SURVEY: JULY 2005
 ZONING: SU-1 HOSPITAL + RELATED FACILITIES

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO REPLAT TRACT 1-A-3 WITHIN TRACT 1-A-1, ST. JOSEPH WEST MESA HOSPITAL - PARADISE HEIGHTS UNIT ONE. THE EXTERIOR DIMENSIONS OF TRACT 1-A-3 ARE THE SAME AS TRACT 1-A3 SHOWN ON THE PLAT (2005C, 88), HOWEVER THE TIE AND PHYSICAL LOCATION HAVE BEEN REVERSED AND REFLECTED ON THIS PLAT.

BY: AHS WEST MESA HOSPITAL, LLC, RON STERN

STATE OF Tennessee)
) SS.
 COUNTY OF Davidson)

THIS INSTRUMENT WAS ACKNOWLEDGED, BEFORE ME ON THIS 27th DAY OF September, 2005, FOR AND ON THE BEHALF OF LOVELACE SANDIA HEALTH SYSTEM, INC. d/b/a WEST MESA MEDICAL CENTER

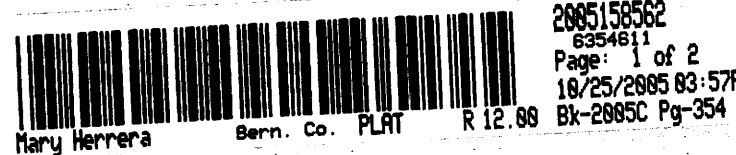
BY: Ron Stern

NOTARY PUBLIC: J. E. Nat

MY COMMISSION EXPIRES: 9/20/06

NOTES:

- USGS Brass Tablet stamped "Black-2 1977"
New Mexico State Plane Coordinates (Central Zone)
X=372,920.43 Y=1,530,241.52 NAD 1927
Ground-to-Grid factor: 0.9996784
- NMSHC Brass Tablet stamped "NM448-N12"
New Mexico State Plane Coordinates (Central Zone)
X=381,108.54 Y=1,528,910.94 NAD 1927
Ground-to-Grid factor: 0.99967895
- Field survey performed on July 2005.
- Basis of Bearings: New Mexico State Plane coordinates (Central Zone).
Based on a line from "NM448-N12" to "Black-2 1977".
Bearing: N.80°46'09"W.
- All distances are ground distances.
- Bearings and distances shown in parenthesis are per plat entitled, Redivision of Tracts 1 and 2, St. Joseph West Mesa Hospital, Paradise Heights-Unit No. One,
- filed in the Office of the County Clerk of Bernalillo County, New Mexico on December 15, 1983, in Map Book C22, Folio 163.
- Monuments indicated as □ are set with either a 5/8" rebar with a cap stamped "PS 14733" or a P.K. Nail with a tag stamped "PS 14733".



LEGAL DESCRIPTION for TRACT 1-A-1-A:

A certain parcel of land being all of Tract 1-A1 as shown on the plat of TRACTS A-A1, 1-A2, 1-A3 AND 2-A1 ST. JOSEPH WEST MESA MEDICAL HOSPITAL - PARADISE HEIGHTS UNIT NO. ONE as shown and designated on the plat filed in Map Book 2005C, Page 88, records of Bernalillo County, New Mexico within projected Section 1, Township 11 North, Range 2 East of the N.M.P.M..

LEGAL DESCRIPTION for TRACT 1-A-3-A:

A certain parcel of land being all of Tract 1-A3 as shown on the plat of TRACTS A-A1, 1-A2, 1-A3 AND 2-A1 ST. JOSEPH WEST MESA MEDICAL HOSPITAL - PARADISE HEIGHTS UNIT NO. ONE as shown and designated on the plat filed in Map Book 2005C, Page 88, records of Bernalillo County, New Mexico within projected Section 1, Township 11 North, Range 2 East of the N.M.P.M..

FREE CONSENT AND DEDICATION:

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S). AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE EASEMENTS SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON, AND DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

CROSS-LOT DRAINAGE AND ACCESS EASEMENTS ON TRACT 1-A-1-A FOR THE BENEFIT OF TRACTS 1-A-3, 2A1 AND 1A2. ST. JOSEPH'S WEST MESA HOSPITAL - PARADISE HEIGHTS, UNIT NO. ONE (GRANTED BY THIS PLAT), ARE FOR THE BENEFIT AND USE BY AND FOR THE OWNER(S) AND/OR PROPRIETOR(S) OF SAID TRACTS AND ARE TO BE MAINTAINED BY SAID OWNER(S). ALSO INCLUDED IS CROSS-LOT PARKING.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1-012-066-448-150-406-01 PROPERTY OWNER OF RECORD AHS West Mesa Hospital LLC BERNALILLO COUNTY TREASURER'S OFFICE 9/20/05

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UNIFORM PROPERTY CODE # : 101206644815040401 PROPERTY OWNER OF RECORD: AHS West Mesa Hospital, LLC BERNALILLO COUNTY TREASURER'S OFFICE:

PLAT
 OF
TRACTS 1-A-1-A and 1-A-3-A
 OF
TRACTS 1-A1, 1-A2, 1-A3 and 2-A1
ST. JOSEPH WEST MESA HOSPITAL
PARADISE HEIGHTS - UNIT NO. ONE
 WITHIN PROJECTED SECTION 1, T.11N., R2E., N.M.P.M.
 TOWN OF ALAMEDA GRANT
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER 2005

APPROVALS:

SUBDIVISION CASE NO.: <u>05 DRB-01554</u>	<u>1002584</u>
<u>[Signature]</u> CITY SURVEYOR, ALBUQUERQUE, NM	D.R.B. NO. <u>10/3/05</u> DATE
<u>[Signature]</u> TRAFFIC ENGINEERING, ALBUQUERQUE, NM	<u>10-19-05</u> DATE
<u>[Signature]</u> CITY DESIGN DEVELOPMENT, ALBUQUERQUE, NM	<u>N/A</u> DATE
<u>[Signature]</u> UTILITY DEVELOPMENT DIVISION, ALBUQUERQUE, NM	<u>10/19/05</u> DATE
<u>[Signature]</u> PARKS AND RECREATION DEPARTMENT	<u>10/19/05</u> DATE
<u>[Signature]</u> A.M.A.F.C.A.	<u>10/19/05</u> DATE
<u>[Signature]</u> CITY ENGINEER, ALBUQUERQUE, NM	<u>10/19/05</u> DATE
<u>[Signature]</u> DRB CHAIRPERSON, PLANNING DEPARTMENT	<u>10/19/05</u> DATE

UTILITY COMPANY APPROVALS:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE NOT EXCLUSIVE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF THE UTILITIES DESIGNATED ON THIS PLAT, THEIR SUCCESSORS AND ASSIGNS, AND FOR THE USE OF ANY OTHER PUBLIC UTILITIES WHOSE USE OF SAID EASEMENT IS DEEMED TO BE IN THE PUBLIC INTEREST. P.N.M. GAS & ELECTRIC SERVICES DISCLAIMER:

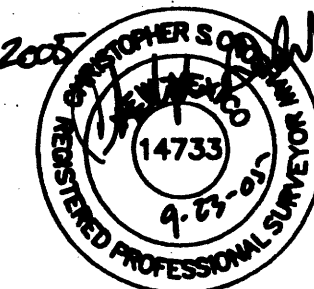
IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT, OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.

<u>[Signature]</u> P.N.M. ELECTRIC SERVICES	<u>10-3-05</u> DATE
<u>[Signature]</u> P.N.M. GAS SERVICES	<u>10-3-05</u> DATE
<u>[Signature]</u> NEW MEXICO UTILITIES	<u>10-17-05</u> DATE
<u>[Signature]</u> WEST COMMUNICATIONS	<u>10/5/05</u> DATE
<u>[Signature]</u> COMCAST DIGITAL CABLE	<u>10-17-05</u> DATE

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER S. CROSHAW, A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST; IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE OCTOBER 1, 2000.

[Signature]
 CHRISTOPHER S. CROSHAW, N.M.R.P.S. NO. 14733
23 SEPTEMBER 2005
 DATE



WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 348-4000

(505) 348-4000
 87109
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
WILSON & COMPANY

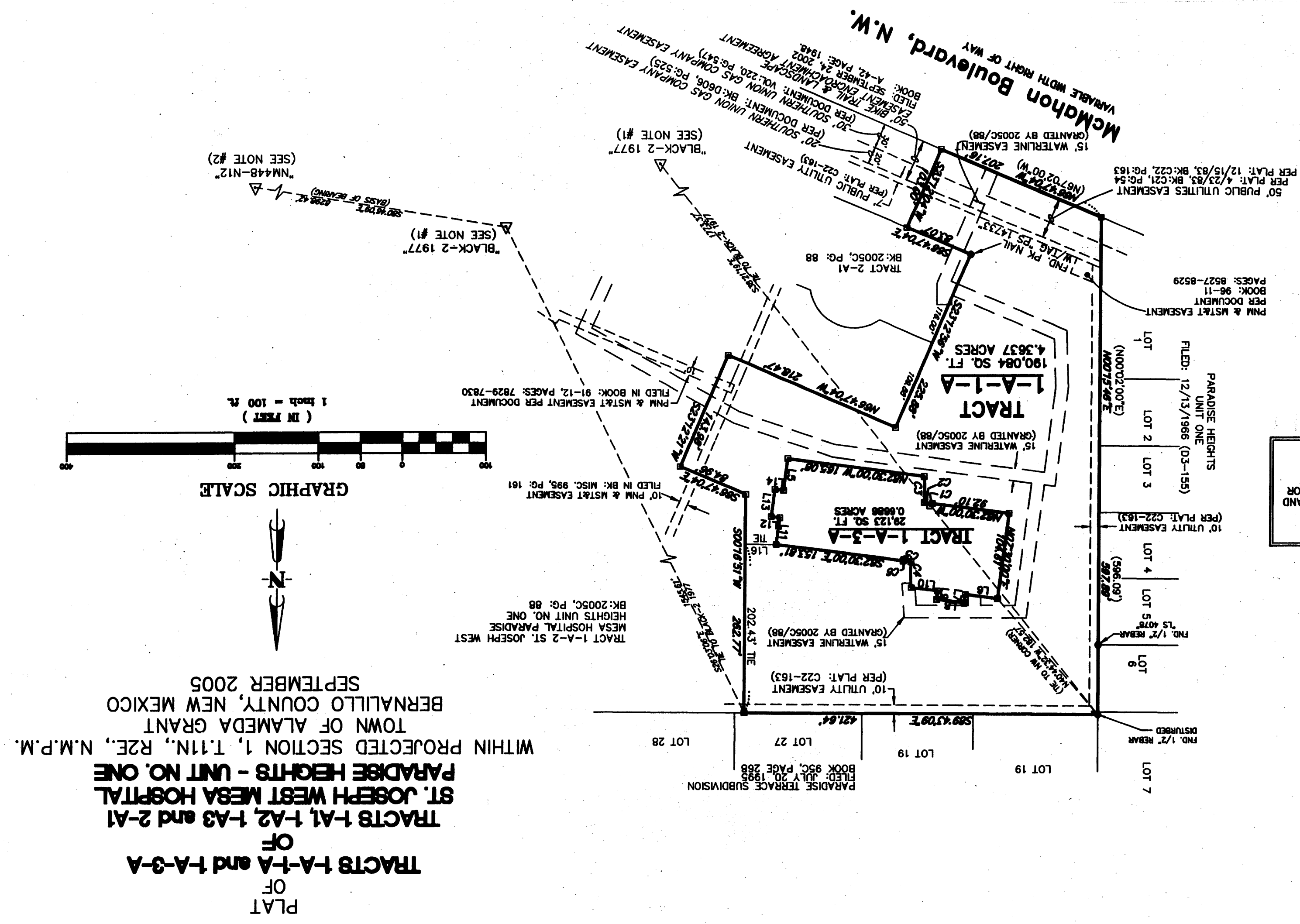
CURVE TABLE

CURVE	LENGTH	RADIUS	Delta	Bearing	Chord	Chord Length
C1	32.72'	40.00'	46.5200°	N14.10'45"E	31.81'	2.03'
C2	104.43'	50.00'	119.40'10"	N53.22'51"E	86.46'	25.60'
C3	25.89'	50.00'	29.44'10"	N08.22'51"E	25.60'	31.19'
C4	31.25'	153.27'	11.40'51"	N00.34'58"W	31.19'	8.94'
C5	8.96'	37.19'	13.48'20"	N70.53'19"W	8.94'	2.03'
C6	2.03'	153.27'	0.45'37"	S33.20'44"W	2.03'	2.03'

LINE TABLE

LINE	LENGTH	BEARING
L1	56.23'	S40°27'30"E
L2	47.13'	S32°31'38"E
L3	26.92'	N66°36'39"W
L4	66.07'	N06°19'59"E
L5	46.84'	S03°39'43"W
L6	38.57'	S82°30'00"E
L7	10.28'	N07°30'00"E
L8	33.14'	S82°30'00"E
L9	10.28'	S07°30'00"W
L10	31.67'	S82°30'00"E
L11	32.91'	S07°30'00"W
L12	10.28'	S82°30'00"E
L13	33.14'	S07°30'00"W
L14	10.28'	N82°30'00"W

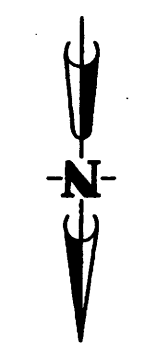
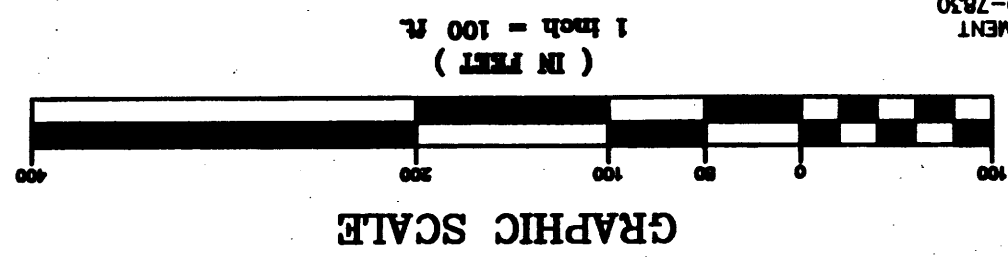
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 Page 2 of 2
 18/23/2005 09:37
 Harry Herrera
 Perm. Co. PLT R 12.09 BK-2885C Pg-354



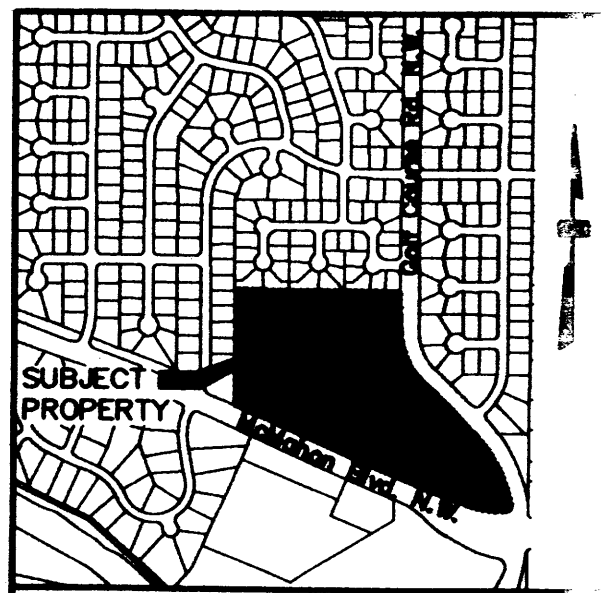
NOTE:
 LOVEACE SANDIA HEALTH SYSTEM, INC. d/b/a WEST MESA MEDICAL CENTER GRANTS A PERPETUAL, NON-EXCLUSIVE RIGHT AND EASEMENT FOR INGRESS AND EGRESS, PARKING EASEMENT, UTILITY EASEMENTS AND DRAINAGE FACILITIES FOR TRACT 1-A-3 FILED FEBRUARY 22, 2005 RECORDED IN "DECLARATION OF COVENANTS, RESTRICTIONS AND EASEMENTS" AT DOCUMENT NUMBER 2005024851.

NOTE #1
 USGS ALUMINUM TABLE
 STAMPED "BLACK-2 1977"
 X = 572,920.43
 Y = 1,530,241.52
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM (GRD)
 CENTRAL ZONE
 DELTA ALPHA = (-)0014'43"
 GRND. TO GRID = 0.9996784
 N.A.D. 1927

NOTE #2
 NMSHC BRASS TABLE
 STAMPED "NM448-N12"
 X = 381,108.54
 Y = 1,528,910.94
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM (GRD)
 CENTRAL ZONE
 DELTA ALPHA = (-)0013'46"
 GRND. TO GRID = 0.99967595
 N.A.D. 1927



PLAT
 OF
TRACTS 1-A-1A and 1-A-3-A
 OF
TRACTS 1-A1, 1-A2, 1-A3 and 2-A1
ST. JOSEPH WEST MESA HOSPITAL
PARADISE HEIGHTS - UNIT NO. ONE
 WITHIN PROJECTED SECTION 1, T.11N., R.2E., N.M.P.M.
 TOWN OF ALAMEDA GRANT
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER 2005

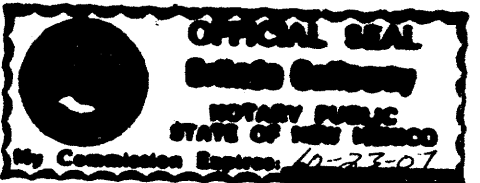


VICINITY MAP A-12-Z
SCALE: 1" = 750'

OWNER(S) AND/OR PROPRIETOR(S)
FOR: TRACTS 1-A-1, 1-A-2, 1-A-3 AND 2-A-1, ST. JOSEPH WEST MESA HOSPITAL
PARADISE HEIGHTS - UNIT ONE

BY: [Signature]

2885831185
6227158
Page: 1 of 2
83/84/2885 82: 86P
8X-2885C Pg-88



ACKNOWLEDGMENT
STATE OF New Mexico)
COUNTY OF Bernalillo) SS.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 1ST DAY OF February, 2005, FOR AND ON THE BEHALF OF LOVELACE SANDIA HEALTH SYSTEM, INC. d/b/a WEST MESA MEDICAL CENTER
BY: [Signature]
NOTARY PUBLIC: [Signature]
MY COMMISSION EXPIRES: 10-23-07

SUBDIVISION DATA:

D.R.B. PROJECT NO. 1002584
D.R.B. APPLICATION NO. 04DRB-01375
ZONE ATLAS INDEX NO. A - 12 - Z
TOTAL NO. OF LOTS EXISTING: TWO
TOTAL NO. OF LOTS CREATED: FOUR
GROSS SUBDIVISION ACREAGE: 19.0162 ACRES
TOTAL MILES OF STREETS CREATED: NONE
TALOS LOG NO. 2004372645
DATE OF SURVEY: SEPTEMBER 3, 2004

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UNIFORM PROPERTY CODE # : 1-072-066-416-156-40427
PROPERTY OWNER OF RECORD: AHS West Mesa Hospital, LLC
BERNALILLO COUNTY TREASURER'S OFFICE:
[Signature] 03-04-05

NOTES:

- USGS Brass Tablet stamped "Black-2 1977" New Mexico State Plane Coordinates (Central Zone)
Y=1,530,241.52
X=372,920.43
Ground-to-grid factor: 0.9996784
NAD 1927
DELTA ALPHA = -0°14'43"
- USGS Brass Tablet stamped "Azimuth Black 1946 No. 2 1969" New Mexico State Plane Coordinates (Central Zone)
Y=1,527,426.22
X=371,852.10
Ground-to-grid factor: 0.9996887
NAD 1927
- Field survey performed on September 3, 2004.
- Basis of Bearings: New Mexico State Plane coordinates (Central Zone). Based on a line from "Azimuth Black 1946 No. 2 1969" to "Black-2 1977". Bearing: N.20°46'49"E.
- All distances are ground distances.
- Bearings and distances shown in parenthesis are per plat entitled, Redivision of Tracts 1 and 2, St. Joseph West Mesa Hospital, Paradise Heights-Unit No. One, filed in the Office of the County Clerk of Bernalillo County, New Mexico on December 15, 1983, in Map Book C22, Folio 163.
- Monuments indicated as □ are set with either a 5/8" rebar with a cap stamped "PS 14733" or a P.K. Nail with a tag stamped "PS 14733".

PLAT OF
TRACTS 1-A-1, 1-A-2, 1-A-3 and 2-A-1
ST. JOSEPH WEST MESA HOSPITAL
PARADISE HEIGHTS - UNIT NO. ONE
WITHIN PROJECTED SECTION 1, T.11N., R.2E., N.M.P.M.
TOWN OF ALAMEDA GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2005

APPROVALS:

SUBDIVISION CASE NO.:	<u>1002584</u>	<u>05-00168</u>
		D.R.B. NO.
CITY SURVEYOR, ALBUQUERQUE, NM	<u>[Signature]</u>	<u>2-1-05</u>
		DATE
TRAFFIC ENGINEERING, ALBUQUERQUE, NM	<u>[Signature]</u>	<u>3/4/05</u>
		DATE
C.I.P./DESIGN DEVELOPMENT, ALBUQUERQUE, NM	<u>[Signature]</u>	<u>02/09/05</u>
		DATE
UTILITY DEVELOPMENT DIVISION, ALBUQUERQUE, NM	<u>[Signature]</u>	<u>2-9-05</u>
		DATE
PARKS AND RECREATION DEPARTMENT	<u>[Signature]</u>	<u>2-9-05</u>
		DATE
A.M.A.F.C.A.	<u>[Signature]</u>	<u>2-9-05</u>
		DATE
CITY ENGINEER, ALBUQUERQUE, NM	<u>[Signature]</u>	<u>2-9-05</u>
		DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	<u>[Signature]</u>	<u>3-04-05</u>
		DATE

UTILITY COMPANY APPROVALS:

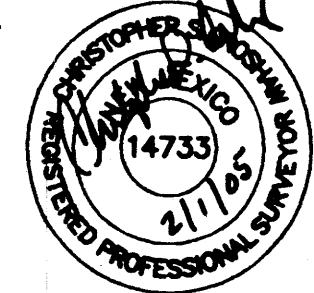
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE NOT EXCLUSIVE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF THE UTILITIES DESIGNATED ON THIS PLAT, THEIR SUCCESSORS AND ASSIGNS, AND FOR THE USE OF ANY OTHER PUBLIC UTILITIES WHOSE USE OF SAID EASEMENT IS DEEMED TO BE IN THE PUBLIC INTEREST. P.N.M. GAS & ELECTRIC SERVICES DISCLAIMER:
IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT, OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.

P.N.M. ELECTRIC SERVICES	<u>[Signature]</u>	<u>2-17-05</u>
		DATE
P.N.M. GAS SERVICES	<u>[Signature]</u>	<u>2-17-05</u>
		DATE
NEW MEXICO UTILITIES	<u>[Signature]</u>	<u>2-10-05</u>
		DATE
QWEST COMMUNICATIONS	<u>[Signature]</u>	<u>2-11-05</u>
		DATE
COMCAST DIGITAL CABLE	<u>[Signature]</u>	<u>2-10-05</u>
		DATE

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER S. CROSHAW, A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST; IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE OCTOBER 1, 2000.

[Signature]
CHRISTOPHER S. CROSHAW, N.M.R.P.S. NO. 14733
01 FEBRUARY 2005
DATE

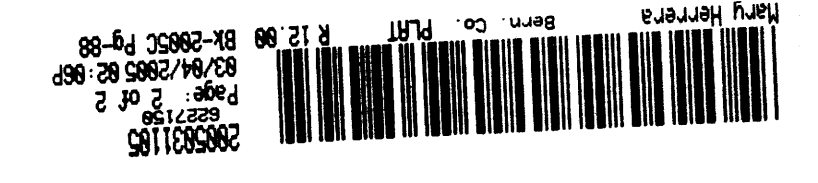
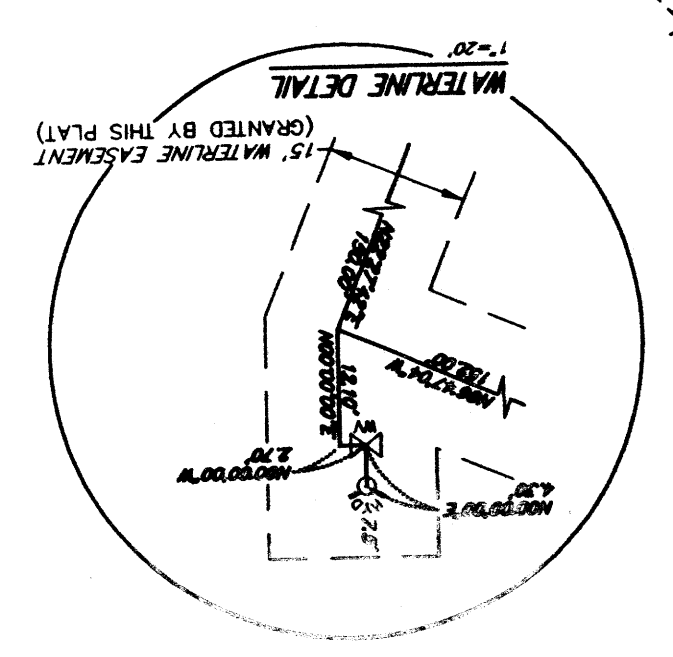


WILSON & COMPANY
4900 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO
87109
(505) 348-4000

SHEET 1 OF 2
WCEA PROJ. NO. X4-614-025

X:\Public\PROJECTS\X4614025\5\X4614025_Final_Plat.dwg 10/11/2004 1:44:04 PM MDT

PLAT OF
TRACTS 1-A1, 1-A2, 1-A3 and 2-A1
ST. JOSEPH WEST MESA HOSPITAL
PARADISE HEIGHTS - UNIT NO. ONE
 WITHIN PROJECTED SECTION 1, T.11N., R.2E., N.M.P.M.
 TOWN OF ALAMEDA GRANT
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2005



GRAPHIC SCALE
 1 inch = 100 ft

EASEMENT LINE TABLE

LINE	LENGTH	BEARING
L29	83.82	S83°42'31"W
L30	220.97	S23°46'07"W
L31	26.37	S36°25'14"W
L32	27.09	S46°46'21"W
L33	10.00	S23°12'56"W
L34	44.95	S23°12'56"W

NOTE:
 LOVEAGE SANDRA HEALTH SYSTEM, INC. d/b/a WEST MESA MEDICAL CENTER
 GRANTS A PERPETUAL, NON-EXCLUSIVE RIGHT AND EASEMENT FOR INGRESS
 AND EGRESS PARKING EASEMENT, UTILITY EASEMENTS AND DRAINAGE FACILITIES
 AND EGRESS PARKING EASEMENT OF TRACT 1-A-3 FILED FEBRUARY
 22, 2005 RECORDED IN DECLARATION OF COVENANTS, RESTRICTIONS AND
 EASEMENTS AT DOCUMENT NUMBER 2005024651.

