






7. **Project# 1002624**
13DRB-70430 EPC APPROVED SDP
FOR BUILD PERMIT  DEKKER/PERICH/SABATINI agent(s) for NEW DAY YOUTH & FAMILY SERVICES request(s) the above action(s) for all or a portion of Lot(s) SEE ATTACHED, **SEE ATTACHED** zoned SU-1, located on 2820 RIDGE CREST DR SE containing approximately 2.5 acre(s). (M-18) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION AND TO PLANNING.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project# 1002632**
13DRB-70436 MAJOR - FINAL PLAT
APPROVAL  TIERRA WEST LLC agent(s) for FLASH RESOURCES, LLC request(s) the above action(s) for all or a portion of Tract(s) A & B, **THE BOULDERS - PHASE 2** zoned R-LT, located on UNSER BLVD NW BETWEEN PARADISE BLVD NW AND PASEO DEL NORTE NW containing approximately 43.5247 acre(s). (B-10 & B-11) **INDEFINITELY DEFERRED.**
9. **Project# 1004715**
12DRB-70333 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
13DRB-70440 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL  MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 2-10, 14-22, Block(s) 3, **JUAN TABO HILLS Unit(s) 2**, zoned R-D, located on THISTLE DOWN BETWEEN PLESANTON AND FERNDAL containing approximately 1.9525 acre(s). (M-21) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING.**
10. **Project# 1005029**
13DRB-70438 AMENDMENT TO
PRELIMINARY PLAT  ISAACSON AND ARFMAN PA agent(s) for WESTERN ALBUQUERQUE LAND HOLDINGS, LLC request(s) the above action(s) for all or a portion of Tract(s) B & J, THE CROSSING AND TRACT R, **STORMCLOUD (TBKA STORMCLOUD SUBD UNIT 4 & 5) Unit(s) 3**, zoned SU-2/R-LT, located on TIERRA PNTADA BLVD NW WEST OF UNSER BLVD NW containing approximately 55.2416 acre(s). (H-9) **THE AMENDED PRELIMINARY PLAT, AND THE AMENDED INFRASTRUCTURE LIST DATED 2/13/13 WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**
11. **Project# 1009502**
13DRB-70431 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL  CARTESIAN SURVEYS INC agent(s) for CODA ROBERSON request(s) the above action(s) for all or a portion of Tract(s) X, **Lands of Coda Roberson** zoned M-1, located on I-40, BETWEEN CAMPBELL DITCH AND 12TH ST containing approximately .6011 acre(s). (H-13) **INDEFINITELY DEFERRED. THE PROJECT # HAS BEEN CHANGED TO THE ORIGINAL NUMBER ASSIGNED FROM PROJECT # 1009576 BACK TO # 1009502 PER DRB CHAIR REQUEST.**

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1002624

Application #: 12DRB-70430

Project Name:

Agent: Dekker/Perich/Sabatini

Phone #:

Your request was approved on 2-13-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign):

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.



DRB CASE ACTION LOG (PREL & FINAL)-
REVISED 2/5/04

Completed
3/9/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00243 (P&F)

Project # 1002624

Project Name: NEW DAY SHELTER

Agent: Jeff Mortensen & Associates

Phone No.: 345-4250

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3/3/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required. OKAY**
- Copy of recorded plat for Planning.**

Project Number 1002624

1330 San Pedro

Suit 201B

401215

87110

5



DRB CASE ACTION LOG (SITE PLAN SUB & SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **04DRB-00239 (SPS) and 04DRB-00240 (SBP)**

Project # **1002624**

Project Name: **NEW DAY SHELTER**

Agent: **Dekker/Perich/Sabatini**

Phone No.: **761-9700**

Your request for ~~(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN)~~, was approved on 3/3/04 by the DRB with delegation of signature(s) to the following departments
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: ADA STALLS + PLACEMENT of S.W. SITE PLANS

UTILITIES: _____

CITY ENGINEER / AMAFCA: SIA

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer
 - Recording fee (checks payable to the County Clerk). RECORDED DATE _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1002624

March 2, 2004

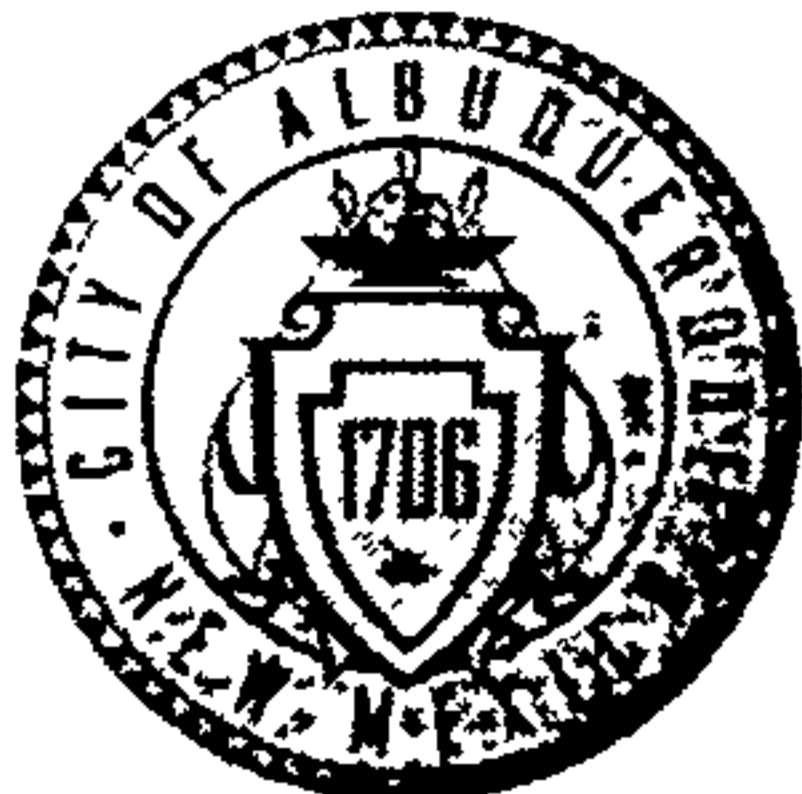
TO: Sheran Matson, DRB Chair
FROM: Juanita Vigil, Planner *JV*
SUBJECT: Project # 1002624 - New Day Youth and Family Services

#5

The EPC approved application 03EPC-00935, Site Development Plan for Subdivision and 03EPC-002050, Site Development Plan for Building Permit on January 15, 2004 with conditions. The applicant has met all of the conditions of approval.

If you should have any questions regarding this matter, please do not hesitate to contact me at 924-3349.

Thank you.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 3, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE: 1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 12:40 P.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000122**
04DRB-00174 Major-Vacation of Public Easements
04DRB-00173 Minor-Extension of Preliminary Plat
04DRB-00175 Minor-Vacation of Private Easements

KIM KEMPER, agent(s) for HIGH LONESOME RANCH request(s) the above action(s) for all or a portion of Tract(s) 1A AND 1C, EDEN LANDS (to be known as **HIGH LONESOME RANCH SUBDIVISION**, zoned RA-1 AND SU-1 for O-1 located on GABALDON RD NW, between MOUNTAIN RD NW and I-40 NW containing approximately 21 acre(s). [REF: DRB-98-146, Z-98-70, AX-98-8, 03DRB-00184, 00185 and 00186] [Deferred from 3/3/04] (H-12)
DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.

2. **Project # 1003112**
04DRB-00167 Major-Bulk Land Variance
04DRB-00168-Major-Vacation of Public
Easements
04DRB-00166 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP agent(s) for COLLATZ INC./CLIFFORD CAPITAL FUND INC request(s) the above action(s) for: A TRACT OF LAND SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTIONS 34 AND 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING ALL OF: TRACT D OF LAVA TRAILS SUBDIVISION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 5/16/2002, IN BOOK 2002C, PAGE 172; THE REMAINING "LANDS OF SLOAN" AS THE SAME IS SHOWN AND DESIGNATED ON THE SPECIAL WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 7/27/1945, IN BOOK 220, PAGE 289; THE LANDS OF BOB CARRICO AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 5/15/1972, IN BOOK D918, PAGE 551; THE LANDS OF JOE SAAVEDRA AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 5/10/1964, AS DOC #98133; THE LANDS OF ALBERT GURULE AND THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 2/17/1997, IN BOOK 97-4, PAGE 9000; PAQUIN TRAIL GRANT OF EASEMENT AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 01/14/1955, IN BOOK D302, PAGE 303; THE LANDS OF DUNCAN KIRK/DEBORAH TARPLEY AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 02/01/2002, IN BOOK A31, PAGE 4192 BUT LESS AND EXCEPTING THEREFROM THOSE LANDS GRANTED TO THE CITY OF ALBUQUERQUE IN THAT WARRANTY DEED RECORDED ON JUNE 12, 1992 IN BK. 92-13, PGS. 9944-9948; ALL BEING DESCRIBED MORE FULLY AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT D, LAVA TRAILS SUBDIVISION, A POINT LOCATED ON THE NORTHERLY RIGHT OF WAY LINE OF WESTERN TRAIL N.W. AND RUNNING THENCE N11°45'21"W, 338.72 FEET; THENCE S77°36'56"W, 127.43 FEET; THENCE N35°50'27"W, 123.47 FEET; THENCE N35°50'27"W, 66.00 FEET TO A POINT LOCATED ON THE EASTERLY RIGHT OF WAY LINE OF UNSER BLVD N.W.; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE 652.67 FEET ALONG AN 1178.00 FOOT RADIUS CURVE TO THE LEFT (CENTRAL ANGLE = 31°44'40"; CHORD BEARS N44°22'41" E, 644.35 FEET); THENCE LEAVING SAID EASTERLY RIGHT OF WAY LINE S89°34'22"E, 144.15 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF ATRISCO DRIVE N.W.; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE S11°45'40"E 793.97 FEET TO A NON-TANGENT POINT OF CURVATURE; THENCE 29.21 FEET ALONG A 50.00 FOOT RADIUS CURVE TO THE RIGHT (CENTRAL ANGLE = 33°28'34"; CHORD BEARS S05°07'51"W, 28.80 FEET); THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES: N56°53'08"W, 11.55 FEET; S33°06'52"W, 21.60 FEET; S56°53'08"E, 11.09 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF WESTERN TRAIL ROAD NW; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY LINE 30.39 FEET ALONG A 50.00 FOOT RADIUS CURVE TO THE RIGHT (CENTRAL ANGLE = 34°49'19"; CHORD BEARS S64°14'04"W, 29.92 FEET TO A POINT OF REVERSE CURVATURE; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY LINE 188.62 FEET ALONG A 2683.31 FOOT RADIUS CURVE TO THE LEFT (CENTRAL ANGLE = 04°01'39"; CHORD BEARS S79°37'54"W 188.58 FEET A POINT OF TANGENCY; THENCE S77°37'04"W, 228.57 FEET TO THE POINT OF BEGINNING, AND CONTAINING 9.0545 ACRES, MORE OR LESS, (to be known as **RINCONADA TRAILS SUBDIVISION** (formerly Western Trails Estates), zoned R-D, located on UNSER BLVD NW, between WESTERN TRAILS NW and LEGENDS AVE NW containing approximately 10 acre(s). [REF:SD-80-5, 03DRB-01994](F-10 & F-11) **BULK LAND VARIANCE WAS APPROVED. VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE 15-DAY APPEAL PERIOD.**

3. **Project # 1002711**
04DRB-00171 Major-Preliminary Plat Approval
04DRB-00172 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES, PA agent(s) for STV INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Lot(s) 7-12 AND 21-26, Block(s) 27, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B, (to be known as **OAKLAND ESTATES**) zoned R-D residential and related uses zone, developing area, located on EAGLE ROCK AVE NE, between SAN PEDRO BLVD NE and LOUISIANA BLVD NE containing approximately 11 acre(s). [REF: 03EPC-00907 & 00908, 03EPC-00915, 04DRB-00067, 1003099] [*Deferred from 3/3/04*] (C-18) **DEFERRED AT AGENT'S REQUEST TO 3/10/04.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

4. **Project # 1000651**
04DRB-00246 Minor-SiteDev Plan BldPermit/EPC
- TIERRA WEST LLC agent(s) for TIJERAS PLACE LLC SERIES B request(s) the above action(s) for all or a portion of Tract(s) A29A1, **TOWN OF ATRISCO GRANT NORTHEAST, UNIT 1**, zoned SU-1 FOR PLANNED DEVELOPMENT AREA C-1 USES, located on REDLANDS RD NW, between COORS BLVD NW and CORONA DR NW containing approximately 2 acre(s). [REF: 02EPC-01672,01673, 02DRB-01946,01947, 03DRB-00190, 03DRB-00285, 03EPC-01927] [**Makita Hill, EPC Case Planner**] [*Deferred from 3/3/04*] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 3/17/04.**

5. **Project # 1002624**
04DRB-00239 Minor-SiteDev Plan
Subd/EPC
04DRB-00240 Minor-SiteDev Plan
BldPermit/EPC

DEKKER/PERICH/SABATINI , agent(s) for NEW DAY YOUTH & FAMILY SERVICES request(s) the above action(s) for all or an Unplatted portion of Section 36, T10N, R3E, **UNPLATTED LAND, NEW DAY SHELTER**, zoned SU-1 special use zone for Short Term Shelter, located on RIDGECREST DR SE, between LOUISIANA BLVD SE and DAKOTA ST SE containing approximately 1 acre(s). [REF: 03AA-00669, 03EPC-00935, 03DRB-01223, 03EPC-02050] **[Juanita Vigil, EPC Case Planner] (M-18) THE SITE PLAN FOR SUBDIVISION AND SITE PLAN FOR BUILDING PERMIT WERE APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND TRANSPORTATION DEVELOPMENT FOR ADA STALLS AND PLACEMENT OF SIDEWALKS ON SITE PLANS.**

- 04DRB-00243 Minor-Prelim&Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for NEW DAY YOUTH & FAMILY SERVICES request(s) the above action(s) for all or an Unplatted portion of Section 36, T10N, R3E, **UNPLATTED LAND, NEW DAY SHELTER**, zoned SU-1 special use zone for Short Term Shelter, located on RIDGECREST DR SE, between LOUISIANA BLVD SE and DAKOTA ST SE containing approximately 1 acre(s). [REF: 03AA-00669, 03EPC-00935, 03DRB-01223, 03EPC-02050] (M-18) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

6. **Project # 1003054**
04DRB-00226 Minor-SiteDev Plan
BldPermit
04DRB-00227 Minor-Prelim&Final Plat
Approval

MECHENBIER CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 36 & 37, **RICHFIELD PARK**, zoned IP, located on WASHINGTON NE, between BALLOON MUSEUM DR NE and JEFFERSON ST NE containing approximately 2 acre(s). [REF: Z-85-70-1, Z-82-86, DRB-94-339, 03DRB-01804] [*Listed under Project #1003086 in error*] (C-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ADA STALL DIMENSIONS, PARKING BUMPERS AND ADA RAMP CONFIGURATIONS AND PLANNING FOR MISCELLANEOUS COMMENTS AND INFRASTRUCTURE LIST SENTENCE AND AEHD AND SWMD SIGNATURES. PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

7. **Project # 1003100**
04DRB-00247 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for SKYE INC request(s) the above action(s) for all or a portion of Tract(s) B-1 & C-1, **ADOBE WELLS SUBDIVISION**, zoned SU-1, IP, C-2, R-2 USES, located on EAGLE RANCH RD NW, between WESTSIDE DR NW and IRVING BLVD NW containing approximately 6 acre(s). [REF: 03EPC-01921] [**Debbie Stover, EPC Case Planner**] (B-13) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE MARSHAL'S APPROVAL AND PLANNING FOR LANDSCAPE PLAN MODIFICATIONS PER D. STOVER'S COMMENTS.**

8. **Project # 1003102**
04DRB-00236 Minor-SiteDev Plan
BldPermit/EPC
- SM & R GROUP request(s) the above action(s) for all or a portion of Lot(s) 12 & 14, **ESQUIBEL - PALMER**, zoned SU-1 PRD, located on LA GRIMA DE ORO RD NE, between JUAN TABO NE and MORRIS NE containing approximately 2 acre(s). [REF: V 84-77, Z-85-103, Z-85-102-1, 03EPC-01925, 03EPC-01929] **[Makita Hill, EPC Case Planner]** *[Deferred from 3/3/04]* (F-21) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**
9. **Project # 1003262**
04DRB-00216 Minor-SiteDev Plan Subd
04DRB-00215 Minor-Prelim&Final Plat
Approval
- TIMOTHY OTT request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 11, **NORTH ALBUQUERQUE ACRES**, zoned SU-1 for M-1, located on OAKLAND NW, between SAN MATEO NW and I-25 containing approximately 2 acre(s). [REF: 04DRB-00215] *[Deferred from 2/25/04]* (C-18) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO ADDRESS PREVIOUS SITE PLAN COMMENTS. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/3/D04 THE PRELIMINARY PLAT WAS APPROVED FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**
10. **Project # 1002333**
04DRB-00209 Minor-SiteDev Plan
BldPermit/EPC
- DEKKER/PERICH/SABATINI agent(s) for THE BARRETT FOUNDATION request(s) the above action(s) for all or a portion of Block(s) 10A, Tract(s) C-1-A-2, **BELLAMAH'S PRINCESS JEANNE PARK ADDITION**, zoned C-1, located on CONSTITUTION AVE NE, between EUBANK NE and MARY ELLEN ST NE containing approximately 2 acre(s). [REF: 1002333, 02EPC-01691, 02EPC-01693, Z-870, DRB-94-619] **[Cynthia Borrego, EPC Case Planner]** *[Deferred from 2/25/04 & 3/3/04]* (J-21) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1001347**
04DRB-00245 Minor-Final Plat
Approval

ISAACSON & ARFMAN agent(s) for CURB, INC. request(s) the above action(s) for all or a portion of Tract(s) D1B, ALBUQUERQUE SOUTH (to be known as **EL RANCHO GRANDE, UNIT 8B**) zoned R-LT residential zone, located on CARTAGENA / DE ANZADR DR SW, between VALLEY VIEW DR SW and SNOW VISTA BLVD SW containing approximately 10 acre(s). [REF: 03DRB-1133 & 01134, 04DRB-00057, 04DRB-00115] *[Deferred from 3/3/04]* (M-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

12. **Project # 1002864**
04DRB-00242 Minor-Final Plat
Approval

BOHANNAN HUSTON, INC. agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) B, LANDS OF MASSACHUSETTS GENERAL HOSPITAL, **CANTA CIELO SUBDIVISION**, zoned R-LT residential zone, located on IRVING BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 20 acre(s). [REF: 03DRB-01302, 03DRB-01487, 01488; 01490, 01491] *[Deferred from 3/3/04]* (A-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

13. **Project # 1002885**
04DRB-00244 Minor-Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES, INC., agent(s) for DESERT RIDGE DEVELOPMENT LLC AND JASON & CINDY LYNN DASKALOS, request(s) the above action(s) for all or a portion of Lot(s) 10-24 AND 7-16, Easterly remaining portion of Lot 16, Block(s) 18 & 20, Unit(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 1, TRACT 3, (to be known as **OCOTILLO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, 4 DU/AC, located on HOLBROOK NE, CARMEL NE & HOLLY AVE NE, between ANAHEIM AVE NE and PASEO DEL NORTE containing approximately 24 acre(s). [REF: 03DRB-01354-01356, 02EPC-01353, 03DRB-01980, 01985] [*Deferred from 3/3/04*] (C-21) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

14. **Project # 1003264**
04DRB-00224 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for BILL WADE MOUNTAIN WEST DEV., LLC request(s) the above action(s) for all or a portion of Lot(s) 68, 69 & 72, **BREEZE AT MOUNTAIN GATE**, zoned SU-1 PRD, located on KAYLYN DR SE, between KEESHA JO AVE SE and SHAFFER CT SE containing approximately 1 acre(s). [REF: DRB 98-45, Z-70-60-1, 1000849] (L-23) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO FIELD LOCATE WATER METER BOXES THAT SERVE AFFECTED LOTS.**

15. **Project # 1002636**
03DRB-01959 Minor-Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for ROBERT SIEGLITZ request(s) the above action(s) for all or a portion of Lot(s) 24, **RICE'S DURANES ADDITION NO. 1**, zoned R-2 residential zone, located on RICE AVE NW, between RIO GRANDE BLVD NW and DURANES NW containing approximately 1 acre(s). [REF: 03DRB-01084, 03DRB-00708] [Deferred from 11/26/03, Final plat was indefinitely deferred 12/03/03] (H-13) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1003265**
04DRB-00237 Minor-Sketch Plat or Plan

WILKS CO. agent(s) for RENE LOYA DURAN request(s) the above action(s) for all or a portion of Lot(s) 2-4, Block(s) 3, **SANTA FE ADDITION**, zoned R-1 residential zone, located on BARELAS ST SW, between PACIFIC AVE SW and CROMWELL AVE SW containing approximately 1 acre(s). (K-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1001899**
04DRB-00248 Minor-Sketch Plat or Plan

BRASHER & LORENZ INC agent(s) for GARY TIPTON request(s) the above action(s) for all or a portion of Tract(s) 7, **LA VILLITA SUBDIVISION**, zoned SU-1, PRD, located EAST OF LA VILLITA NE, SOUTH OF CANDELARIA NE and EAST OF TRAMWAY NE containing approximately 2 acre(s). [Listed under Project #1003268 in error] (H-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. ADJOURNED: 12:40 P.M.

