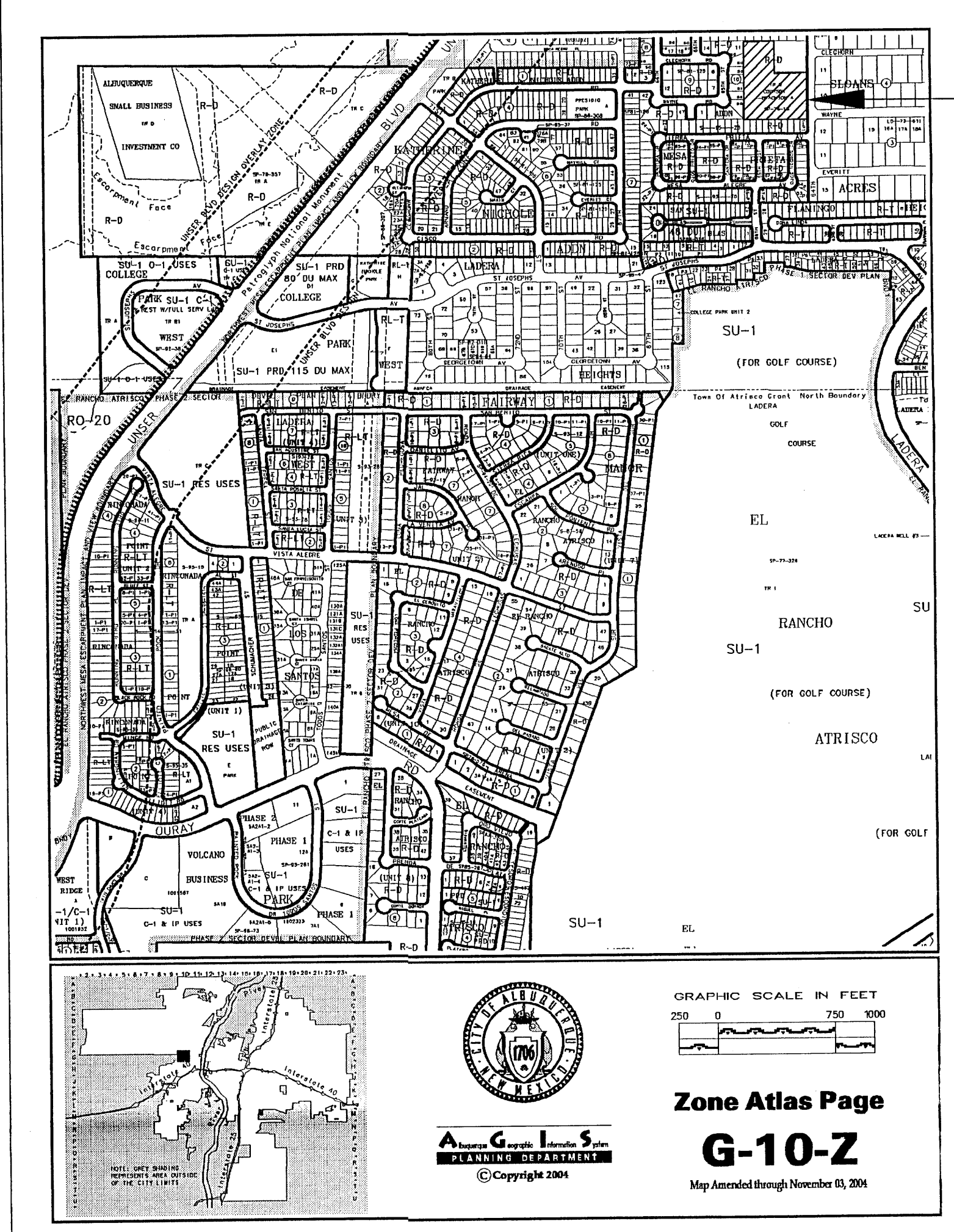
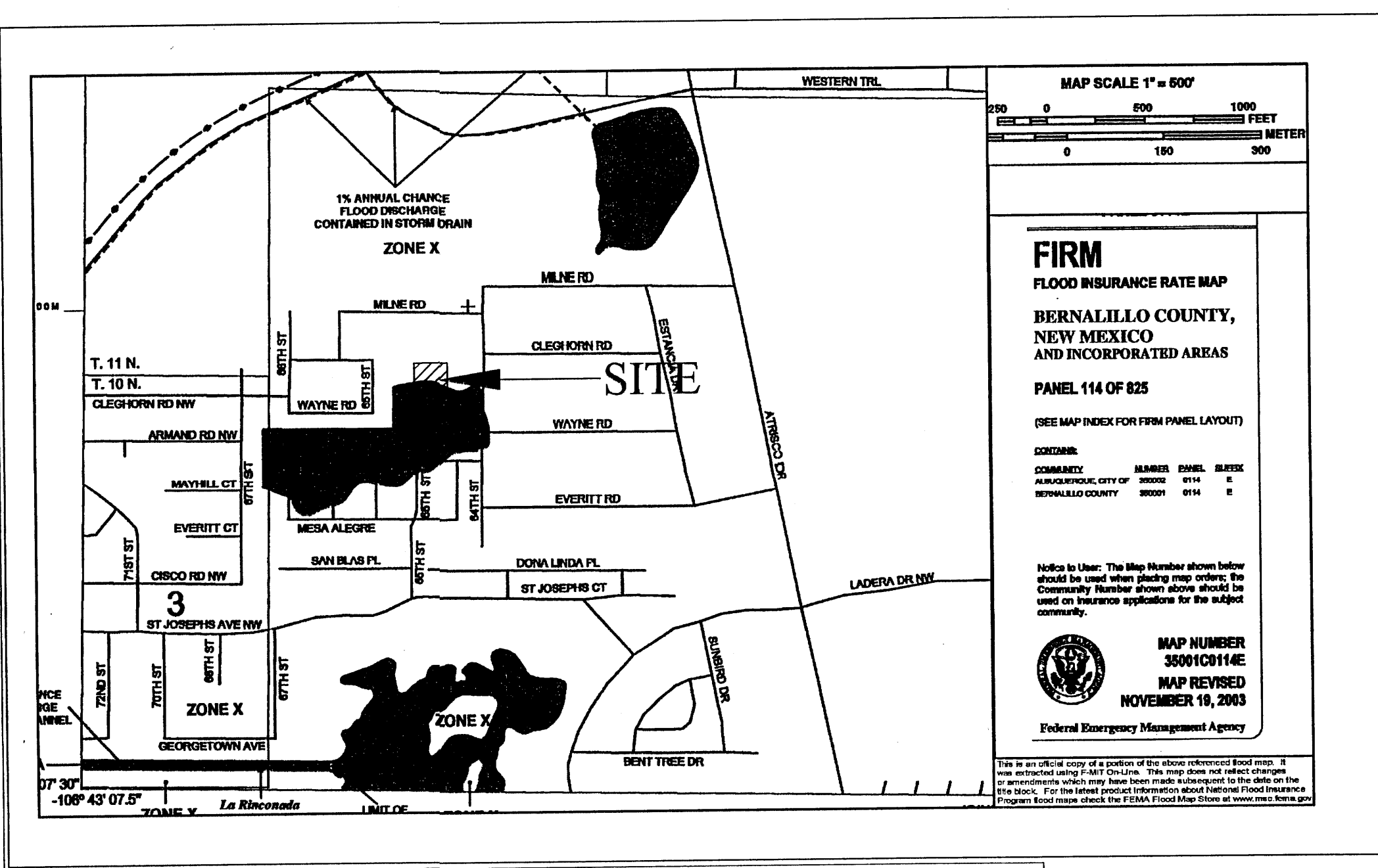


LINE TABLE

LINE	LENGTH	BEARING
L1	402.13	S89°54'00"W
L2	500.16	N00°42'00"E
L3	186.44	S89°54'00"W
L4	208.71	S89°54'00"W
L5	291.42	N00°06'00"W



SITE

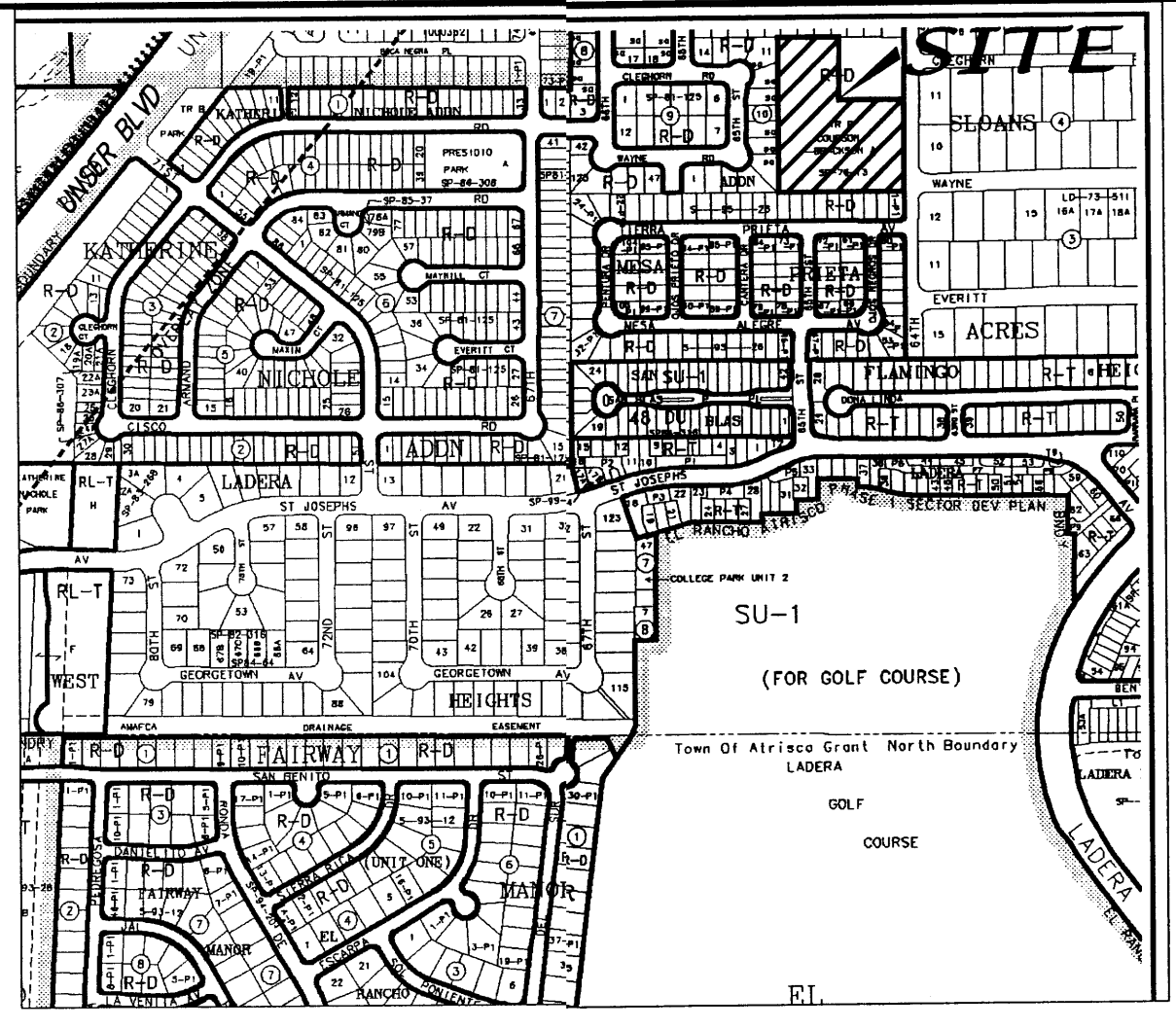
WATER
PROPOSED WATER CONNECTION IS TO EXISTING LINE IN 64TH STREET.

