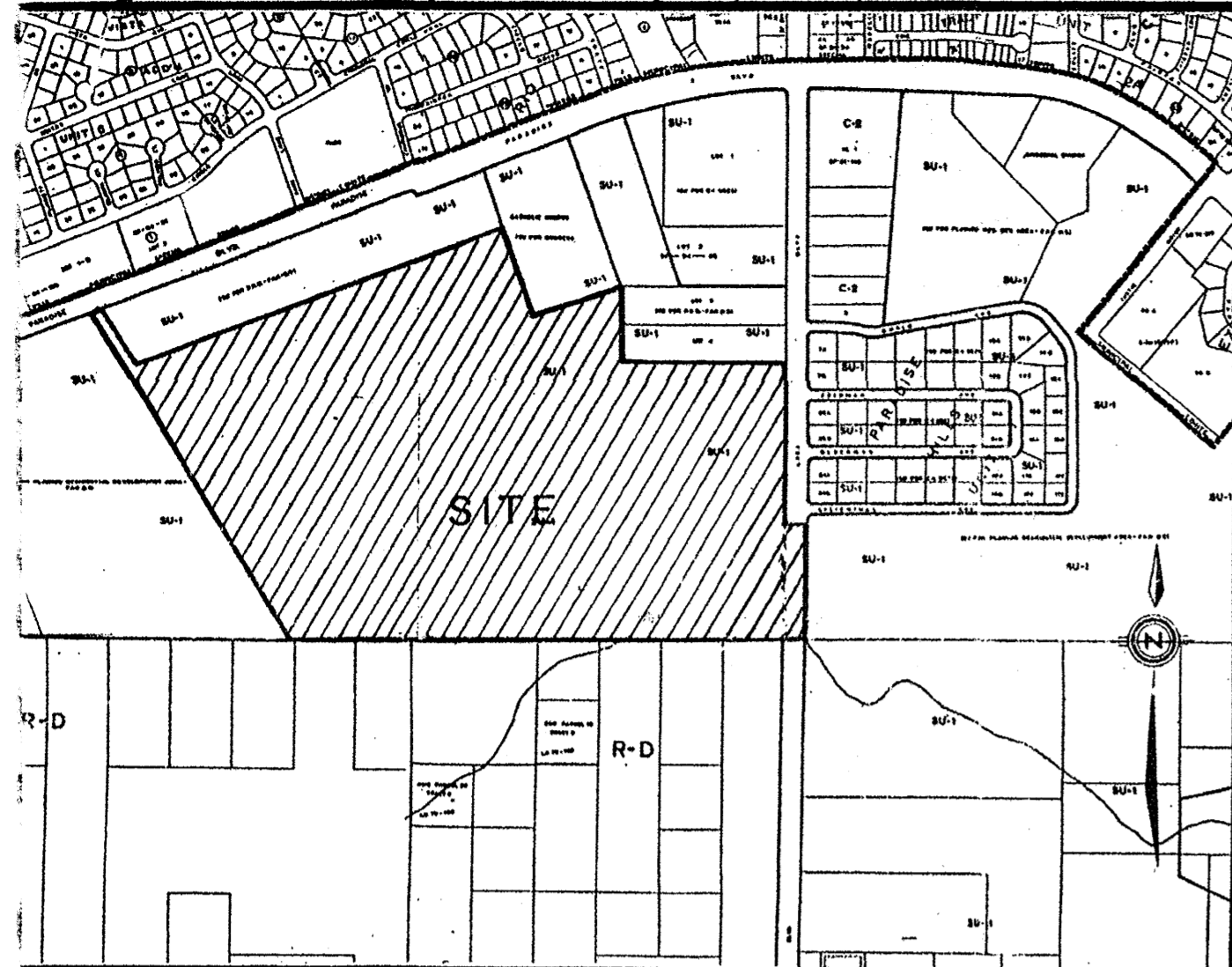


C39-28 (1)