ADDITIONAL RIGHT-OF-WAY ACQUIRED BY
 THE CITY OF ALBUQUERQUE, FILED
 IN BOOK 78,659 SQ. FT. 1,8058 ACRES

NOTE #1
 USGS BRASS TABLET
 STAMPED "BLACK-2 1977"
 X = 372,920.4152
 Y = 1,530,241.52
 DELTA ALPHA = (-)007°44'33"
 GRND. TO GRID = 0.9996784
 N.A.D. 1927

NOTE #2
 USGS BRASS TABLET
 STAMPED "AZMUTH"
 "BLACK 1946 NO. 2 1969"
 X = 371,852.10
 Y = 1,527,426.22
 DELTA ALPHA = (-)007°44'50"
 GRND. TO GRID = 0.9996687
 N.A.D. 1927

WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000
SHEET 2 OF 2
 WCEA PROJ. NO. X4-614-025

CURVE TABLE

Curve	Length	Radius	Delta	Chord	Chord Length
C1	32.72	40.00	46°52'00"	14.10	45.75
C2	104.43	50.00	119°40'10"	88.22	151.60
C3	25.89	50.00	29°40'10"	18.82	25.60
C4	31.25	153.27	11°40'51"	11.40	31.19
C5	8.96	137.82	3°37'19"	2.70	8.94
C6	2.03	153.27	0°45'37"	0.33	2.03
C7	31.25	153.27	11°40'51"	11.40	31.19
C8	8.96	137.82	3°37'19"	2.70	8.94
C9	2.03	153.27	0°45'37"	0.33	2.03
C10	178.56	703.13	14°33'00"	120.08	178.08
C11	152.34	838.54	10°34'32"	102.42	152.13
C12	41.86	133.38	17°58'52"	31.11	41.69
C13	35.34	166.62	12°09'05"	26.42	35.27
C14	106.33	730.88	8°20'07"	82.07	106.23

LINE TABLE

Line	Length	Bearing
L1	56.23	S40°27'30"E
L2	47.13	S32°31'38"E
L3	26.92	N66°36'39"W
L4	66.07	N06°19'59"E
L5	46.84	S03°39'43"W
L6	38.57	S82°30'00"E
L7	10.28	N07°30'00"E
L8	33.14	S82°30'00"E
L9	31.67	S82°30'00"E
L10	10.28	S07°30'00"W
L11	32.91	S07°30'00"W
L12	10.28	S82°30'00"E
L13	33.14	S07°30'00"W
L14	10.28	N82°30'00"W
L15	38.57	S07°30'00"W
L16	29.40	S89°43'09"E
L17	24.19	S00°00'00"E
L18	34.46	S03°29'38"E
L19	28.12	S66°36'39"E

NOTE: EXISTING EASEMENT TO BE OUTCLAIMED
 BY SEPARATE DOCUMENT FROM MOUNTAIN BELL
 AND TELEGRAPH CO.
 (PER PLAT: TRACT 1 & 2, ST. JOSEPH
 WEST MESA HOSPITAL, PARADISE HEIGHTS-UNIT ONE
 FILED APRIL 28, 1983, VOL. C21, FOL. 54)
 OUTCLAIMED BY MOUNTAIN STATES TELEPHONE &
 TELEGRAPH COMPANY BY OUTCLAIM DEED FILED:
 APRIL 17, 1986, BK: D2684, PGS: 373-374

NOTE: EXISTING EASEMENT TO BE OUTCLAIMED
 BY SEPARATE DOCUMENT FROM MOUNTAIN BELL
 AND TELEGRAPH CO.
 (PER PLAT: TRACT 1 & 2, ST. JOSEPH
 WEST MESA HOSPITAL, PARADISE HEIGHTS-UNIT ONE
 FILED APRIL 28, 1983, VOL. C21, FOL. 54)
 OUTCLAIMED BY MOUNTAIN STATES TELEPHONE &
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 APRIL 17, 1986, BK: D2684, PGS: 373-374

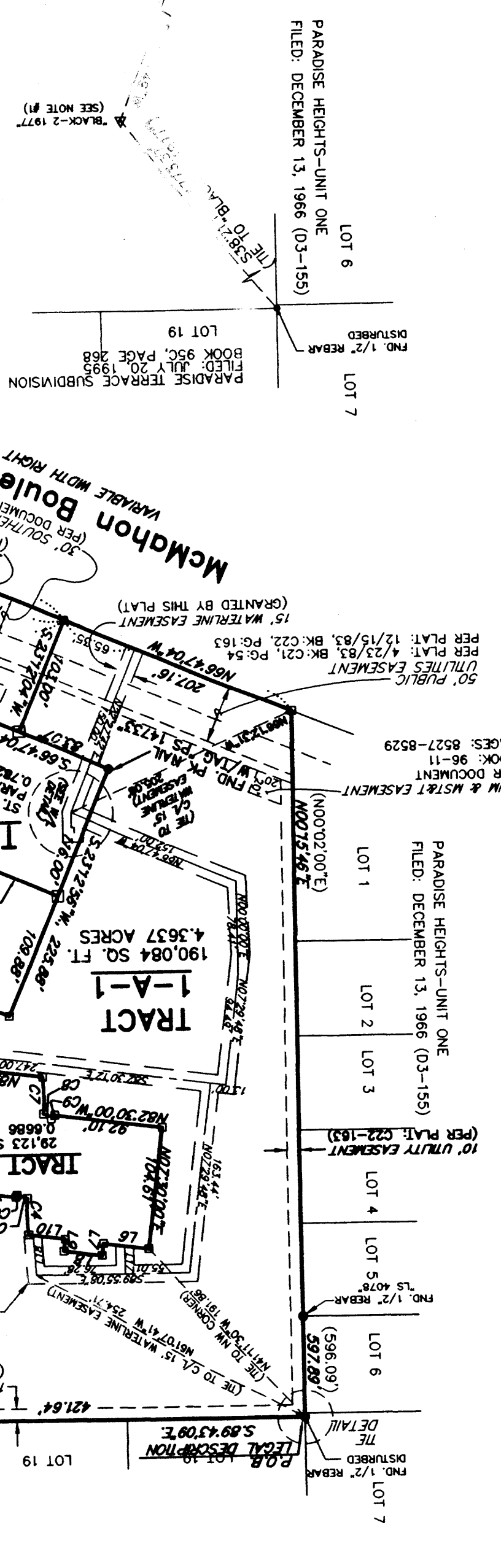
NOTE: EXISTING EASEMENT TO BE OUTCLAIMED
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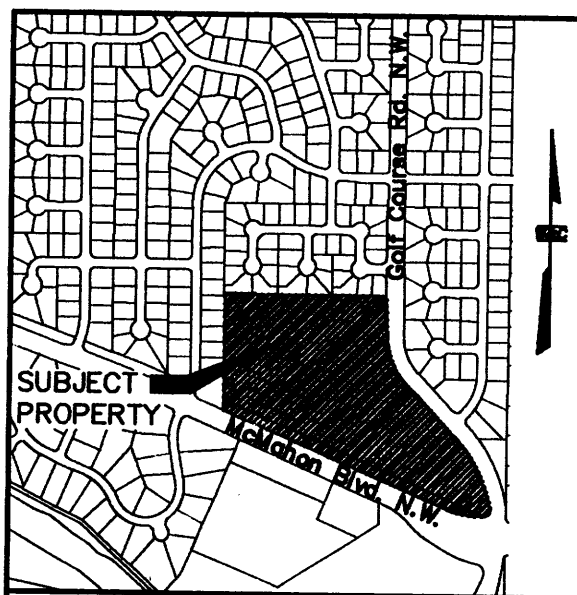
NOTE: EXISTING EASEMENT TO BE OUTCLAIMED
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 AND TELEGRAPH CO.
 (PER PLAT: TRACT 1 & 2, ST. JOSEPH
 WEST MESA HOSPITAL, PARADISE HEIGHTS-UNIT ONE
 FILED APRIL 28, 1983, VOL. C21, FOL. 54)
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 AND TELEGRAPH CO.
 (PER PLAT: TRACT 1 & 2, ST. JOSEPH
 WEST MESA HOSPITAL, PARADISE HEIGHTS-UNIT ONE
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 APRIL 17, 1986, BK: D2684, PGS: 373-374

NOTE: EXISTING EASEMENT TO BE OUTCLAIMED
 BY SEPARATE DOCUMENT FROM MOUNTAIN BELL
 AND TELEGRAPH CO.
 (PER PLAT: TRACT 1 & 2, ST. JOSEPH
 WEST MESA HOSPITAL, PARADISE HEIGHTS-UNIT ONE
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 TELEGRAPH COMPANY BY OUTCLAIM DEED FILED:
 APRIL 17, 1986, BK: D2684, PGS: 373-374

NOTE: EXISTING EASEMENT TO BE OUTCLAIMED
 BY SEPARATE DOCUMENT FROM MOUNTAIN BELL
 AND TELEGRAPH CO.
 (PER PLAT: TRACT 1 & 2, ST. JOSEPH
 WEST MESA HOSPITAL, PARADISE HEIGHTS-UNIT ONE
 FILED APRIL 28, 1983, VOL. C21, FOL. 54)
 OUTCLAIMED BY MOUNTAIN STATES TELEPHONE &
 TELEGRAPH COMPANY BY OUTCLAIM DEED FILED:
 APRIL 17, 1986, BK: D2684, PGS: 373-374





VICINITY MAP A-12-Z
SCALE: 1" = 750'

LEGAL DESCRIPTION:

A certain parcel of land being the remainder of Tract 1A and 2A, St. Joseph West Mesa Hospital - Paradise Heights Unit One as shown and designated on the plat filed on December 15, 1983 in Map Book C22, Folio 163, records of Bernalillo County, New Mexico within projected Section 1, Township 11 North, Range 2 East of the N.M.P.M. being more particularly described as follows:
BEGINNING at the Northwest Corner of Tract 1A of said plat whence the USGS Brass Tablet stamped "Black-2 1977" bears S.38°21'19"E 1,773.37 feet distant; thence
S.89°43'09"E. along the North line of said Tract 1A a distance of 824.50 feet to the Westerly Right of Way of Golf Course Road NW; thence along said Westerly Right of Way for the next 12 courses,
S.06°19'50"W. a distance of 66.07 feet; thence
S.04°47'26"E. distance of 160.53 feet; thence
178.56 feet along the arc of a curve to the left, said curve having a Central Angle of 14°33'00", a Radius of 703.13 feet and a chord of 178.08 feet which bears S.20°08'58"E.; thence
S.03°39'43"W. a distance of 46.84 feet; thence
S.40°27'30"E. a distance of 56.23 feet; thence
S.44°23'30"E. a distance of 301.81 feet; thence
S. 32°31'38"E. a distance of 47.13 feet; thence
152.34 feet along the arc of a curve to the right, said curve having a Central Angle of 10°24'32", a Radius of 838.54 feet and a chord of 152.13 feet which bears S.25°49'24"E.; thence
41.86 feet along the arc of a compound curve, said curve having a Central Angle of 17°58'52", a Radius of 133.38 feet and a chord of 41.69 feet which bears S.11°37'42"E.; thence
35.34 feet along the arc of a reverse curve, said curve having a Central Angle of 12°09'05", a Radius of 166.62 feet and a chord of 35.27 feet which bears S.08°42'49"E.; thence
106.33 feet along the arc of a compound curve, said curve having a Central Angle of 08°20'07", a Radius of 730.88 feet and a chord of 106.23 feet which bears S.10°37'17"E.; thence
104.43 feet along the arc of a reverse curve, said curve having a Central Angle of 119°40'10", a Radius of 50.00 feet and a chord of 86.46 feet which bears S.53°22'51"W.; to a point on the Northerly Right of Way of McMahon Boulevard N.W.; thence
N.66°47'04"W. along said Northerly Right of Way a distance of 1,300.14 feet to the Southwest Corner of said Tract 1A; thence leaving said Northerly Right of Way
N00°15'46"E. along the West line of said Tract a distance of 597.89 feet to the Point and Place of Beginning
Said tract contains 828,347 Square Feet or 19.0162 Acres, more or less.

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO DIVIDE EXISTING REMAINDER OF TRACT 1-A, ST. JOSEPH WEST MESA HOSPITAL - PARADISE HEIGHTS UNIT ONE INTO THREE TRACTS BEING 1-A-1, 1-A-2 AND 1-A-3 AND GRANT EASEMENTS, AND CREATING TRACT 2-A-1.

FREE CONSENT AND DEDICATION:

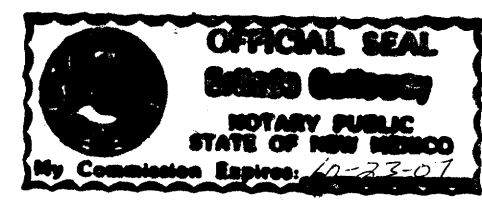
THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S). AND SAID OWNER(S) AND/OR PROPRIETOR(S).
DO HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON, AND DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.
CROSS-LOT DRAINAGE AND ACCESS EASEMENTS ON TRACTS 1-A-1, 1-A-2 AND 2-A-1 FOR THE BENEFIT OF TRACT 1-A-3.
ST. JOSEPH'S WEST MESA HOSPITAL - PARADISE HEIGHTS, UNIT NO. ONE (GRANTED BY THIS PLAT), ARE FOR THE BENEFIT AND USE BY AND FOR THE OWNER(S) AND/OR PROPRIETOR(S) OF SAID TRACTS AND ARE TO BE MAINTAINED BY SAID OWNER(S). ALSO INCLUDED IS CROSS-LOT PARKING.

OWNER(S) AND/OR PROPRIETOR(S)
FOR: TRACTS 1-A-1, 1-A-2, 1-A-3 AND 2-A-1, ST. JOSEPH WEST MESA HOSPITAL
PARADISE HEIGHTS - UNIT ONE

BY: [Signature]

ACKNOWLEDGMENT

STATE OF New Mexico)
COUNTY OF Bernalillo) SS.



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 1st DAY OF February, 2005, FOR AND ON THE BEHALF OF LOVELACE SANDIA HEALTH SYSTEM, INC. d/b/a WEST MESA MEDICAL CENTER
BY: [Signature]
NOTARY PUBLIC: [Signature]
MY COMMISSION EXPIRES: 10-23-07

SUBDIVISION DATA:

D.R.B. PROJECT NO. 1002584
D.R.B. APPLICATION NO. 04DRB-01375
ZONE ATLAS INDEX NO. A - 12 - Z
TOTAL NO. OF LOTS EXISTING: TWO
TOTAL NO. OF LOTS CREATED: FOUR
GROSS SUBDIVISION ACREAGE: 19.0162 ACRES
TOTAL MILES OF STREETS CREATED: NONE
TALOS LOG NO. 2004372645
DATE OF SURVEY: SEPTEMBER 3, 2004

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UNIFORM PROPERTY CODE # : 1-012-066-448-150-4-04-01
PROPERTY OWNER OF RECORD: AHS West Mesa Hospital, LLC
BERNALILLO COUNTY TREASURER'S OFFICE:

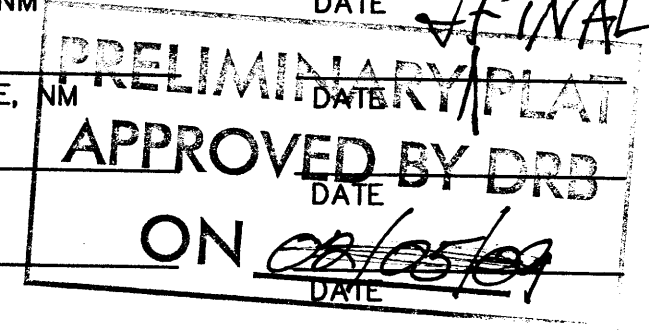
NOTES:

- 1. USGS Brass Tablet stamped "Black-2 1977" New Mexico State Plane Coordinates (Central Zone) Y=1,530,241.52 X=372,920.43 Ground-to-grid factor: 0.9996784 NAD 1927
- 2. USGS Brass Tablet stamped "Azimuth Black 1946 No. 2 1969" New Mexico State Plane Coordinates (Central Zone) Y=1,527,426.22 X=371,852.10 Ground-to-grid factor: 0.9996887 NAD 1927
- 3. Field survey performed on September 3, 2004.
- 4. Basis of Bearings: New Mexico State Plane coordinates (Central Zone). Based on a line from "Azimuth Black 1946 No. 2 1969" to "Black-2 1977". Bearing: N.20°46'49"E.
- 5. All distances are ground distances.
- 6. Bearings and distances shown in parenthesis are per plat entitled, Redivision of Tracts 1 and 2, St. Joseph West Mesa Hospital, Paradise Heights-Unit No. One, filed in the Office of the County Clerk of Bernalillo County, New Mexico on December 15, 1983, in Map Book C22, Folio 163.
- 7. Monuments indicated as □ are set with either a 5/8" rebar with a cap stamped "PS 14733" or a P.K. Nail with a tag stamped "PS 14733".

PLAT OF
TRACTS 1-A-1, 1-A-2, 1-A-3 and 2-A-1
ST. JOSEPH WEST MESA HOSPITAL
PARADISE HEIGHTS - UNIT NO. ONE
WITHIN PROJECTED SECTION 1, T.11N., R2E., N.M.P.M.
TOWN OF ALAMEDA GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2005

APPROVALS:

SUBDIVISION CASE NO: _____ DATE _____
CITY SURVEYOR, ALBUQUERQUE, NM [Signature] D.R.B. NO. 2-1-05
TRAFFIC ENGINEERING, ALBUQUERQUE, NM _____ DATE _____
C.I.P./DESIGN DEVELOPMENT, ALBUQUERQUE, NM _____ DATE _____
UTILITY DEVELOPMENT DIVISION, ALBUQUERQUE, NM _____ DATE _____
PARKS AND RECREATION DEPARTMENT _____ DATE _____
A.M.A.F.C.A. _____ DATE _____
CITY ENGINEER, ALBUQUERQUE, NM _____ DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____



UTILITY COMPANY APPROVALS:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE NOT EXCLUSIVE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF THE UTILITIES DESIGNATED ON THIS PLAT, THEIR SUCCESSORS AND ASSIGNS, AND FOR THE USE OF ANY OTHER PUBLIC UTILITIES WHOSE USE OF SAID EASEMENT IS DEEMED TO BE IN THE PUBLIC INTEREST. P.N.M. GAS & ELECTRIC SERVICES DISCLAIMER:
IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT, OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.
P.N.M. ELECTRIC SERVICES _____ DATE _____
P.N.M. GAS SERVICES _____ DATE _____
NEW MEXICO UTILITIES _____ DATE _____
QWEST COMMUNICATIONS _____ DATE _____
COMCAST DIGITAL CABLE _____ DATE _____

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER S. CROSHAW, A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST; IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE OCTOBER 1, 2000.

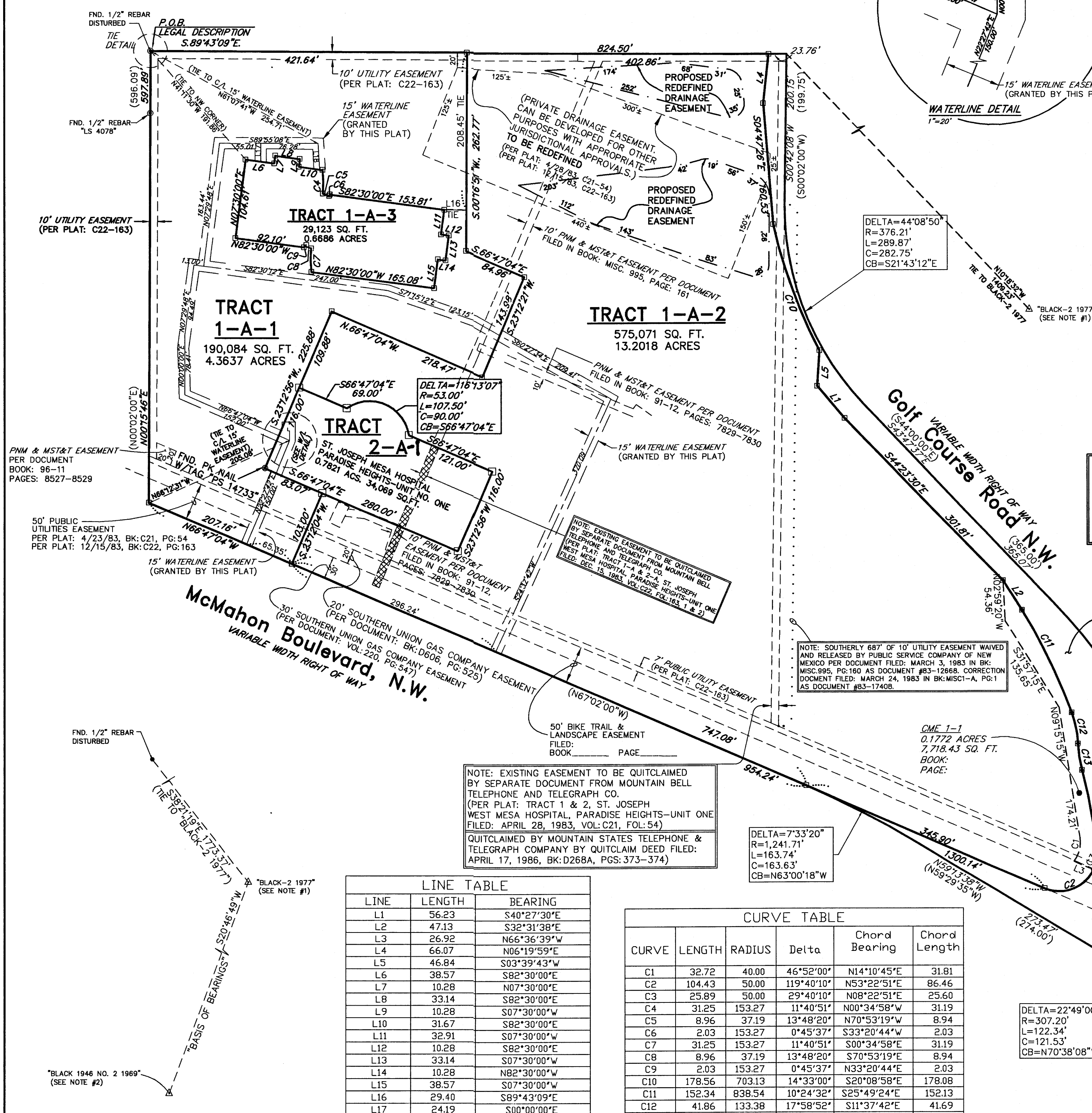
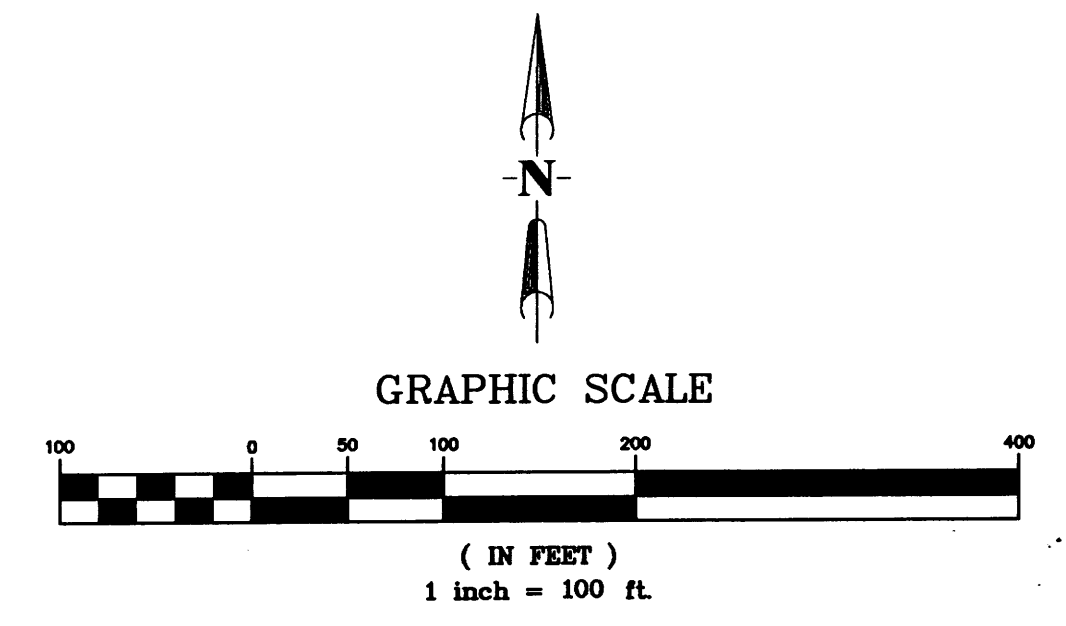
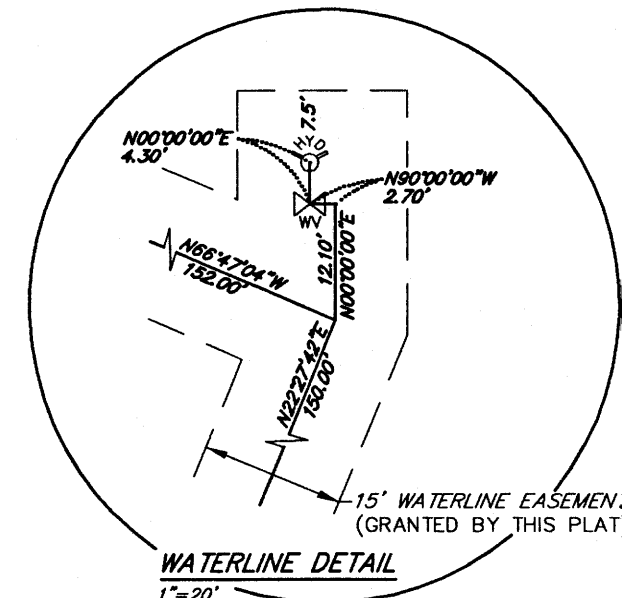
[Signature]
CHRISTOPHER S. CROSHAW, N.M.R.P.S. NO. 14733
01 FEBRUARY 2005
DATE



WILSON & COMPANY
4900 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO 87109
(505) 348-4000

X:\Public\PROJECTS\X4614025\5\X4614025_Final_Plat.dwg 10/11/2004 1:44:04 PM MDT

PLAT OF
TRACTS 1-A1, 1-A2, 1-A3 and 2-A-1
ST. JOSEPH WEST MESA HOSPITAL
PARADISE HEIGHTS - UNIT NO. ONE
 WITHIN PROJECTED SECTION 1, T.11N., R.2E., N.M.P.M.
 TOWN OF ALAMEDA GRANT
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2005



NOTE:
 LOVELACE SANDIA HEALTH SYSTEM, INC. d/b/a WEST MESA MEDICAL CENTER
 GRANTS A PERPETUAL, NON-EXCLUSIVE RIGHT AND EASEMENT FOR INGRESS AND
 EGRESS, PARKING EASEMENT, UTILITY EASEMENTS AND DRAINAGE FACILITIES FOR
 THE BENEFIT OF GROUND LEASE OWNER OF TRACT 1-A-3 FILED
 _____ RECORDED IN "DECLARATION OF COVENANTS,
 RESTRICTIONS AND EASEMENTS" IN BOOK _____ AT PAGE _____

ADDITIONAL RIGHT-OF-WAY DEDICATED TO
 THE CITY OF ALBUQUERQUE, FILED _____
 IN BOOK _____ AT PAGE _____
 78,659 SQ. FT. 1.8058 ACRES

NOTE #1
 USGS BRASS TABLET
 STAMPED "BLACK-2 1977"
 X = 372,920.43
 Y = 1,530,241.52
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM (GRID)
 CENTRAL ZONE
 DELTA ALPHA = (-)00'14'43"
 GRND. TO GRID = 0.9996784
 N.A.D. 1927

NOTE #2
 USC&GS BRASS TABLET
 STAMPED "AZIMUTH",
 "BLACK 1946 NO. 2 1969"
 X = 371,852.10
 Y = 1,527,426.22
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM (GRID)
 CENTRAL ZONE
 DELTA ALPHA = (-)00'14'50"
 GRND. TO GRID = 0.9996687
 N.A.D. 1927

NOTE: EXISTING EASEMENT TO BE QUITCLAIMED
 BY SEPARATE DOCUMENT FROM MOUNTAIN BELL
 TELEPHONE AND TELEGRAPH CO.
 (PER PLAT: TRACT 1 & 2, ST. JOSEPH
 WEST MESA HOSPITAL, PARADISE HEIGHTS-UNIT ONE
 FILED: APRIL 28, 1983, VOL: C21, FOL: 54)
 QUITCLAIMED BY MOUNTAIN STATES TELEPHONE &
 TELEGRAPH COMPANY BY QUITCLAIM DEED FILED:
 APRIL 17, 1986, BK: D268A, PGS: 373-374)

NOTE: SOUTHERLY 687' OF 10' UTILITY EASEMENT WAIVED
 AND RELEASED BY PUBLIC SERVICE COMPANY OF NEW
 MEXICO PER DOCUMENT FILED: MARCH 3, 1983 IN BK:
 MISC.995, PG:160 AS DOCUMENT #83-12668. CORRECTION
 DOCUMENT FILED: MARCH 24, 1983 IN BK: MISC1-A, PG:1
 AS DOCUMENT #83-17408.