SANITARY SEWER
PROPOSED SANITARY SEWER CONNECTION IS TO EXISTING LINE IN 64TH STREET.

STORM DRAINAGE
THE SITE IS IN A FLOOD PLAIN AND WILL REQUIRE A LOMR
THERE ARE 3 DRAINAGE OPTIONS BEING CONSIDERED
FREE DISCHARGE TO STREET IF STREET CAPACITY IS AVAILABLE.
PONDING WITH SLOW RELEASE TO STREET IF STREET CAPACITY IS NOT AVAILABLE.
EXTENSION OF EXISTING STORM DRAIN IN WAYNE ROAD.

SKETCH PLAT
LOT B COURSON-BRACKSON A. ADDITION

ZONE R-D (PERMISSIVE USE R-1)
3.5 ACERS
16 LOTS
11/11/04



LOCATION MAP ZONE ATLAS G-10-Z
SCALE: NONE

SKETCH PLAT

CHAPARRAL COURT

WITHIN THE
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2005

LEGAL DESCRIPTION

TRACT B, REDIVISION OF LANDS OF BRACKSON A. COURSON

SUBDIVISION DATA

GROSS ACREAGE	3.527 AC
RIGHT-OF-WAY DEDICATION	0.9923 AC
ZONE ATLAS NO.	G-10-Z
NO. OF EXISTING TRACTS	1
NO. OF TRACTS/LOTS CREATED	22
NO. OF TRACTS ELIMINATED	1
ZONING	R-D

OWNERS

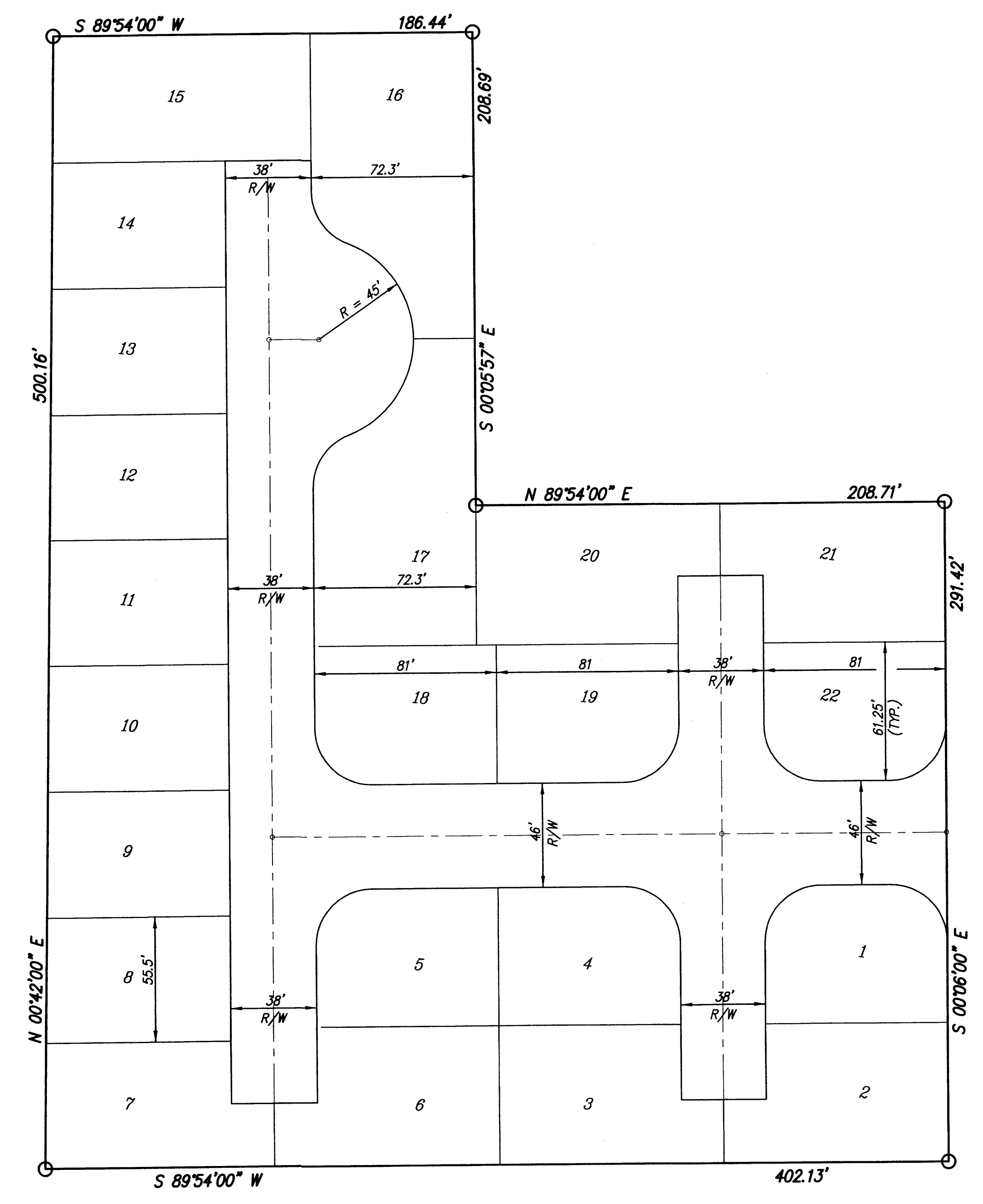
MEL FAMIE, LLC
P.O. BOX 90606
ALBUQUERQUE, N.M. 87199
(505) 828-2200

ENGINEERS

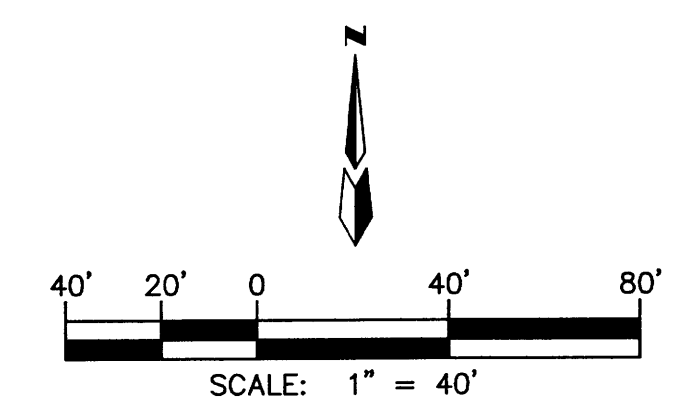
D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200


SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701



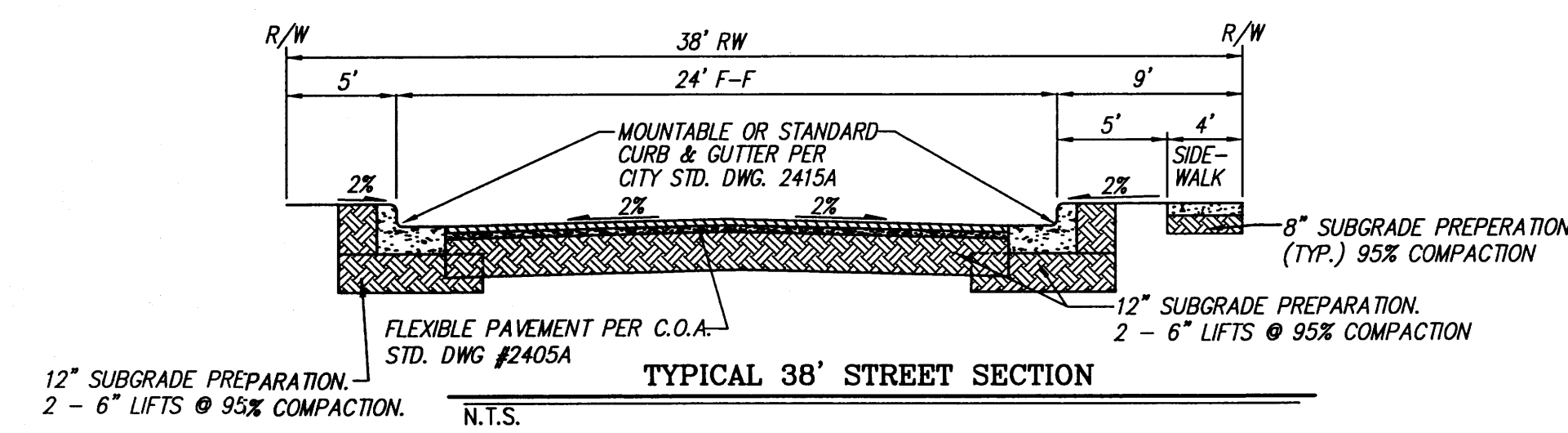
64TH STREET



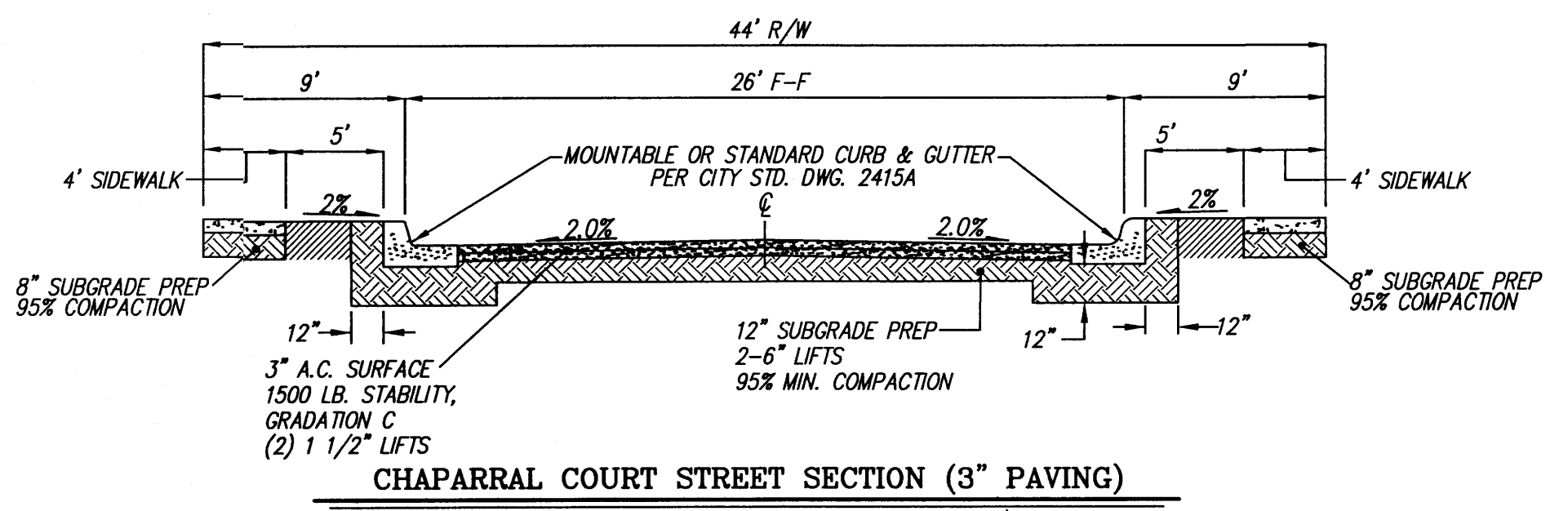
CHAPARRAL COURT			
SKETCH PLAT			
		MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS	
P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539			
Designed: DMG	Drawn: ACH	Checked: DMG	Sheet I of I
Scale: 1" = 40'	Date: 02-04-05	Job: A05014	

A5014SLA/SKECTH-ACH/02-04-05/ACH

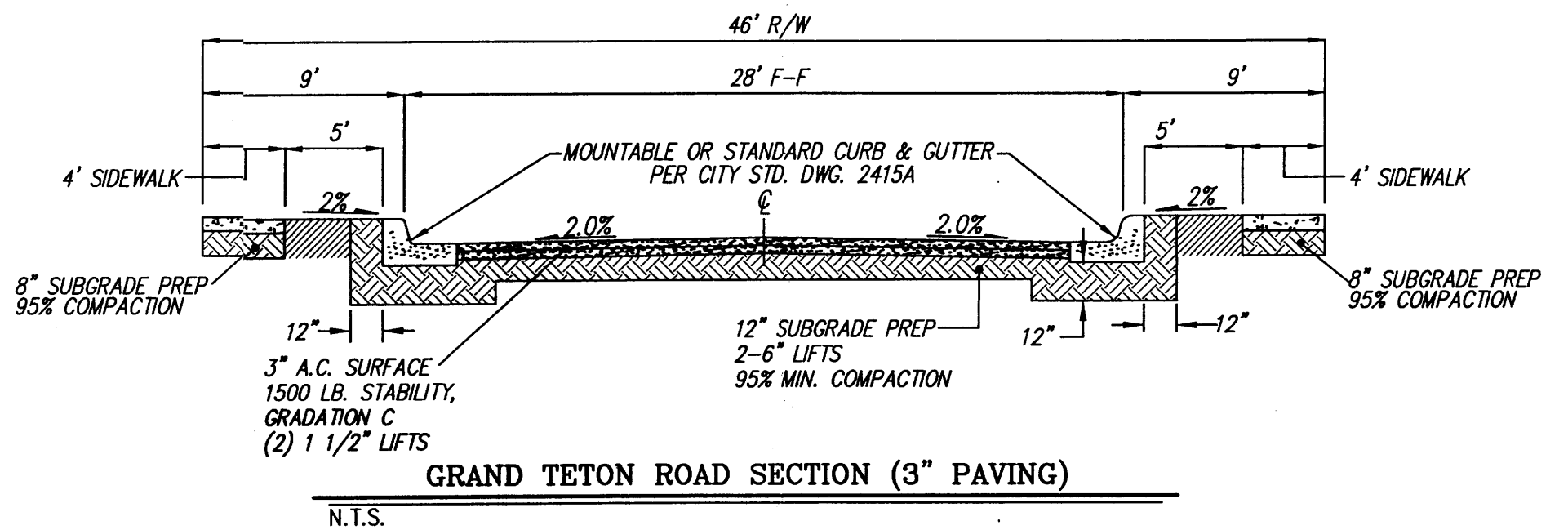
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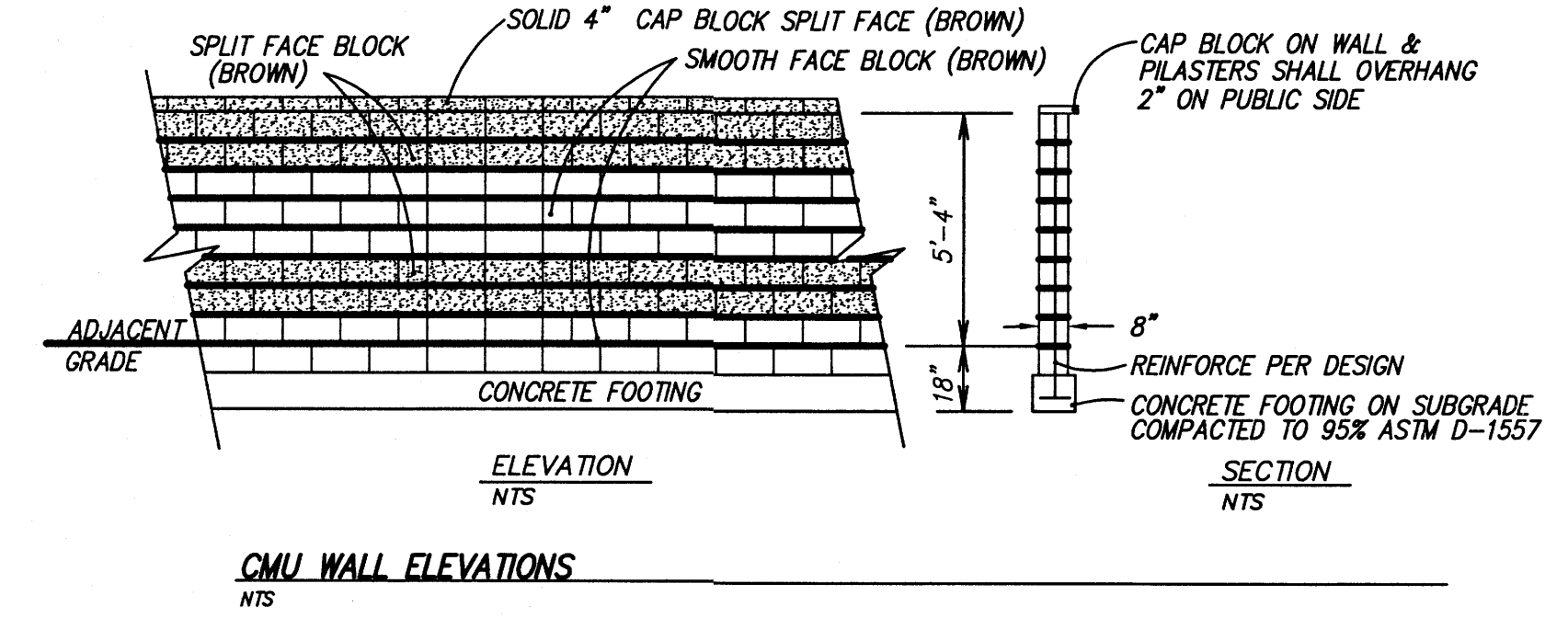
TYPICAL 38' STREET SECTION
N.T.S.