AGIS ELECTRONIC APPROVAL FORM

DRB Project Case #: 1002624

Subdivision Name: Lands of New Day Inc. - Tracts A & B

Surveyor: Charles G. Cala, Jr.

Company/Agent: Jeff Mortensen & Associates, Inc.

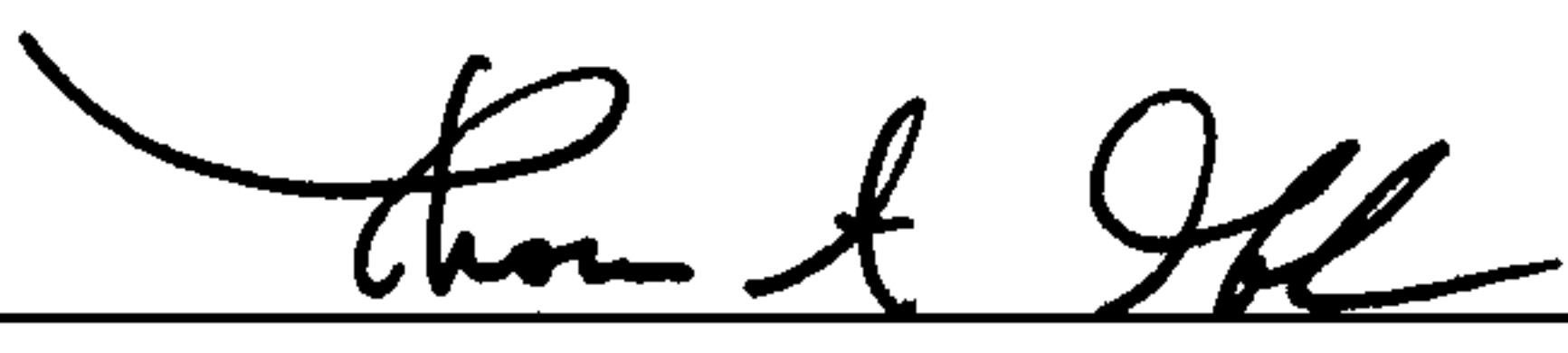
Contact Person: Debbie Trujillo E-mail: dtrujillo@jmainc.org

Phone: _____ Fax: _____

DXF Received Date: 2/25/2004

Hard-Copy Date: 2/25/2004

Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other


Approved

2/25/04
Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only

Copied cov2624 to agiscov on 2/25/2004. Contact person notified on 2/25/2004



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 3, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE: 1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:40 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000122**
04DRB-00174 Major-Vacation of Public Easements
04DRB-00173 Minor-Extension of Preliminary Plat
04DRB-00175 Minor-Vacation of Private Easements
KIM KEMPER, agent(s) for HIGH LONESOME RANCH request(s) the above action(s) for all or a portion of Tract(s) 1A AND 1C, EDEN LANDS (to be known as **HIGH LONESOME RANCH SUBDIVISION**, zoned RA-1 AND SU-1 for O-1 located on GABALDON RD NW, between MOUNTAIN RD NW and I-40 NW containing approximately 21 acre(s). [REF: DRB-98-146, Z-98-70, AX-98-8, 03DRB-00184, 00185 and 00186] [Deferred from 3/3/04] (H-12) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

2. **Project # 1003112**
04DRB-00167 Major-Bulk Land Variance
04DRB-00168-Major-Vacation of Public
Easements
04DRB-00166 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP agent(s) for COLLATZ INC./CLIFFORD CAPITAL FUND INC request(s) the above action(s) for: A TRACT OF LAND SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTIONS 34 AND 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING ALL OF: TRACT D OF LAVA TRAILS SUBDIVISION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 5/16/2002, IN BOOK 2002C, PAGE 172; THE REMAINING "LANDS OF SLOAN" AS THE SAME IS SHOWN AND DESIGNATED ON THE SPECIAL WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 7/27/1945, IN BOOK 220, PAGE 289; THE LANDS OF BOB CARRICO AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 5/15/1972, IN BOOK D918, PAGE 551; THE LANDS OF JOE SAAVEDRA AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 5/10/1964, AS DOC #98133; THE LANDS OF ALBERT GURULE AND THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 2/17/1997, IN BOOK 97-4, PAGE 9000; PAQUIN TRAIL GRANT OF EASEMENT AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 01/14/1955, IN BOOK D302, PAGE 303; THE LANDS OF DUNCAN KIRK/DEBORAH TARPLEY AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 02/01/2002, IN BOOK A31, PAGE 4192 BUT LESS AND EXCEPTING THEREFROM THOSE LANDS GRANTED TO THE CITY OF ALBUQUERQUE IN THAT WARRANTY DEED RECORDED ON JUNE 12, 1992 IN BK. 92-13, PGS. 9944-9948; ALL BEING DESCRIBED MORE FULLY AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT D, LAVA TRAILS SUBDIVISION, A POINT LOCATED ON THE NORTHERLY RIGHT OF WAY LINE OF WESTERN TRAIL N.W. AND RUNNING THENCE N11°45'21"W, 338.72 FEET; THENCE S77°36'56"W, 127.43 FEET; THENCE N35°50'27"W, 123.47 FEET; THENCE N35°50'27"W, 66.00 FEET TO A POINT LOCATED ON THE EASTERLY RIGHT OF WAY LINE OF UNSER BLVD N.W.; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE 652.67 FEET ALONG AN 1178.00 FOOT RADIUS CURVE TO THE LEFT (CENTRAL ANGLE = 31°44'40"; CHORD BEARS N44°22'41" E, 644.35 FEET); THENCE LEAVING SAID EASTERLY RIGHT OF WAY LINE S89°34'22"E, 144.15 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF ATRISCO DRIVE N.W.; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE S11°45'40"E 793.97 FEET TO A NON-TANGENT POINT OF CURVATURE; THENCE 29.21 FEET ALONG A 50.00 FOOT RADIUS CURVE TO THE RIGHT (CENTRAL ANGLE = 33°28'34"; CHORD BEARS S05°07'51"W, 28.80 FEET); THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES: N56°53'08"W, 11.55 FEET; S33°06'52"W, 21.60 FEET; S56°53'08"E, 11.09 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF WESTERN TRAIL ROAD NW; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY LINE 30.39 FEET ALONG A 50.00 FOOT RADIUS CURVE TO THE RIGHT (CENTRAL ANGLE = 34°49'19"; CHORD BEARS S64°14'04"W, 29.92 FEET TO A POINT OF REVERSE CURVATURE; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY LINE 188.62 FEET ALONG A 2683.31 FOOT RADIUS CURVE TO THE LEFT (CENTRAL ANGLE = 04°01'39"; CHORD BEARS S79°37'54"W 188.58 FEET A POINT OF TANGENCY; THENCE S77°37'04"W, 228.57 FEET TO THE POINT OF BEGINNING, AND CONTAINING 9.0545 ACRES, MORE OR LESS, (to be known as **RINCONADA TRAILS SUBDIVISION** (formerly Western Trails Estates), zoned R-D, located on UNSER BLVD NW, between WESTERN TRAILS NW and LEGENDS AVE NW containing approximately 10 acre(s). [REF:SD-80-5, 03DRB-01994](F-10 & F-11) **BULK LAND VARIANCE WAS APPROVED. VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE 15-DAY APPEAL PERIOD.**

3. **Project # 1002711**
04DRB-00171 Major-Preliminary Plat
Approval
04DRB-00172 Minor-Temp Defer
SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for STV INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Lot(s) 7-12 AND 21-26, Block(s) 27, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B, (to be known as **OAKLAND ESTATES**) zoned R-D residential and related uses zone, developing area, located on EAGLE ROCK AVE NE, between SAN PEDRO BLVD NE and LOUISIANA BLVD NE containing approximately 11 acre(s). [REF: 03EPC-00907 & 00908, 03EPC-00915, 04DRB-00067, 1003099] [*Deferred from 3/3/04*] (C-18) **DEFERRED AT AGENT'S REQUEST TO 3/10/04.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

4. **Project # 1000651**
04DRB-00246 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for TIJERAS PLACE LLC SERIES B request(s) the above action(s) for all or a portion of Tract(s) A29A1, **TOWN OF ATRISCO GRANT NORTHEAST, UNIT 1**, zoned SU-1 FOR PLANNED DEVELOPMENT AREA C-1 USES, located on REDLANDS RD NW, between COORS BLVD NW and CORONA DR NW containing approximately 2 acre(s). [REF: 02EPC-01672,01673, 02DRB-01946,01947, 03DRB-00190, 03DRB-00285, 03EPC-01927] [**Makita Hill, EPC Case Planner**] [*Deferred from 3/3/04*] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 3/17/04.**

5. **Project # 1002624**
04DRB-00239 Minor-SiteDev Plan
Subd/EPC
04DRB-00240 Minor-SiteDev Plan
BldPermit/EPC

DEKKER/PERICH/SABATINI , agent(s) for NEW DAY YOUTH & FAMILY SERVICES request(s) the above action(s) for all or an Unplatted portion of Section 36, T10N, R3E, **UNPLATTED LAND, NEW DAY SHELTER**, zoned SU-1 special use zone for Short Term Shelter, located on RIDGECREST DR SE, between LOUISIANA BLVD SE and DAKOTA ST SE containing approximately 1 acre(s). [REF: 03AA-00669, 03EPC-00935, 03DRB-01223, 03EPC-02050] **[Juanita Vigil, EPC Case Planner] (M-18) THE SITE PLAN FOR SUBDIVISION AND SITE PLAN FOR BUILDING PERMIT WERE APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND TRANSPORTATION DEVELOPMENT FOR ADA STALLS AND PLACEMENT OF SIDEWALKS ON SITE PLANS.**

~~04DRB-00243 Minor Prelim&Final Plat~~
~~Approval~~

JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for NEW DAY YOUTH & FAMILY SERVICES request(s) the above action(s) for all or an Unplatted portion of Section 36, T10N, R3E, **UNPLATTED LAND, NEW DAY SHELTER**, zoned SU-1 special use zone for Short Term Shelter, located on RIDGECREST DR SE, between LOUISIANA BLVD SE and DAKOTA ST SE containing approximately 1 acre(s). [REF: 03AA-00669, 03EPC-00935, 03DRB-01223, 03EPC-02050] (M-18) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

6. **Project # 1003054**
04DRB-00226 Minor-SiteDev Plan
BldPermit
04DRB-00227 Minor-Prelim&Final Plat
Approval

MECHENBIER CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 36 & 37, **RICHFIELD PARK**, zoned IP, located on WASHINGTON NE, between BALLOON MUSEUM DR NE and JEFFERSON ST NE containing approximately 2 acre(s). [REF: Z-85-70-1, Z-82-86, DRB-94-339, 03DRB-01804] *[Listed under Project #1003086 in error]* (C-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ADA STALL DIMENSIONS, PARKING BUMPERS AND ADA RAMP CONFIGURATIONS AND PLANNING FOR MISCELLANEOUS COMMENTS AND INFRASTRUCTURE LIST SENTENCE AND AEHD AND SWMD SIGNATURES. PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

7. **Project # 1003100**
04DRB-00247 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for SKYE INC request(s) the above action(s) for all or a portion of Tract(s) B-1 & C-1, **ADOBE WELLS SUBDIVISION**, zoned SU-1, IP, C-2, R-2 USES, located on EAGLE RANCH RD NW, between WESTSIDE DR NW and IRVING BLVD NW containing approximately 6 acre(s). [REF: 03EPC-01921] **[Debbie Stover, EPC Case Planner]** (B-13) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE MARSHAL'S APPROVAL AND PLANNING FOR LANDSCAPE PLAN MODIFICATIONS PER D. STOVER'S COMMENTS.**

8. **Project # 1003102**
04DRB-00236 Minor-SiteDev Plan
BldPermit/EPC
- SM & R GROUP request(s) the above action(s) for all or a portion of Lot(s) 12 & 14, **ESQUIBEL - PALMER**, zoned SU-1 PRD, located on LA GRIMA DE ORO RD NE, between JUAN TABO NE and MORRIS NE containing approximately 2 acre(s). [REF: V 84-77, Z-85-103, Z-85-102-1, 03EPC-01925, 03EPC-01929] **[Makita Hill, EPC Case Planner]** *[Deferred from 3/3/04]* (F-21) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**
9. **Project # 1003262**
04DRB-00216 Minor-SiteDev Plan Subd
04DRB-00215 Minor-Prelim&Final Plat
Approval
- TIMOTHY OTT request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 11, **NORTH ALBUQUERQUE ACRES**, zoned SU-1 for M-1, located on OAKLAND NW, between SAN MATEO NW and I-25 containing approximately 2 acre(s). [REF: 04DRB-00215] *[Deferred from 2/25/04]* (C-18) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO ADDRESS PREVIOUS SITE PLAN COMMENTS. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/3/04 THE PRELIMINARY PLAT WAS APPROVED FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**
10. **Project # 1002333**
04DRB-00209 Minor-SiteDev Plan
BldPermit/EPC
- DEKKER/PERICH/SABATINI agent(s) for THE BARRETT FOUNDATION request(s) the above action(s) for all or a portion of Block(s) 10A, Tract(s) C-1-A-2, **BELLAMAH'S PRINCESS JEANNE PARK ADDITION**, zoned C-1, located on CONSTITUTION AVE NE, between EUBANK NE and MARY ELLEN ST NE containing approximately 2 acre(s). [REF: 1002333, 02EPC-01691, 02EPC-01693, Z-870, DRB-94-619] **[Cynthia Borrego, EPC Case Planner]** *[Deferred from 2/25/04 & 3/3/04]* (J-21) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

• **MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

11. **Project # 1001347**
04DRB-00245 Minor-Final Plat
Approval

ISAACSON & ARFMAN agent(s) for CURB, INC. request(s) the above action(s) for all or a portion of Tract(s) D1B, ALBUQUERQUE SOUTH (to be known as **EL RANCHO GRANDE, UNIT 8B**) zoned R-LT residential zone, located on CARTAGENA / DE ANZADR DR SW, between VALLEY VIEW DR SW and SNOW VISTA BLVD SW containing approximately 10 acre(s). [REF: 03DRB-1133 & 01134, 04DRB-00057, 04DRB-00115] *[Deferred from 3/3/04]* (M-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

12. **Project # 1002864**
04DRB-00242 Minor-Final Plat
Approval

BOHANNAN HUSTON, INC. agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) B, LANDS OF MASSACHUSETTS GENERAL HOSPITAL, **CANTA CIELO SUBDIVISION**, zoned R-LT residential zone, located on IRVING BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 20 acre(s). [REF: 03DRB-01302, 03DRB-01487, 01488, 01490, 01491] *[Deferred from 3/3/04]* (A-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

13. **Project # 1002885**
04DRB-00244 Minor-Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES, INC., agent(s) for DESERT RIDGE DEVELOPMENT LLC AND JASON & CINDY LYNN DASKALOS, request(s) the above action(s) for all or a portion of Lot(s) 10-24 AND 7-16, Easterly remaining portion of Lot 16, Block(s) 18 & 20, Unit(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 1, TRACT 3, (to be known as **OCOTILLO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, 4 DU/AC, located on HOLBROOK NE, CARMEL NE & HOLLY AVE NE, between ANAHEIM AVE NE and PASEO DEL NORTE containing approximately 24 acre(s). [REF: 03DRB-01354-01356, 02EPC-01353, 03DRB-01980, 01985] [*Deferred from 3/3/04*] (C-21) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

14. **Project # 1003264**
04DRB-00224 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for BILL WADE MOUNTAIN WEST DEV., LLC request(s) the above action(s) for all or a portion of Lot(s) 68, 69 & 72, **BREEZE AT MOUNTAIN GATE**, zoned SU-1 PRD, located on KAYLYN DR SE, between KEESHA JO AVE SE and SHAFFER CT SE containing approximately 1 acre(s). [REF: DRB 98-45, Z-70-60-1, 1000849] (L-23) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO FIELD LOCATE WATER METER BOXES THAT SERVE AFFECTED LOTS.**

15. **Project # 1002636**
03DRB-01959 Minor-Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for ROBERT SIEGLITZ request(s) the above action(s) for all or a portion of Lot(s) 24, **RICE'S DURANES ADDITION NO. 1**, zoned R-2 residential zone, located on RICE AVE NW, between RIO GRANDE BLVD NW and DURANES NW containing approximately 1 acre(s). [REF: 03DRB-01084, 03DRB-00708] [Deferred from 11/26/03, Final plat was indefinitely deferred 12/03/03] (H-13) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1003265**
04DRB-00237 Minor-Sketch Plat or Plan

WILKS CO. agent(s) for RENE LOYA DURAN request(s) the above action(s) for all or a portion of Lot(s) 2-4, Block(s) 3, **SANTA FE ADDITION**, zoned R-1 residential zone, located on BARELAS ST SW, between PACIFIC AVE SW and CROMWELL AVE SW containing approximately 1 acre(s). (K-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1001899**
04DRB-00248 Minor-Sketch Plat or Plan

BRASHER & LORENZ INC agent(s) for GARY TIPTON request(s) the above action(s) for all or a portion of Tract(s) 7, **LA VILLITA SUBDIVISION**, zoned SU-1, PRD, located EAST OF LA VILLITA NE, SOUTH OF CANDELARIA NE and EAST OF TRAMWAY NE containing approximately 2 acre(s). [Listed under Project #1003268 in error] (H-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. ADJOURNED: 12:40 P.M.



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00243 (P&F)

Project # 1002624

Project Name: NEW DAY SHELTER

Agent: Jeff Mortensen & Associates

Phone No. 345-4250

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3/9/04 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

- _____
- _____
- _____
- _____

UTILITIES: _____

- _____
- _____
- _____

CITY ENGINEER / AMAFCA: _____

- _____
- _____
- _____

PARKS / CIP: _____

- _____
- _____
- _____

PLANNING (Last to sign): _____

- _____
- _____
- _____

Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). RECORDED DATE: _____

-Tax printout from the County Assessor.

Include 3 copies of the approved site plan ~~along with the originals.~~

County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required. *okay*

Copy of recorded plat for Planning.

