

PROJECT DATA

ADDRESS: 2820 RIDGECREST DRIVE SE, ALBUQUERQUE NEW MEXICO

LEGAL DESCRIPTION:
WESTERLY PORTION OF TRACT A, LANDS OF NEW DAY, INC., AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT OF TRACTS A AND B, LANDS OF NEW DAY, INC., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY, 2004 FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 8, 2004, IN VOLUME 2004C, PAGE 71.

ZONE ATLAS PAGE: M-18-Z

SITE AREA
TRACT A, 2.5 ACRES, 108,000 SQUARE FEET

LAND USE ZONING:
EXISTING - SU-1 FOR SHORT TERM SHELTER

DWELLING UNIT TYPES:	GROSS HEATED AREA	QUANTITY
STUDIO APARTMENTS / 1 BATH	353 SF	5
STUDIO APARTMENTS / 1 BATH	458 SF	1
	TOTAL UNIT COUNT	6

BUILDING AREAS:	GROSS HEATED AREA	UNHEATED AREA	TOTAL AREA
PROPOSED RESIDENTIAL	2,233 SF	861 SF	3,094 SF
PROPOSED LIFE SKILLS ACADEMY	3,793 SF	222 SF	4,015 SF
PROJECT TOTALS	6,026 SF	1,083 SF	7,109 SF

LANDSCAPING:
REFER TO SHEET SDP-3 FOR LANDSCAPE

SCREENING:
REFUSE CONTAINER SHALL BE SCREENED FROM VIEW THROUGH THE USE OF WALLS AT LEAST 8 FT HIGH AND MEET COA STANDARDS. REFUSE ENCLOSURES SHALL BE FURTHER SCREENED THROUGH USE OF TREES AND SHRUBS

BUILDING HEIGHTS:
SEE SHEET SDP-5 FOR BUILDING HEIGHTS

BUILDING SETBACKS:
REFER TO SHEET SDP-1 FOR SETBACKS

OCCUPANCY:
STUDIO APARTMENTS - R-4 RESIDENTIAL CARE FACILITY
LIFE SKILLS ACADEMY - B OCCUPANCY

CONSTRUCTION TYPE
TYPE V-B - WITH AUTOMATIC SPRINKLERS PER NFPA 13R

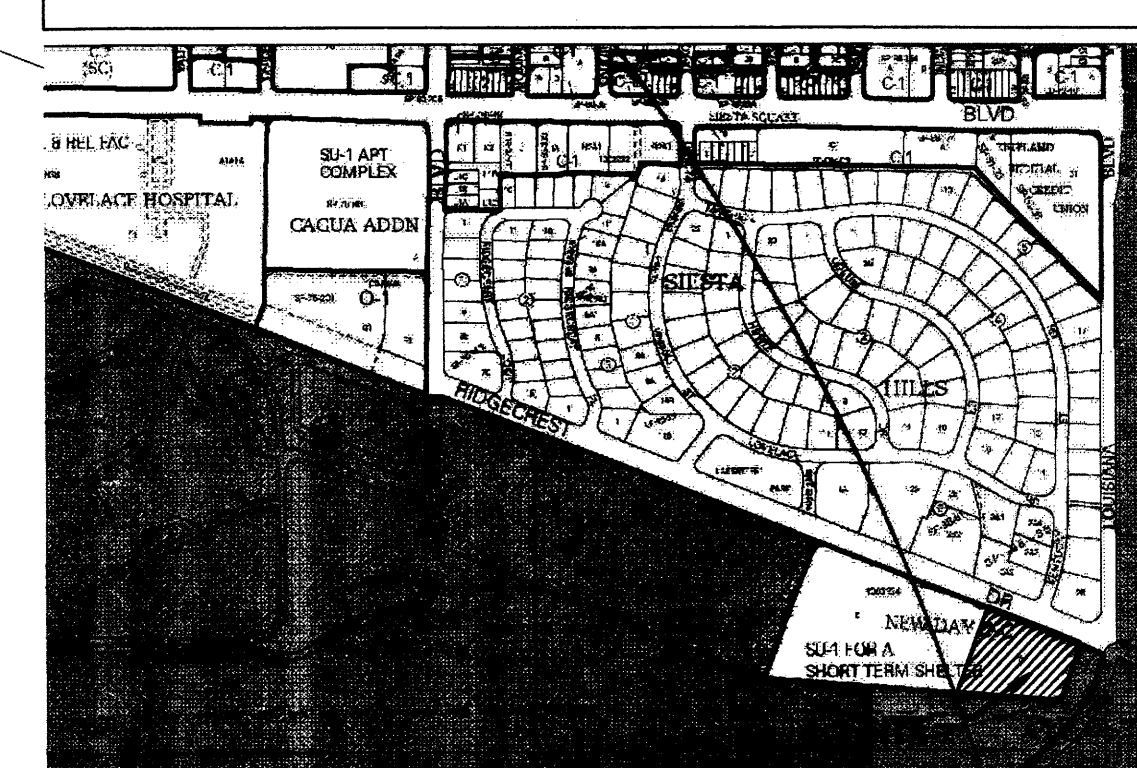
OFF STREET PARKING

EXISTING PARKING:	STANDARD SPACES	HANDICAP ACCESSIBLE SPACES	TOTAL
	11 SPACES	2 SPACES	13 SPACES

NEW PARKING REQUIRED: (OFF STREET PARKING REGULATIONS COA ZONING CODE)
COMMUNITY RESIDENTIAL PROGRAM: 1 SPACE PLUS 1 SPACE PER FOUR CLIENTS
LIFE SKILLS ACADEMY (OFFICES): 1 SPACE PER 200 SF NET LEASABLE SPACE

NEW PARKING PROVIDED:	STANDARD SPACES	HANDICAP ACCESSIBLE SPACES	TOTAL
RESIDENTIAL UNITS (CRP)	4 SPACES	0 SPACES	4 SPACES
LIFE SKILLS ACADEMY (OFFICE)	4 SPACES	0 SPACES	4 SPACES
NOTE: LSA FACILITY IS ANGLIARY TO RESIDENTIAL USE. THE STAFF WORK AREAS INCLUDES TWO OFFICE SPACES LESS WITH THAN 300 SF TOTAL AREA	5 SPACES	0 SPACES	5 SPACES
VISITOR SPACES	5 SPACES	0 SPACES	5 SPACES
	TOTAL		18 SPACES

TOTAL PARKING PROVIDED (EXISTING + NEW)	STANDARD SPACES	HANDICAP ACCESSIBLE SPACES	TOTAL
	24 SPACES	2 SPACES	26 SPACES
	PROVIDED - 2 SPACES	PROVIDED - 2 SPACES	PROVIDED - 4 SPACES
			TOTAL - 26 SPACES
	MOTORCYCLE PARKING: REQUIRED - 2 SPACES	PROVIDED - 2 SPACES	PROVIDED - 4 SPACES
	BICYCLE PARKING: REQUIRED - 6 SPACES	PROVIDED - 6 SPACES	PROVIDED - 12 SPACES



PROJECT NUMBER: 1002624
APPLICATION NUMBER: EPC Site Development Plan-Building Permit

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

UTILITIES DIVISION DATE

PARKS AND RECREATION DEPARTMENT DATE

CITY ENGINEER DATE

SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

GENERAL SHEET NOTES

- SITE LIGHTING SHALL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED LIGHT FIXTURES AT PARKING AREA. ALL POLE AND BUILDING MOUNTED FIXTURES SHALL HAVE CUT-OFF ANGLE OR SHIELDING SUCH THAT FIXTURE DOES NOT DIRECTLY SHINE ONTO ADJACENT PUBLIC R.O.W. OR RESIDENCES.
- MECHANICAL AND ELECTRICAL EQUIPMENT WILL BE SCREENED FROM VIEW TO GREATEST EXTENT POSSIBLE.

SHEET KEYED NOTES

- EXISTING PROPERTY LINE
- EXISTING PUBLIC SIDEWALK
- EXISTING PUBLIC TRANSIT STOP, BUS ROUTES: #3 LOUISIANA AND #17 MONTANA, UPTOWN AND KENTLAND
- EXISTING HANDICAP ACCESSIBLE SIDEWALK RAMP
- EXISTING CONCRETE CURB AND GUTTER
- EXISTING VEHICULAR ACCESS (RIGHT IN/RIGHT OUT/LEFT IN/LEFT OUT)
- EXISTING MONUMENT SIGN TO BE REMOVED
- EXISTING FIRE HYDRANT
- EXISTING WIRE FENCE
- EXISTING ELECTRICAL POWER POLE
- EXISTING HANDICAP PARKING SIGN
- EXISTING HANDICAP ACCESSIBLE PARKING SPACE
- EXISTING PARKING SPACES
- EXISTING CONCRETE SIDEWALK
- EXISTING ASPHALT PAVING
- EXISTING CONCRETE VALLEY GUTTER
- EXISTING LANDSCAPED YARD AND 6 FT HIGH CEDAR FENCE
- EXISTING PORTABLE STORAGE BUILDING
- EXISTING POLE MOUNTED SECURITY LIGHT FIXTURE
- EXISTING LANDSCAPE AREA
- REMOVE EXISTING REFUSE CONTAINER CONCRETE SLAB
- REMOVE EXISTING CONCRETE CURB
- CONCRETE PAVED MOTORCYCLE PARKING (2 SPACES)
- MOTORCYCLE PARKING SIGN; SEE CANSDP-2
- REFUSE ENCLOSURE; SEE BA/SDP-2
- 4" THICK CONCRETE SIDEWALK, WIDTH AS SHOWN, PER CITY OF ALBUQUERQUE DPM STANDARDS
- 4" THICK COMPACTED RECYCLED ASPHALT PARKING SURFACE
- CONCRETE HEADER CURB PER CITY OF ALBUQUERQUE DPM STANDARDS CONNECT TO EXISTING CURB
- PATTERNED AND INTEGRALLY COLORED CONCRETE CROSSWALK PAVING
- PARKING STALL PER CITY OF ALBUQUERQUE DPM STANDARDS
- HANDICAP ACCESSIBLE SIDEWALK RAMP 1:12 SLOPE MAXIMUM, PER CITY OF ALBUQUERQUE DPM STANDARDS
- BICYCLE RACK; SEE CANSDP-2
- 8 FT HIGH WELDED WIRE FENCE WITH POWDER COATED FINISH, SEE AASDP-2
- 3 FT WIDE X 8 FT HIGH WELDED WIRE GATE WITH POWDER COATED FINISH
- CONCRETE SLAB
- EXTERIOR MOUNTED PARKING AREA LIGHT FIXTURE; SEE A2/SDP-2
- RAISED PLANTING BEDS (FUTURE)
- PRECAST CONCRETE PARKING BUMPER
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION

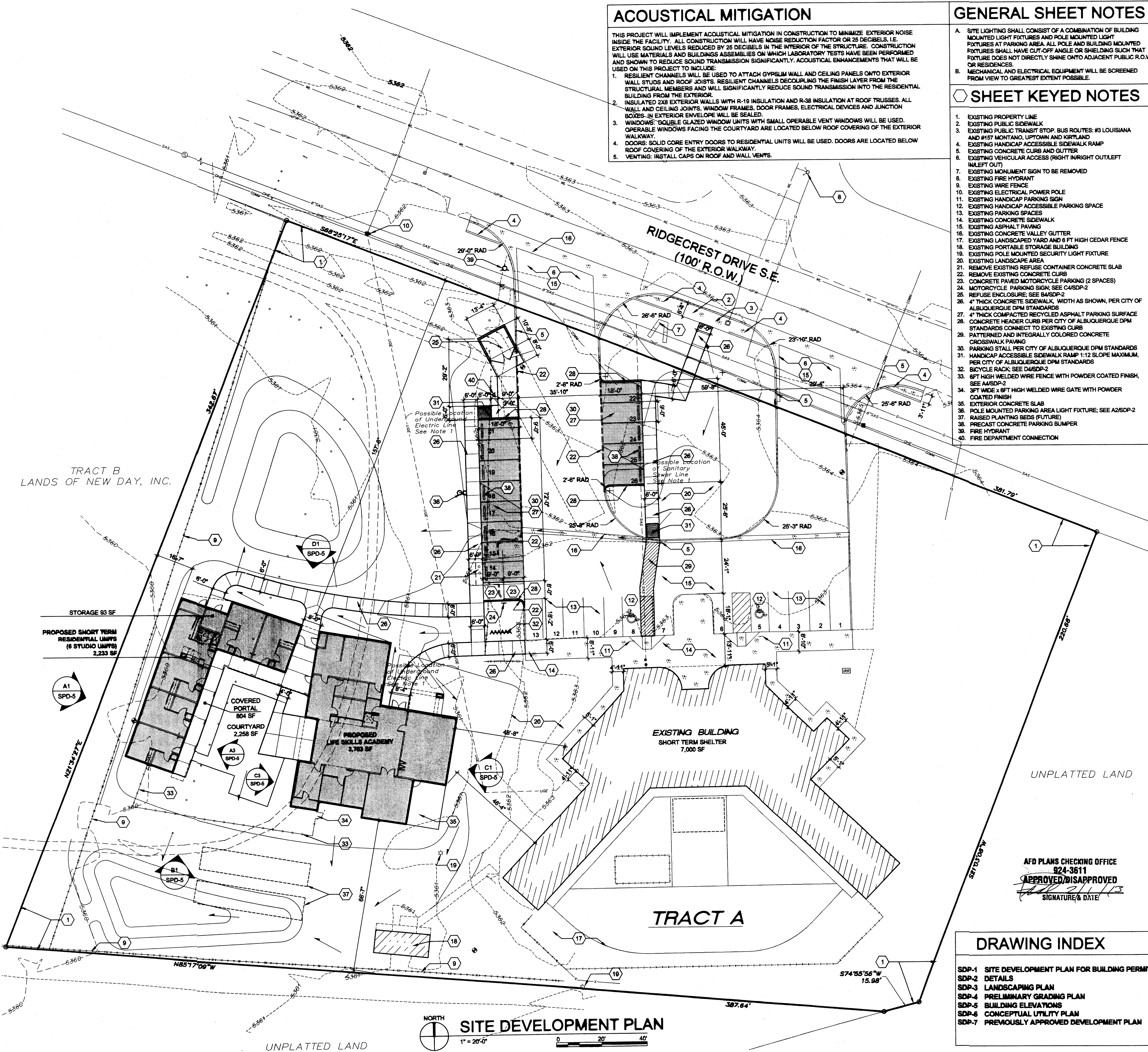
DRAWING INDEX

- SDP-1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- SDP-2 DETAILS
- SDP-3 LANDSCAPING PLAN
- SDP-4 PRELIMINARY GRADING PLAN
- SDP-5 BUILDING ELEVATIONS
- SDP-6 CONCEPTUAL UTILITY PLAN
- SDP-7 PREVIOUSLY APPROVED DEVELOPMENT PLAN

ACOUSTICAL MITIGATION

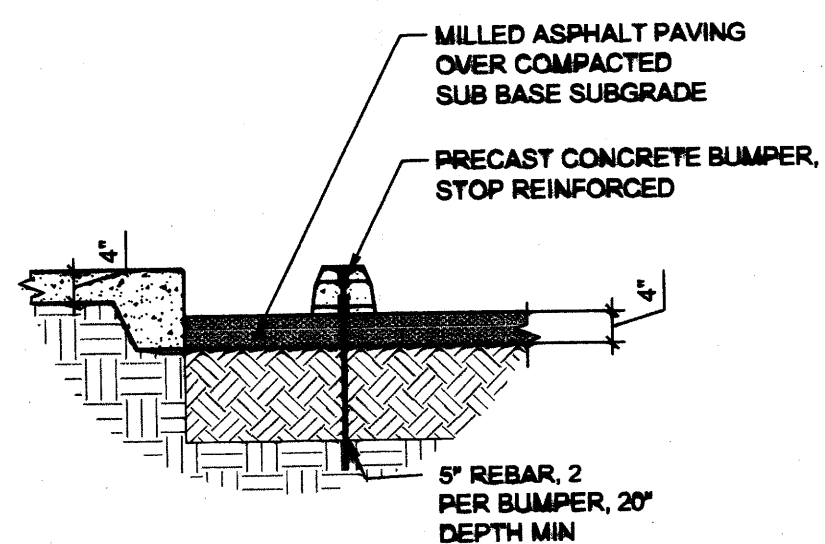
THIS PROJECT WILL IMPLEMENT ACOUSTICAL MITIGATION IN CONSTRUCTION TO MINIMIZE EXTERIOR NOISE INSIDE THE FACILITY. ALL CONSTRUCTION WILL HAVE NOISE REDUCTION FACTOR OR 25 DECIBELS, I.E. EXTERIOR SOUND LEVELS REDUCED BY 25 DECIBELS IN THE INTERIOR OF THE STRUCTURE. CONSTRUCTION WILL USE MATERIALS AND BUILDINGS ASSEMBLIES ON WHICH LABORATORY TESTS HAVE BEEN PERFORMED AND SHOWN TO REDUCE SOUND TRANSMISSION SIGNIFICANTLY. ACOUSTICAL ENHANCEMENTS THAT WILL BE USED ON THIS PROJECT TO INCLUDE:

- RESILIENT CHANNELS WILL BE USED TO ATTACH GYPSUM WALL AND CEILING PANELS ONTO EXTERIOR WALL STUDS AND ROOF JOISTS. RESILIENT CHANNELS DECOUPLING THE FINISH LAYER FROM THE STRUCTURAL MEMBERS AND WILL SIGNIFICANTLY REDUCE SOUND TRANSMISSION INTO THE RESIDENTIAL BUILDING FROM THE EXTERIOR.
- INSULATE 2 X8 EXTERIOR WALLS WITH R-19 INSULATION AND R-38 INSULATION AT ROOF TRUSSES. ALL WALL AND CEILING JOINTS, WINDOW FRAMES, DOOR FRAMES, ELECTRICAL DEVICES AND JUNCTION BOXES IN EXTERIOR ENVELOPE WILL BE SEALED.
- WINDOWS: DOUBLE GLAZED WINDOW UNITS WITH SMALL OPERABLE VENT WINDOWS WILL BE USED. OPERABLE WINDOWS FACING THE COURTYARD ARE LOCATED BELOW ROOF COVERING OF THE EXTERIOR WALKWAY.
- DOORS: SOLID CORE ENTRY DOORS TO RESIDENTIAL UNITS WILL BE USED. DOORS ARE LOCATED BELOW ROOF COVERING OF THE EXTERIOR WALKWAY.
- VENTING: INSTALL CAPS ON ROOF AND WALL VENTS.

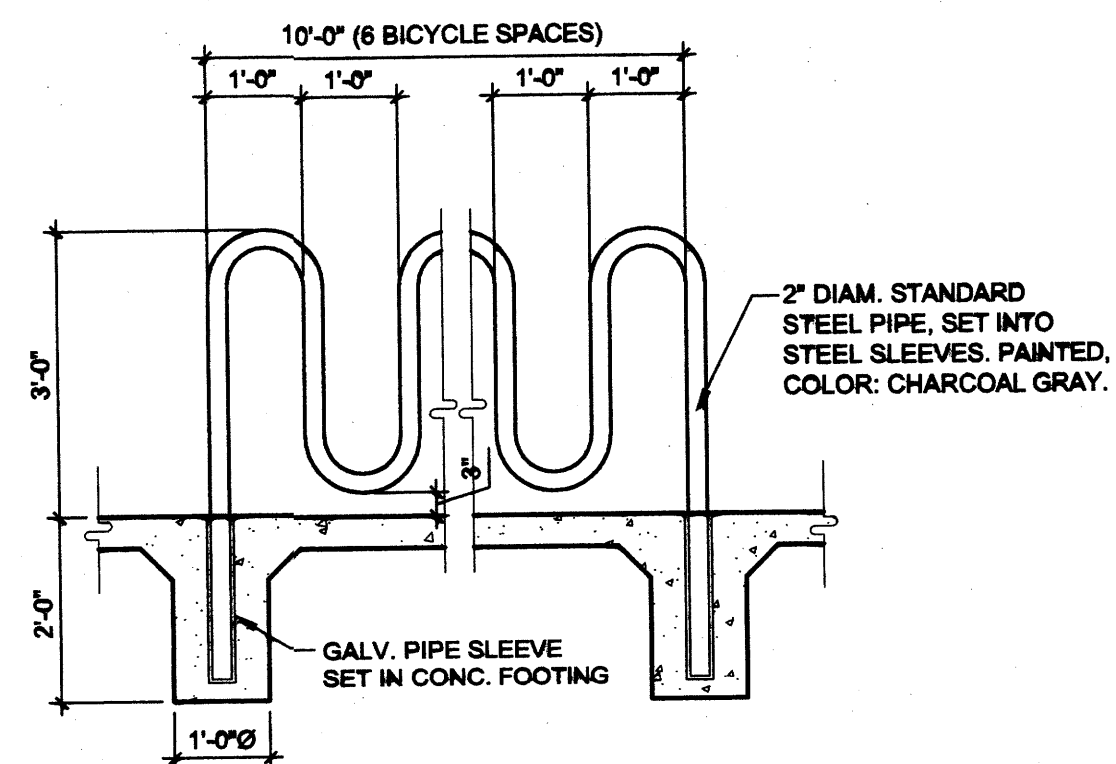


SITE DEVELOPMENT PLAN
1" = 20'-0"
0 20' 40'

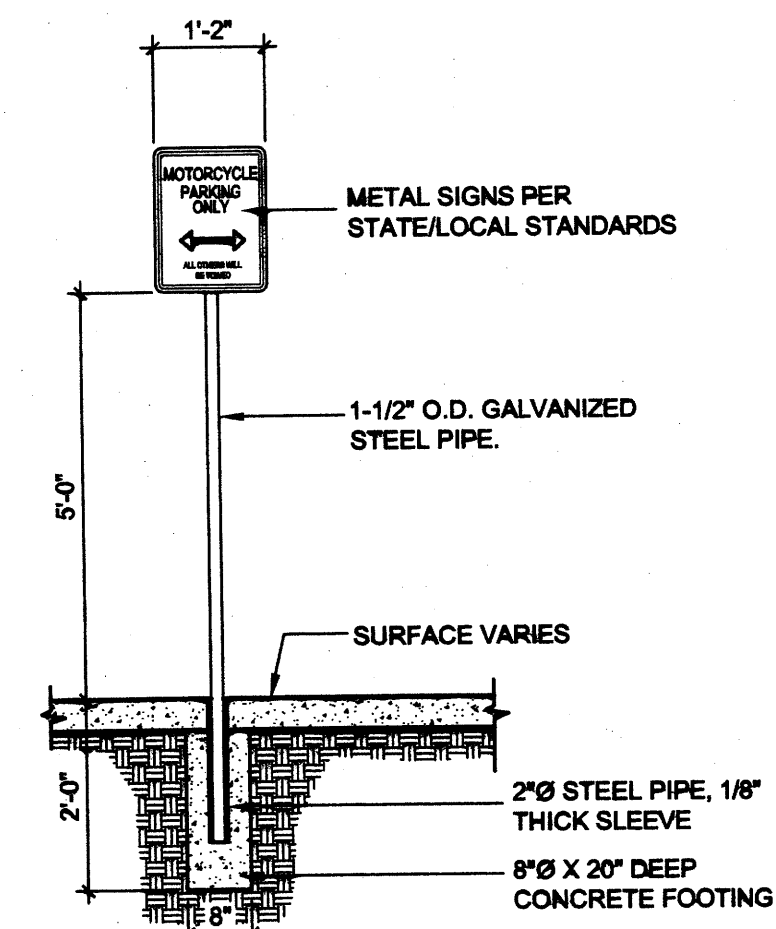
AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
2/11/13
SIGNATURE & DATE



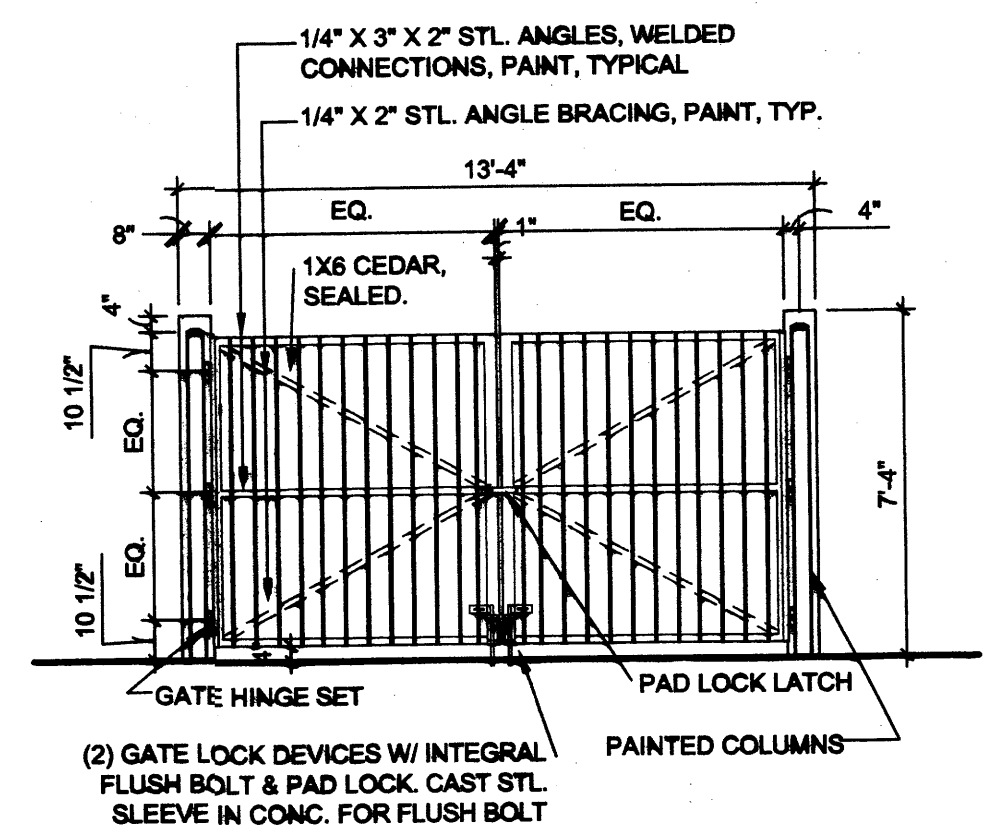
D3 PARKING STALL MILLED ASPHALT DETAIL
1/2" = 1'-0"



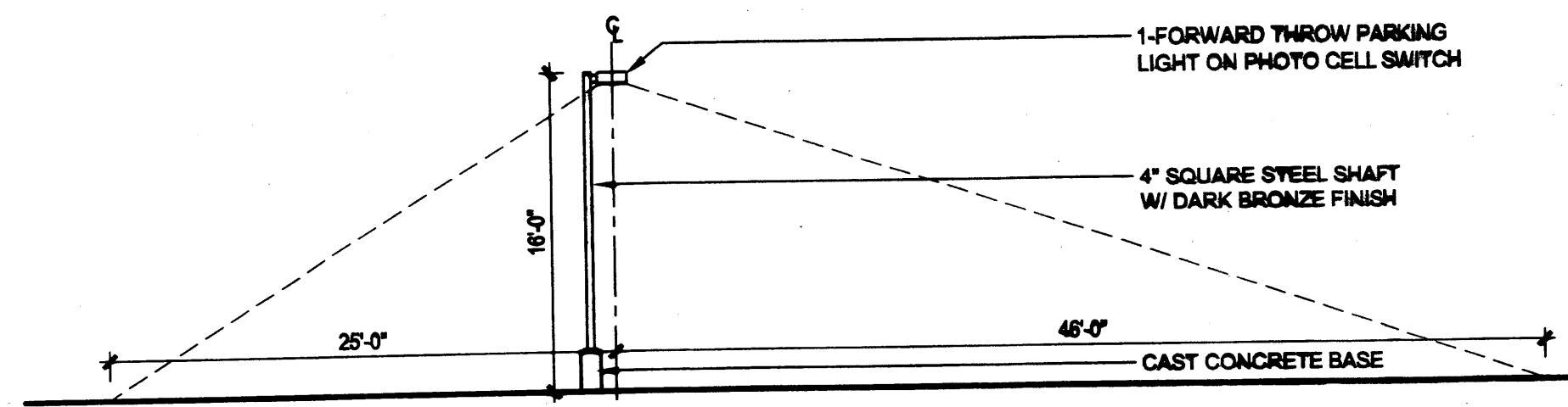
D4 BIKE RACK DETAIL
1/2" = 1'-0"



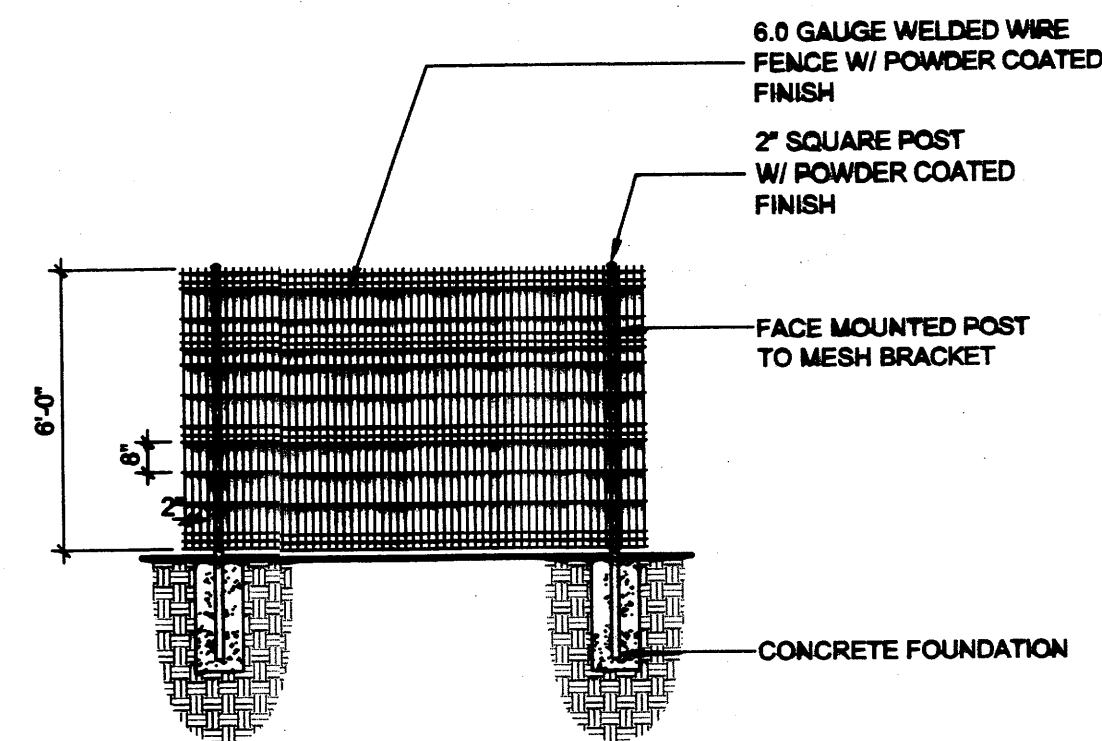
C4 MOTORCYCLE PARKING SIGN
1/2" = 1'-0"



B4 GATE AT REFUSE ENCLOSURE
1/4" = 1'-0"



A2 LIGHT POLE
1/8" = 1'-0"



A4 WELDED WIRE FENCE
1/4" = 1'-0"

LANDSCAPE CALCULATIONS

TOTAL SITE AREA: 108,932 SF = 2.5 AC
 NEW BUILDING AREA: 5,936 SF
 EXISTING BUILDING AREA: 7,000 SF
 NET LOT AREA: 95,996 SF = 2.2 AC
 REQUIRED LANDSCAPE AREA: 15% OF NET LOT AREA = 14,399 SF
 PROVIDED LANDSCAPE AREA: 80,502 SF - ROW AREA 8,027 SF = 72,475 SF = 75%

TREES/PARKING SPACES:
 REQUIRED: 1 TREE/10 PARKING SPACES = 26 PARKING SPACES/10 = 3 TREES
 PROVIDED: 15 TREES

STREET TREES:
 REQUIRED: 12 TREES FOR 381' ROAD FRONTAGE
 PROVIDED: 15 TREES (EXISTING AND PROPOSED)

GENERAL SHEET NOTES

A. FOR GRADING AND DRAINAGE INFORMATION, SEE CIVIL DRAWINGS. DO NOT RELY ON LANDSCAPE DRAWINGS FOR GRADING INFORMATION.
 B. FOR ADDITIONAL INFORMATION ON SITE ELEMENTS, SEE SITE PLAN.