LINE	LENGTH	BEARING
L1	56.23	S40°27'30"E
L2	47.13	S32°31'38"E
L3	26.92	N66°36'39"W
L4	66.07	N06°19'59"E
L5	46.84	S03°39'43"W
L6	38.57	S82°30'00"E
L7	10.28	N07°30'00"E
L8	33.14	S82°30'00"E
L9	10.28	S07°30'00"W
L10	31.67	S82°30'00"E
L11	32.91	S07°30'00"W
L12	10.28	S82°30'00"E
L13	33.14	S07°30'00"W
L14	10.28	N82°30'00"W
L15	38.57	S07°30'00"W
L16	29.40	S89°43'09"E
L17	24.19	S00°00'00"E
L18	34.46	S03°29'38"E

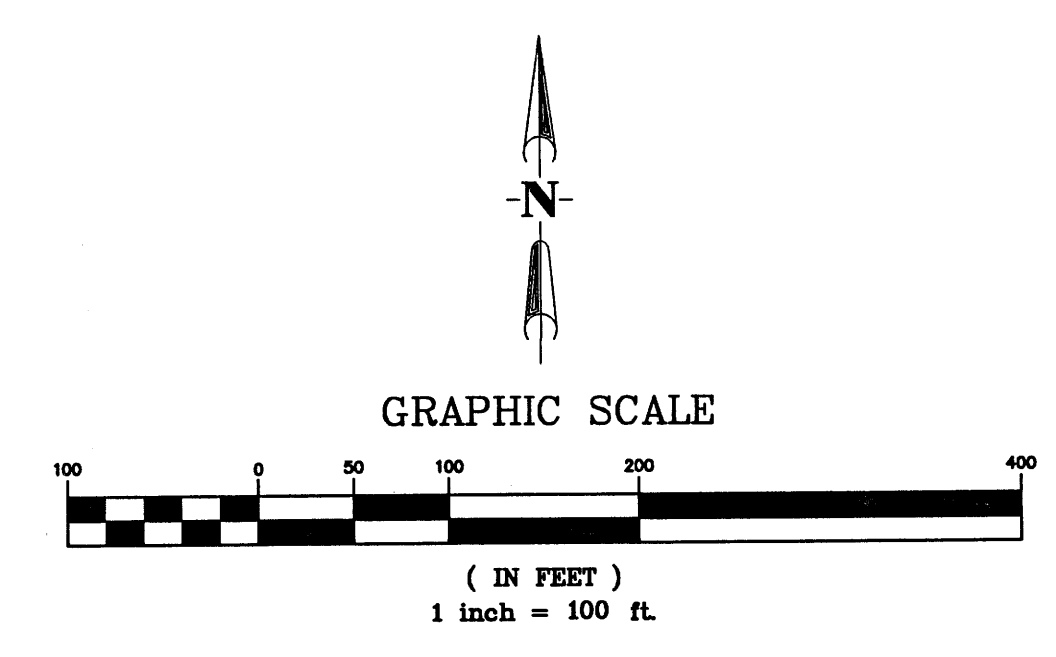
CURVE	LENGTH	RADIUS	Delta	Chord Bearing	Chord Length
C1	32.72	40.00	46°52'00"	N14°10'45"E	31.81
C2	104.43	50.00	119°40'10"	N53°22'51"E	86.46
C3	25.89	50.00	29°40'10"	N08°22'51"E	25.60
C4	31.25	153.27	11°40'51"	N00°34'58"W	31.19
C5	8.96	37.19	13°48'20"	N70°53'19"W	8.94
C6	2.03	153.27	0°45'37"	S33°20'44"W	2.03
C7	31.25	153.27	11°40'51"	S00°34'58"E	31.19
C8	8.96	37.19	13°48'20"	S70°53'19"E	8.94
C9	2.03	153.27	0°45'37"	N33°20'44"E	2.03
C10	178.56	703.13	14°33'00"	S20°08'58"E	178.08
C11	152.34	838.54	10°24'32"	S25°49'24"E	152.13
C12	41.86	133.38	17°58'52"	S11°37'42"E	41.69
C13	35.34	166.62	12°09'05"	S08°42'49"E	35.27
C14	106.33	730.88	8°20'07"	N10°37'17"W	106.23

"BLACK 1946 NO. 2 1969"
 (SEE NOTE #2)

WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000
SHEET 2 OF 2
 WCEA PROJ. NO. X4-614-025

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SITE SKETCH
TRACTS 1-A1, 1-A2, 1-A3 and 2-A
ST. JOSEPH WEST MESA HOSPITAL
PARADISE HEIGHTS - UNIT NO. ONE
 WITHIN PROJECTED SECTION 1, T.11N., R.2E., N.M.P.M.
 TOWN OF ALAMEDA GRANT
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2004



NOTE:
 LOVELOCE SANDIA HEALTH SYSTEM, INC. d/b/a WEST MESA MEDICAL CENTER
 GRANTS A PERPETUAL, NON-EXCLUSIVE RIGHT AND EASEMENT FOR INGRESS AND
 EGRESS, PARKING EASEMENT, UTILITY EASEMENTS AND DRAINAGE FACILITIES FOR
 THE BENEFIT OF GROUND LEASE OWNER OF TRACT 1-A-3 FILED
 _____ RECORDED IN "DECLARATION OF COVENANTS,
 RESTRICTIONS AND EASEMENTS" IN BOOK _____ AT PAGE _____

ADDITIONAL RIGHT-OF-WAY DEDICATED TO
 THE CITY OF ALBUQUERQUE, FILED
 IN BOOK _____ AT PAGE _____
 78,659 SQ. FT. 1.8058 ACRES

USGS BRASS TABLET
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 N.A.D. 1927

USGS BRASS TABLET
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 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM (GRID)
 CENTRAL ZONE
 DELTA ALPHA = (-)00°14'50"
 GRND. TO GRID = 0.9996687
 N.A.D. 1927

NOTE: EXISTING EASEMENT TO BE QUITCLAIMED
 BY SEPARATE DOCUMENT FROM MOUNTAIN BELL
 TELEPHONE AND TELEGRAPH COMPANY
 (PER PLAT. TRACT 1-A, PARADISE HEIGHTS - UNIT ONE
 WEST MESA HOSPITAL, PARADISE HEIGHTS - UNIT ONE
 FILED: APRIL 26, 1995, VOL. C21, FOL. 84)
 QUITCLAIMED BY MOUNTAIN STATES TELEPHONE &
 TELEGRAPH COMPANY BY QUITCLAIM DEED FILED:
 APRIL 17, 1986, BK. D268A, PGS. 373-374

NOTE: SOUTHERLY 68' OF 10' UTILITY EASEMENT WAIVED
 AND RELEASED BY PUBLIC SERVICE COMPANY OF
 NEW MEXICO PER DOCUMENT FILED: MARCH 3, 1983 IN BK.
 MRS. 998, PG. 167 AS DOCUMENT NO. 12668 (CORRECTION
 DOCUMENT FILED: MARCH 24, 1982 IN BK. MRS. 998, PG. 1
 AS DOCUMENT NO. 17408.

LINE	LENGTH	BEARING
L1	56.23	N40°27'30"W
L2	47.13	N32°3'38"W
L3	26.92	N66°3'39"W
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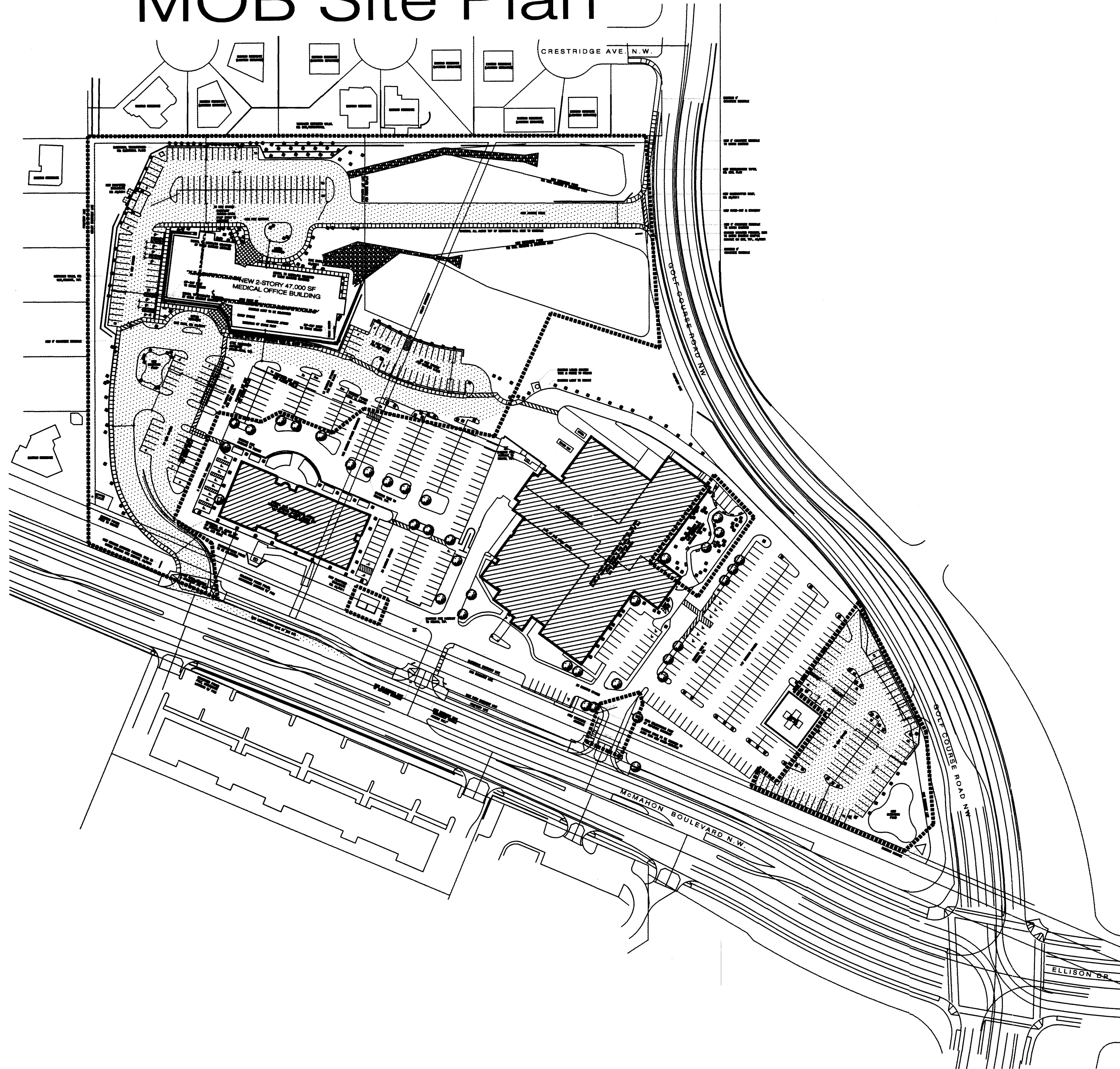
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"BLACK 1946 NO. 2 1969"
 (SEE NOTE #2)

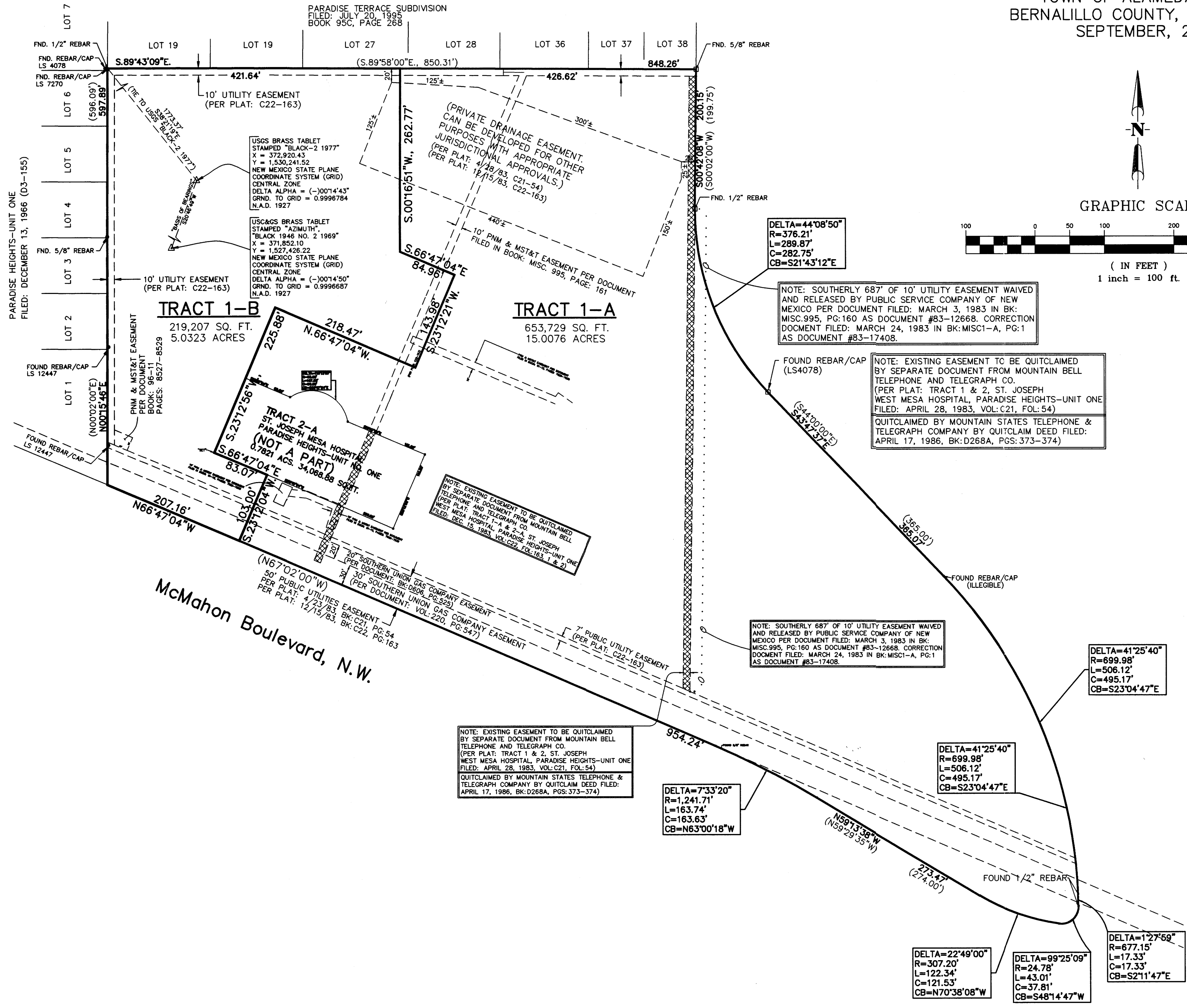
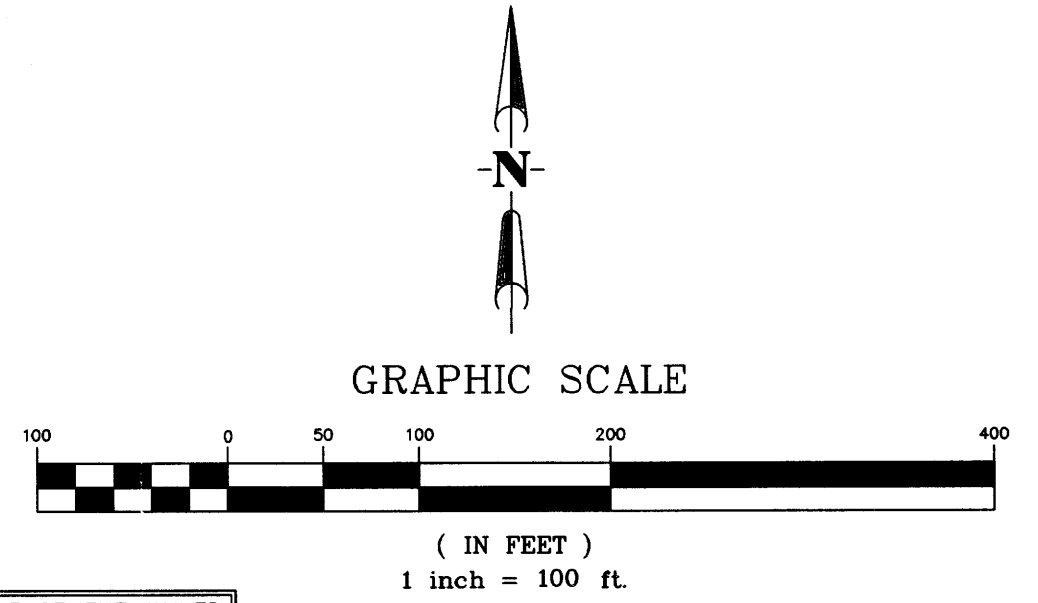
"BLACK-2 1977"
 (SEE NOTE #1)

WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000
SHEET 1 OF 1
 WCEA PROJ. NO. X4-614-025

MOB Site Plan



SKETCH PLAT FOR
TRACTS 1-A and 1-B
ST. JOSEPH WEST MESA HOSPITAL
PARADISE HEIGHTS - UNIT NO. ONE
 WITHIN PROJECTED SECTION 1, T.11N., R.2E., N.M.P.M.
 TOWN OF ALAMEDA GRANT
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2004



COMPARATIVE SITE ANALYSIS BETWEEN PAST & PRESENT
1988 APPROVED EPC CURRENT EPC

1988 APPROVED EPC	CURRENT EPC
115,500 SF EXISTING HOSPITAL	125,500 SF EXISTING HOSPITAL
305,000 SF PROPOSED 3RD FLOOR EXPANSION	61,000 SF PROPOSED ADDITIONS
35,000 SF EXISTING MEDICAL OFFICE BUILDING	35,000 SF EXISTING MEDICAL OFFICE BUILDING
3,500 EXISTING MAINTENANCE SHED	-3,500 EXISTING MAINTENANCE SHED TO BE REMOVED
43,200 SF PROPOSED (4) 1-STORY MEDICAL OFFICE BUILDINGS FOR PHASE II OF THE WEST MESA MEDICAL CENTER MASTERPLAN	47,000 SF PROPOSED 2-STORY MEDICAL OFFICE BUILDING REPLACING PHASES I/II OF THE WEST MESA MEDICAL CENTER MASTERPLAN
10,000 SF PROPOSED 1-STORY ABILITY SERVICES BUILDING FOR PHASE III OF THE WEST MESA MEDICAL CENTER MASTERPLAN	
80,000 4-STORY PARKING GARAGE (268 SPACES) PHASE IV	77,000 4-STORY PARKING GARAGE (256 SPACES) PHASE IV
46,000 SF PROPOSED (2) 2-STORY MEDICAL OFFICE BUILDINGS FOR PHASE V OF THE WEST MESA MEDICAL CENTER MASTERPLAN	46,000 SF PROPOSED 263-2 STORY MEDICAL OFFICE BUILDING FOR PHASE V OF THE WEST MESA MEDICAL CENTER MASTERPLAN
GRAND TOTAL OF 522,700 GSF	GRAND TOTAL OF 408,500 GSF

PARKING DATA

PARKING REQUIRED FOR EXISTING HOSPITAL:
130 BEDS @ 1 SPACE / 2 BEDS = 65 SPACES
28 DOCTORS @ 5 SPACES / DOCTOR = 140 SPACES
TOTAL SPACES REQUIRED FOR HOSPITAL = 205 SPACES

PARKING REQUIRED FOR EXISTING MEDICAL ARTS BUILDING:
35,000 SF X .85X NET LEASABLE SPACE = 29,750 GSF
1ST FLOOR AT 14,875 SF @ 1 SPACE / 200 SF = 75 SPACES
2ND FLOOR AT 14,875 SF @ 1 SPACE / 300 SF = 50 SPACES
TOTAL SPACES REQUIRED FOR MEDICAL ARTS BUILDING = 125 SPACES

PARKING REQUIRED FOR NEW MEDICAL OFFICE BUILDING:
47,000 SF X .85X NET LEASABLE SPACE = 40,000 GSF
1ST FLOOR AT 20,000 SF @ 1 SPACE / 200 SF = 100 SPACES
2ND FLOOR AT 20,000 SF @ 1 SPACE / 300 SF = 67 SPACES
TOTAL SPACES REQUIRED FOR NEW M.O.B. = 167 SPACES

TOTAL REQUIRED = 497 SPACES
TOTAL PROVIDED = 645 SPACES

PARKING REQUIRED FOR FUTURE HOSPITAL ADDITIONS:
80 BEDS / 2 BEDS PER SPACE = 40 SPACES
61,000 SF / 900 SF PER DOCTOR = 68 SPACES
(OR = 5 SPACES PER DOCTOR AT 14 NEW DOCTORS)
TOTAL SPACES REQUIRED FOR ADDITIONS = 108 SPACES

PARKING FOR FUTURE MEDICAL OFFICE BUILDING:
46,000 SF X .85X NET LEASABLE SPACE = 39,000 GSF
1st FLOOR AT 19,500 SF @ 1 SPACE / 200 SF = 98 SPACES
2nd FLOOR AT 19,500 SF @ 1 SPACE / 300 SF = 65 SPACES
3rd FLOOR AT 9,500 SF @ 1 SPACE / 300 SF = 32 SPACES
TOTAL SPACES REQUIRED FOR FUTURE M.O.B. = 195 SPACES

TOTAL ADDITIONAL REQUIRED = 255 SPACES
TOTAL ADDITIONAL PLANNED FOR = 372 SPACES

ENTIRE SITE GRAND TOTAL REQUIRED = 750 SPACES
ENTIRE SITE GRAND TOTAL PLANNED = 1022 SPACES

PROJECT DATA

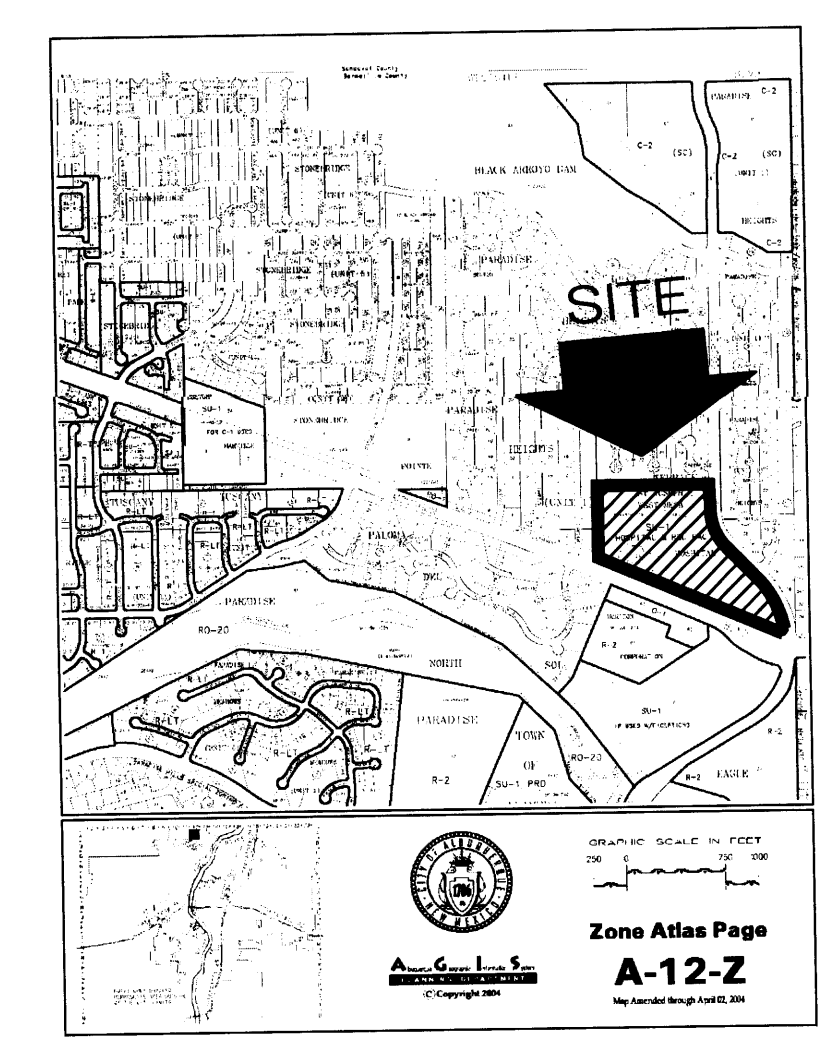
ADDRESS: 10501 GOLF COURSE ROAD NW, ALBUQUERQUE, NM
LEGAL DESCRIPTION: PARCEL 10 #10120844815040401 TR 1-A ST. JOSEPH WEST MESA HOSPITAL PARADISE HEIGHTS UNIT #1CONT 20.0829 AC
ZONING: SU-1 FOR HOSPITAL USE
TOTAL ACRES: 19.03 ACRES (828,905 S.F.)
BUILDING AREA: ~47,000 G.S.F.
BUILDING USE: MEDICAL OFFICE
BUILDING CODE ANALYSIS (UBC 1997)
OCCUPANCY GROUP: B - OFFICE AREA
STORIES ALLOWED: 2
STORIES PROVIDED: 2
MAXIMUM BUILDING HEIGHT ALLOWED: 55' SPBP
MAXIMUM BUILDING HEIGHT PROVIDED: 28'
OCCUPANCY LOADS:
B - OFFICE OCCUPANCY - 47,000 S.F./100: 470 OCC
APPROVED BY DRB
CITY PROJECT #: 1001584
EPC #: 2-88-90
AA #: 03-1A-00579
ON 7/28/04