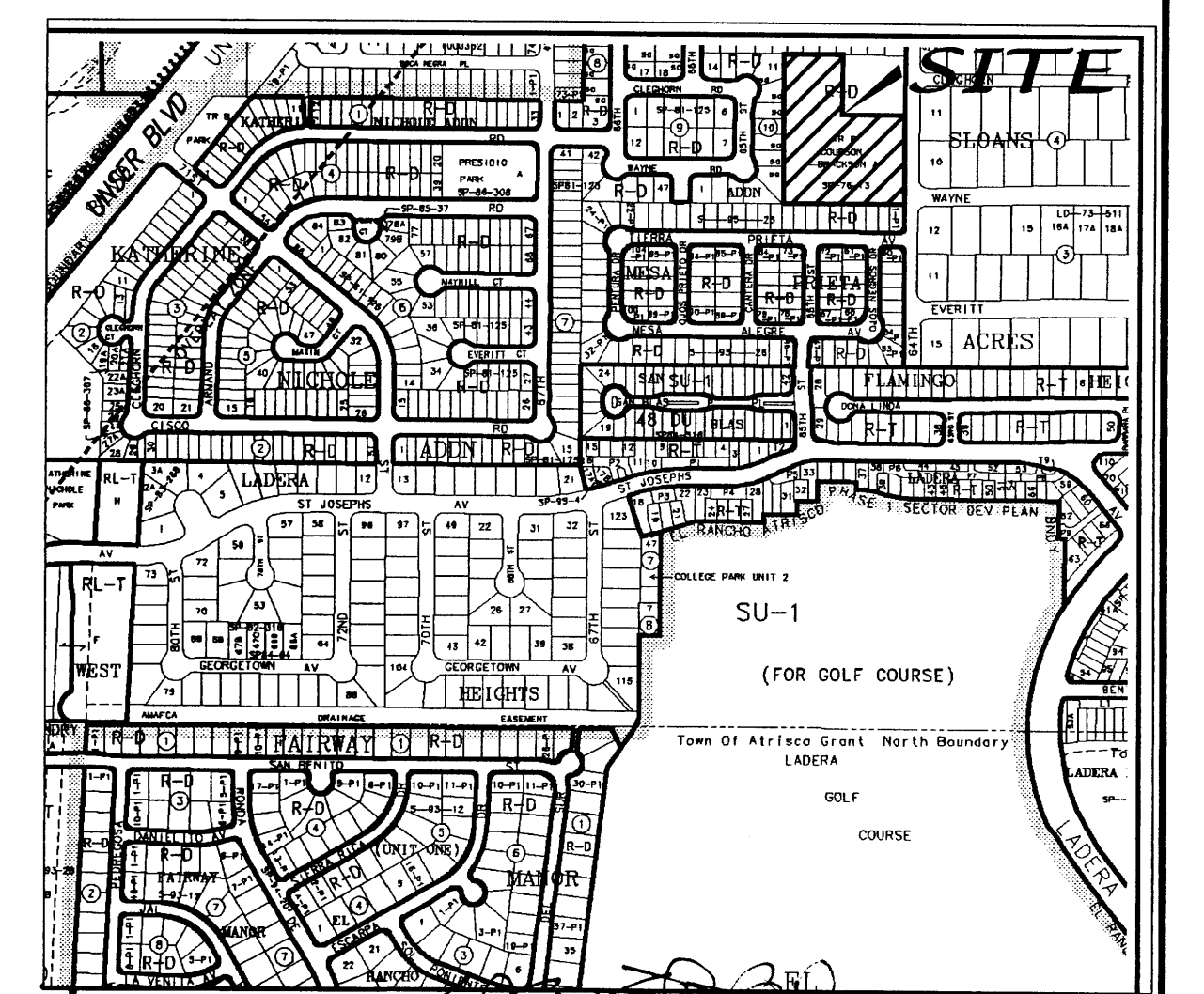
CHAPARRAL COURT STREET SECTION (3\"/>



GRAND TETON ROAD SECTION (3\"/>



CMU WALL ELEVATIONS
N.T.S.



VICINITY MAP ZONE MAP G-10-Z

APPROVED BY DRB

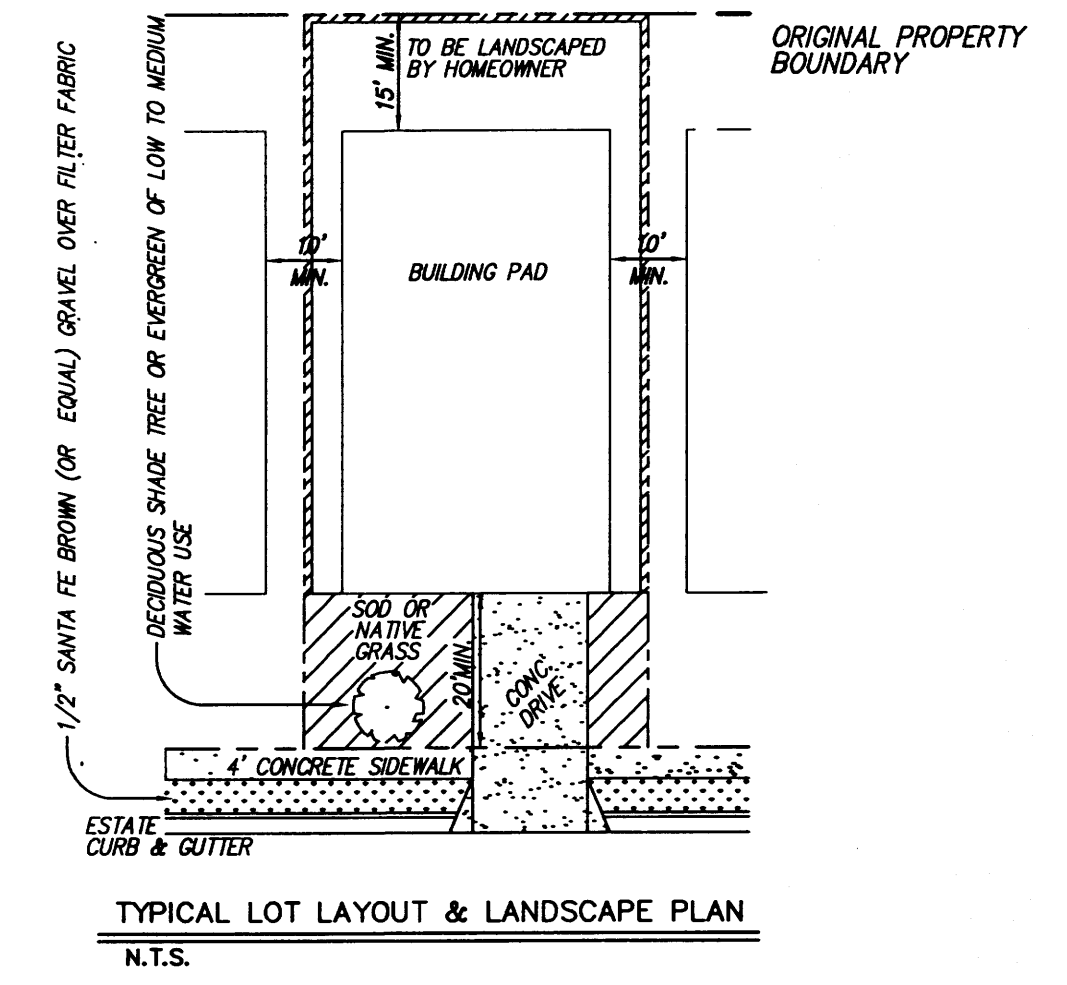
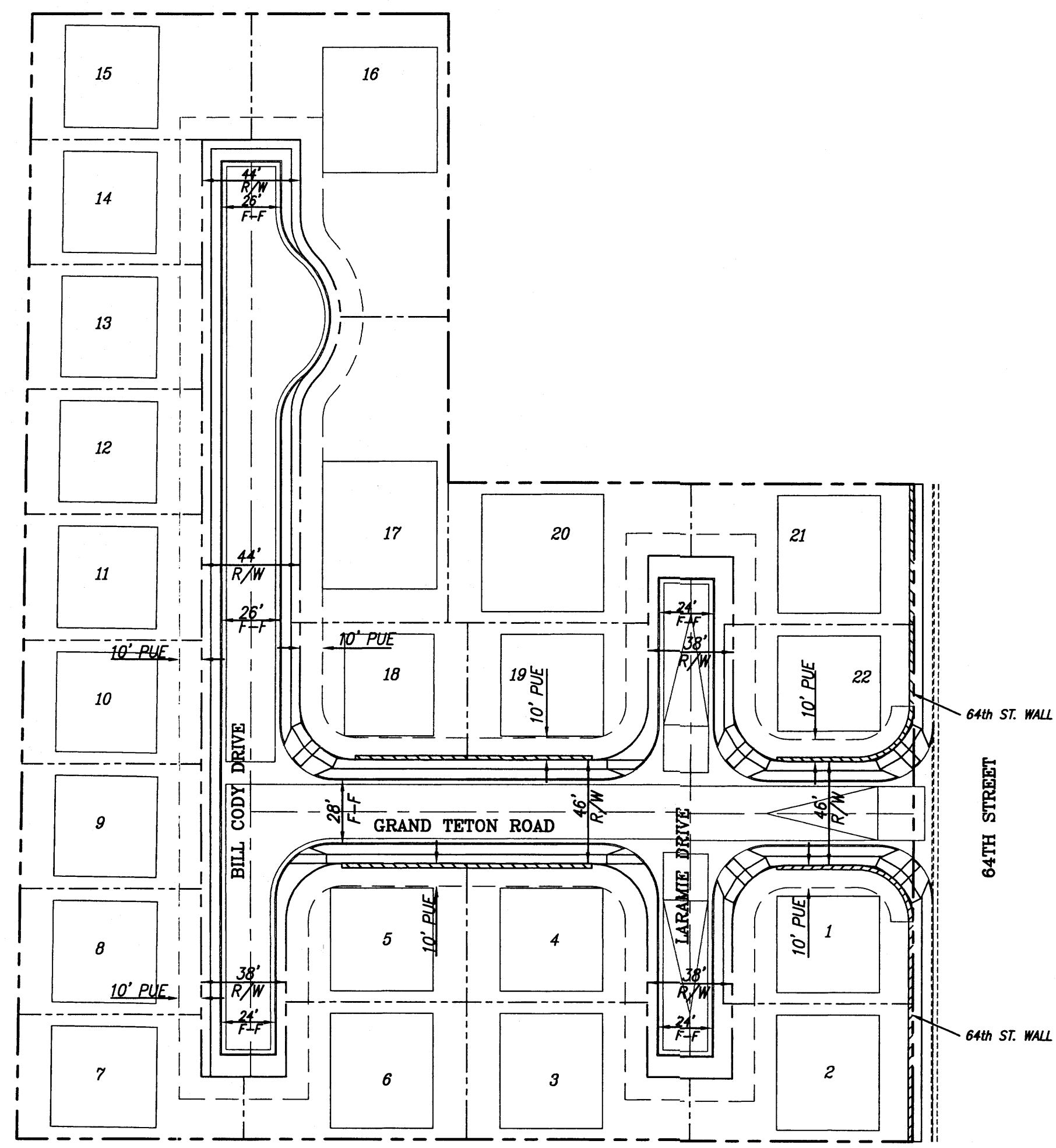
PROJECT NO. 100290 7/13/05
APPLICATION NO.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Utility Development	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