PLANTING NOTES

- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- LANDSCAPING SHALL BE INSTALLED ACCORDING TO THE APPROVED PLAN; INSTALLATION SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- AFTER SUBSTANTIAL COMPLETION, THE INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- PLANTING SCHEDULE APPLIES TO NEW PLANT MATERIAL ONLY. FINAL SPECIES AND LOCATIONS MAY VARY FROM THIS PLAN.
- LANDSCAPING SHALL HAVE ADEQUATE MAINTENANCE. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 90 DAYS AFTER NOTIFICATION.
- NO TURF IS BEING PROPOSED IN THIS PROPOSED PROJECT.
- LANDSCAPE AREAS SHALL BE COVERED WITH MULCH OR SEED. SEE PLANTING LEGEND.
- IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE CONDITIONS, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING AND IRRIGATION OPERATIONS.
- MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
- LANDSCAPE ARCHITECT SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING, AND RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
- ALL PLANT MATERIAL MUST BE NURSERY GROWN, AND ALL PLANTS SHALL BEAR SAME RELATION TO FINISHED GRADE AS IN ORIGINAL NURSERY CONDITION.
- ALL LINES SHOWN BETWEEN MULCH TYPES ARE FOR REFERENCE ONLY AND DO NOT INDICATE STEEL EDGING.
- NATIVE SOILS MAY BE USED FOR LANDSCAPE INSTALLATION, BUT SHALL BE BLENDED WITH IMPORTED TOPSOIL BLEND AND/OR COMPOST.
- WHERE MULCH IS ADJACENT TO CONCRETE, FINISH GRADE OF MULCH TO BE APPROXIMATELY 1/2" BELOW TOP OF CONCRETE.
- IF CIVIL DRAWINGS SHOW AREAS OF DISTURBANCE BEYOND LANDSCAPE AREAS SHOW HERE, THOSE AREAS SHALL BE TREATED WITH NATIVE SEEDING.
- NEW TREES SHALL BE LOCATED TO NOT CONFLICT WITH NEW POLE MOUNTED PARKING AREA LIGHTING.

IRRIGATION NOTES

- THE IRRIGATION SYSTEM DESIGN SHALL COMPLY WITH ALL CITY WATER CONSERVATION LANDSCAPE AND WASTE WATER ORDINANCES.
- A FULLY AUTOMATED IRRIGATION SYSTEM SHALL BE USED TO IRRIGATE TREES, SHRUBS, AND GROUND COVER PLANTING AREAS.
- THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTER VALVE. SEE COA STD DETAIL 2701.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO PLANT WATER REQUIREMENTS.
- EACH TREE SHALL RECEIVE THREE (3) - ONE (1) GPH EMITTERS. EACH SHRUB/PERENNIAL SHALL RECEIVE TWO (2) - TWO (2) GPH EMITTERS. EACH ACCENT PLANT SHALL RECEIVE TWO (2) - ONE (1) GPH EMITTER.
- THE MAINTENANCE OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

SHEET KEYED NOTES

- PROPERTY LINE
- EXISTING STREET TREES
- EXISTING MONUMENT SIGN
- EXISTING WIRE FENCE
- PONDING AREA, SEE CIVIL
- CRUSHER FINES COURTYARD
- WELDED WIRE FENCING, SEE SITE PLAN
- FUTURE BASED PLANTING BEDS, SEE SITE PLAN
- REMOVE EXISTING TREE

PLANTING SCHEDULE

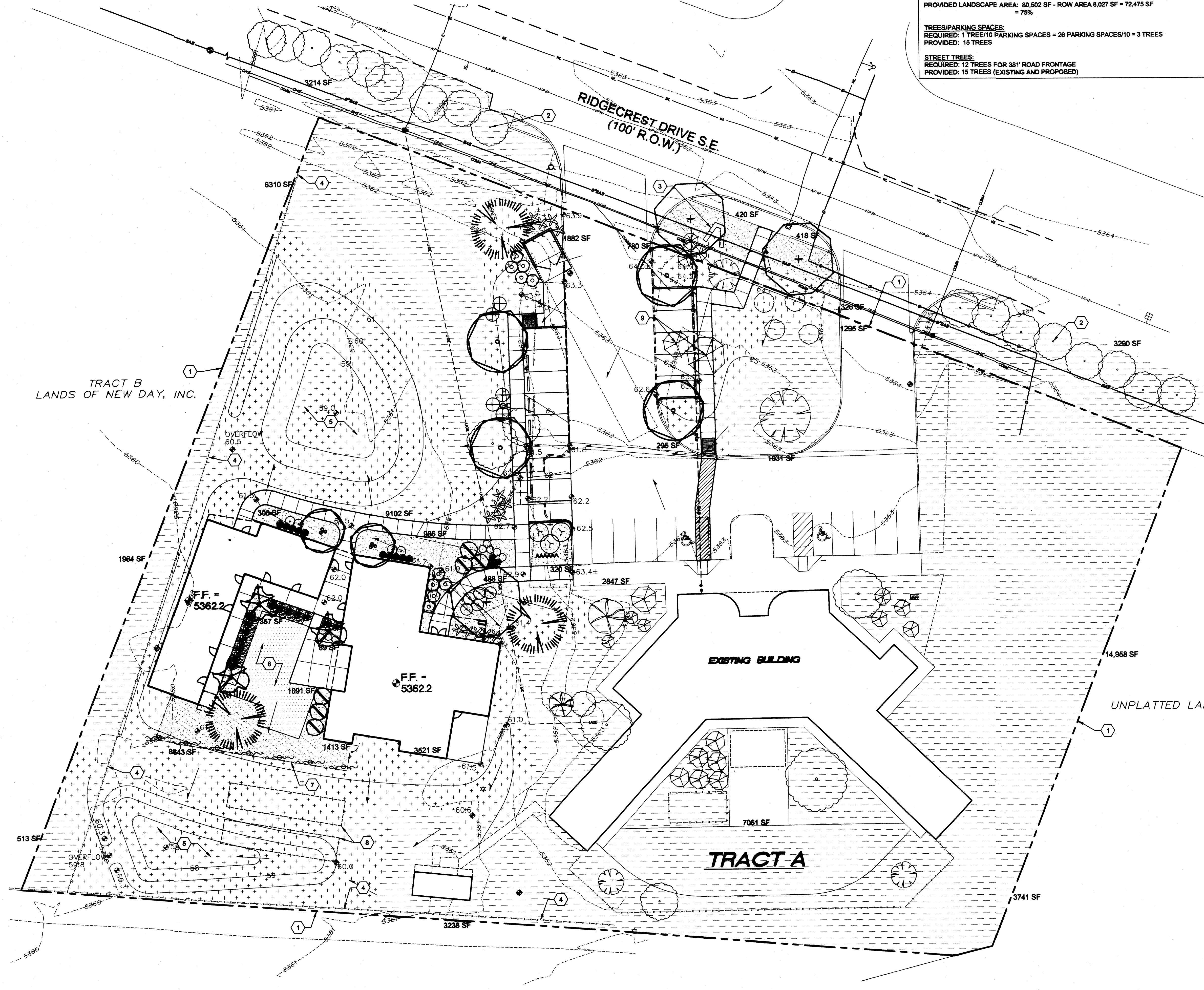
TREES			
SYM	EST QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE/ MATURE SIZE/ WATER USE
	2	Crataegus ambigua/ RUSSIAN HAWTHORNE	2" Cal. 20'x20' Medium
	3	Quercus muhlenbergii/ NEW MEXICO OLIVE	36" Box (2" Cal) multi-trunk Low
	3	Pinus nigra/ AUSTRIAN PINE	10' Height 40'x25' Low
	4	Pistacia chinensis/ CHINESE PISTACHE	2" Cal. 30'x30' Low
	3	Quercus muhlenbergii/ CHINQUAPIN OAK	2" Cal. 30'x30' Medium

SHRUBS			
SYM	EST QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE/ MATURE SIZE/ WATER USE
	5	Buddleia davidii 'Pink' PINK BUTTERFLY BUSH	5 Gal. 6'x6' Medium
	3	Ceanothus glaucus/ BIRD OF PARADISE	5 Gal. 8'x10' Low
	4	Caryopteris clandonensis 'Dark Knight' DARK KNIGHT SPIREA	5 Gal. 4'x4' Medium
	10	Chamaecrista nictitans/ FERNBUSH	5 Gal. 5'x5' Medium
	9	Lavandula angustifolia 'Hidcote' HIDCOTE BLUE LAVENDER	1 Gal. 2'x3' Medium
	7	Lonicera sempervirens/ EVERGREEN HONEYSUCKLE	1 Gal. 5'x5' Medium
	6	Plus mugo/ MUGO PINE	5 Gal. 5'x5' Medium
	5	Prunus besseyi/ WESTERN SAND CHERRY	5 Gal. 5'x5' Medium

ACCENTS			
SYM	EST QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE/ MATURE SIZE/ WATER USE
	14	Dasylirion texana/ SOTOL	5 Gal. 4'x4' Low
	15	Nolina microcarpa/ BEAR GRASS	5 Gal. 4'x5' Low

GRASSES			
SYM	EST QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE/ MATURE SIZE/ WATER USE
	10	Muhlenbergia capillaris 'Regal Mist' REGAL MIST GRASS	1 Gal. 3'x3' Low
	13	Muhlenbergia rigens/ DEER GRASS	5 Gal. 4'x3' Low

OTHER			
SYM	EST QTY	DESCRIPTION	INSTALLATION SIZE/ MATURE SIZE/ WATER USE
	4,792 SF	1" ROCK MULCH, 3" DEPTH OVER FILTER FABRIC, COLOR: BROWN	
	1,091 SF	CRUSHER FINES MULCH, 3" DEPTH OVER FILTER FABRIC, COLOR: BROWN	
	25,753 SF	NATIVE SEED, COA EASTSIDE MIX, NON-IRRIGATED	
	48,866 SF	EXISTING UNDISTURBED LANDSCAPE AREA	
		EXISTING TREES	
		EXISTING SHRUBS	



LANDSCAPE PLAN
 NORTH
 A1
 1" = 20'-0"
 0 20' 40'

architecture
interiors
landscape
planning
engineering

Dekker Perich Sabatini

7601 Jefferson NE Suite 100
 Albuquerque, NM 87109
 505 761-9700
 Fax 761-4222
 dps@dpsdesign.org

ARCHITECT

ENGINEER

DRB SUBMITAL

PROJECT

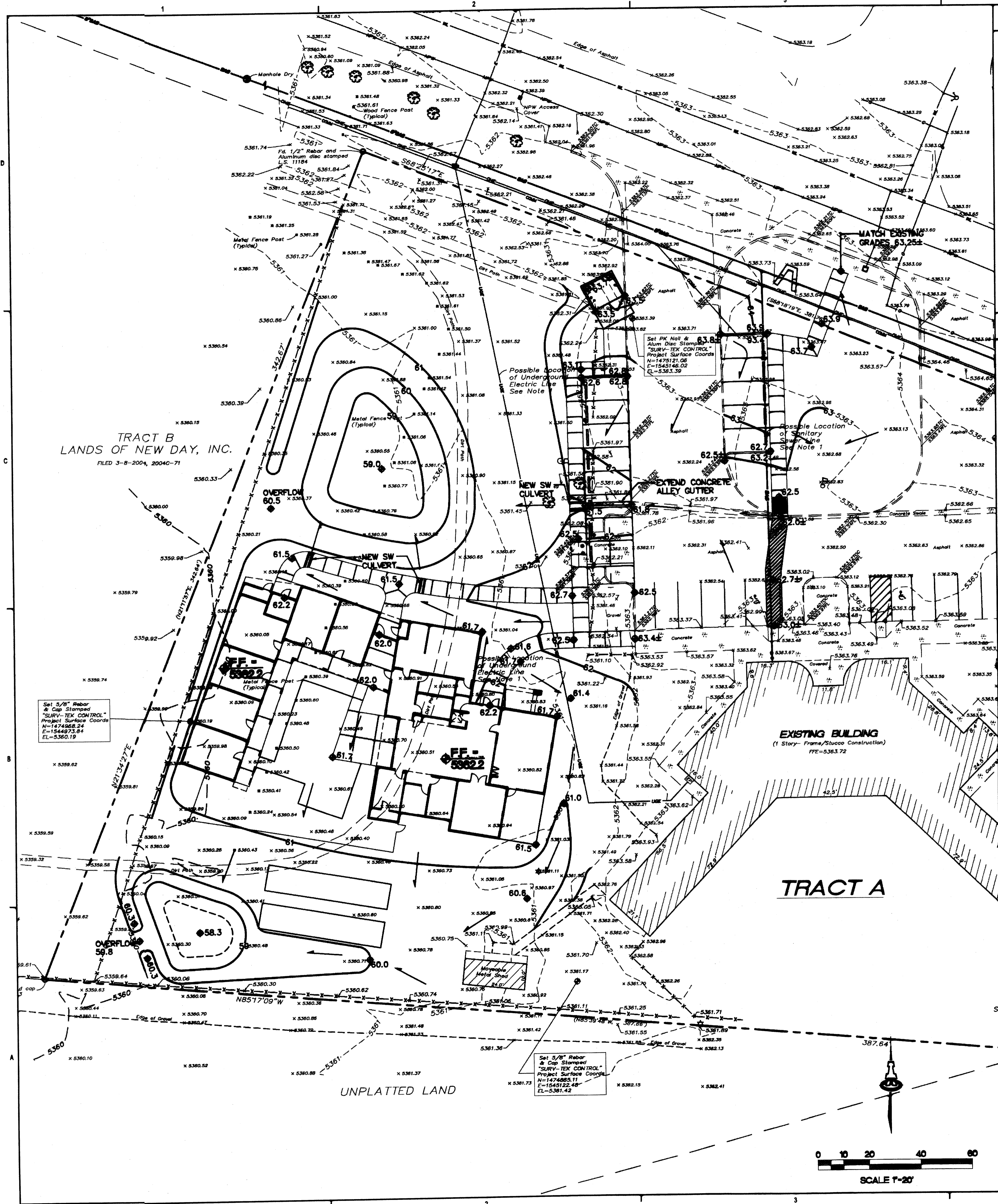
**New Day Expansion
 2820 Ridgcrest SE
 Albuquerque, New Mexico 87108**

REVISIONS

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DRAWN BY: CM
 REVIEWED BY: MB
 DATE: 10-19-2012
 PROJECT NO.: 11-0116
 DRAWING NAME: LANDSCAPE PLAN

SHEET NO. **SDP-3**
 OF



PROJECT SCOPE

THE SITE IS A PARTIALLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP M-18. THE SITE IS BOUND TO THE EAST, SOUTH AND WEST BY UNDEVELOPED COMMERCIAL PROPERTY AND TO THE NORTH BY RIDGECREST DR. S.E.

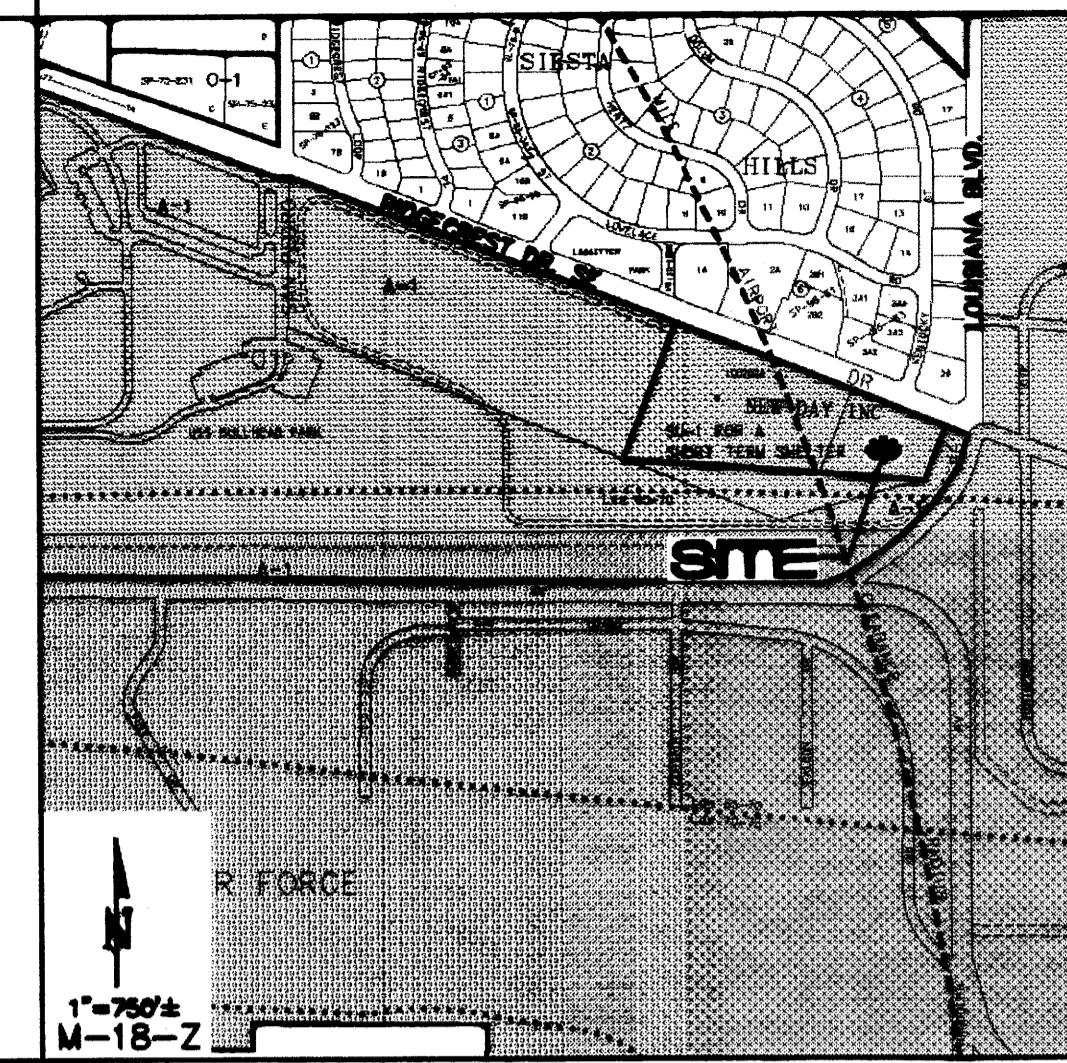
PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE TWO NEW BUILDINGS WITH ASSOCIATED ASPHALT PAVED ACCESS, PEDESTRIAN WALKS, COURTYARD, PARKING, AND LANDSCAPING.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

DRAINAGE PLAN CONCEPT:

FLOW FROM THE EXISTING FACILITY TO THE EAST WILL CONTINUE TO DISCHARGE THROUGH THE NORTHWEST PORTION OF THE PROPERTY. WATER HARVESTING / DESILTATION PONDS WILL BE CONSTRUCTED ON THE NORTH AND SOUTH SIDES OF THE PROPOSED BUILDING TO CONTROL RUNOFF TO HISTORIC LEVELS. PER THE INITIAL DRAINAGE AND GRADING PLAN PREPARED FOR THE EXISTING BUILDING / SITE, (CHAVEZ-GRIEVES CONSULTING ENGINEERS; FEB. 1996) KIRTLAND APB ALLOWS CONTINUED USE OF THE EARTHEN POND AT SAN MATEO AND RANDOLPH ST. AT A RATE BASED ON UNDEVELOPED CONDITIONS: MAXIMUM SITE DISCHARGE = 3.00 CFS.

VICINITY MAP



FEMA MAP 35001C0362H



PROJECT DATA

LEGAL DESCRIPTION: WESTERLY PORTION TRACT A LANDS OF NEW DAY, INC., CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

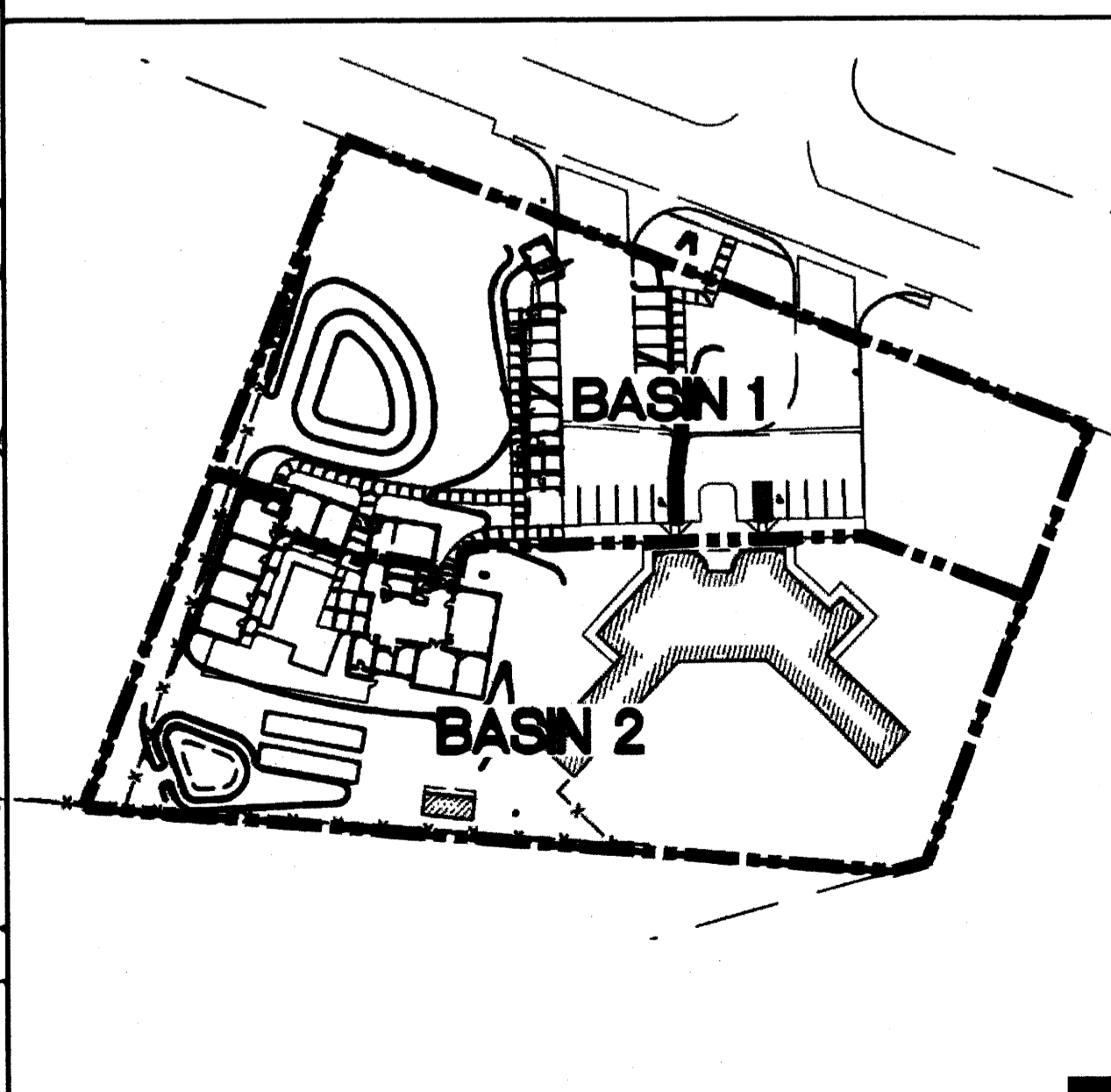
FLOOD ZONE: THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 35001C0362H, MAP REVISED AUGUST 16, 2012.

ENGINEER: FRED C. ARFMAN, P.E. ISAACSON & ARFMAN, P.A. 128 MONROE ST NE, ABO. NM 87108 PHONE: (505) 268-8828

SURVEYOR: RUSS P. HUGG N.M.P.S. SURV-TEK, INC., CONSULTING SURVEYORS 9384 VALLEY VIEW DRIVE N.W. ALBUQUERQUE, NEW MEXICO 87114 PHONE: 505-887-3366

BENCHMARK: VERTICAL DATUM IS BASED ON THE ALBUQUERQUE SURVEY CONTROL MONUMENT "C-2" HAVING AN PUBLISHED ELEVATION OF 5337.430 FEET (NAVD 88).