C39-28 (1) TALOS NO 03-29-3081 MAPS/SURVEYS 220039



8938557 BULK LAND PLAT TRACTS 1 AND 2 LANDS OF PARAGON RESOURCES, INC.

State of New Mexico } County of Bernalillo } This instrument was filed for record on 93 APR 2 8 1989 C39 At 10:00 clock A.M. Recorded in Vol. of records of said County Folio 28 1/2 Deputy Clerk

TOWN OF ALAMEDA GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MARCH, 1989

LEGAL DESCRIPTION That certain parcel of land situate within the Town of Alameda Grant, Bernalillo County, New Mexico and within the "projection" of Sections 10 and 11, Township 11 North, Range 2 East, N.M.P.M.; being an unplatted portion of the City of Albuquerque, New Mexico and further described by metes and bounds as follows:

Beginning at a point on the westerly line of the parcel herein described, an aluminum survey cap stamped "41200 PT 31 LS6544 1984" which bears New Mexico State Plane Coordinates X=393,841.937 and Y=1,530,307.586, Central Zone, and a Delta Alpha of -00°16'55", whence the City of Albuquerque ACS Station 2-B10, having New Mexico State Plane Coordinates X=357,543.73 and Y=1,527,976.48, Central Zone, and a Delta Alpha of -00°16'30" bears N 57°48'03" W, 4376.11 feet; and whence the record position of the southeast corner of Rio Vista Subdivision, Unit 6, an subdivision in Bernalillo County, New Mexico filed in the office of the County Clerk of Bernalillo County, New Mexico on March 7, 1975, Book D6, Page 131 (a point on the southerly right-of-way line of Paradise Boulevard NW bears N 50°47'37"E, 1198.99 feet (said beginning point is also on the easterly line of the "Albuquerque Public Schools Tract" (an unrecorded property referred to on zoning and other instruments); thence from said point of beginning,

N 31°28'49" W 386.67 feet to a the northwest corner of the parcel herein described, said point being the northeast corner of the aforementioned "Albuquerque Public Schools Tract" and a point on the southerly right-of-way line of Paradise Boulevard NW; thence with the southerly right-of-way line of Paradise Boulevard NW,

N 69°15'32" E, 87.53 feet to a point; thence leaving the right-of-way of Paradise Boulevard NW,

S 31°28'49" E, 386.76 feet to a point; thence,

N 69°19'16" E, 1994.39 feet to a point on the unplatted "Catholic Church" property (an unrecorded property referred to on zoning and other instruments); thence with the property of the "Catholic Church Site"; thence,

S 20°41'26" E, 399.81 feet to a Point of Curvature; thence,

Southeasterly, 117.81 feet along the arc of a curve bearing to the left (said arc having a radius of 75.00 feet, a central angle of 90°00'00" and a chord which bears S 65°41'26" E, 106.07 feet) to a point of tangency; thence,

N 69°18'34" E, 424.76 feet to a point, said point being an interior point on the subdivision "Replat of Tract H" as the same is shown and designated on the plat of said subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico on February 16, 1984, Book C23, Page 57; thence with the perimeter of said "Replat of Tract H",

S 00°14'41" W, 382.84 feet to a point; thence,

S 89°41'18" E, 874.64 feet to a point on the westerly right-of-way line of Lyon Boulevard NW as the same is shown and designated on the plat "Unit 1 of Paradise Hills Investment Properties", filed in the office of the County Clerk of Bernalillo County, New Mexico on February 28, 1966, Book D3, Page 136; thence leaving the "Replat of Tract H" subdivision and with the westerly right-of-way line of Lyon Boulevard NW, S 00°18'07" W, 831.09 feet to a point, said point being the southwest corner of the aforesaid plat "Unit 1, Paradise Hills Investment Properties"; thence leaving the westerly right-of-way line of Lyon Boulevard NW,