Project Number

1002624



Supplemental Form (SF)

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Vacation	<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
SITE DEVELOPMENT PLAN	P
<input type="checkbox"/> for Subdivision	<input type="checkbox"/> Street Name Change (Local & Collector)
<input checked="" type="checkbox"/> for Building Permit	L A APPEAL / PROTEST of...
<input type="checkbox"/> Administrative Amendment/Approval (AA)	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> IP Master Development Plan	
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	
STORM DRAINAGE (Form D)	
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): DEKKER/PERICH/SABATINI PHONE: 505-761-9700
 ADDRESS: 7601 JEFFERSON NE SUITE 100 FAX: 761-4222
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: Panm@dpsdesign.org

APPLICANT: NEW DAY YOUTH & FAMILY SERVICES PHONE: 505-260-9912
 ADDRESS: 1330 SAN PEDRO NE STE. 201 B FAX: 260-9934
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Tract No. WESTERLY PORTION OF TRACT A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: PLAT OF TRACTS A AND B LANDS OF NEW DAY
 Existing Zoning: SU-1 Proposed zoning: SU-1 MRGCD Map No. _____
 Zone Atlas page(s): M-18.2 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): PROJECT # 1002624
12 EPC-40066, DRB-96-101, PROJECT # 002024 LOT SPLIT

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 2.5
 LOCATION OF PROPERTY BY STREETS: On or Near: 2820 RIDGECREST DR. SE
 Between: LOUISIANA and SAN PEDRO

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Dan Monk DATE 2.4.13
 (Print Name) DAN MONK Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>13DRB-70430</u>	<u>SBP</u>	_____	\$ <u>2</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CNF</u>	_____	\$ <u>20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____

Hearing date February 13, 2013

Project # 1002624

[Signature]
 Staff signature & Date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01) **Maximum Size: 24" x 36"**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)

- N/A 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
- N/A Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DAN MONK
Applicant name (print)
Daniel F. Monk 2-4-13
Applicant signature / date



Form revised **October 2007**

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
13DRB - 70430

Kufer 2-4-13
Planner signature / date
Project # 1002624

FORM P(3): SITE PLAN REVIEW - ...B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - N/A** 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center. Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - N/A** Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions

DAN MONK
 Applicant name (print)
Daniel A. Monk 2-4-13
 Applicant signature / date



Form revised **October 2007**

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
13DRB - 70430

Kufner 2-4-13
 Planner signature / date
 Project # 1002624

2/4/2013

Mr. Jack Cloud
Chairman, Design Review Board
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, New Mexico 87103

Re: Project# 1002624, 12EPC-40066 Site Development Plan for Building Permit

Mr. Cloud,

On November 8, 2012, the Environmental Planning Commission approved Project 100264/12EPC-40066, Site Development Plan for Building Permit with Conditions to build approximately 6,000 square feet of additional space at the New Day Shelter. The proposed site is located 2820 Ridgecrest SE, near the southwest intersection of Louisiana and Ridgecrest. The site is currently zoned SU-1 for Short Term Shelter. The site is bordered by Bullhead Park to the south and west, the Siesta Hills Neighborhood on the north side of Ridgecrest, and Kirtland Air Force Base further south and east.

The current site is approximately 2.5 acres, with one existing building - the New Day 7,000 square foot shelter. The proposal is to add approximately 6,000 square feet of new space to the site. The Life Skills Academy will constitute approximately 3,703 square feet of new educational space. Connected to the Life Skills Academy will be six short term transitional living housing units, totaling about 2,233 square feet total. These units are designed for individuals 18-21 years old, for short term occupancy, up to six months. New Day projects that the residential units will house approximately 10-12 youths over the course of a year. The units will be actively managed by New Day staff.

The following modifications have been made to the site plan since the EPC hearing to address the Conditions included in the Official Notification of Decision dated November 13, 2012. Additional changes have also been made to the site plan in order to satisfy specific requirements from the City of Albuquerque Fire Department. The changes required by the Fire Departments are listed below under item number 7.

CONDITIONS:

1. This letter
2. Meeting was held with COA Planner Randall Falkner on 2/1/13.
3. Landscaping SDP-3
 - a. Note is now included on landscape plan indicating removal of existing landscaping in the same area as the proposed parking.
 - b. General Note Added to SDP-3 stating: "New trees shall be located to not conflict with new pole mounted parking area lighting".
4. Changed word "Screen" to "Screened", sheet SDP-1, Project Data, Screening, 2nd Sentence.
5. City Engineer, Municipal Development, Hydrology and NMDOT:
 - a. Permanent improvements to transportation facilities: At meeting with Richard Duorte, City Engineer held on November 29, 2012, street improvements were discussed and determined not to be warranted at this time.
 - b. Existing project sign encroaches into COA right-of-way. Note was added to SDP-1 site plan indicating that existing sign will be removed.
 - c. Provide detail for milled asphalt surface. Detail was added to SDP-2.
 - d. Site plan shall comply with DPD and ADA standards and details. Acknowledge. Site Plan will comply with standards and requirements listed.
 - e. Provide/label/detail all dimensions, classifications and proposed infrastructure for on-site. Acknowledge.

- f. Show easements on site plan. No recorded easements found for this property through document search performed by surveyor.
 - g. Hydrology comment: Acknowledged.
6. PNM :
- a. Overhead electrical distribution line and existing easements. No easements were found for this property.
 - b. Coordination with PNM. Applicant will coordinate with PNM's New Service Delivery Department regarding proposed tree location and height, sign location and height, and lighting height to ensure safety clearances.
 - c. Screening. Acknowledge. No screening is proposed surrounding ground mounted transformers and utility pads.
7. Fire Department Changes:
- a. New hydrant located on south side of Ridgecrest. Hydrant is shown on Site Plan SDP-1 and Utility Plan SDP-6.
 - b. Backflow preventer and hot box device location shown on SDP-6
 - c. Changed fire line size to 6" shown on SDP-6
 - d. Fire Department Connection. FPD is shown on SDP-1 and SDP-6

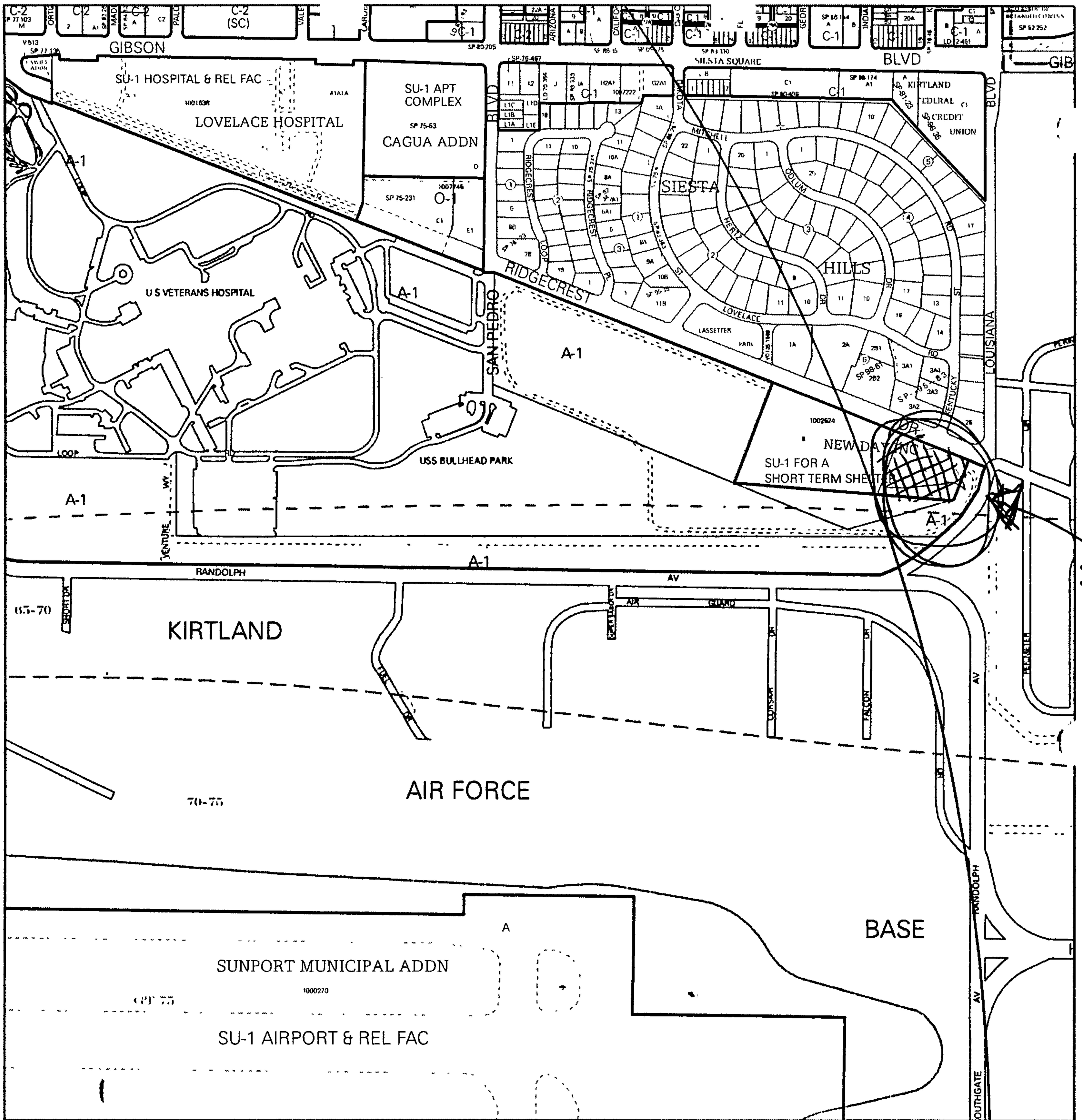
We respectfully request approval of the Site Development Plan for Building Permit. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Dan Monk
Associate



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
M-18-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

November 13, 2012

New Day Youth & Family Services
1330 San Pedro NE Suite 201-B
Albuquerque, NM 87110

Project# 1002624 *
12EPC-40066 Site Development Plan for
Building Permit

LEGAL DESCRIPTION:

For all or a portion of Tract A, Lands of New Day Inc., located on 2820 Ridgecrest Drive SE, between Louisiana Blvd. SE and San Pedro Dr. SE, containing approximately 2.5 acres.
Randall Falkner, Planner

On November 8, 2012, the Environmental Planning Commission voted to APPROVE Project 1002624/12EPC-40066, a request for a Site Development Plan for Building Permit, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Tract A, Lands of New Day Inc., a site of approximately 2.5 acres, located on Ridgecrest Drive SE, between Louisiana Boulevard SE and San Pedro Drive SE.
2. The applicant intends to build approximately 6,000 square feet of new space to the site, which will consist of the Life Skills Academy (3,703 s.f. of educational space) and short term residential units (2,233 s.f., 6 studio units). The existing site contains a 7,000 s.f. shelter for runaway and homeless youth.
3. The site is located in the Established Urban Area of the Comprehensive Plan. The site is not located in an Area or Sector Development Plan. The current zoning for the site is SU-1 for A Short Term Shelter.

OFFICIAL NOTICE OF DECISION

Project #1002624

November 8, 2012

Page 2 of 5

4. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The request furthers the following policies of the Comprehensive Plan:
 - a. Policy II.B.5d – The request generally respects neighborhood values. The request has minimal impacts on natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.
 - b. Policy II.B.5e – Full urban services are currently available to the proposed subject site, and the integrity of the existing neighborhood would be ensured by adding uses that would not harm the neighborhood. The site is somewhat isolated as the property to the west is vacant and there is a park (Bullhead Park) to the south and east. There is a residential neighborhood to the north across Ridgecrest Drive, but the site has been planned to maintain the integrity of existing neighborhoods.
 - c. Policy II.B.5i – Adverse effects of development (lighting, pollution, traffic, and noise) have been minimized by appropriate site design. The applicant has provided extensive landscaping on the northern portion of the site that faces the single family neighborhood.
 - d. Policy II.B.5k – The request has been designed to minimize harmful effects of traffic, and livability and safety of established residential neighborhoods are protected in transportation planning and operation.
 - e. Policy II.D.8c – The site has been designed to have minimal negative effects upon individuals and neighborhoods. The site is mostly surrounded by County land zoned A-1. The lighting, noise, and traffic is mostly confined to the subject site and landscaping around the site provides buffering from adjacent properties.
6. There is no known neighborhood opposition to the request.

CONDITIONS

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION

Project #1002624

November 8, 2012

Page 3 of 5

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Landscaping:
 - a. The landscape plan shows some existing landscaping located in the same area as the proposed parking lot and sidewalk that connects the buildings and the street. A note shall be included on the landscape plan that this landscaping will be removed.
 - b. Trees shall not be in conflict with proposed external lighting.
4. Site Development Plan for Building Permit, Project Data, Screening, 2nd sentence, change the word "Screen" to "Screened".
5. Conditions of approval from City Engineer, Municipal Development, Hydrology and NMDOT:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - b. Existing project sign encroaches into COA right-of-way, please provide a solution of either obtaining a Revocable Permit (encroachment) or relocating sign into private property.
 - c. Keyed Note 27 specifies 4" thick milled asphalt surface, a detail will need to be provided to define this.
 - d. Site plan shall comply and be in accordance with DPM (Development Process Manual) and current ADA standards/ requirements.
 - e. Provide/label/detail all dimensions, classifications and proposed infrastructure for on-site.
 - f. All easements need to be shown and labeled on Site Plan.
 - g. Hydrology agrees with the drainage concept to control runoff to historic levels.
6. Conditions of approval from Public Service Company of New Mexico:
 - a. There is an existing overhead electric distribution line along the property at Ridgecrest SE. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
 - b. It will be necessary for the applicant to coordinate with PNM's New Service Delivery Department with the applicant regarding proposed tree location and height, sign location and height, and lighting height in order to ensure sufficient safety clearances.

OFFICIAL NOTICE OF DECISION

Project #1002624

November 8, 2012

Page 4 of 5

- c. Screening should be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 26, 2012 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting a written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven

OFFICIAL NOTICE OF DECISION

Project #1002624

November 8, 2012

Page 5 of 5

years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,

Suzanne Lubar
Acting Director, Planning Department

SL/RF/mc

cc: Daniel Monk, Dekker/Perich/Sabatini, 7601 Jefferson NE Suite 100, Albuquerque, NM 7109
Francie Straw, 6311 Lovelace Road SE, Albuquerque, NM 87108
Nancy Bearce, 600 San Pablo Street NE, Albuquerque, NM 87108
Don Daigle, 6412 Mitchell SE, Albuquerque, NM 87108
Marian Jordan, 816 Arizona SE, Albuquerque, NM 87108

2/4/2013

Mr. Jack Cloud
Chairman, Design Review Board
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, New Mexico 87103

Re: Project# 1002624, 12EPC-40066 Site Development Plan for Building Permit

Mr. Cloud,

On November 8, 2012, the Environmental Planning Commission approved Project 100264/12EPC-40066, Site Development Plan for Building Permit with Conditions to build approximately 6,000 square feet of additional space at the New Day Shelter. The proposed site is located 2820 Ridgecrest SE, near the southwest intersection of Louisiana and Ridgecrest. The site is currently zoned SU-1 for Short Term Shelter. The site is bordered by Bullhead Park to the south and west, the Siesta Hills Neighborhood on the north side of Ridgecrest, and Kirtland Air Force Base further south and east.

The current site is approximately 2.5 acres, with one existing building - the New Day 7,000 square foot shelter. The proposal is to add approximately 6,000 square feet of new space to the site. The Life Skills Academy will constitute approximately 3,703 square feet of new educational space. Connected to the Life Skills Academy will be six short term transitional living housing units, totaling about 2,233 square feet total. These units are designed for individuals 18-21 years old, for short term occupancy, up to six months. New Day projects that the residential units will house approximately 10-12 youths over the course of a year. The units will be actively managed by New Day staff.

The following modifications have been made to the site plan since the EPC hearing to address the Conditions included in the Official Notification of Decision dated November 13, 2012. Additional changes have also been made to the site plan in order to satisfy specific requirements from the City of Albuquerque Fire Department. The changes required by the Fire Departments are listed below under item number 7.

CONDITIONS:

1. This letter
2. Meeting was held with COA Planner Randall Falkner on 2/1/13.
3. Landscaping SDP-3
 - a. Note is now included on landscape plan indicating removal of existing landscaping in the same area as the proposed parking.
 - b. General Note Added to SDP-3 stating: "New trees shall be located to not conflict with new pole mounted parking area lighting".
4. Changed word "Screen" to "Screened", sheet SDP-1, Project Data, Screening, 2nd Sentence.
5. City Engineer, Municipal Development, Hydrology and NMDOT:
 - a. Permanent improvements to transportation facilities: Condition to include new public ROW sidewalks and curb and gutter improvements was waived by Richard Duorte, City Engineer at meeting held on November 29, 2012.
 - b. Existing project sign encroaches into COA right-of-way: Note was added to SDP-1 site plan indicating that existing sign will be removed.
 - c. Provide detail for milled asphalt surface. Detail was added to SDP-2.
 - d. Site plan shall comply with DPD and ADA standards and details. Acknowledge. Site Plan will comply with standards and requirements listed.
 - e. Provide/label/detail all dimensions, classifications and proposed infrastructure for on-site. Acknowledge.

- f. Show easements on site plan. No recorded easements found for this property through document search performed by surveyor.
 - g. Hydrology comment: Acknowledged.
6. PNM :
- a. Overhead electrical distribution line and existing easements. No easements were found for this property.
 - b. Coordination with PNM. Applicant will coordinate with PNM's New Service Delivery Department regarding proposed tree location and height, sign location and height, and lighting height to ensure safety clearances.
 - c. Screening. Acknowledge. No screening is proposed surrounding ground mounted transformers and utility pads.
7. Fire Department Changes:
- a. New hydrant located on south side of Ridgecrest. Hydrant is shown on Site Plan SDP-1 and Utility Plan SDP-6.
 - b. Backflow preventer and hot box device location shown on SDP-6
 - c. Changed fire line size to 6" shown on SDP-6
 - d. Fire Department Connection. FPD is shown on SDP-1 and SDP-6

We respectfully request approval of the Site Development Plan for Building Permit. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Dan Monk
Associate

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Jack Cloud, DRB Chair

FROM: Randall Falkner, Planner

SUBJECT: Project # 1002624

On November 8, 2012, the Environmental Planning Commission approved Project # 1002624, 12EPC-40066, a site development plan for building permit for all or a portion of Tract A, Lands of New Day Inc., zoned SU-1 for a Short Term Shelter, located on Ridgecrest Drive SE between Louisiana Blvd. SE and San Pedro Drive NE containing approximately 2.5 acres.

The applicant has satisfied all of the EPC conditions of approval for the site development plan for building permit.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

PLANNING DEPARTMENT

OFFICIAL NOTIFICATION OF DECISION

November 13, 2012

New Day Youth & Family Services
1330 San Pedro NE Suite 201-B
Albuquerque, NM 87110

Project# 1002624 *
12EPC-40066 Site Development Plan for
Building Permit

LEGAL DESCRIPTION:

For all or a portion of Tract A, Lands of New Day Inc., located on 2820 Ridgecrest Drive SE, between Louisiana Blvd. SE and San Pedro Dr. SE, containing approximately 2.5 acres.
Randall Falkner, Planner

On November 8, 2012, the Environmental Planning Commission voted to APPROVE Project 1002624/12EPC-40066, a request for a Site Development Plan for Building Permit, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Tract A, Lands of New Day Inc., a site of approximately 2.5 acres, located on Ridgecrest Drive SE, between Louisiana Boulevard SE and San Pedro Drive SE.
2. The applicant intends to build approximately 6,000 square feet of new space to the site, which will consist of the Life Skills Academy (3,703 s.f. of educational space) and short term residential units (2,233 s.f., 6 studio units). The existing site contains a 7,000 s.f. shelter for runaway and homeless youth.
3. The site is located in the Established Urban Area of the Comprehensive Plan. The site is not located in an Area or Sector Development Plan. The current zoning for the site is SU-1 for A Short Term Shelter.