PROJECT NUMBER: 1002584

APPLICATION NUMBER: _____

SITE DEVELOPMENT PLAN APPROVAL:

TRANSPORTATION DEVELOPMENT	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION	DATE
HYDROLOGY	DATE
SOLID WASTE MANAGEMENT	DATE
PLANNING DEPARTMENT	DATE



SUBMITTED FOR DRB APPROVAL
JULY 6th, 2004
NOT FOR CONSTRUCTION

THE DESIGN GROUP
ARCHITECTS - PLANNERS - INTERIOR DESIGN
303 CENTRAL AVENUE SE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6800 FAX: 505.242.4881

PROJECT NAME:
**West Mesa Medical Center
DRB Submittal**
Golf Course & McMahon NW, Albuquerque, NM

REVISIONS

No.	DATE	DESCRIPTION

SHEET TITLE:
Phase II & III Site Development Plan
For Building Permit

DESIGNED: EFM SCALE: 1" = 50'
CHECKED: DJM JOB NO: 4003
DATE: 5/6/2004 COMP. FILE: TSP

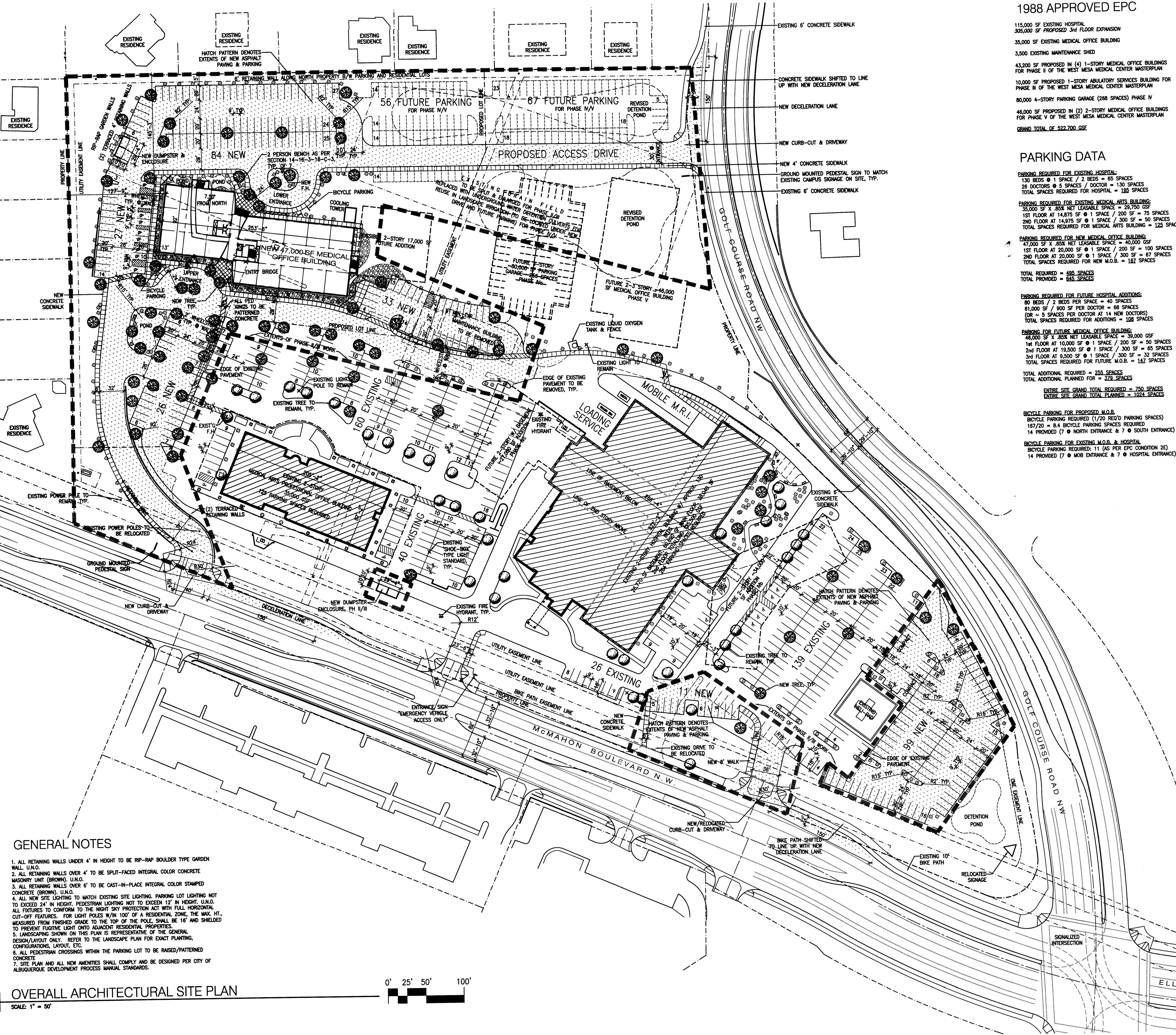
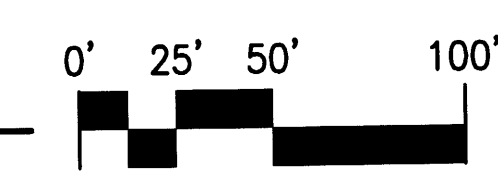
SHEET 1 OF 7

GENERAL NOTES

1. ALL RETAINING WALLS UNDER 4' IN HEIGHT TO BE RIP-RAP BOULDER TYPE GARDEN WALL U.N.O.
2. ALL RETAINING WALLS OVER 4' TO BE SPLIT-FACED INTEGRAL COLOR CONCRETE MASONRY UNIT (BROWN) U.N.O.
3. ALL RETAINING WALLS OVER 6' TO BE CAST-IN-PLACE INTEGRAL COLOR STAMPED CONCRETE (BROWN) U.N.O.
4. ALL NEW SITE LIGHTING TO MATCH EXISTING SITE LIGHTING. PARKING LOT LIGHTING NOT TO EXCEED 24' IN HEIGHT. PEDESTRIAN LIGHTING NOT TO EXCEED 12' IN HEIGHT. U.N.O. ALL FIXTURES TO CONFORM TO THE NIGHT SKY PROTECTION ACT WITH FULL HORIZONTAL CUT-OFF FEATURES. FOR LIGHT POLES WITH 100' OF A RESIDENTIAL ZONE, THE MAX. HT., MEASURED FROM FINISHED GRADE TO THE TOP OF THE POLE, SHALL BE 16' AND SHIELDED TO PREVENT FUGITIVE LIGHT ONTO ADJACENT RESIDENTIAL PROPERTIES.
5. LANDSCAPING SHOWN ON THIS PLAN IS REPRESENTATIVE OF THE GENERAL DESIGN/LAYOUT ONLY. REFER TO THE LANDSCAPE PLAN FOR EXACT PLANTING, CONFIGURATIONS, LAYOUT, ETC.
6. ALL PEDESTRIAN CROSSINGS WITHIN THE PARKING LOT TO BE RAISED/PATTERNED CONCRETE.
7. SITE PLAN AND ALL NEW AMENITIES SHALL COMPLY AND BE DESIGNED PER CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL STANDARDS.

OVERALL ARCHITECTURAL SITE PLAN

SCALE: 1" = 50'



PRINTED: 5/6/2004 10:00 AM C:\Users\jgarcia\Documents\Projects\DRB Submittal\DRB Submittal.dwg

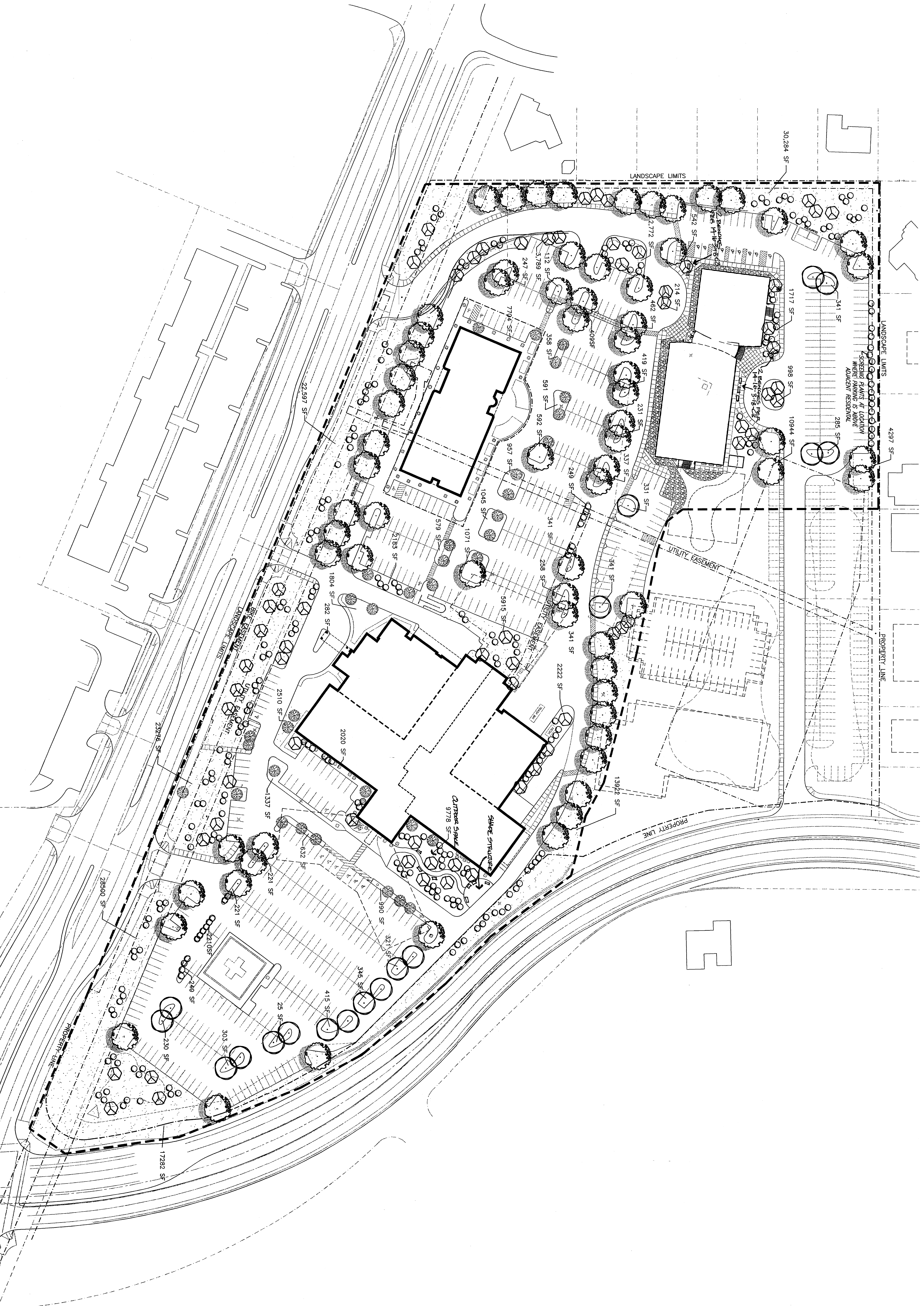
LANDSCAPE PLAN

PLANT LIST

TREES	Symbol	Botanical Name	Common Name	Size/Notes
		<i>Quercus agrifolia</i>	COASTAL REDWOOD	2 1/2" CAL.
		<i>Pinus ponderosa</i>	ARIZONA STRAWPINE	2 1/2" CAL.
		<i>Pinus jeffreyi</i>	JEFFREY PINE	2 1/2" CAL.
		<i>Pinus ponderosa</i>	ARIZONA STRAWPINE	15 CAL.
		<i>Pinus ponderosa</i>	ARIZONA STRAWPINE	15 CAL.
		<i>Pinus ponderosa</i>	ARIZONA STRAWPINE	15 CAL.

SHRUBS	Symbol	Botanical Name	Common Name	Size/Notes
		<i>Quercus agrifolia</i>	COASTAL REDWOOD	5 CAL.
		<i>Pinus ponderosa</i>	ARIZONA STRAWPINE	5 CAL.
		<i>Pinus ponderosa</i>	ARIZONA STRAWPINE	5 CAL.
		<i>Pinus ponderosa</i>	ARIZONA STRAWPINE	5 CAL.
		<i>Pinus ponderosa</i>	ARIZONA STRAWPINE	5 CAL.

GROUND COVERS/TURF	Symbol	Botanical Name	Common Name	Size/Notes
		<i>Stipa tenuifolia</i>	SLIPPER TONGUE GRASS	1 CAL.
		<i>Stipa tenuifolia</i>	SLIPPER TONGUE GRASS	1 CAL.
		<i>Stipa tenuifolia</i>	SLIPPER TONGUE GRASS	1 CAL.
		<i>Stipa tenuifolia</i>	SLIPPER TONGUE GRASS	1 CAL.



DESIGN DATA

AREA CALCULATIONS

TOTAL SITE (19.02AC)	828,908 SF.
BUILDING TOTAL (FIRST FLOOR)	142,890 SF.
NET SITE AREA	686,218 SF.
LANDSCAPE AREA REQUIRED =	102,232 SF.
NET SITE AREA AS PERCENT OF NET SITE AREA	15%
LANDSCAPE AREA PROVIDED =	181,925 SF.
LANDSCAPE AREA AS PERCENT OF NET SITE AREA	26%

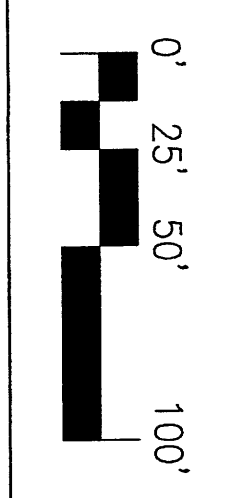
LANDSCAPING NOTES

ALL PLANTING BEARS SHALL BE MITIGATED WITH A 3" LAYER OF 3/4" SAND AND TWO INCHES OF WATER BASED ON SOILING LOCATIONS AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY. RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL BE WITH THE OWNER.

AN UNDERGROUND AUTOMATIC REGRASSMENT SYSTEM IS TO BE INSTALLED UNDER ALL PLANTING LOCATIONS. REGRASSMENT SHALL BE PROVIDED WITH A LOW FLOW WATER DISTRIBUTION SYSTEM WITH 1/2" DRAINAGE SPACERS AT 12" ON CENTER. PLANTS WILL PROVIDE ANNUAL COVERAGE OF 75% OF THE LANDSCAPE AREA.

LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ACT. PLANTING SHALL BE TO BE PROPOSED, ESTABLISHED, AND MAINTAINED AS TO BE PROPOSED, ESTABLISHED, AND MAINTAINED, UNLESS OTHERWISE SHOWN ON THE PLANS.

OVERALL LANDSCAPE PLAN



THE DESIGN GROUP
 ARCHITECTURAL FIRM
 1000 WEST WASHINGTON AVENUE, SUITE 1000
 DENVER, COLORADO 80202
 PHONE: 303.733.1111 FAX: 303.733.1112

PROJECT NAME:
 West Mesa Medical Center
EPC Submittal
 for Core & Midrise W/W, Albuquerque, NM

REVISION:

NO.	DATE	DESCRIPTION

SHEET TITLE:
 Phase II & III Site Development Plan
 LANDSCAPE PLAN

DESIGNED BY: [Name]
CHECKED BY: [Name]
DATE: [Date]

SCALE: 1" = 50'

DATE: [Date]

PROJECT: [Project Name]

SHEET 2 OF 7

NOT FOR CONSTRUCTION

SUBMITTED FOR ONE APPROVAL
JUNE 8th, 2004

DRAINAGE REPORT

DEVELOPED CONDITIONS:

THE PROPOSED CONDITIONS INCLUDE THE CONSTRUCTION OF A NEW MEDICAL OFFICE BUILDING, A NEW SERVICE ROAD AND VARIOUS PARKING FACILITIES. ALL OF THE TWO EXISTING STRUCTURES WILL BE DEMOLISHED. THE RUNOFF FROM THE SITE WILL BE DETAINED IN TWO PONDS LOCATED AT THE NORTHEAST CORNER OF THE SITE AND WILL BE DISCHARGED AT A MAXIMUM RATE OF 10 CFS INTO THE EXISTING STORM DRAIN SYSTEM CONSTRUCTED WITH THE GOLF COURSE ROADWAY PROJECT.

PERCIPITATION ZONE: 1
 TOTAL TRACT AREA = 24.45 Ac
 LAND TREATMENT AREAS WITHIN TRACT
 CONTRIBUTING STORM WATER:
 48% LAND TREATMENT B = 11.88 Ac
 52% LAND TREATMENT D = 12.57 Ac
 PEAK DISCHARGE $Q_{p100YR} - 24HR = (AREA)(Q_p) + (AREA)(Q_d)$
 $(11.88ac)(2.09cfs/Ac) + (12.57Ac)(4.37) = 79.04 cfs$

EARTHWORK:

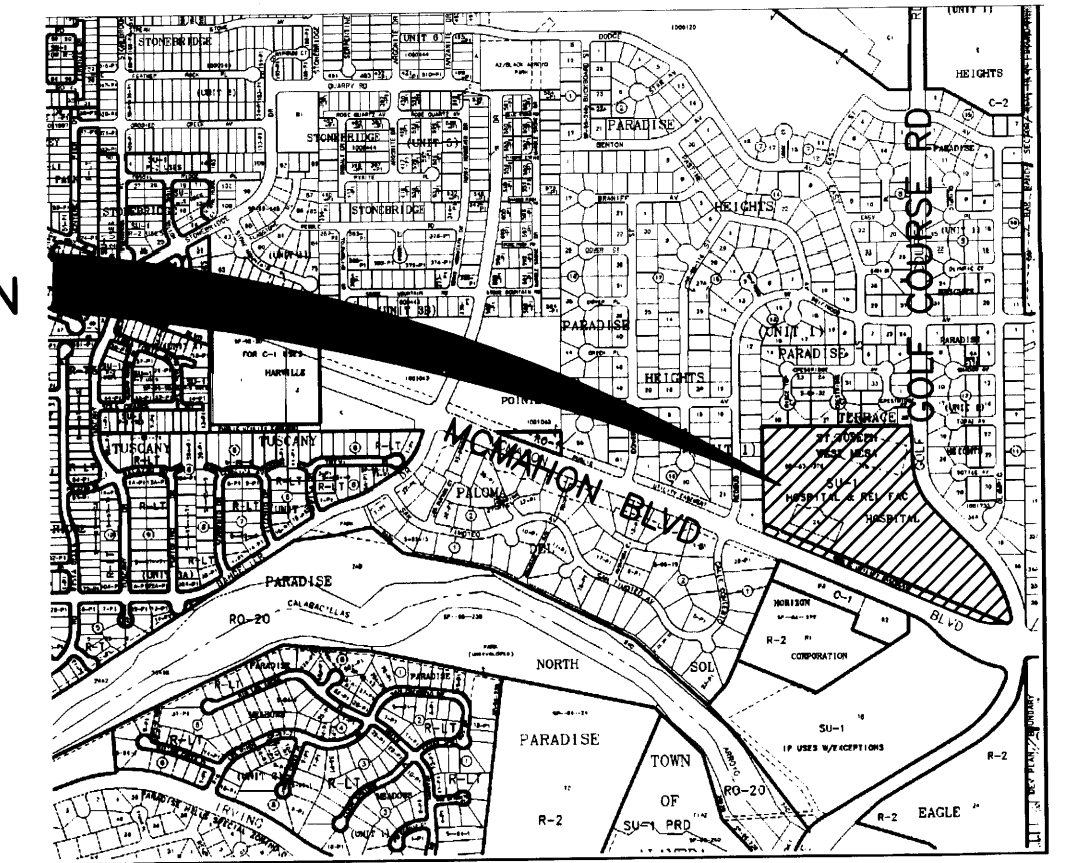
BUILDING & PARKING LOT :
 CUT = 22,832 CY
 FILL = 35,108 CY

SITE NARRATIVE:

THE EXISTING WEST MESA MEDICAL CENTER SITE IS LOCATED ON A SLOPED SITE WITH A MAXIMUM GRADE OF CHANGE OF APPROXIMATELY 82' FROM THE SOUTHWEST CORNER TO THE NORTHEAST CORNER. THE SITE IS GRADED SUCH THAT THE EXISTING HOSPITAL AND PROFESSIONAL BUILDING SIT ON A SLIGHTLY SLOPED "PLATEAU" FROM WEST TO EAST AT AN APPROX. MAX. SLOPE OF 5%. THE SITE DROPS OFF QUICKLY FROM THE NORTHERN EDGE OF THE PLATEAU DOWN INTO A RETENTION POND IN THE NORTHEAST CORNER OF THE SITE. THE NORTHERN SECTION ALSO SLOPES FROM WEST TO EAST AN APPROX. MAX. SLOPE OF 12%. ALL SURFACE DRAINAGE FLOWS TO THE NORTH OFF THE EDGE OF THE PLATEAU TO ACCUMULATE IN THE EXISTING RETENTION POND.

THE PROPOSED CHANGES INCLUDE REGRADING THE SITE IN THE EAST, NORTHEAST AND NORTH SECTIONS TO ACCOMMODATE A CONTINUOUS DRIVE FROM THE SOUTHWEST CORNER TO THE NORTHEAST CORNER AND WEST TO THE PROPOSED GOLF COURSE ENTRANCE, SLOPING A MAXIMUM OF 8% WITH AN AVERAGE AROUND 5%. THE PROPOSED MEDICAL OFFICE BUILDING WILL BE NESTLED IN THE HILLSIDE SO THAT FROM THE EXISTING PORTION OF THE WMC, IT WOULD APPEAR TO BE A 1-STORY BUILDING. THE BUILDING WOULD IN FACT BE A 2-STORY BUILDING WITH ENTRANCES TO BOTH FLOORS. THE SECOND FLOOR WOULD BE ACCESSIBLE FROM THE SOUTH EXISTING PARKING LOT. THE FIRST FLOOR WOULD BE ACCESSIBLE FROM THE NORTH NEW PARKING LOT. THE MAXIMUM GRADE AROUND THE BUILDING WOULD BE 5% (1:20) TO ACCOMMODATE ACCESSIBILITY WITH THE EXCEPTION OF THE EASTERN EDGE OF THE BUILDING WHICH WOULD SLOPE DOWN TO THE PROPOSED REVISED RETENTION POND.

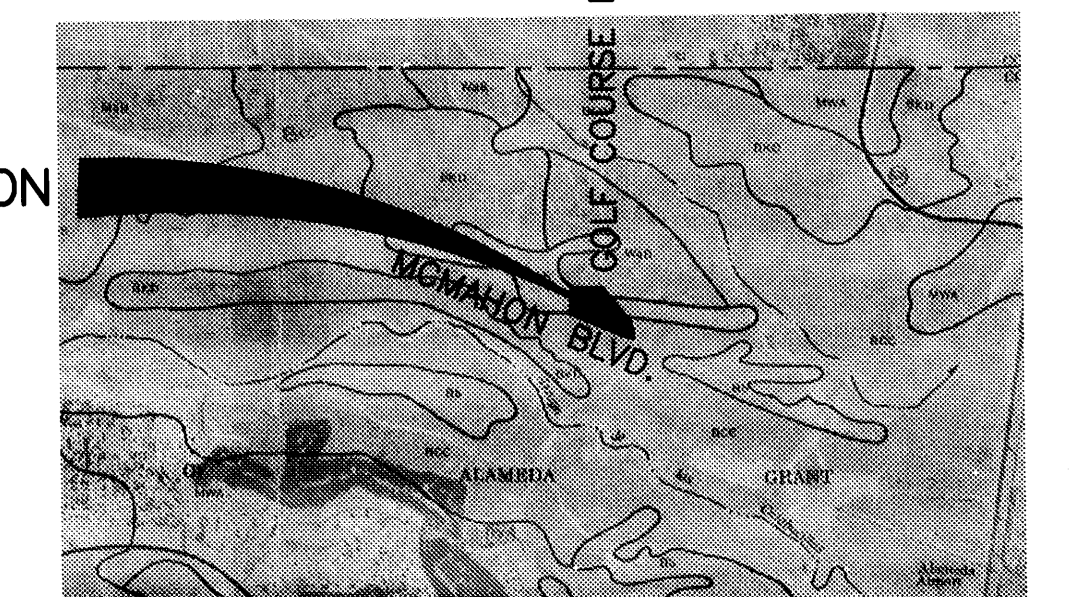
SITE LOCATION



VICINITY MAP

SCALE: 8:1
 ZONE ATLAS MAP A-12

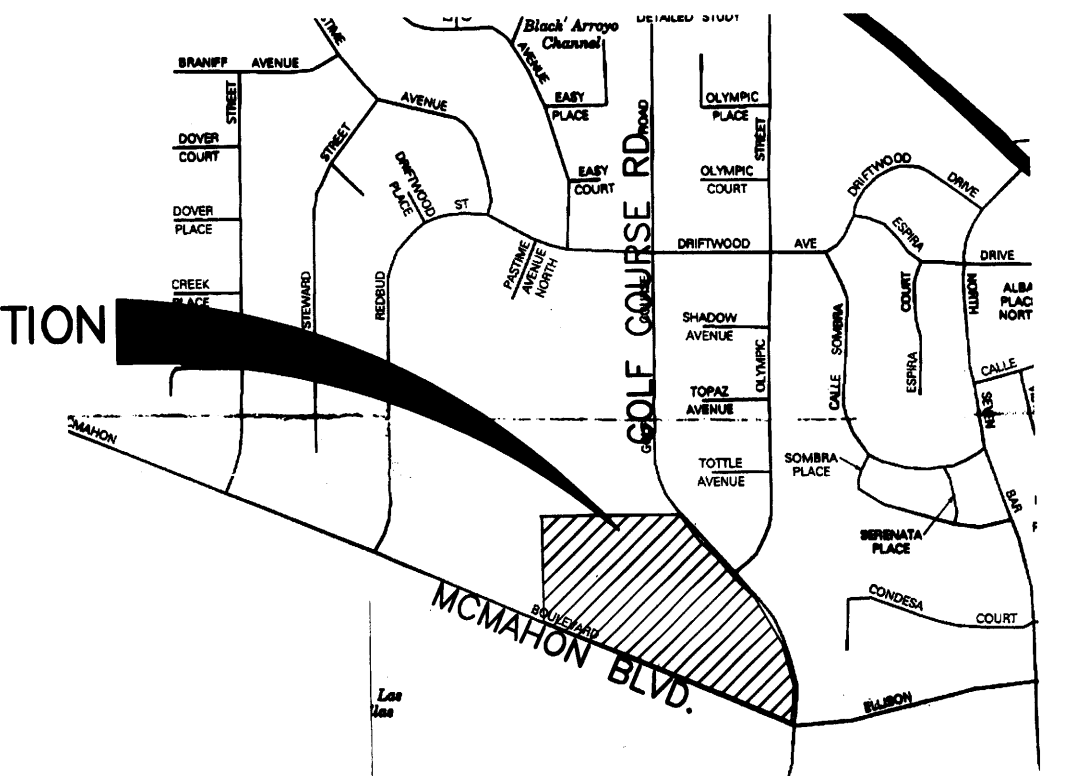
SITE LOCATION



SOILS MAP

REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 20

SITE LOCATION



FLOOD INSURANCE MAP

REFERENCE: FLOOD INSURANCE STUDY PANEL 108

LEGAL DESCRIPTION

TRACT 1A OF PARADISE HEIGHTS UNIT ONE BERNALILLO COUNTY TOWN OF ALAMEDA, ALBUQUERQUE, N.M.