N 89°54'12" E, 105.49 feet to the easterly right-of-way line of Lyon Boulevard NW; thence leaving the boundary of the plat "Unit 1, Paradise Hills Investment Properties",

S 00°15'17" W, 622.88 feet to the southeast corner of the parcel herein described, a point on the presumed "projected" section line between Sections 11 and 14, T 11 N, R 2 E, N.M.P.M.; thence with said "projected" section line,

N 89°49'25" W, 2057.65 feet to a point, said point presumed to be the "projected" section corner common to Sections 10, 11, 14 and 15, T 11 N, R 2 E, N.M.P.M.; thence with the presumed "projected" section line common to Sections 10 and 15, T 11 N, R 2 E, N.M.P.M.,

N 89°49'53" W, 660.66 feet to the southwest corner of the parcel herein described and the southeast corner of the "Albuquerque Public Schools Tract"; thence,

N 31°28'49" W, 1601.16 feet to the northwest corner and place of beginning of the parcel herein described.

Said parcel contains 121.775 Acres, more or less.

RESERVED FOR COUNTY CLERK

Table with 2 columns: SUBDIVISION DATA and APPROVALS. Rows include SUBDIVISION CASE NO., GROSS SUBDIVISION ACREAGE, ZONE ATLAS INDEX NO., NO. OF EXISTING TRACTS, NO. OF TRACTS CREATED, DATE OF SURVEY, SUBDIVISION PLAT CONDITIONS, VOLUME, and FOLIO.

- List of approvals with signatures and dates: Jack Clark (City Planner), David M. Stae (Parks and Recreation), David Thomas (Traffic Engineer), Frank J. Aguirre (City Engineer), Walter Moore (Albuquerque Metropolitan Arroyo Flood Control Authority), Joe M. Steward (Chief City Surveyor), Rose Howell (Property Management), J. Williams (New Mexico Utilities, Inc.), Joe Dunlop (Gas Company of New Mexico), J.B. Henderson (Mountain Bell), and Joe Mye (Public Service Company of New Mexico).

- NOTES: 1. THE PURPOSE OF THIS PLAT IS TO PLAT A PORTION OF PROPERTY WHICH HAS RECEIVED CITY OF ALBUQUERQUE SITE PLAN APPROVAL PER CASE NO. 2-85-144. 2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE). 3. DISTANCES ARE GROUND DISTANCES. 4. UNLESS INDICATED OTHERWISE CORNERS ESTABLISHED BY THIS PLAT ARE MARKED WITH A NO. 5 REBAR AND CAP STAMPED "LS 7270." 5. GRANT OF EASEMENT TO MOUNTAIN BELL TELEPHONE, GAS COMPANY OF NEW MEXICO AND PUBLIC SERVICE COMPANY OF NEW MEXICO. MAY BE REQUIRED AT TIME OF FUTURE PLATTING AND/OR DEVELOPMENT INCLUDING THE RIGHTS OF INGRESS AND EGRESS (BOTH SURFACE AND SUBSURFACE) AND THE RIGHT TO TRIM INTERFERING TREES. 6. THESE PROPERTIES ARE WITHIN THE NEW MEXICO UTILITIES, INC. (NMU, INC.) FRANCHISE AREA. WATER AND SANITARY SEWER SYSTEM CAPABILITIES ARE BASED ON THE NMU, INC. FACILITIES, NOT THE CITY OF ALBUQUERQUE, WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST, HOWEVER, BE APPROVED BY BOTH CITY OF ALBUQUERQUE AND NMU, INC. 7. ALL APPLICABLE PROVISIONS OF THE NORTHWEST MESA ESCARPMENT PLAN WILL BE FOLLOWED.