CALCULATIONS



CALCULATIONS: 1949 New Day Expansion: 9/25/12
 Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan. 1993

ON-SITE CALCULATIONS: 100-YEAR, 6-HOUR STORM

AREA OF SITE: 108932 SF = 2.5

HISTORIC FLOWS:

Area	Treatment %	Flow
Area A	100%	108932
Area B	0%	0
Area C	0%	0
Area D	0%	0
total Area	100%	108932

DEVELOPED FLOWS:

Area	Treatment %	EXCESS PRECIP:
Area A	100%	108932
Area B	0%	25864
Area C	0%	32689
Area D	0%	40305
total Area	100%	108932

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
 Weighted E = $E_A A_A + E_B A_B + E_C A_C + E_D A_D$

Historic	0.66 in.	Developed E = 1.54 in.
On-Site Volume of Runoff: V ₅₆₀ = E _A / 12		
Historic 1	5991 CF	Developed V ₅ = 13660 CF
On-Site Peak Discharge Rate: Q _p = Q _{BA} + Q _{BA} + Q _{BA} + Q _{BA}		
For Precipitation 2.3		
Q _{BA} = 1.87	Q _{CB} = 3.45	
Q _{BA} = 2.60	Q _{DB} = 5.82	
Historic (4.7 CFS	Developed Q ₅ = 9.2 CFS

architecture
interiors
landscape
planning
engineering

Dekker Perich Sabatini

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Albuquerque, NM 87109
505 761-9700
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dps@dpdesign.org

ARCHITECT

PRELIMINARY

ENGINEER: FRED C. ARFMAN, P.E. NEW MEXICO 7322

PROJECT: New Day Expansion 2820 Ridgcrest SE Albuquerque, New Mexico 87108

REVISIONS

△

DRAWN BY

REVIEWED BY

DATE

PROJECT NO. 11-0116

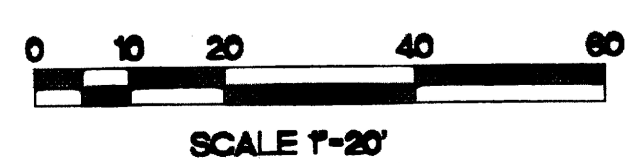
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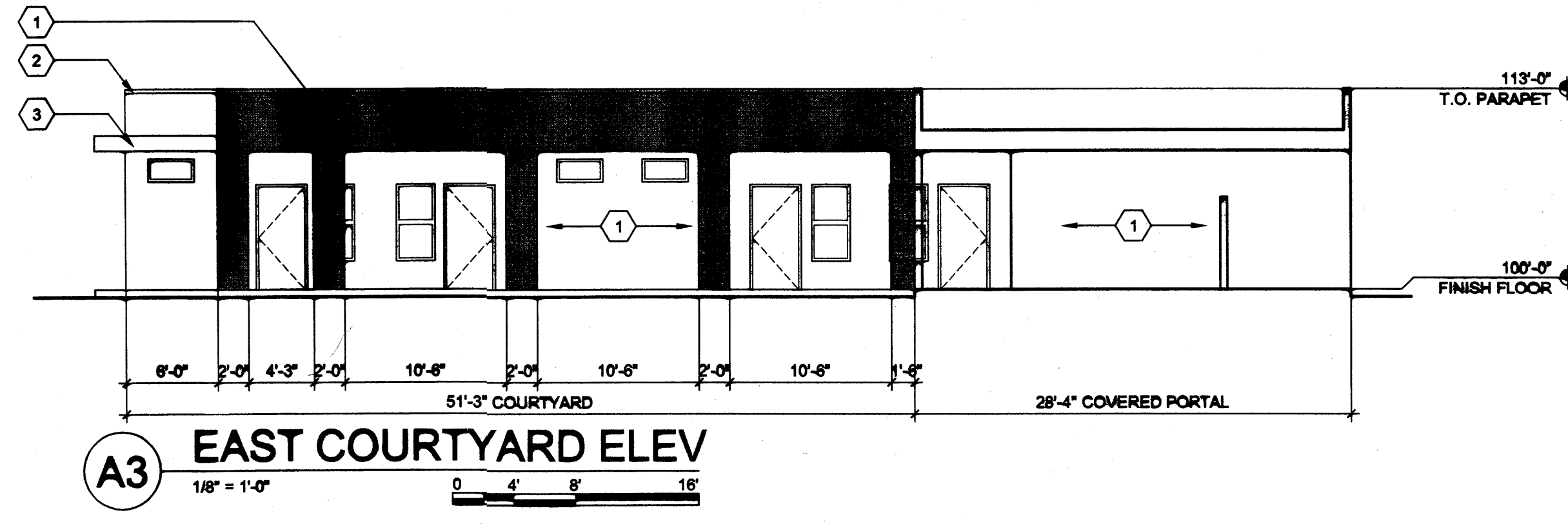
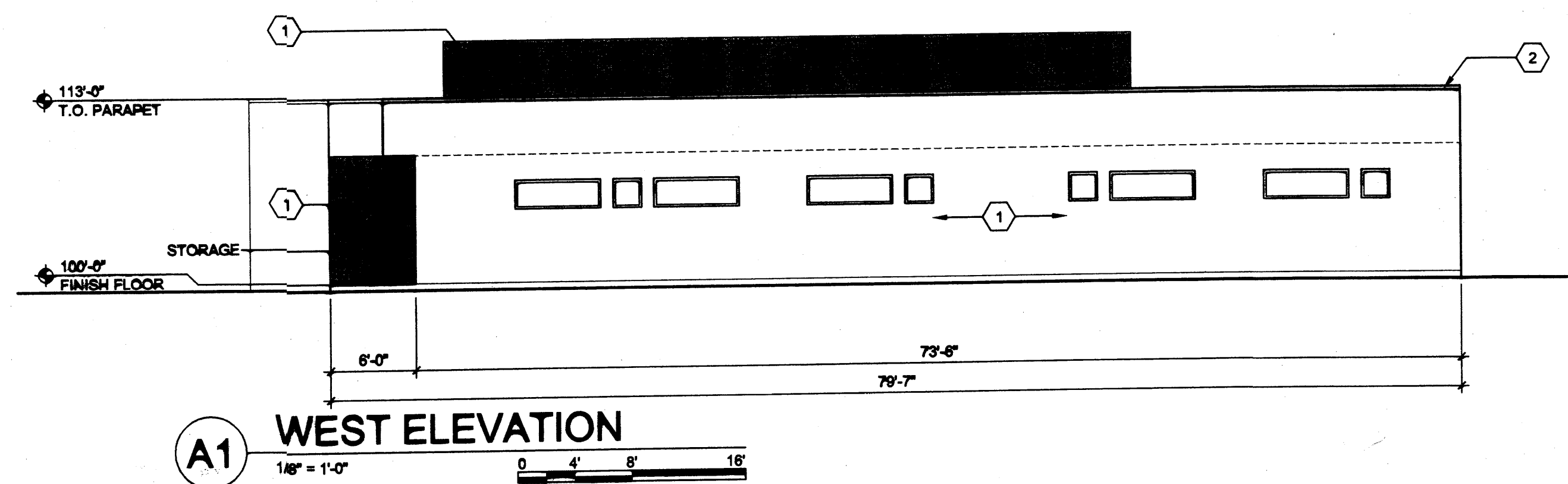
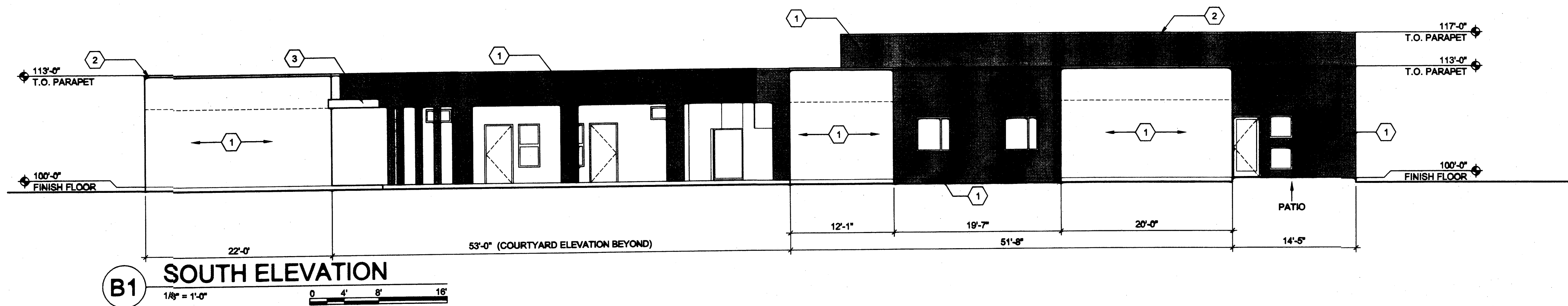
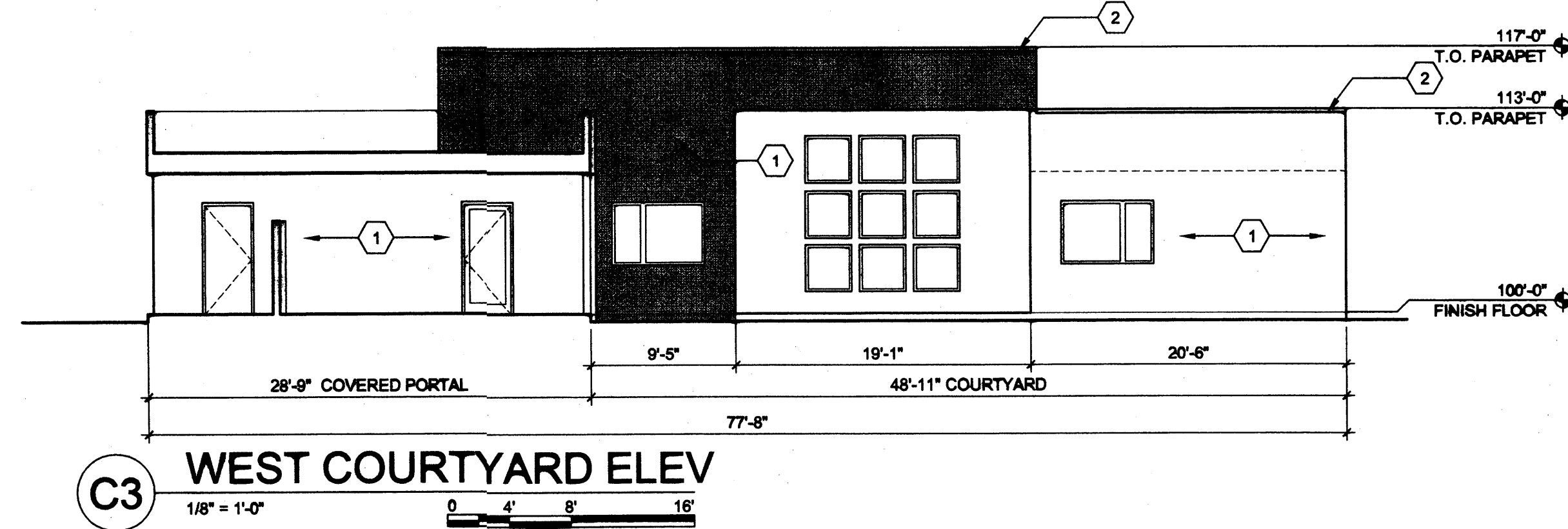
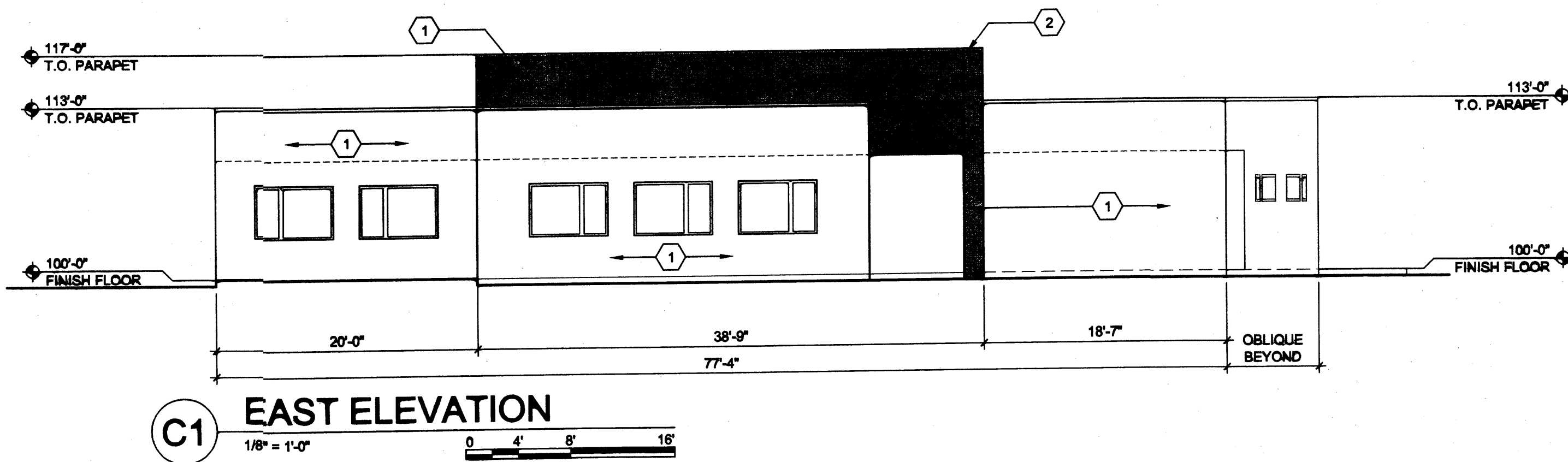
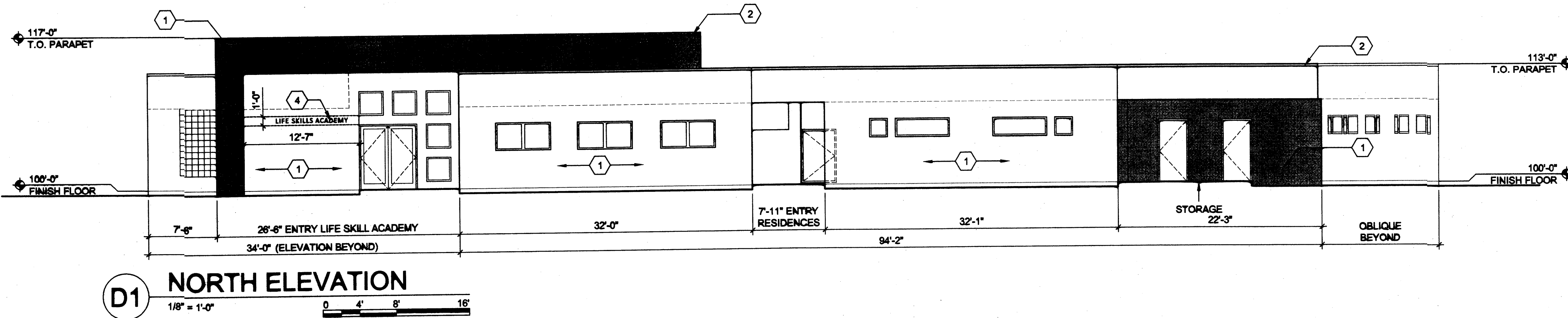
PRELIMINARY GRADING AND DRAINAGE PLAN

SHEET NO. **SDP-4**

OF

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.iactool.com
 1848 CG-101.dwg Oct 19, 2012





GENERAL SHEET NOTES

A. TWO STUCCO COLORS SHALL BE USED ON BUILDING EXTERIOR:
 COLOR 1: LIGHT TAN FIELD COLOR
 COLOR 2: DARK BROWN ACCENT COLOR AT WALL AREAS SHOWN ON BUILDING ELEVATIONS WITH THIS SOLID TONE

SHEET KEYED NOTES

1. STUCCO FINISH
2. PREFINISHED METAL PARAPET CAP COLOR TO MATCH STUCCO
3. PREFINISHED METAL FASCIA COLOR TO MATCH STUCCO
4. DASH LINE INDICATES 13 SF SIGN AREA (1% OF NORTH FACADE AREA) 6" HIGH, PIN MOUNTED LETTERS (BRONZE COLOR) ON BUILDING WALL.

architecture
interiors
landscape
planning
engineering

**Dekker
Perich
Sabatini**

7801 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

ENGINEER

**DRB
SUBMITAL**

PROJECT

**New Day Expansion
2820 Ridgcrest SE
Albuquerque, New Mexico 87108**

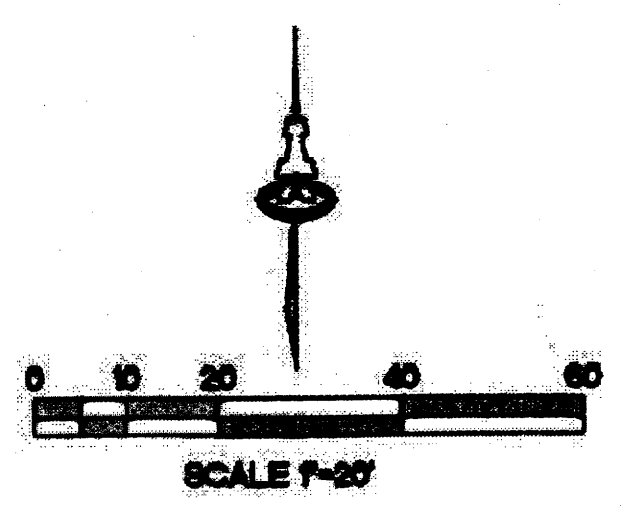
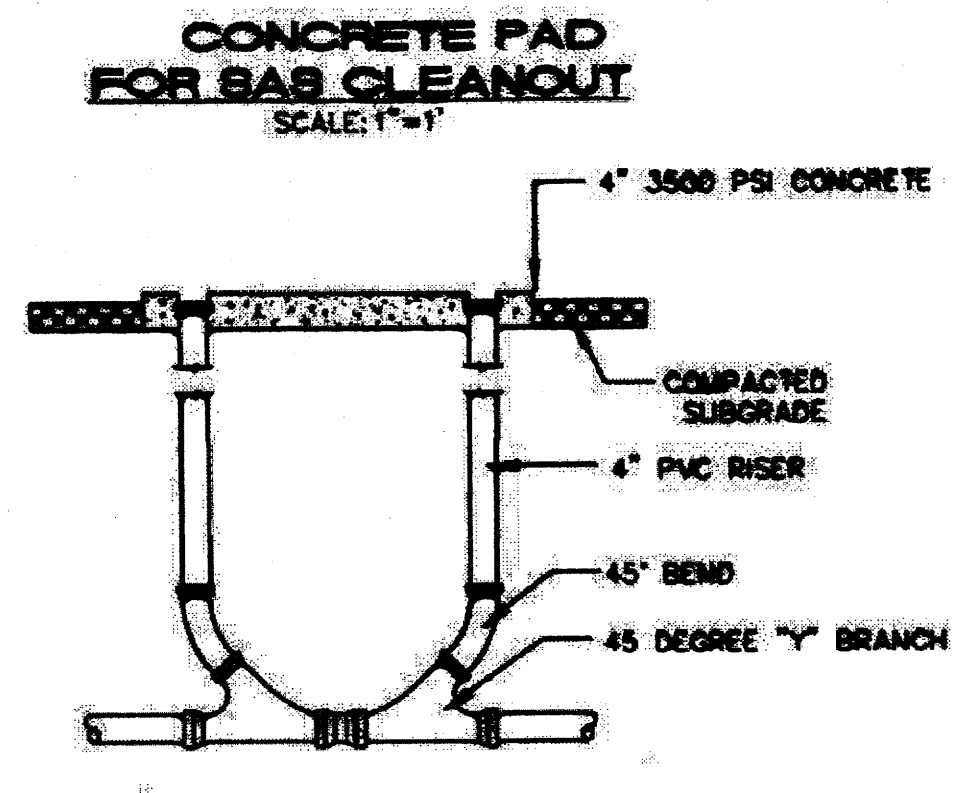
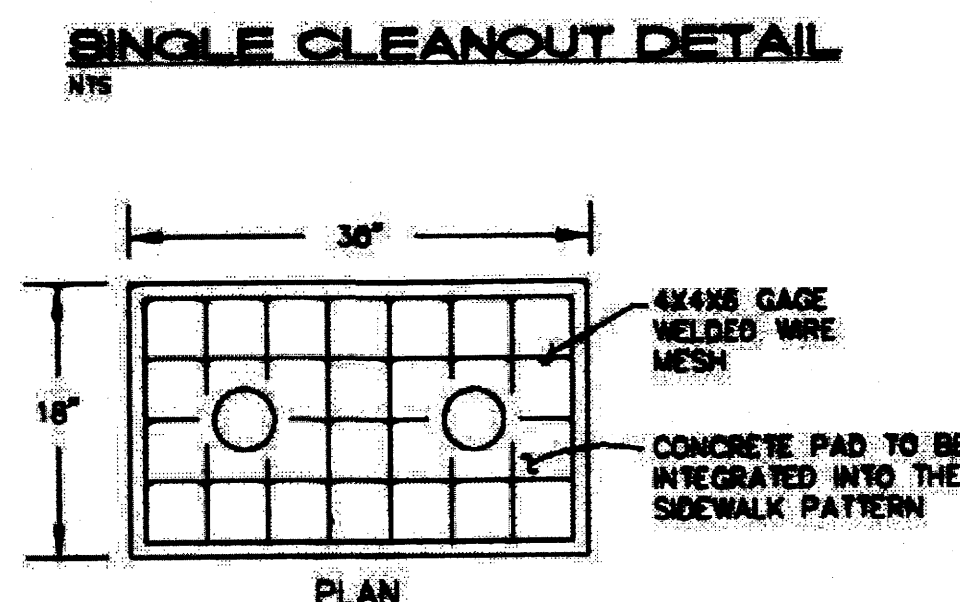
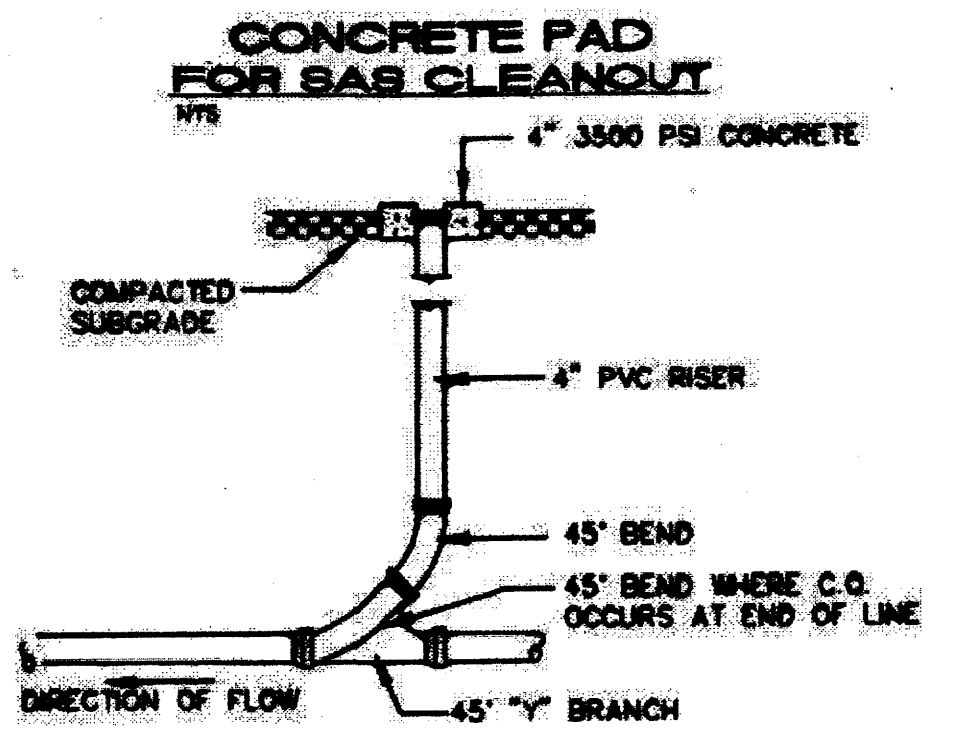
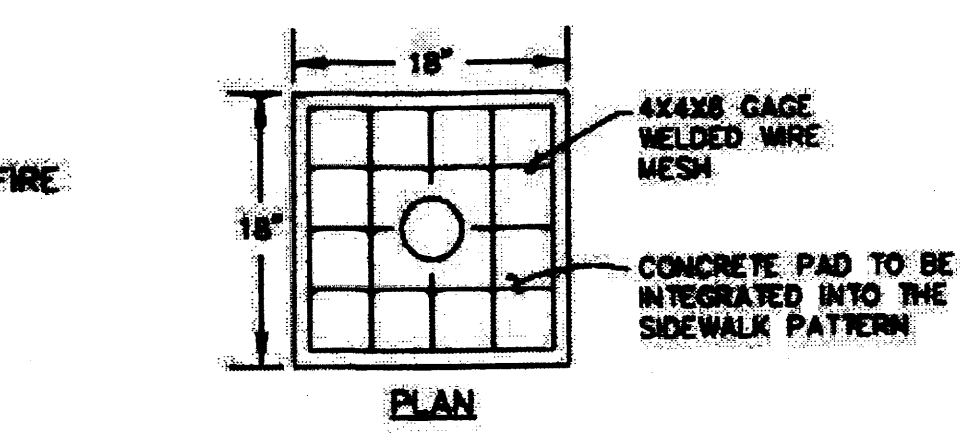
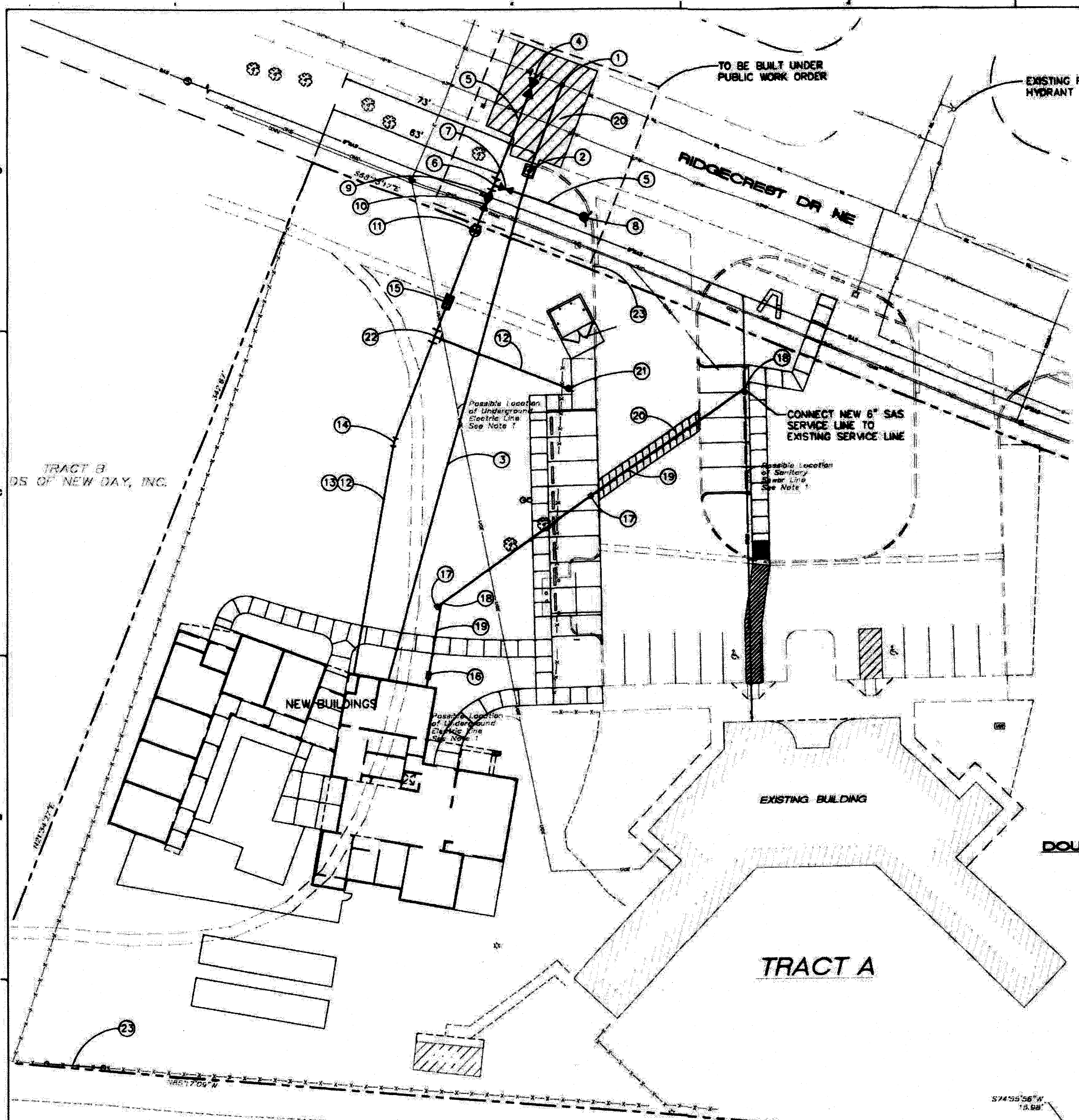
REVISIONS

- △
- △
- △
- △

DRAWN BY DKM
 REVIEWED BY RAW
 DATE 10-19-2012
 PROJECT NO. 11-0116
 DRAWING NAME
**BUILDING
ELEVATIONS**

SHEET NO.

SDP-5
OF



GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PROTECT ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- WATER AND/OR SANITARY SEWER IMPROVEMENTS WITHIN A PUBLIC EASEMENT OR RIGHT-OF-WAY SHALL BE BUILT BY SEPARATE, PUBLIC WORK ORDER, PLANS.
- BUILD SINGLE AND DOUBLE SEWER CLEANOUTS PER DETAILS ON THIS SHEET.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SEE STORM DRAIN AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-504 FOR STORM DRAIN DESIGN.
- CONSTRUCT SAS SERVICES PER COA STD DWG #2125.
- CONSTRUCT SINGLE WATER SERVICES PER COA STD DWG #2361, #2362, & #2363.