BENCH MARK

THE STA. IS A USGS BRASS TABLET STAMPED "BLACK-2 1977" SET FLUSH W/THE GROUND. THE STA. IS LOCATED 8.5 MI. N.W. OF DOWNTOWN ALBQ. TO REACH THE STA. FROM THE INTX. OF COORS/1-40 GO N. ON COORS 5.8 MI. TO PARADISE BLVD., W. ON PARADISE BLVD. 1.1 MI. TO GOLF COURSE RD., N. ON GOLF COURSE RD. 1.3 MI. TO McMAHON BLVD. THE STA IS ON THE LEFT. ELEVATION = 5213.926 (2ND ORDER) (NGVD 29)

LEGEND

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- 5180--- PROPOSED INDEX CONTOUR
- SD--- EXISTING STORM DRAIN
- SD--- PROPOSED STORM DRAIN
- SD--- EXISTING DROP INLET
- SD--- PROPOSED SANITARY SEWER
- W--- PROPOSED WATERLINE
- G--- PROPOSED GASLINE
- P--- EXISTING PAVED ROAD
- P--- PROPOSED PAVED AREA
- R--- PROPOSED RIPRAP
- >--- FLOW ARROW
- PROPOSED STORM DRAIN MANHOLE
- TOW PROPOSED TOP OF WALL ELEVATION
- BOT PROPOSED BOTTOM OF WALL ELEVATION
- FL PROPOSED FLOWLINE ELEVATION
- PROPERTY LINE
- 5155 EXISTING SPOT ELEVATION

SUBMITTED FOR ONE APPROVAL
JULY 6th, 2004

NOT FOR CONSTRUCTION

4900 LANG AVENUE N.E.
 SUITE 100
 ALBUQUERQUE, NEW MEXICO
WILSON & COMPANY
 (505) 348-4000

THE DESIGN GROUP
 ARCHITECTS PLANNERS INTERIOR DESIGNERS
 343 CENTRAL AVENUE SE SUITE 200
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: 505.242.6800 FAX: 505.242.4881

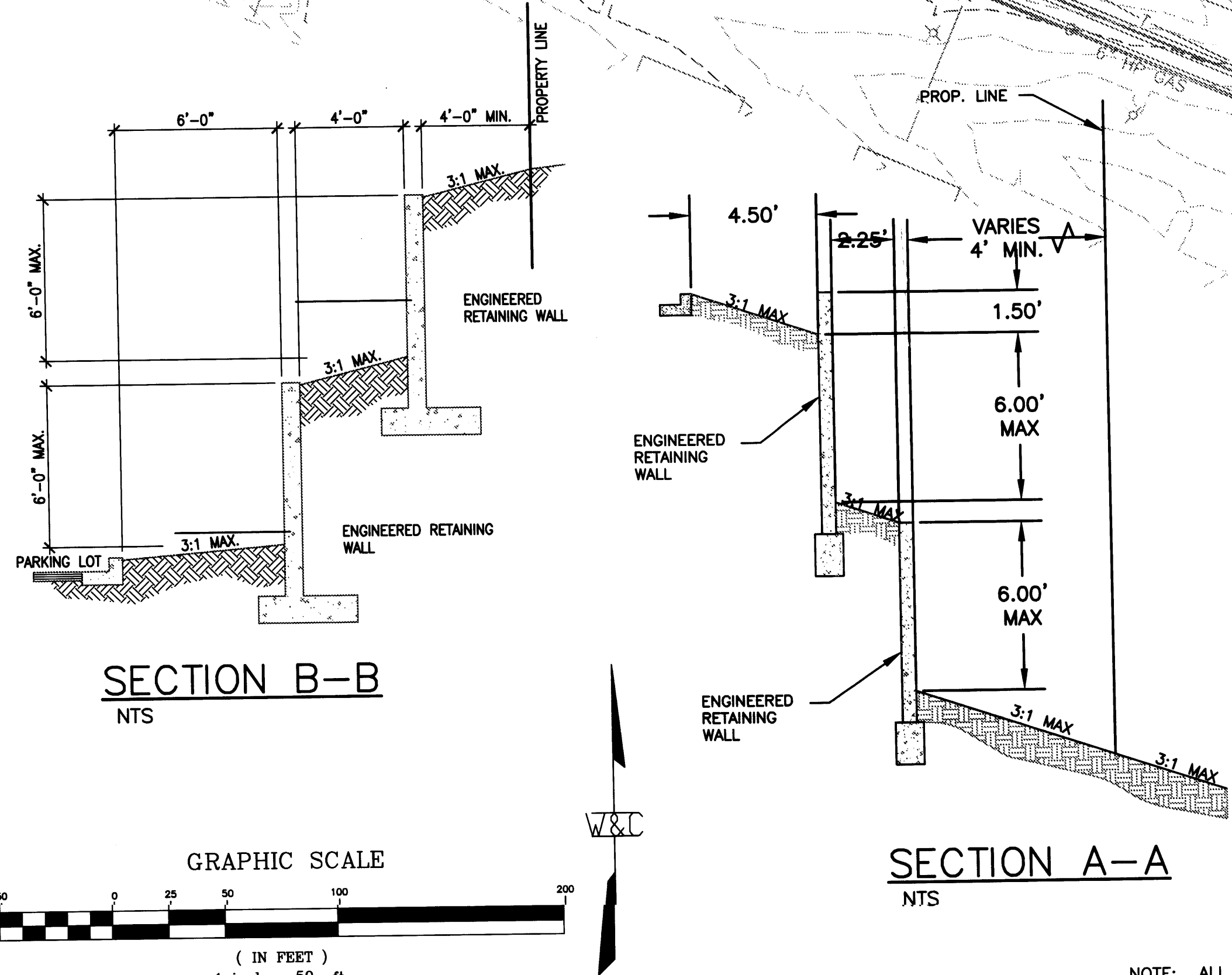
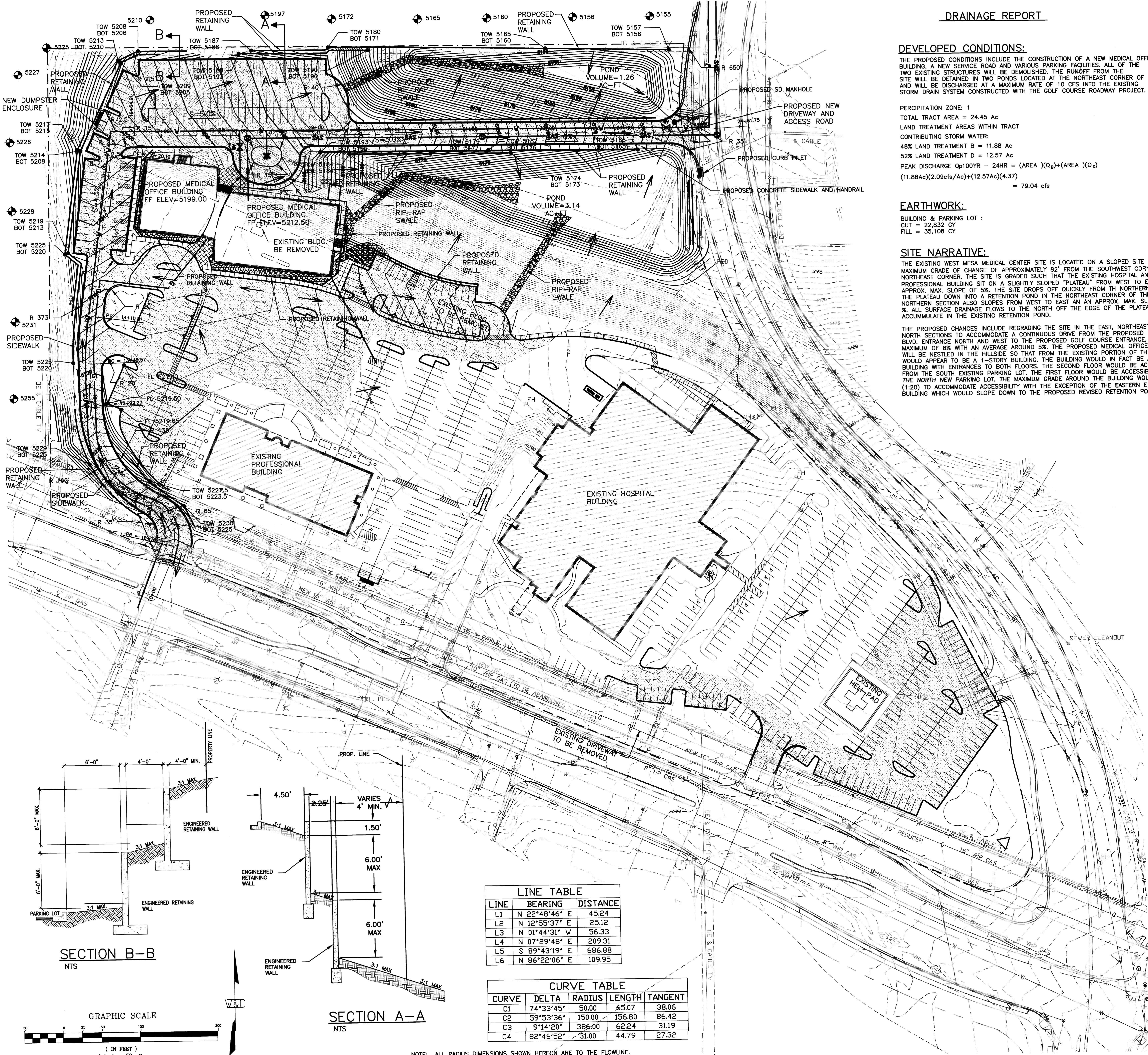
PROJECT NAME:
**West Mesa Medical Center
 EPC Submittal**
 Golf Course & McMahon NW, Albuquerque, NM

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE:
**CONCEPTUAL
 GRADING & DRAINAGE
 AND UTILITIES PLAN**

DATE: 5/6/2004 JOB NO: 4003
 COMP. FILE:



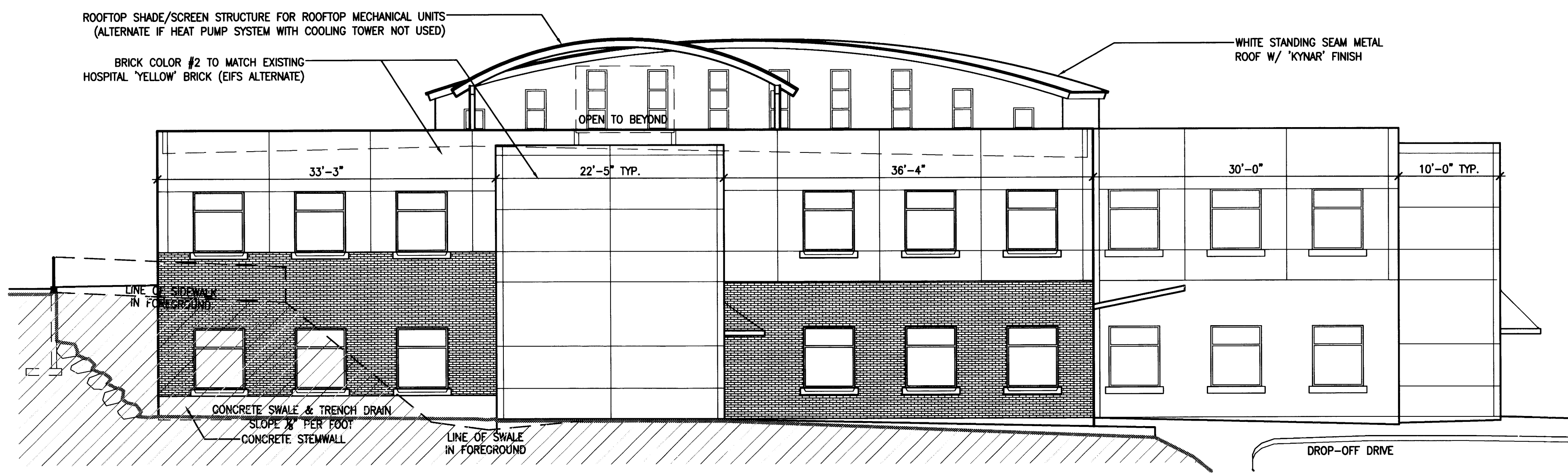
LINE TABLE

LINE	BEARING	DISTANCE
L1	N 22°48'46" E	45.24
L2	N 12°55'37" E	25.12
L3	N 01°44'31" W	56.33
L4	N 07°29'48" E	209.31
L5	S 89°43'19" E	686.88
L6	N 86°22'06" E	109.95

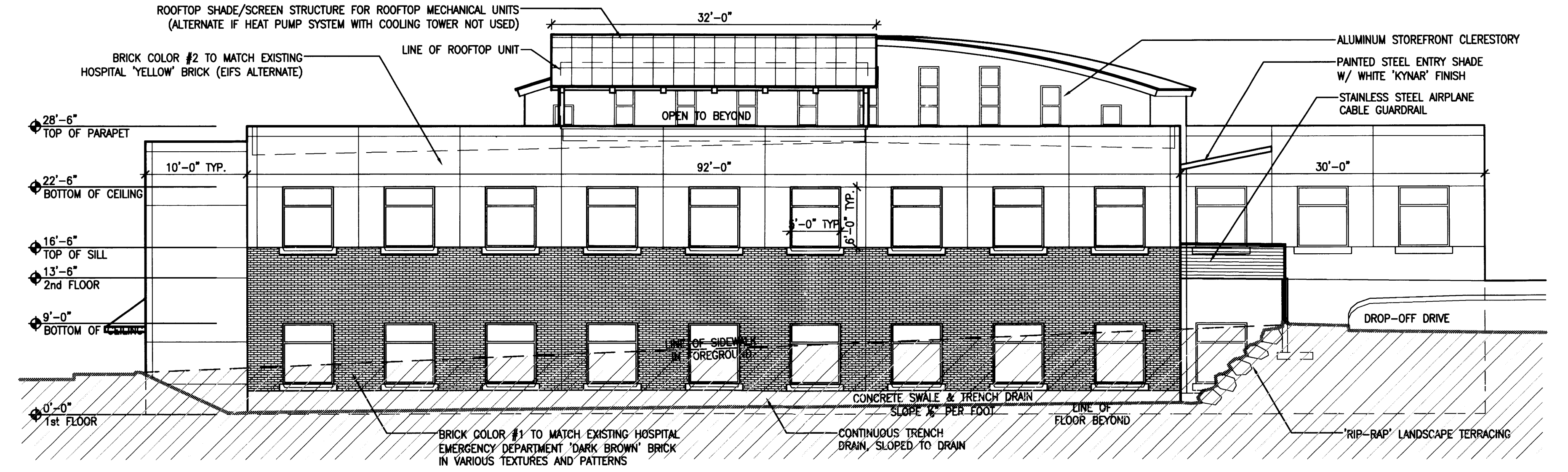
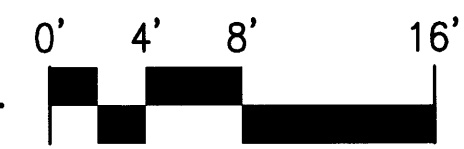
CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	74°33'45"	50.00	65.07	38.06
C2	59°53'36"	150.00	156.80	86.42
C3	9°14'20"	386.00	62.24	31.19
C4	82°46'52"	31.00	44.79	27.32

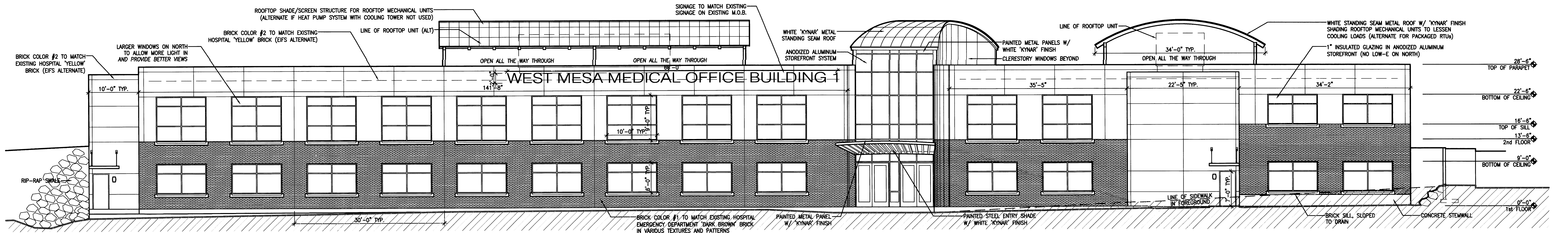
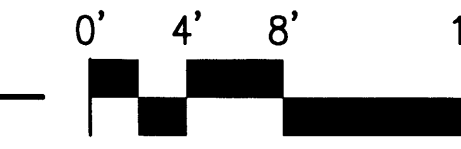
NOTE: ALL RADIUS DIMENSIONS SHOWN HEREON ARE TO THE FLOWLINE.



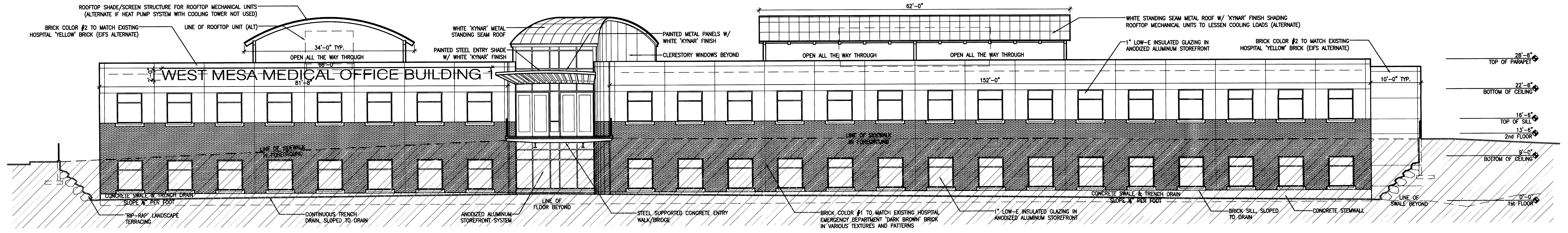
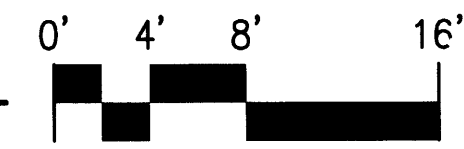
D1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



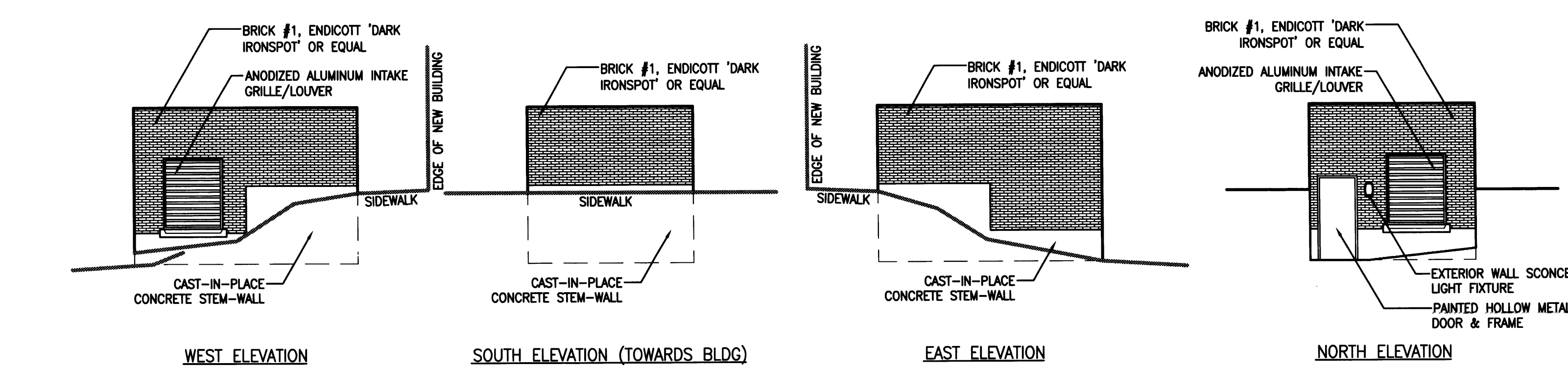
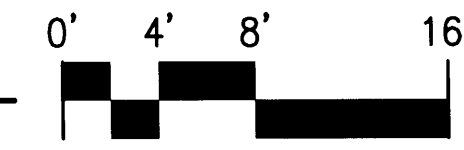
D2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



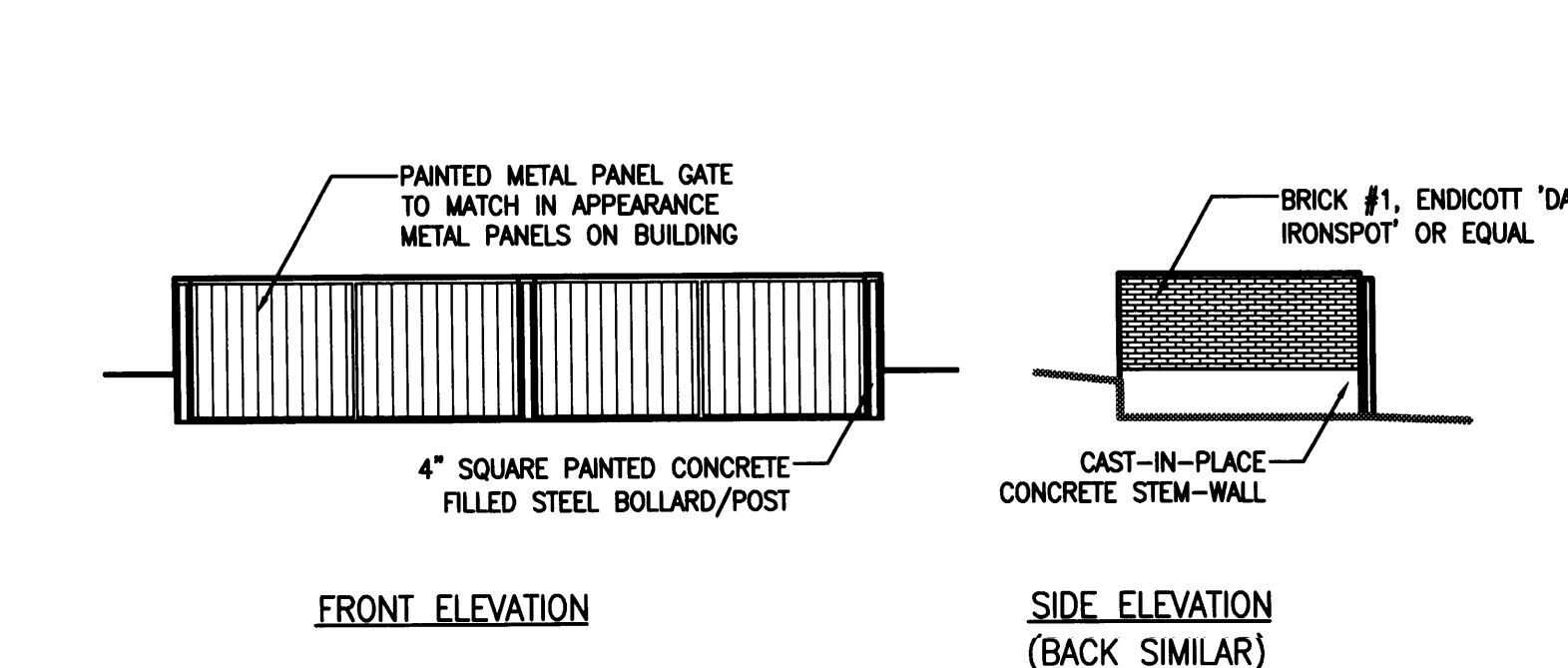
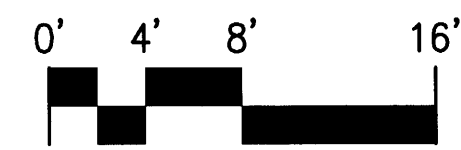
C1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



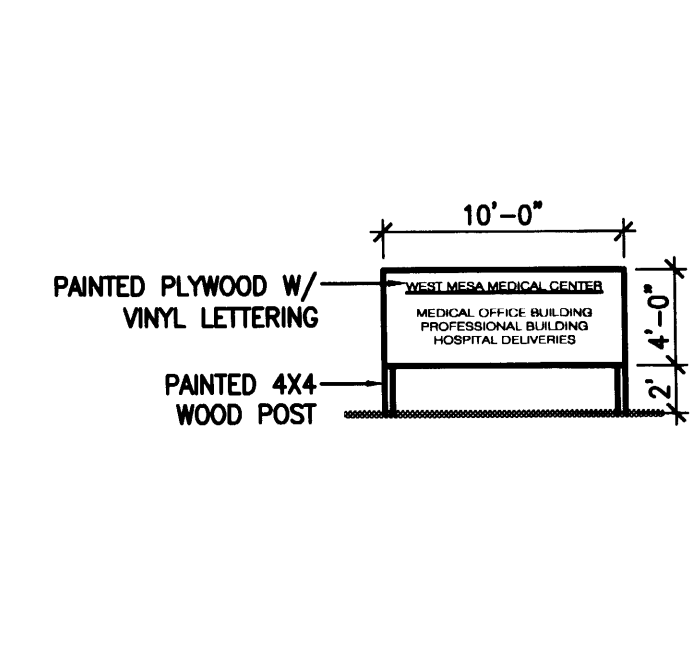
B1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



