

### PROJECT DATA

ADDRESS: 2820 RIDGECREST DRIVE SE, ALBUQUERQUE NEW MEXICO  
LEGAL DESCRIPTION: WESTERLY PORTION TRACT A, LANDS OF NEW DAY, INC. AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT OF TRACTS A AND B, LANDS OF NEW DAY, INC., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY, 2004 FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 8, 2004, IN VOLUME 2004C, PAGE 71.  
ZONE ATLAS PAGE: M-18-Z  
SITE AREA: TRACT A, 2.5 ACRES, 108,900 SQUARE FEET  
LAND USE ZONING: EXISTING - SU-1 FOR SHORT TERM SHELTER  
DWELLING UNIT TYPES: GROSS HEATED AREA QUANTITY  
STUDIO APARTMENTS / 1 BATH 353 SF 4  
STUDIO APARTMENTS / 1 BATH 458 SF 6  
TOTAL UNIT COUNT 10  
BUILDING AREAS: GROSS HEATED AREA UNHEATED AREA TOTAL AREA  
PROPOSED RESIDENTIAL 2,233 SF 861 SF 3,094 SF  
PROPOSED LIFE SKILLS ACADEMY 3,703 SF 232 SF 3,935 SF  
PROJECT TOTALS 5,936 SF 1,093 SF 7,029 SF  
LANDSCAPING: REFER TO SHEET SDP-3 FOR LANDSCAPE  
SCREENING: REFUSE CONTAINER SHALL BE SCREENED FROM VIEW THROUGH THE USE OF WALLS AT LEAST 8FT HIGH AND MEET COA STANDARDS. REFUSE ENCLOSURES SHALL BE FURTHER SCREENED THROUGH USE OF TREES AND SHRUBS  
BUILDING HEIGHTS: SEE SHEET SDP-5 FOR BUILDING HEIGHTS  
BUILDING SETBACKS: REFER TO SHEET SDP-1 FOR SETBACKS  
OCCUPANCY: STUDIO APARTMENTS - R-4 RESIDENTIAL CARE FACILITY  
LIFE SKILLS ACADEMY - B OCCUPANCY  
CONSTRUCTION TYPE: TYPE V-B - WITH AUTOMATIC SPRINKLERS PER NFPA 13R  
OFF STREET PARKING  
EXISTING PARKING: STANDARD SPACES 11 SPACES  
HANDICAP ACCESSIBLE SPACES 2 SPACES  
TOTAL 13 SPACES  
NEW PARKING REQUIRED: (OFF STREET PARKING REGULATIONS COA ZONING CODE)  
COMMUNITY RESIDENTIAL PROGRAM: 1 SPACE PLUS 1 SPACE PER FOUR CLIENTS  
LIFE SKILLS ACADEMY (OFFICES): 1 SPACE PER 200 SF NET LEASABLE SPACE  
NEW PARKING PROVIDED:  
RESIDENTIAL UNITS (CRP) 4 SPACES  
STANDARD SPACES 4 SPACES  
LIFE SKILLS ACADEMY (OFFICE) 4 SPACES  
NOTE: LSA FACILITY IS ANCILLARY TO RESIDENTIAL USE. THE STAFF WORK AREAS INCLUDES TWO OFFICE SPACES LESS THAN 300 SF TOTAL AREA.  
VISITOR SPACES 5 SPACES  
TOTAL 26 SPACES  
TOTAL PARKING PROVIDED (EXISTING + NEW) 24 SPACES  
STANDARD SPACES 24 SPACES  
HC ACCESSIBLE SPACES: REQUIRED - 2 SPACES PROVIDED - 2 SPACES  
TOTAL 26 SPACES  
MOTORCYCLE PARKING: REQUIRED - 2 SPACES PROVIDED - 2 SPACES  
BICYCLE PARKING: REQUIRED - 6 SPACES PROVIDED - 6 SPACES

### GENERAL SHEET NOTES

### ACOUSTICAL MITIGATION

THIS PROJECT WILL IMPLEMENT ACOUSTICAL MITIGATION IN CONSTRUCTION TO MINIMIZE EXTERIOR NOISE INSIDE THE FACILITY. ALL CONSTRUCTION WILL HAVE NOISE REDUCTION FACTOR OR 25 DECIBELS, I.E. EXTERIOR SOUND LEVELS REDUCED BY 25 DECIBELS IN THE INTERIOR OF THE STRUCTURE. CONSTRUCTION WILL USE MATERIALS AND BUILDINGS ASSEMBLIES ON WHICH LABORATORY TESTS HAVE BEEN PERFORMED AND SHOWN TO REDUCE SOUND TRANSMISSION SIGNIFICANTLY. ACOUSTICAL ENHANCEMENTS THAT WILL BE USED ON THIS PROJECT TO INCLUDE:  
1. RESILIENT CHANNELS WILL BE USED TO ATTACH GYPSUM WALL AND CEILING PANELS ONTO EXTERIOR WALL STUDS AND ROOF JOISTS. RESILIENT CHANNELS DECOUPLING THE FINISH LAYERS FROM THE STRUCTURAL MEMBERS AND WILL SIGNIFICANTLY REDUCE SOUND TRANSMISSION INTO THE RESIDENTIAL BUILDING FROM THE EXTERIOR.  
2. INSULATED 2X8 EXTERIOR WALLS WITH R-19 INSULATION AND R-38 INSULATION AT ROOF TRUSSES. ALL WALL AND CEILING JOINTS, WINDOW FRAMES, DOOR FRAMES, ELECTRICAL DEVICES AND JUNCTION BOXES IN EXTERIOR ENVELOPE WILL BE SEALED.  
3. WINDOWS: DOUBLE GLAZED WINDOW UNITS WITH SMALL OPERABLE VENT WINDOWS WILL BE USED. OPERABLE WINDOWS FACING THE COURTYARD ARE LOCATED BELOW ROOF COVERING OF THE EXTERIOR WALKWAY.  
4. DOORS: SOLID CORE ENTRY DOORS TO RESIDENTIAL UNITS WILL BE USED. DOORS ARE LOCATED BELOW ROOF COVERING OF THE EXTERIOR WALKWAY.  
5. VENTING: INSTALL CAPS ON ROOF AND WALL VENTS.

### SHEET KEYED NOTES

- EXISTING PROPERTY LINE
- EXISTING PUBLIC SIDEWALK
- EXISTING PUBLIC TRANSIT STOP. BUS ROUTES: #3 LOUISIANA AND #157 MONTANO, UPTOWN AND KIRTLAND
- EXISTING HANDICAP ACCESSIBLE SIDEWALK RAMP
- EXISTING CONCRETE CURB AND GUTTER
- EXISTING VEHICULAR ACCESS (RIGHT IN/RIGHT OUT/LEFT IN/LEFT OUT)
- EXISTING MONUMENT SIGN TO BE REMOVED
- EXISTING FIRE HYDRANT
- EXISTING WIRE FENCE
- EXISTING ELECTRICAL POWER POLE
- EXISTING HANDICAP PARKING SIGN
- EXISTING HANDICAP ACCESSIBLE PARKING SPACE
- EXISTING PARKING SPACES
- EXISTING CONCRETE SIDEWALK
- EXISTING ASPHALT PAVING
- EXISTING CONCRETE VALLEY GUTTER
- EXISTING LANDSCAPED YARD AND 6 FT HIGH CEDAR FENCE
- EXISTING PORTABLE STORAGE BUILDING
- EXISTING POLE MOUNTED SECURITY LIGHT FIXTURE
- EXISTING LANDSCAPE AREA
- REMOVE EXISTING REFUSE CONTAINER CONCRETE SLAB
- REMOVE EXISTING CONCRETE CURB
- CONCRETE PAVED MOTORCYCLE PARKING (2 SPACES)
- MOTORCYCLE PARKING SIGN; SEE C4/SDP-2
- REFUSE ENCLOSURE; SEE B4/SDP-2
- 4" THICK CONCRETE SIDEWALK, WIDTH AS SHOWN, PER CITY OF ALBUQUERQUE DPM STANDARDS. COA STD DNG# 2420.
- 4" THICK COMPACTED RECYCLED ASPHALT PARKING SURFACE
- CONCRETE HEADER CURB PER CITY OF ALBUQUERQUE DPM STANDARDS CONNECT TO EXISTING CURB. COA DNG# 2415B
- PATTERNED AND INTEGRALLY COLORED CONCRETE CROSSWALK PAVING. COA STD DNG# 2405A
- PARKING STALL PER CITY OF ALBUQUERQUE DPM STANDARDS. PER CITY OF ALBUQUERQUE DPM STANDARDS. COA DNG# 2411
- HANDICAP ACCESSIBLE SIDEWALK RAMP 1:12 SLOPE MAXIMUM.
- BICYCLE RACK; SEE D4/SDP-2
- 6FT HIGH WELDED WIRE FENCE WITH POWDER COATED FINISH. SEE A4/SDP-2
- 3FT WIDE X 6FT HIGH WELDED WIRE GATE WITH POWDER COATED FINISH
- EXTERIOR CONCRETE SLAB
- POLE MOUNTED PARKING AREA LIGHT FIXTURE; SEE A2/SDP-2
- RAISED PLANTING BEDS (FUTURE)
- PRECAST CONCRETE PARKING BUMPER
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION

### LANDSCAPING

REFER TO SHEET SDP-3 FOR LANDSCAPE

### SCREENING

REFER TO SHEET SDP-3 FOR LANDSCAPE

### BUILDING HEIGHTS

SEE SHEET SDP-5 FOR BUILDING HEIGHTS

### BUILDING SETBACKS

REFER TO SHEET SDP-1 FOR SETBACKS

### OCCUPANCY

STUDIO APARTMENTS - R-4 RESIDENTIAL CARE FACILITY  
LIFE SKILLS ACADEMY - B OCCUPANCY

### CONSTRUCTION TYPE

TYPE V-B - WITH AUTOMATIC SPRINKLERS PER NFPA 13R

### OFF STREET PARKING

EXISTING PARKING: STANDARD SPACES 11 SPACES  
HANDICAP ACCESSIBLE SPACES 2 SPACES  
TOTAL 13 SPACES

### NEW PARKING REQUIRED

(OFF STREET PARKING REGULATIONS COA ZONING CODE)  
COMMUNITY RESIDENTIAL PROGRAM: 1 SPACE PLUS 1 SPACE PER FOUR CLIENTS  
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### NEW PARKING PROVIDED

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VISITOR SPACES 5 SPACES  
TOTAL 26 SPACES

### TOTAL PARKING PROVIDED (EXISTING + NEW)

STANDARD SPACES 24 SPACES  
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TOTAL 26 SPACES

### MOTORCYCLE PARKING: REQUIRED - 2 SPACES PROVIDED - 2 SPACES

### BICYCLE PARKING: REQUIRED - 6 SPACES PROVIDED - 6 SPACES

### VICINITY MAP

ZONING MAP M-18-Z  
0 750' 1500'

PROJECT NUMBER: 1002024  
APPLICATION NUMBER: EPC Site Development Plan-Building Permit

Is an Infrastructure List Required? (x) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

### DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION  
DATE 02-20-13

Allen Pater  
DATE 02/13/13

UTILITIES DIVISION  
DATE 2-13-13

Carol S. Dumont  
DATE 2-13-13

PARKS AND RECREATION DEPARTMENT  
DATE 2-13-13

Ante C. Chen  
DATE 2-13-13

CITY ENGINEER  
DATE 2-13-13

Joe Whorke  
DATE 2-13-13

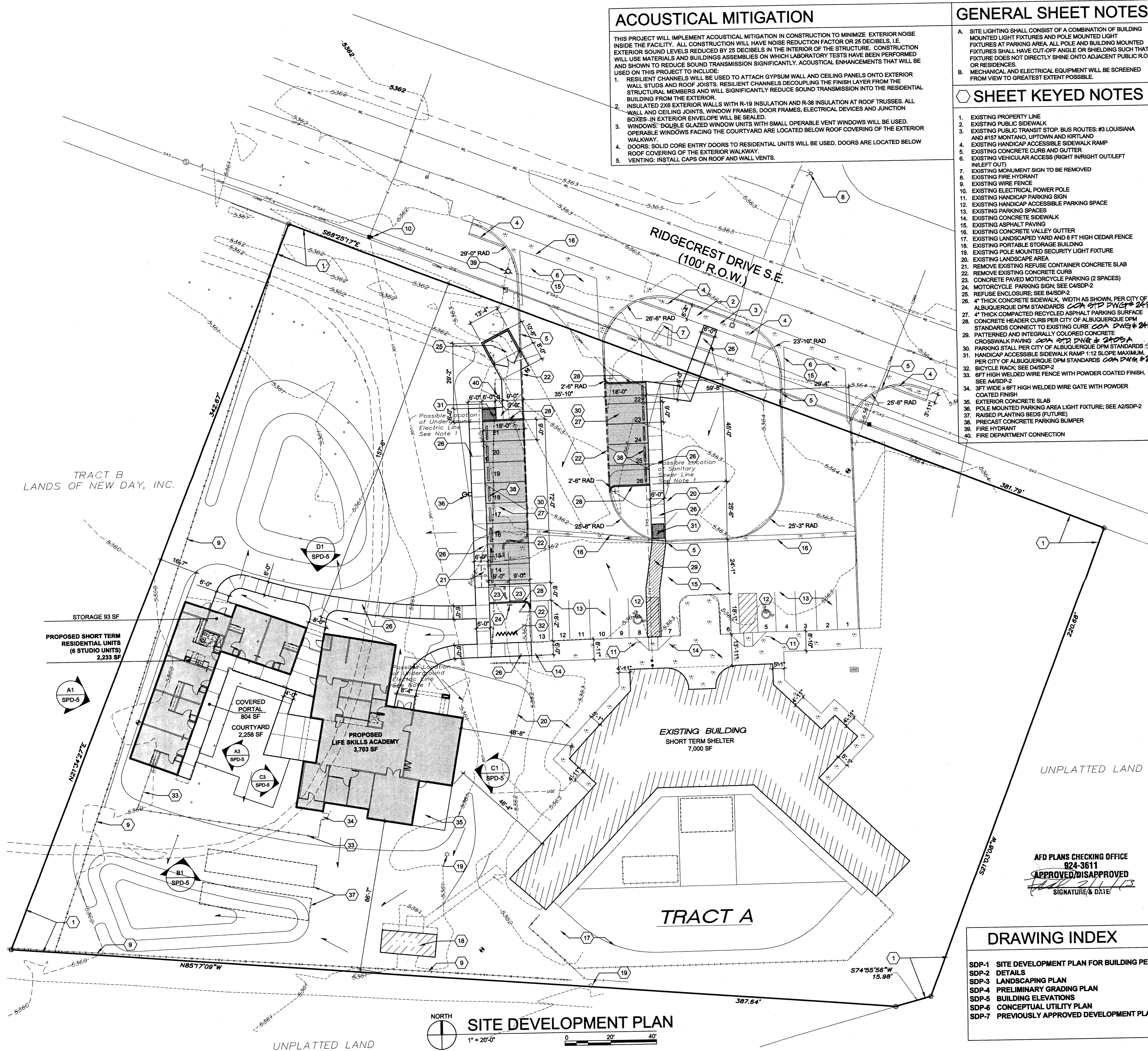
SOLID WASTE MANAGEMENT  
DATE 2-20-13

John Chab  
DATE 2-20-13

DRB CHAIRPERSON, PLANNING DEPARTMENT

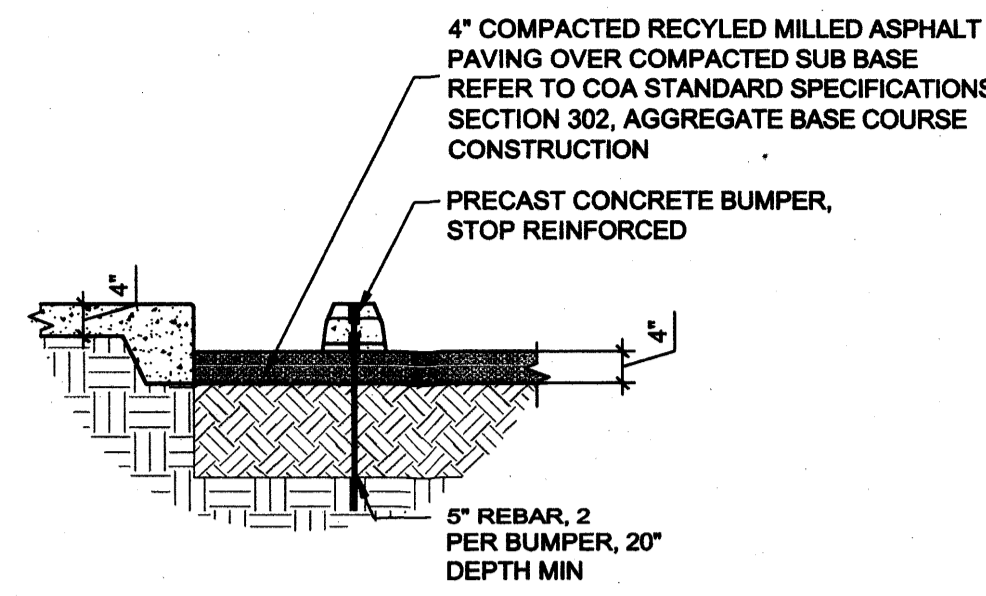
### DRAWING INDEX

- SDP-1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- SDP-2 DETAILS
- SDP-3 LANDSCAPING PLAN
- SDP-4 PRELIMINARY GRADING PLAN
- SDP-5 BUILDING ELEVATIONS
- SDP-6 CONCEPTUAL UTILITY PLAN
- SDP-7 PREVIOUSLY APPROVED DEVELOPMENT PLAN

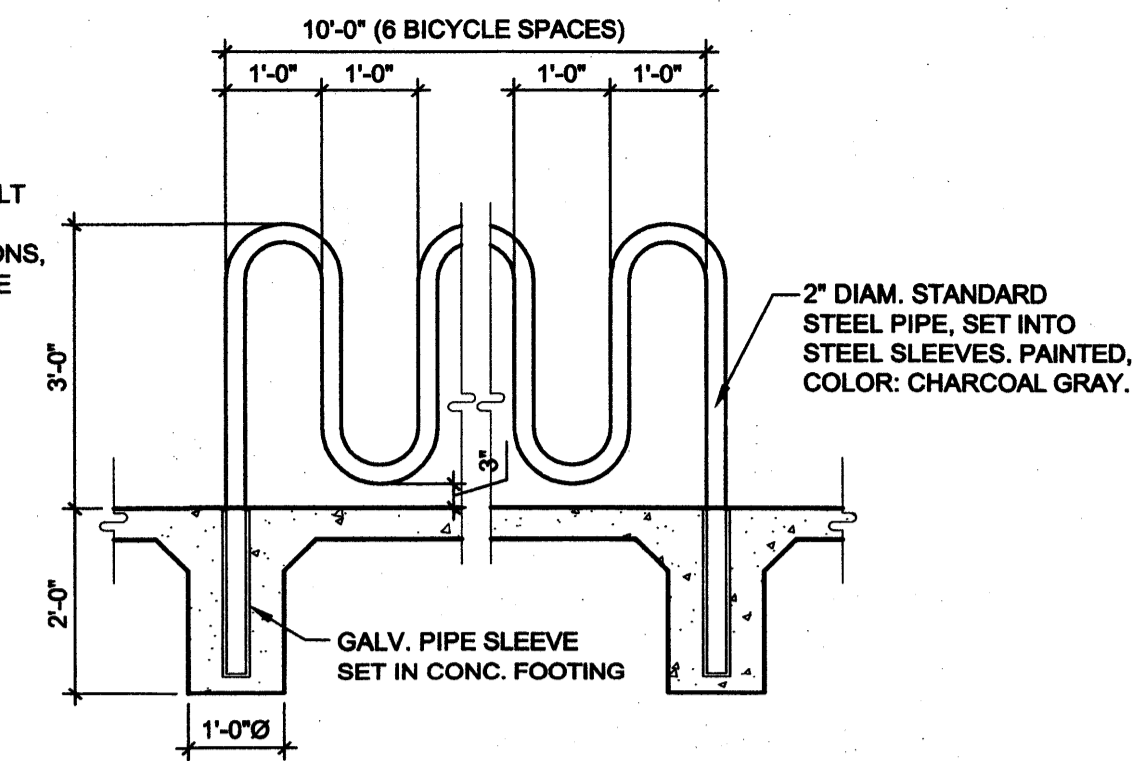


AFD PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
SIGNATURE & DATE

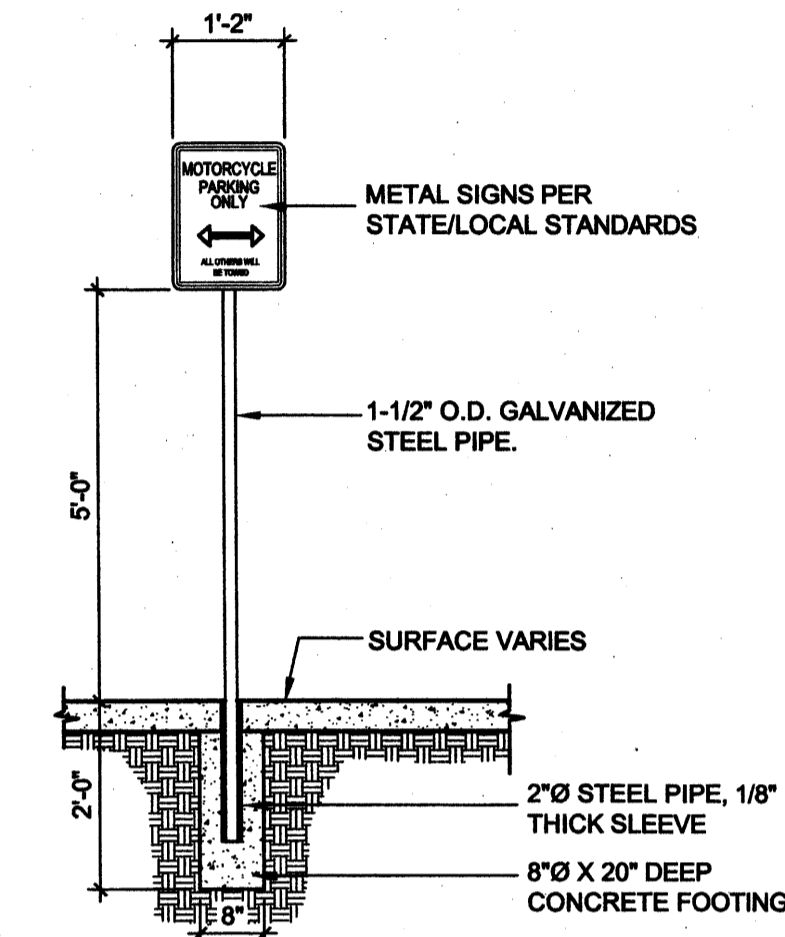
KATE COOL



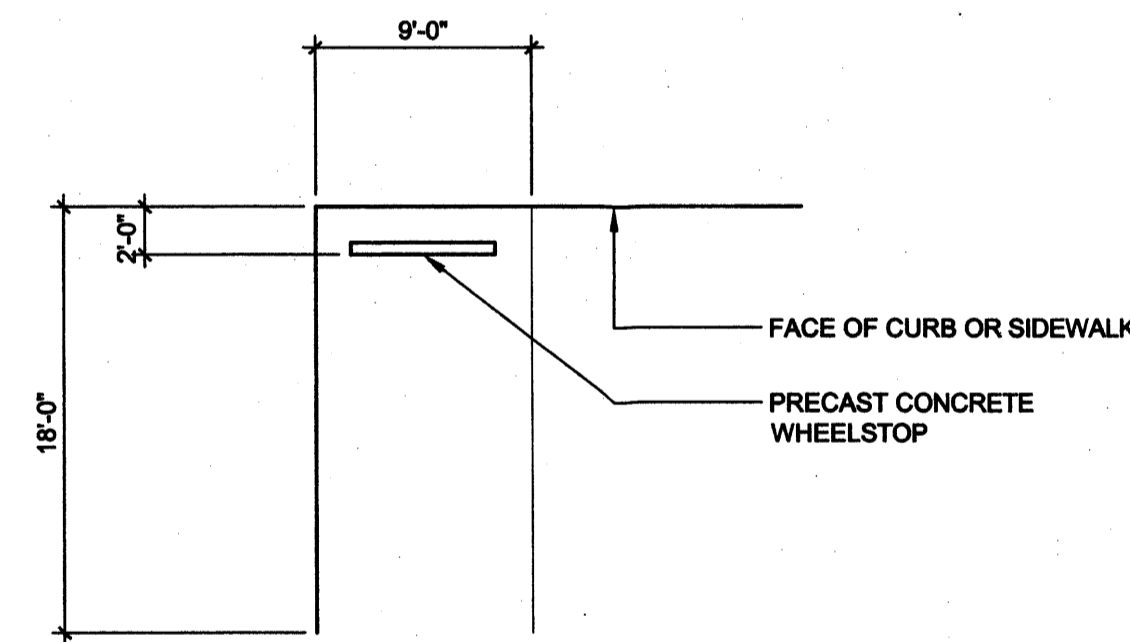
**D3** PARKING STALL  
MILLED ASPHALT DETAIL  
1/2" = 1'-0"