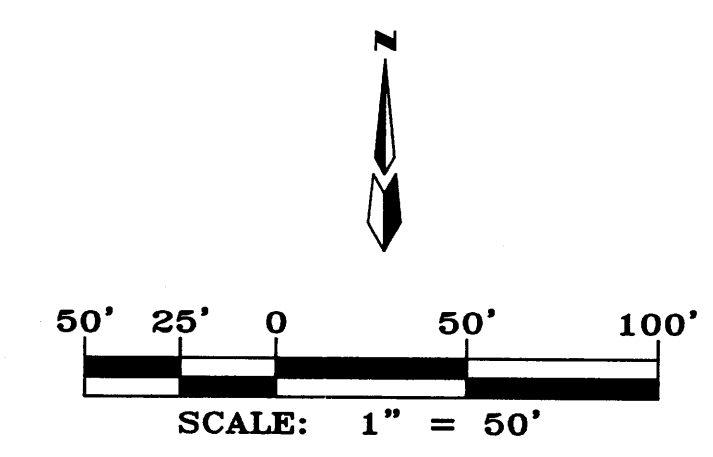
LEGEND

	EXISTING EDGE OF PAVEMENT
	NEW ENTRY WALL
	NEW CURB AND GUTTER
	EXISTING CURB AND GUTTER
	NEW SIDEWALK
	BOUNDARY LINE
	NEW FIRE HYDRANT
	NEW GATE VALVE
	LOT LINE



TYPICAL LOT LAYOUT & LANDSCAPE PLAN
N.T.S.

- GENERAL NOTES:
- CURRENT ZONING: RD
 - BUILDING ENVELOPES
 - Dwelling units shall be constructed within building envelope area according to setbacks pertaining to the R-1 Zone.
 - SETBACKS
 - Front yard setback is a minimum of 15 feet.
 - There shall be no side yard setback.
 - There shall be a rear-yard setback of not less than 15 feet.
 - There shall be a distance of not less than 10 feet between residential buildings.
 - Driveways shall not be less than 20 feet deep.
 - BUILDING HEIGHT
 - Structure shall not exceed 26 feet in height.
 - WATER AND SEWER
 - Prior to development, City of Albuquerque Water and Sanitary Sewer Service to the site must be verified and coordinated with the Utility Development Division of Public Works (UDD), City of Albuquerque, via an availability statement.
 - PARKING
 - Off-street parking shall be provided on each lot for a minimum of 4 vehicle spaces (10' x 20' minimum dimension).
 - ACCESS
 - Access to each dwelling will be provided directly from proposed public streets.
 - BUILDING DESIGN
 - Spanish style.
 - Combination pitch & flat roof.
 - Stucco finish.
 - garage doors w/ it match color of homes.



SCALE: 1" = 50'

A5014SLA/SITEPLAN/SITEPLAN2 06-28-05 KJS TAS

LEGAL DESCRIPTION

TRACT B, REDIVISION OF LANDS OF BRACKSON A. COURSON

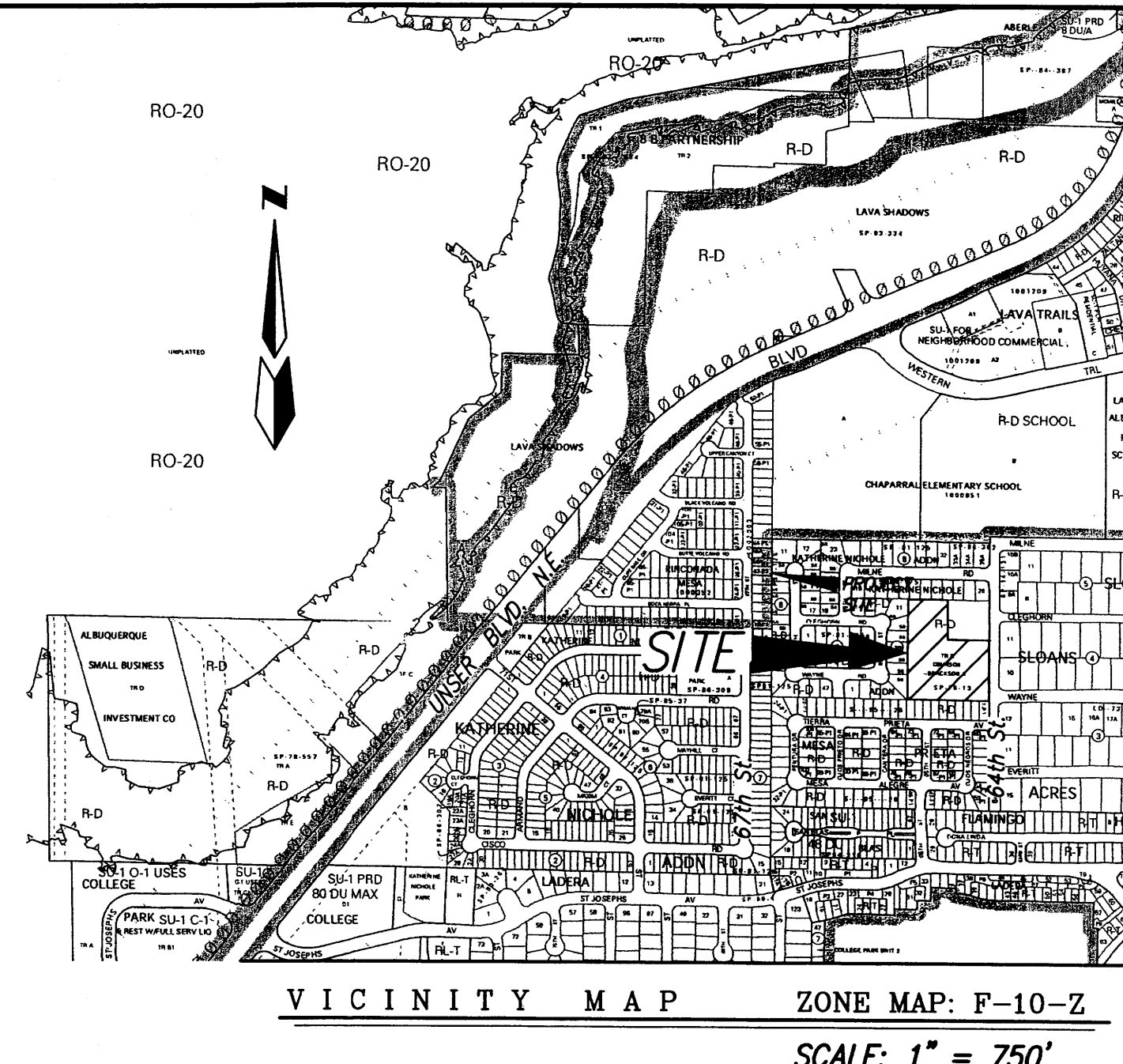
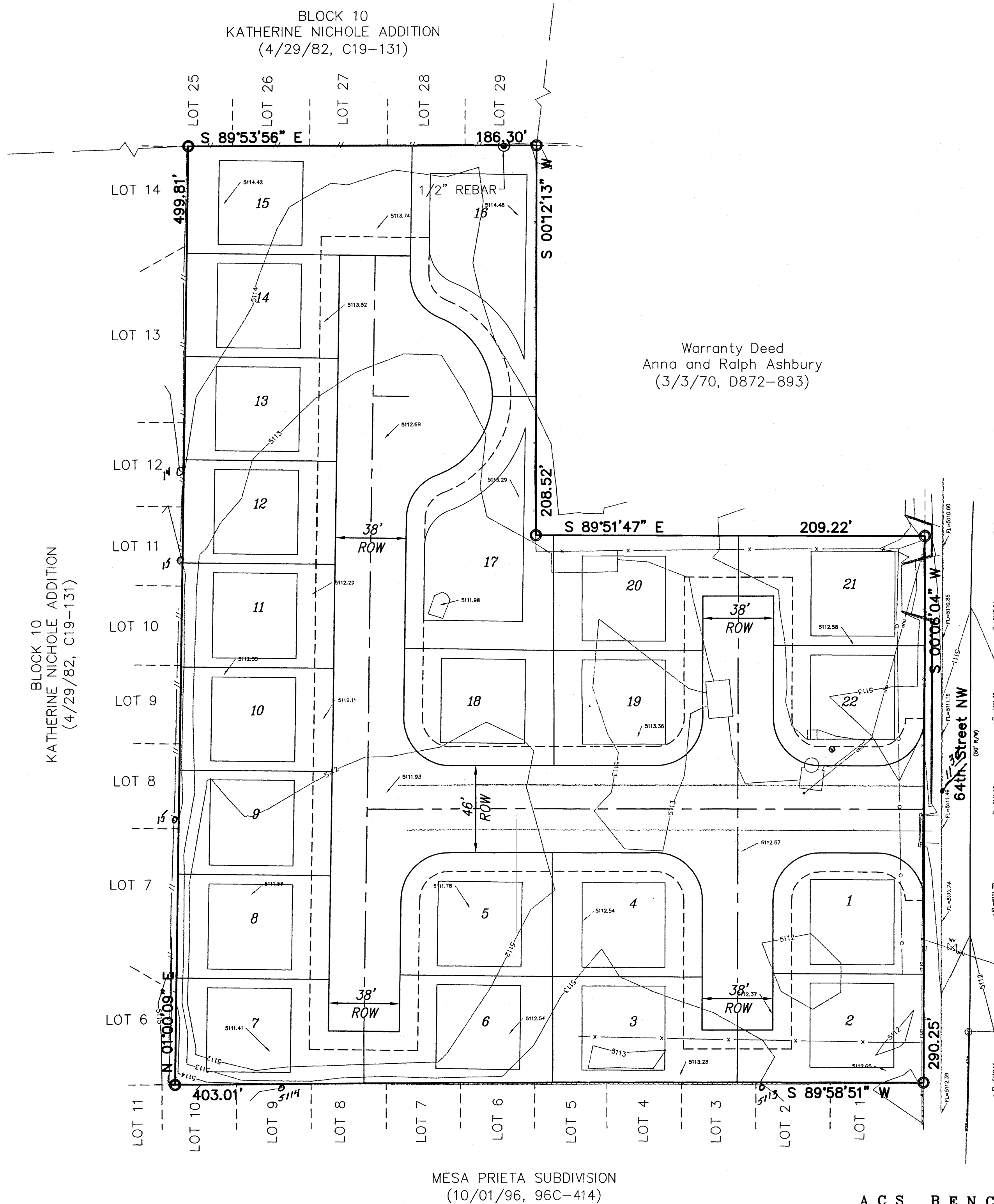
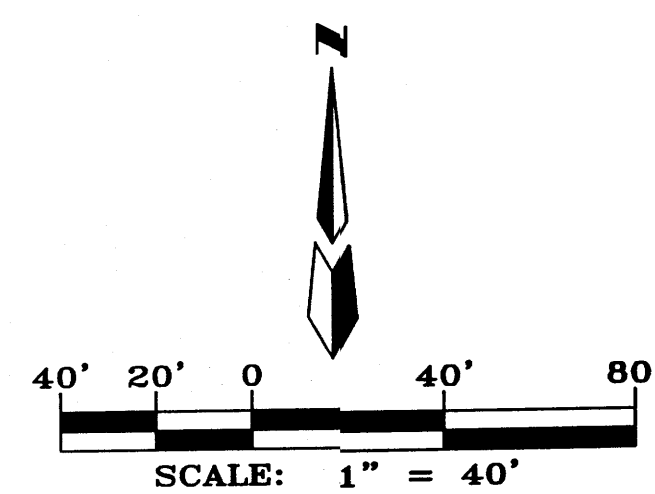
SUBDIVISION DATA