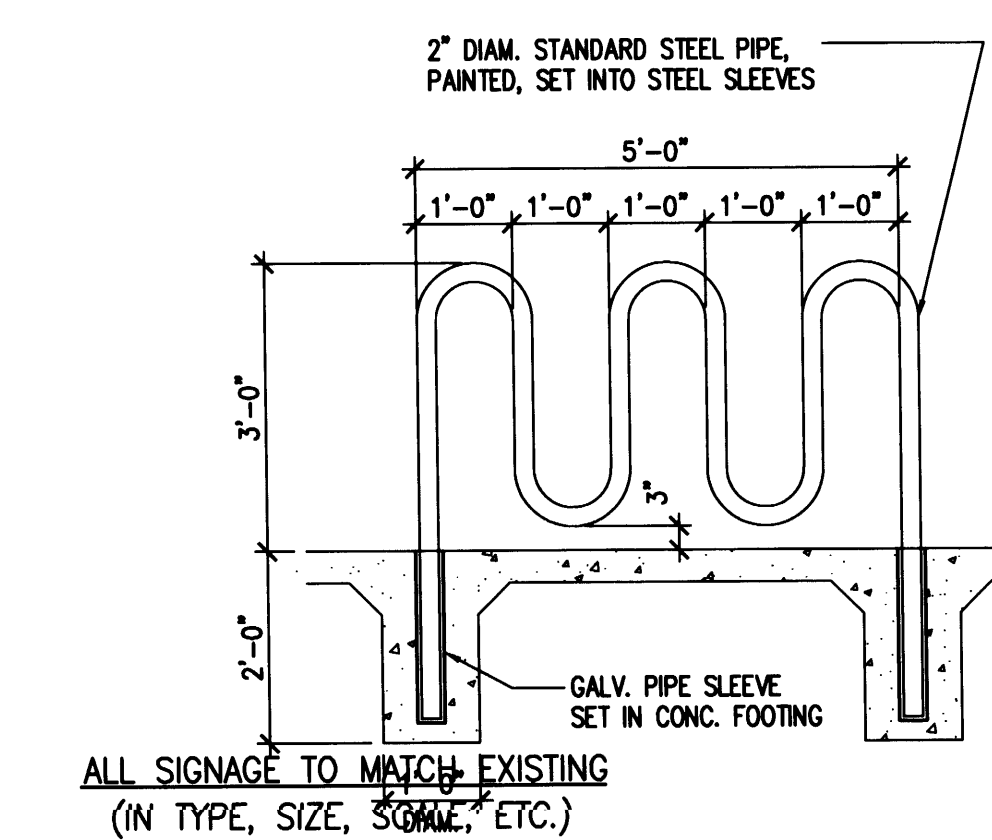
A1 COOLING TOWER ELEVATIONS (alt. for heat-pump in lieu of RTUs)
SCALE: 1/8" = 1'-0"



A4 DUMPSTER ENCLOSURE ELEVATIONS
SCALE: 1/8" = 1'-0"



A6 ENTRY DRIVE SIGNAGE
SCALE: 1/8" = 1'-0"



A7 BIKE RACK
SCALE: 1/2" = 1'-0"

SUBMITTED FOR DRB APPROVAL
JULY 6th, 2004
NOT FOR CONSTRUCTION

THE DESIGN GROUP
ARCHITECTS • PLANNERS • INTERIOR DESIGNERS
203 CENTRAL AVENUE SE, SUITE 200
ALBUQUERQUE, NM 87102
PHONE: 505.242.4800 FAX: 505.242.4801

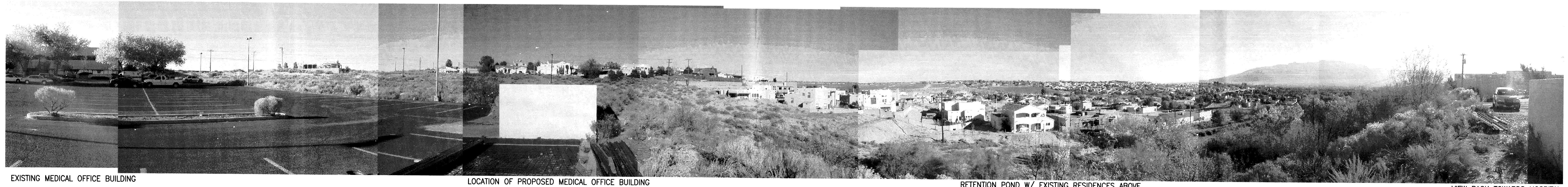
PROJECT NAME:
**West Mesa Medical Center
DRB Submittal**
Golf Course & McMahon NW, Albuquerque, NM

REVISIONS	No.	DATE	DESCRIPTION

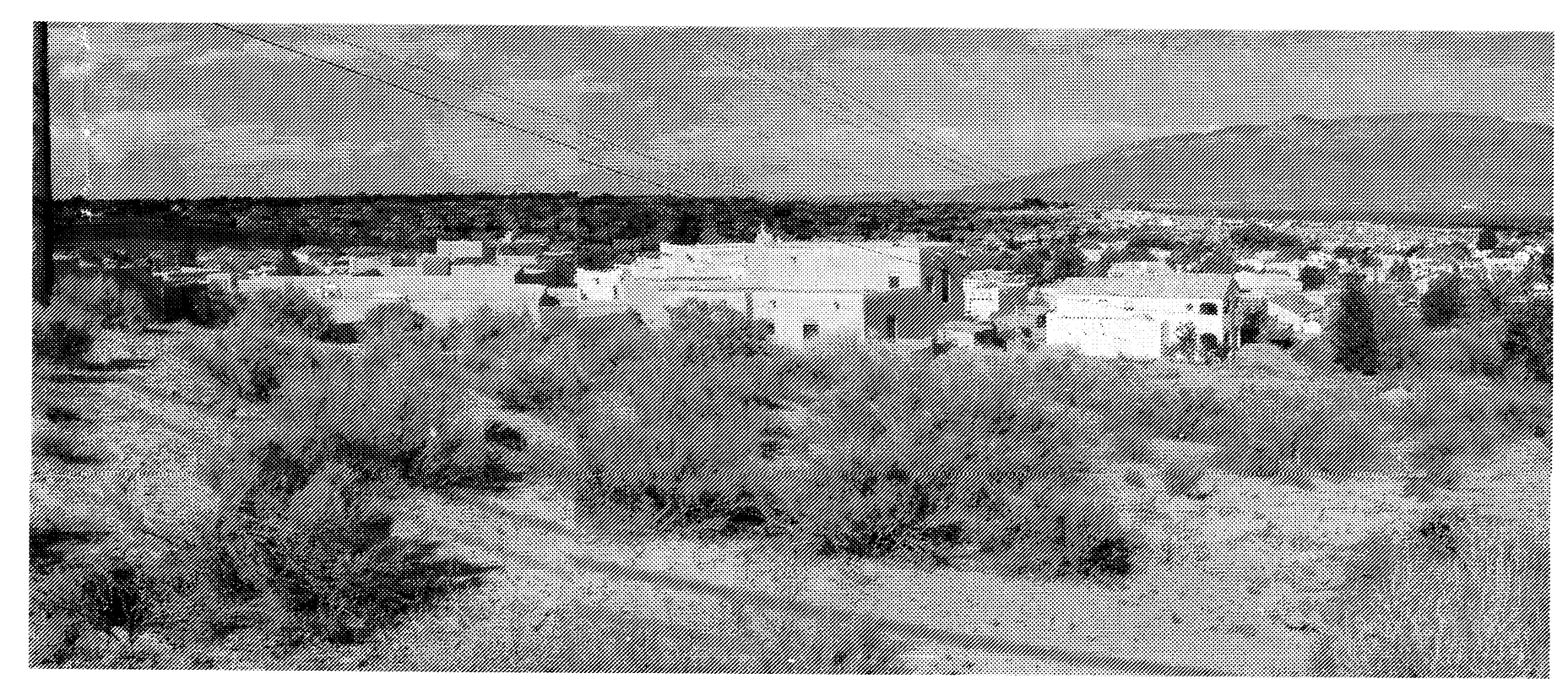
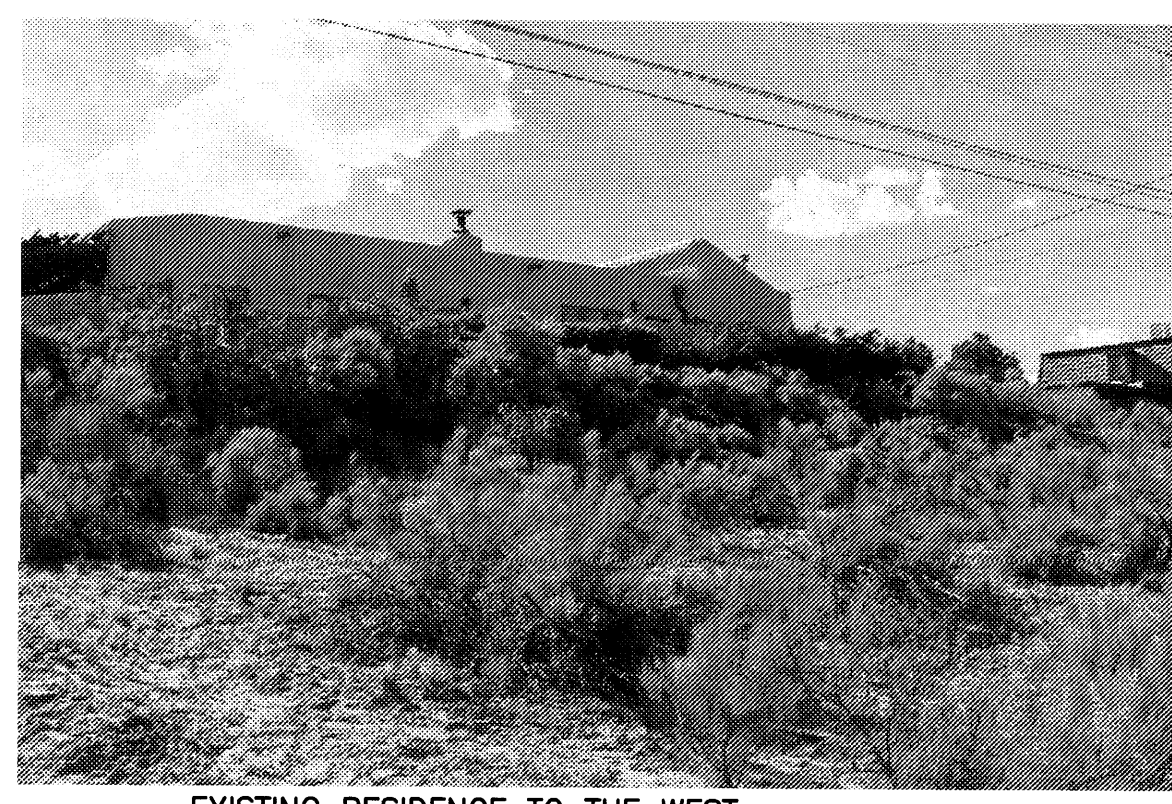
SHEET TITLE:
Exterior Building Elevations

DESIGNED: EFH SCALE: 1/8" = 1'-0"
CHECKED: EJM JOB NO: 4003
DATE: 5/6/2004 COMP. FILE: 5EL

SHEET 4 OF 7

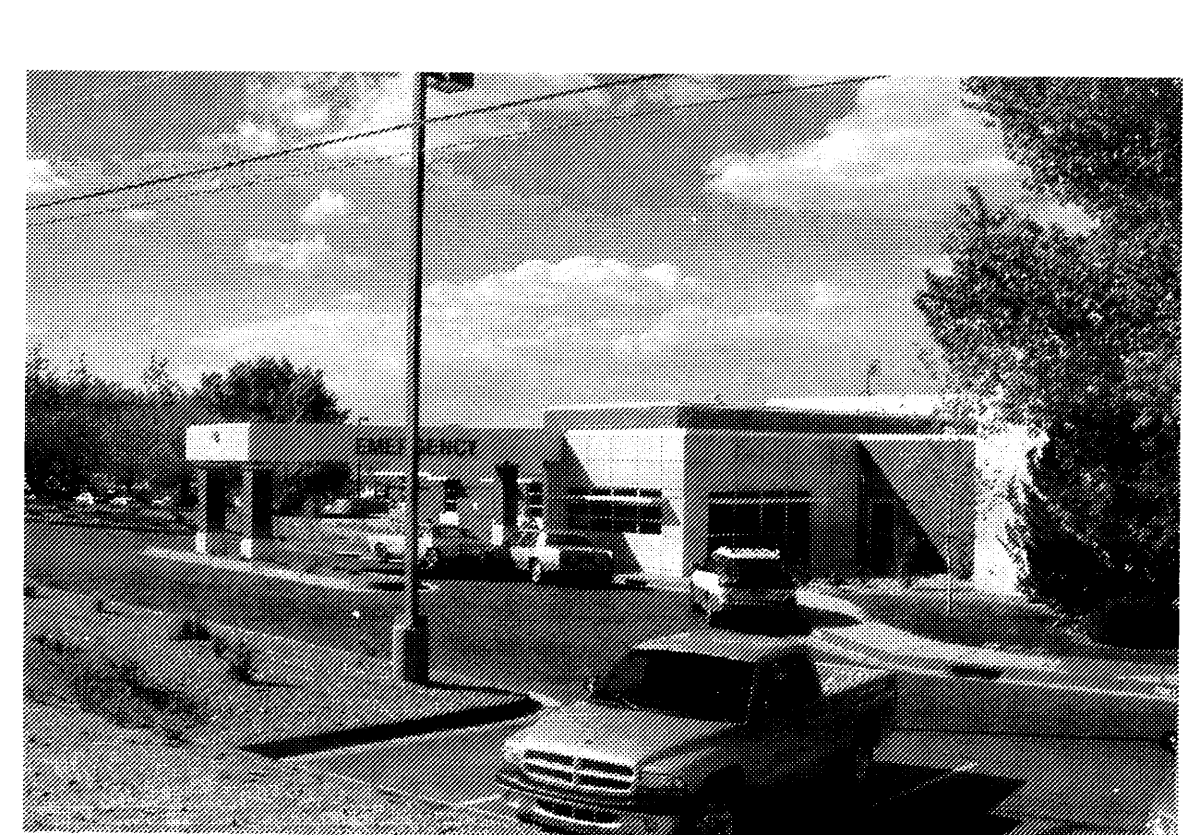
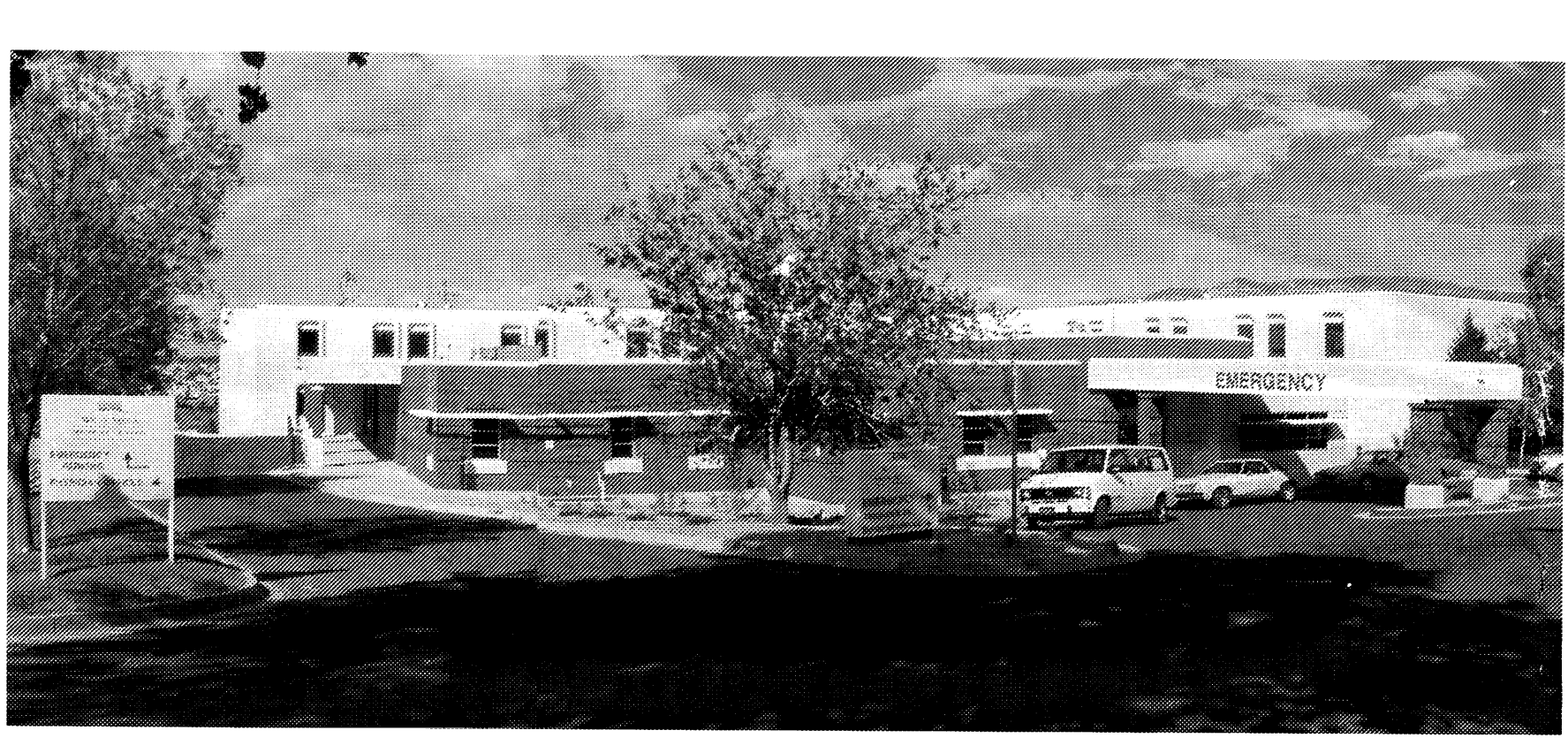
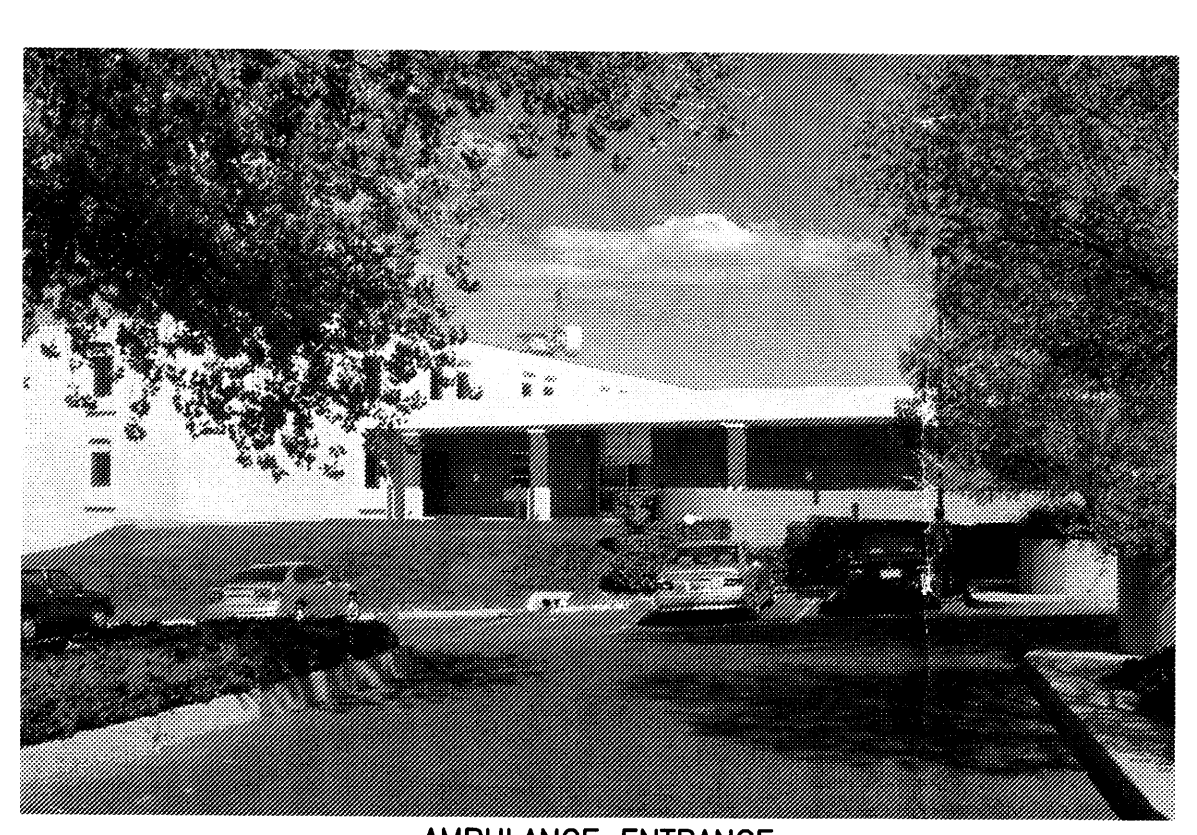
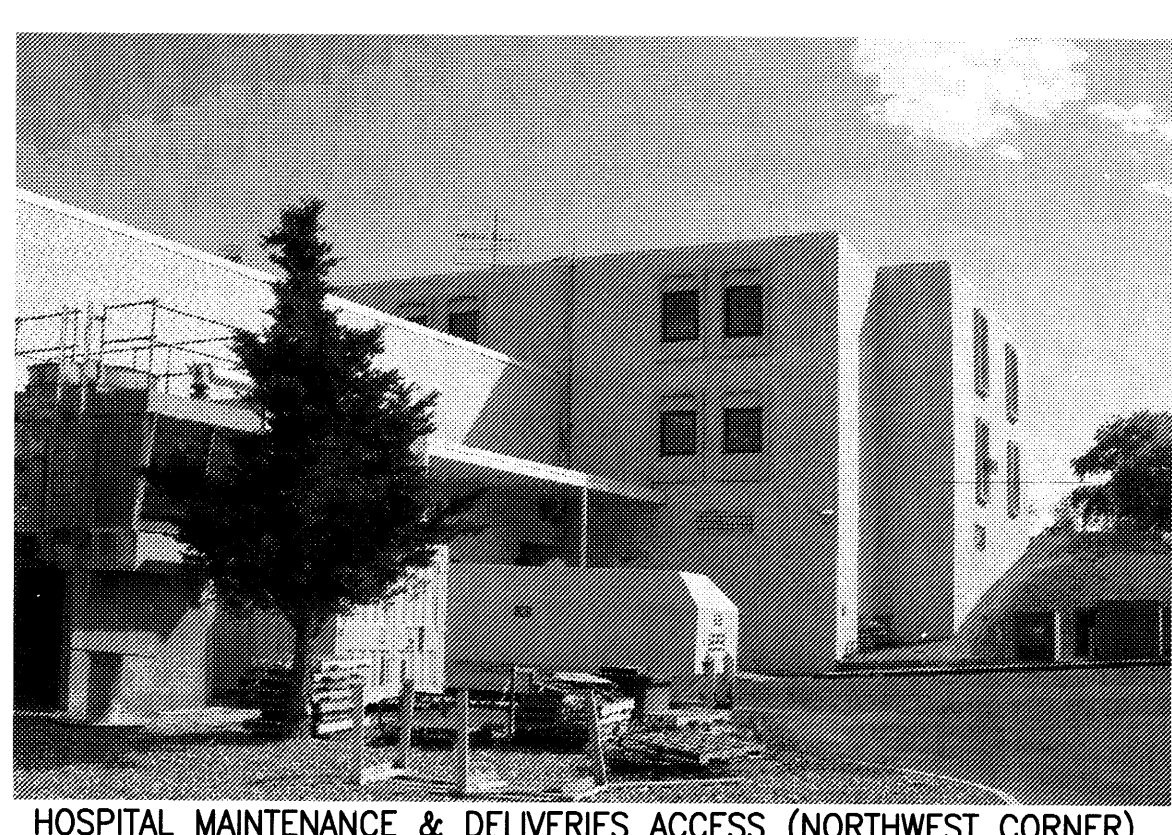