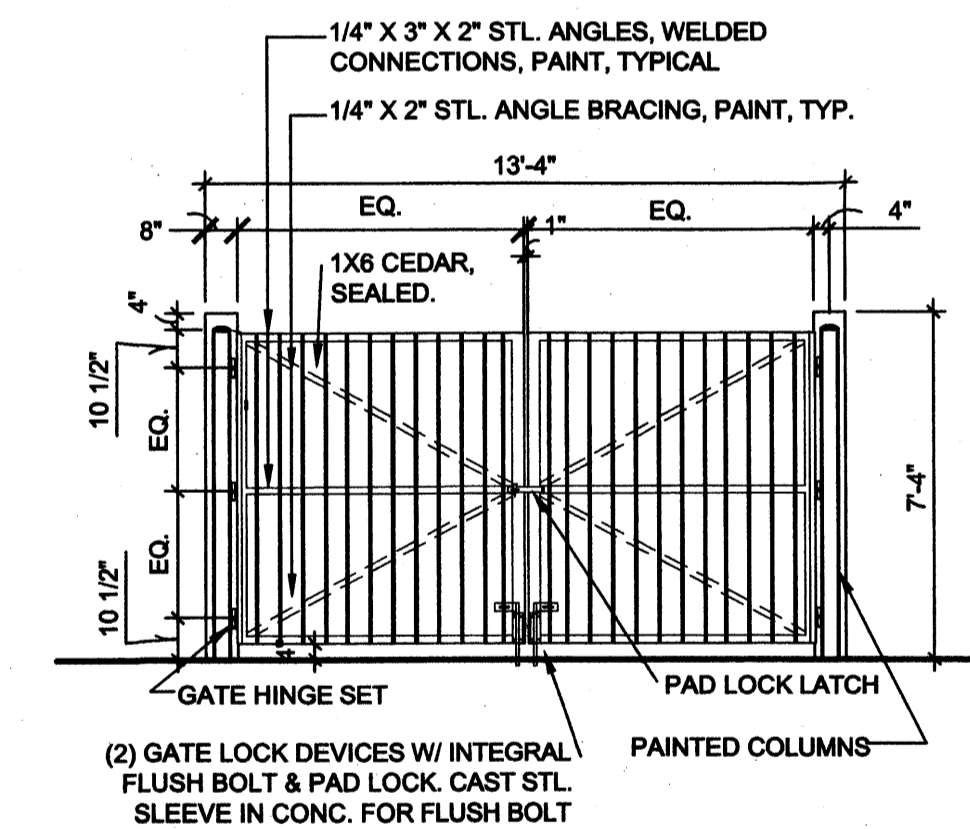
**D4** BIKE RACK DETAIL  
1/2" = 1'-0"



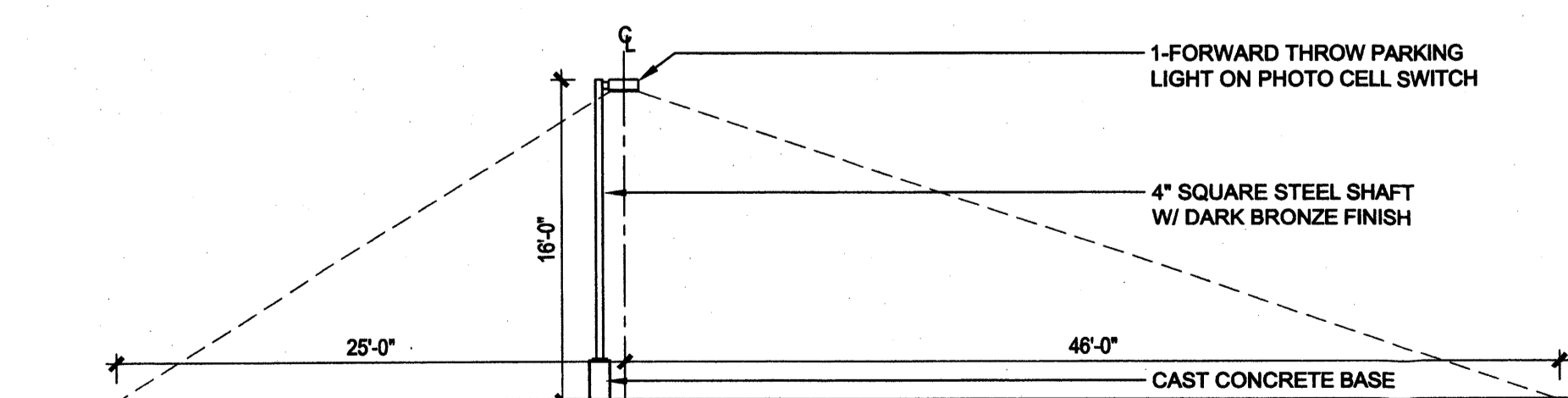
**C4** MOTORCYCLE PARKING SIGN  
1/2" = 1'-0"



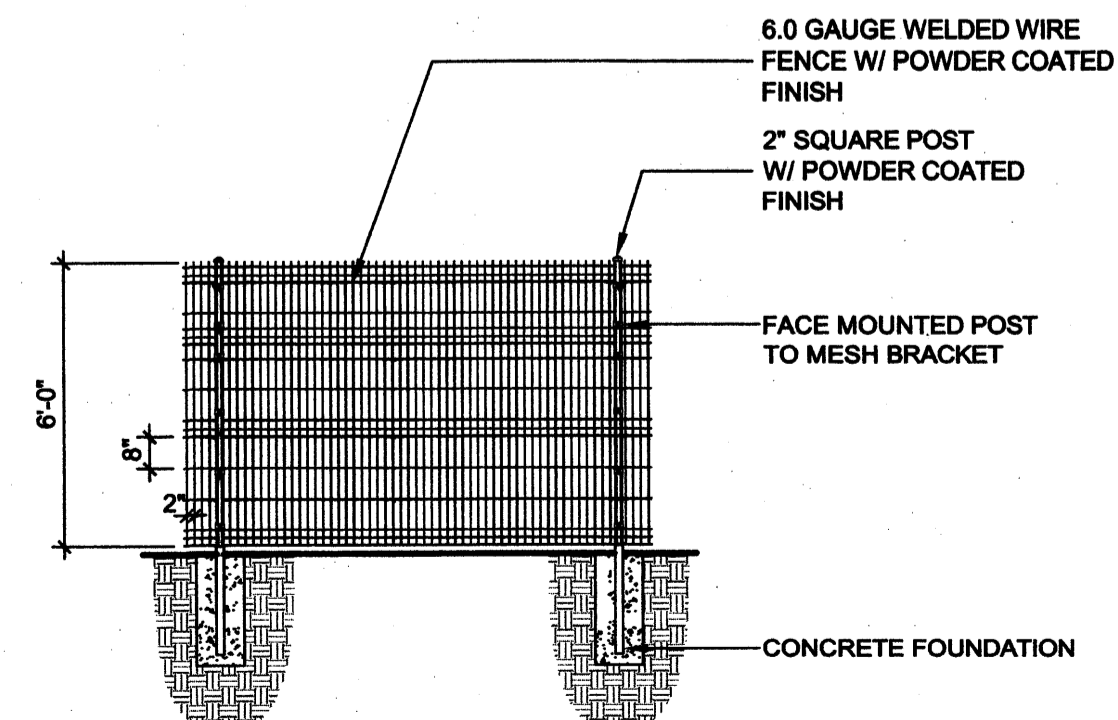
**B3** TYPICAL PARKING STALL  
1/8" = 1'-0"



**B4** GATE AT REFUSE ENCLOSURE  
1/4" = 1'-0"



**A2** LIGHT POLE  
1/8" = 1'-0"



**A4** WELDED WIRE FENCE  
1/4" = 1'-0"



**Dekker  
Perich  
Sabatini**

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

ARCHITECT

ENGINEER

**DRB  
SUBMITAL**

PROJECT

**New Day Expansion  
2820 Ridgecrest SE  
Albuquerque, New Mexico 87108**

REVISIONS

- ▲
- ▲
- ▲
- ▲

DRAWN BY

CM

REVIEWED BY

MB

DATE

10-19-2012

PROJECT NO.

11-0116

DRAWING NAME

LANDSCAPE PLAN

SHEET NO.

**SDP-3**  
OF

**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA: 108,932 SF = 2.5 AC  
NEW BUILDING AREA: 5,936 SF  
EXISTING BUILDING AREA: 7,000 SF  
NET LOT AREA: 95,996 SF = 2.2 AC  
REQUIRED LANDSCAPE AREA: 15% OF NET LOT AREA = 14,399 SF  
PROVIDED LANDSCAPE AREA: 80,502 SF - ROW AREA 8,027 SF = 72,475 SF = 75%

**TREES/PARKING SPACES:**  
REQUIRED: 1 TREE/10 PARKING SPACES = 26 PARKING SPACES/10 = 3 TREES  
PROVIDED: 15 TREES

**STREET TREES:**  
REQUIRED: 12 TREES FOR 381' ROAD FRONTAGE  
PROVIDED: 15 TREES (EXISTING AND PROPOSED)

**GENERAL SHEET NOTES**

- A. FOR GRADING AND DRAINAGE INFORMATION, SEE CIVIL DRAWINGS. DO NOT RELY ON LANDSCAPE DRAWINGS FOR GRADING INFORMATION.
- B. FOR ADDITIONAL INFORMATION ON SITE ELEMENTS, SEE SITE PLAN.

**PLANTING NOTES**

1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
2. LANDSCAPING SHALL BE INSTALLED ACCORDING TO THE APPROVED PLAN; INSTALLATION SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
3. AFTER SUBSTANTIAL COMPLETION, THE INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. PLANTING SCHEDULE APPLIES TO NEW PLANT MATERIAL ONLY. FINAL SPECIES AND LOCATIONS MAY VARY FROM THIS PLAN.
5. LANDSCAPING SHALL HAVE ADEQUATE MAINTENANCE. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 DAYS AFTER NOTIFICATION.
6. NO TURF IS BEING PROPOSED IN THIS PROJECT.
7. LANDSCAPE AREAS SHALL BE COVERED WITH MULCH OR SEED. SEE PLANTING LEGEND.
8. IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE CONDITIONS, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK.
9. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING AND IRRIGATION OPERATIONS.
10. MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
11. LANDSCAPE ARCHITECT SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING, AND RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
12. ALL PLANT MATERIAL MUST BE NURSERY GROWN, AND ALL PLANTS SHALL BEAR SAME RELATION TO FINISHED GRADE AS IN ORIGINAL NURSERY CONDITION.
13. ALL LINES SHOWN BETWEEN MULCH TYPES ARE FOR REFERENCE ONLY AND DO NOT INDICATE STEEL EDGING.
14. NATIVE SOILS MAY BE USED FOR LANDSCAPE INSTALLATION, BUT SHALL BE BLENDED WITH IMPORTED TOPSOIL BLEND AND/OR COMPOST.
15. WHERE MULCH IS ADJACENT TO CONCRETE, FINISH GRADE OF MULCH TO BE APPROXIMATELY 1/2" BELOW TOP OF CONCRETE.
16. IF CIVIL DRAWINGS SHOW AREAS OF DISTURBANCE BEYOND LANDSCAPE AREAS SHOWN HERE, THOSE AREAS SHALL BE TREATED WITH NATIVE SEEDING.
17. NEW TREES SHALL BE LOCATED TO NOT CONFLICT WITH NEW POLE MOUNTED PARKING AREA LIGHTING.