GROSS ACREAGE	3.527 AC
RIGHT-OF-WAY DEDICATION	0.9923 AC
ZONE ATLAS NO.	G-10-Z
NO. OF EXISTING TRACTS	1
NO. OF TRACTS/LOTS CREATED	22
NO. OF TRACTS ELIMINATED	1
ZONING	R-D

CHAPARRAL COURT
SITE DEVELOPMENT PLAN
FOR SUBDIVISION

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM	Drawn: KJS	Checked: DMG	Sheet 1 of 1
Scale: 1" = 50'	Date: 03-25-05	Job: A05014	



LEGEND

— 5110 —	EXISTING CONTOUR (MAJOR)	○	EXISTING FIRE HYDRANT	08.51	PROPOSED SPOT ELEVATION
--- 5111 ---	EXISTING CONTOUR (MINOR)	⊗	EXISTING TELEPHONE PEDESTAL	FP=10.15	PROPOSED FINISHED PAD ELEVATION
●	EXISTING SPOT ELEVATION	⊞	EXISTING DROP INLET	→	PROPOSED FLOW ARROW
5385.74	EXISTING SPOT ELEVATION	▬	EXISTING BLOCK WALL	↘	PROPOSED SLOPE
▬	EXISTING CONCRETE CURB	▬	EXISTING CEDAR FENCE	▬	PROPOSED STORM DRAIN
▬	EXISTING CONCRETE/SIDEWALK	▬	EXISTING STORM PIPE	▬	PROPOSED STORM INLET
●	EXISTING SANITARY SEWER MANHOLE	⊗	EXISTING STAND-UP STORM PIPE	▬	PROPOSED STANDARD CURB & GUTTER
				▬	PROPOSED MOUNTABLE CURB & GUTTER
				▬	PROPOSED RETAINING WALL

ACS BENCHMARK

ASC MONUMENT "3-F10"
 X=415524.32
 Y=1493677.97
 Z=5477.43 (NAVD 29)
 (NAVD 29—NAD 27—CENTRAL)

LEGAL DESCRIPTION

TRACT B-2, OF LANDS OF BRACKSON A. COURSON, TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M. AND PROJECTED SECTION 34, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 2, 1976 IN VOLUME B12, FOLIO 33.

⊗	WATER VALVE
●	UTILITY POLE
▬	UTILITY PEDESTAL
▬	WALL
EP=44.0	EDGE OF PAVEMENT ELEVATION
44.0	GROUND SPOT ELEVATION
○	DECIDUOUS TREE
⊙	SANITARY SEWER MANHOLE
▬	CONCRETE
ohu	OVERHEAD UTILITY LINES
○	CHAIN LINK FENCE
×	WIRE FENCE
▬	WOOD FENCE
⊗	FIRE HYDRANT

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200, FAX (505) 797-9539

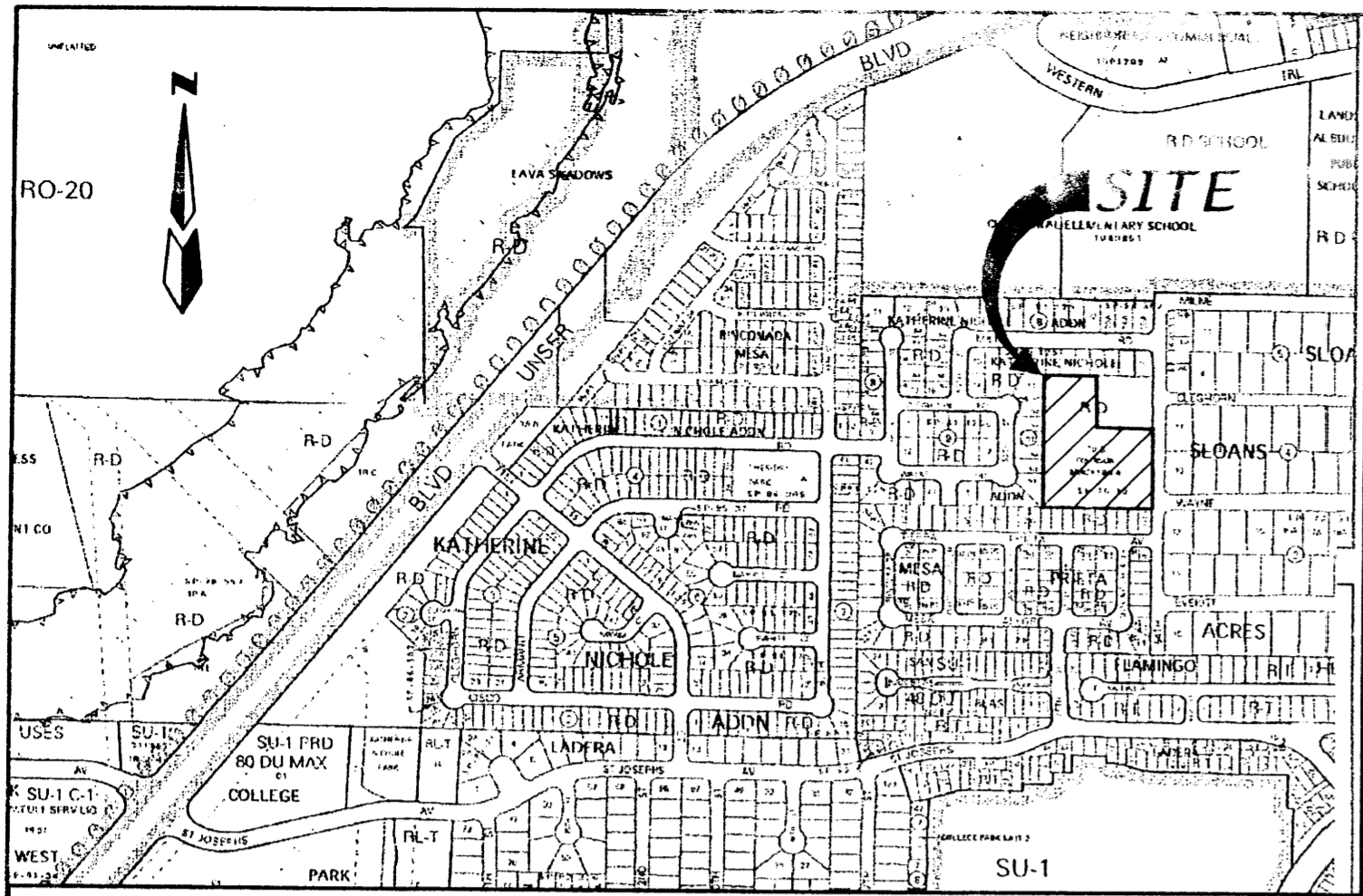
**CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT**

TITLE: **CHAPARRAL COURT
 DESIGN VARIANCE EXHIBIT**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **F-10-Z** SHEET **1** OF **1**

AS BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR'S	DATE
FIELD CHANGE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	
SURVEY INFORMATION	
FIELD NOTES	
NO.	BY
	DATE
ENGINEER'S SEAL	
NO.	DATE
REMARKS	BY
REVISIONS	
DESIGN	
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE



LOCATION MAP

ZONE ATLAS F-10-Z
SCALE: NONE

SUBDIVISION DATA

Gross Acreage	3.5736 Ac.
Zone Atlas No.	F-10-Z
No. of Existing Tracts/Parcels	1 Tract
No. of Tracts/Lots/Parcels created	22 Lots
No. of Tracts/Parcels eliminated	1 Tract
Miles of full width streets created	0.16
Miles of half width streets created	0.00
Street Area dedicated to the City of Albuquerque	0.9391 Ac.
Date of Survey	April, 2005
Utility Control Location System Log Number	2005201005
Zoning	RD

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: MEL FAMIE, LLC
A New Mexico Limited Liability Company

BY: William Allen, Member 1/13/06
DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on January 13, 2006
By William Allen, Member of MEL FAMIE, LLC A New Mexico Limited Liability Company on behalf of said Company.