E1 **PANORAMIC VIEW FROM LOCATION OF PROPOSED MEDICAL OFFICE BUILDING**
 SCALE: no scale

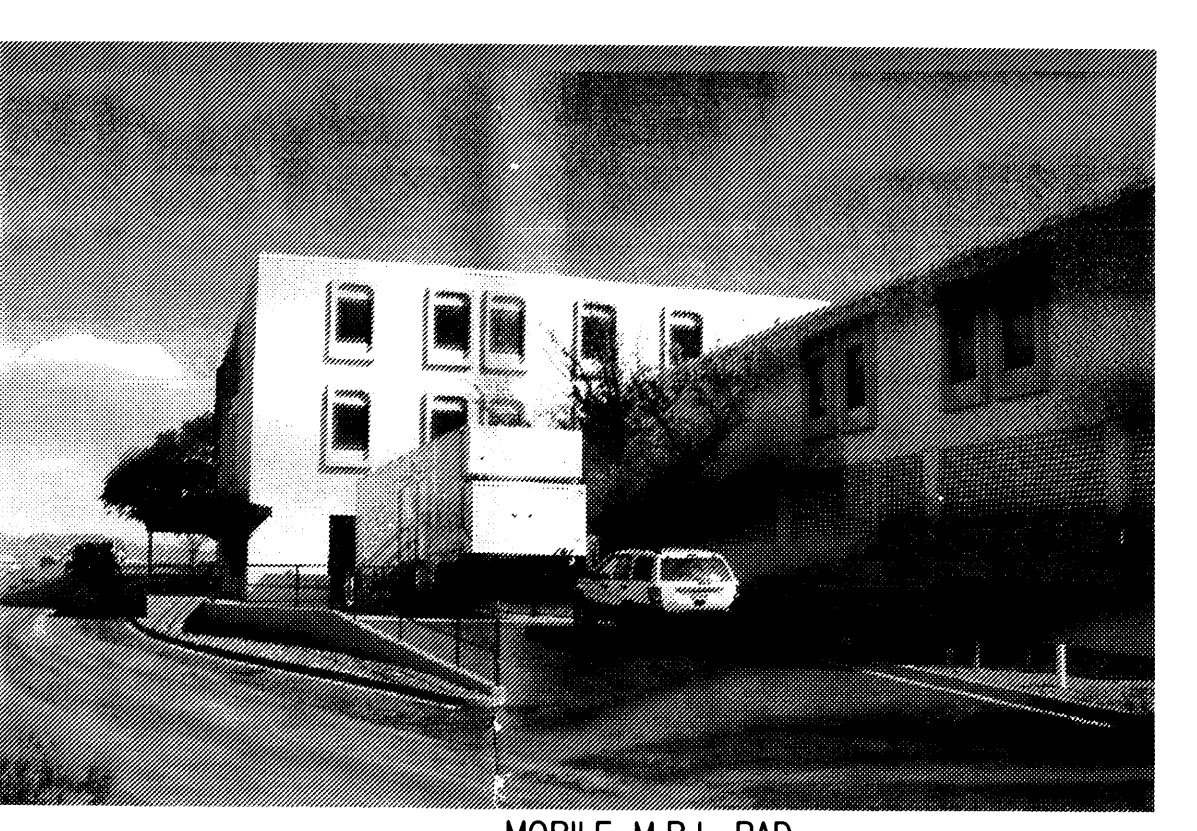
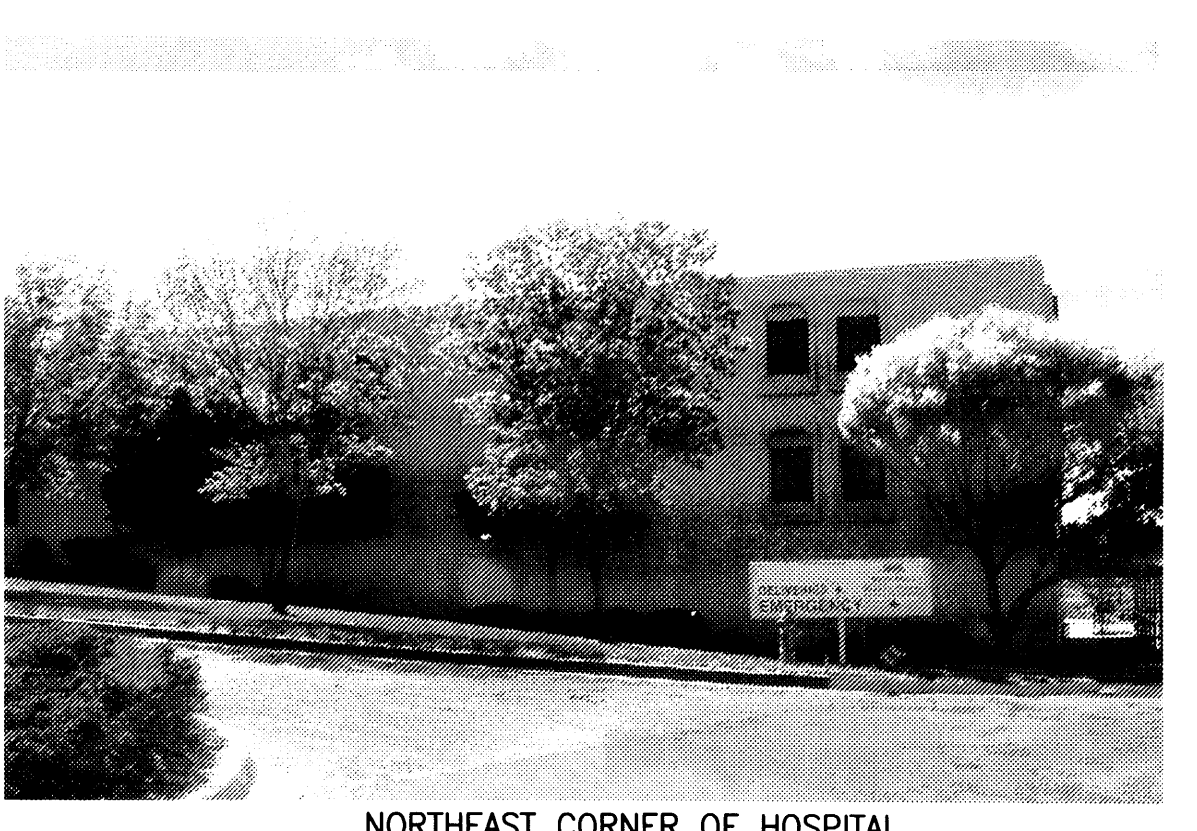
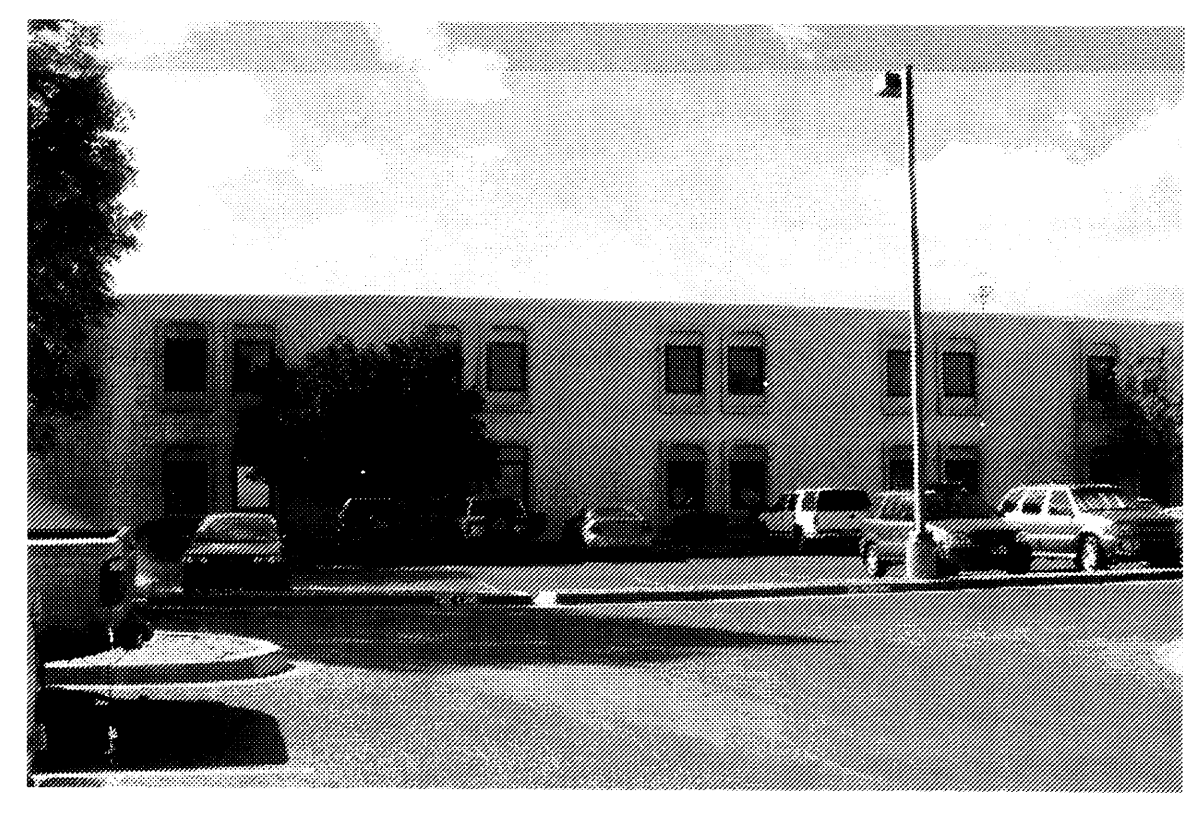
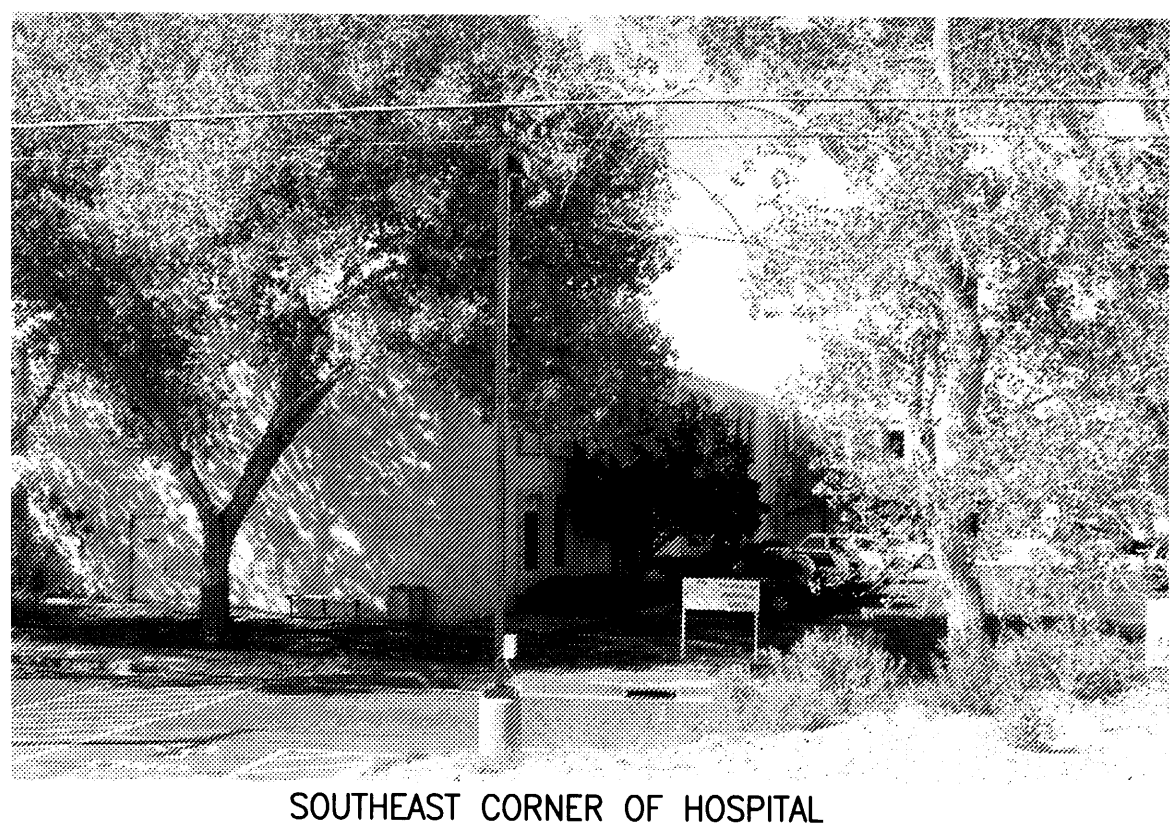


D1 **VIEWS OF EXISTING RESIDENTIAL FROM PROPOSED M.O.B PARKING LOT**
 SCALE: no scale

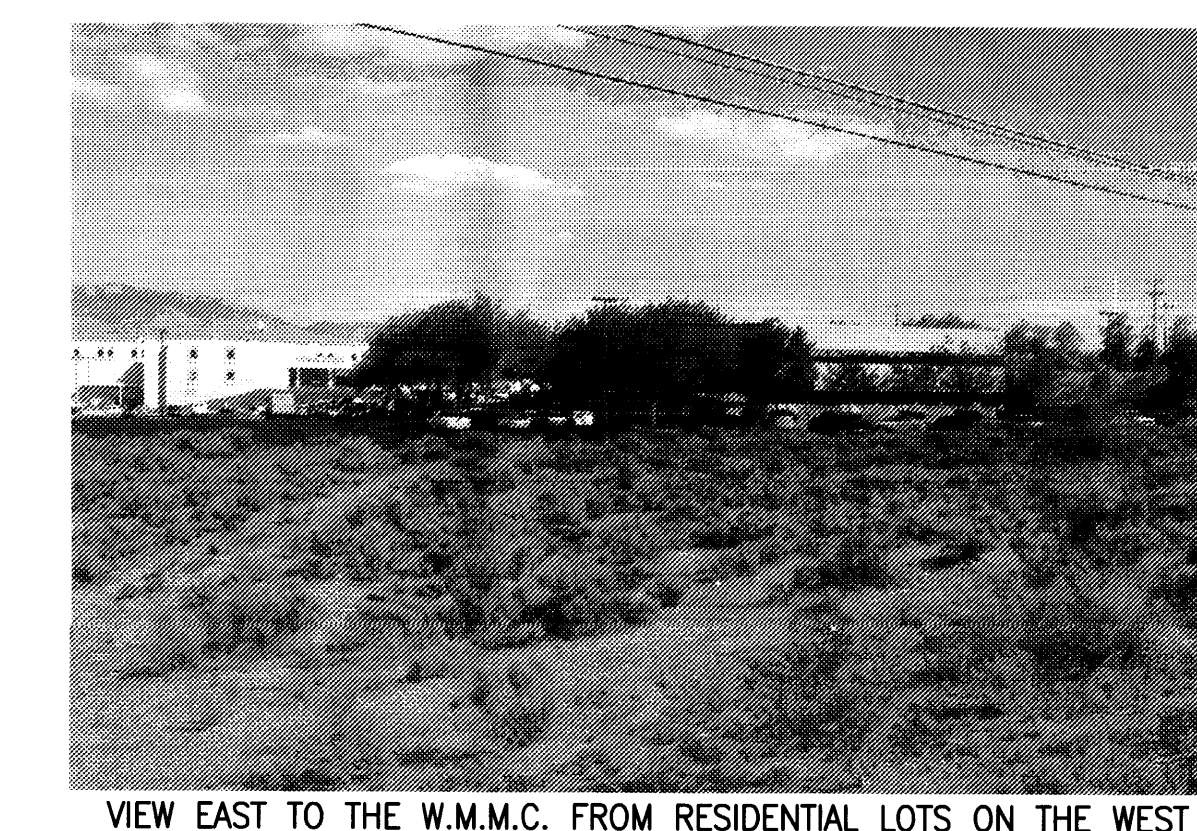
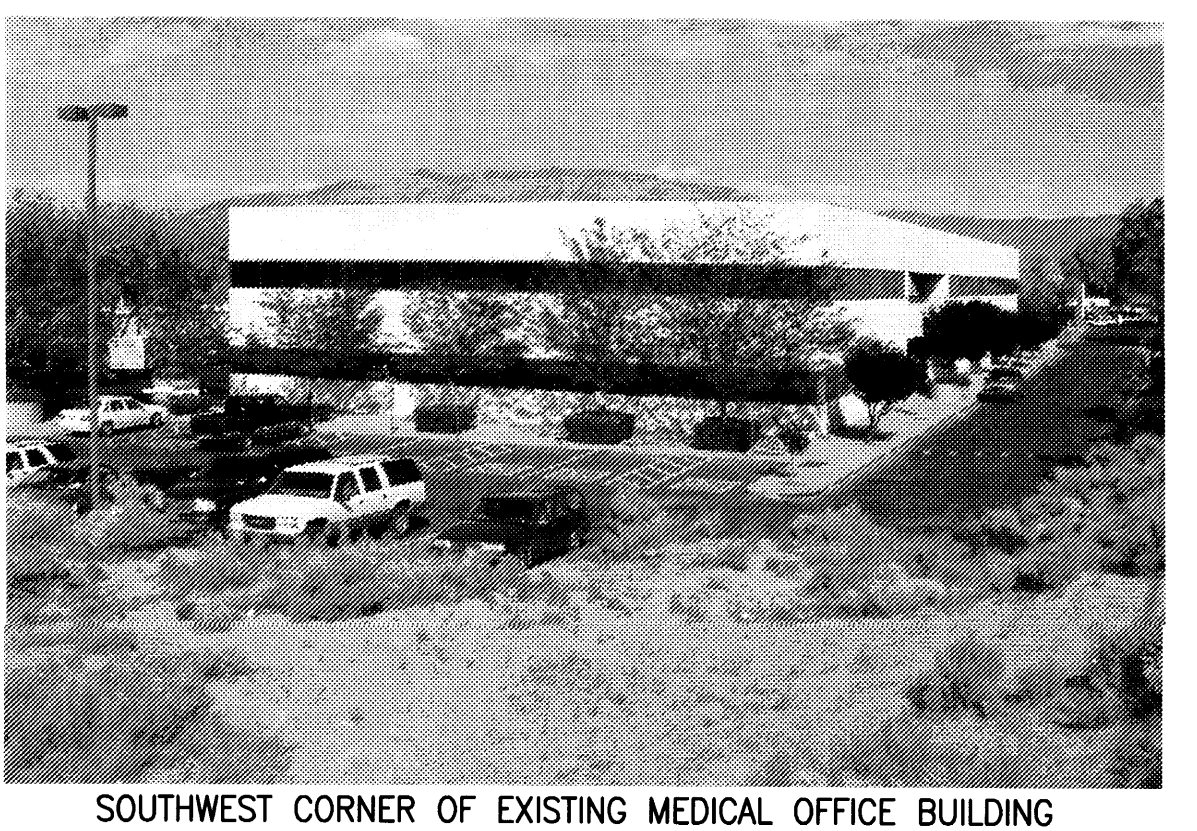
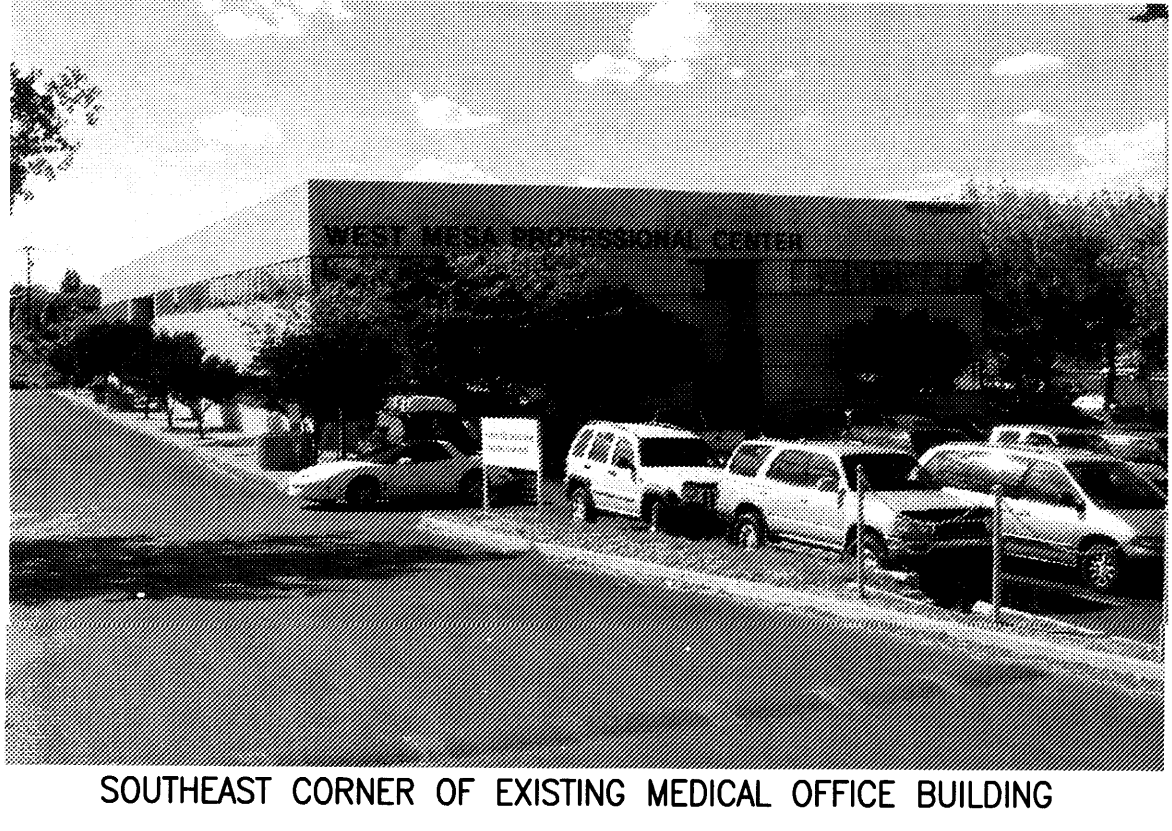
D4 **PANORAMIC VIEW UP AT THE WEST MESA MEDICAL CENTER FROM THE NORTHEAST CORNER OF THE LOT**
 SCALE: no scale



C1 **EXISTING HOSPITAL EXTERIOR (NORTHWEST CORNER TO SOUTHEAST CORNER)**
 SCALE: no scale



B1 **EXISTING HOSPITAL EXTERIOR (SOUTHEAST CORNER TO NORTHWEST CORNER)**
 SCALE: no scale



A1 **EXISTING MEDICAL OFFICE BUILDING EXTERIOR (SOUTHEAST CORNER TO SOUTHWEST CORNER)**
 SCALE: no scale

SUBMITTED FOR DRB APPROVAL
JULY 6th, 2004
 NOT FOR CONSTRUCTION

THE DESIGN GROUP
 ARCHITECTS - PLANNERS - INTERIOR DESIGN
 121 CENTRAL AVENUE, SUITE 200
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: 505.832.4880 FAX: 505.262.4883

PROJECT NAME:
**West Mesa Medical Center
 DRB Submittal**
 Golf Course & McMahon NW, Albuquerque, NM

REVISIONS

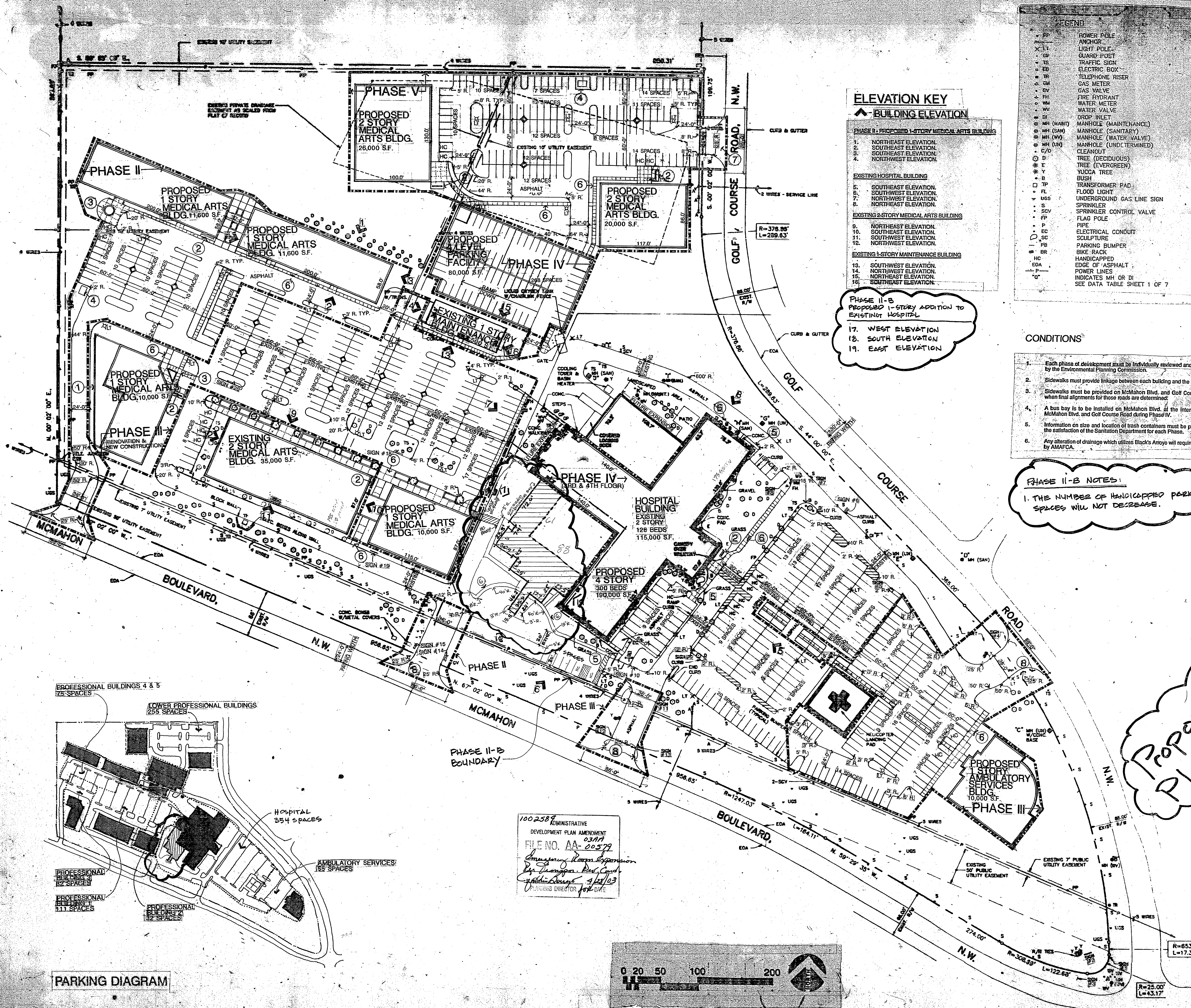
No.	DATE	DESCRIPTION

SHEET TITLE:
 Pictures of Existing Buildings & Site

DESIGNED: ERLH SCALE: no scale
 CHECKED: DJM JOB NO: 4003
 DATE: 5/6/2004 DRAWN: GPK

SHEET 5 OF 7

P:\04\040003\040003.dwg, 7/6/2004, 10:08:46 AM, 100%



ELEVATION KEY

BUILDING ELEVATION

PHASE II - PROPOSED 1-STORY MEDICAL ARTS BUILDING

- NORTHEAST ELEVATION
- SOUTHWEST ELEVATION
- SOUTHWEST ELEVATION
- NORTHWEST ELEVATION

EXISTING HOSPITAL BUILDING

- SOUTHWEST ELEVATION
- SOUTHWEST ELEVATION
- NORTHWEST ELEVATION
- NORTHWEST ELEVATION

EXISTING 2-STORY MEDICAL ARTS BUILDING

- NORTHEAST ELEVATION
- SOUTHWEST ELEVATION
- NORTHWEST ELEVATION
- NORTHWEST ELEVATION

EXISTING 1-STORY MAINTENANCE BUILDING

- SOUTHWEST ELEVATION
- NORTHWEST ELEVATION
- NORTHWEST ELEVATION
- SOUTHWEST ELEVATION

PHASE II-B
PROPOSED 1-STORY ADDITION TO EXISTING HOSPITAL

- WEST ELEVATION
- SOUTH ELEVATION
- EAST ELEVATION

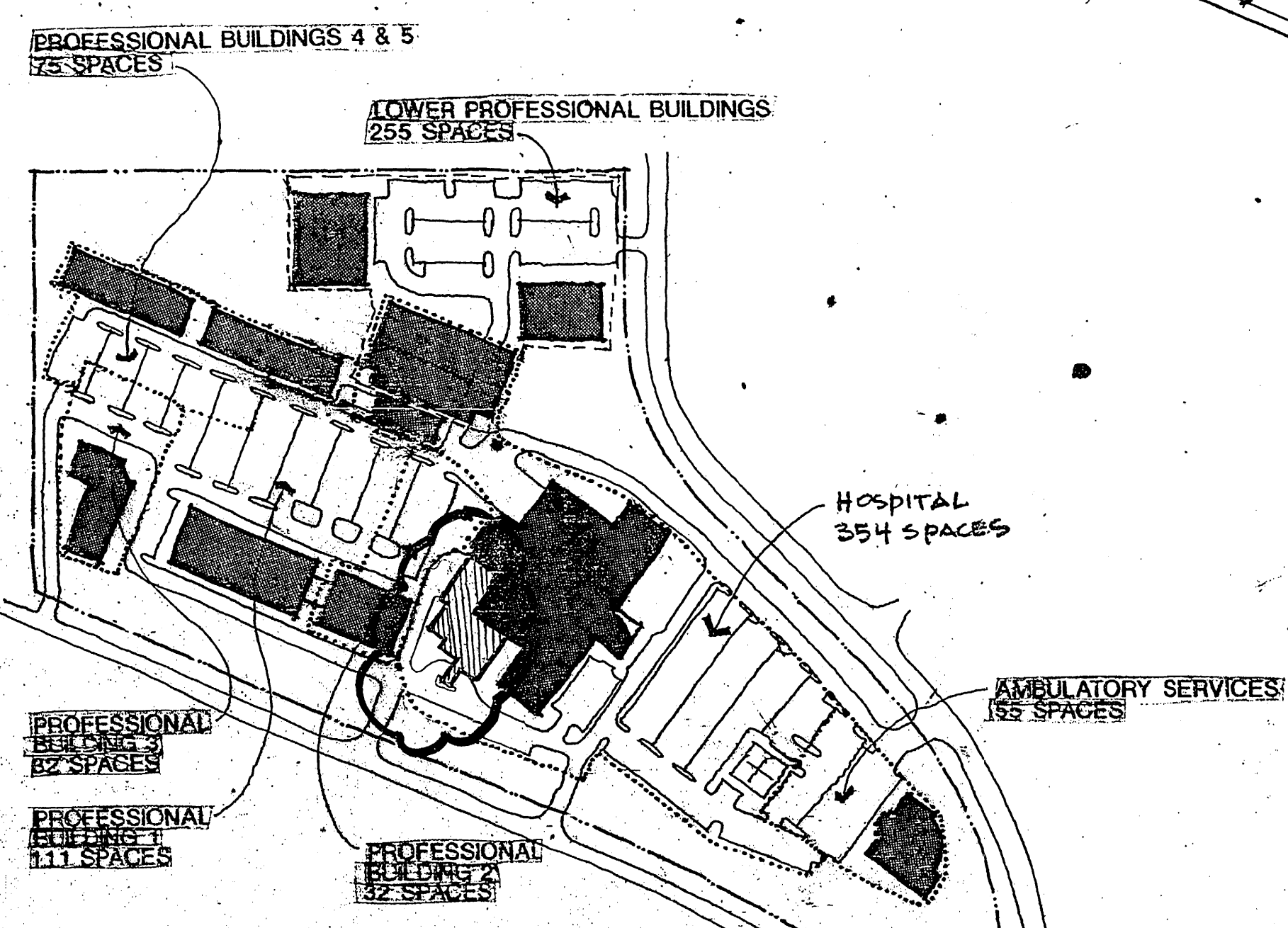
LEGEND

- PP POWER POLE
- AW ANCHOR
- LI LIGHT POLE
- GP GUARD POST
- TS TRAFFIC SIGN
- EB ELECTRIC BOX
- TR TELEPHONE RISER
- GM GAS METER
- GV GAS VALVE
- FH FIRE HYDRANT
- WM WATER METER
- WV WATER VALVE
- DI DROP INLET
- MH (MAINT) MANHOLE (MAINTENANCE)
- MH (SAN) MANHOLE (SANITARY)
- MH (WV) MANHOLE (WATER VALVE)
- MH (UN) MANHOLE (UNDETERMINED)
- C/O CLEANOUT
- TRC (DECIDUOUS) TREE (DECIDUOUS)
- TRC (EVERGREEN) TREE (EVERGREEN)
- Y YUCCA TREE
- B BUSH
- TP TRANSFORMER PAD
- FL FLOOD LIGHT
- UGS UNDERGROUND GAS LINE SIGN
- SCV SPRINKLER CONTROL VALVE
- FP FLAG POLE
- P PIPE
- EC ELECTRICAL CONDUIT
- SC SCULPTURE
- PB PARKING BUMPER
- BR BIKE RACK
- HC HANDICAPPED
- EOA EDGE OF ASPHALT
- P POWER LINES
- INDICATES MH OR DI
- SEE DATA TABLE SHEET 1 OF 7