**IRRIGATION NOTES**

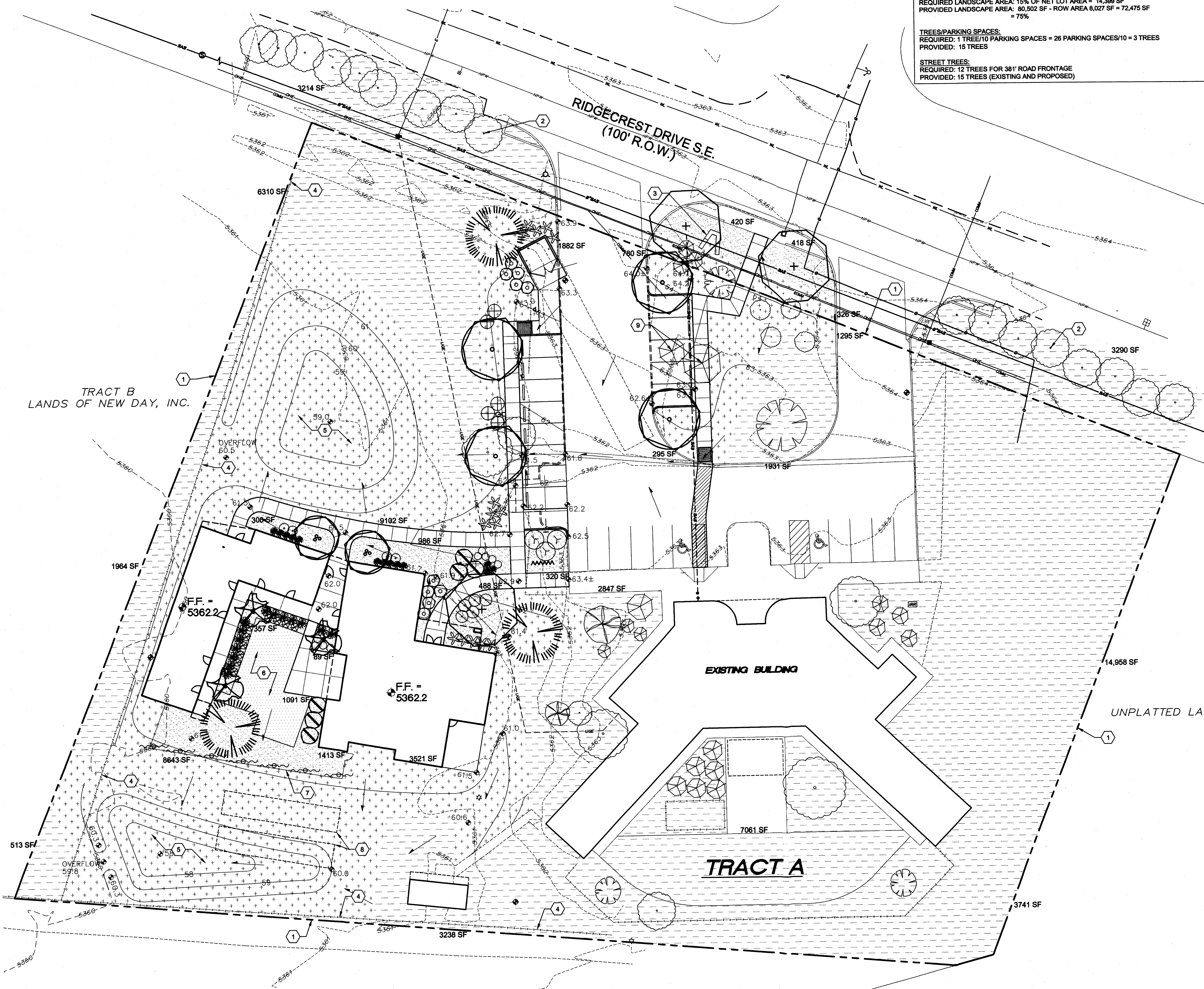
1. THE IRRIGATION SYSTEM DESIGN SHALL COMPLY WITH ALL CITY WATER CONSERVATION LANDSCAPE AND WASTE WATER ORDINANCES.
2. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREES, SHRUBS, AND GROUND COVER PLANTING AREAS.
3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTER VALVE. SEE COA STD DETAIL 2701.
4. THE IRRIGATION SYSTEM SHALL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO PLANT WATER REQUIREMENTS.
5. EACH TREE SHALL RECEIVE THREE (3) - ONE (1) GPH EMITTERS, EACH SHRUB/PERENNIAL SHALL RECEIVE TWO (2) - TWO (2) GPH EMITTERS, EACH ACCENT PLANT SHALL RECEIVE TWO (2) - ONE (1) GPH EMITTER.
6. THE MAINTENANCE OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**SHEET KEYED NOTES**

1. PROPERTY LINE
2. EXISTING STREET TREES
3. EXISTING MONUMENT SIGN
4. EXISTING WIRE FENCE
5. PONDING AREA, SEE CIVIL
6. CRUSHER FINES COURTYARD
7. WELDED WIRE FENCING, SEE SITE PLAN
8. FUTURE RAISED PLANTING BEDS, SEE SITE PLAN
9. REMOVE EXISTING TREE

**PLANTING SCHEDULE**

TREES		SYM	EST QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE/ WATER USE
	2	2	2	<i>Crataegus ambigua</i> / RUSSIAN HAWTHORNE	2" Cal.	20'x20'/ Medium
	3	3	3	<i>Forestiera neomexicana</i> / NEW MEXICO OLIVE	36" Box (2" Cal) multi-trunk	15'x15'/ Low
	3	3	3	<i>Pinus nigra</i> / AUSTRIAN PINE	10' Height	40'x25'/ Low
	4	4	4	<i>Pistachia chinensis</i> / CHINESE PISTACHE	2" Cal.	35'x30'/ Low
	3	3	3	<i>Quercus muhlenbergia</i> / CHINGUAPIN OAK	2" Cal.	30'x30'/ Medium
SHRUBS			5	<i>Buddleia davidii</i> 'Pink'/ PINK BUTTERFLY BUSH	5 Gal.	6'x6'/ Medium
	3	3	3	<i>Caesalpinia gilliesii</i> / BIRD OF PARADISE	5 Gal.	8'x10'/ Low
	4	4	4	<i>Caryopteris diandromensis</i> 'Dark Knight' DARK KNIGHT SPIREA	5 Gal.	4'x4'/ Medium
	10	10	10	<i>Chamaebatiaria millefolium</i> / FERNBUSH	5 Gal.	5'x5'/ Medium
	9	9	9	<i>Lavandula angustifolia</i> 'Hidcote' HIDCOTE BLUE LAVENDER	1 Gal.	2'x3'/ Medium
	7	7	7	<i>Lonicera sempervirens</i> / EVERGREEN HONEYSUCKLE	1 Gal.	5'x5'/ Medium
	6	6	6	<i>Pinus mugo</i> / MUGO PINE	5 Gal.	5'x8'/ Medium
	5	5	5	<i>Prunus besseyi</i> / WESTERN SAND CHERRY	5 Gal.	5'x5'/ Medium
ACCENTS			14	<i>Dasyliion texana</i> / SCOTCH	5 Gal.	4'x4'/ Low
	15	15	15	<i>Nolina microcarpa</i> / BEAR GRASS	5 Gal.	4'x5'/ Low
GRASSES			10	<i>Muhlenbergia capillaris</i> 'Regal Mist' REGAL MIST GRASS	1 Gal.	3'x3'/ Low
	13	13	13	<i>Muhlenbergia rigens</i> / DEER GRASS	5 Gal.	4'x3'/ Low
OTHER			4,792 SF	1" ROCK MULCH, 3" DEPTH OVER FILTER FABRIC, COLOR: BROWN		
	1,091 SF	1,091 SF	1,091 SF	CRUSHER FINES MULCH, 3" DEPTH OVER FILTER FABRIC, COLOR: BROWN		
	25,753 SF	25,753 SF	25,753 SF	NATIVE SEED, COA EASTSIDE MIX, NON-IRRIGATED		
	48,866 SF	48,866 SF	48,866 SF	EXISTING UNDISTURBED LANDSCAPE AREA		
				EXISTING TREES		
				EXISTING SHRUBS		



**PROJECT SCOPE**

THE SITE IS A PARTIALLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP M-18. THE SITE IS BOUND TO THE EAST, SOUTH AND WEST BY UNDEVELOPED COMMERCIAL PROPERTY AND TO THE NORTH BY RIDGECREST DR. S.E.

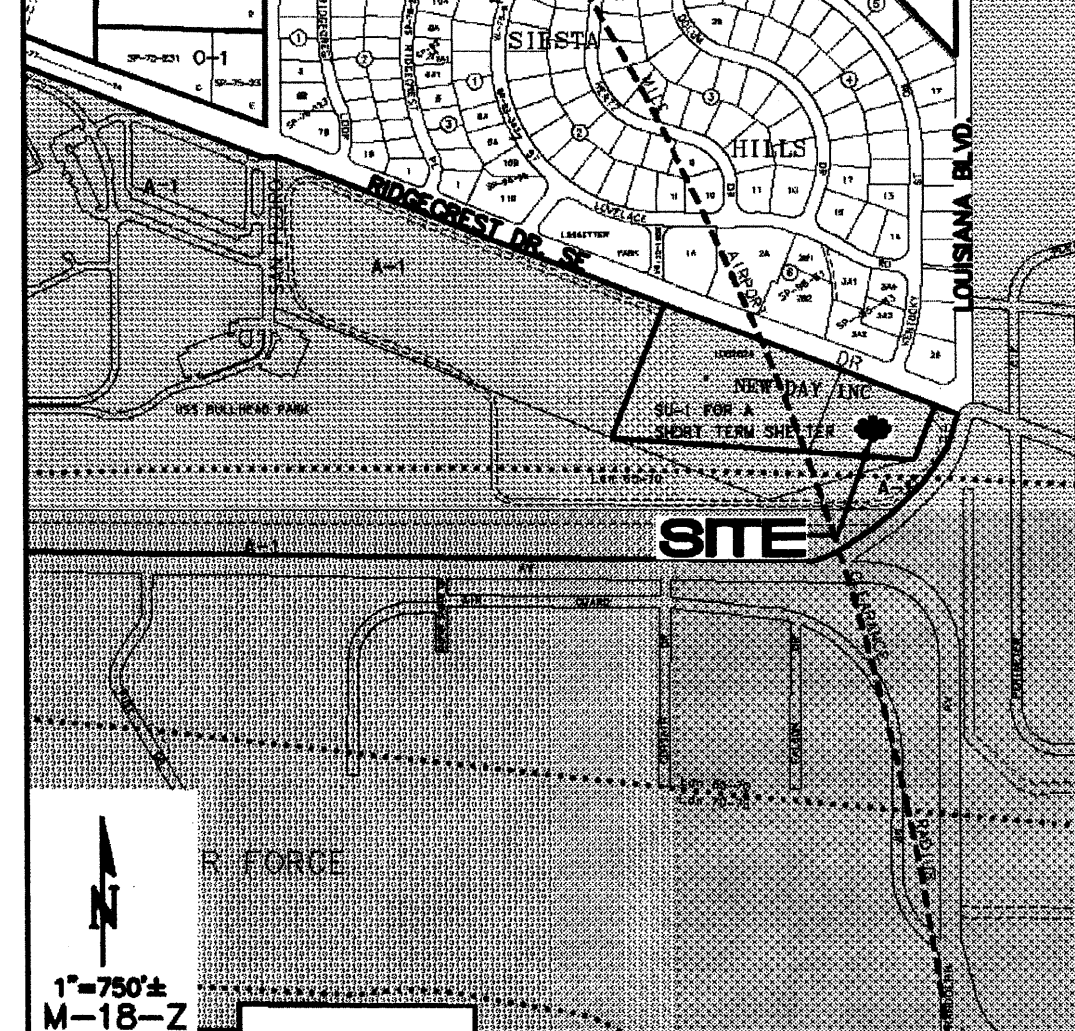
PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE TWO NEW BUILDINGS WITH ASSOCIATED ASPHALT PAVED ACCESS, PEDESTRIAN WALKS, COURTYARD, PARKING, AND LANDSCAPING.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

**DRAINAGE PLAN CONCEPT:**

FLOW FROM THE EXISTING FACILITY TO THE EAST WILL CONTINUE TO DISCHARGE THROUGH THE NORTHWEST PORTION OF THE PROPERTY. WATER HARVESTING / DESILTATION PONDS WILL BE CONSTRUCTED ON THE NORTH AND SOUTH SIDES OF THE PROPOSED BUILDING TO CONTROL RUNOFF TO HISTORIC LEVELS. PER THE INITIAL DRAINAGE AND GRADING PLAN PREPARED FOR THE EXISTING BUILDING / SITE. (CHAVEZ-GRIEVES CONSULTING ENGINEERS; FEB. 1996) KIRTLAND AFB ALLOWS CONTINUED USE OF THE EARTHEN POND AT SAN MATEO AND RANDOLPH ST. AT A RATE BASED ON UNDEVELOPED CONDITIONS: MAXIMUM SITE DISCHARGE = 3.00 CFS.