OFFICIAL NOTICE OF DECISION

Project #1002624

November 8, 2012

Page 2 of 5

4. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The request furthers the following policies of the Comprehensive Plan:
 - a. Policy II.B.5d – The request generally respects neighborhood values. The request has minimal impacts on natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.
 - b. Policy II.B.5e – Full urban services are currently available to the proposed subject site, and the integrity of the existing neighborhood would be ensured by adding uses that would not harm the neighborhood. The site is somewhat isolated as the property to the west is vacant and there is a park (Bullhead Park) to the south and east. There is a residential neighborhood to the north across Ridgecrest Drive, but the site has been planned to maintain the integrity of existing neighborhoods.
 - c. Policy II.B.5i – Adverse effects of development (lighting, pollution, traffic, and noise) have been minimized by appropriate site design. The applicant has provided extensive landscaping on the northern portion of the site that faces the single family neighborhood.
 - d. Policy II.B.5k – The request has been designed to minimize harmful effects of traffic, and livability and safety of established residential neighborhoods are protected in transportation planning and operation.
 - e. Policy II.D.8c – The site has been designed to have minimal negative effects upon individuals and neighborhoods. The site is mostly surrounded by County land zoned A-1. The lighting, noise, and traffic is mostly confined to the subject site and landscaping around the site provides buffering from adjacent properties.
6. There is no known neighborhood opposition to the request.

CONDITIONS

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION

Project #1002624

November 8, 2012

Page 3 of 5

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
 3. Landscaping:
 - a. The landscape plan shows some existing landscaping located in the same area as the proposed parking lot and sidewalk that connects the buildings and the street. A note shall be included on the landscape plan that this landscaping will be removed.
 - b. Trees shall not be in conflict with proposed external lighting.
 4. Site Development Plan for Building Permit, Project Data, Screening, 2nd sentence, change the word "Screen" to "Screened".
-
5. Conditions of approval from City Engineer, Municipal Development, Hydrology and NMDOT:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - b. Existing project sign encroaches into COA right-of-way, please provide a solution of either obtaining a Revocable Permit (encroachment) or relocating sign into private property.
 - c. Keyed Note 27 specifies 4" thick milled asphalt surface, a detail will need to be provided to define this.
 - d. Site plan shall comply and be in accordance with DPM (Development Process Manual) and current ADA standards/ requirements.
 - e. Provide/label/detail all dimensions, classifications and proposed infrastructure for on-site.
 - f. All easements need to be shown and labeled on Site Plan.
 - g. Hydrology agrees with the drainage concept to control runoff to historic levels.
 6. Conditions of approval from Public Service Company of New Mexico:
 - a. There is an existing overhead electric distribution line along the property at Ridgecrest SE. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
 - b. It will be necessary for the applicant to coordinate with PNM's New Service Delivery Department with the applicant regarding proposed tree location and height, sign location and height, and lighting height in order to ensure sufficient safety clearances.

OFFICIAL NOTICE OF DECISION

Project #1002624

November 8, 2012

Page 4 of 5

- c. Screening should be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **NOVEMBER 26, 2012** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15-DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting a written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven

OFFICIAL NOTICE OF DECISION

Project #1002624

November 8, 2012

Page 5 of 5

years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,

Suzanne Lubar
Acting Director, Planning Department

SL/RF/mc

cc: Daniel Monk, Dekker/Perich/Sabatini, 7601 Jefferson NE Suite 100, Albuquerque, NM 7109
Francie Straw, 6311 Lovelace Road SE, Albuquerque, NM 87108
Nancy Bearce, 600 San Pablo Street NE, Albuquerque, NM 87108
Don Daigle, 6412 Mitchell SE, Albuquerque, NM 87108
Marian Jordan, 816 Arizona SE, Albuquerque, NM 87108

Albuquerque Planning Department
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Site Development Plan for Building Permit; Appointment of Agent

New Day is the owner of the following property:
Tract A, Lands of New Day Inc., located at 2820 Ridgecrest Drive SE

Ladies and Gentlemen,

Please accept this letter at the appointment by the owner, New Day Youth and Family Services, and its architects, Dekker/Perich/Sabatini, as the owner's agent for the purposes of processing any land use planning applications with respect to the property.

Sincerely,



Steve Johnson
Executive Director



2/4/2013

Mr. Jack Cloud
Chairman, Design Review Board
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, New Mexico 87103

Re: Project# 1002624, 12EPC-40066 Site Development Plan for Building Permit

Mr. Cloud,

On November 8, 2012, the Environmental Planning Commission approved Project 100264/12EPC-40066, Site Development Plan for Building Permit with Conditions to build approximately 6,000 square feet of additional space at the New Day Shelter. The proposed site is located 2820 Ridgecrest SE, near the southwest intersection of Louisiana and Ridgecrest. The site is currently zoned SU-1 for Short Term Shelter. The site is bordered by Bullhead Park to the south and west, the Siesta Hills Neighborhood on the north side of Ridgecrest, and Kirtland Air Force Base further south and east.

The current site is approximately 2.5 acres, with one existing building - the New Day 7,000 square foot shelter. The proposal is to add approximately 6,000 square feet of new space to the site. The Life Skills Academy will constitute approximately 3,703 square feet of new educational space. Connected to the Life Skills Academy will be six short term transitional living housing units, totaling about 2,233 square feet total. These units are designed for individuals 18-21 years old, for short term occupancy, up to six months. New Day projects that the residential units will house approximately 10-12 youths over the course of a year. The units will be actively managed by New Day staff.

The following modifications have been made to the site plan since the EPC hearing to address the Conditions included in the Official Notification of Decision dated November 13, 2012. Additional changes have also been made to the site plan in order to satisfy specific requirements from the City of Albuquerque Fire Department. The changes required by the Fire Departments are listed below under item number 7.

CONDITIONS:

1. This letter
2. Meeting was held with COA Planner Randall Falkner on 2/1/13.
3. Landscaping SDP-3
 - a. Note is now included on landscape plan indicating removal of existing landscaping in the same area as the proposed parking.
 - b. General Note Added to SDP-3 stating: "New trees shall be located to not conflict with new pole mounted parking area lighting".
4. Changed word "Screen" to "Screened", sheet SDP-1, Project Data, Screening, 2nd Sentence.
5. City Engineer, Municipal Development, Hydrology and NMDOT:
 - a. Permanent improvements to transportation facilities: Condition to include new public ROW sidewalks and curb and gutter improvements was waived by Richard Duorte, City Engineer at meeting held on November 29, 2012.
 - b. Existing project sign encroaches into COA right-of-way. Note was added to SDP-1 site plan indicating that existing sign will be removed.
 - c. Provide detail for milled asphalt surface. Detail was added to SDP-2.
 - d. Site plan shall comply with DPD and ADA standards and details. Acknowledge. Site Plan will comply with standards and requirements listed.
 - e. Provide/label/detail all dimensions, classifications and proposed infrastructure for on-site. Acknowledge.

- f. Show easements on site plan. No recorded easements found for this property through document search performed by surveyor.
 - g. Hydrology comment: Acknowledged.
6. PNM :
- a. Overhead electrical distribution line and existing easements. No easements were found for this property.
 - b. Coordination with PNM. Applicant will coordinate with PNM's New Service Delivery Department regarding proposed tree location and height, sign location and height, and lighting height to ensure safety clearances.
 - c. Screening. Acknowledge. No screening is proposed surrounding ground mounted transformers and utility pads.
7. Fire Department Changes:
- a. New hydrant located on south side of Ridgecrest. Hydrant is shown on Site Plan SDP-1 and Utility Plan SDP-6.
 - b. Backflow preventer and hot box device location shown on SDP-6
 - c. Changed fire line size to 6" shown on SDP-6
 - d. Fire Department Connection. FPD is shown on SDP-1 and SDP-6

We respectfully request approval of the Site Development Plan for Building Permit. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Dan Monk
Associate

February 13. 2013

#####

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input checked="" type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input checked="" type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	APPEAL / PROTEST of...	A
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: New Day Youth & Family Services PHONE: 260-9912
 ADDRESS: 1330 San Pedro NE Ste. 201-B FAX: 260-9934
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: Owner
 AGENT (if any): Dekker/Perich/Sabatini PHONE: 761-9700
 ADDRESS: 6801 Jefferson Rd. NE Ste. 100 FAX: 761-4222
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: _____
 DRB FINAL SIGN-OFF FOR EPC APPROVED SDP.
 DESCRIPTION OF REQUEST: A SITE DEVELOPMENT PLAN FOR BUILDING PERMIT & SUBDIVISION FOR NEW DAY YOUTH & FAMILY SERVICES' OFFICES.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

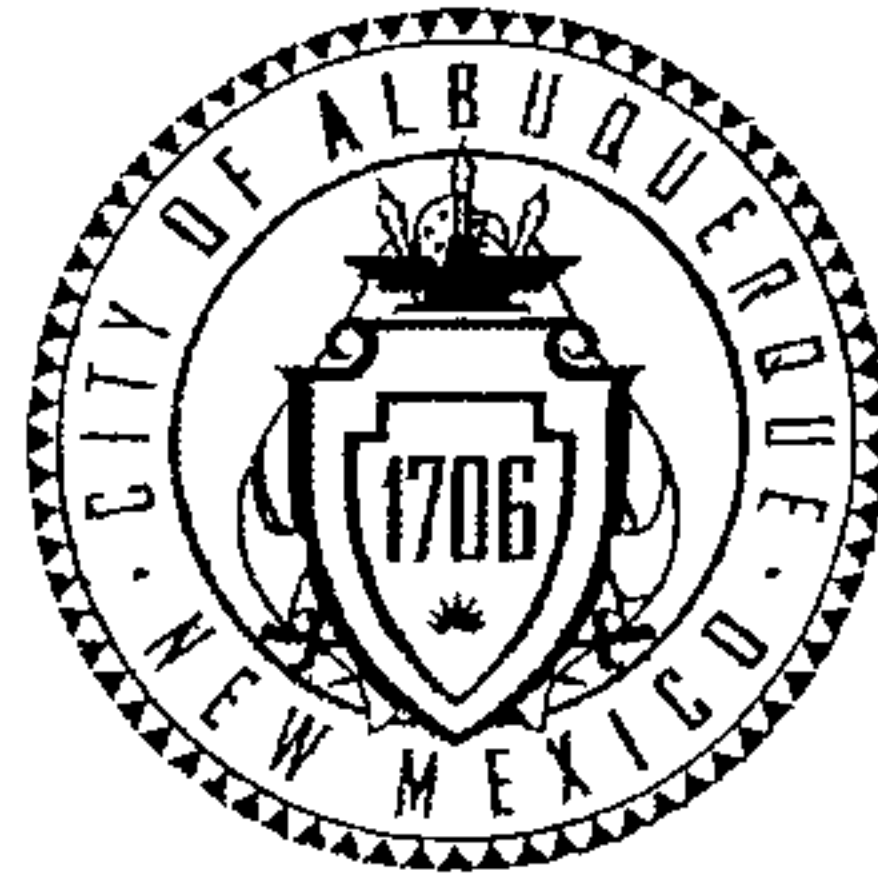
Lot or Tract No. WITHIN SECTION 36, TOWNSHIP 10N, RANGE 3E Block: _____ Unit: _____
 Subdiv. / Addn. Between Siesta Hills & Bullhead Park
 Current Zoning: SU-1 FOR SHORT TERM SHELTER Proposed zoning: UNCHANGED
 Zone Atlas page(s): M-18-2 No. of existing lots: 1 No. of proposed lots: 2
 Total area of site (acres): 9.995 ACRES Density if applicable: dwellings per gross acre: NA dwellings per net acre: NA
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 101805546032010820 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: RIDGECREST DR SE
 Between: SAN PEDRO SE and LOUISIANA BLVD. SE

CASE HISTORY: Quantal Vgpl EPC Case # OSU-93-19 2-94-159 AX-94-20
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z, V, S, etc.): DRB-98-101
EPC# 03EPC00935, EPC# 03EPC02050 2-93-114 AX-93-11
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre application Review Team : Date of review: _____
 SIGNATURE Sally Sacco DATE 2/23/04
 (Print) SALLY SACCO Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - 00239</u>	<u>SBS</u>	<u>P(3)</u>	<u>\$</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>04DRB - 00240</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	<u>\$20-</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	<u>\$</u>
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	<u>\$</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	<u>\$</u>
<input type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>3/3/04</u>	_____	_____	Total <u>\$20</u>
<input type="checkbox"/> F.H.D.P. fee rebate	<u>Sally Sacco</u> <u>2/23/04</u>	_____	_____	_____
	Project # <u>1002624</u>	_____	_____	_____



RECEIVED

JAN 22 2004

Dekker/Perich/Sabatini

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: January 16, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002624**

03EPC 00935 EPC Site Development Plan for
Subdivision

03EPC-02050 EPC Site Development Plan-Building
Permit

New Day, Inc.
1330 San Pedro NE, Suite 201B
Albuq. NM 87110

LEGAL DESCRIPTION: Within Section 36, Township 10N, Range 3E, Zoned SU-1 for Short Term Shelter, located on RIDGECREST DR. SE, between SAN PEDRO SE and LOUISIANA BLVD. SE, containing approximately 10 acres. (M-18) Juanita Vigil, Staff Planner (DEFERRED FROM DECEMBER 18, 2003)

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1002624/ 03EPC 00935, a Site Development Plan for Subdivision, for Tract of Land within the SE/4 NE/4, Section 36, T10N, R3E, located on Ridgecrest SE, between Louisiana and San Pedro SE, zoned SU-1 for Short Term Shelter, and containing approximately 10-acres, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for subdivision for un-platted land legally described as Tract of Land within the SE/4 NE/4, Section 36, T10N, R3E, located on Ridgecrest SE between Louisiana and San Pedro SE, containing approximately 10 acres, and currently zoned SU-1 for Short Term Shelter. The site currently contains a short-term shelter for homeless youth between the ages of 16 and 21.
2. The applicant has submitted a site development plan for subdivision that will subdivide one lot into three separate lots. One lot will contain the existing shelter development with 2.5 acres, a second lot will contain a proposed 12,500 square foot office building with 2.1 acres and the third lot is designated as "future development", which currently has a basketball court and a baseball field and will contain 5.395 acres.

OFFICIAL NOTICE OF DECISION
JANUARY 15, 2004
PROJECT #1002624
PAGE 2 OF 6

3. In 1989, the Federal Public Health Services Department of the Federal Health and Human Services Department made available under the designation of “federal surplus property” a 32-acre parcel that included the subject site. The land was made available through the Stuart McKinney Act – a federal program to make available surplus property, buildings and materials to organizations that provide services to homeless adults, families and youth. New Day Shelters was the successful applicant for a portion of the surplus land. A condition of obtaining the land, however, is to utilize the site or demonstrate intent to utilize the site. The approval of this site development plan for subdivision will fulfill that requirement.
4. The proposed future uses with further Policy 5d, Established Urban of the *Comprehensive Plan* by allowing the location, intensity and design of the new development to respect existing neighborhood values, and resources of social, or recreational concern.
5. The proposed submittal is located near public facilities, such as hospitals, restaurants and a large public park that will accommodate the new growth as preferred in Policy 5e, Established Urban of the *Comprehensive Plan*.
6. This site is no longer within the Airport Protection Overlay Zone as identified on the H-19 zone atlas page and will not require to conform to the standards of Section 14-16-2-28(E), Overlay Zones, Airport Protection Overlay Zones, of the *Comprehensive City Zoning Code*. A letter provided for the file from the Director of Aviation confirms this information.
7. The proposed site development plan meets the definition of a site development plan for subdivision as defined in the *Comprehensive City Zoning Code*.
8. The Office of Neighborhood Coordination suggested a facilitated meeting; however, there was no response from the affected neighborhood association regarding this submittal.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The subject site will be required to complete the re-plating process through the DRB. The submittal shall have each lot legally identified and shall be consistent with the subdivision plat.

OFFICIAL NOTICE OF DECISION
JANUARY 15, 2004
PROJECT #1002624
PAGE 3 OF 6

3. The submittal shall contain information regarding Floor Area Ratio (F.A.R.) for each lot instead of showing combined information.
4. Building setback information shall be provided on the submittal and shall be consistent with the R-2 zone category as identified in the *Comprehensive City Zoning Code*.
5. A notation shall be added on the submittal indicating that the building height allowances shall be limited to two stories.
6. A notation shall be added on the submittal indicating that, "all construction should have a noise reduction factor of 30 decibels i.e. exterior sound levels reduced by 30 decibels in the interior of the structure."

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1002624/ 03EPC 02050, a Site Development Plan for Building Permit, for Tract of Land within the SE/4 NE/4, Section 36, T10N, R3E, located on Ridgecrest SE, between Louisiana and San Pedro SE, zoned SU-1 for Short Term Shelter, and containing approximately 10-acres, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for un-platted land legally described as Tract of Land within the SE/4 NE/4, Section 36, T10N, R3E, located on Ridgecrest SE between Louisiana and San Pedro SE, containing approximately 10 acres, and currently zoned SU-1 for Short Term Shelter. The site currently contains a short-term shelter for homeless youth between the ages of 16 and 21.
2. The applicant has submitted a site development plan for subdivision that will subdivide one lot into three separate lots. One lot will contain the existing shelter development and the second lot will contain the proposed future developments.

3. In 1989, the Federal Public Health Services Department of the Federal Health and Human Services Department made available under the designation of “federal surplus property” a 32-acre parcel that included the subject site. The land was made available through the Stuart McKinney Act – a federal program to make available surplus property, buildings and materials to organizations that provide services to homeless adults, families and youth. New Day Shelters was the successful applicant for a portion of the surplus land. A condition of obtaining the land, however, is to utilize the site or demonstrate intent to utilize the site. The approval of this site development plan for subdivision will fulfill that requirement.
4. The proposed future uses with further Policy 5d, Established Urban of the *Comprehensive Plan* by allowing the location, intensity and design of the new development to respect existing neighborhood values, and resources of social, or recreational concern.
5. The proposed submittal is located near public facilities, such as hospitals, restaurants and a large public park that will accommodate the new growth as preferred in Policy 5e, Established Urban of the *Comprehensive Plan*.
6. This site is no longer within the Airport Protection Overlay Zone as identified on the H-19 zone atlas page and will not require to conform to the standards of Section 14-16-2-28(E) of the *Comprehensive City Zoning Code*.
7. The proposed site development plan meets the definition of a site development plan for building permit as defined in the *Comprehensive City Zoning Code*.
8. The Office of Neighborhood Coordination suggested a facilitated meeting; however, there was no response from the affected neighborhood association regarding this submittal.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION
JANUARY 15, 2004
PROJECT #1002624
PAGE 5 OF 6

2. The language in the landscape plan (Sheet L101) regarding the intent of providing 75% living ground cover shall be modified to specify that the site will maintain 75% of living ground cover of landscaped areas.
3. The submittal shall identify the specific type of native seed that will be used on the landscape plan (Sheet L101).
4. The keyed note number 8 on sheet A001 regarding the description of the CMU refuse enclosure wall shall be modified to read 7'-4" tall, 8' CMU".
5. The exact color of the refuse enclosure wall shall be specified on the submittal and shall be similar to a color proposed on the 12,500 square foot office building.
6. The type of lighting proposed for the freestanding sign shall be in compliance with the Dark Skies Ordinance and the Area Lighting Regulations within the COA Comprehensive City Zoning Code to minimize fugitive light reflecting into the neighborhood.


IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JANUARY 30, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
JANUARY 15, 2004
PROJECT #1002624
PAGE 6 OF 6

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

for Victor J. Chavez
Planning Director

VJC/JV/ac

cc: Dekker/Perich/Sabatini, 6801 Jefferson NE, Suite 100, Albuquerque, NM 87109
Don Calkins, Siesta Hills NA, P.O. Box 82314, Albuquerque, NM 87198
Christopher Eyrich, Siesta Hills NA, 1307 Odium Dr. SE, Albuquerque, NM 87108

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

ORIGINAL

NEW DAY YOUTH AND FAMILY SERVICES
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			PHASE 2						
		N/A	STD C&G (S. SIDE)	Ridgecrest Drive, SE	NW Cor. Property	NE Cor. Phase 2	/	/	/
		8'	PERMANENT ASPHALT PAVING	Ridgecrest Drive, SE	NW Cor. Property	NE Cor. Phase 2	/	/	/
		2	FIRE HYDRANTS	Ridgecrest Drive, SE	NW Cor. Property	NE Cor. Phase 2	/	/	/
		1"	DOMESTIC WATER SERVICE	Ridgecrest Drive, SE	NW Cor. Property	NE Cor. Phase 2	/	/	/
		6'	SIDEWALK	Ridgecrest Drive, SE	NW Cor. Property	NE Cor. Phase 2	/	/	/
			PHASE 3						
		N/A	STD C&G (S. SIDE)	Ridgecrest Drive, SE	NE Cor. Phase 2	NW Cor. Phase 1	/	/	/
		8'	PERMANENT ASPHALT PAVING	Ridgecrest Drive, SE	NE Cor. Phase 2	NW Cor. Phase 1	/	/	/
		6'	SIDEWALK	Ridgecrest Drive, SE	NE Cor. Phase 2	NW Cor. Phase 1	/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
							/	/	/
							/	/	/
							/	/	/
							/	/	/

NOTES

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Jeffrey G. Mortensen, PE
NAME (print)

DRB CHAIR - date

PARKS & GENERAL SERVICES - date

Jeff Mortensen & Associates, Inc.
FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature]
SIGNATURE - date 02/09/2004

UTILITY DEVELOPMENT - date

- date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8 5" by 14" pocket) **6** copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8 5" by 14" pocket) **6** copies.
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Blue-line copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Proposed amended Site Plan (folded to fit into an 8 5" by 14" pocket) **6** copies.
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8 5" by 14" pocket) **6** copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SALLY SACCO Applicant name (print)
Sally Sacco 2/23/04 Applicant signature / date

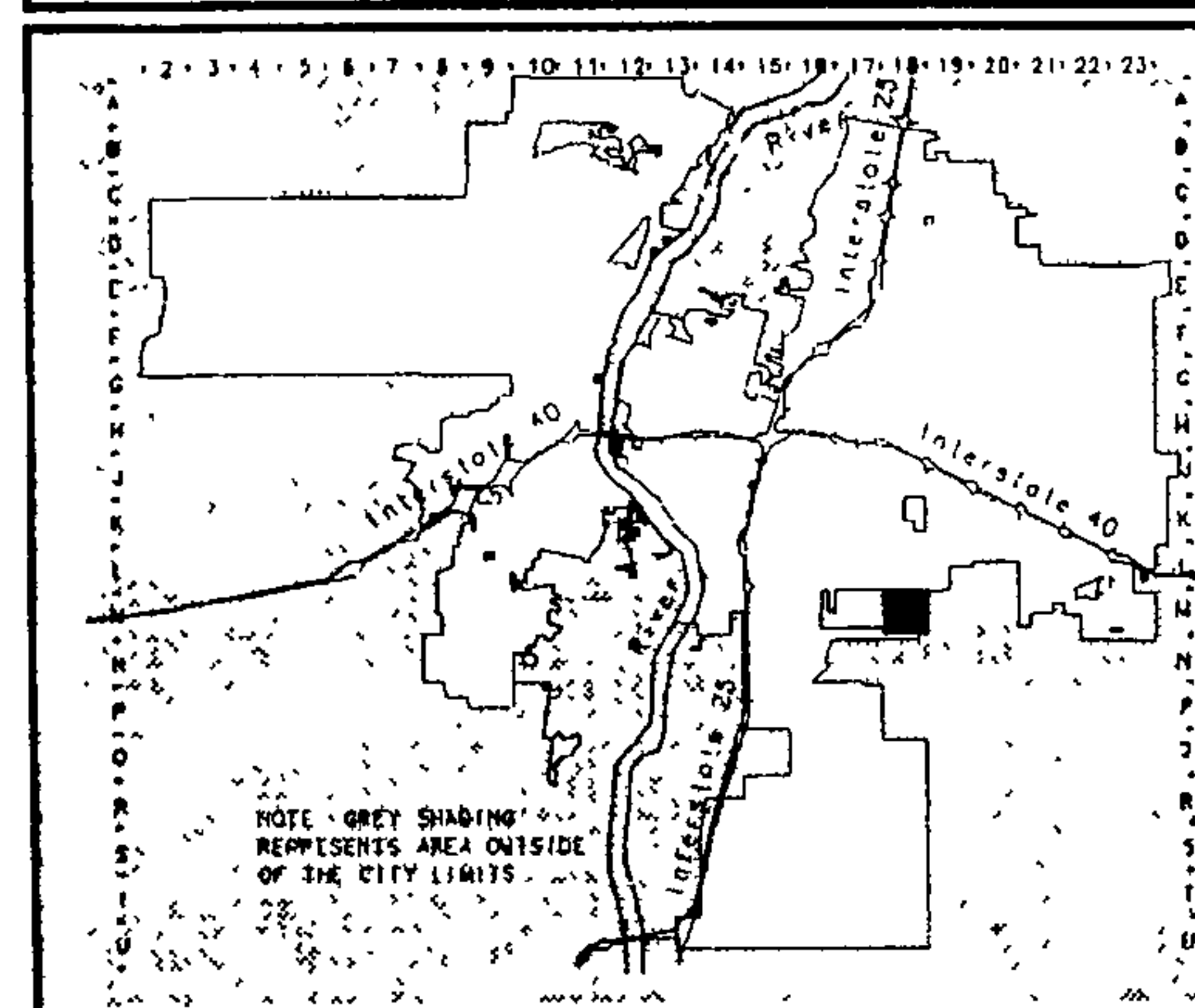
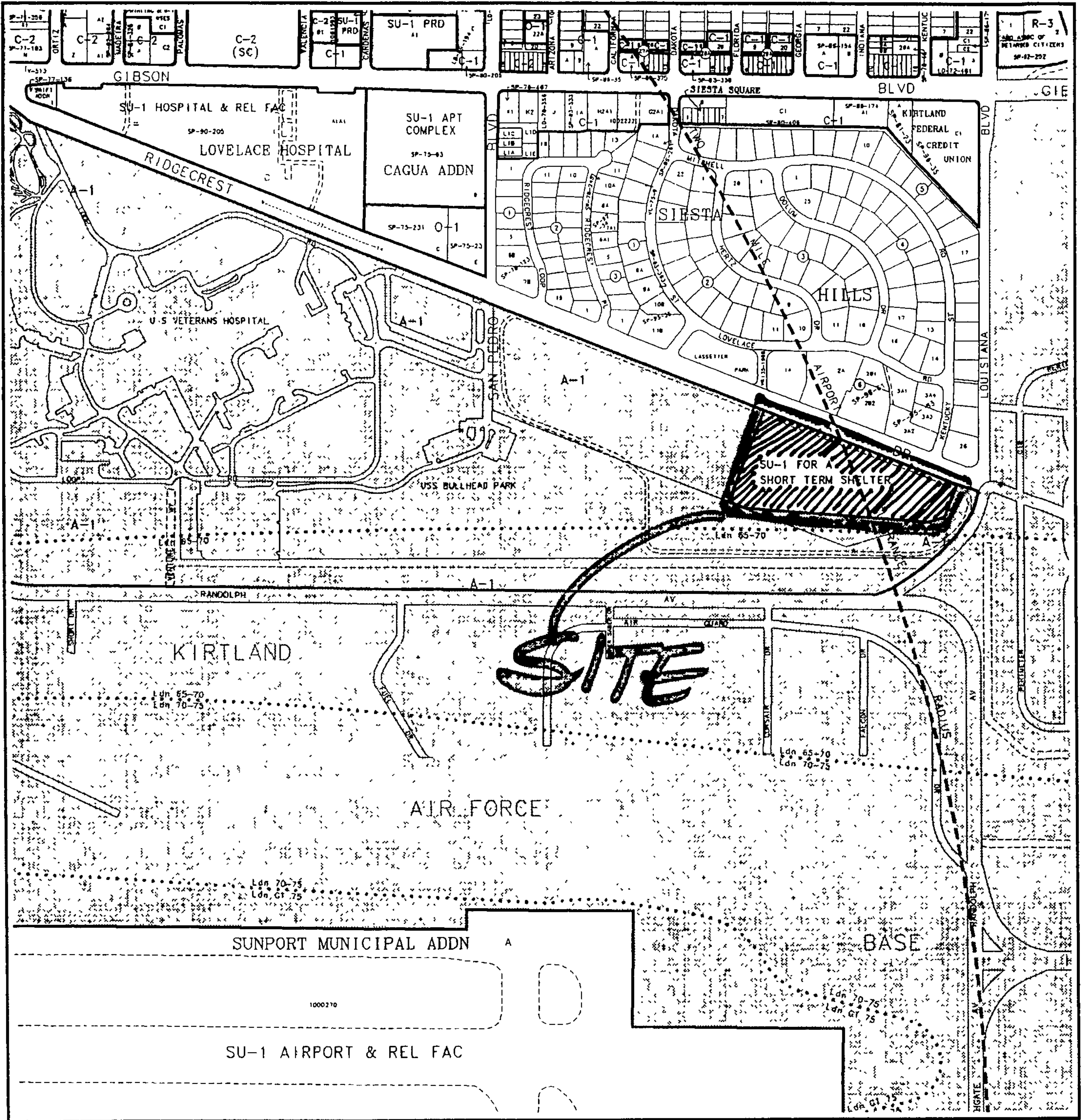


Form revised September 2001

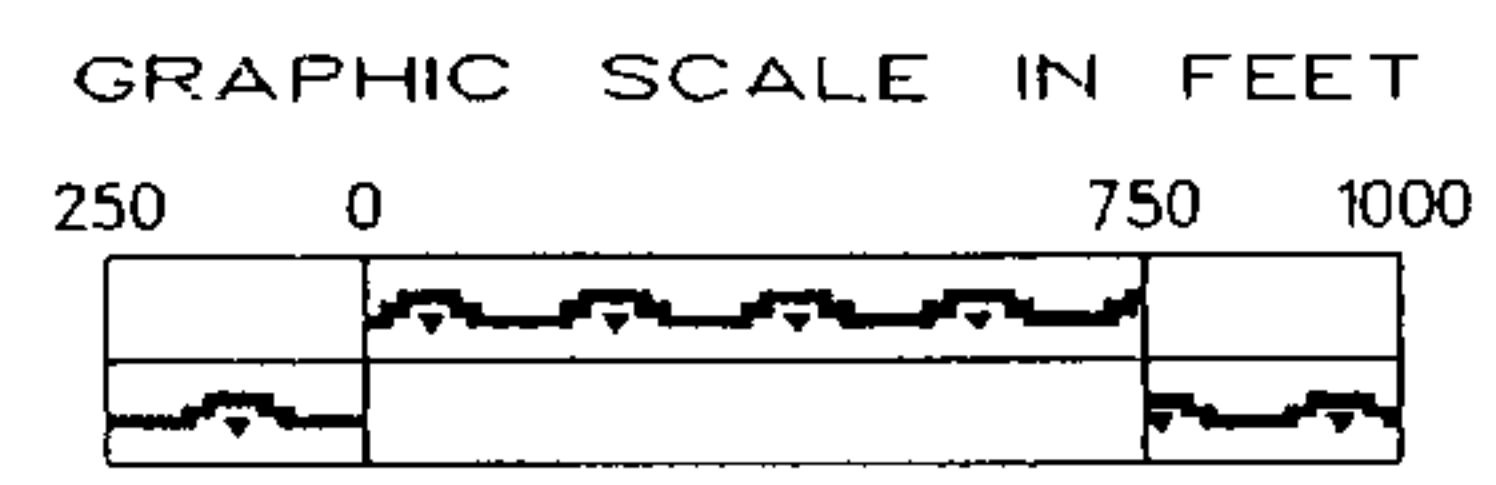
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04DRB - 00239
04DRB - 00240

[Signature] 2/23/04
 Planner signature / date
 Project # 10021624



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page
M-18-Z
Map Amended through August 01, 2003

February 23, 2004



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Sheran Matson
Planning Manager, DRB
600 2nd Street NW, Suite 1B
Plaza Del Sol
Albuquerque, NM 87102

RE: New Day Youth and Family Services, Project # 1002624/ 03EPC00935 and Project # 1002624/
03EPC02050

Dear Ms. Matson,

On behalf of our client New Day Youth and Family Services, we are requesting your approval of our Site Development Plan for Subdivision (03EPC00935) as approved by the EPC on January 15, 2004. As conditions of this approval, the EPC listed 6 Conditions that were to be met for final DRB sign-off. The purpose of this letter is to directly address how we have met those conditions.

1. **The first statement simply delegates final sign-off authority to the DRB.**
2. **The subject site will be required to complete the re-plating process through the DRB. The submittal shall have each lot legally identified and shall be consistent with the subdivision plat.** Included with this submittal is the re-plat of the site into two separate sites.
3. **The submittal shall contain information regarding Floor Area Ratio (F.A.R.) for each lot instead of showing combined information.** We have separated out the F.A.R. for both Phase 1 and 2, which can be found on our revised G001 sheet, Revision 1 dated 2/3/04.
4. **Building setback information shall be provided on the submittal and shall be consistent with the R-2 zone category as identified in the *Comprehensive City Zoning Code*.** This information can be found on revised G001 sheet, Revision 1 dated 2/3/04.
5. **A notation shall be added on the submittal indicating that the building height allowances shall be limited to two stories.** This information can be found on revised G001 sheet in the Project Data list, Revision 1 dated 2/3/04.
6. **A notation shall be added on the submittal indicating that, "all construction should have a noise reduction factor of 30 decibels i.e. exterior sound levels reduced by 30 decibels in the interior of the structure."** This information can also be found on revised G001 under the Project Data list, Revision 1 dated 2/3/04.

We are also requesting your approval of our Site Development Plan for Building Permit (03EPC02050) as approved by the EPC on January 15, 2004. As conditions of this approval, the EPC listed 6 Conditions that were to be met for final DRB sign-off. Those conditions have been met through the following:

1. **The first Condition simply delegates final sign-off authority to the DRB.**
2. **The language in the landscape plan (Sheet L101) regarding the intent of providing 75% living ground cover shall be modified to specify that the site will maintain 75% of living ground cover of landscaped areas.** This has been modified and can be found on revised sheet L101 under Revision 1 dated 2/3/04.
3. **The submittal shall identify the specific type of native seed that will be used on the landscape plan (Sheet L101).** This has been added to the revised sheet L101, under Revision 1 dated 2/3/04.
4. **The keyed note number 8 on sheet A001 regarding the description of the CMU refuse enclosure wall shall be modified to read "7'-4" tall, 8" CMU".** Note number 8 on revised sheet A001 has the correct wall height for the CMU wall.
5. **The exact color of the refuse enclosure wall shall be specified on the submittal and shall be similar to a color proposed on the 12,500 square foot office building.** This can be found under Note number 8 on revised sheet A001, Revision 1 dated 2/3/04.

■ ■ ■
6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761 9700
fax 761 4222
dps@dpsabq.com

6. The type of lighting proposed for the freestanding sign shall be in compliance with the Dark Skies Ordinance and the Area Lighting Regulations within the COA Comprehensive City Zoning Code to minimize fugitive light reflecting into the neighborhood. This note has been added to the Monument Sign Elevation which can be found on revised sheet A001, Revision 1 dated 2/3/04.



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

We would like to thank you in advance for your consideration of these modifications. We have made every effort to meet or exceed the project enhancing suggestions the EPC has brought to our attention. We hope you agree.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

Sally Sacco
Project Intern Architect

■ ■ ■
6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761 9700
fax 761 4222
dps@dpsabq.com

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME New Day Youth & Family Svcs
AGENT Nikhey Perich / Sabatini
ADDRESS 6801 Jefferson Rd NE Ste 100
PROJECT & APP # 1002654 / 04DRB-00239/00240
PROJECT NAME New Day

\$ 20 469099/4916000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 20 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

02/23/2004 3:19PM LOC: ANNX
RECEIPT# 00020795 WS# 007 TRANS# 0038
Account 469099 Fund 0110
Activity 4916000 TRSLJS
Trans Amt \$20.00
J24 Misc \$20.00
CK \$20.00
CHANGE \$0.00

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

NEW DAY YOUTH AND FAMILY SERVICES

PROPOSED NAME OF ~~PROJECT~~ SITE DEVELOPMENT PLAN

Date Submitted: 3/3/04
 Date Site Plan Approved: 3/3/04
 Date Preliminary Plat Approved: 3/3/04
 Date Preliminary Plat Expires: 3/3/05
 DRB Project No.: 1002624
 DRB Application No.: 04-00240

ORIGINAL

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		N/A	PHASE 2 STD. C&G (S. SIDE)	Ridgecrest Drive, SE	NW Cor. Property	NE Cor. Phase 2	/	/	/
		8'	PERMANENT ASPHALT PAVING	Ridgecrest Drive, SE	NW Cor. Property	NE Cor. Phase 2	/	/	/
		2	FIRE HYDRANTS	Ridgecrest Drive, SE	NW Cor. Property	NE Cor. Phase 2	/	/	/
		1"	DOMESTIC WATER SERVICE	Ridgecrest Drive, SE	NW Cor. Property	NE Cor. Phase 2	/	/	/
		6'	SIDEWALK	Ridgecrest Drive, SE	NW Cor. Property	NE Cor. Phase 2	/	/	/
		8"	<i>Sanitary Sewer Service</i>	<i>Ridgecrest Dr SE</i>	<i>NE corner of Phase 2</i>		/	/	/
			PHASE 3				/	/	/
		N/A	STD. C&G (S. SIDE)	Ridgecrest Drive, SE	NE Cor. Phase 2	NW Cor. Phase 1	/	/	/
		8'	PERMANENT ASPHALT PAVING	Ridgecrest Drive, SE	NE Cor. Phase 2	NW Cor. Phase 1	/	/	/
		6'	SIDEWALK	Ridgecrest Drive, SE	NE Cor. Phase 2	NW Cor. Phase 1	/	/	/

City

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

NOTES

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Jeffrey G. Mortensen, PE
NAME (print)

[Signature] 3/3/04
DRB CHAIR - date

[Signature] 3/3/04
PARKS & GENERAL SERVICES - date
Recreation

Jeff Mortensen & Associates, Inc.
FIRM

[Signature] 3-7-04
TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature] 02/09/2004
SIGNATURE - date

[Signature] 3/3/04
UTILITY DEVELOPMENT - date

_____ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB

[Signature] 3/3/04
CITY ENGINEER - date

_____ - date

EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



City of Albuquerque
 CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002624

AGENDA ITEM NO: 5

SUBJECT:

- | | | |
|------------------------------|--------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments. *on Plat*
 An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) **(FP)** BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) **(SP-SUB)** **(SP-BP)** (FP) TO: (UD) **(CE)** **(TRANS)** (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: March 3, 2004



SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ... for Subdivision Purposes
- ... for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Supplemental form

S

V

P

L

Supplemental form

ZONING

- Annexation & Zone Establishment
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Zone Change
- Text Amendment

Z

APPEAL / PROTEST of...

A

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: New Day, Inc.
 ADDRESS: 2820 Ridgecrest Drive SE
 CITY: Albuquerque
 Proprietary interest in site: Owners
 AGENT (if any): Jeff Mortensen & Associates, Inc.
 ADDRESS: 6010-B Midway Park Blvd. NE
 CITY: Albuquerque

STATE NM ZIP 87108
 STATE NM ZIP 87109

PHONE: 260-9912
 FAX: _____
 E-MAIL: _____
 PHONE: (505) 345-4250
 FAX: (505) 345-4254
 E-MAIL: dtrujillo@jmainc.org

DESCRIPTION OF REQUEST: Preliminary / Final Plat - To create Two (2) tracts of land from Unplatted Lands to be known as Tracts A and B, New Day, Inc..