FREE CONSENT

THE SUBDIVISION SHOWN HEREON IS WITH THE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNERS AND/OR PROPRIETORS DO HEREBY GRANT: LANDSCAPE, ACCESS, DRAINAGE AND UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND PROPRIETOR(S) DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

PARAGON RESOURCES INC., A NEW MEXICO CORPORATION

BY: J.B. MULCOCK, JR., PRESIDENT DATE 4/13/89

STATE OF NEW MEXICO)) SS)) COUNTY OF BERNALILLO))

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 13th DAY OF APRIL, 1989 BY J.B. MULCOCK, JR., PRESIDENT OF PARAGON RESOURCES, INC., A NEW MEXICO CORPORATION, ON BEHALF OF SAID CORPORATION

BY: Catherine D. Sandberg NOTARY PUBLIC

MY COMMISSION EXPIRES: 06/20/89

SURVEYOR'S CERTIFICATION:

I, L. A. CARLETON, JR., HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

L. A. CARLETON, JR., N.M.R.P.S. #7270

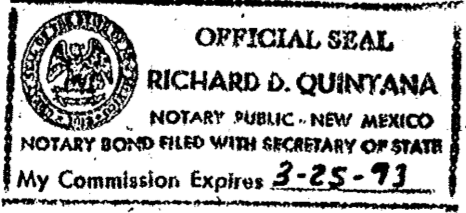


STATE OF NEW MEXICO)) SS)) COUNTY OF SANDOVAL))

THE FOREGOING SURVEYOR'S CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 31st DAY OF MARCH, 1989 BY L.A. CARLETON, JR.

BY: Richard D. Quinyana NOTARY PUBLIC

MY COMMISSION EXPIRES: 3-25-93



Metadata box containing: DATE: MARCH, 1989; SCALE: N/A; DESIGNED: C.A.S.; DRAWN: C.A.S.; JOB NO.: 73-66-025. Includes logo for Community Resources Corporation.

09-28 (2)

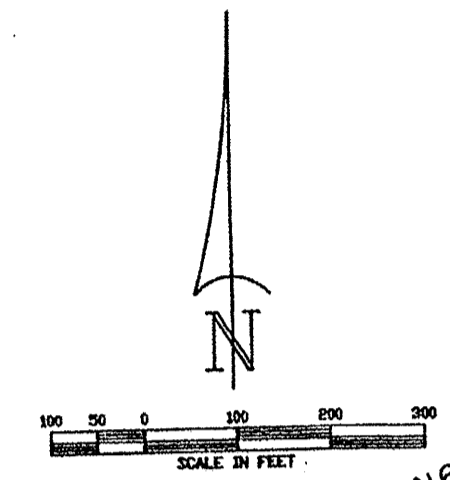
037-28 (2)

BULK LAND PLAT
TRACTS 1 AND 2
LANDS OF PARAGON RESOURCES, INC.

TOWN OF ALAMEDA GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 1989

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on
931 APR 28 1989 C39
At _____ o'clock _____ m. Recorded in Vol. _____
of records of said County Folio _____
[Signature] Clerk & Recorder
Deputy Clerk:
RESERVED FOR COUNTY CLERK

8938557



TE TO A.G.S. STATION
2-10 19803
N.M. STATE PLANE COORDINATES
X=357,843.75
Y=1,027,978.48
GROUND-TO-GRID: 0.00000331
DELTA-ALPHA: -00° 18' 30"
N 57° 46' 03" W 4378.11
BM = 5429.35

- MONUMENTATION LEGEND**
- FND #4 REBAR
 - ⊙ FND #5 REBAR
 - FND #4 REBAR W/CAP #7915
 - SET W/#5 REBAR W/CAP #7972

NOTICE OF SUBDIVISION PLAT CONDITIONS

A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY OF ALBUQUERQUE AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