KEYED NOTES

- 2" SERVICE TAP PER COA STD. DWG. 2363.
- METER BOX FOR 1" METER PER COA STD. DWG. 2367.
- 2 1/2" WATER SERVICE LINE. COORDINATE WITH MECHANICAL PLUMBING PLAN FOR CONNECTION LOCATION.
- 12"x4" TAPPING SLEEVE WITH 4" TAPPING VALVE W/ BOX PER COA STD. DWG. 2326.
- 6" WATERLINE.
- 6" TEE.
- 6" GATE VALVE W/ BOX PER COA STD. 2326.
- FIRE HYDRANT PER COA STD. DWG. 2340.
- 6" x 4" REDUCER.
- 4" GATE VALVE W/ BOX PER COA STD. DWG. 2326.
- POST INDICATOR VALVE.
- 4" FIRE LINE.
- 3/4" CONDUIT W/ PULL CORD FOR PH SENSOR WIRE FROM BUILDING TO PH PLACED IN SAME TRENCH ABOVE 4" WATERLINE.
- 4" 1 1/4" BEND.
- PEBCO MODEL 680 REDUCED PRESSURE BACKFLOW PREVENTER WITH MODEL HISSING HORIZON OUTDOOR FREEZE PROTECTION OR ENGINEER APPROVED EQUAL.
- DOUBLE CLEAN OUT.
- SINGLE CLEAN OUT.
- 6" WYE.
- 6" SAS SERVICE AT 2% MIN. SLOPE.
- REMOVE AND REPLACE ASPHALT PAVING.
- FIRE DEPARTMENT CONNECTION (FDC).
- 4" TEE.
- REMOVE EXISTING FENCE AT ACCESS LANE, INSTALL EMERGENCY ACCESS RAIL GATE.

LEGEND

- WATER METER & BOX
- WATER SERVICE LINE
- SAS SERVICE LINE
- SAS SINGLE CLEANOUT
- SAS DOUBLE CLEANOUT
- EXISTING WATERLINE
- EXISTING SEWER LINE

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87102
 P.O. 505-268-8828 www.isaactson.com
 1949 CI-107-002 Fax: 505-268-112

architecture
interior
landscape
planning
engineering

Dekker Perich Sabatini

7801 Jefferson NE Suite 100
 Albuquerque, NM 87109
 505 761-8700
 Fax 761-8282
dps@dpdesignpa.org

ARCHITECT

ENGINEER

PRELIMINARY
10/18/12

PROJECT

New Day Expansion
2820 Ridgecrest SE
 Albuquerque, New Mexico 87108

REVISIONS

DRAWN BY
 REVIEWED BY
 DATE
 PROJECT NO. 11-0116
 DRAWING NAME

CONCEPTUAL UTILITY PLAN

SHEET NO. **SDP-6**

CITY OF ALBUQUERQUE
 SOCCER FIELDS
 PARKING LOT
 (CRUSHED ROCK SURFACE)

AFD PLANS CHECKING OFFICE
 924-3611

APPROVED/DISAPPROVED

J.P. 12/3/12
 SIGNATURE & DATE

February 13, 1996

Sound Mitigation Proposal (discussed and agreed to with Dan Warren)

In order to be sure sound from the airport is minimized in the facility, we are proposing to double or triple the sound mitigation through a variety of building techniques. These are to enhance the standard 2 x 4's with 19 R insulation. Further, the options offered will also improve energy collection and storage and privacy:

Option A

1. 2 x 6 walls
2. 19 R insulation (30 R in ceiling)
3. 1" foam board
4. Double pane glass south windows permanently sealed
5. 5' to 6' sound wall on the southern perimeter
6. Solid core doors
7. Venting - caps on roof venting
8. HVAC System - fully enclosed. Smaller windows on north side of building

RIDGECREST DR

code information

uniform building code (1991)

fire zone: n/a
 occupancy type: r-1 Congregate Residence
 construction type: 5-n

MAX NO. OF STORIES: 3
 ACTUAL NO. OF STORIES: 1

MULTI-STORY AREA: N/A
 ALLOWABLE AREA 6000 SF
 AREA INCREASE 50% SEPARATE ON TWO SIDES
 ALLOWABLE AREA 9000 SF
 TOTAL AREA 7000 SF

New Day Shelters

Jeff Burrows Executive Director



FACILITY FOR ALBUQUERQUE
 NEW DAY SHELTERS

Kevin I. Miller 10-25-95
Frank Dreyer 10-24-95
Michael D. ... 10-28-96
Dale ... 4-23-96
 Parks & Gen. Serv.
Robert W. Kern 4-23-96
 UNIT Devel.

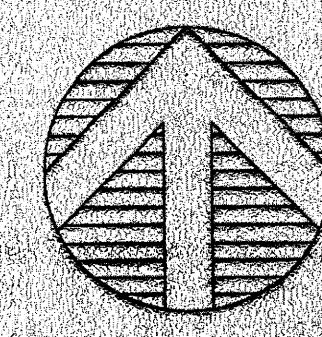
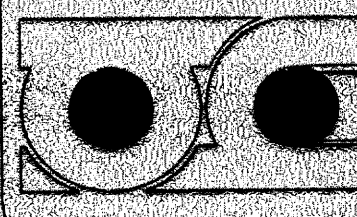
area information	
FIRST FLOOR	7000 SF
SECOND FLOOR	N/A
TOTAL	7000 SF
parking data:	
SPACES REQUIRED AT WORK AREA	13
SPACES PROVIDED	13
HQ SPACES PROVIDED	2
TOTAL	13

DRB-96-101
 Proj# 1002624

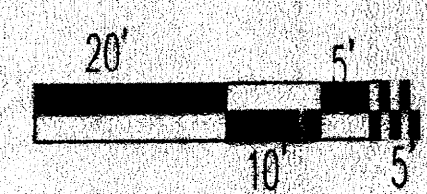
2820 RIDGECREST DR. SE

DATE	REVISIONS	DRAWN BY
MAR 10 1996		Canally Hill
MAR 10 1996		

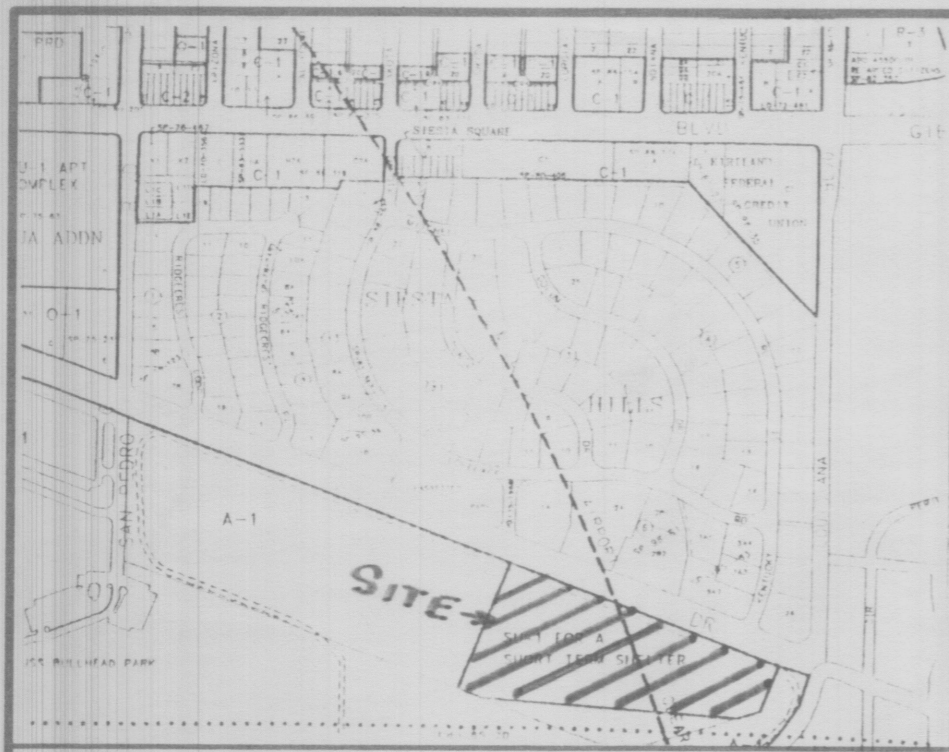
GORDON ALLAN HALL
 ARCHITECT
 10000 UNIVERSITY BLVD. SE
 ALBUQUERQUE, NM 87124
 PH: 505-263-1100
 FAX: 505-263-1101



SITE PLAN
 SCALE 1" = 20'-0"



DRB-96-101



VICINITY MAP No. M-18

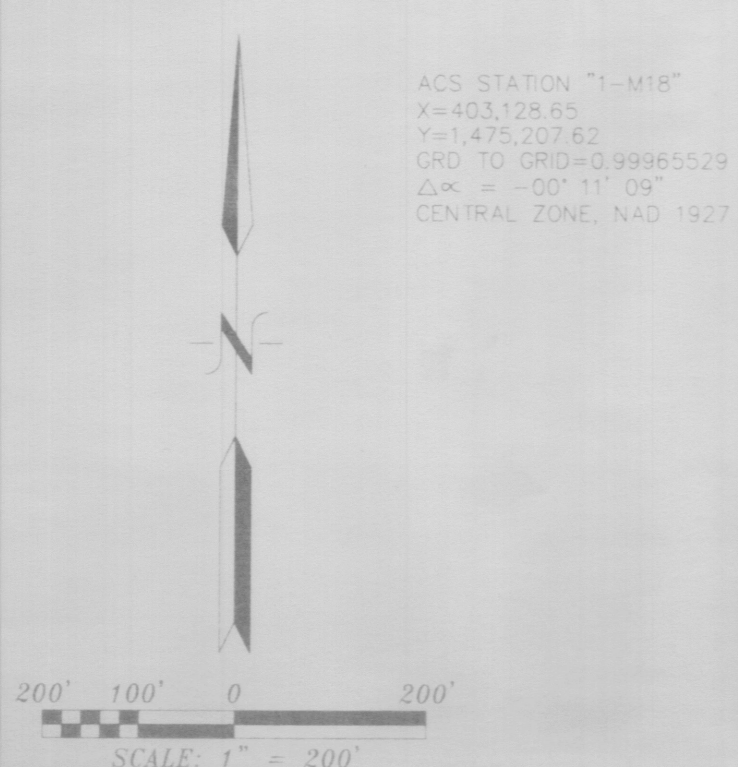
LEGAL DESCRIPTION

A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 36, TOWNSHIP 10 NORTH, RANGE 3 EAST, OF THE N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE SOUTHERLY LINE OF RIDGECREST DRIVE, WHENCE CITY OF ALBUQUERQUE CONTROL STATION "1-18" HAVING NEW MEXICO STATE PLANE COORDINATES OF X=403,128.65 AND Y=1,475,207.62 (CENTRAL ZONE, NAD 1927) BEARS N. 56 deg. 09' 11" W., A DISTANCE OF 569.00 FEET, RUNNING THENCE S. 68 deg. 48' 19" E., ALONG THE SOUTHERLY LINE OF RIDGECREST DRIVE, A DISTANCE OF 1,104.04 FEET TO THE NORTHEAST CORNER;
 THENCE S. 20 deg. 40' 59" W., A DISTANCE OF 220.64 FEET TO A POINT;
 THENCE S. 74 deg. 28' 20" W., A DISTANCE OF 15.98 FEET TO THE SOUTHEAST CORNER;
 THENCE N. 85 deg. 39' 50" W., A DISTANCE OF 1,142.30 FEET TO THE SOUTHWEST CORNER;
 THENCE N. 21 deg. 11' 43" E., A DISTANCE OF 561.46 FEET TO THE NORTHWEST CORNER AND PLACE OF BEGINNING CONTAINING 9.9950 ACRES MORE OR LESS.

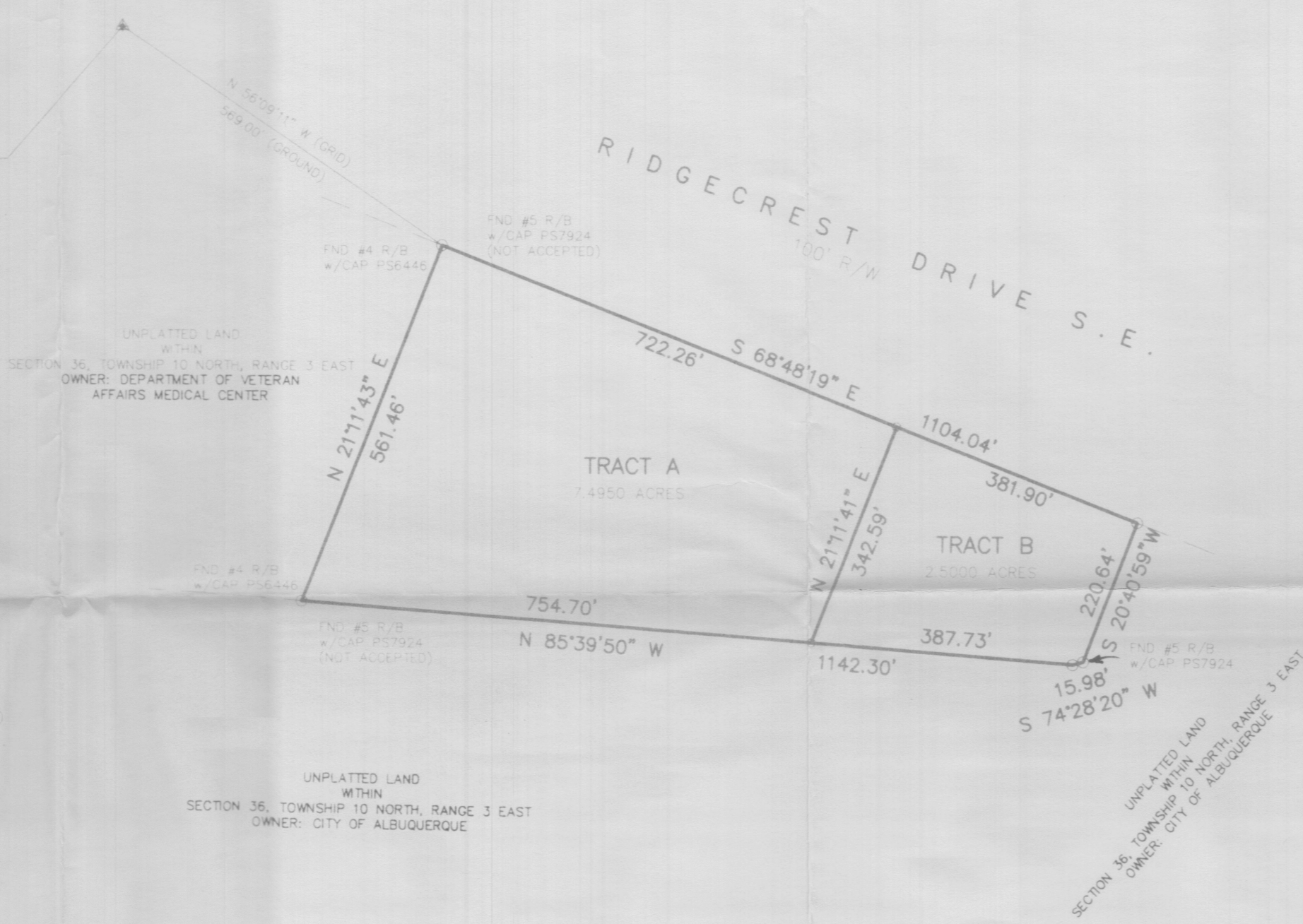
PLAT OF TRACTS A AND B LANDS OF NEW DAY
 WITHIN SECTION 36, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2003

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 UTILITY APPROVALS:
 PNM ELECTRIC SERVICES _____ DATE _____
 PNM GAS SERVICES _____ DATE _____
 QWEST TELECOMMUNICATIONS _____ DATE _____
 COMCAST _____ DATE _____
 NEW MEXICO UTILITIES _____ DATE _____

CITY APPROVALS:
 City Surveyor: *[Signature]* DATE: 7-21-03
 *REAL PROPERTY DIVISION (CONDITIONAL) _____ DATE _____
 *ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 UTILITIES DEVELOPMENT _____ DATE _____
 PARKS AND RECREATION DEPARTMENT _____ DATE _____
 AMAFCA _____ DATE _____
 CITY ENGINEER _____ DATE _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____
 APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14, REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.
 CITY PLANNER, ALBUQUERQUE PLANNING DIVISION _____ DATE _____



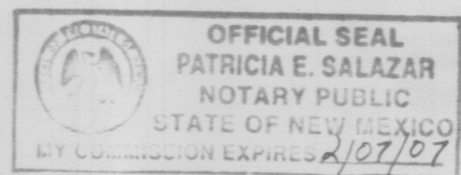
ACS STATION "1-18"
 X=403,128.65
 Y=1,475,207.62
 GRID TO GRID=0.99965529
 Δα = -00' 11' 09"
 CENTRAL ZONE, NAD 1927



DISCLOSURE STATEMENT:
 THE PURPOSE OF THIS PLAT IS TO DIVIDE THE TRACT OF LAND INTO TWO (2) TRACTS AND GRANT ANY EASEMENTS AS SHOWN.

- GENERAL NOTES:**
- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
 - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
 - TOTAL AREA OF PROPERTY: 9.9951 ACRES.
 - TALOS LOG NO. 2003159245
 - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
 - DISTANCES ARE GROUND, BEARINGS ARE GRID.
 - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
 - DATE OF FIELD WORK: JUNE, 2003
 - CURRENT ZONING: SU-1 FOR SHORT TERM SHELTER

FREE CONSENT
 THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLES TO THE LAND SUBDIVIDED.

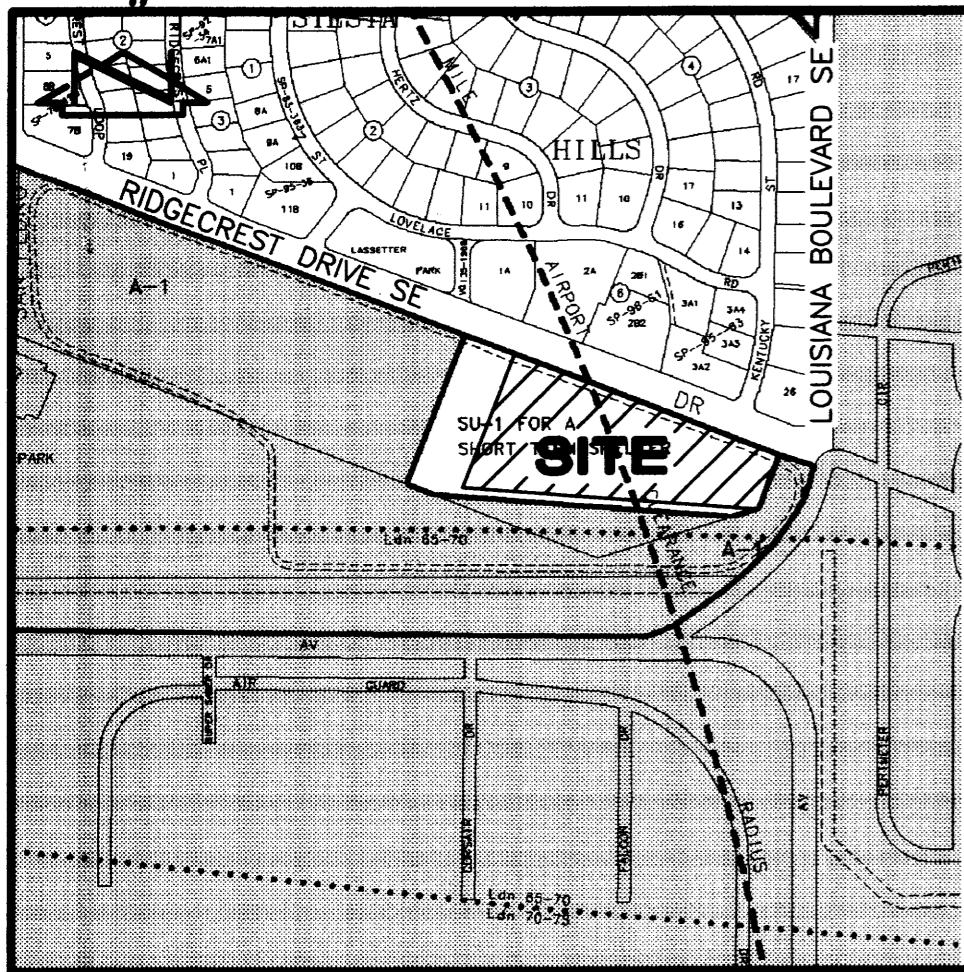


Gene C. Hingham 6-20-03 DATE
 Gene C. Hingham, CEO, New Day Youth and Family Services
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)
 ACKNOWLEDGMENT
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
 THIS 20th DAY OF June, 2003
 BY: Gene C. Hingham, CEO
 OWNERS NAME
 MY COMMISSION EXPIRES: Feb. 7, 2007 BY: *[Signature]*
 NOTARY PUBLIC

SURVEYORS CERTIFICATE.
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)
 I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.
 GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
 THIS 23rd DAY OF June, 2003.
[Signature]
 ANTHONY L. HARRIS, P.S. # 11463
 HARRIS SURVEYING, INC.
 2412-D MONROE STREET N.E.
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE: (505) 889-8056
 FAX: (505) 889-8645

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO CO. TREASURER'S OFFICE: _____

03-1356.DWC(JUNE-03)



VICINITY MAP

M-18

SCALE: 1" = 750'

FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner.

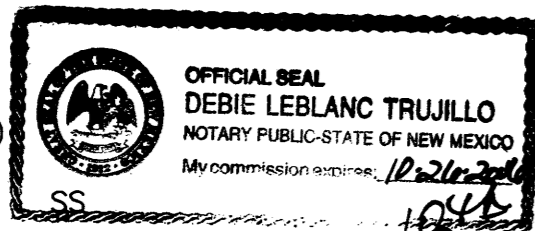
Gene Cottingham
Gene Cottingham, President,
New Day, Inc.

2-18-2004
Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)

COUNTY OF BERNALILLO)



This instrument was acknowledged before me on this 18 day of February, 2004, by Gene Cottingham, President, New Day, Inc.

Debie Leblanc Trujillo
Notary Public

PLAT OF
**TRACTS A AND B,
LANDS OF NEW DAY, INC.**
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2004

DESCRIPTION

A certain tract of land located within the Corporate Limits of the City of Albuquerque, New Mexico, comprising an unplatted portion of Section 36, Township 10 North, Range 3 East, N.M.P.M. as described by Quitclaim Deed filed in the Office of the County Clerk of Bernalillo County, New Mexico on November 06, 1991, Book 91-19, Pages 7673-7680, Document Number 91092295, and being more particularly described as follows:

Beginning at the northwest corner of the parcel herein described, being a point on the north description line of said unplatted parcel, also being a point on the south right-of-way line of Ridgecrest Drive S.E., as the same is shown and designated on the plat of Siesta Hills filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 19, 1954, Book D1, Page 127, whence the A.C.S. Control Station "1-M18" bears N 56°09'20" W a distance of 569.05 feet; thence S 68°48'19" E a distance of 1104.07 feet along said south right-of-way line to the northeast corner of the parcel herein described; thence S 20°40'41" W a distance of 220.61 feet to the southeast corner of the parcel herein described; thence S 74°14'54" W a distance of 15.99 feet; thence N 85°39'48" W a distance of 1142.33 feet to the southwest corner of the parcel herein described; thence N 21°11'25" E a distance of 561.49 to the point of beginning and containing 9.9962 acres more or less.

*Leblanc Trujillo
preliminary plat*

NEW DAY, INC.
OWNER

SEC. 36, T 10 N, R 3 E, N.M.P.M.
LOCATION

LANDS OF NEW DAY, INC.
SUBDIVISION

COUNTY CLERK FILING DATA

DRB PROJECT NUMBER _____

APPLICATION NUMBER _____

APPROVALS:

DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____

UTILITIES DEVELOPMENT, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____

CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____

PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____

W.B. Neal
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO _____ 2-18-04 DATE _____

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
Charles G. Cala, Jr., NMPS 11184



2-17-2004
Date

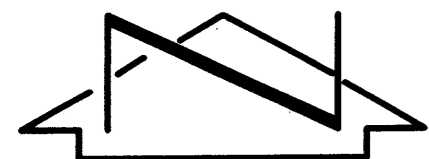


JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2003.079.2 PLAT

PLAT OF TRACTS A AND B, LANDS OF NEW DAY, INC.

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2004

COUNTY CLERK FILING DATA



SCALE: 1" = 100'



KEYED NOTES

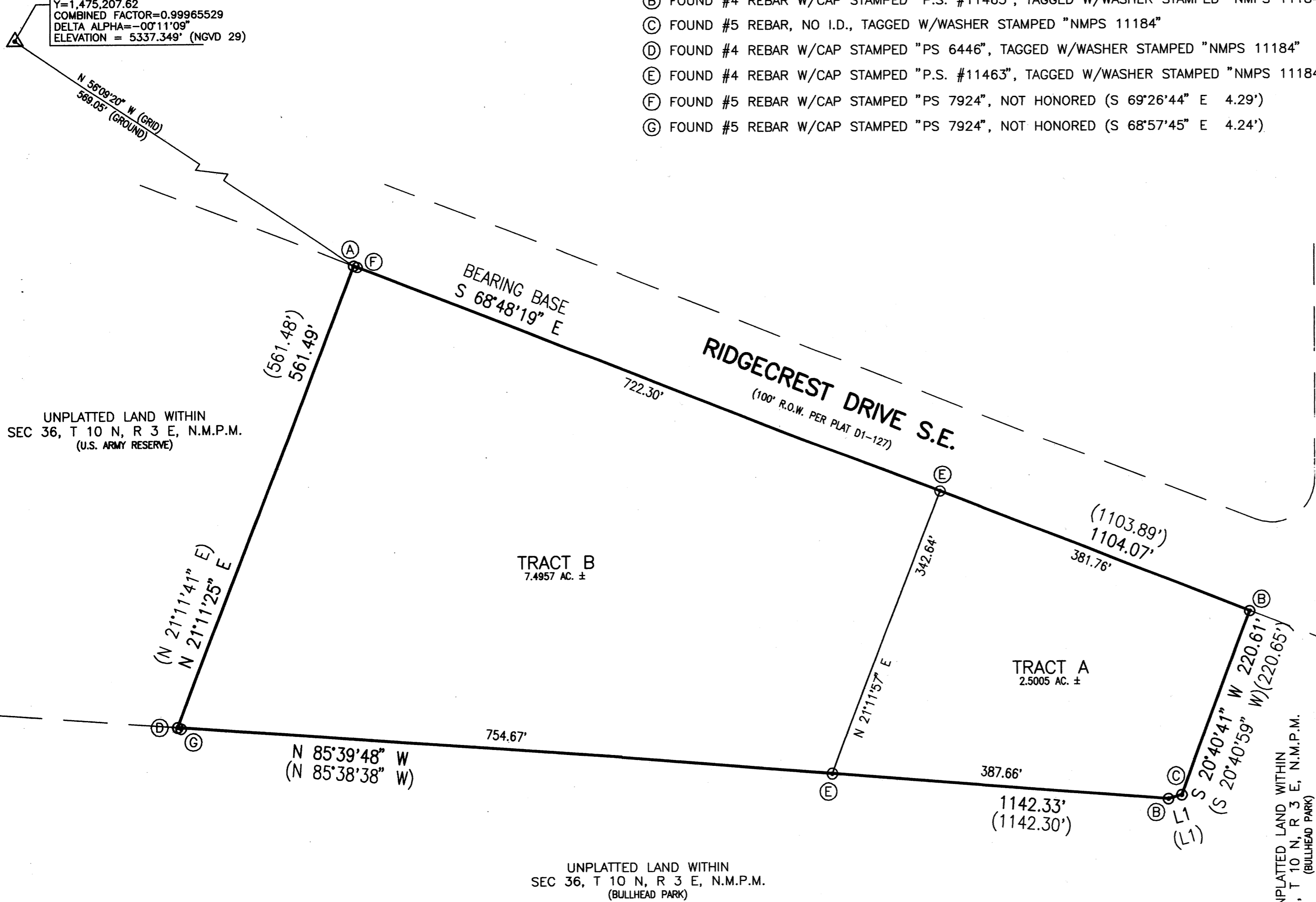
MONUMENTS

- (A) FOUND #4 REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- (B) FOUND #4 REBAR W/CAP STAMPED "P.S. #11463", TAGGED W/WASHER STAMPED "NMPS 11184"
- (C) FOUND #5 REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- (D) FOUND #4 REBAR W/CAP STAMPED "PS 6446", TAGGED W/WASHER STAMPED "NMPS 11184"
- (E) FOUND #4 REBAR W/CAP STAMPED "P.S. #11463", TAGGED W/WASHER STAMPED "NMPS 11184"
- (F) FOUND #5 REBAR W/CAP STAMPED "PS 7924", NOT HONORED (S 69°26'44" E 4.29')
- (G) FOUND #5 REBAR W/CAP STAMPED "PS 7924", NOT HONORED (S 68°57'45" E 4.24')

Notes:

1. A boundary survey was performed in February, 2004. Property corners were found as indicated.
2. All distances are ground distances.
3. Site located within Section 36, Township 10 North, Range 3 East, N.M.P.M.
4. Bearings shown hereon are based upon the north property line of a unplatted tract of land described by Quitclaim Deed filed 11-06-1991, Book 91-19, Pages 7673-7680. To achieve New Mexico State Plane Grid Bearings, rotate description bearings counterclockwise 0°00'05".
5. Record bearings and distances are shown in parenthesis.
6. No street mileage was created by this plat.
7. The purpose of this plat is to Create Tracts A and B from the unplatted land within Section 36, Township 10 North, Range 3 East, N.M.P.M.
8. The following documents and instruments were used for the performance and preparation of this plat:
 - a. Quitclaim Deed filed November 06, 1991, Book 91-19, Pages 7673-7680, Records of Bernalillo County, New Mexico.
 - b. Boundary Survey Plat of New Day Shelter Tract filed June 12, 1995, Book 95S, Page 98, Records of Bernalillo County, New Mexico.
 - c. Plat of Siesta Hills filed August 19, 1954, Book D1, Page 127, Records of Bernalillo County, New Mexico.
 - d. Unrecorded plat of Tracts A and B, Lands of New Day prepared by Harris Surveying, Inc. dated June 23, 2003.
 - e. Boundary Survey Map of V.A./U.S.A.F. Medical Center Veterans Administration Facility Albuquerque prepared by Santiago Romero Jr. and Associates, Inc. dated November, 1990 (unrecorded).
 - f. Boundary and Topographic Survey of New Day Shelters prepared by Southwest Surveying Co., Inc. dated January 10, 1992 (unrecorded).
9. Gross subdivision acreage = 9.9962 acres.
10. This survey was performed without the benefit of a title commitment or policy of title insurance.

NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. "1-M18"
X=403,128.65
Y=1,475,207.62
COMBINED FACTOR=0.99965529
DELTA ALPHA=-00°11'09"
ELEVATION = 5337.349' (NGVD 29)



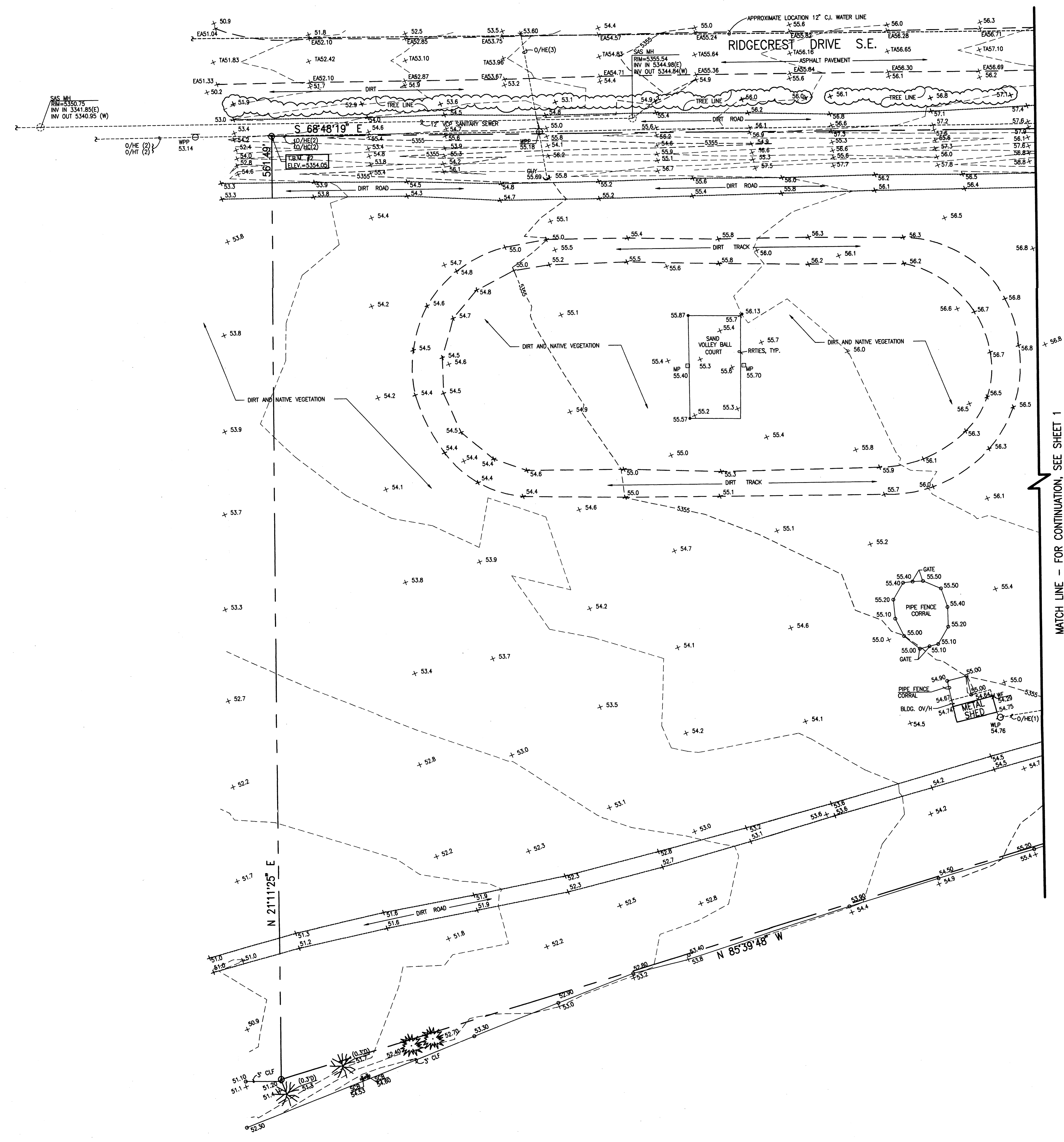
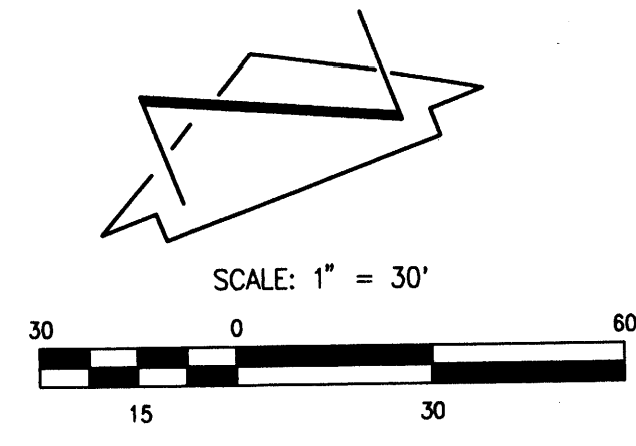
BOUNDARY TABLE

LINE	DIRECTION	DISTANCE
L1	S 74°14'54" W	15.99'
(L1)	S 72°46'59" W	16.00'

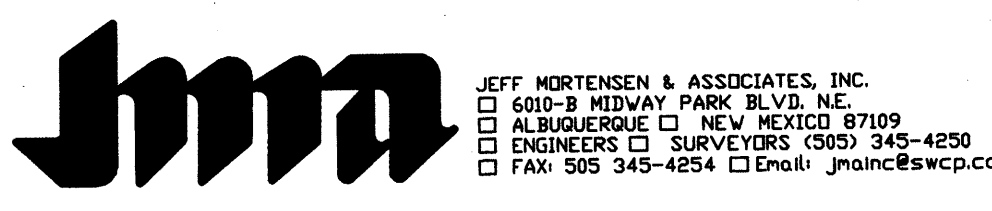
SEC 36, T 10 N, R 3 E, N.M.P.M.
SEC 31, T 10 N, R 4 E, N.M.P.M.



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (SOS) 345-4250
JOB #2003.079.2 PLAT

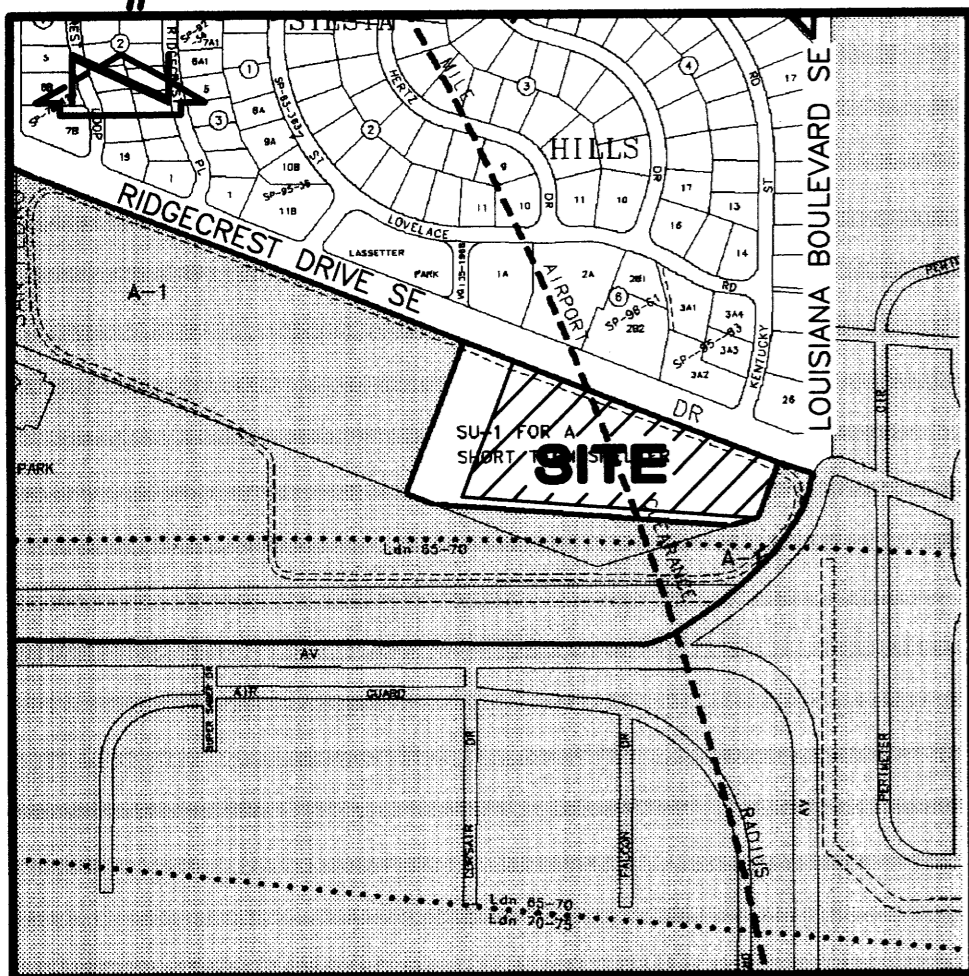


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 File Name: 102-12-2004.DWG
 Plot Date: 02-12-2004
 Plot Time: 08:34 am



TOPOGRAPHIC SURVEY
 UNPLATTED LANDS OF NEW DAY, INC.

SURVEYED BY	NL	DATE	BY	REVISIONS		JOB NO.
				NO.	DESCRIPTION	
SL						2003.079.3
SGH						DATE 02-2004
C.G.C.						SHEET 2 OF 2



PLAT OF
**TRACTS A AND B,
 LANDS OF NEW DAY, INC.**
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2004

NEW DAY, INC.
 OWNER

SEC. 36, T 10 N, R 3 E, N.M.P.M.
 LOCATION

LANDS OF NEW DAY, INC.
 SUBDIVISION

2004030580
 2004030580
 Page 1 of 2
 83/88/2894 83-16P
 Mary Herrera Bern. Co. PLAT R 12.88 Bk-2894C Pg-71

BL. 2004C PG. 71

COUNTY CLERK FILING DATA

VICINITY MAP **M-18**
 SCALE: 1" = 750'

DESCRIPTION

A certain tract of land located within the Corporate Limits of the City of Albuquerque, New Mexico, comprising an unplatted portion of Section 36, Township 10 North, Range 3 East, N.M.P.M. as described by Quitclaim Deed filed in the Office of the County Clerk of Bernalillo County, New Mexico on November 06, 1991, Book 91-19, Pages 7673-7680, Document Number 91092295, and being more particularly described as follows:

Beginning at the northwest corner of the parcel herein described, being a point on the north description line of said unplatted parcel, also being a point on the south right-of-way line of Ridgecrest Drive S.E., as the same is shown and designated on the plat of Siesta Hills filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 19, 1954, Book D1, Page 127, whence the A.C.S. Control Station "1-M18" bears N 56°09'20" W a distance of 569.05 feet; thence S 68°48'19" E a distance of 1104.07 feet along said south right-of-way line to the northeast corner of the parcel herein described; thence S 20°40'41" W a distance of 220.61 feet to the southeast corner of the parcel herein described; thence S 74°14'54" W a distance of 15.99 feet; thence N 85°39'48" W a distance of 1142.33 feet to the southwest corner of the parcel herein described; thence N 21°11'25" E a distance of 561.49 to the point of beginning and containing 9.9962 acres more or less.

DRB PROJECT NUMBER 1002624

APPLICATION NUMBER 04-00243

APPROVALS:

Sharon Watson 3/3/04
 DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Roger A. Dean 3-3-04
 UTILITIES DEVELOPMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Brady L. Bihun 3/3/04
 CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Brady L. Bihun 3/3/04
 A.M.A.F.C.A. DATE

Bill Sey 3-3-04
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Christina Sandoval 3/3/04
 PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

W. B. Hat 2-18-04
 CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE

FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner.

Gene Cottingham 2-18-2004
 Gene Cottingham, President, New Day, Inc. Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)

Official Seal: DEBIE LEBLANC TRUJILLO, NOTARY PUBLIC-STATE OF NEW MEXICO, My commission expires 12-21-2004

This instrument was acknowledged before me on this 10 day of February, 2004, by Gene Cottingham, President, New Day, Inc.

Debie LeBlanc Trujillo
 Notary Public

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
 PAID ON UPC # 1-078-055-460-320-10820
 PROPERTY OWNER OF RECORD:
New Day, Inc.
 BERNALILLO COUNTY TREASURER'S OFFICE:
Fladisa 3/08/04

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
 Charles G. Cala, Jr., NMPS 11184

Charles G. Cala, Jr.
 REGISTERED PROFESSIONAL SURVEYOR
 NEW MEXICO
 11184

2-17-2004
 Date


Jma

JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS SURVEYORS (505) 345-4250
 JOB #2003.079.2 PLAT

PLAT OF TRACTS A AND B, LANDS OF NEW DAY, INC.

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2004

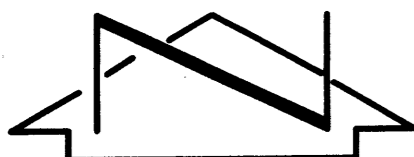
2004030580



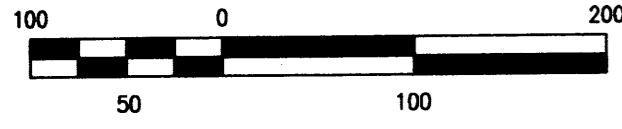
2004030580
Page 2 of 2
63/82/2004 83:16P
BK-2004C Pg-71

BK.2004C Pg. 71

COUNTY CLERK FILING DATA



SCALE: 1" = 100'



KEYED NOTES

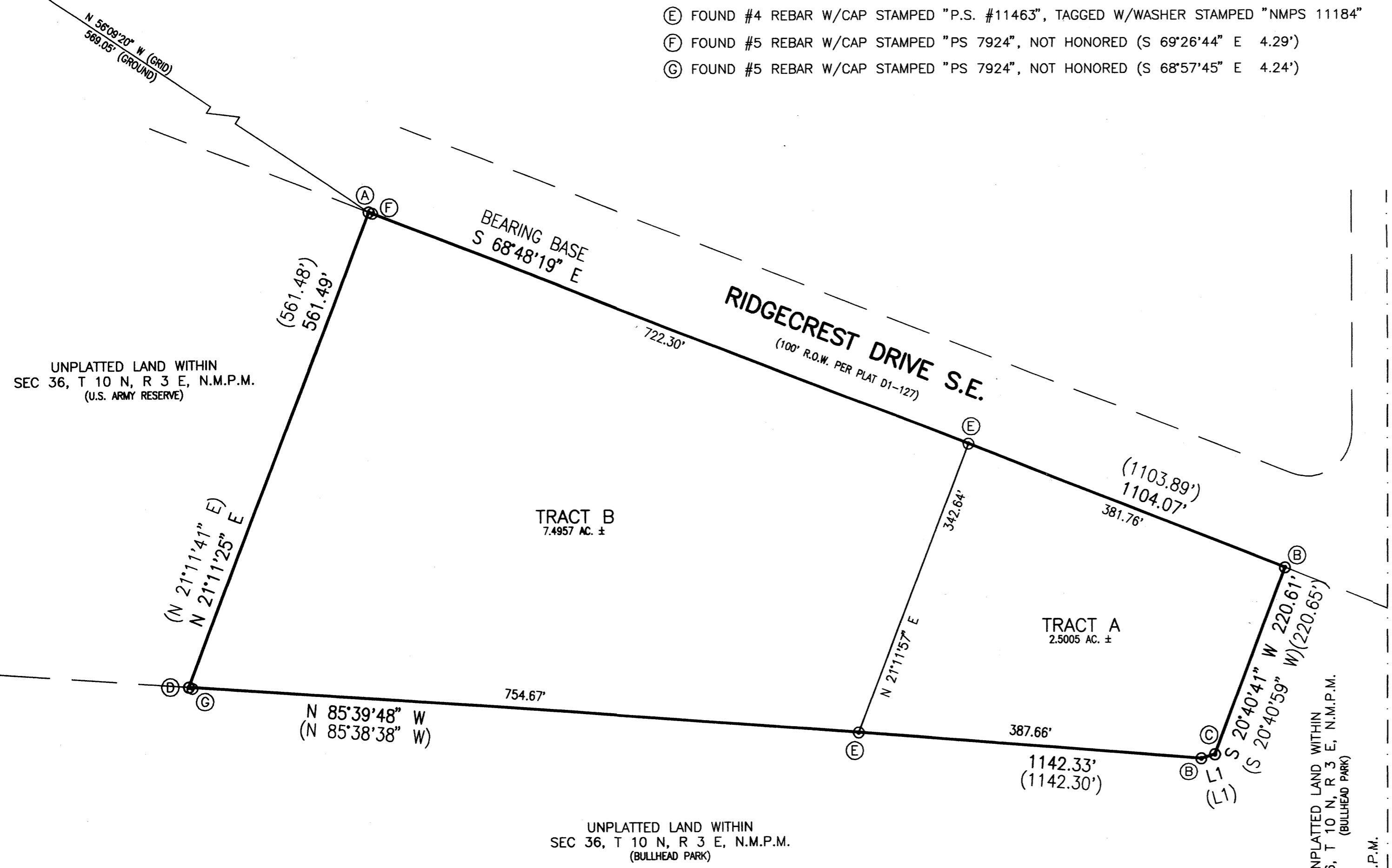
MONUMENTS

- (A) FOUND #4 REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- (B) FOUND #4 REBAR W/CAP STAMPED "P.S. #11463", TAGGED W/WASHER STAMPED "NMPS 11184"
- (C) FOUND #5 REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- (D) FOUND #4 REBAR W/CAP STAMPED "PS 6446", TAGGED W/WASHER STAMPED "NMPS 11184"
- (E) FOUND #4 REBAR W/CAP STAMPED "P.S. #11463", TAGGED W/WASHER STAMPED "NMPS 11184"
- (F) FOUND #5 REBAR W/CAP STAMPED "PS 7924", NOT HONORED (S 69°26'44" E 4.29')
- (G) FOUND #5 REBAR W/CAP STAMPED "PS 7924", NOT HONORED (S 68°57'45" E 4.24')

Notes:

1. A boundary survey was performed in February, 2004. Property corners were found as indicated.
2. All distances are ground distances.
3. Site located within Section 36, Township 10 North, Range 3 East, N.M.P.M.
4. Bearings shown hereon are based upon the north property line of a unplatted tract of land described by Quitclaim Deed filed 11-06-1991, Book 91-19, Pages 7673-7680. To achieve New Mexico State Plane Grid Bearings, rotate description bearings counterclockwise 0°00'05".
5. Record bearings and distances are shown in parenthesis.
6. No street mileage was created by this plat.
7. The purpose of this plat is to Create Tracts A and B from the unplatted land within Section 36, Township 10 North, Range 3 East, N.M.P.M.
8. The following documents and instruments were used for the performance and preparation of this plat:
 - a. Quitclaim Deed filed November 06, 1991, Book 91-19, Pages 7673-7680, Records of Bernalillo County, New Mexico.
 - b. Boundary Survey Plat of New Day Shelter Tract filed June 12, 1995, Book 95S, Page 98, Records of Bernalillo County, New Mexico.
 - c. Plat of Siesta Hills filed August 19, 1954, Book D1, Page 127, Records of Bernalillo County, New Mexico.
 - d. Unrecorded plat of Tracts A and B, Lands of New Day prepared by Harris Surveying, Inc. dated June 23, 2003.
 - e. Boundary Survey Map of V.A./U.S.A.F. Medical Center Veterans Administration Facility Albuquerque prepared by Santiago Romero Jr. and Associates, Inc. dated November, 1990 (unrecorded).
 - f. Boundary and Topographic Survey of New Day Shelters prepared by Southwest Surveying Co., Inc. dated January 10, 1992 (unrecorded).
9. Gross subdivision acreage = 9.9962 acres.
10. This survey was performed without the benefit of a title commitment or policy of title insurance.

NEW MEXICO CENTRAL ZONE--NAD 1927
A.C.S. STA. "1-M18"
X=403,128.65
Y=1,475,207.62
COMBINED FACTOR=0.99965529
DELTA ALPHA=-00°11'09"
ELEVATION = 5337.349' (NGVD 29)



BOUNDARY TABLE

LINE	DIRECTION	DISTANCE
L1	S 74°14'54" W	15.99'
(L1)	S 72°46'59" W	16.00'

UNPLATTED LAND WITHIN
SEC 36, T 10 N, R 3 E, N.M.P.M.
(BULLHEAD PARK)

SEC 36, T 10 N, R 3 E, N.M.P.M.
SEC 31, T 10 N, R 4 E, N.M.P.M.



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. NE.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (S05) 345-4250
JOB #2003.079.2 PLAT

ARCHITECT

ENGINEER



PROJECT

New Day Youth and Family Services Ridgecrest Drive S.E. Albuquerque, New Mexico

REVISIONS

- △
- △
- △
- △

DRAWN BY

JLP

REVIEWED BY

J.G.M.

DATE

12/04/2003

PROJECT NO.

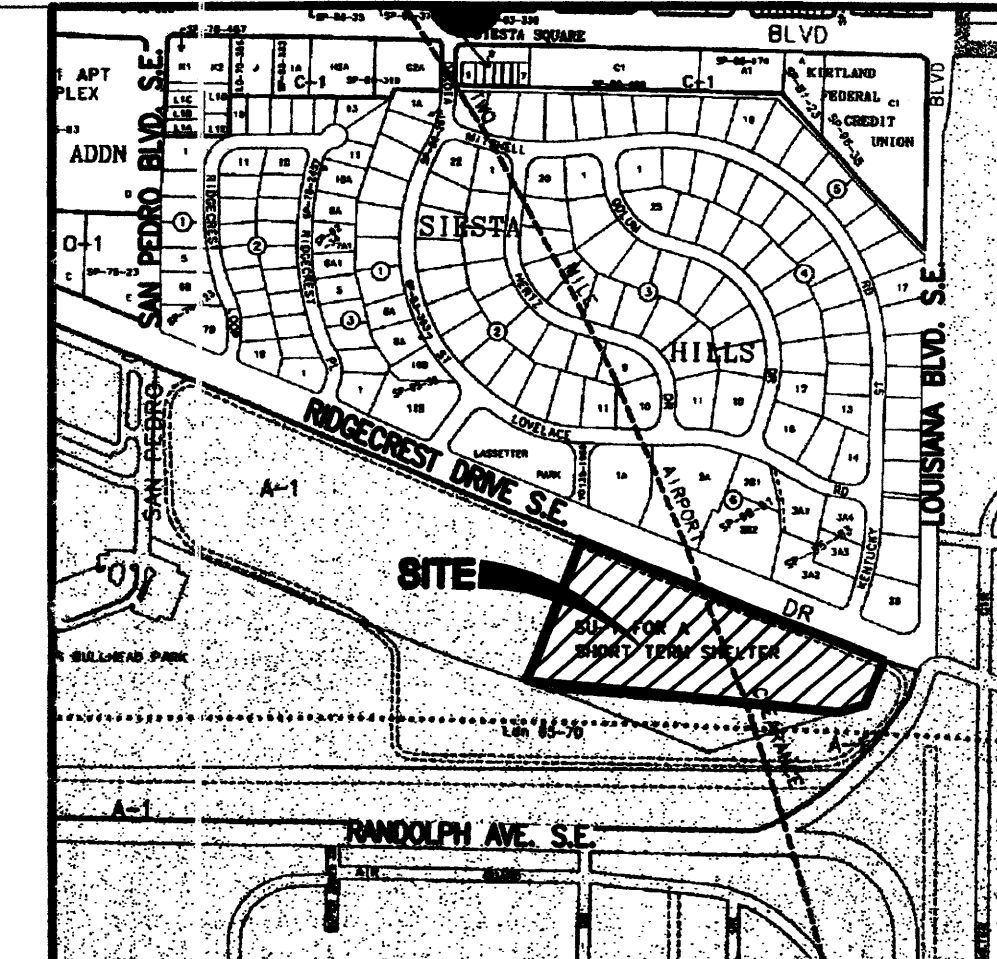
03102

DRAWING NAME

CONCEPTUAL
INFRASTRUCTURE
PLAN

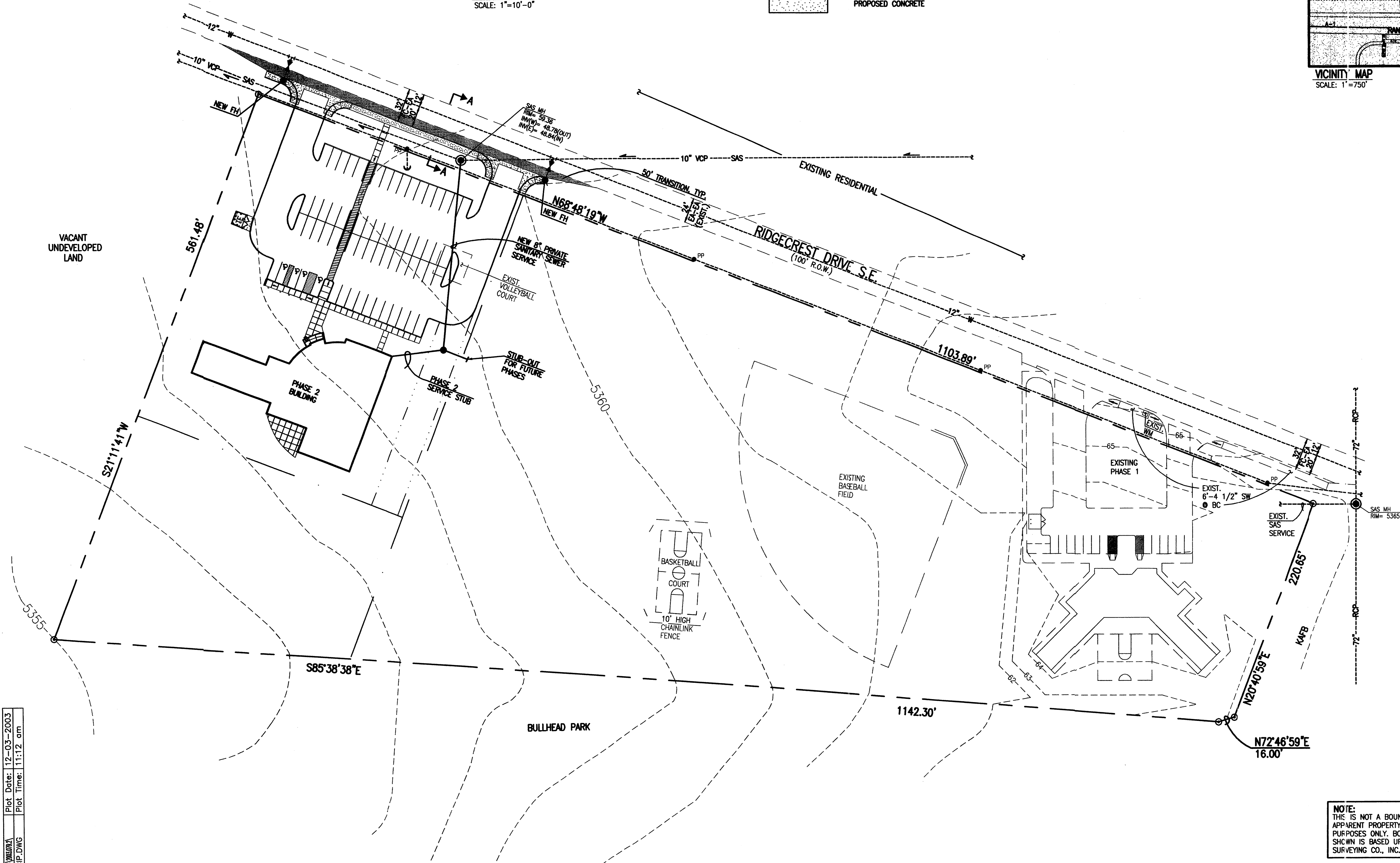
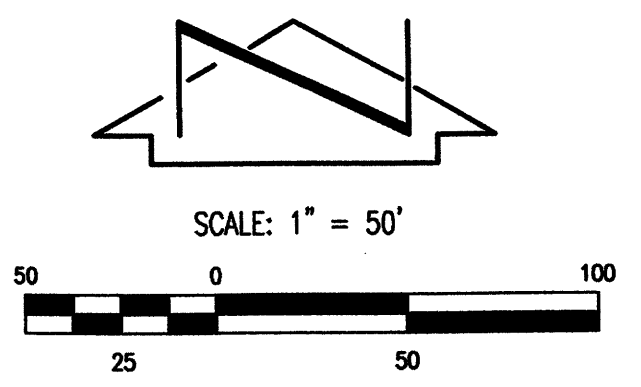
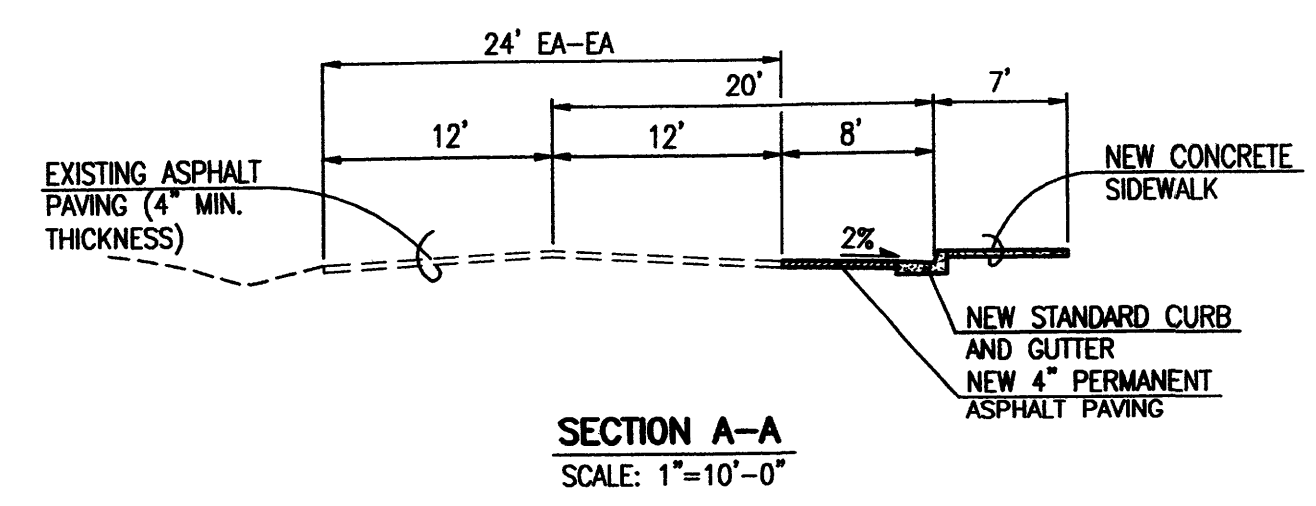
SHEET NO.