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Unplatted portion of Sect. 36, T10N, R3E Block: _____ Unit: _____

Subdiv. / Addn. Unplatted portion of Sect. 36, T10N, R3E

Current Zoning: SU-1 for a Short Term Shelter Proposed zoning: N/A

Zone Atlas page(s): M-18 No. of existing lots: 1 No. of proposed lots: 2

Total area of site (acres): +/- 9.9962 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? No

UPC No. 101805546032010820 MRGCD Map No. No

LOCATION OF PROPERTY BY STREETS: On or Near: 2820 Ridgecrest Drive SE
 Between: Louisiana Blvd. SE and Dakota Street, SE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1002624, (03AA - 00669, 03EPC - 00935, 03DRB - 01223, 03EPC - 02050)

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Debie LeBlanc Trujillo DATE February 19, 04

(Print) Debie LeBlanc Trujillo for Jeff Mortensen & Associates, Inc. Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>04DRB - 00243</u>	<u>PLF</u>	<u>5(3)</u>	<u>\$ No Charge</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	<u>\$ Per Person</u>
<input type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>3/3/04</u>	_____	_____	<u>\$ 20.00 pl</u>

Project # 1002624

Planner signature / date

FORM S(3): SUBDIVISIO... D.R.B. MEETING (UNADVERTIS...) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JEFF MORTENSEN & ASSOC., INC.

DEBIE LEBLANC TRUJILLO

Debie LeBlanc Trujillo 02-19-04

Applicant name (print)

Applicant signature / date



Form revised 10/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 24DRB - 00243

Oliver Acosta 2/24/04
 Planner signature / date

Project # 1002624



JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. NE
 ALBUQUERQUE NEW MEXICO 87109

P: 505.345.4250
 F: 505.345.4254
 JMAINC@SWCP.COM

2003.079.2
 February 19, 2004

Sheran Matson, AICP, Planning Manager and Chair
 Development Review Board
 Planning Department Administration
 City of Albuquerque
 600 2nd Street, NW
 Albuquerque, NM 87103

Re: Request for Preliminary / Final Plat
 Project No. 1002624, (03AA – 00669, 03EPC – 00935, 03DRB – 01223, 03EPC – 02050)

Dear Sheran:

Transmitted are the following items associated with the subject request:

- DRB Application, Supplemental Form S(3) and related fees
- Six (6) copies of the Preliminary / Final Plat Request
- Six (6) copies of the Site Sketch (JMA Topographic Survey)
- City of Albuquerque Zone Atlas M - 18 (with the site highlighted)
- Infrastructure List (For information only, original list to be submitted by Dekker Perich Sabatini)

On behalf of our client New Day, Inc., we are requesting Preliminary / Final Plat Approval. The purpose of this request is to create two new tracts from Unplatted Lands. It is my understanding that this project was deferred by the Development Review Board on August 4th, 2003 (03DRB-01223). We are now the agents for the Preliminary / Final Plat. Dekker Perich Sabatini are agents for the Site Plan Approvals associated with this project.

Please schedule this matter along with the actions requested by Dekker Perich Sabatini for the next appropriate DRB Hearing. In the meantime, if I can be of further assistance to you, please do not hesitate to call.

Sincerely,

JEFF MORTENSEN & ASSOCIATES, INC.

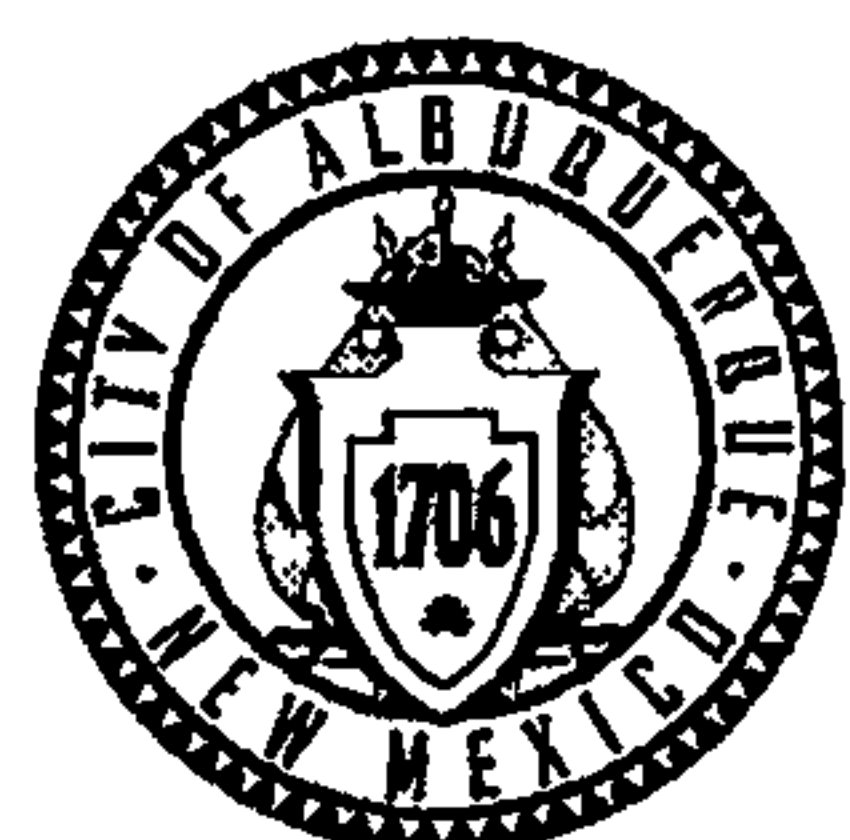
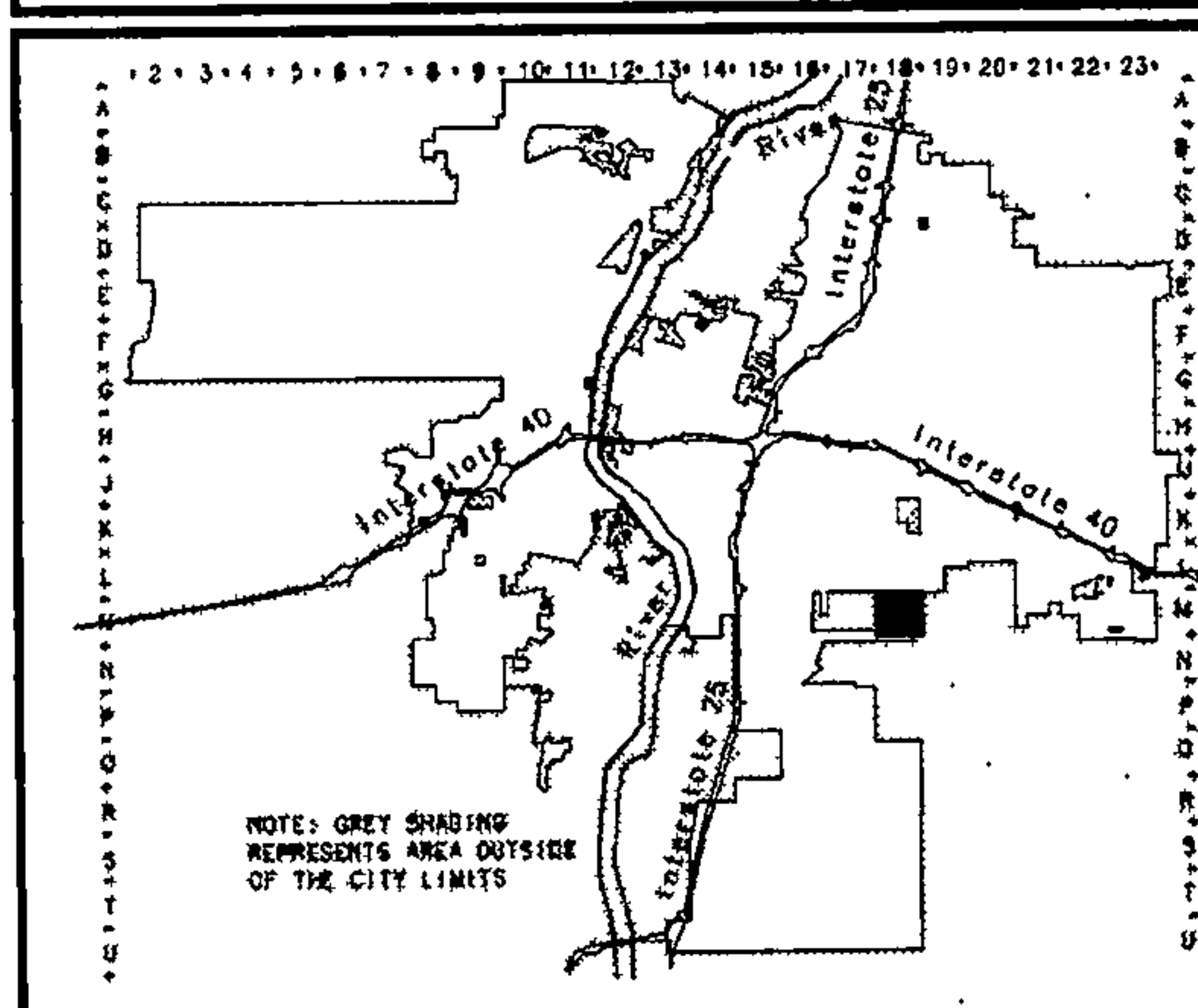
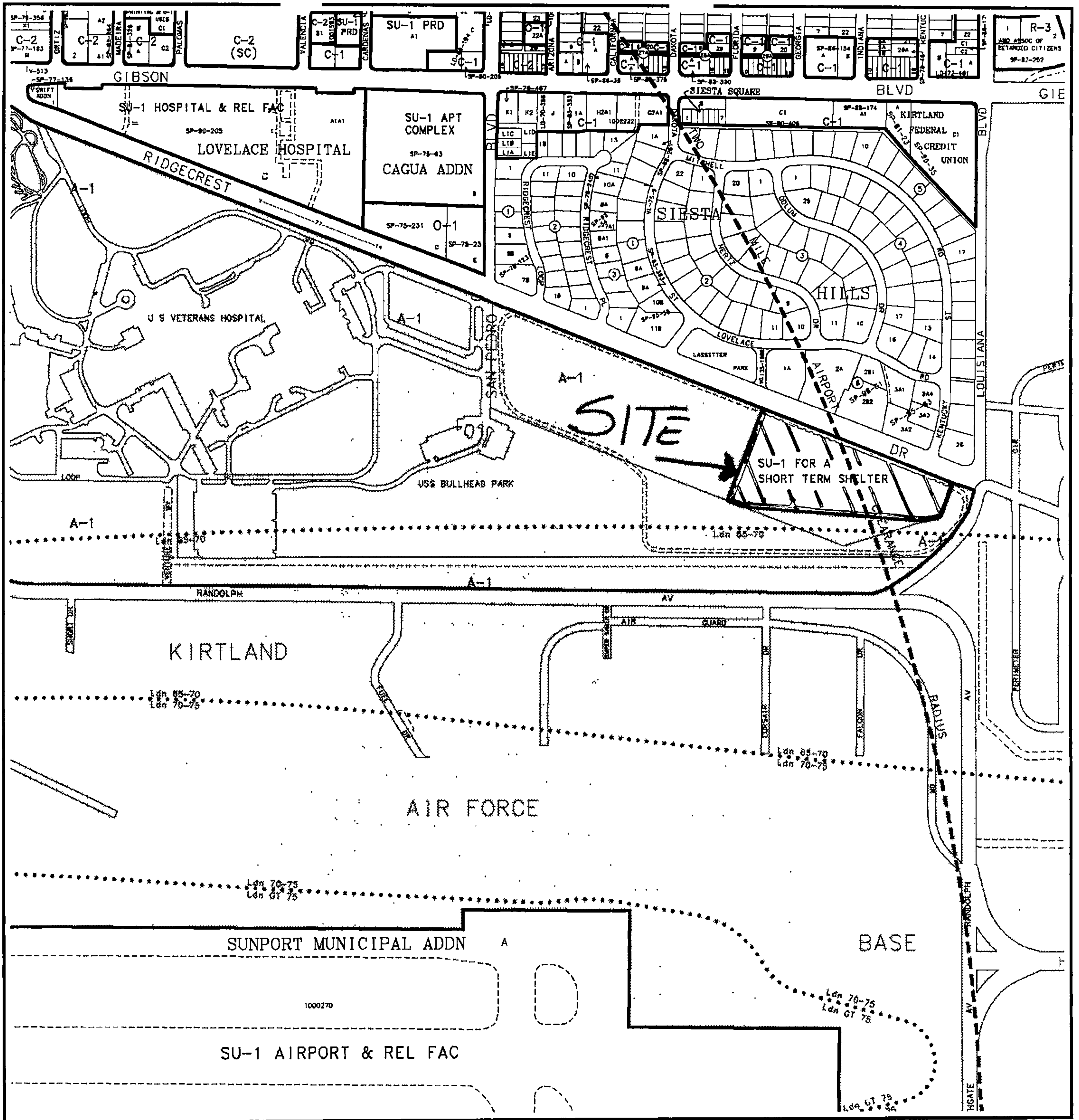

 Debie LeBlanc Trujillo

DLT
 Enclosures

xc: Fred Gorenz - w/enc.
 Sally Sacco - w/enc

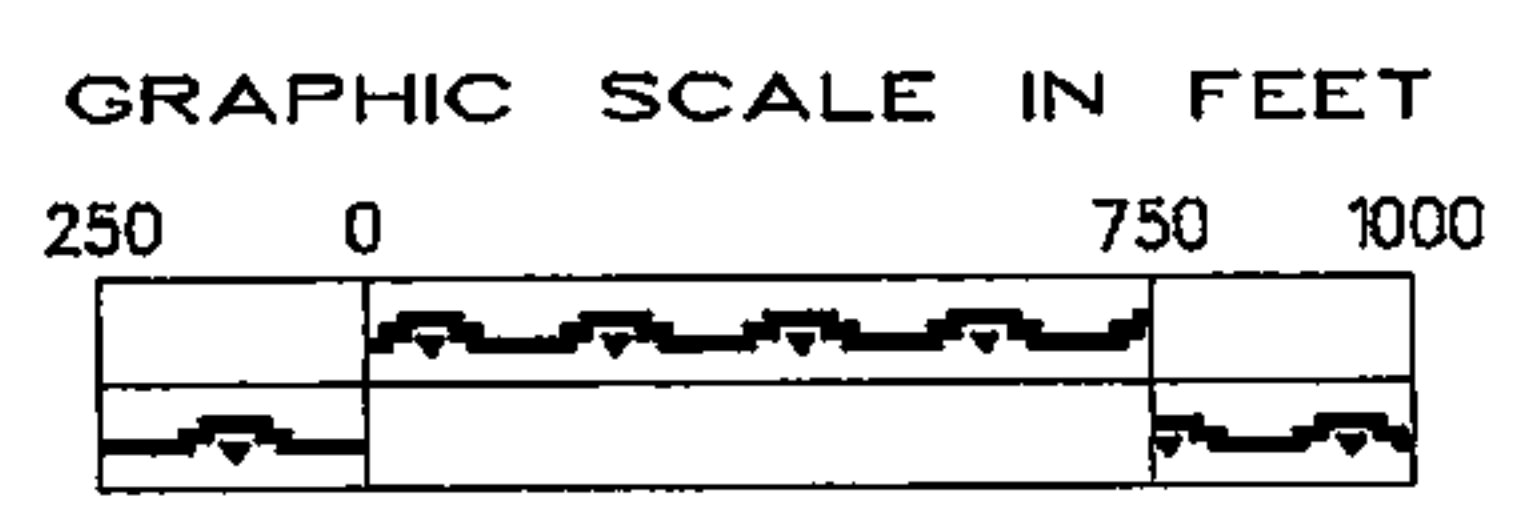
PRINCIPALS	JEFFREY G. MORTENSEN, P.E.	JUAN M. CALA	CHARLES G. CALA, JR., P.S.
GRADY E. BARRENS	J. GRAEME MEANS, P.E.	RICHARD C. WHITE	JOSEPH M. SOLOMON, JR., P.S.

2003.079.2



Albuquerque **G**eographic **I**nformation **S**ystem
 PLANNING DEPARTMENT

© Copyright 2003



Zone Atlas Page

M-18-Z

Map Amended through January 02, 2004

Debie Trujillo

From: Charles G. Cala
Sent: Thursday, February 19, 2004 8:57 AM
To: Debie Trujillo
Subject: FW: New Day

-----Original Message-----

From: Sally Sacco [mailto:SallyS@dpsabq.com]
Sent: Thursday, February 19, 2004 8:54 AM
To: Charles G. Cala
Cc: Jeffrey G. Mortensen
Subject: RE: New Day

Yes, we are ready, all we have left is the replat. So just let me know when you want to go down to the city and submit on Tuesday, it has to be before noon, so that we can submit it all at the same time. From my understanding it has to be done together. I'll call you either tomorrow or Monday to find out how it's going and we can discuss it further.

Thanks,

Sally Sacco

email me at: sallys@dpsabq.com
Dekker/Perich/Sabatini
architecture.interiors.planning.engineering.
505.761.9700

-----Original Message-----

From: Charles G. Cala [mailto:CCala@jmainc.org]
Sent: Thursday, February 19, 2004 7:46 AM
To: Sally Sacco
Cc: Jeffrey G. Mortensen
Subject: New Day

We are on schedule for submittal of the Plat to the DRB by Tuesday February 24th, which will result in a hearing on Wednesday March 3rd. Are you ready for your Site Plan Final Sign-off submittal?