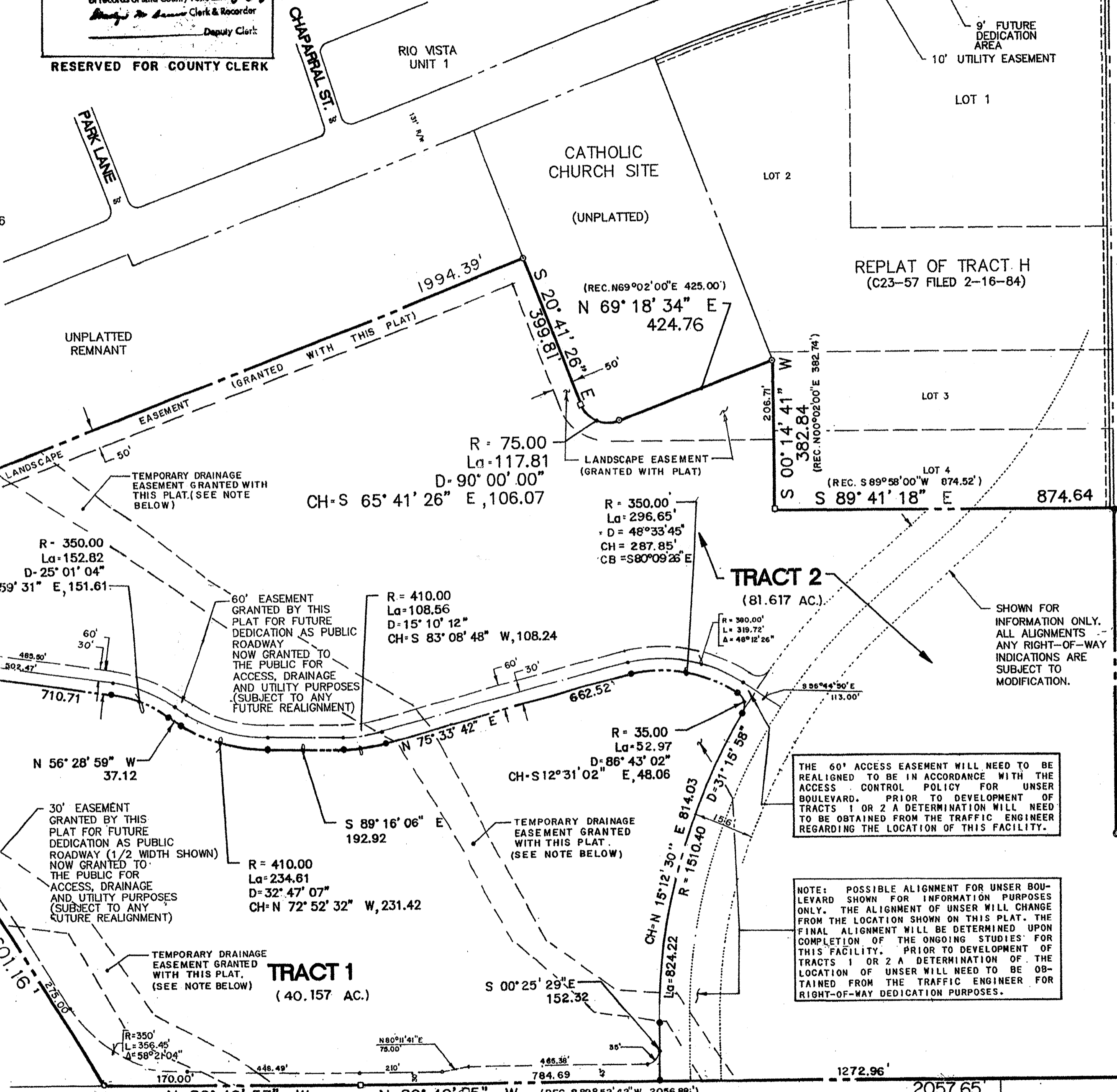
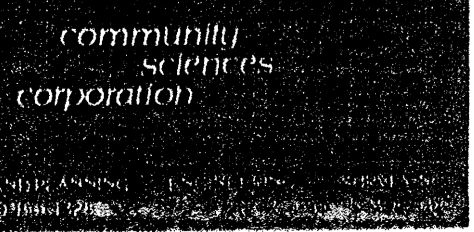
FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY OF ALBUQUERQUE (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED OR REMOVED WHEN FUTURE PLATS OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL THE CITY OF ALBUQUERQUE MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY; FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