C-103
OF



VICINITY MAP
SCALE: 1"=750'

LEGEND	
CONC	CONCRETE
FL	FLOWLINE
O/H E	OVERHEAD ELECTRIC
PP	POWER POLE
RCP	REINFORCED CONCRETE PIPE
SAS	SANITARY SEWER
SW	SIDEWALK
TA	TOP OF ASPHALT
TC	TOP OF CURB
TE	TRASH ENCLOSURE
TOC	TOP OF CONCRETE
VCP	VERTIFIED CLAY PIPE
W	WATER
	EXISTING CONTOUR
56	PROPOSED CONTOUR
56.0	PROPOSED SPOT ELEV.
	PROPOSED FLOWLINE
	PROPOSED ASPHALT
	PROPOSED CONCRETE



NOTE:
THIS IS NOT A BOUNDARY OR TOPOGRAPHIC SURVEY.
APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION
PURPOSES ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION
SHOWN IS BASED UPON A SURVEY DONE BY SOUTHWEST
SURVEYING CO., INC. DATED JANUARY 1992.

JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. NE
ALBUQUERQUE, NM 87109
ENGINEERS & SURVEYORS (505) 345-4250
FAX: 505 345-4254 Email: jma@jma-inc.com

2003.079.1

File Path: E:\JMA\WORK\03102\03102.dwg
File Name: 30791CIP.DWG
Plot Date: 12-03-2003
Plot Time: 11:12 am

FOR PLANNING

PROJECT DATA

LEGAL DESCRIPTION
A CERTAIN PARCEL OF LAND SITUATED WITHIN AND BEING A PORTION OF THE
NORTHEAST QUARTER (N.E. 1/4) OF SECTION 36 TOWNSHIP 10 NORTH, RANGE 3 EAST,
NMPM BERNALILLO COUNTY, NEW MEXICO

ZONING
CITY OF ALBUQUERQUE, NEW MEXICO ZONED SU-1 FOR A SHORT TERM SHELTER

PHASE 1 (EXISTING)
EXISTING USE:
SHORT TERM SHELTER
LOT AREA (PROPOSED):
2.5 ACRES = 109,900 S.F.
BUILDING AREA (APPROX.):
7,018 S.F.

CONDITION #3
03EPC-00495
FAR = 7.018/109,900 = .06
PARKING PROVIDED 13 SPACES
ACCESSIBLE PARKING PROVIDED 2 VAN
BUILDING HEIGHT 28' MAX.

PHASE 2 (PROPOSED)
PROPOSED USE:
COUNSELING CENTER AND ADMINISTRATIVE OFFICES

CONDITION #3
03EPC-00495
LOT AREA (PROPOSED):
2.1 ACRES = 91,416 S.F.
BUILDING AREA:
12,500 S.F. (PROPOSED)
FAR = .13 MAX

PARKING PROVIDED (PHASE 2 PROPOSED) 64 SPACES
FUTURE PARKING (PHASE 2 PROPOSED) 13 SPACES
PARKING REQUIRED (PHASE 2 PROPOSED) 63 SPACES

ACCESSIBLE PARKING REQUIRED AND PROVIDED 4 SPACES (INCLUDES 2 VAN)

BICYCLE PROVIDED 5 SPACES
BICYCLE PARKING REQUIRED (1:20 AUTOS) 64 AUTOS/20: 4 SPACES

ALLOWABLE BUILDING HEIGHT 26'-0" MAX., 2 STORIES MAX.
ACTUAL BUILDING HEIGHT 18'-0" (PHASE 2 PROPOSED)

CONDITION #5
03EPC-00495

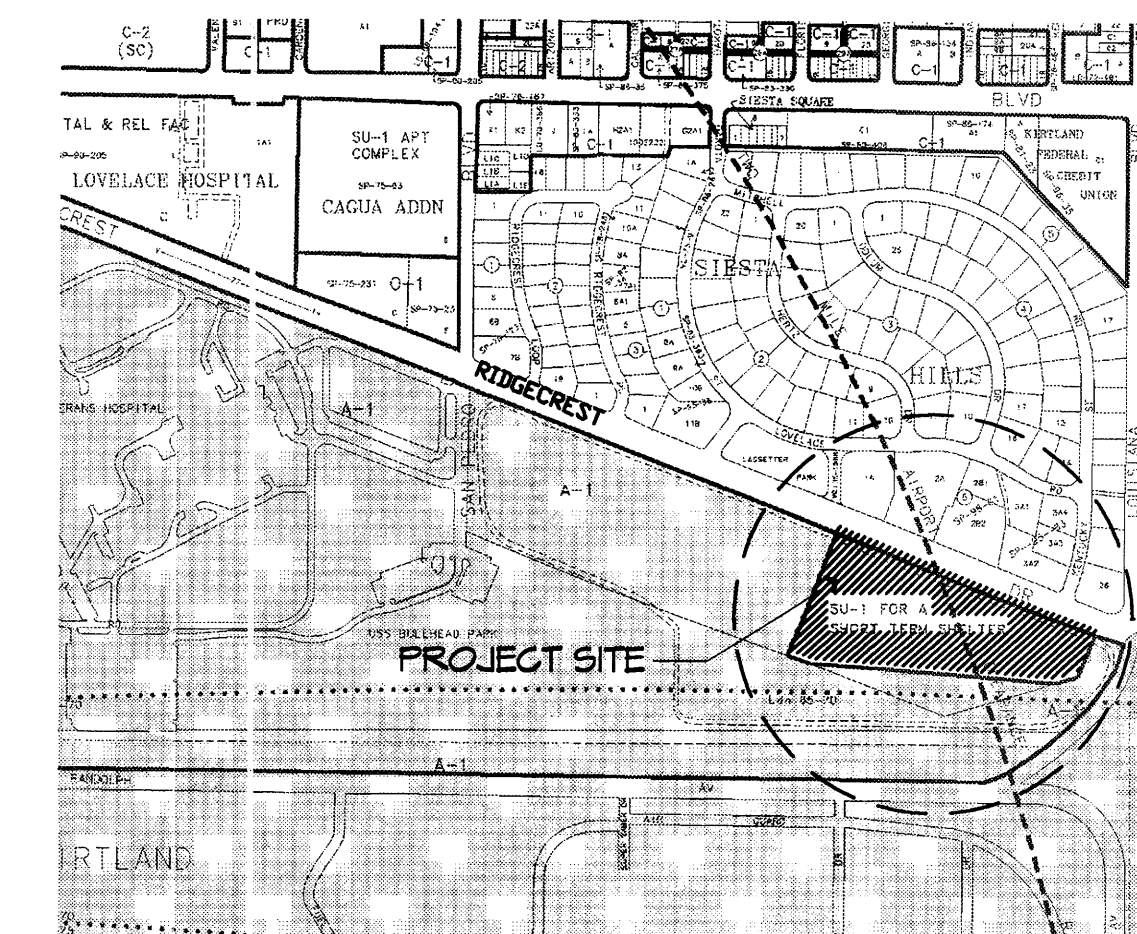
CONDITION #5
03EPC-00495

FUTURE PHASES:
LOT AREA:
5.345 ACRES = 235,006 S.F.
BUILDING AREA:
117,503 S.F. MAX.
FAR = .5 MAX
ALLOWABLE BUILDING HEIGHT:
26'-0", 2 STORIES MAX.

CONDITIONS #3 & #5
03EPC-00495

ALL CONSTRUCTION WILL HAVE A NOISE REDUCTION FACTOR OF 30 DECIBELS I.E.
EXTERIOR SOUND LEVELS REDUCED BY 30 DECIBELS IN THE INTERIOR OF THE
STRUCTURE.

CONDITION #6
03EPC-00495



PROJECT NUMBER: _____

APPLICATION NUMBER: _____

DRB SITE DEVELOPMENT PLAN APPROVAL: _____

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE _____

UTILITIES DIVISION DATE _____

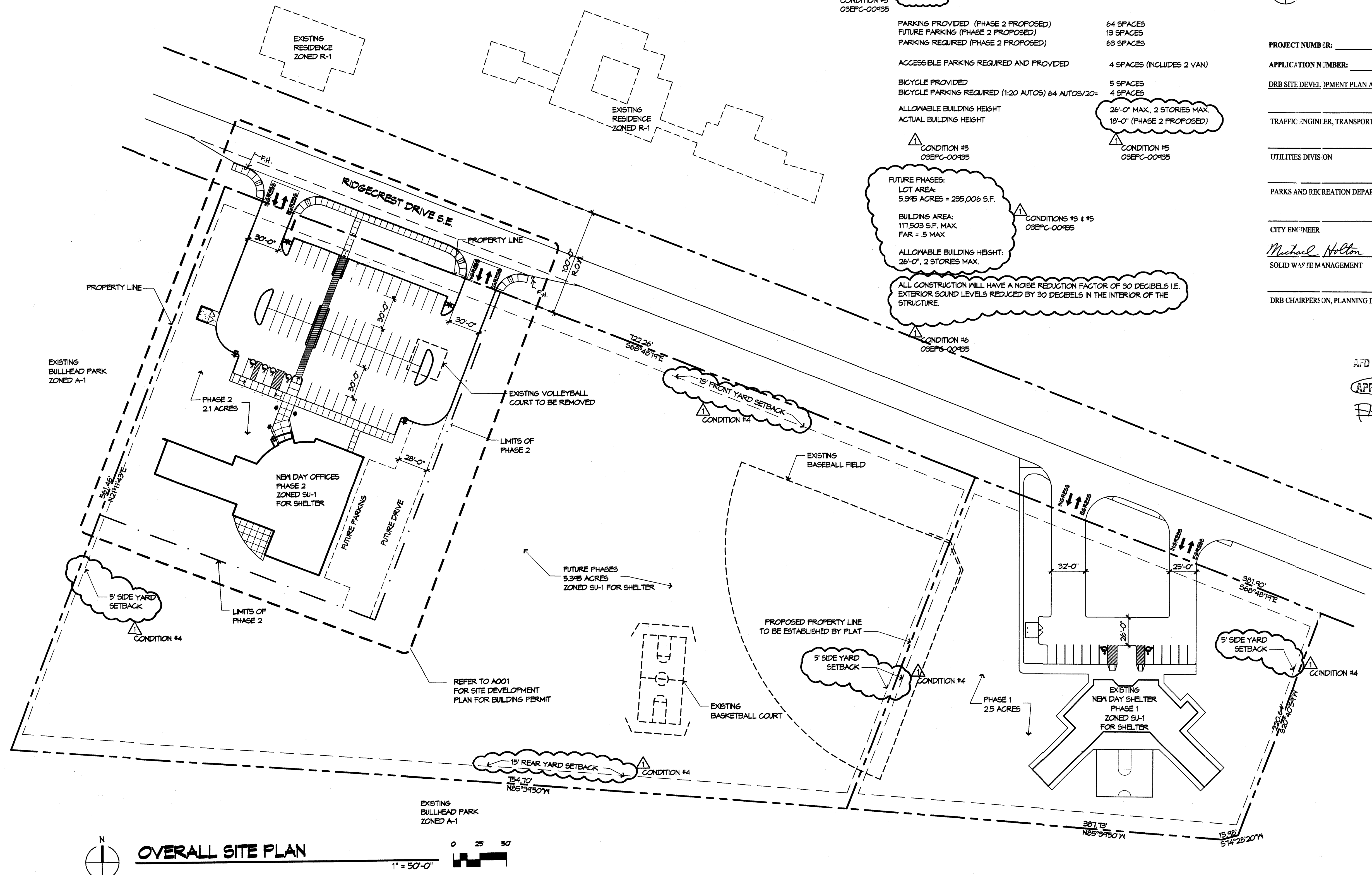
PARKS AND RECREATION DEPARTMENT DATE _____

CITY ENGINEER DATE _____

SOLID WASTE MANAGEMENT DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE _____

APD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
F.M.O. 2-9-04
SIGNATURE & DATE



OVERALL SITE PLAN
1" = 50'-0"

REVISIONS

2/9/04	EPC CONDITIONS OF APPROVAL

DRAWN BY	SS, MF
REVIEWED BY	TG
DATE	12/04/03
PROJECT NO.	08102
DRAWING NAME	

**SITE DEVELOPMENT
PLAN FOR
SUBDIVISION**

PROJECT DATA

LEGAL DESCRIPTION
A CERTAIN PARCEL OF LAND SITUATED WITHIN AND BEING A PORTION OF THE
NORTHEAST QUARTER (N.E. 1/4) OF SECTION 36 TOWNSHIP 10 NORTH, RANGE 3 EAST,
NMFM BERNALILLO COUNTY, NEW MEXICO

ZONING
CITY OF ALBUQUERQUE, NEW MEXICO ZONED SU-1 FOR A SHORT TERM SHELTER

AREAS
TOTAL TRACT AREA 9.95 ACRES
EXISTING PHASE I 2,500 ACRES
PROPOSED PHASE II 2,100 ACRES
FUTURE PHASES 5.35 ACRES
BUILDING AREA - PHASE I 7,000 SF
BUILDING AREA - PHASE II 12,500 SF

EXISTING USE - PHASE I
SHORT TERM SHELTER
PROPOSED USE - PHASE II
COUNSELING CENTER AND ADMINISTRATIVE OFFICES

PARKING - PHASE II
PARKING REQUIRED (1:200) 12,500SF/200= 63 SPACES
PARKING PROVIDED 64 SPACES
FUTURE PARKING SPACES - PHASE II 13 SPACES
ACCESSIBLE PARKING REQUIRED AND PROVIDED 4 SPACES (INCLUDES 2 VAN)

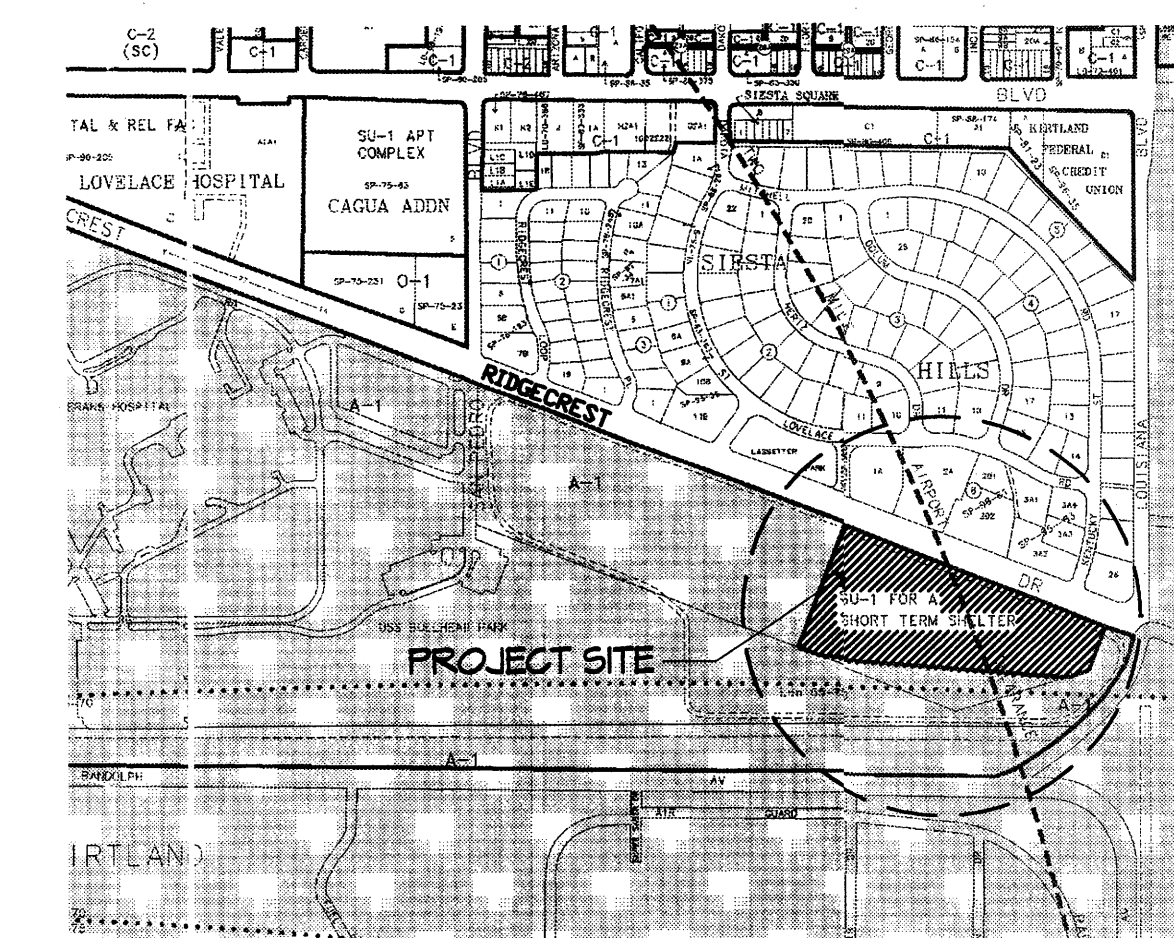
BICYCLE PARKING REQUIRED (1:20 AUTOS) 64 AUTOS/20= 4 SPACES
BICYCLE PROVIDED 5 SPACES

GENERAL NOTES

- REFER TO COVER SHEET FOR OVERALL SITE PLAN AND PHASING.
- ROOF TOP EQUIPMENT SHALL NOT BE VISIBLE FROM ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
- REFER C103 CONCEPTUAL INFRASTRUCTURE PLAN FOR EXISTING AND PROPOSED WATER AND SEWER.
- REFER C101 CONCEPTUAL GRADING PLAN FOR EXISTING SPORT FIELDS

KEYED NOTES

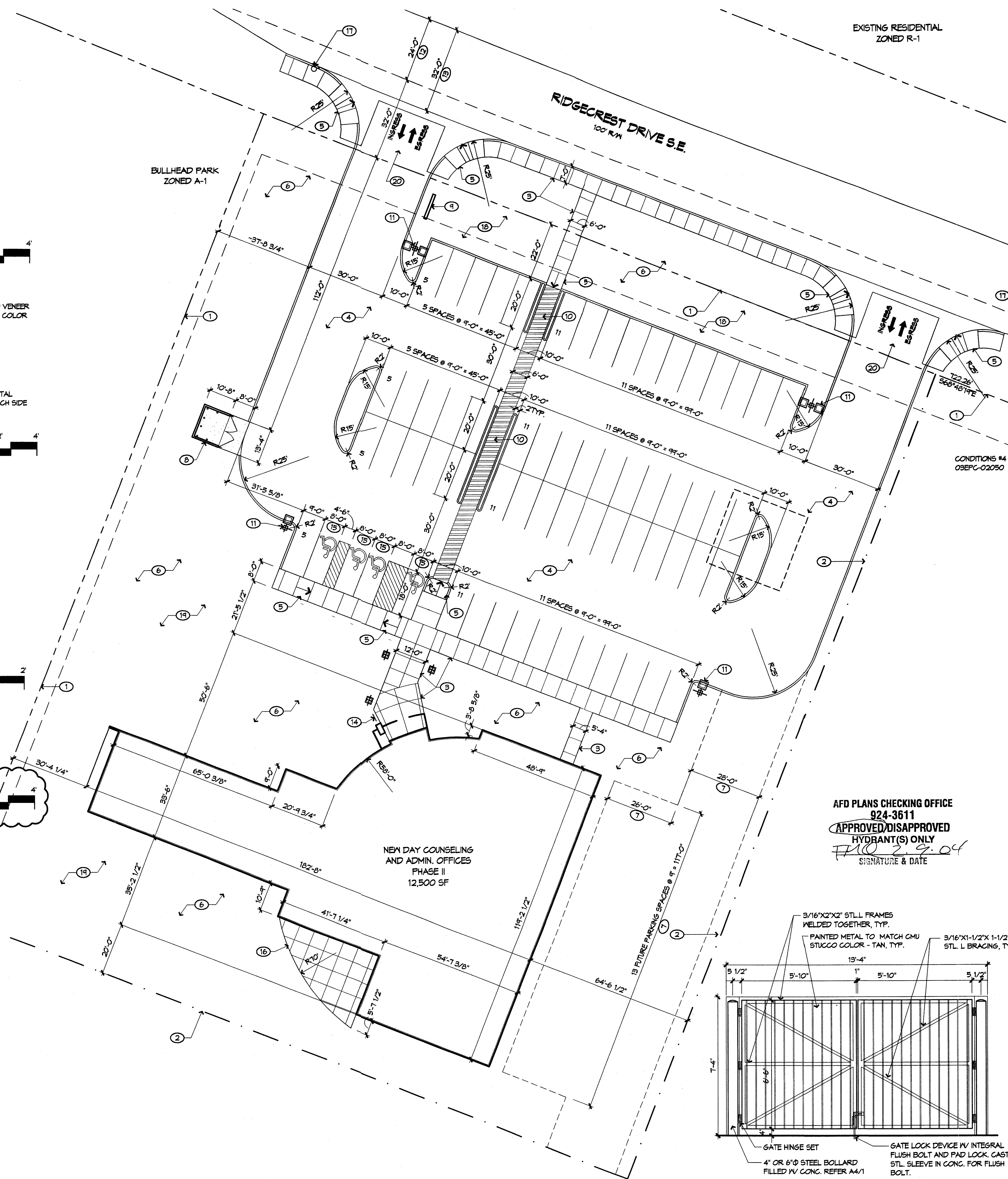
- PROPERTY LINE
- LIMITS OF PHASE TWO, ASSUMED PROPERTY LINE
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- ACCESSIBLE SIDEWALK RAMP
- LANDSCAPED AREA
- FUTURE ACCESS DRIVE, PARKING AND SIDEWALK TO EXPANSION AREA
- 7'-4" TALL, 6" CMU REUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS, REFER ELEVATION THIS SHEET, STUCCO COLOR TO MATCH BUILDING SIDING COLOR TAN.
- MONUMENT SIGN, 40 SF, REFER ELEVATION THIS SHEET
- 6" WIDE PEDESTRIAN CROSSING BETWEEN 6" HIGH STANDUP CONCRETE CURB, PAINTED WHITE ON ASPHALT.
- LIGHT POLE, REFER ELEVATION THIS SHEET
- EXISTING STREET PAVEMENT WIDTH
- NEW STREET PAVEMENT WIDTH, REFER C103 CONCEPTUAL INFRASTRUCTURE PLAN
- BICYCLE RACK, 5 SPACES, REFER ELEVATION THIS SHEET
- ACCESSIBLE PARKING SPACE WITH ACCESSIBLE AND SIGN
- CONCRETE PATIO
- NEW PUBLIC FIRE HYDRANT, REFER C103 CONCEPTUAL INFRASTRUCTURE PLAN
- AREA OF INTERIM RETENTION PONDS, REFER C101 CONCEPTUAL GRADING PLAN
- AREA OF WATER HARVESTING FOR CONTROL OF NUISANCE FLOWS, REFER C101 CONCEPTUAL GRADING PLAN
- 6" CONCRETE CURB AND DRIVE, PER COA STANDARDS