Susan Rasinski
NOTARY PUBLIC

9.10.2008
MY COMMISSION EXPIRES



OFFICIAL SEAL
SUSAN RASINSKI
NOTARY PUBLIC - STATE OF NEW MEXICO
My commission expires: 9.10.2008

LEGAL DESCRIPTION

Tract B-2, of LANDS OF BRACKSON A. COURSON, Town of Albuquerque Grant, Projected Section 3, Township 10 North, Range 2 East, N.M.P.M. and Projected Section 34, Township 11 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 2, 1976 in Volume B12, Folio 33 and containing 3.5736 acres, more or less

NOTES

(SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide 1 existing tract into 22 Residential lots.
2. Grant Easements as shown hereon.
3. Dedicate Right-of-Way as shown hereon.

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

The subject property is within a 100-year floodplain. Until such time that a LOMR is issued by FEMA to remove the floodplain, flood insurance may be required by the mortgage company

Total remaining open space requirements are met via a cash payment to the City of Albuquerque per the provisions of Section 14-16-3-8 (A) (2).

THIS IS TO CERTIFY THAT THIS PLAT WAS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON 1-13-06 AT 10:00 AM. BY WILLIAM ALLEN MEMBER OF MEL FAMIE, LLC. 1/13/06

**PLAT FOR
CHAPARRAL COURT**

WITHIN THE
TOWN OF ALBUQUERQUE GRANT
PROJECT SECTION 3, T. 10 N., R. 2 E.
AND PROJECT SECTION 34, T. 11 N., R. 2 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 2006

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002590

Application Number: 06 DRB 00124



PLAT APPROVAL

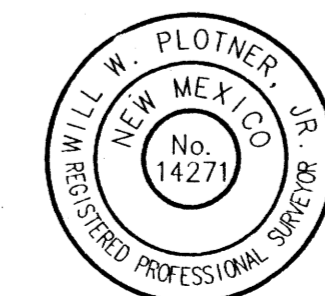
Utility Approvals:

<u>Leah D. Mule</u> PNM Electric Services	<u>1-27-06</u> Date
<u>Leah D. Mule</u> PNM Gas Services	<u>1-27-06</u> Date
<u>Lou Cristie</u> Qwest	<u>1-27-06</u> Date
<u>Bonnie Burbon</u> Comcast	<u>1-27-06</u> Date
<u>W.B. Hart</u> City Surveyor	<u>1-24-06</u> Date
<u>NAT</u> Real Property Division	<u>3/07/06</u> Date
<u>Paul D. Burt</u> Traffic Engineering, Transportation Division	<u>2-08-06</u> Date
<u>William J. Walsh</u> Water Utility Department	<u>2/8/06</u> Date
<u>Christina Sandoval</u> Parks and Recreation Department	<u>3/3/06</u> Date
<u>Bradley S. Bingham</u> AMA/CA	<u>2-8-06</u> Date
<u>Bradley S. Bingham</u> City Engineer	<u>2-8-06</u> Date
<u>W. Nelson</u> DRB Chairperson, Planning Department	<u>3/07/06</u> Date

SURVEYOR'S CERTIFICATION

"I, Will Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Will Plotner Jr. 1/13/06
Will Plotner Jr.
N.M.P.S. No. 14271 Date



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

Dwg: A5014-FPS1.dwg	Drawn: RICHARD	Checked: WWP	Sheet 1 of 2
Scale: N/A	Date: 01/12/06	Job: A05014 (050847)	

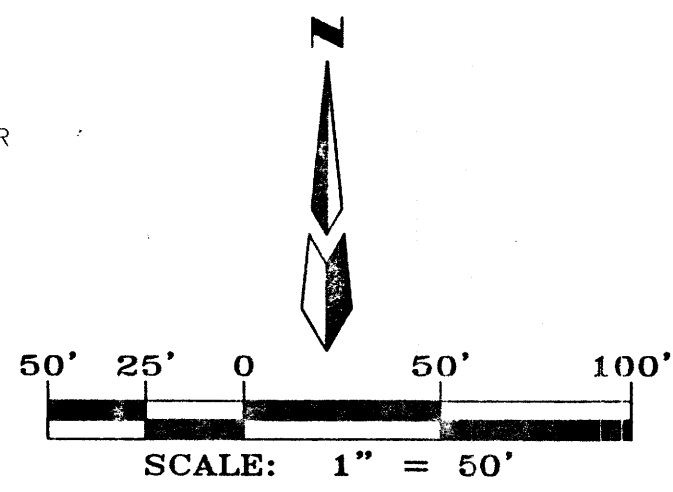
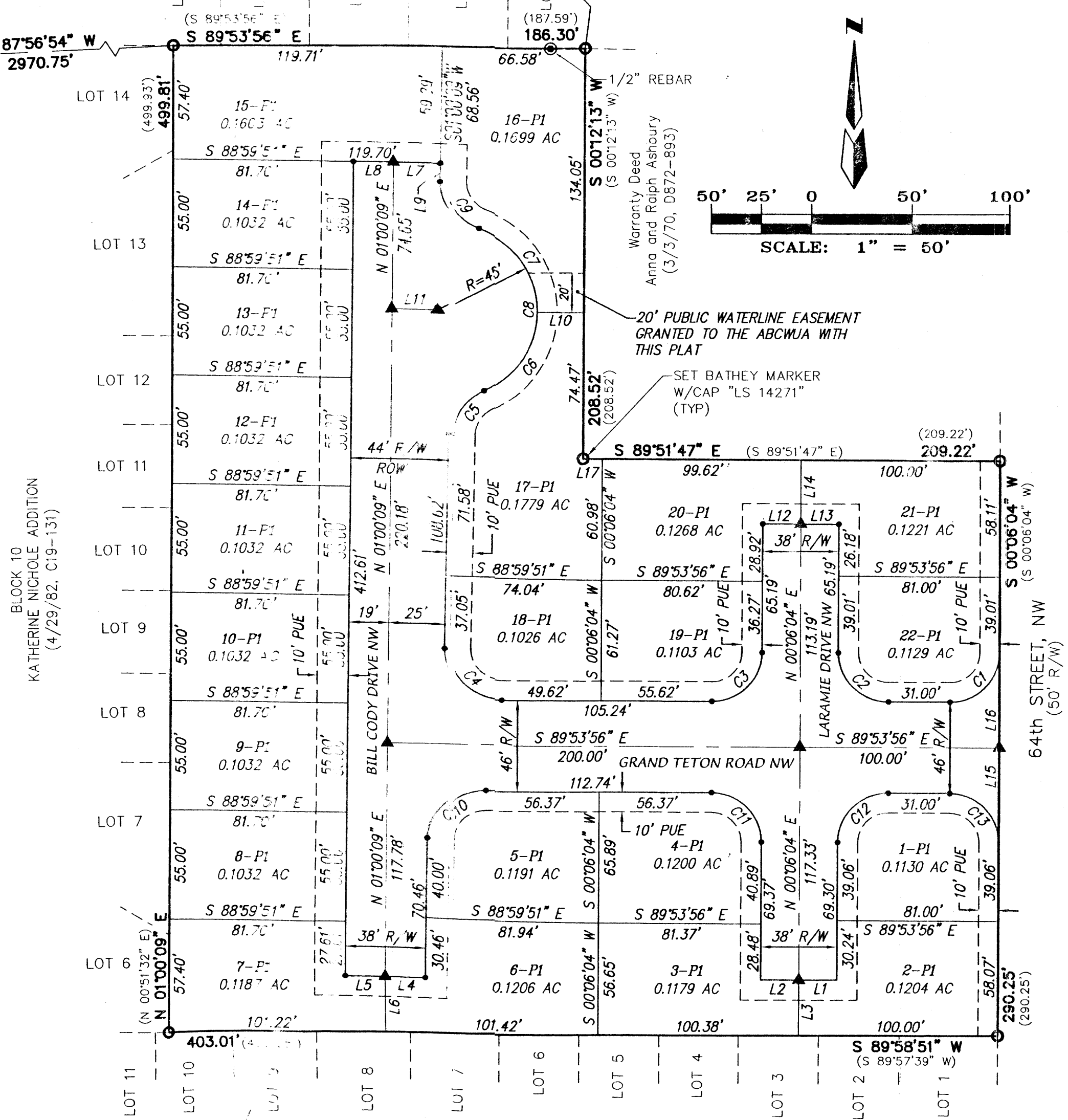
PLAT FOR
CHAPARRAL COURT
 WITHIN THE
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 3
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 PROJECTED SECTION 34
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2006

2006032682
 6428243
 Page: 2 of 2
 03/07/2006 11:02A
 BK-2086C Pg-74

Mary Herrera Bern. Co. PLRT R 12.08

ACS MONUMENT "FALLS"
 NEW MEXICO STATE PLANE
 (CENTRAL ZONE-NAD 27)
 X= 358,661.34
 Y= 1,503,241.49
 ELEV= 5342.86 (NAVD 1929)
 G-G= .9996673
 DELTA ALPHA = -0'16"19"

ACS MONUMENT "3-F10"
 NEW MEXICO STATE PLANE
 (CENTRAL ZONE-NAD 27)
 X= 362216.44
 Y= 1506551.87
 ELEV= 5255.21 (NAVD 1929)
 G-G= .9996704
 DELTA ALPHA = -0'15"55"



- NOTES:**
- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone) referencing ACS monuments "3-F10" and "FALLS".
 - Distances are ground distances: U. S. Survey Foot.
 - Bearings and distances shown in parenthesis are record.
 - Basis of boundary are the following plats of record entitled:
 PLAT OF KATHERINE NICHOLE ADDITION (04-29-82, C19-131)
 PLAT OF MESA PRIETA SUBDIVISION (10-01-96, 96C-414)
 WARRANTY DEED FOR ANNA & RALPH ASHBURY (03-03-70, D872-893)
 All being records of Bernalillo County, New Mexico.
 - All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points, and street intersections and shown thus ▲, will be marked by a four inch (4") Aluminum Cap stamped:
 "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
 "DO NOT DISTURB"
 PS#14271"
 - Unless otherwise noted, all boundary corners shall be marked by a Bathey Marker w/cap stamped "LS 14271" (Typ.).
 - Benchmark for this subdivision is ACS monument "3-F10" having an elevation of 5255.21 feet (NAVD 1929).
 - All lots shown with P-1 designation shall conform to intermittent parking design criteria.
 - No individual lots shall be allowed direct access to 64th Street, SW.