SHEET 2 OF 2

DATE: MAR. 1989
SCALE: 1" = 200'
DESIGNED: C. A. S.
DRAWN: C. A. S.
JOB NO.: 73-66-025



LOT 1
UNIT 1 OF
PARADISE HILLS
INVESTMENT
PROPERTIES
(D3-136 FILED 2-28-66)

LOT 2
LOT 3
LOT 4
LOT 5
LOT 6

BUGLO AVE
7 8A
7B 8B

ZEDMAN AVE
25A 26A
25B 26B

GLUCKMAN AVE
24A 23A

LIENTHAL AVE
24B
N 89° 54' 12" E
105.49'

PARADISE BLUFF
TRACT A
(FILED DEC. 10, 1986 VOL. C32
FOL. 71)
REPLAT
(CURRENT SUBMITTAL)
DRB - 89-26

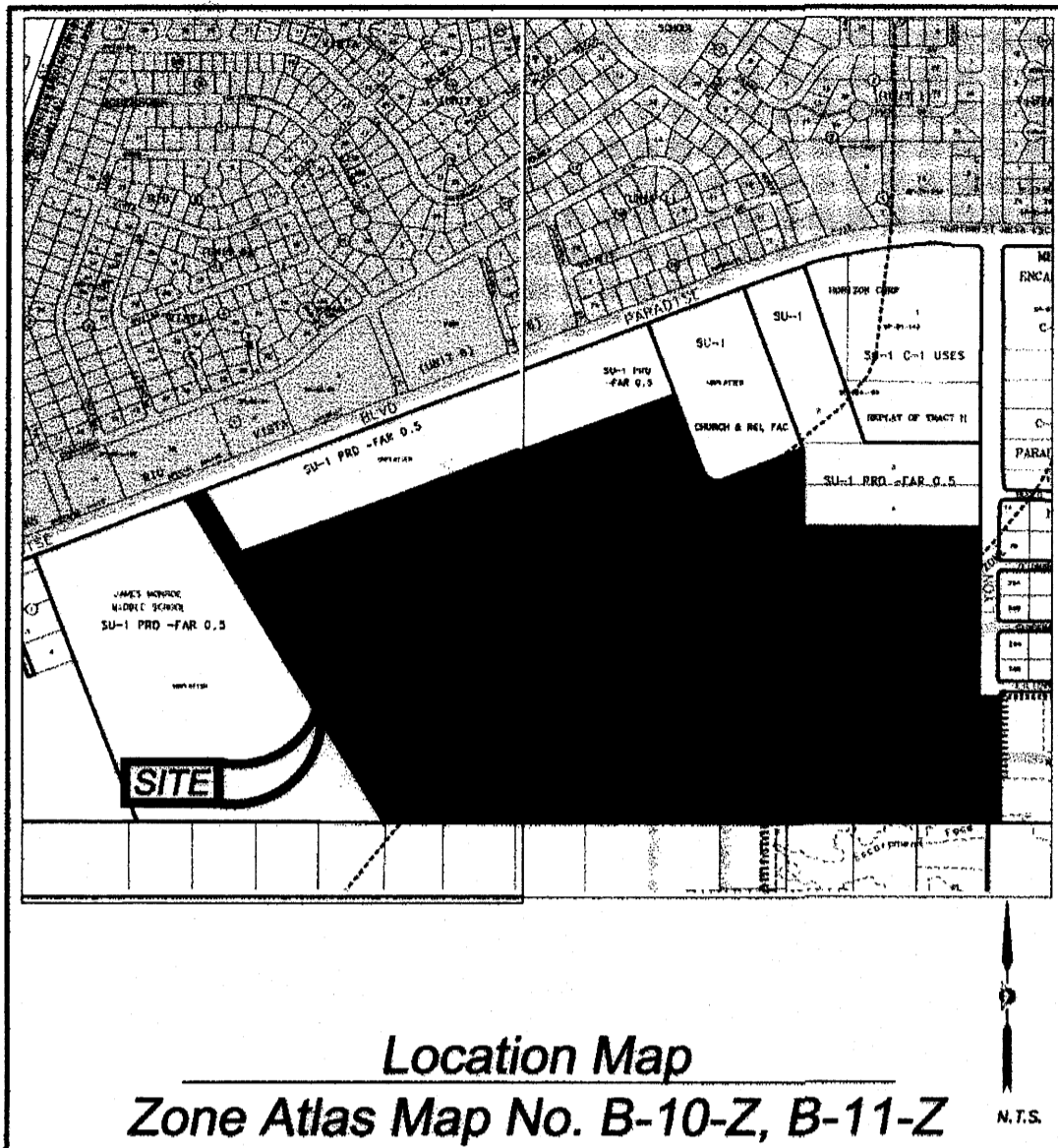
DRAINAGE NOTE:
"TEMPORARY" DRAINAGE EASEMENTS ARE SUBJECT TO ADJUSTMENT IN SIZE, DIMENSION AND LOCATION AS PLANS AND DESIGN BECOME MORE FIRM. DELETION OF ANY TEMPORARY EASEMENT SHALL DEPEND ON THE CITY AND AMAFCA BOTH BEING CONVINCED THAT SUCH EASEMENT IS NO LONGER REQUIRED ACCORDING TO CITY AND A.M.A.F.C.A. POLICIES.