**VICINITY MAP**



**FEMA MAP 35001C0362H**



**PROJECT DATA**

**LEGAL DESCRIPTION:** WESTERLY PORTION TRACT A LANDS OF NEW DAY, INC., CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

**FLOOD\_ZONE:** THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 35001C0362H, MAP REVISED AUGUST 16, 2012.

**ENGINEER:** FRED C. ARFMAN, P.E.  
ISAACSON & ARFMAN, P.A.  
128 MONROE ST NE, ABQ, NM 87108  
PHONE: (505) 268-8828

**SURVEYOR:** RUSS P. HUGG N.M.P.S.  
SURV-TEK, INC., CONSULTING SURVEYORS  
9384 VALLEY VIEW DRIVE N.W.  
ALBUQUERQUE, NEW MEXICO 87114  
PHONE: 505-897-3366

**BENCHMARK:** VERTICAL DATUM IS BASED ON THE ALBUQUERQUE SURVEY CONTROL MONUMENT TO 2" HAVING AN PUBLISHED ELEVATION OF 5337.430 FEET (NAVD 88).

ENGINEER



**PRELIMINARY**

PROJECT

**New Day Expansion  
2820 Ridgecrest SE  
Albuquerque, New Mexico 87108**

**CALCULATIONS**

**CALCULATIONS: 1949 New Day Expansion : 9/25/12**  
Based on Drainage Design Criteria for City of Albuquerque  
Section 22.2, DPM, Vol 2, dated Jan, 1993

**ON-SITE CALCULATIONS: 100-YEAR, 6-HOUR STORM**

AREA OF SITE: 108932 SF = 2.5

**HISTORIC FLOWS:**

Area	Treatment %	%
Area A	108932	100%
Area B	0	0%
Area C	0	0%
Area D	0	0%
<b>Total Area</b>	<b>108932</b>	<b>100%</b>

**DEVELOPED FLOWS:**

Area	Treatment %	%	EXCESS PRECIP:
Area A	10893	10%	Precip. Zont 3
Area B	25054	23%	E <sub>A</sub> = 0.66
Area C	32680	30%	E <sub>B</sub> = 0.92
Area D	40305	37%	E <sub>C</sub> = 1.29
<b>Total Area</b>	<b>108932</b>	<b>100%</b>	E <sub>D</sub> = 2.36

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)  
Weighted E = E<sub>AA</sub> + E<sub>AB</sub> + E<sub>AC</sub> + E<sub>AD</sub>  
= 0.66 in. + 0.66 in. + 0.92 in. + 1.29 in. = 3.53 in.  
Developed E = 1.54 in.

On-Site Volume of Runoff: V<sub>360</sub> = E<sub>A</sub> / 12  
= 0.66 in. / 12 = 0.055 ft  
= 591 CF

On-Site Peak Discharge Rate: Q<sub>p</sub> = Q<sub>AA</sub> + Q<sub>AB</sub> + Q<sub>AC</sub> + Q<sub>AD</sub> / For Precipitation Z 3  
Q<sub>AA</sub> = 1.87 CFS      Q<sub>AB</sub> = 3.45 CFS  
Q<sub>AB</sub> = 2.60 CFS      Q<sub>AD</sub> = 5.02 CFS  
Historic C = 4.7 CFS      Developed Q<sub>p</sub> = 9.2 CFS

REVISIONS  
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△  
△  
△

DRAWN BY

REVIEWED BY

DATE

PROJECT NO. 11-0116

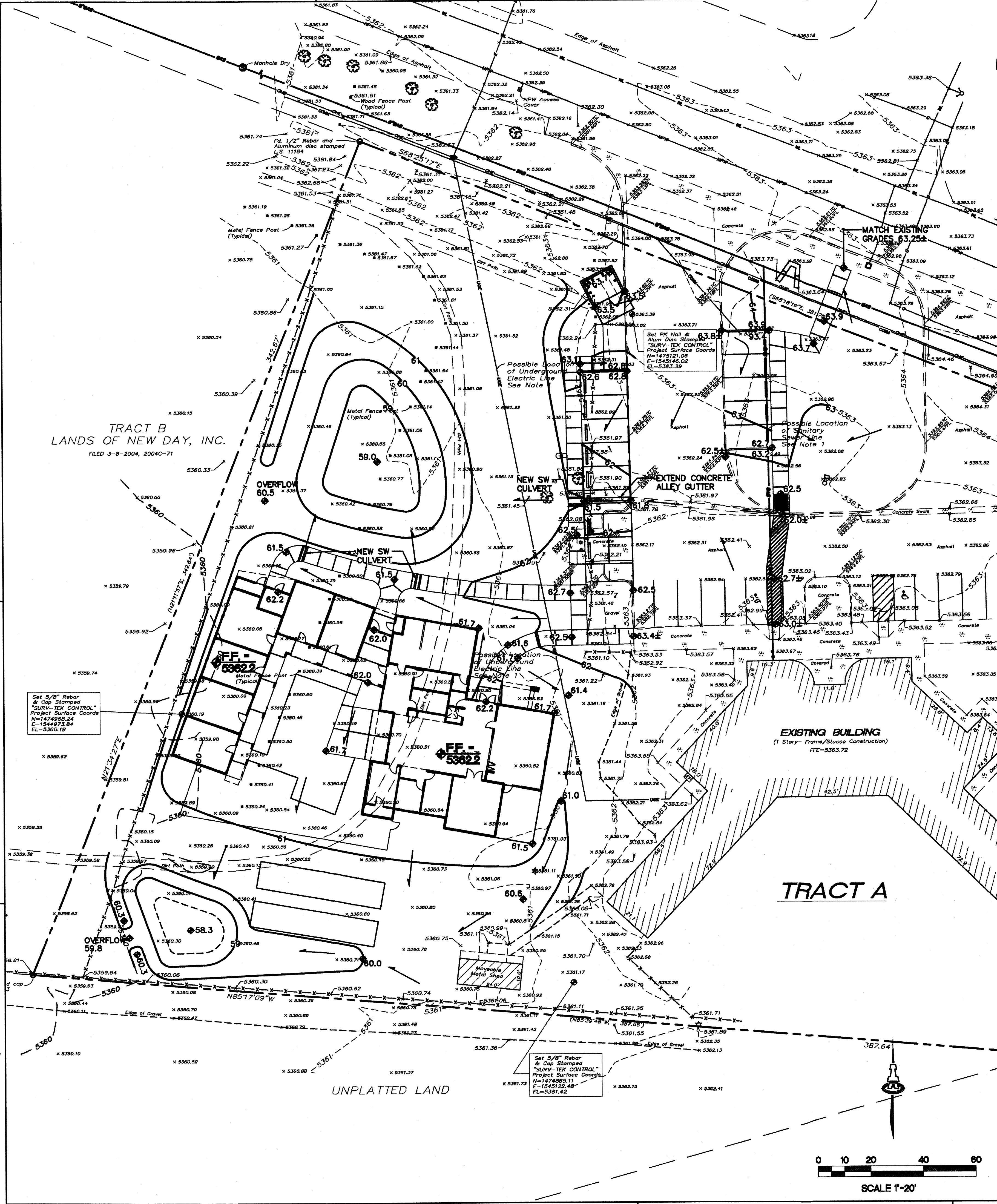
DRAWING NAME

**PRELIMINARY  
GRADING AND  
DRAINAGE  
PLAN**

SHEET NO.

**SDP-4**

OF



**GENERAL SHEET NOTES**

A. TWO STUCCO COLORS SHALL BE USED ON BUILDING EXTERIOR:  
 COLOR 1: LIGHT TAN FIELD COLOR  
 COLOR 2: DARK BROWN ACCENT COLOR AT WALL AREAS SHOWN ON BUILDING ELEVATIONS WITH THIS SOLID TONE

**SHEET KEYED NOTES**

1. STUCCO FINISH
2. PREFINISHED METAL PARAPET CAP COLOR TO MATCH STUCCO
3. PREFINISHED METAL FASCIA COLOR TO MATCH STUCCO
4. DASH LINE INDICATES 13 SF SIGN AREA (1% OF NORTH FACADE AREA) 6" HIGH, PIN MOUNTED LETTERS (BRONZE COLOR) ON BUILDING WALL.