- LEGEND**
- 1-P1 LOT NUMBER
 - ▲ CENTER LINE MONUMENT
 - ROW RIGHT-OF-WAY
 - FOUND AS INDICATED
 - SET BATHEY MARKER "LS 14271"

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT

R/W = RIGHT-OF-WAY

ABCMUA = ALBUQUERQUE BERNALILLO
 COUNTY WATER UTILITY AUTHORITY

ALL STREETS SHOWN HEREON
 ARE HEREBY DEDICATED IN
 FEE SIMPLE AS PUBLIC
 RIGHT-OF-WAY

CURVE TABLE

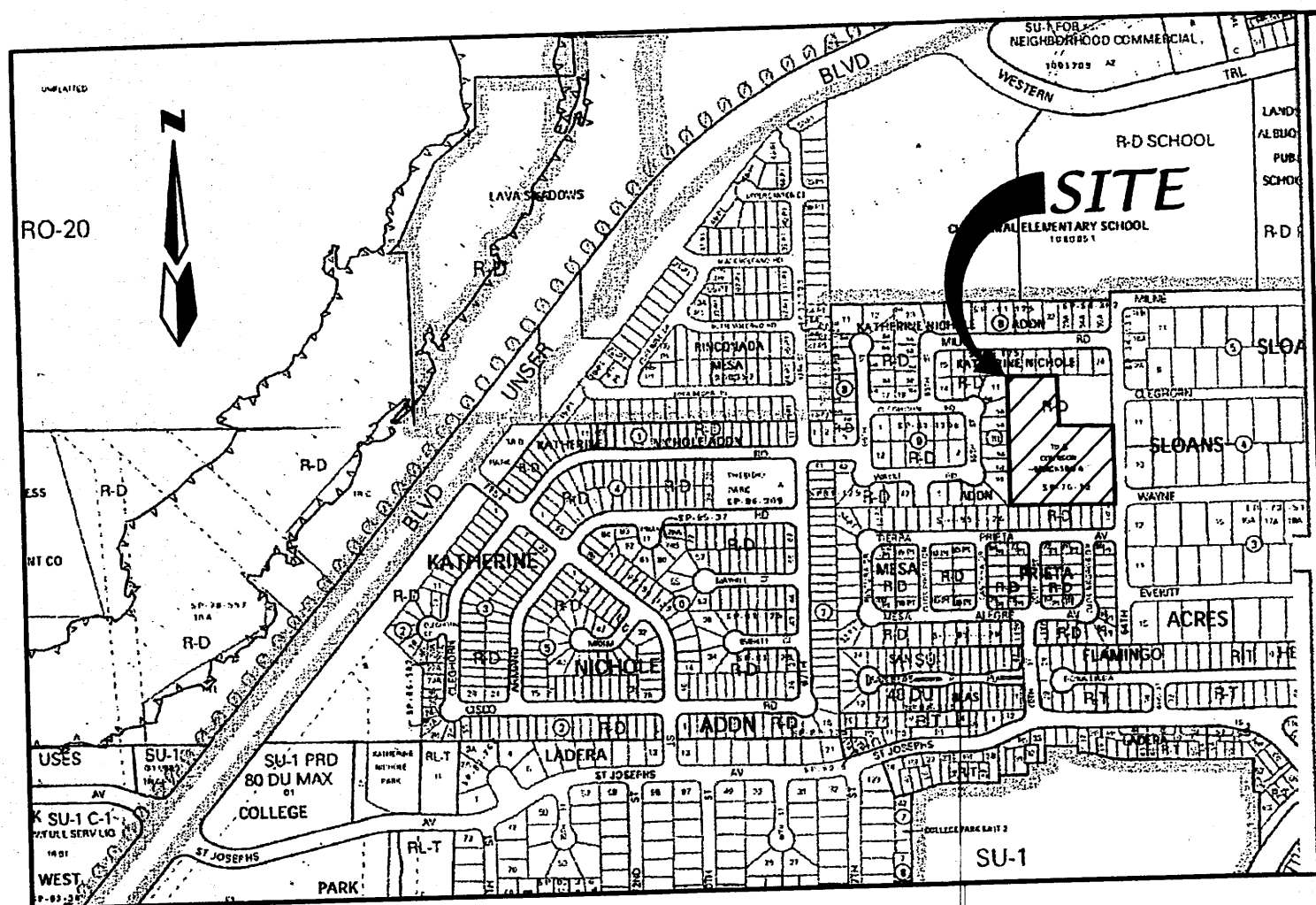
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	39.27	25.00	90°00'00"	25.00	N45°06'04"E	35.36
C2	39.27	25.00	90°00'00"	25.00	S44°53'56"E	35.36
C3	39.27	25.00	90°00'00"	25.00	N45°06'04"E	35.36
C4	39.66	25.00	90°54'06"	25.40	S44°26'53"E	35.63
C5	27.80	25.00	63°42'49"	15.54	S32°51'34"W	26.39
C6	50.67	45.00	64°30'46"	28.40	N32°27'36"E	48.03
C7	53.62	45.00	68°16'34"	30.51	N33°56'04"W	50.51
C8	104.29	45.00	132°47'20"	102.97	N01°40'41"W	82.47
C9	30.14	25.00	69°04'31"	17.21	S33°32'06"E	28.35
C10	38.83	25.00	89°05'54"	24.61	S45°33'07"W	35.08
C11	39.27	25.00	90°00'00"	25.00	N44°53'56"W	35.36
C12	39.27	25.00	90°00'00"	25.00	S45°06'04"W	35.36
C13	39.27	25.00	90°00'01"	25.00	N44°53'57"W	35.36

LINE TABLE

LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	19.00	S89°58'51"W	L10	23.45	S89°47'47"E
L2	19.00	S89°58'51"W	L11	19.15	N88°59'51"W
L3	28.00	S00°06'04"W	L12	19.00	S89°53'56"E
L4	19.00	N88°59'51"W	L13	19.00	S89°53'56"E
L5	19.00	N88°59'51"W	L14	32.00	S00°06'04"W
L6	28.00	N00°01'09"W	L15	48.00	N00°06'04"E
L7	19.00	S88°59'51"E	L16	48.00	N00°06'04"E
L8	19.00	S88°59'51"E	L17	9.60	S89°51'47"E
L9	9.27	S01°00'09"W			



CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244



LOCATION MAP ZONE ATLAS F-10-Z
SCALE: NONE

SUBDIVISION DATA

Gross Acreage	3.5736 Ac.
Zone Atlas No.	F-10-Z
No. of Existing Tracts/Parcels	1 Tract
No. of Tracts/Lots/Parcels created	22 Lots
No. of Tracts/Parcels eliminated	1 Tract
Miles of full width streets created	0.16
Miles of half width streets created	0.00
Street Area dedicated to the City of Albuquerque	0.9391 Ac.
Date of Survey	April, 2005
Utility Control Location System Log Number	2005201005
Zoning	RD

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: MEL FAMIE, LLC
A New Mexico Limited Liability Company

BY: William Allen, Member 1/13/06 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on January 13, 2006
By William Allen, Member of , MEL FAMIE, LLC A New Mexico Limited Liability Company on behalf of said Company.

Susan Rasmussen 9.10.2008
NOTARY PUBLIC MY COMMISSION EXPIRES

LEGAL DESCRIPTION

Tract B-2, of LANDS OF BRACKSON A. COURSON, Town of Albuquerque Grant, Projected Section 3, Township 10 North, Range 2 East, N.M.P.M. and Projected Section 34, Township 11 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 2, 1976 in Volume B12, Folio 33 and containing 3.5736 acres, more or less

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide 1 existing tract into 22 Residential lots.
2. Grant Easements as shown hereon.
3. Dedicate Right-of-Way as shown hereon.

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate. Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

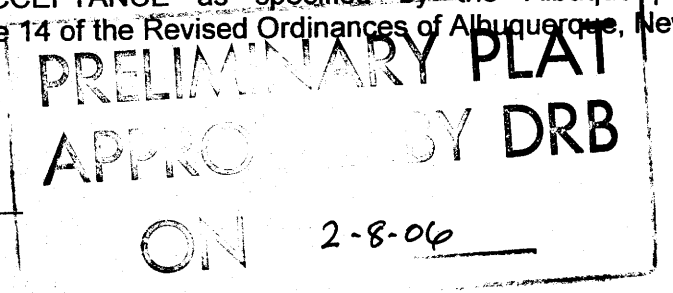
**PLAT FOR
CHAPARRAL COURT**

WITHIN THE
TOWN OF ALBUQUERQUE GRANT
PROJECT SECTION 3, T. 10 N., R. 2 E.
AND PROJECT SECTION 34, T. 11 N., R. 2 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 2006

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002590
Application Number:
PLAT APPROVAL
Utility Approvals:

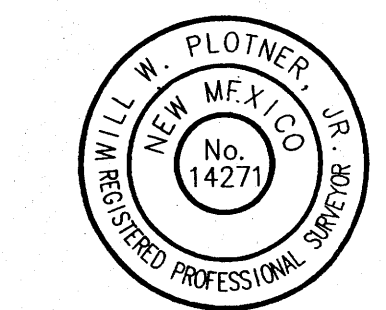


PNM Electric Services	Date
PNM Gas Services	Date
Qwest	Date
Comcast	Date
City Approvals:	
<u>William Allen</u>	<u>1-24-06</u>
City Surveyor	Date
Real Property Division	Date
Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SURVEYOR'S CERTIFICATION

"I, Will Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Will Plotner Jr. 1/18/06 DATE
Will Plotner Jr.
N.M.P.S. No. 14271



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Dwg: A5014-FPS1.dwg	Drawn: RICHARD	Checked: WWP	Sheet 1 of 2
Scale: N/A	Date: 01/12/06	Job: A05014 (050847)	

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