UNPLATTED

TRACT 2
SP-81-240
(C18-157
FILED 8-17-81)

RECORD THE (TRACT 2)
TO CLOSING CORNER SEE 18/A, T 11 N.R. 2 E.
WITH TOWN OF ALAMEDA GRANT
S 32° 14' 44" W 3998.30'
ROTATED TO THIS BEARING BASE

037-28 (2)



Location Map

Zone Atlas Map No. B-10-Z, B-11-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 121.7904 ACRES±
 ZONE ATLAS INDEX NO.: B-10-Z AND B-11-Z
 NO. OF TRACTS CREATED: 7
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: SEPTEMBER 2003

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING 2 TRACTS INTO 7 NEW TRACTS FOR A BULK LAND PLAT, ELIMINATE LOT LINES AND GRANT EASEMENTS.

NOTE
 Pursuant to Section 7 of the City of Albuquerque, New Mexico subdivision ordinance, a variance or waiver from certain subdivision requirements has been granted by the City and the Albuquerque Metropolitan Arroyo Flood Control Authority in connection with this plat.

Future subdivision of lands within this plat, zoning site development plan approvals and development permits may be conditioned upon dedication of rights-of-way and easements and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed when future plats and/or site development plans are approved.

By its approval, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items:

1. Water and sanitary sewer availability
2. Future street dedications and/or improvements
3. Park and open space requirements
4. Drainage requirements and/or improvements
5. Excavation, filling or grading requirements

Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all or from a portion of the area within the subject subdivision.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTIONS 10 AND 11 TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS NUMBERED ONE (1) AND TWO (2), LANDS OF PARAGON RESOURCES, INC., AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 28, 1989 IN VOLUME C39, FOLIO 28, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) AND GROUND DISTANCES (U.S. SURVEY FOOT) AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH BOUNDARY OF DESCRIBED TRACT, MARKED BY A FOUND NUMBER 4 REBAR, FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT 2-B11 BEARS N 51°40'49" W, A DISTANCE OF 563.07 FEET;

THENCE FROM SAID BEGINNING POINT, S 20°40'11" E, A DISTANCE OF 399.73 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NUMBER 4 REBAR;

THENCE ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 118.10 FEET, A RADIUS OF 75.00 FEET, A DELTA ANGLE OF 90°13'09", AND A CHORD BEARING OF S 65°46'31" E, A DISTANCE OF 106.27 FEET TO A POINT OF TANGENCY MARKED BY A FOUND NUMBER 4 REBAR;