architecture  
interiors  
landscape  
planning  
engineering

**Dekker  
Perich  
Sabatini**

7801 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

ARCHITECT

ENGINEER

**DRB  
SUBMITAL**

PROJECT

**New Day Expansion  
2820 Ridgcrest SE  
Albuquerque, New Mexico 87108**

**REVISIONS**

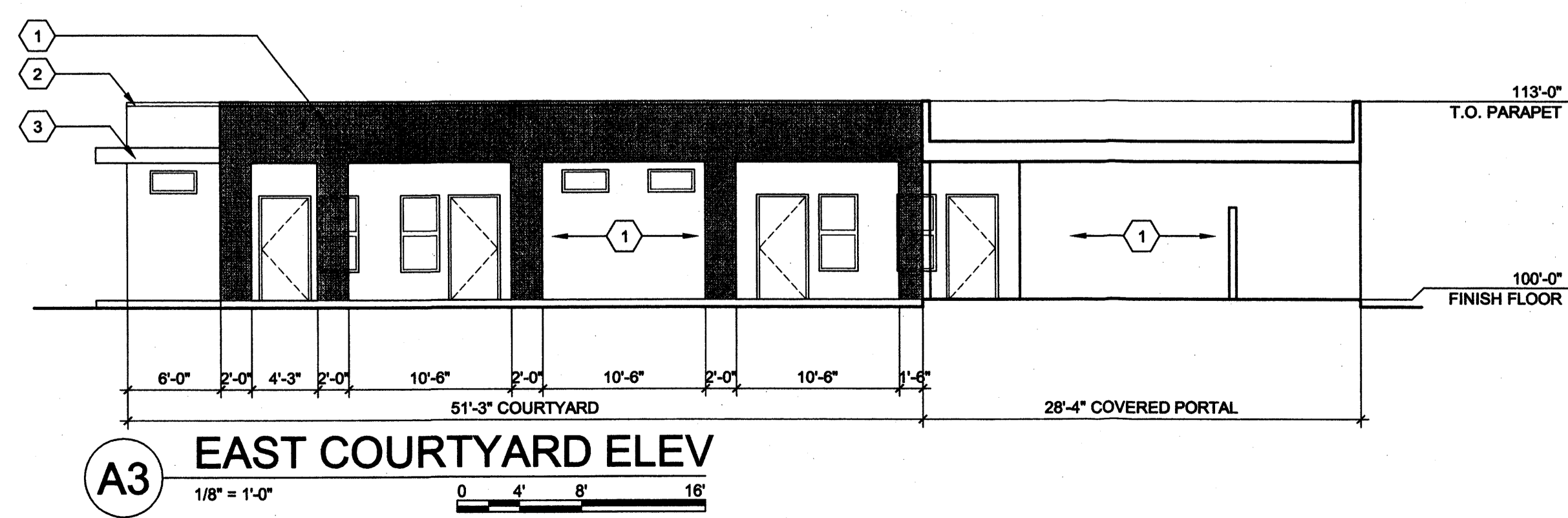
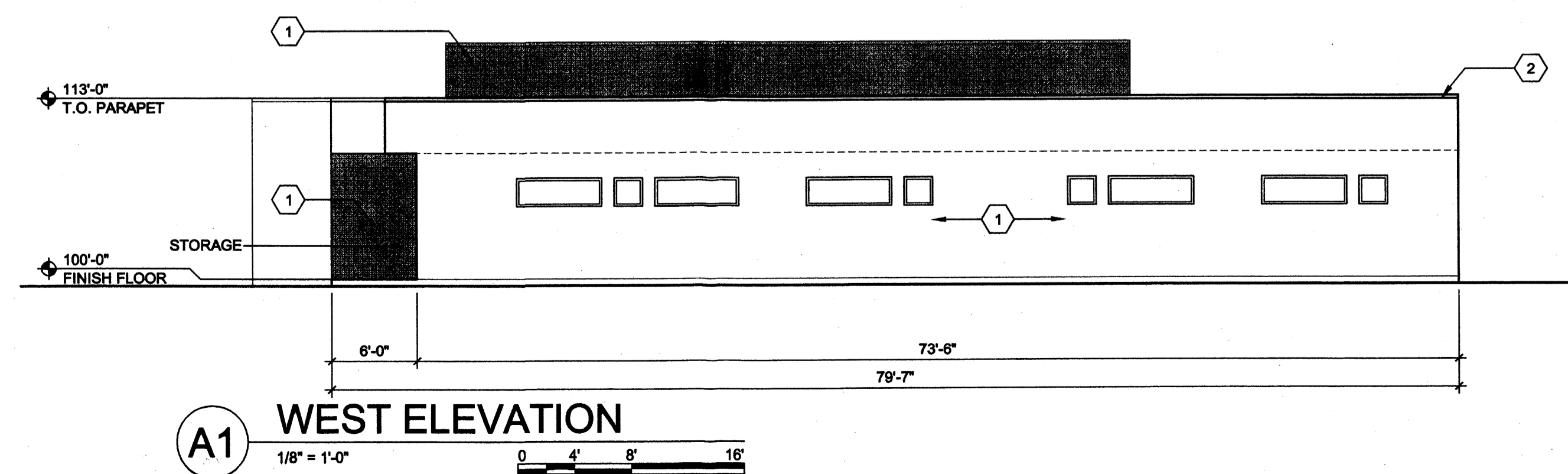
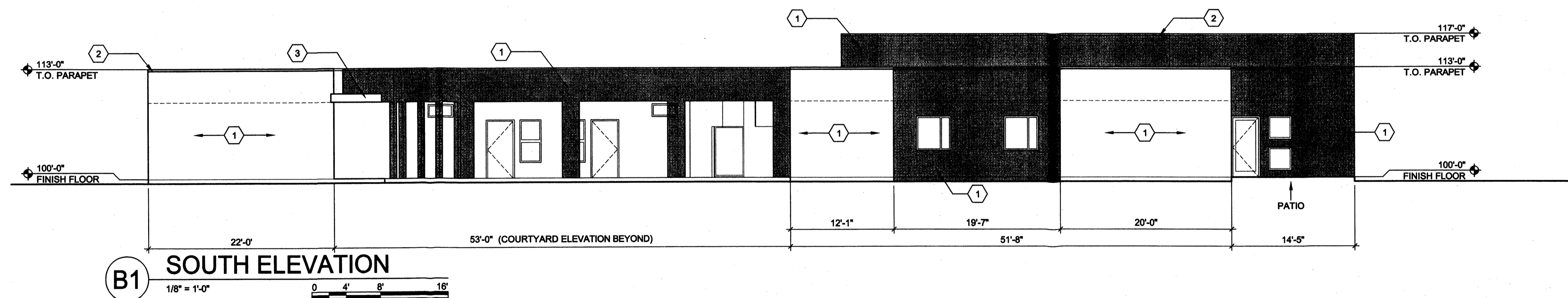
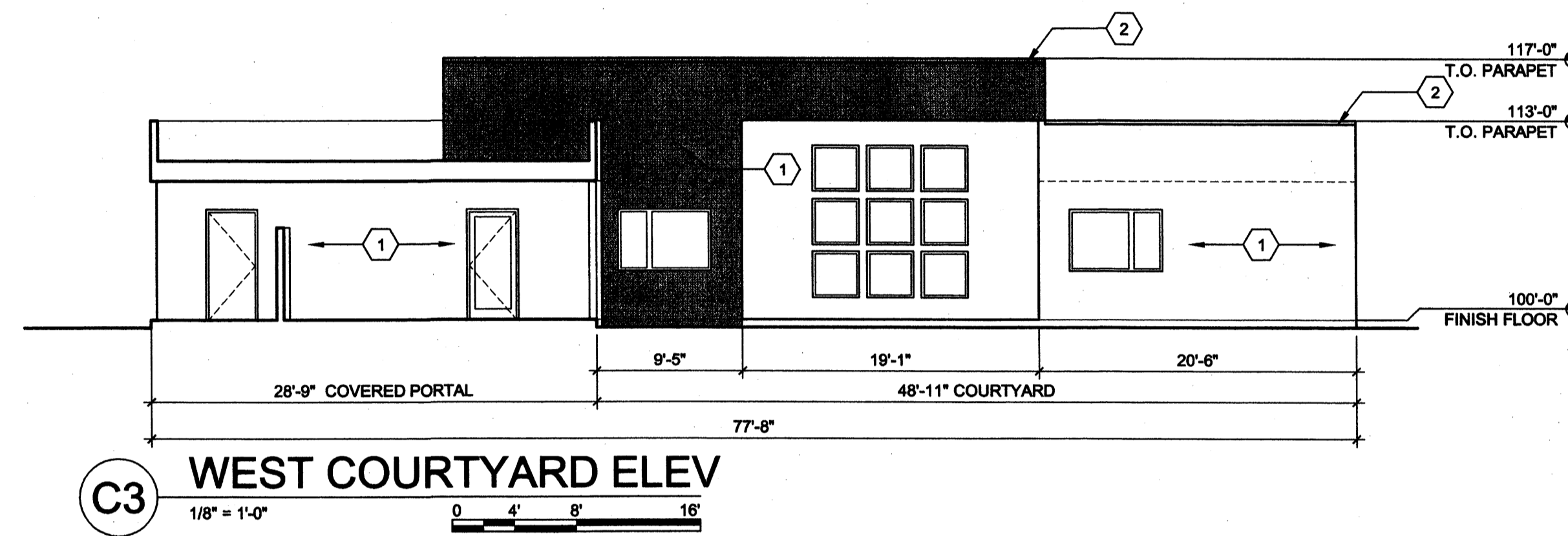