*Charles G. Cala, Jr., P.S.
Vice President
Jeff Mortensen & Associates, Inc. (JMA)
6010-B Midway Park Blvd. NE, 87109
345-4250 (voice)
345-4254 (fax)*

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME

New Day Inc

AGENT

Jeff Montemore & Associates

ADDRESS

PROJECT & APP #

100 2644 04DRB-00243

PROJECT NAME

\$ 20.00 469099/4916000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification


\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

Done C. G. 7/23/03

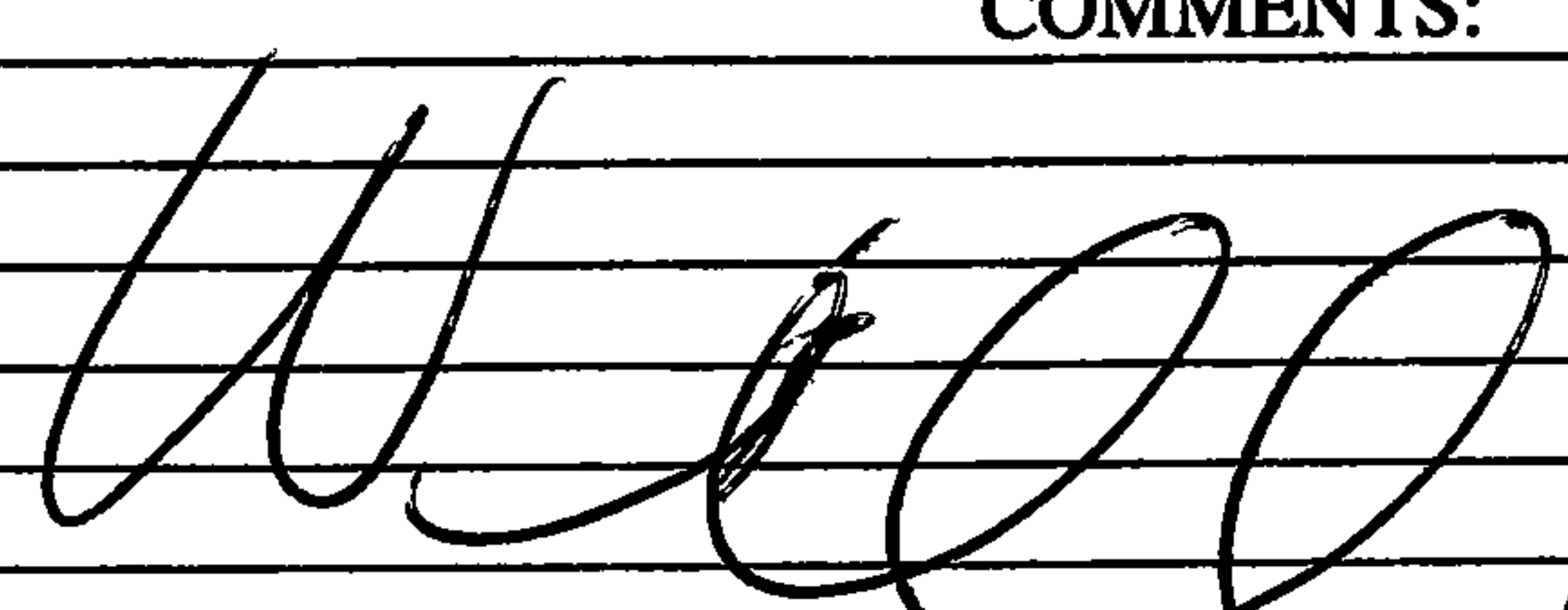
7-29-03
JON

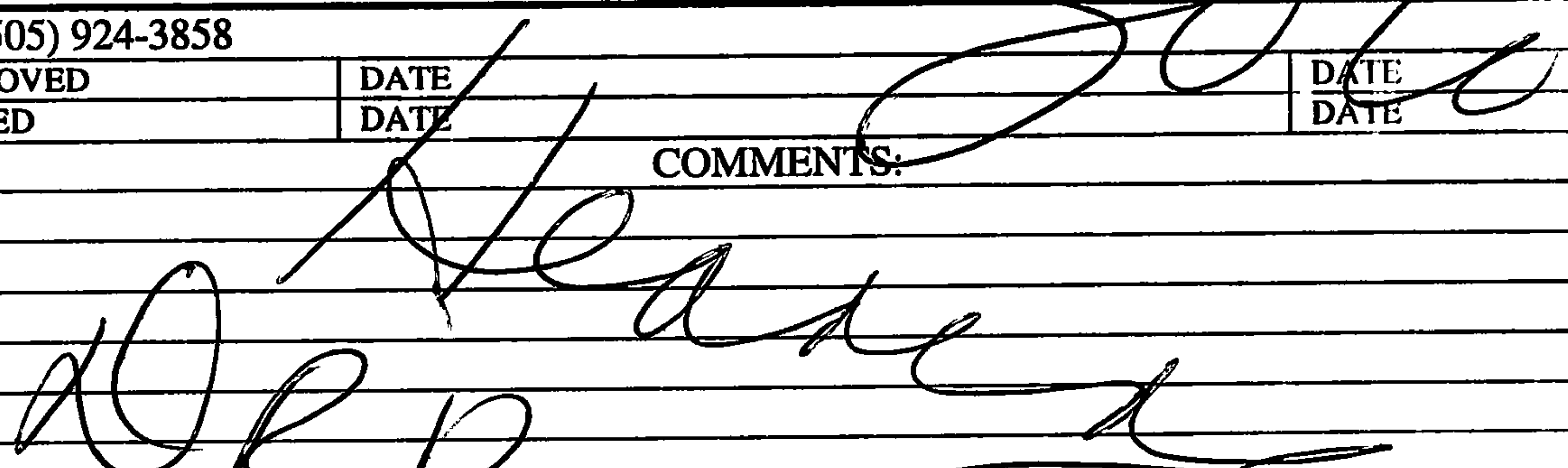
APPLICATION NO. 03 DRB -01223	PROJECT NO. 100 2624
PROJECT NAME New Day Youth	
EPC APPLICATION NO.	
APPLICANT / AGENT Harris Survey Tony	PHONE NO. 889-8056
ZONE ATLAS PAGE M-18	
 ONE STOP COMMENT FORM LOG	

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED <i>TD</i>	DATE 7-24-03	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
Infrastructure will be needed = Site sketch is needed.		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED <i>PT</i>	DATE 7/25/03	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
Season Service is not available to Tract A without Public line excavation. Need Infrastructure constructed.		

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED <i>BLB</i>	DATE 7/25/03	DATE
PLANS APPROVED <i>£</i>	DATE	DATE
COMMENTS:		
SIA need for Infrastructure List need for City Engineer signoff INFRASTRUCTURE LIST. WILL REQ. SIA & MEETING w/ DRB INFRASTRUCTURE LIST.		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
		

PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
		

(Return form with plat / site plan)

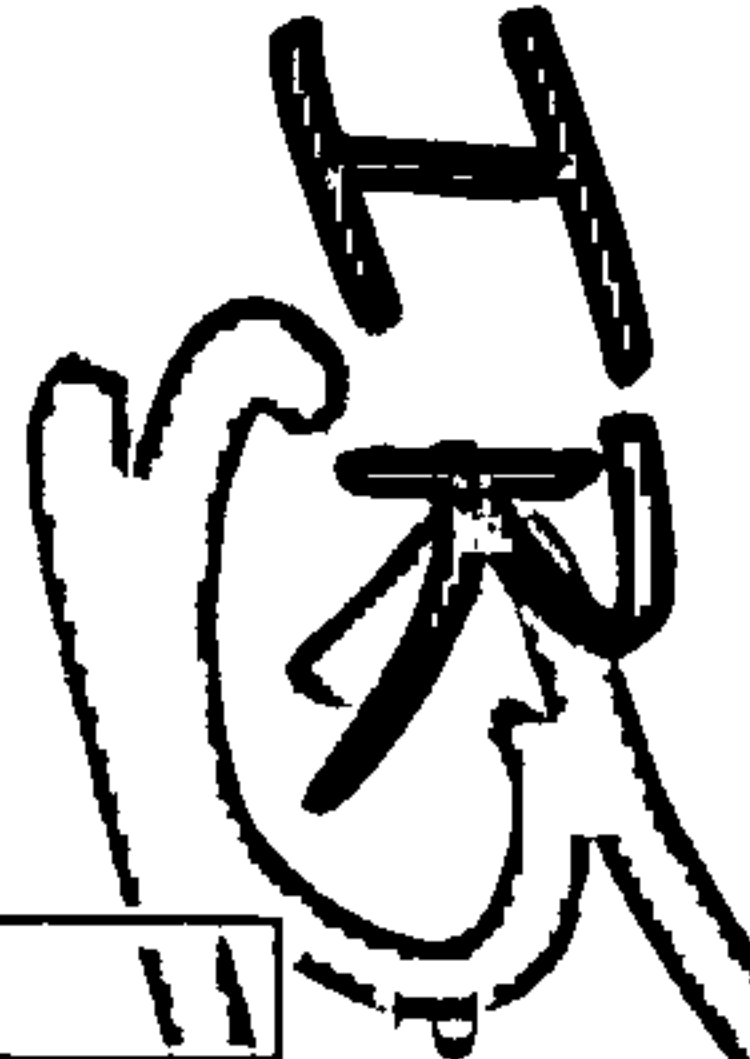
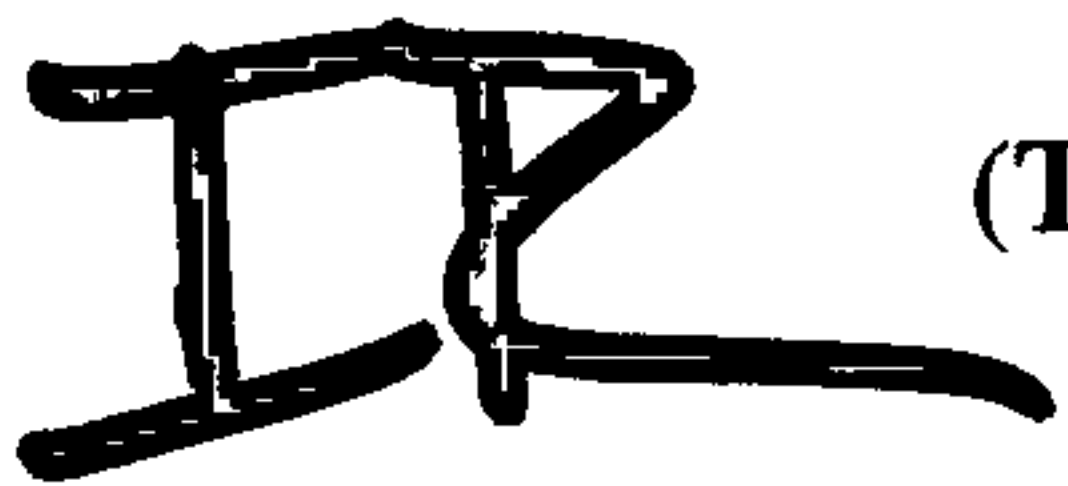
29-03
JM

APPLICATION NO. 03DRB - 01223	PROJECT NO. 1002624
PROJECT NAME New Day Youth	
APPLICANT / AGENT Harris Survey Tony H	PHONE NO. 889-8056
ZONE ATLAS PAGE M-18	DATE SUBMITTED 7-22-03

ONE STOP CASE TRACKING LOG

(This tracking log is for DRB Delegation Actions / Over the Counter Routing)

(rev 4/03)



TYPE OF APPROVAL	TRANSP DEV	UTILITY DEV	PARKS & REC	HYD DEV (City Engr)	PLANNING	
					CASE PLANNER	DRB CHAIR
SDP-Building Permit / SDP-Subdivision	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____
Administrative Amendments (AA's)	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	[Hatched]	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____
Minor Plat / Major Final Plat	F: 7-24-03 D: 7-24-03 F: _____ D: _____ A: _____	F: 7-24-03 D: 7-24-03 F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: 7-25 D: 7-25 F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____
Vacation-Private Easement	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____

Project Number

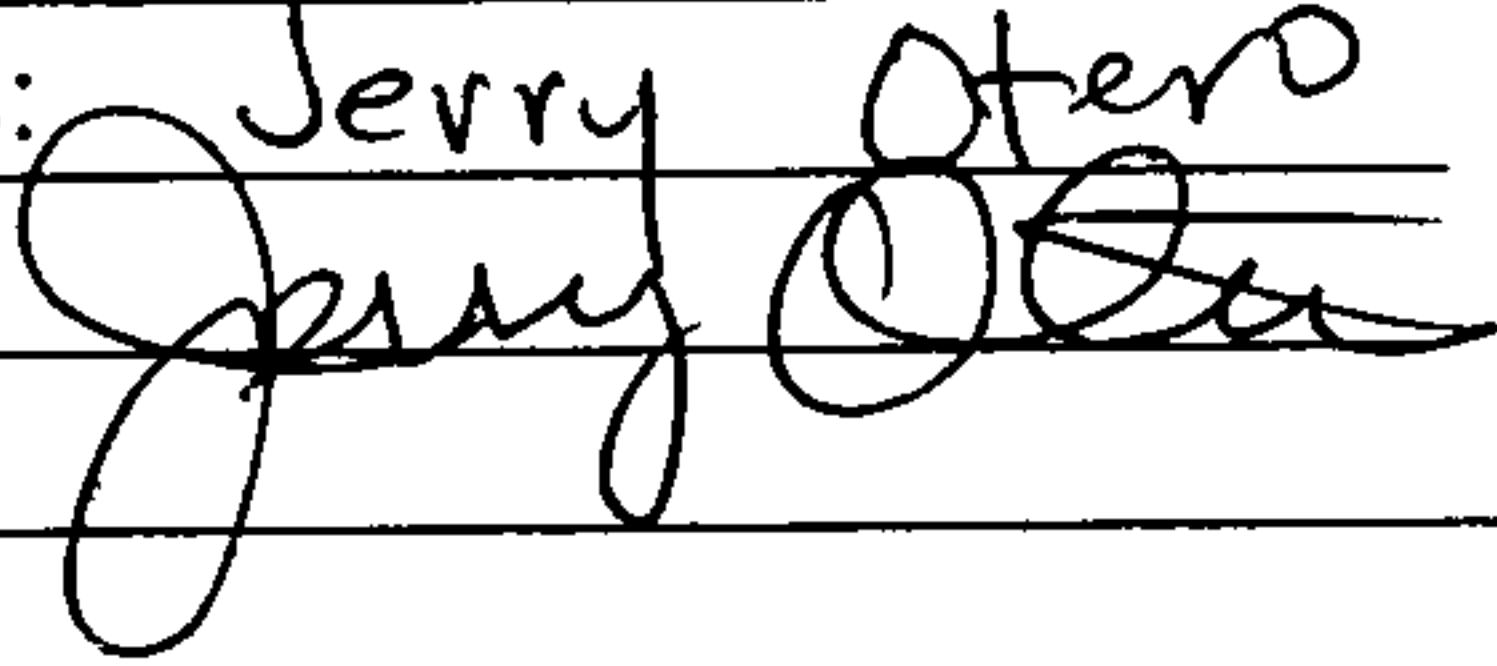
1002624

First Review- Total City Days	
Second Review- Total City Days	
Third Review- Total City Days	
Subtotal	
Total Number of Developer Days (from back of form)	
Total Days	

cannot be routed internally w/ infrastructure required
called Appl. to P.G.

*Business Days
**Pulled by Agent (P)

PLANS RELEASED TO APPLICANT OR AGENT TO CORRECT REJECTS

Called Applicant: <u>7-28-03</u>	First Review	
Date Released: <u>7-29-03</u>	Date Returned: _____	Developer Days: _____
Print Name: <u>Jerry Otero</u>		
Signed: 		

Called Applicant: _____	Second Review	
Date Released: _____	Date Returned: _____	Developer Days: _____
Print Name: _____		
Signed: _____		

Called Applicant: _____	Third Review	
Date Released: _____	Date Returned: _____	Developer Days: _____
Print Name: _____		
Signed: _____		

Called Applicant: _____	Fourth Review	
Date Released: _____	Date Returned: _____	Developer Days: _____
Print Name: _____		
Signed: _____		

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION **S**

Major Subdivision action

Minor Subdivision action

Vacation **V**

Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

Supplemental form

ZONING & PLANNING **Z**

Annexation

Zone Map Amendment (Establish or Change Zoning)

Sector Plan (Phase I, II, III)

Amendment to Sector, Area, Facility or Comprehensive Plan

Text Amendment (Zoning Code/Subdivision Regulations)

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: The New Day Youth + Family Services PHONE: 260-9912

ADDRESS: 1330 San Pedro N.E. Suite 201-B FAX: _____

CITY: Alb. STATE NM ZIP 87110 E-MAIL: _____

Proprietary interest in site: owner

AGENT (if any): Harris Surveying Inc. PHONE: 889-8056

ADDRESS: 24120 Monroe St. N.E. FAX: 889-8645

CITY: Alb. STATE NM ZIP 87110 E-MAIL: surveyh@swcp.com

DESCRIPTION OF REQUEST: Dividing unplatted land into 2 Tracts.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. unplatted land Block: _____ Unit: _____

Subdiv. / Addn. _____

Current Zoning: SU-1 Proposed zoning: _____

Zone Atlas page(s): M-18 No. of existing lots: 1 No. of proposed lots: 2

Total area of site (acres): 9.9951 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No

UPC No. 101805546032010820 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Ridgecrest Drive S.E.

Between: Louisiana Blvd. and San Pedro Dr.

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): None

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Anthony L. Harris DATE 7-21-03

(Print) Anthony L. Harris _____ Applicant Agent

FOR OFFICIAL USE ONLY	FOR INTERNAL ROUTING			S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action			
<input checked="" type="checkbox"/> All checklists are complete	<u>0302B</u>	<u>01223</u>	<u>PJF</u>		\$ <u>285.00</u>
<input checked="" type="checkbox"/> All fees have been collected					\$ _____
<input checked="" type="checkbox"/> All case #s are assigned					\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent					\$ _____
<input checked="" type="checkbox"/> Case history #s are listed					\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill <u>No</u>					\$ _____
<input type="checkbox"/> F.H.D.P. density bonus					\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate					\$ _____
	Hearing date	<u>Ø</u>			Total \$ <u>285.00</u>

Melita Hall 7/22/03
Planner signature / date

Project # 1002624

Form revised 9/01, 3/03

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- ___ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- ___ Preliminary Plat reduced to 8.5" x 11"
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Copy of previous D.R.B. approved infrastructure list
- ___ Copy of the Official D.R.B. Notice of approval
- ___ Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- ___ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- ___ Property owner's and City Surveyor's signatures on the Mylar drawing
- ___ SIA financial guaranty verification
- ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- ___ Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- ___ Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- ___ Property owner's and City Surveyor's signatures on the Mylar drawing
- ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application
- ___ Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- ___ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- ___ Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Anthony Harris Applicant name (print)
Anthony Harris Applicant signature / date
 7-22-03