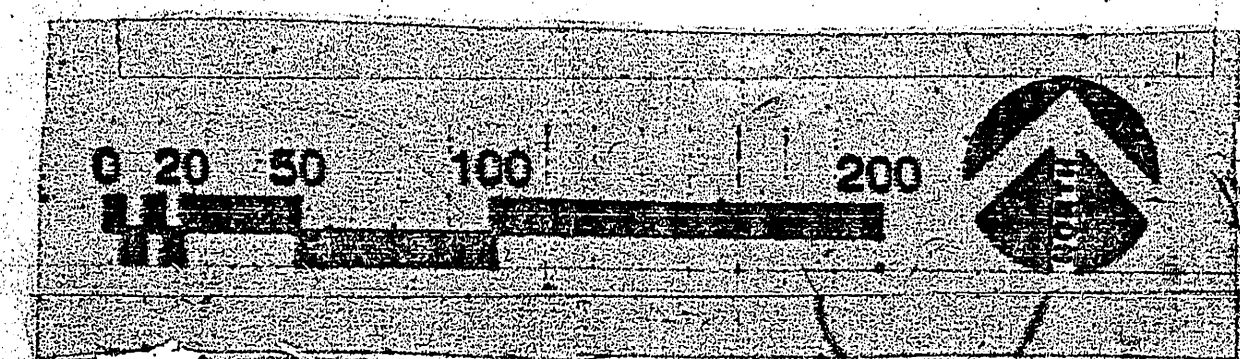
- ### CONDITIONS
- Each phase of development must be individually reviewed and approved by the Environmental Planning Commission.
 - Sidewalks must provide linkage between each building and the Hospital.
 - Sidewalks must be provided on McMahon Blvd. and Golf Course Road when final alignments for those roads are determined.
 - A bus bay is to be installed on McMahon Blvd. at the intersection of McMahon Blvd. and Golf Course Road during Phase IV.
 - Information on size and location of trash containers must be provided to the satisfaction of the Sanitation Department for each Phase.
 - Any alteration of drainage which utilizes Black's Arroyo will require approval by AMAFCA.

PHASE II-B NOTES:

- THE NUMBER OF HANDICAPPED PARKING SPACES WILL NOT DECREASE.



100258 ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT 02/04/03
FILE NO. AA-00579
Amesbury River Expansion
By Thompson, Paul, Carol
Public Review 3/12/03
PLANNING DIRECTOR [signature]



EXISTING PRIVATE DRAINAGE EXPOSED AS SHOWN FROM PLAT OF RECORD

SITE AREA: 908,982 S.F. (20.86 ACRES)

PARKING REQUIREMENTS

(SEE PARKING DIAGRAM FOR DISTRIBUTION)

REQUIRED	PROVIDED
EXISTING	258
PHASE II	389
PHASE III	654
PHASE IV	640
PHASE V	900
HANDICAPPED	20

BICYCLES
PARKING SPACE DIMENSIONS:
STANDARD: 9'-0" X 20'-0" MIN.
HANDICAPPED: 13'-0" X 20'-0" MIN.

NOTE: PARKING REQUIRED IS BASED ON 5 PARKING SPACES/DOCTOR, 897 S.F./DOCTOR - 1 PARKING SPACE/79 S.F. (FOR MEDICAL ARTS BUILDINGS)

SIGNAGE
ALL FUTURE SIGNAGE SHALL ADHERE TO SIZE, NUMBER AND LOCATION REQUIREMENTS AS SET FORTH IN THE CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE.

SIGNATURE BLOCK

IDENTIFY THAT THIS AREA IS ZONED SU-1 FOR A HOSPITAL AND RELATED USES, AND THIS PLAN IS CONSISTENT WITH THE MASTER PLAN AND SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON OCTOBER 21, 1998.

PLANNING DEPARTMENT _____ DATE _____

APPROVED AS TO THE REQUIREMENTS:

TRANSPORTATION DEVELOPMENT _____ DATE _____

UTILITY DEVELOPMENT _____ DATE _____

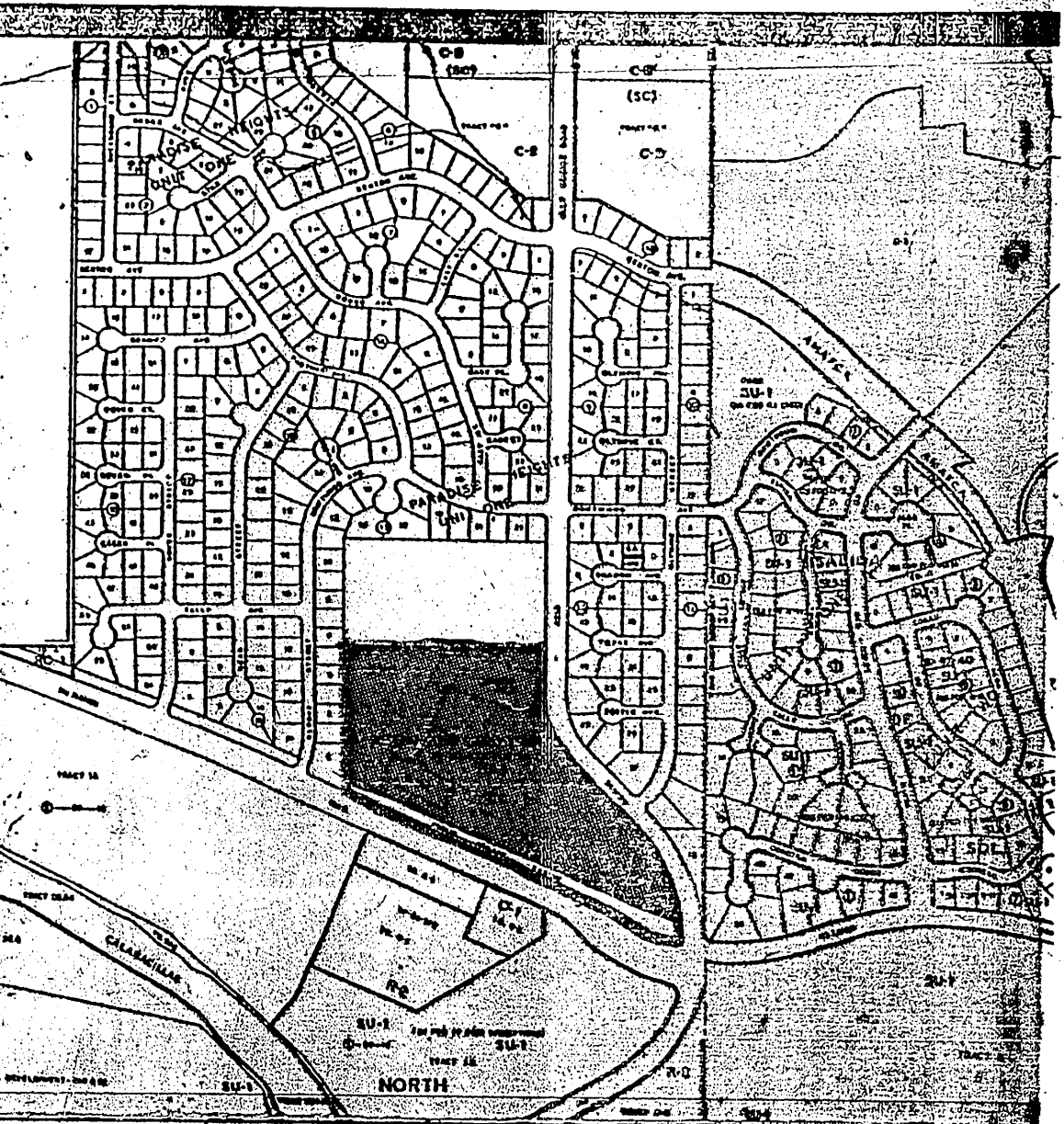
HYDROLOGY _____ DATE _____

PARKS AND RECREATION _____ DATE _____

SOLID WASTE DEPARTMENT _____ DATE _____

NEW MEXICO UTILITIES _____ DATE _____

SUBMITTED FOR DRB APPROVAL

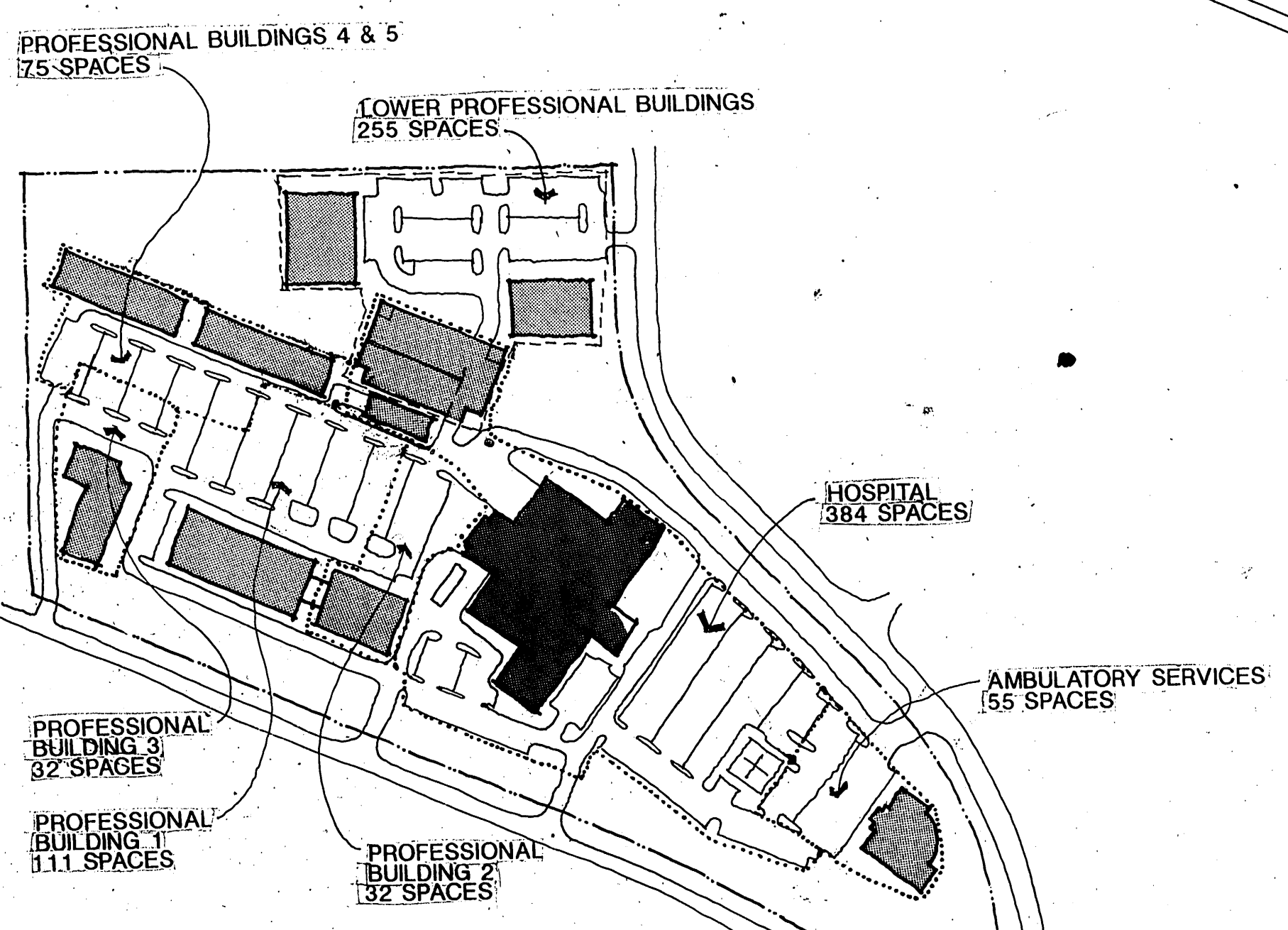
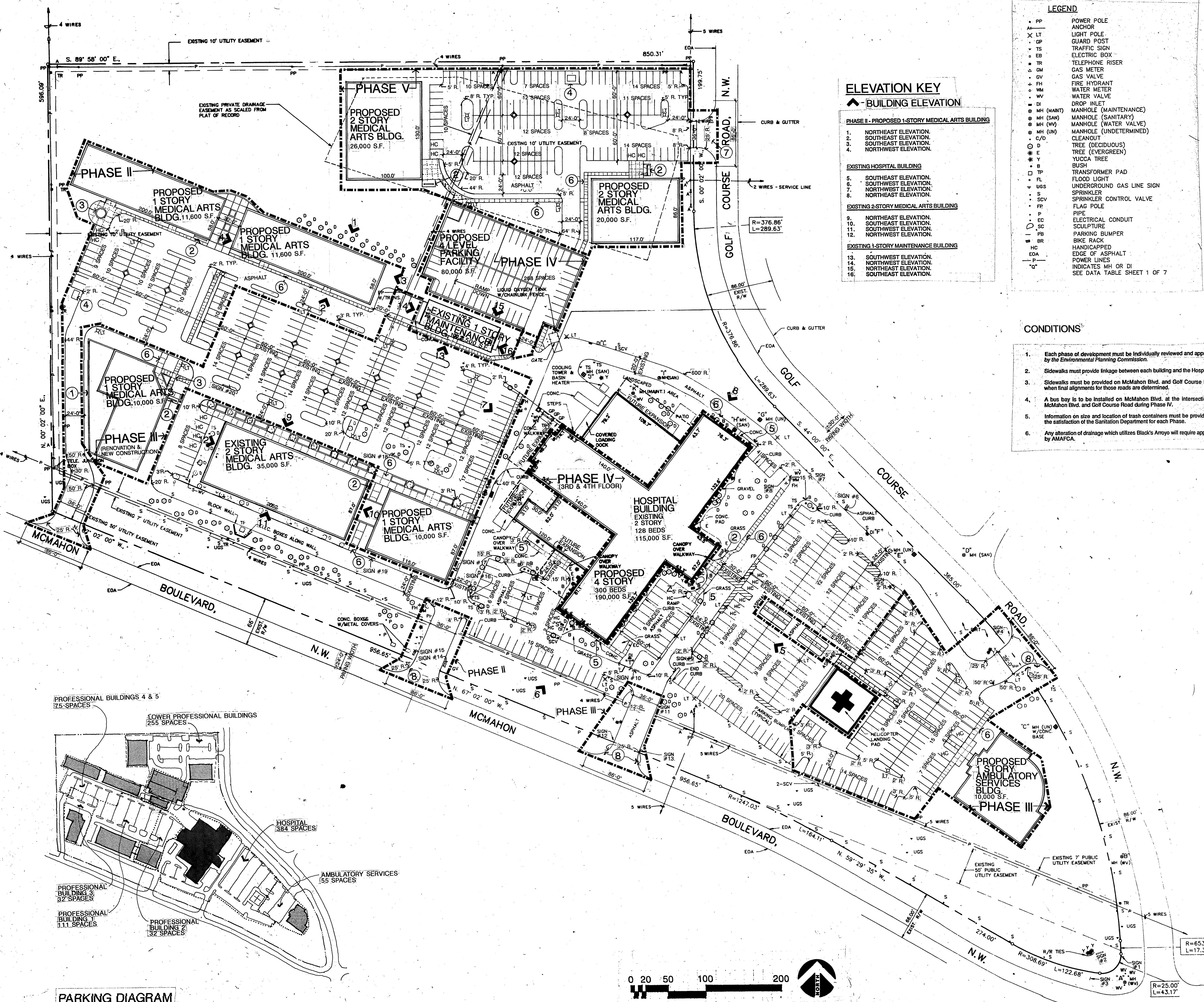


4/8/03

ST. JOSEPH WEST MESA HOSPITAL

THE DESIGN GROUP
202 Central Avenue SE, Suite 200
Albuquerque, NM 87102
Phone: 505.242.6880
Fax: 505.242.6881

Proposed Plan



PARKING DIAGRAM

ELEVATION KEY
▲ - BUILDING ELEVATION

- PHASE II - PROPOSED 1-STORY MEDICAL ARTS BUILDING**
1. NORTHEAST ELEVATION.
 2. SOUTHWEST ELEVATION.
 3. SOUTHEAST ELEVATION.
 4. NORTHWEST ELEVATION.
- EXISTING HOSPITAL BUILDING**
5. SOUTHWEST ELEVATION.
 6. SOUTHWEST ELEVATION.
 7. NORTHWEST ELEVATION.
 8. NORTHEAST ELEVATION.
- EXISTING 2-STORY MEDICAL ARTS BUILDING**
9. NORTHEAST ELEVATION.
 10. SOUTHWEST ELEVATION.
 11. SOUTHWEST ELEVATION.
 12. NORTHWEST ELEVATION.
- EXISTING 1-STORY MAINTENANCE BUILDING**
13. SOUTHWEST ELEVATION.
 14. NORTHWEST ELEVATION.
 15. NORTHEAST ELEVATION.
 16. SOUTHWEST ELEVATION.

LEGEND

- PP POWER POLE
- ▲ LT LIGHT POLE
- GP GUARD POST
- TS TRAFFIC SIGN
- EB ELECTRIC BOX
- TR TELEPHONE RISER
- GM GAS METER
- GV GAS VALVE
- FH FIRE HYDRANT
- WM WATER METER
- WV WATER VALVE
- DI DROP INLET
- MH (MAN) MANHOLE (MAINTENANCE)
- MH (SAN) MANHOLE (SANITARY)
- MH (W) MANHOLE (WATER VALVE)
- MH (UN) MANHOLE (UNDETERMINED)
- C/O CLEANOUT
- D TREE (DECIDUOUS)
- E TREE (EVERGREEN)
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- B BUSH
- TP TRANSFORMER PAD
- FL FLOOD LIGHT
- UGS UNDERGROUND GAS LINE SIGN
- S SPRINKLER
- SCV SPRINKLER CONTROL VALVE
- FR FLAG POLE
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5. Information on size and location of trash containers must be provided to the satisfaction of the Sanitation Department for each Phase.
6. Any alteration of drainage which utilizes Black's Arroyo will require approval by AMAFCA.

NOTES:

1. 5'-0" HIGH RETAINING WALL.
2. BICYCLE RACK FOR 10 BICYCLES.
3. FOUNTAIN.
4. REFUSE CONTAINER.
5. EXISTING SIDEWALK.
6. PROPOSED 5'-0" SIDEWALK (MIN.).
7. CONCRETE CURB CUT (PROPOSED).
8. CONCRETE CURB CUT (REMODELED).

SITE AREA: 908,882 S.F. (20.86 ACRES)

PARKING REQUIREMENTS:
(SEE PARKING DIAGRAM FOR DISTRIBUTION)

	REQUIRED	PROVIDED
EXISTING	259	438
PHASE II	889	498
PHASE III	554	528
PHASE IV	640	796
PHASE V	900	920
HANDICAPPED	20	20

BICYCLES
PARKING SPACE DIMENSIONS:
STANDARD - 9'-0" X 20'-0" MIN.
HANDICAPPED - 13'-0" X 20'-0" MIN.

NOTE: PARKING REQUIRED IS BASED ON 5 PARKING SPACES/DOCTOR + 897 S.F./DOCTOR = 1 PARKING SPACE/179 S.F. (FOR MEDICAL ARTS BUILDINGS).

SIGNAGE
ALL FUTURE SIGNAGE SHALL ADHERE TO SIZE, NUMBER AND LOCATION REQUIREMENTS AS SET FORTH IN THE CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE.

SIGNATURE BLOCK

I CERTIFY THAT THIS AREA IS ZONED SL-1 FOR A HOSPITAL AND RELATED USES, AND THIS PLAN IS CONSISTENT WITH THE MASTER PLAN AND SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON OCTOBER 21, 1988.

Jack Cloud 11/29/88
PLANNING DEPARTMENT DATE

David W. Newman 11/29/88
TRANSPORTATION DEVELOPMENT DATE

William A. ... 11-29-88
UTILITY DEVELOPMENT DATE

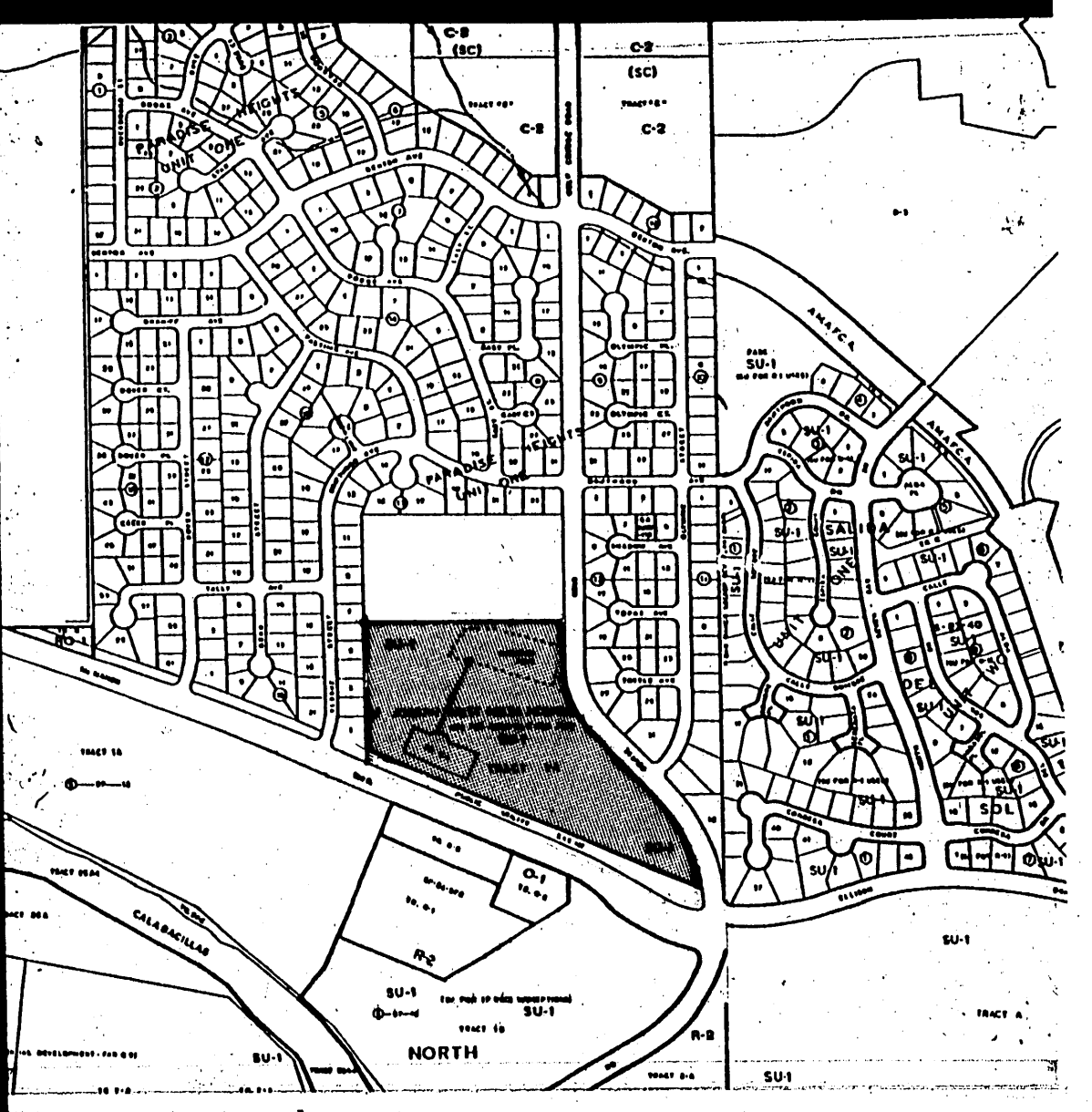
Frank J. ... 11-29-88
HYDROLOGY DATE

Thomas M. ... 11-29-88
PARKS AND RECREATION DATE

Stephen E. ... 11-29-88
SOLID WASTE DEPARTMENT DATE

James P. ... 11/29/88
NEW MEXICO UTILITIES DATE

SUBMITTED FOR DRB APPROVAL - NOVEMBER 29, 1988



VICINITY MAP

AUGUST 26, 1988 DATE

FILE

PROJ. MGR. BY

30 60 90 100 QUALITY ASSURANCE

SCALE

FMBSM
ST. JOSEPH WEST MESA HOSPITAL

Flatow Moore Bryan Shaffer McCabe
Architects Interior Designers
Landscape Architects Planners
Albuquerque, New Mexico
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SHEET 7 OF 7
SITE DEVELOPMENT PLAN