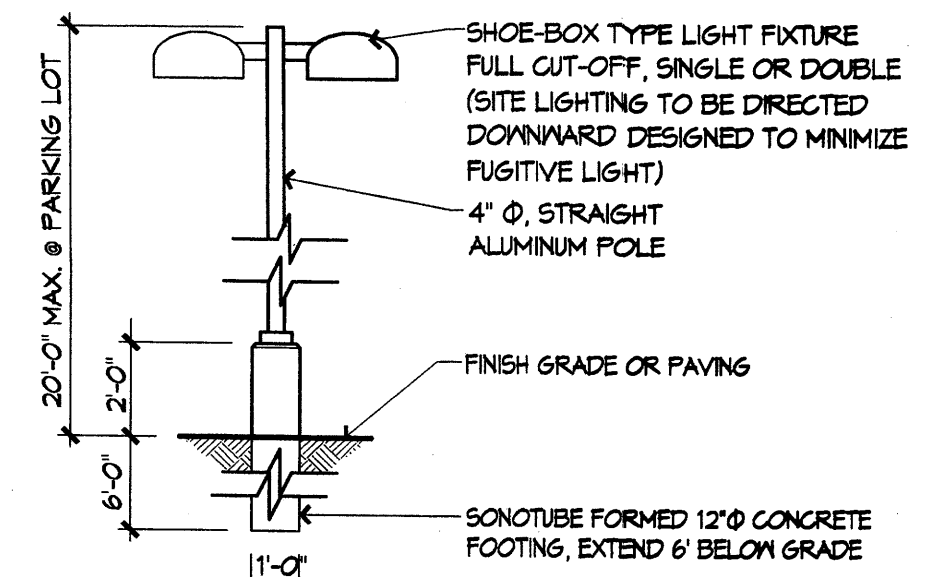
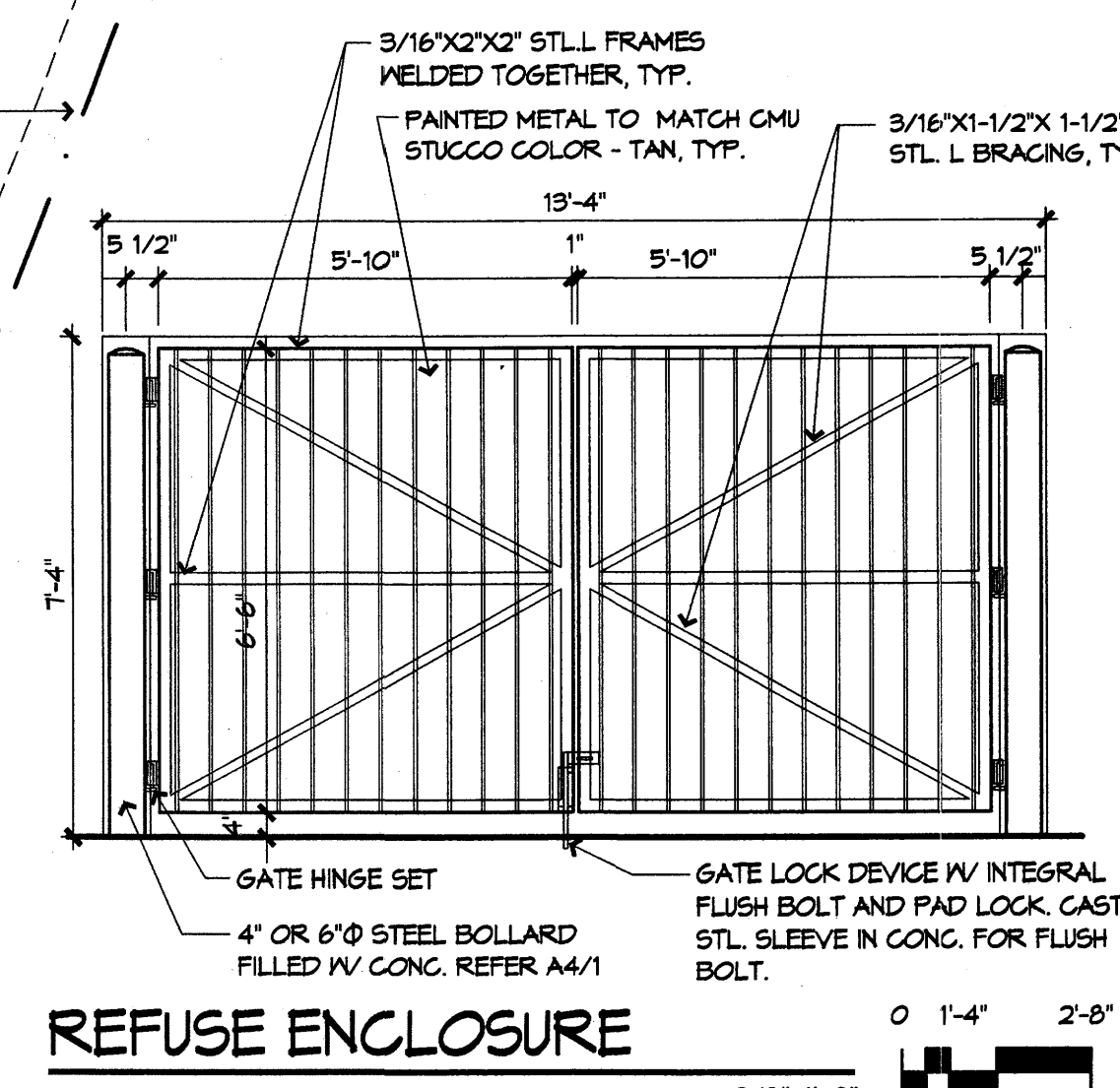
REVISIONS	
2/3/04	EPC CONDITIONS OF APPROVAL

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 APPLICATION NUMBER: _____
 DRB SITE DEVELOPMENT PLAN APPROVAL: _____
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION _____ DATE _____
 UTILITIES DIVISION _____ DATE _____
 PARKS AND RECREATION DEPARTMENT _____ DATE _____
 CITY ENGINEER _____ DATE _____
 Michael Holton 2-9-04
 SOLID WASTE MANAGEMENT _____ DATE _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

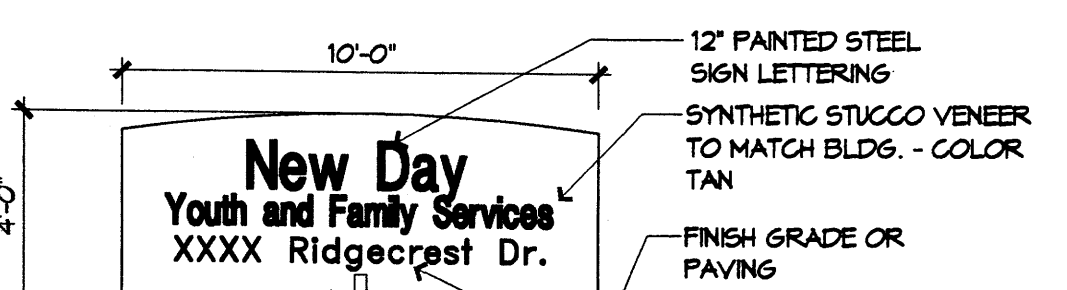
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 REVIEWED BY Tg
 DATE 12/04/03
 PROJECT NO. 08102
 DRAWING NAME
**SITE DEVELOPMENT
PLAN FOR
BUILDING PERMIT**
 SHEET NO. **A001**
 OF



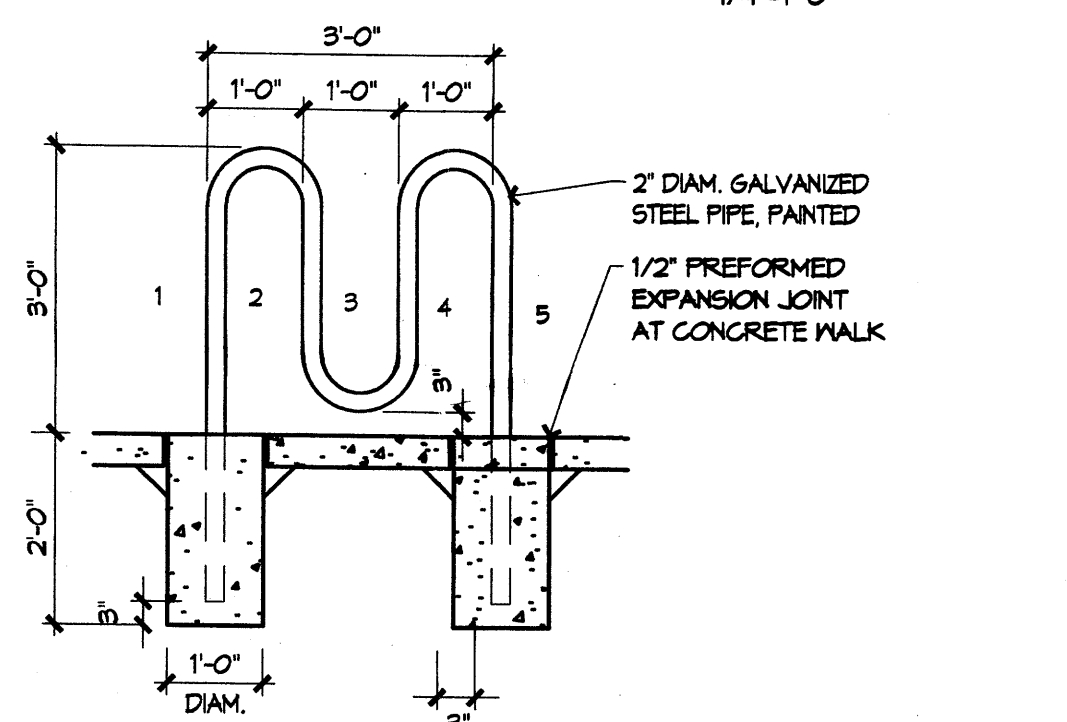
AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
2-9-04
SIGNATURE & DATE



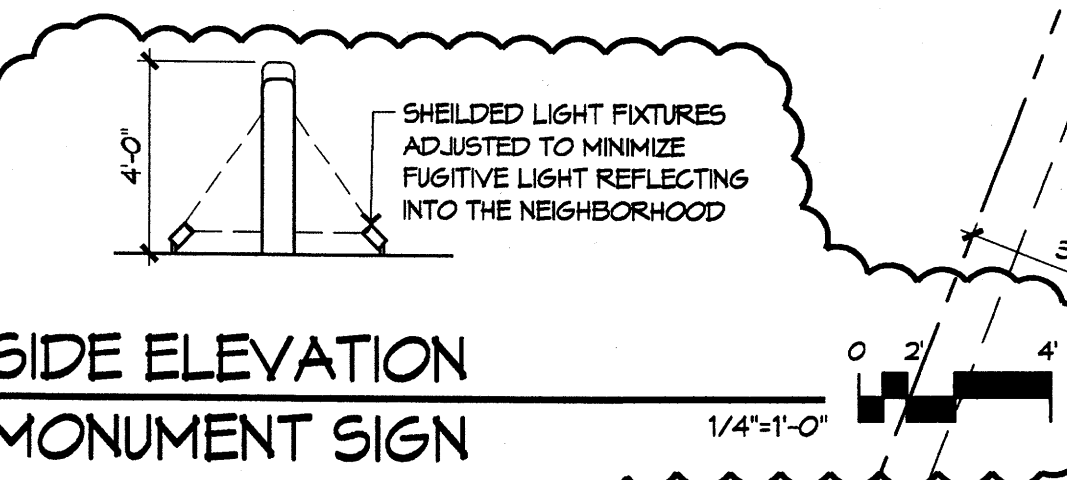
PARKING LIGHT ELEVATION
1/4"=1'-0"



MONUMENT SIGN ELEVATION
1/4"=1'-0"



BICYCLE RACK ELEVATION
1/2"=1'-0"



SIDE ELEVATION MONUMENT SIGN
1/4"=1'-0"

ENLARGED SITE PLAN
1"=20'

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
	8	PISTACHIA	PISTACHE	2" CAL	H
	10	CHILDOPSIS	DESERT WILLOW	15 GAL	H
	4	VITEX AGNUS-CASTUS	CHASTE TREE	15 GAL	M
	4	FORESTIERA NEOMEXICANA	NEW MEXICO OLIVE	15 GAL	M
	22	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	5 GAL	M
	17	CHRYSOTHAMNUS NAUSEOSUS	CHAMISA	1 GAL	L
	12	BUDDLEIA DAVIDII	BUTTERFLY BUSH	5 GAL	M
	36	RHUS TRILOBATA	THREE-LEAF SUMAC	5 GAL	M
	36	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL	M
	18	MISCANTHUS SINENSIS	MAIDEN GRASS	5 GAL	M
	30	BACCHARIS X CENTENNIAL	CENTENNIAL BROOM	5 GAL	M
	35	ERYSIMUM LINIFOLIUM	BOWLES' MAUVE	1 GAL	M
	23	FALLUGIA PARADOXA	APACHE PLUME	5 GAL	M
	2	AGAVE PARRYII	PARRY AGAVE	5 GAL	M
	9	GAURA LINDHEIMERI	GAURA	1 GAL	M
	25	ACHILLEA MILLEFOLIUM	MOONSHINE YARROW	1 GAL	M
		2"-4" SANTA ANA TAN COBBLE ACCENT			

SITE DATA

GROSS LOT AREA	90,605 SF
LESS BUILDING	12,500 SF
NET LOT AREA	78,105 SF
REQUIRED LANDSCAPE	11,716 SF
15% OF NET LOT AREA	
PROPOSED LANDSCAPE	48,755 SF
PERCENT OF NET LOT AREA	54 %

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO MAINTAIN MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN CRUSHER FINES AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 50' FROM A TREE.

NATIVE SEED TO BE C.O.A. EAST SIDE MIX AND WILL BE DRILL SEEDED. NO IRRIGATION IS PROVIDED.



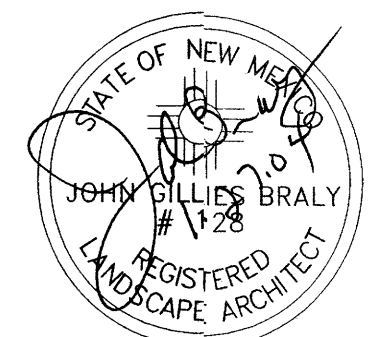
**New Day
Youth and Family Services**
Ridgecrest Drive S.E.
Albuquerque, New Mexico

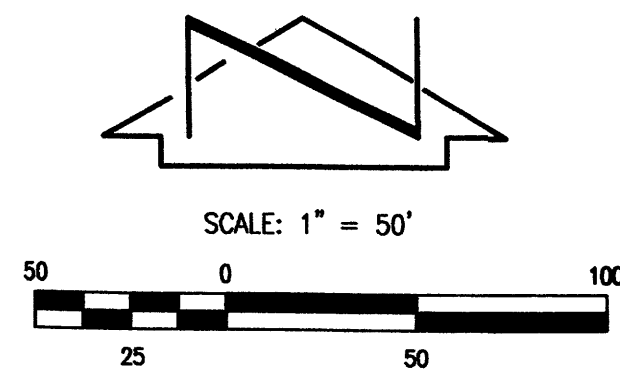
REVISIONS

△	1/15/04	EPC CONDITIONS OF APPROVAL
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DRAWN BY	TG
REVIEWED BY	TG
DATE	02/03/04
PROJECT NO.	03102
DRAWING NAME	

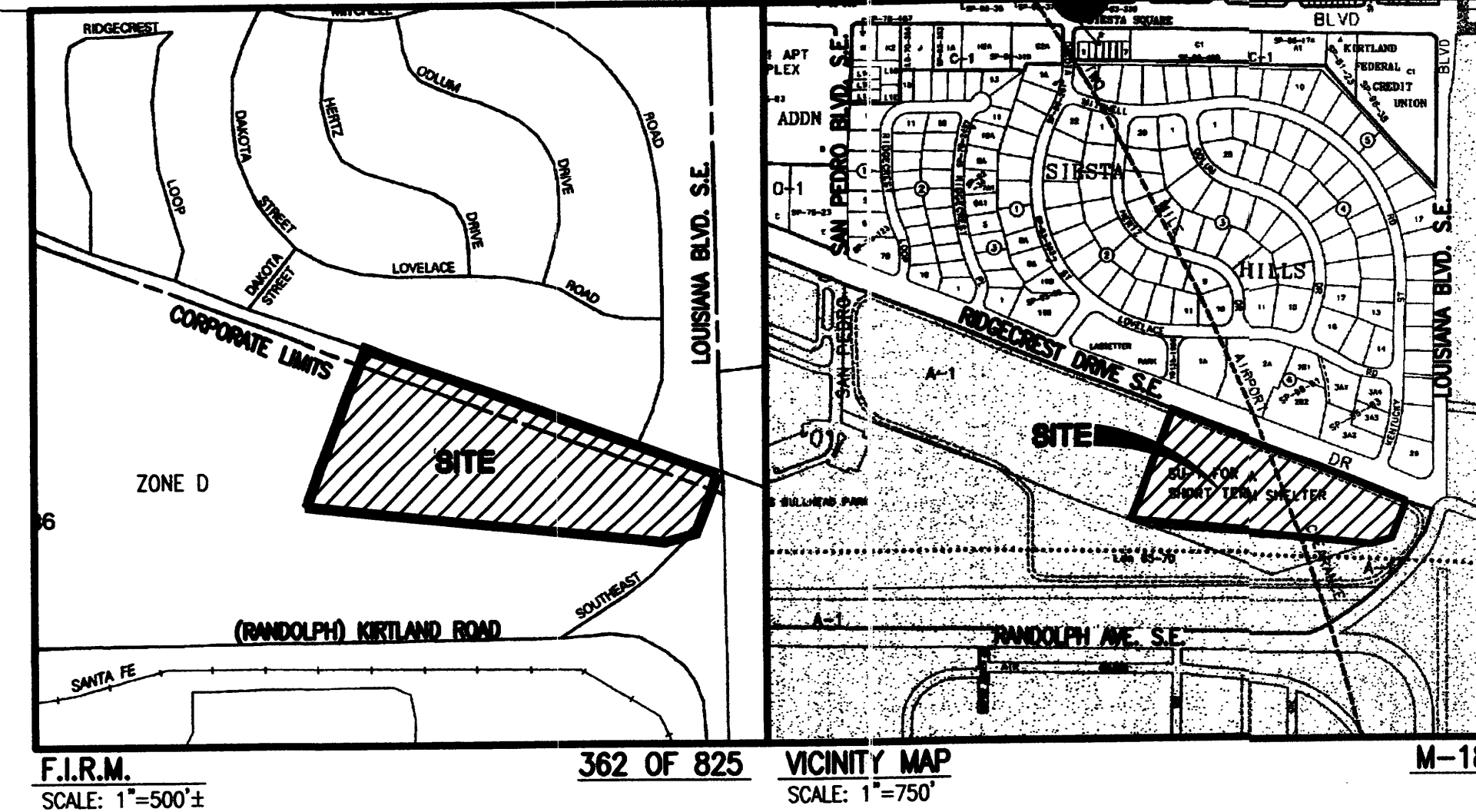
HeadUp
LANDSCAPE CONTRACTORS
7525 SECOND ST. NW
ALBUQUERQUE, NM
(505) 818-9615
LICENSE 18890
www.headuplandscape.com





LEGEND

- CONC
 - EA
 - FL
 - O/H E
 - PP
 - RCP
 - SAS
 - SW
 - TA
 - TC
 - TE
 - TGS
 - VCP
 - W
-
- 56
 - 56.0
-
- PROPOSED CONTOUR
 - PROPOSED SPOT ELEV.
 - PROPOSED FLOWLINE
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - HIGH POINT
 - FUTURE GRADE



architecture
interiors
planning
engineering

Dekker Perich Sabatini

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

ARCHITECT

- EROSION CONTROL MEASURES:**
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
 4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

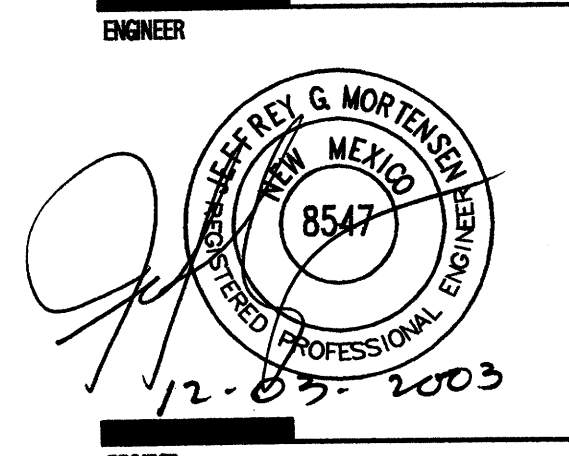
LEGAL DESCRIPTION (NEW DAY SHELTER TRACT)

A certain tract of land lying situate within and being a portion of the Northwest Quarter (N.E. 1/4) of Section 36, T. 10 N., R. 3 E., N.M.P.M., Bernalillo County, New Mexico and being more particularly described as follows:

Beginning for a tie at a point for the quarter corner on the easterly line of Section 36, T. 10 N., R. 3 E., said quarter corner had Stat: Plane Coordinate values of x=404749.58 and y=1473910.95 Central Zone; thence, N. 11°27'03" W., a distance of 592.46 feet to a point on the present southerly right of way line of Ridgecrest Drive, the point and place of beginning; thence, N. 68°48'19" W., along the said present southerly right of way of Ridgecrest Drive, a distance of 1,103.89 feet; thence, S. 21°50'11" W., 561.48 feet; thence, S. 85°38'38" E., 1,142.3 feet; thence, N. 72°46'59" E., 16.00 feet; thence, N. 20°40'59" E., 2220.65 feet to the point and place of beginning, containing 10,000 acres, more or less.

PROJECT B.M.
ALBUQUERQUE CONTROL STATION "1-118". A STANDARD ACS 3" BRASS CAP STAMPED "1-118" SET 0.2 FT. BELOW GROUND. THE STATION IS LOCATED 80.6 FT. NORTH OF CENTER LINE OF DAKOTA ST. S.E.
NOTE: ELEVATION DOES NOT MATCH PUBLISHED ELEVATION.

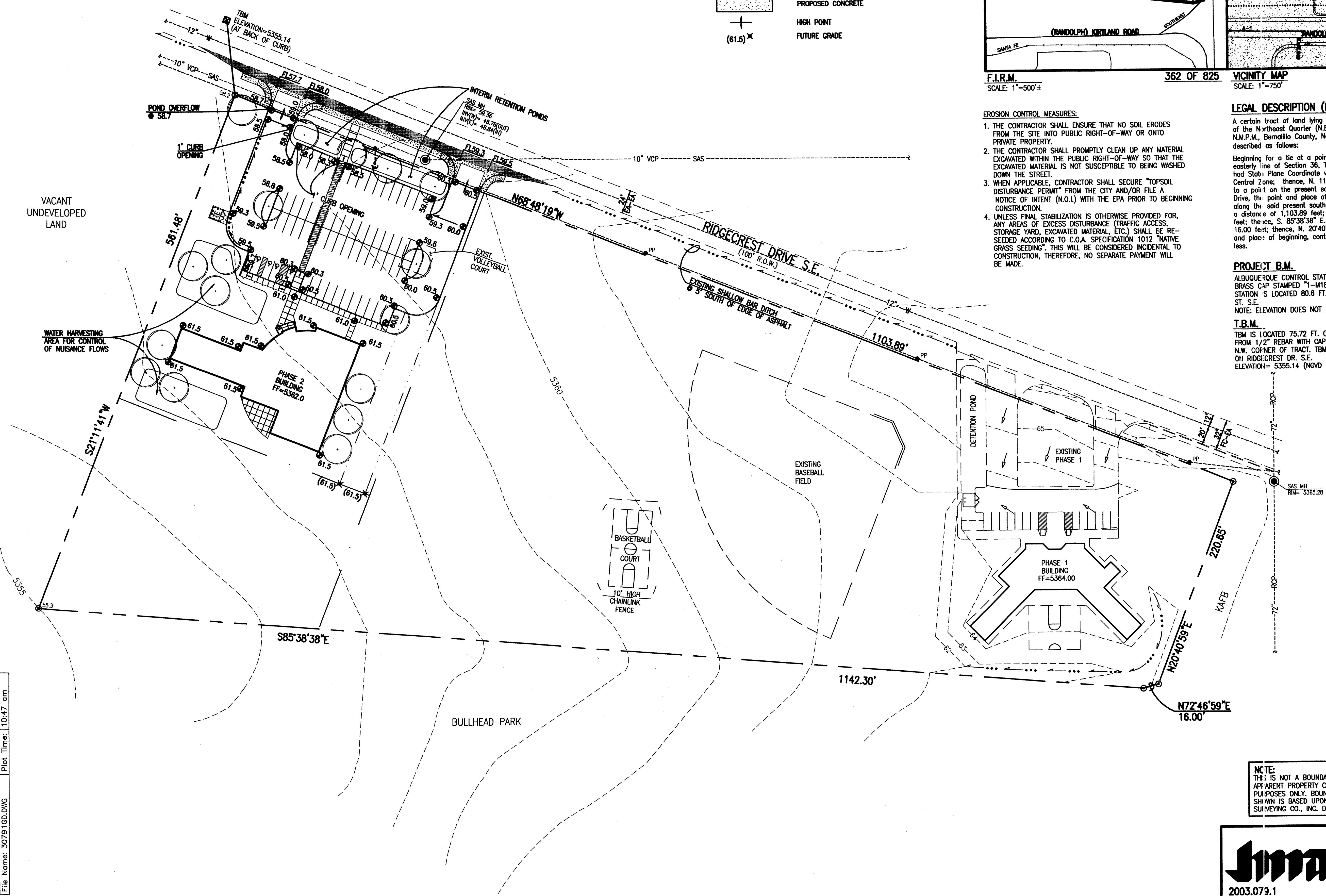
T.B.M.
TBM IS LOCATED 75.72 FT. ON A BEARING OF N06°19'19"W FROM 1/2" REBAR WITH CAP STAMPED LS 6446 WHICH IS THE N.W. CORNER OF TRACT. TBM IS LOCATED AT BACK OF CURB ON RIDGECREST DR. S.E.
ELEVATION= 5355.14 (MVD 1929)



New Day Services
Youth and Family Services
Ridgecrest Drive S.E.
Albuquerque, New Mexico

REVISIONS	
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DRAWN BY	JLP
REVIEWED BY	J.G.M.
DATE	12/04/2003
PROJECT NO.	03102
DRAWING NAME	CONCEPTUAL GRADING PLAN



NOTE:
THIS IS NOT A BOUNDARY OR TOPOGRAPHIC SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION PURPOSES ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IS BASED UPON A SURVEY DONE BY SOUTHWEST SURVEYING CO., INC. DATED JANUARY 1992.

Jma JEFF MORTENSEN & ASSOCIATES, INC.
6801-9 RIVIERA PARK BLVD. NE
ALBUQUERQUE, NM 87109
ENGINEERS & SURVEYORS (C65) 345-4250
FAX: 345-4254 E-mail: jma@jma-inc.com

2003.079.1

File Path: E:\WORK\03102\03102.DWG
File Name: 3079190.DWG
Plot Date: 12-03-2003
Plot Time: 10:47 am

DRAINAGE PLAN

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED IN THE SOUTHEAST HEIGHTS NEAR LOVELACE HOSPITAL AND BULLHEAD PARK, REPRESENTS A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA. AT PRESENT, THE SITE IS PARTLY DEVELOPED AS NEW DAY SHELTER. PHASE 1 HAS BEEN CONSTRUCTED AT THE EAST END OF THE PROPERTY. IT IS NOW PROPOSED TO CONSTRUCT PHASE 2 AT THE WEST END OF THE PROPERTY. THE PHASE 2 IMPROVEMENTS WILL UTILIZE INTERIM RETENTION PONDING PROGRAMMED TO THE EVENTUAL OUTFALL TO RIDGECREST DRIVE SE ONCE IT BECOMES FULLY PAVED WITH CURB AND GUTTER TO SAN PEDRO SE. AT THAT TIME, FREE DISCHARGE TO RIDGECREST DRIVE SE WILL BE PERMISSIBLE.

THIS SUBMITTAL IS MADE IN SUPPORT OF SITE PLAN APPROVAL FOR BUILDING PERMIT (EPC & DRB).

II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED AT THE SOUTHWEST CORNER OF RIDGECREST DRIVE SE AND LOUISIANA BLVD. SE. THE CURRENT LEGAL DESCRIPTION IS AN UNPLATTED PARCEL ACQUIRED FROM THE FEDERAL GOVERNMENT. AS INDICATED BY PANEL 362 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER 20, 1996, THIS SITE DOES NOT LIE WITHIN OR ADJACENT TO A DESIGNATED FLOOD HAZARD ZONE. PANEL 362 SUGGESTS, HOWEVER, THAT AN AO (DEPTH 1) ZONE IS SITUATED DOWNSTREAM FROM THE SITE. REVIEW OF THE ALBUQUERQUE MASTER DRAINAGE STUDY (AMDS) REVEALS THAT THE SITE IS JUST UPSTREAM OF SYSTEM 206-01A AND 206-02A IMPROVEMENTS THAT ARE INTENDED TO ELIMINATE THE AFOREMENTIONED FLOODING. THOSE IMPROVEMENTS ARE NOW IN PLACE HENCE IT IS BELIEVED THAT THE DOWNSTREAM FLOODING CONDITIONS HAVE EITHER BEEN ELIMINATED OR SUBSTANTIALLY IMPROVED.

THE PROJECT CONSISTS OF THE CONSTRUCTION OF A FREESTANDING PHASE 2 BUILDING. THE SITE WILL CONTINUE TO DRAIN FROM EAST TO WEST WITH A GENERAL SLOPE FROM SOUTH TO NORTH AS DETERMINED BY VISUAL OBSERVATION. THIS IS CONTRARY TO THE TOPOGRAPHY AS MAPPED, HOWEVER THIS WILL BE CONFIRMED PRIOR TO SUBMISSION OF THE DRAINAGE SUBMITTAL FOR BUILDING PERMIT APPROVAL.