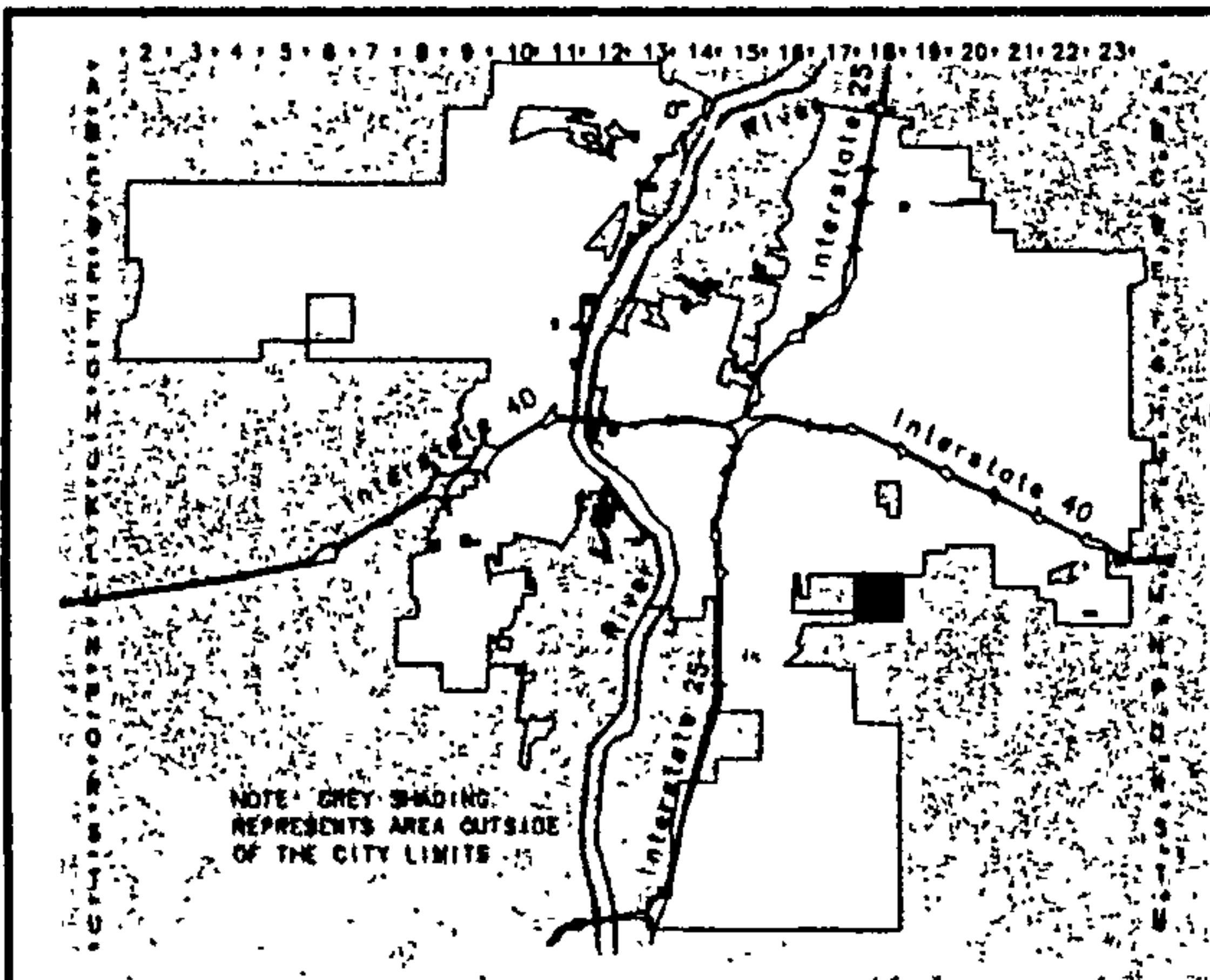
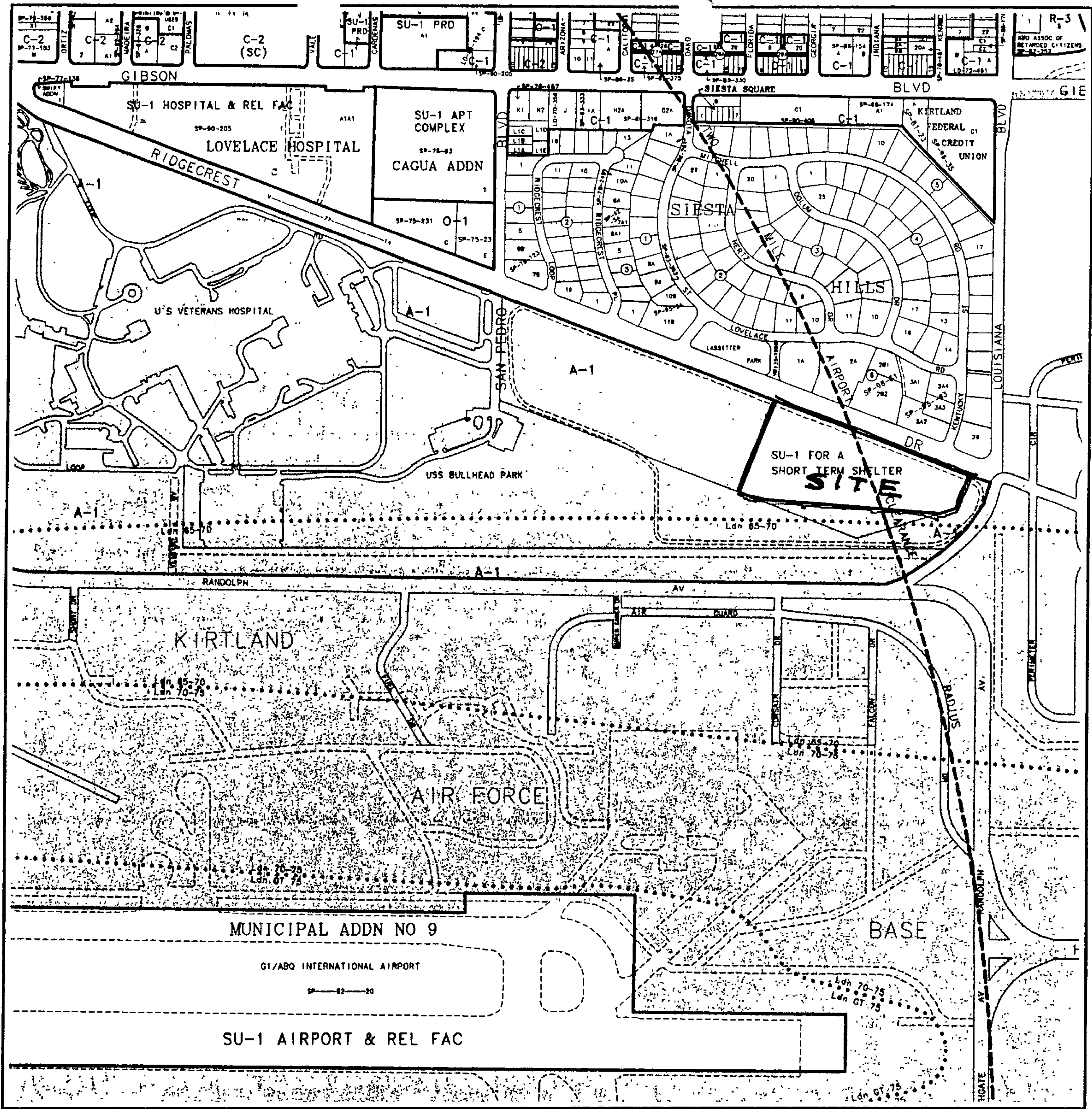
Form revised MARCH 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

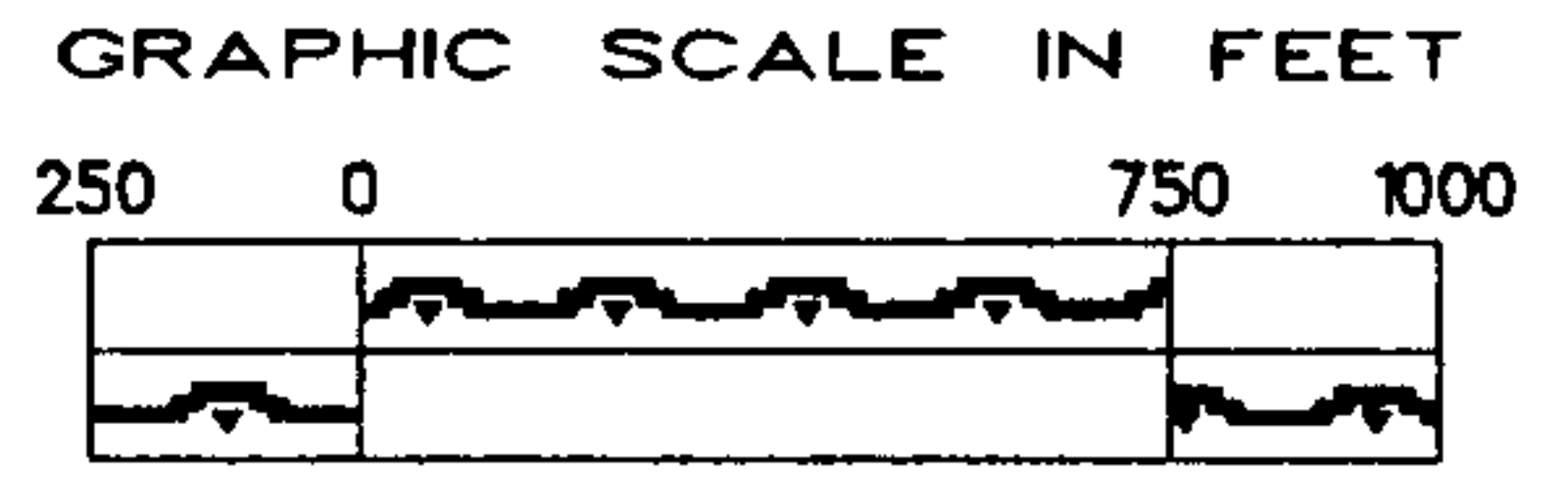
Application case numbers
 03023 - - 01223

Melita Hill 7/22/03
 Planner signature / date

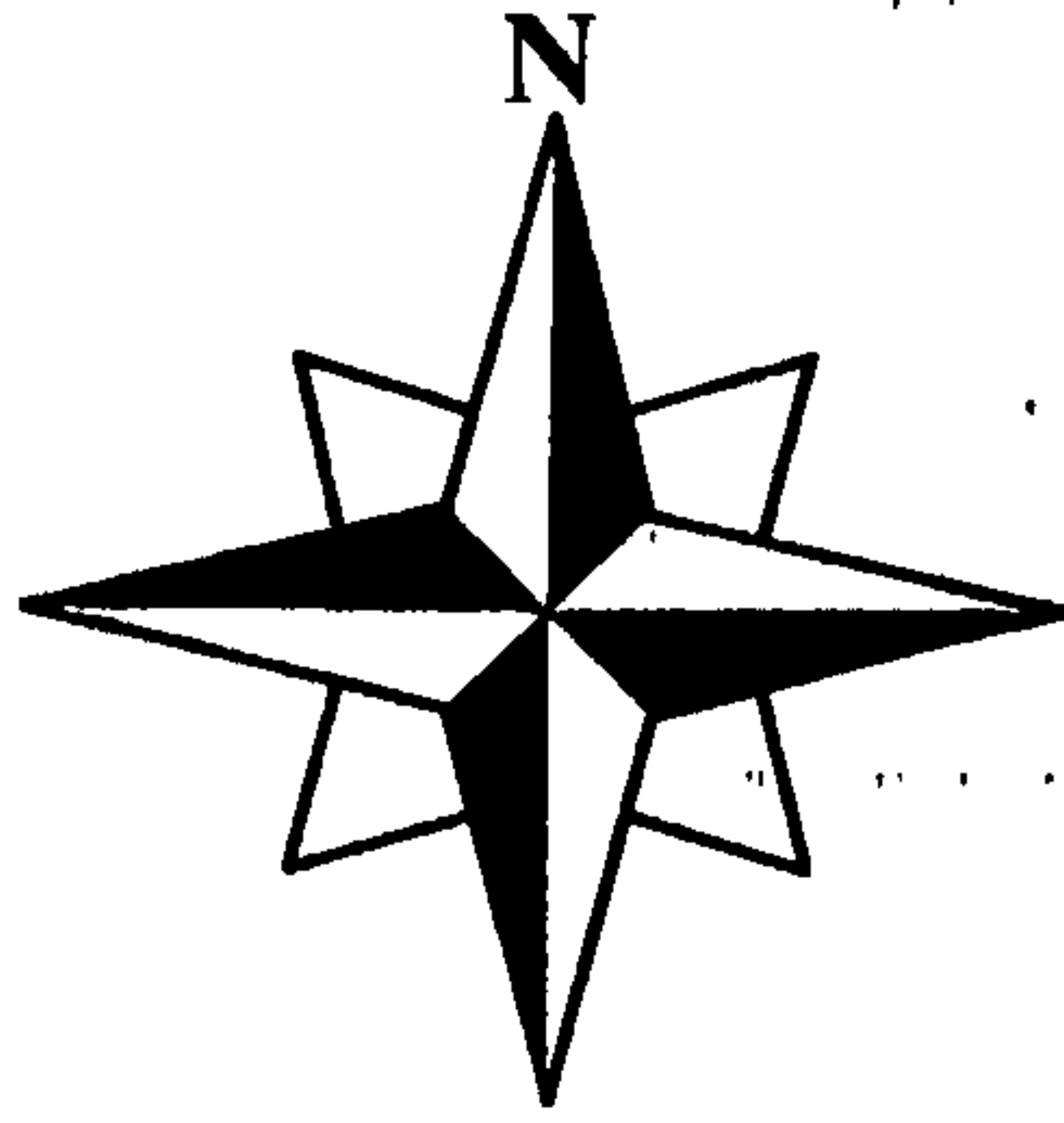
Project # 1002624



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2000



Zone Atlas Page
M-18-Z
Map Amended through July 31, 2000



Harris Surveying, Inc.
2412-D Monroe Street NE
Albuquerque, NM 87110

*Phone (505) 889-8056 * Fax (505) 889-8645*

July 21, 2003

To: DRB Board Members

RE: Lands of New Day

Dear: Members

The purpose of this plat is to divide an unplatted property into 2 tracts so ownership of the 2.500 acre parcel can be obtained.

If there are any questions, please contact me at my office.

Sincerely,

Anthony L. Harris

ALH/ep

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME

New Day Youth & Family Services

AGENT

Harris Scovelyng

ADDRESS

24120 Monroe Ave #710

PROJECT NO.

1002624

APPLICATION NO.

03 DRB 01223

\$ 285⁰⁰ 441006 / 4983000 (DRB Cases)

FOR INTERNAL ROUTING

\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)

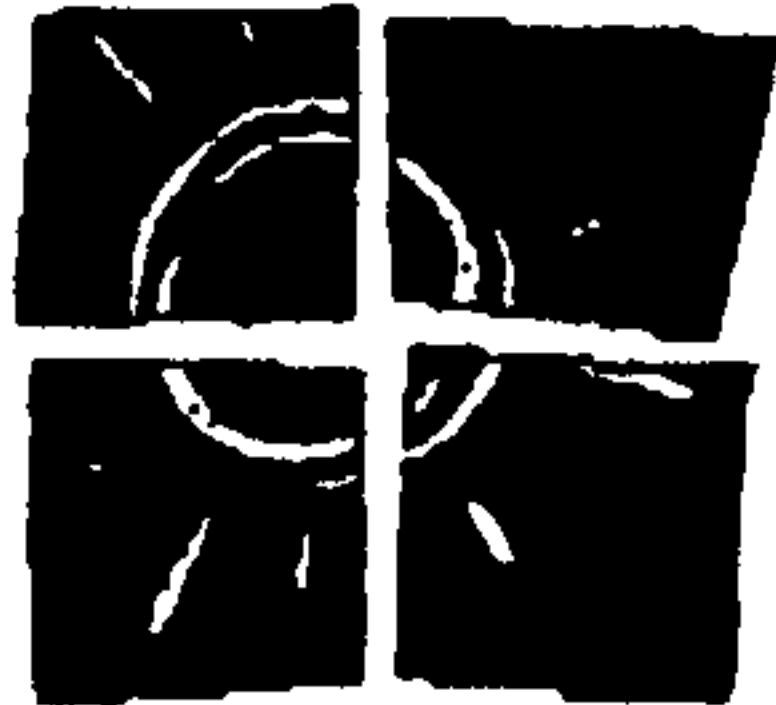
\$ _____ 441018 / 4971000 (Notification)

\$ 285⁰⁰

Total amount due

DUPLICATE
City Of Albuquerque
Treasury Division

07/22/2003 8:38AM 1001 ARK...
RECEIPT# 00010218 WSH 006 TRANS 0000
Account 441006 Fnd 0110
Activity 4983000 TRF...
Trans Amt \$995.00
J24 Misc
VI 10/28/02
CHANGE



NEW DAY
YOUTH & FAMILY SERVICES

...The path to a brighter future

June 30, 2003

To Whom It May Concern:

Harris Surveying, Inc. has been contracted by A New Day, Inc., DBA: New Day Youth and Family Service, and is acting on behalf of New Day to replat the property located at 2820 Ridgecrest SE, Albuquerque, NM 87108.

Should you have any questions, or need any additional information, please do not hesitate to contact me.

Sincerely,

Terry Shoebottom, VP

Terry Shoebottom
VP/CFO
Director of Operations

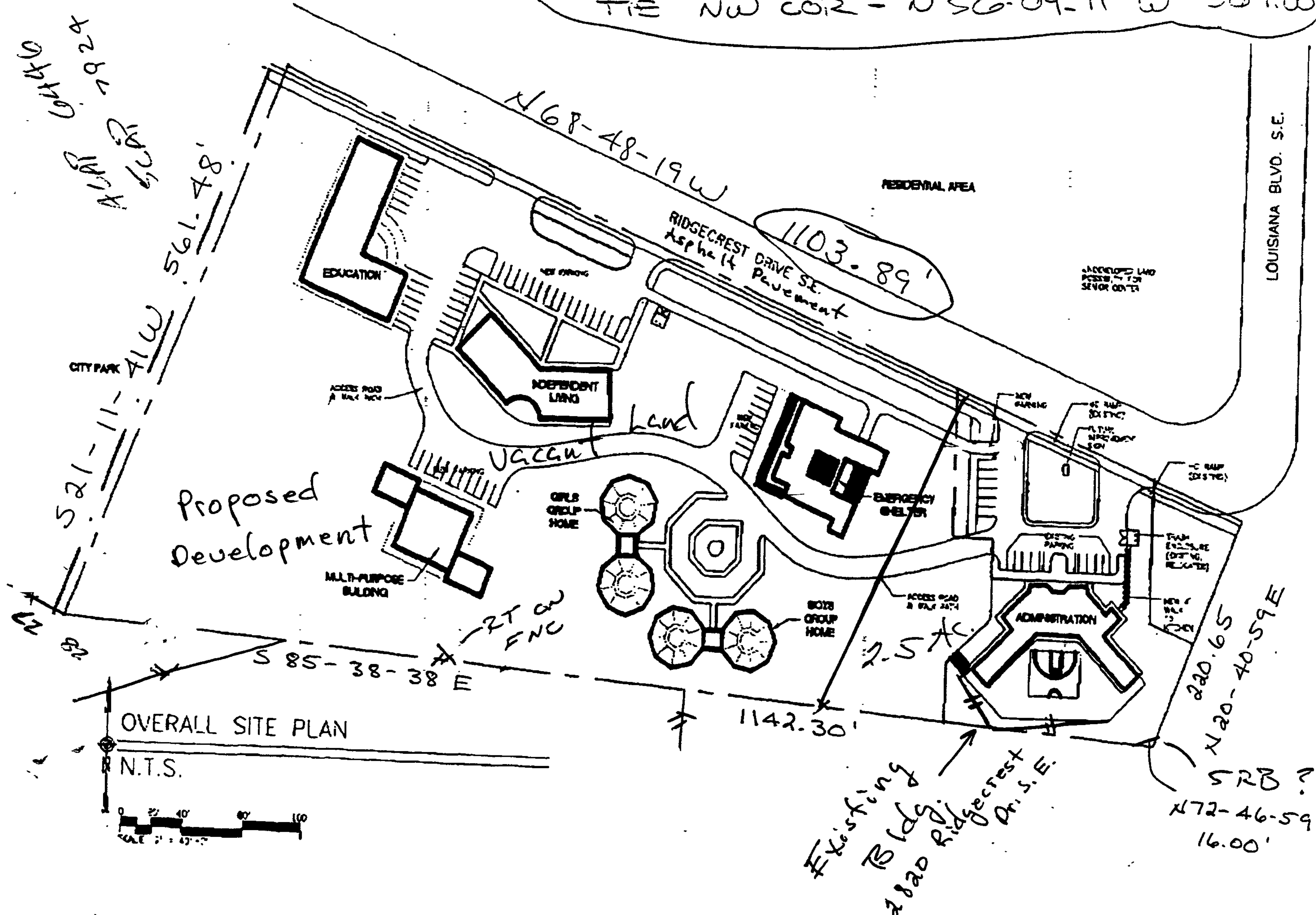
NEW DAY YOUTH AND FAMILY SERVICES

2820 RIDGECREST DR. SE
ALBUQUERQUE, NM

SITE PLAN FOR FUTURE CAMPUS

2003 - 2008

TIE NW COR - N 56-09-11 W 569.00



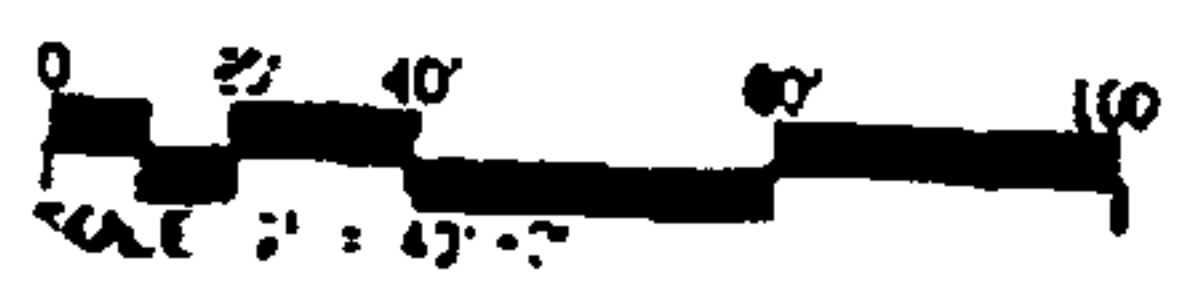
Rpr 11 03 09:41a Rick Bennett

505-242-6630

W.P.2

OVERALL SITE PLAN

N.T.S.



Existing Bldg. 2820 Ridgcrest Dr. S.E.

528 ?
N72-46-59
16.00'

PROJECT

1002624

App #

Action

Date

13-70430

SBP

2-13-13

February 13, 2013