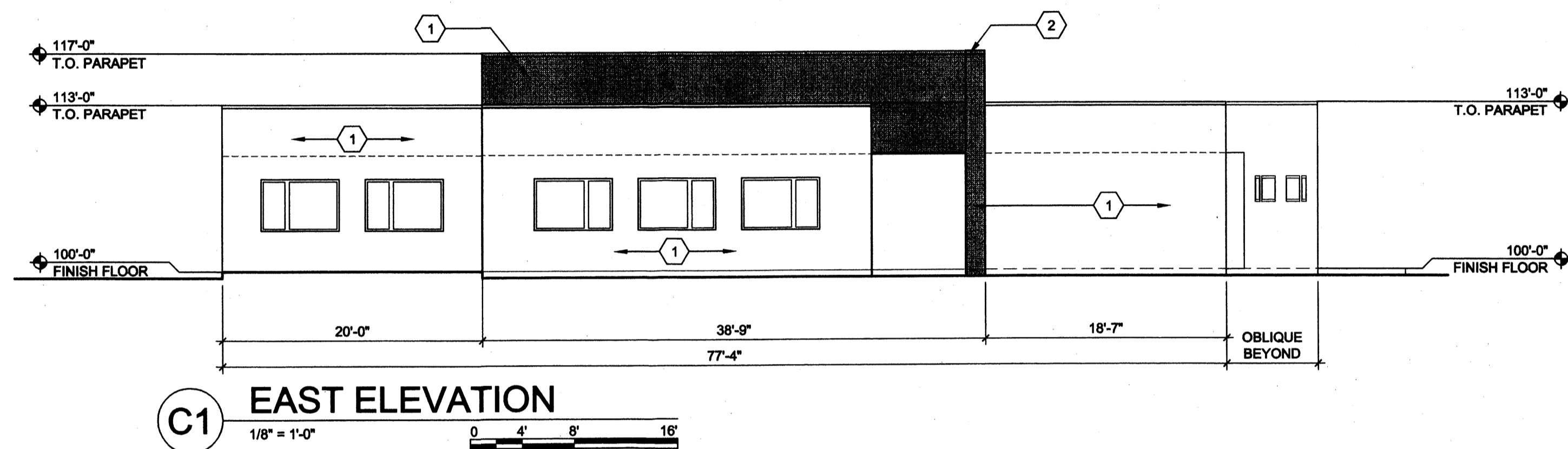
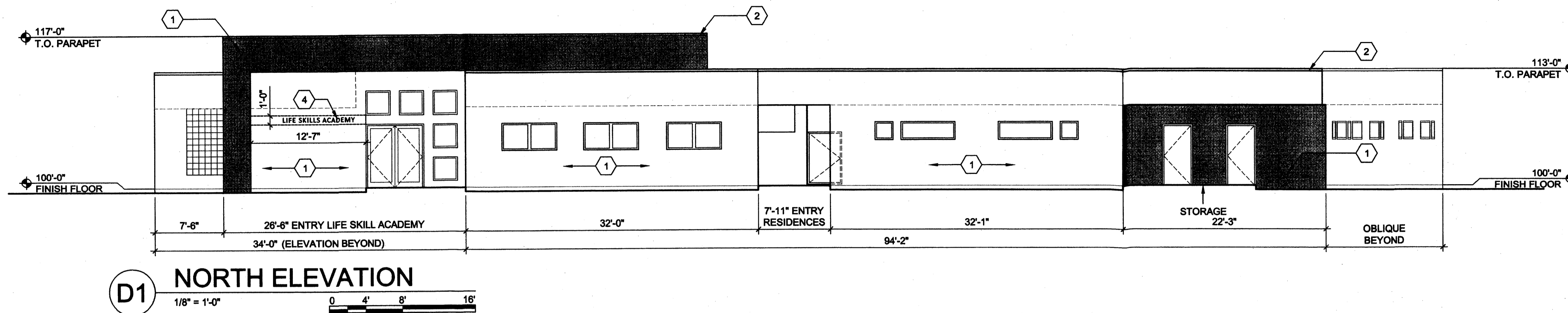
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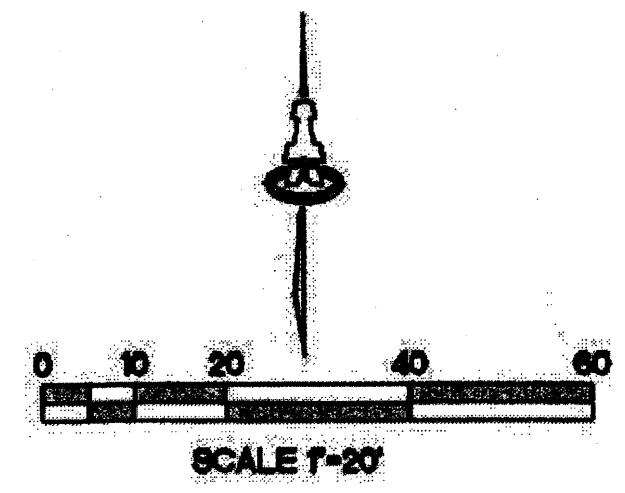
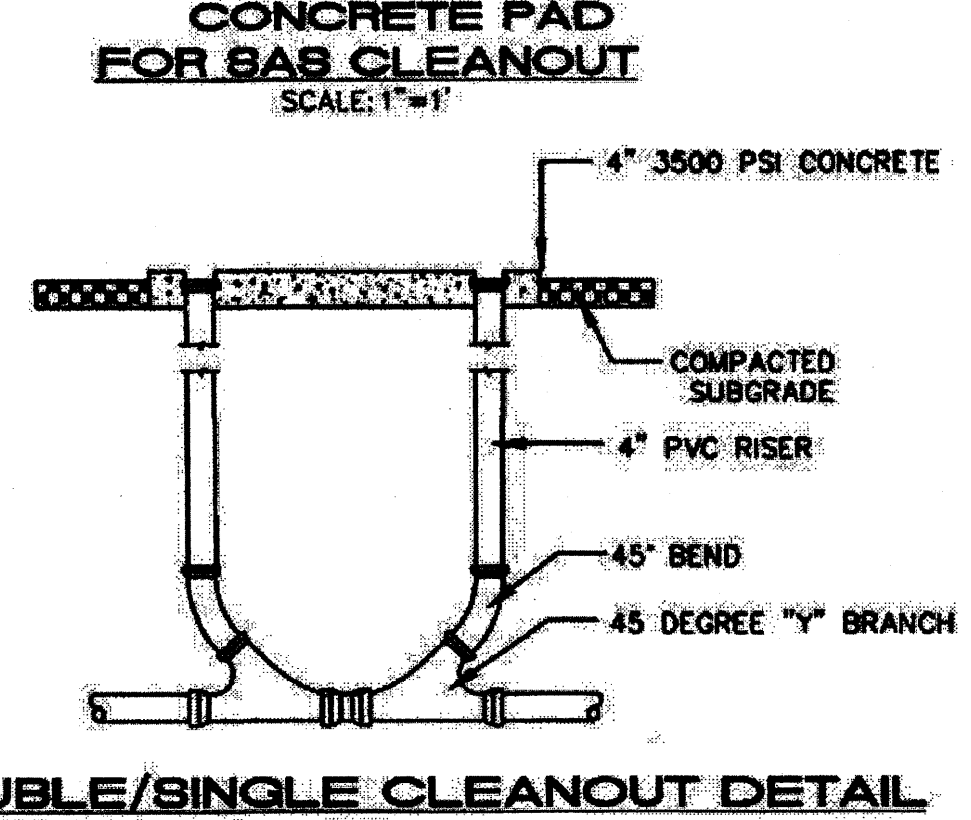
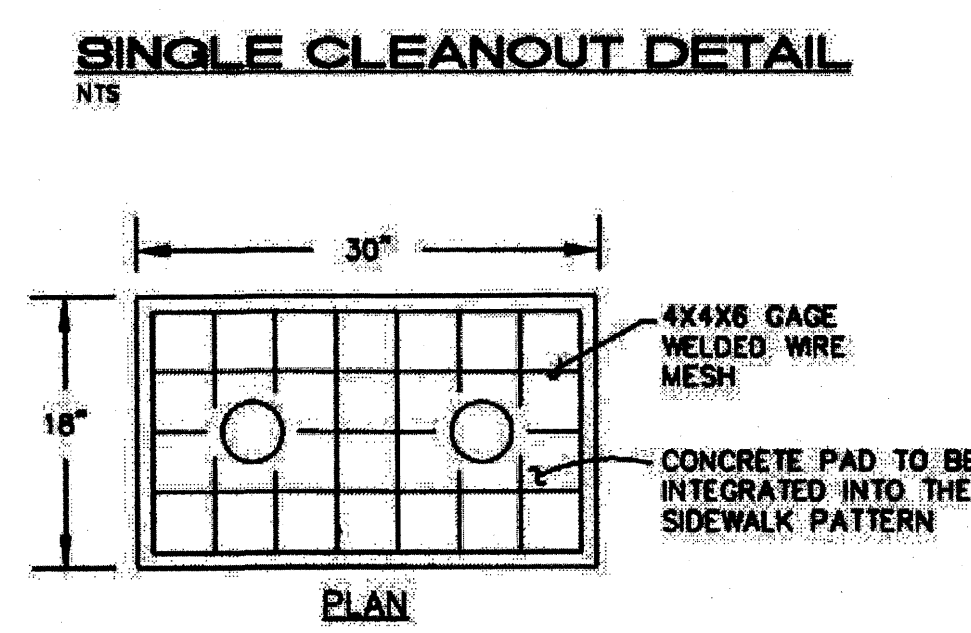
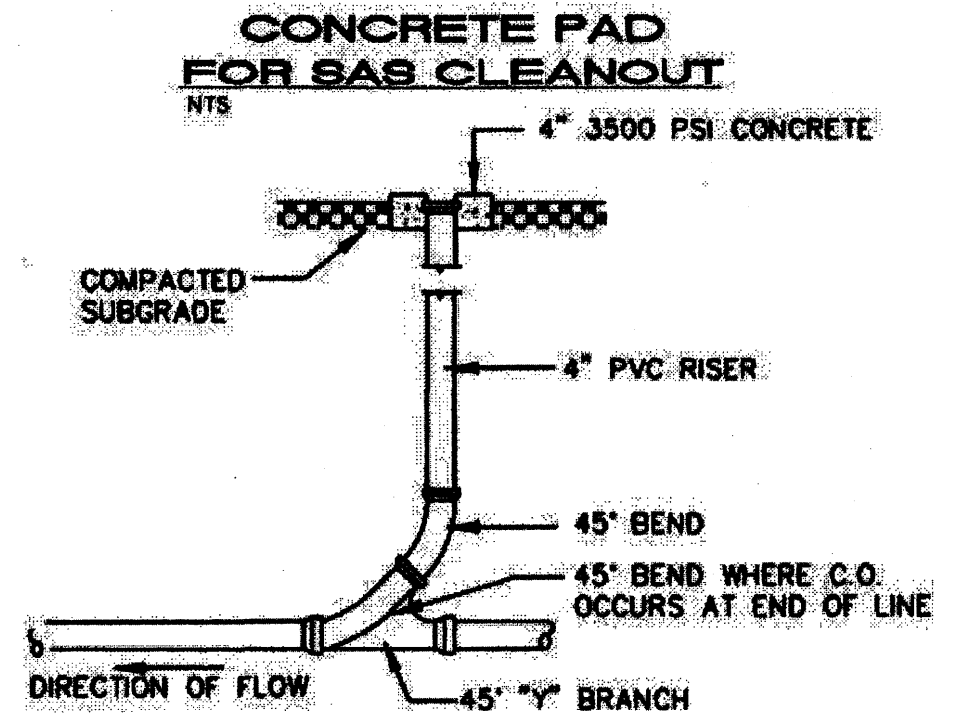
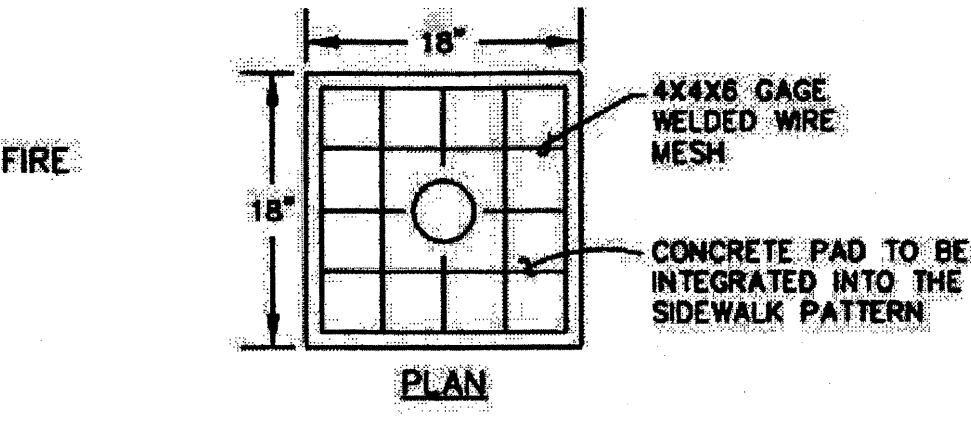
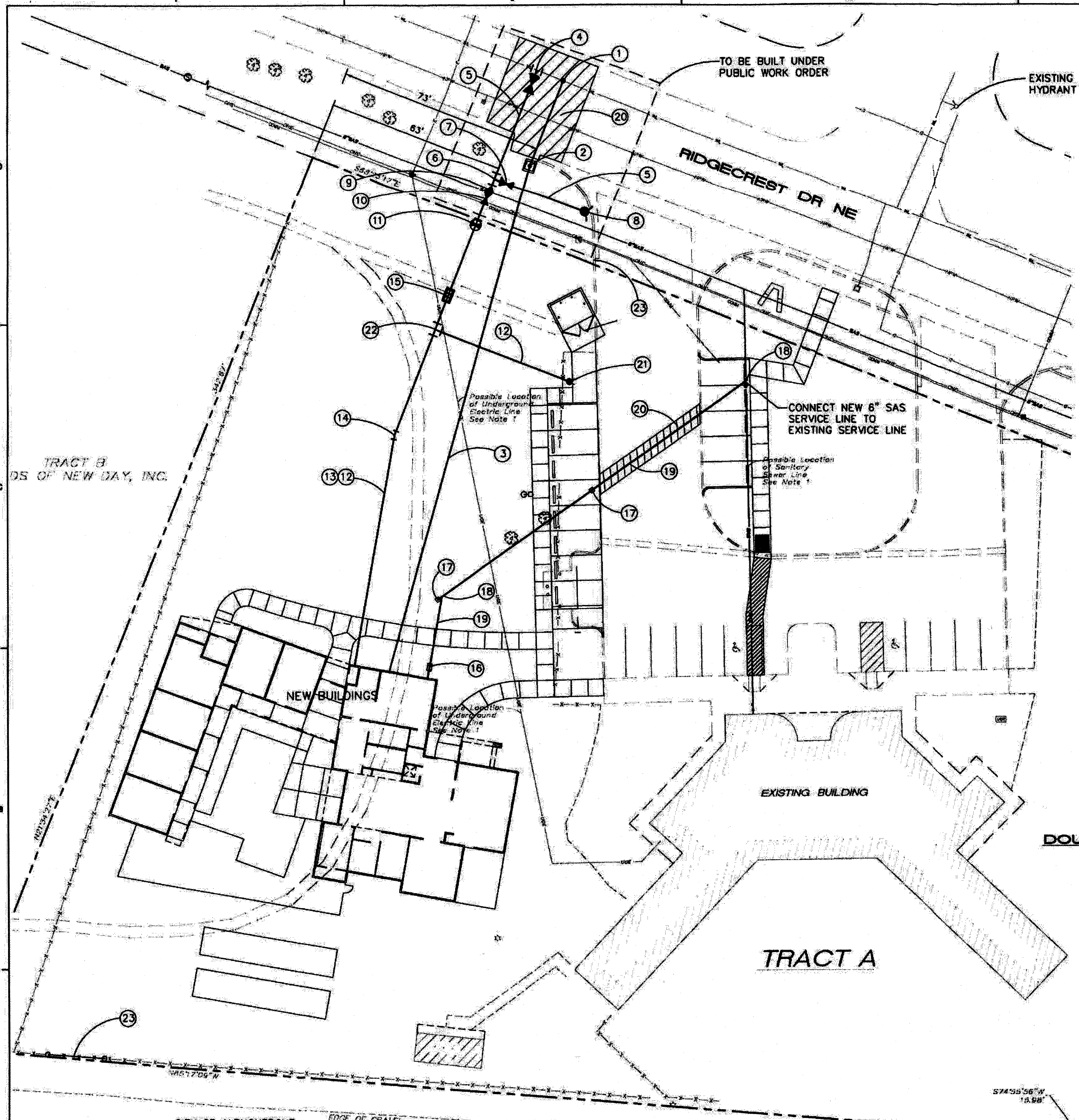
DRAWN BY DKM  
 REVIEWED BY RAW  
 DATE 10-19-2012  
 PROJECT NO. 11-0116  
 DRAWING NAME