III. BACKGROUND DOCUMENTS & RESEARCH

- A. ALBUQUERQUE MASTER DRAINAGE STUDY (AMDS). VOLUME II, REVEALS THAT THE SITE IS JUST UPSTREAM OF SYSTEM 206-01A AND 206-02A IMPROVEMENTS THAT ARE INTENDED TO ELIMINATE THE AFOREMENTIONED FLOODING. THOSE IMPROVEMENTS ARE NOW IN PLACE HENCE IT IS BELIEVED THAT THE DOWNSTREAM FLOODING CONDITIONS HAVE EITHER BEEN ELIMINATED OR SUBSTANTIALLY IMPROVED.
- B. BOUNDARY AND TOPOGRAPHIC SURVEY FOR "NEW DAY SHELTERS", PREPARED BY SOUTHWEST SURVEYING CO., INC. JANUARY 10, 1992. THIS SURVEY PROVIDES THE EXISTING TOPOGRAPHY FOR THE PHASE 2 SITE AS WELL AS GENERAL UTILITY INFORMATION. THE 1992 SURVEY REPRESENTS THAT THE SITE DRAINS FROM NORTHEAST TO SOUTHWEST ONTO BULLHEAD PARK. VISUAL SITE OBSERVATION ON DECEMBER 01, 2003 SUGGESTS THAT THE SITE NOW DRAINS TOWARD THE NORTHWEST CORNER. REGARDLESS, THE CONCEPT FOR THIS PLAN WILL BE TO DIRECT DEVELOPED RUNOFF TO RIDGECREST DRIVE SE REGARDLESS OF THE ACTUAL TREND THAT WILL BE CONFIRMED PRIOR TO SUBMISSION OF THE GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT.
- C. GRADING AND DRAINAGE PLAN FOR PHASE 1 PREPARED BY CHAVEZ-GRIEVES CONSULTING ENGINEERS DATED 2/28/96 AND CERTIFIED 2/5/99. PHASE 1 DRAINS FROM EAST TO WEST ONTO THE REMAINDER OF THE SITE WITH OVERFLOW ONTO BULLHEAD PARK ANTICIPATED. DETENTION PONDING WITH CONTROLLED RELEASE TO THE WEST WAS PROPOSED.

IV. EXISTING CONDITIONS

AT PRESENT, THE SITE IS PARTLY DEVELOPED. EXISTING CONDITIONS ARE ILLUSTRATED BY THE GRADING PLAN. AT PRESENT, THE SITE DRAINS FROM EAST TO WEST. THE SITE IS BOUNDED ON THE NORTH BY RIDGECREST DRIVE SE, ON THE EAST BY KIRTLAND AIR FORCE BASE, ON THE SOUTH BY BULLHEAD PARK, AND ON THE WEST BY UNDEVELOPED LANDS. RIDGECREST DRIVE SE IS PAVED WITH A 24 FEET WIDE ASPHALT MAT AND NO CURB AND GUTTER ON THE SOUTH SIDE FROM THE SITE TO SAN PEDRO BLVD. SE. THE ONLY CURB AND GUTTER ON THE SOUTH SIDE OF THE STREET IS THE PHASE 1 FRONTAGE BUILT AS A CONDITION FOR SITE PLAN APPROVAL FOR THAT PHASE.

RIDGECREST DRIVE SE APPEARS TO BE TOPOGRAPHICALLY LOWER THAN THE SITE. AT PRESENT, IT DOES NOT APPEAR THAT ADJACENT SITES CONTRIBUTE OFFSITE FLOWS.

V. DEVELOPED CONDITIONS

THE PROPOSED CONSTRUCTION CONSISTS OF A FREESTANDING PHASE 2 BUILDING WITH PARKING LOT IMPROVEMENTS AND LANDSCAPING. THE RUNOFF FROM THIS PHASE WILL BE DIRECTED TO EITHER AN INTERIM RETENTION POND PARALLEL TO RIDGECREST DRIVE SE OR WATER HARVESTING AREAS INTENDED TO MITIGATE NUISANCE FLOWS AND PUT RENEWADE FLOWS TO BENEFICIAL USE FOR IRRIGATION. BASED UPON THE QUALITATIVE ANALYSIS PRESENTED ABOVE FORMED LARGELY ON THE PRIOR ANALYSIS OF THE AMDS, VOLUME II, THE FREE DISCHARGE OF RUNOFF FROM THIS SITE TO RIDGECREST DRIVE SE IS APPROPRIATE ONCE RIDGECREST DRIVE SE IS FULLY PAVED FROM THE SITE TO SAN PEDRO BLVD. SE. UNTIL THAT TIME, INTERIM RETENTION PONDING IS PROPOSED.

VI. GRADING PLAN

THE GRADING PLAN SHOWS 1.) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS TAKEN FROM THE 1992 SOUTHWEST SURVEYING CO., INC BOUNDARY AND TOPOGRAPHIC SURVEY, 2.) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS, 3.) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS, 4.) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 5.) CONTINITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, THE PROPOSED IMPROVEMENTS WILL CONSIST OF A FREESTANDING BUILDING ADDITION TO THE SITE. THIS ADDITION WILL BE THE SECOND OF AN OVERALL PHASED DEVELOPMENT. THE PROPOSED IMPROVEMENTS WILL BE DRAINED TO FACILITATE ULTIMATE FREE DISCHARGE TO RIDGECREST DRIVE SE WITH INTERIM RETENTION PONDING UNTIL RIDGECREST DRIVE SE IS FULLY PAVED WITH CURB AND GUTTER ON THE SOUTH SIDE FROM THE SITE TO SAN PEDRO BLVD. SE. AT THAT LATER DATE, THE WEST DRIVE AISLE ENTERING THE SITE CAN BE REMOVED AND REBUILT FROM THE REFUSE PAD AREA TO THE RIGHT-OF-WAY LINE AT THE WEST PRIVATE ENTRANCE. A FUTURE 4-INCH CURB PENETRATION WILL ALLOW THE INTERIM RETENTION POND TO DRAIN TO THE STREET. THE PROPOSED GRADING WILL NOT HAVE AN ADVERSE IMPACT ON DOWNSTREAM CONDITIONS.

VII. CALCULATIONS

CALCULATIONS ANALYZING THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT HAVE BEEN PREPARED FOR THIS PROJECT. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS SHOWN BY THE RESULTS PRESENTED HEREON, THERE WILL BE A MINOR INCREASE IN PEAK DISCHARGE AND RUNOFF VOLUME ASSOCIATED WITH THE PROPOSED CONSTRUCTION.

VIII. CONCLUSION

THE INTERIM RETENTION OF RUNOFF FROM PHASE 2 IS APPROPRIATE DUE TO THE FOLLOWING FACTORS:

1. LACK OF CURB AND GUTTER ON THE SOUTH SIDE OF RIDGECREST DRIVE SE FROM THE SITE TO SAN PEDRO BLVD. SE.
2. THE PROPOSED GRADING WILL EVENTUALLY FACILITATE THE LIMITED RECONSTRUCTION OF PRIVATE PAVING IMPROVEMENTS TO ALLOW ONSITE DEVELOPED RUNOFF TO BYPASS THE INTERIM RETENTION POND.
3. A 4-INCH PVC PIPE PENETRATION CAN BE ADDED TO THE POND TO EFFECTIVELY DRAIN THAT RUNOFF THAT CAN'T BE INERTED AND HENCE WILL CONTINUE TO ENTER THE POND.
4. WATER HARVESTING AREAS WILL BE INCORPORATED TO MITIGATE NUISANCE FLOWS AND PUT RENEWADE RUNOFF TO BENEFICIAL USE IRRIGATING LANDSCAPED AREAS.

THE ULTIMATE FREE DISCHARGE OF RUNOFF FROM THIS SITE TO RIDGECREST DRIVE SE IS APPROPRIATE DUE TO THE FOLLOWING FACTORS:

1. MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA.
2. FREE DISCHARGE IS NOW PERMISSIBLE FOR THIS SITE DUE TO THE PRESENCE OF THE DOWNSTREAM AMDS SYSTEM 206-01A AND 206-02A IMPROVEMENTS THAT INTENDED TO ELIMINATE THE DOWNSTREAM FLOODING.
3. THE PROPOSED DEVELOPMENT IS CONSISTENT WITH THE PREVIOUSLY APPROVED DRAINAGE SUBMITTAL REFERENCED ABOVE.
4. MODEST INCREASE IN RUNOFF VOLUME AND PEAK DISCHARGE.
5. NO ADVERSE IMPACT ON DOWNSTREAM CAPACITY OR DOWNSTREAM PROPERTIES.
6. THE EXISTING AND APPROVED DRAINAGE PATTERNS (STATUS QUO) WILL NOT BE ALTERED AND HENCE MAINTAINED.

CALCULATIONS

I. PRECIPITATION ZONE = 3

II. $P_{6,100} = P_{360} = 2.60$

III. TOTAL AREA (A_T) = 435460 SF / 10.0 AC

IV. EXISTING LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
A	337150/7.74	78
B	68820/1.58	01
D	29620/0.68	07

V. DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
A	242190/5.64	56
B	113260/2.60	26
D	76670/1.76	18

VI. EXISTING CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = [0.66(7.74) + 0.92(1.58) + 2.36(0.68)] / 10.0 = 0.82 \text{ IN}$$

$$V_{100,6-HR} = (E_w / 12) A_T$$

$$V_{100,6-HR} = (0.82 / 12) 10.0 = 0.6806 \text{ AC-FIT} = 29650 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{100} = 1.87(7.74) + 3.45(1.58) + 5.02(0.68) = 22.0 \text{ CFS}$$

VII. DEVELOPED CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = [0.66(5.64) + 0.92(2.60) + 2.36(1.76)] / 10.0 = 1.03 \text{ IN}$$

$$V_{100,6-HR} = (E_w / 12) A_T$$

$$V_{100,6-HR} = (1.03 / 12) 10.0 = 0.8557 \text{ AC-FIT} = 37270 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{100} = 1.87(5.64) + 2.60(2.60) + 5.02(1.76) = 26.1 \text{ CFS}$$

VIII. COMPARISON

VOLUME

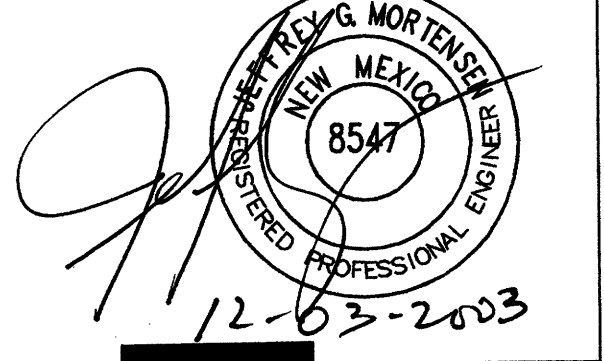
$$\Delta V_{100} = 37270 - 29650 = 7620 \text{ CF (INCREASE)}$$

PEAK DISCHARGE

$$\Delta Q_{100} = 26.1 - 22.0 = 4.1 \text{ CFS (INCREASE)}$$

ARCHITECT

ENGINEER



PROJECT

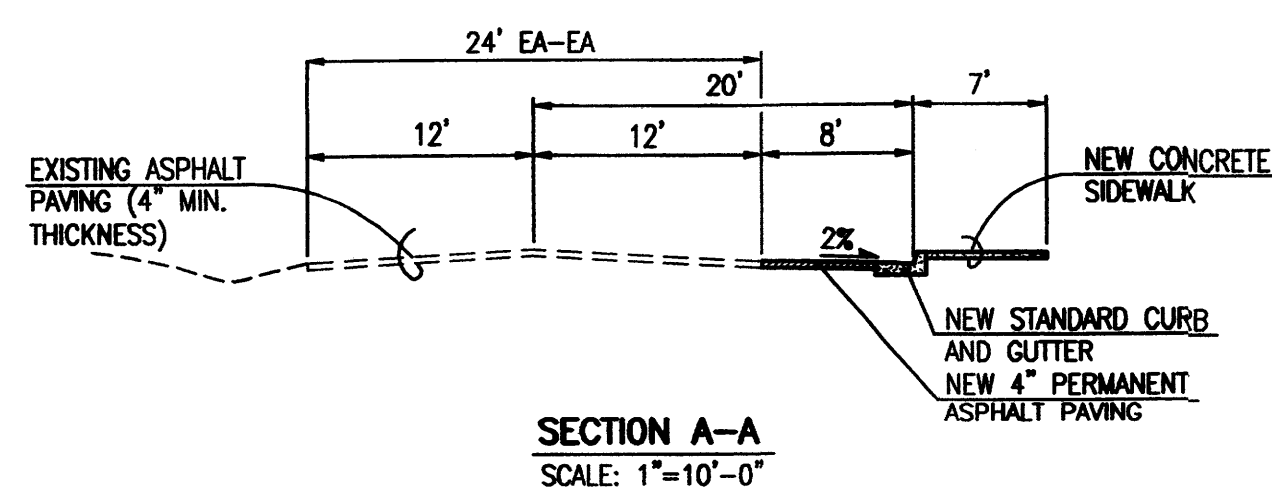
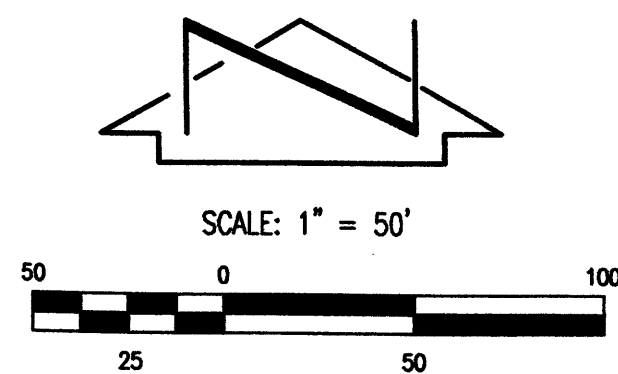
**New Day
Youth and Family Services**
Ridgecrest Drive S.E.
Albuquerque, New Mexico

REVISIONS

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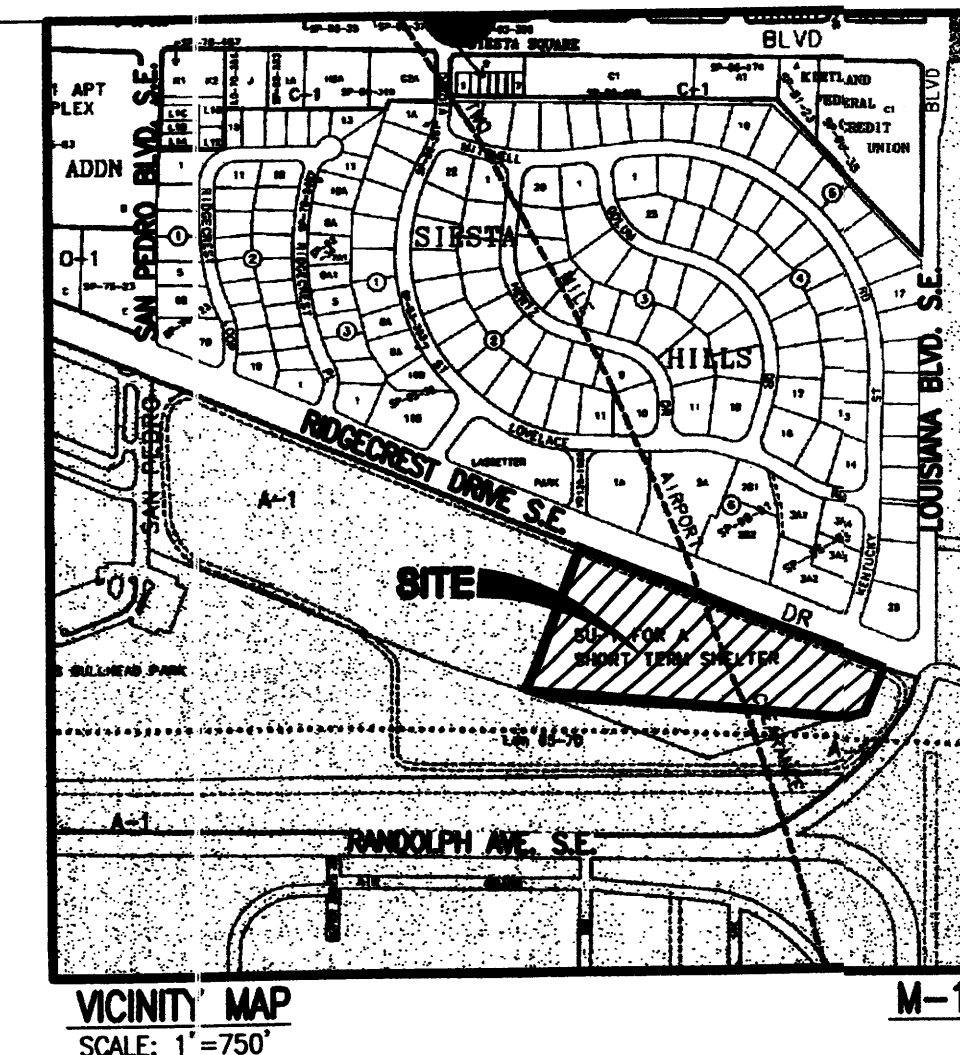
DRAWN BY	JLP
REVIEWED BY	J.G.M.
DATE	12/04/2003
PROJECT NO.	03102

DRAWING NAME
**CONCEPTUAL
DRAINAGE PLAN
AND CALCULATIONS**



LEGEND

- CONC
 - FL
 - O/H E
 - PP
 - RCP
 - SAS
 - SN
 - TA
 - TC
 - TE
 - TOC
 - VCP
 - W
- CONCRETE FLOWLINE
OVERHEAD ELECTRIC
POWER POLE
REINFORCED CONCRETE PIPE
SANITARY SEWER
SIDEWALK
TOP OF ASPHALT
TOP OF CURB
TRASH ENCLOSURE
TOP OF CONCRETE
VERIFIED CLAY PIPE
WATER
EXISTING CONTOUR
- PROPOSED CONTOUR
PROPOSED SPOT ELEV.
PROPOSED FLOWLINE
PROPOSED ASPHALT
PROPOSED CONCRETE



architecture
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**Dekker
Perich
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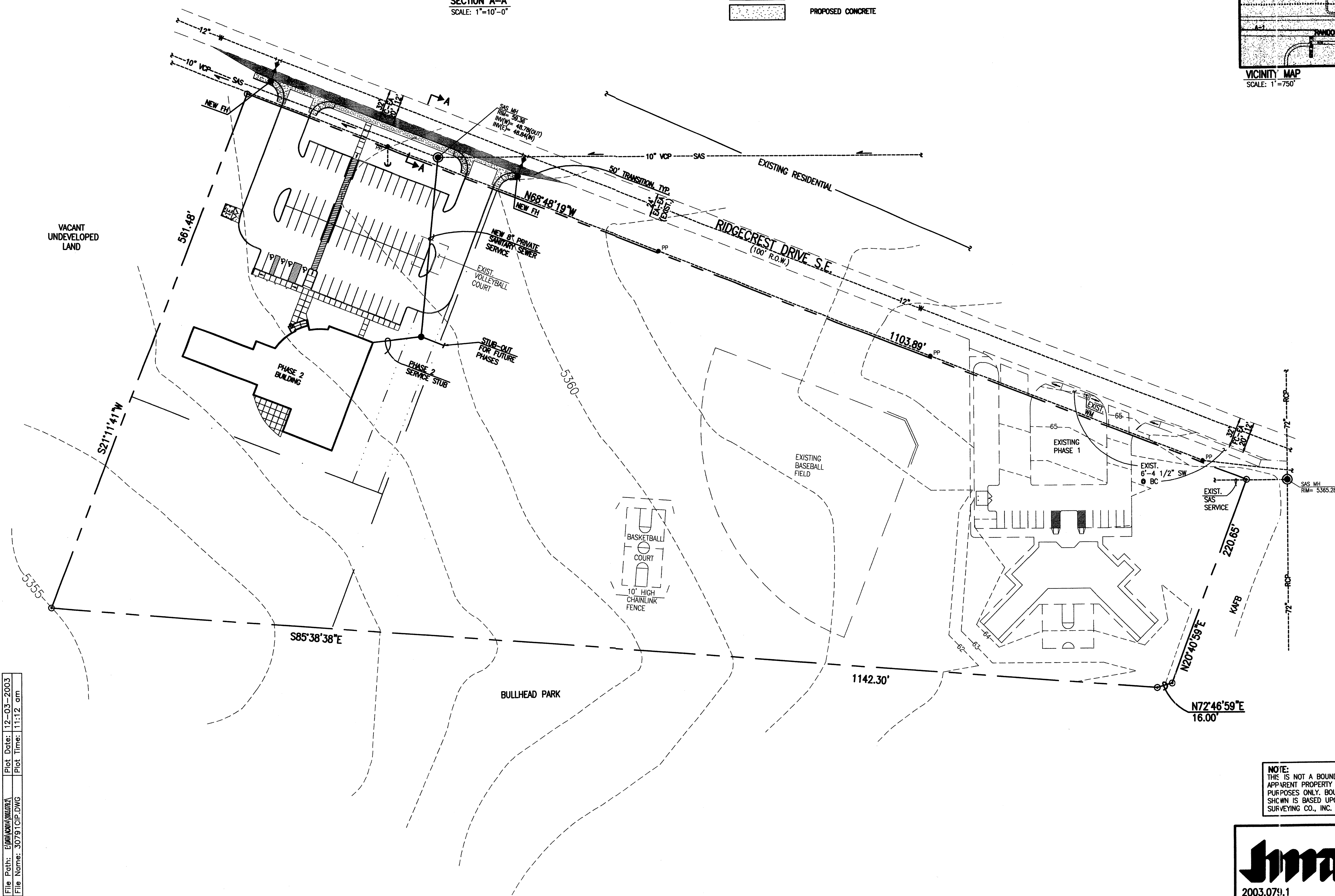
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ARCHITECT

ENGINEER

PROJECT

**New Day
Youth and Family Services**
Ridgecrest Drive S.E.
Albuquerque, New Mexico



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Plot Date: 12-03-2003
Plot Time: 11:12 am

NOTE:
THIS IS NOT A BOUNDARY OR TOPOGRAPHIC SURVEY.
APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION
PURPOSES ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION
SHOWN IS BASED UPON A SURVEY DONE BY SOUTHWEST
SURVEYING CO., INC. DATED JANUARY 1992.

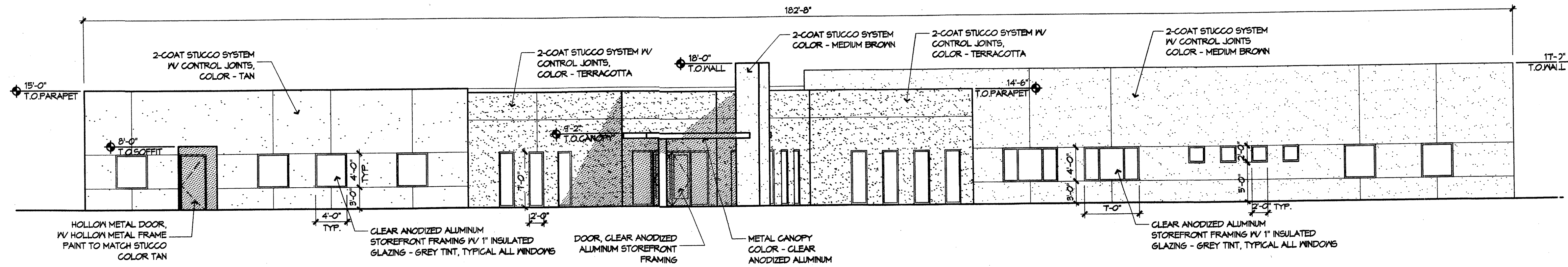
Jma JEFF MORTENSEN & ASSOCIATES, INC.
6800-B HIGHWAY PARK BLVD. NE
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (505) 245-4250
FAX (505) 245-4254 Email: jma@jma-inc.com

2003.079.1

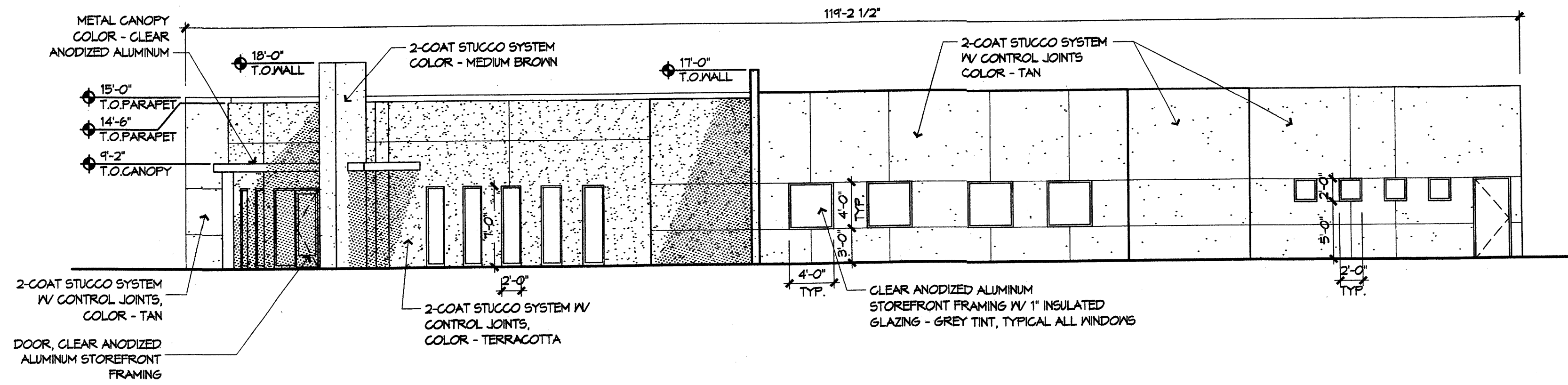
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DRAWN BY	JLP
REVIEWED BY	J.G.M.
DATE	12/04/2003
PROJECT NO.	03102
DRAWING NAME	CONCEPTUAL INFRASTRUCTURE PLAN

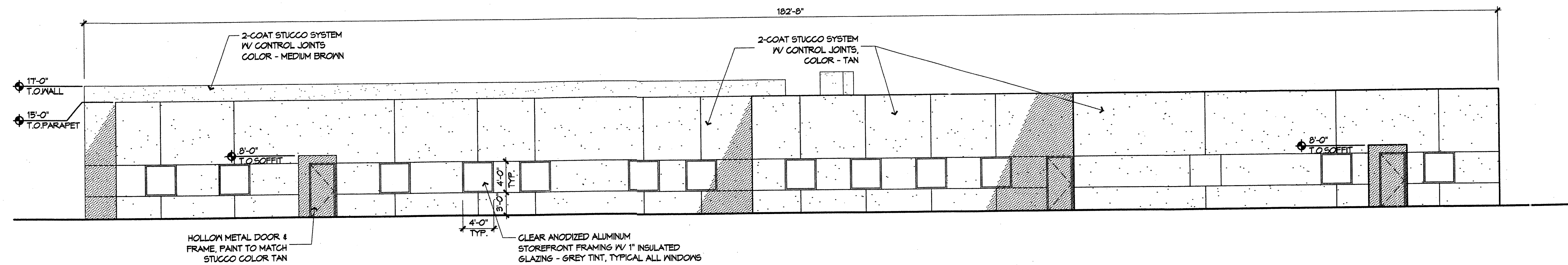
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C-103
OF



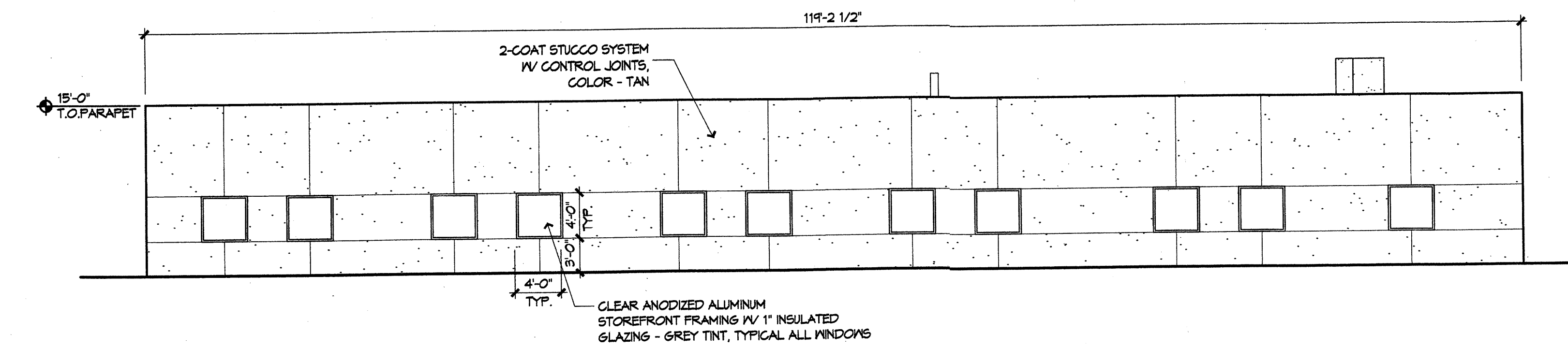
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1/8" = 1'-0"



B1 WEST ELEVATION
1/8" = 1'-0"



C1 SOUTH ELEVATION
1/8" = 1'-0"



D1 EAST ELEVATION
1/8" = 1'-0"

REVISIONS

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△	
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DRAWN BY	SAS
REVIEWED BY	TG
DATE	12/04/03
PROJECT NO.	05102
DRAWING NAME	

**EXTERIOR
ELEVATIONS**