**BUILDING  
ELEVATIONS**

SHEET NO.

**SDP-5**  
OF





**GENERAL NOTES**

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- WATER AND/OR SANITARY SEWER IMPROVEMENTS WITHIN A PUBLIC EASEMENT OR RIGHT-OF-WAY SHALL BE BUILT BY SEPARATE, PUBLIC WORK ORDER, PLANS.
- BUILD SINGLE AND DOUBLE SEWER CLEANOUTS PER DETAILS ON THIS SHEET.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-501 FOR STORM DRAIN DESIGN.
- CONSTRUCT SAS SERVICES PER COA STD DWG #2125.
- CONSTRUCT SINGLE WATER SERVICES PER COA STD DWG #2361, #2362, & #2363.

**KEYED NOTES**

- 2" SERVICE TAP PER COA STD. DWG. 2363.
- METER BOX FOR 1" METER PER COA STD. DWG. 2367.
- 2 1/2" WATER SERVICE LINE. COORDINATE WITH MECHANICAL PLUMBING PLAN FOR CONNECTION LOCATION.
- 12"x4" TAPPING SLEEVE WITH 4" TAPPING VALVE W/ BOX PER COA STD. DWG. 2326.
- 6" WATERLINE.
- 6" TEE.
- 6" GATE VALVE W/ BOX PER COA STD. 2326.
- FIRE HYDRANT PER COA STD. DWG. 2340.
- 6" x 4" REDUCER.
- 4" GATE VALVE W/ BOX PER COA STD. DWG. 2326.
- POST INDICATOR VALVE.
- 4" FIRE LINE.
- 3/4" CONDUIT W/ PULL CORD FOR PIV SENSOR WIRE FROM BUILDING TO PIV PLACED IN SAME TRENCH ABOVE 4" WATERLINE.
- 4" 11 1/4" BEND
- FEBCO MODEL 860 REDUCED PRESSURE BACKFLOW PREVENTER WITH MODEL HB5000 HOTBOX OUTDOOR FREEZE PROTECTION OR ENGINEER APPROVED EQUAL.
- DOUBLE CLEAN OUT.
- SINGLE CLEAN OUT.
- 6" WYE.
- 6" SAS SERVICE AT 2% MIN. SLOPE.
- REMOVE AND REPLACE ASPHALT PAVING.
- FIRE DEPARTMENT CONNECTION (FDC).
- 4" TEE.
- REMOVE EXISTING FENCE AT ACCESS LANE, INSTALL EMERGENCY ACCESS RAIL GATE.

**LEGEND**

- WATER METER & BOX
- WATER SERVICE LINE
- SAS SERVICE LINE
- SAS SINGLE CLEANOUT
- SAS DOUBLE CLEANOUT
- EXISTING WATERLINE
- EXISTING SEWER LINE

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph: 505-268-8828 www.isaacson.com  
 1999 CD-101.dwg Dec 27, 2012

Architecture  
Interior  
Landscape  
Planning  
Engineering

**Dekker Perich Sabatini**

7001 Jefferson NE Suite 100  
 Albuquerque, NM 87109  
 505-781-8700  
 Fax 781-4222  
 dps@dpdesigns.com

ARCHITECT

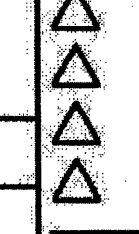
ENGINEER

**PRELIMINARY**  
10/19/12

PROJECT

**New Day Expansion**  
 2820 Ridgcrest SE  
 Albuquerque, New Mexico 87108

REVISIONS



DRAWN BY  
 REVIEWED BY  
 DATE  
 PROJECT NO. 11-0118  
 DRAWING NAME

**CONCEPTUAL UTILITY PLAN**

SHEET NO.

**SDP-6**

CITY OF ALBUQUERQUE  
 SOCCER FIELDS  
 PARKING LOT  
 (CRUSHED ROCK SURFACE)

**AFD PLANS CHECKING OFFICE**  
 924-3611  
**APPROVED/DISAPPROVED**  
 SIGNATURE & DATE

TRACT B  
 DS OF NEW DAY, INC.

TO BE BUILT UNDER  
 PUBLIC WORK ORDER

EXISTING FIRE  
 HYDRANT

RIDGECREST DR NE

CONNECT NEW 6" SAS  
 SERVICE LINE TO  
 EXISTING SERVICE LINE

NEW BUILDINGS

EXISTING BUILDING

TRACT A

EDGE OF GRAVEL

RIDGECREST DR

code information	
uniform building code (1991)	
fire zone:	N/A
occupancy type:	F-1 Congregate Residence
construction type:	5-n
MAX NO. OF STORIES: 3	
ACTUAL NO. OF STORIES: 1	
MULTI-STORY AREA: N/A	
ALLOWABLE AREA 6000 SF	
AREA INCREASE 50% SEPARATE ON TWO SIDES	
ALLOWABLE AREA 9000 SF	
TOTAL AREA 7000 SF	

February 13, 1996

**Sound Mitigation Proposal** (discussed and agreed to with Dan Warren)

In order to be sure sound from the airport is minimized in the facility, we are proposing to double or triple the sound mitigation through a variety of building techniques. These are to enhance the standard 2 x 4's with 19 R insulation. Further, the options offered will also improve energy collection and storage and privacy.

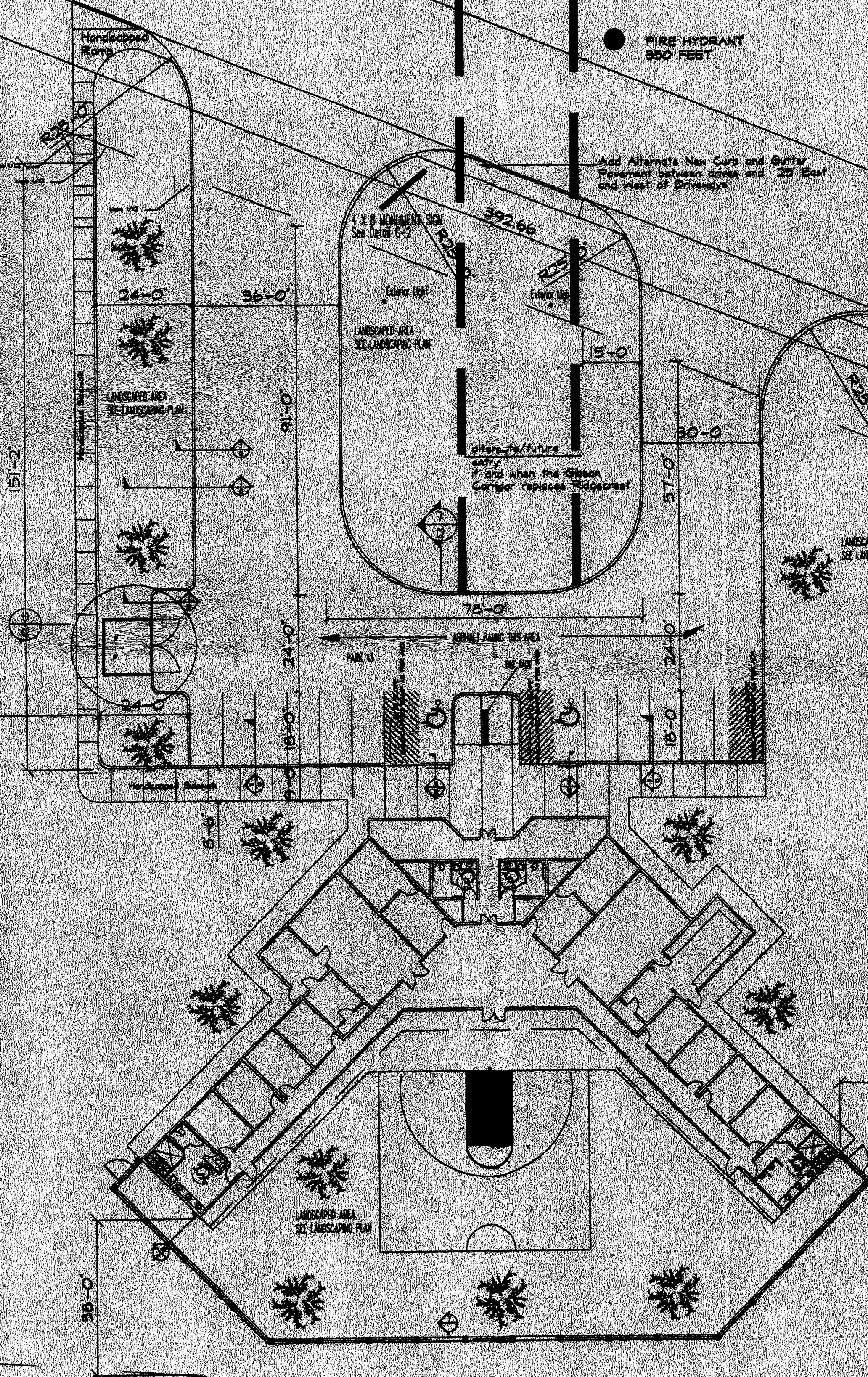
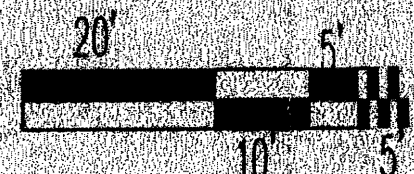
**Option A**

1. 2 x 6 walls
2. 19 R insulation (30 R in ceiling)
3. 1" foam board
4. Double pane glass south windows permanently sealed
5. 5' to 6' sound wall on the southern perimeter
6. Solid core doors
7. Vapour - caps on roof venting
8. HVAC System - fully enclosed. Smaller windows on north side of building

This Line indicates 2.5 ACRES

SITE PLAN

SCALE 1" = 20'-0"



Kevin L. Dool	10-20-95
PLANNING	
Frank D. Ryan	10-24-91
Transp. Dept.	
Dick S. Stry	4-23-96
Public Eng. Serv.	
Robert W. Kern	4-23-96
WHL - Design	

area information	
FIRST FLOOR	7000 SF
SECOND FLOOR	N/A
TOTAL	7000 SF

parking data:	
SPACES REQUIRED AT WORK AREA	13
SPACES PROVIDED	13
HC SPACES PROVIDED	2
TOTAL	13

DRB-96-101  
Proj# 1002624

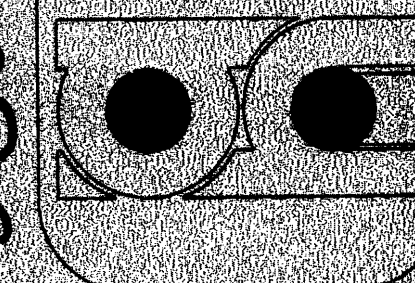
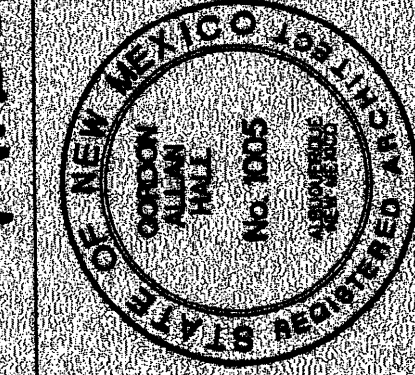
C-1

New Day Shelters  
Jeff Burrows Executive Director

FACILITY FOR ALBUQUERQUE  
NEW DAY SHELTERS

DATE: MAR 10, 1996  
REVISIONS: MAR 10, 1996  
DRAWN BY: GORDON ALLAN HALL

GORDON ALLAN HALL  
ARCHITECT  
1000  
REGISTERED



2820 RIDGECREST DR. SE

New Day Shelters

DRB-96-101  
SDP-7