THENCE N 69°16'27" E, A DISTANCE OF 424.76 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 00°14'43" W, A DISTANCE OF 382.84 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH RED PLASTIC CAP;

THENCE S 89°42'31" E, A DISTANCE OF 874.77 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT LYING ON THE WEST RIGHT OF WAY LINE OF LYON BOULEVARD, N.W., MARKED BY A FOUND REBAR WITH BLUE PLASTIC CAP "PS 7430" AND TAG (ILLEGIBLE);

THENCE ALONG SAID WEST RIGHT OF WAY LINE, S 00°17'54" W, A DISTANCE OF 831.34 FEET TO AN ANGLE POINT LYING ON THE INTERSECTION OF SAID WEST RIGHT OF WAY LINE AND THE SOUTH RIGHT OF WAY LINE OF LYON BOULEVARD, N.W., MARKED BY A FOUND NUMBER 4 REBAR;

THENCE ALONG SAID SOUTH RIGHT OF WAY LINE, S 89°54'43" E, A DISTANCE OF 105.49 FEET TO AN ANGLE POINT MARKED BY A FOUND NUMBER 4 REBAR;

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, S 00°15'22" W, A DISTANCE OF 623.03 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE NORTH BOUNDARY LINE OF THE NATIONAL PARK SERVICE "PETROGLYPH NATIONAL MONUMENT" MARKED BY A FOUND BRASS CAP "PNM" WITH TAG (ILLEGIBLE);

THENCE N 89°48'58" W, A DISTANCE OF 1,272.99 FEET TO AN ANGLE POINT MARKED BY A FOUND NAIL WITH TAG "PS 7430";

THENCE N 89°51'58" W, A DISTANCE OF 125.43 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 7430";

THENCE N 89°49'54" W, A DISTANCE OF 659.22 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL;

THENCE N 89°50'07" W, A DISTANCE OF 660.61 FEET TO THE SOUTHWEST CORNER OF THE TRACT LYING ON THE COMMON BOUNDARY WITH THE EAST PROPERTY LINE OF THE ALBUQUERQUE PUBLIC SCHOOLS "JAMES MONROE MIDDLE SCHOOL" TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP (ILLEGIBLE/BENT);

THENCE ALONG SAID COMMON BOUNDARY FOR THE NEXT TWO COURSES, N 31°29'04" W, A DISTANCE OF 1,292.19 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 31°28'54" W, A DISTANCE OF 695.66 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF PARADISE BOULEVARD, N.W., MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 69°15'26" E ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 87.53 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, S 31°27'57" E, A DISTANCE OF 386.61 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH BLUE PLASTIC CAP "PS 7430";

THENCE N 69°19'06" E, A DISTANCE OF 1,994.49 FEET TO THE POINT OF BEGINNING, CONTAINING 121.7904 ACRES, (5,305,192 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACTS 1 THROUGH 8, SUNDANCE ESTATES.

Notes:

1. MISC. DATA: ZONING RD-RLT
2. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
3. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
4. THIS PROPERTY LIES WITHIN THE TOWN OF ALAMEDA GRANT, WITHIN PROJECTED SECTIONS 10 AND 11, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
5. PLAT SHOWS ALL EASEMENTS OF RECORD.
6. SP NO. 2004183864.

Free Consent

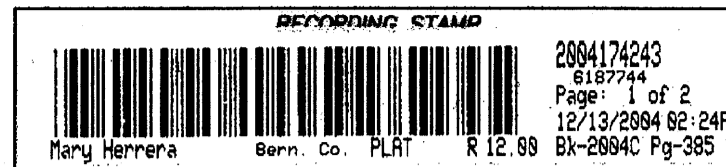
THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED. SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

[Signature]
 MIKE MARRA
 MEMBER
 BUILDERS INVESTMENT COMPANY OF NEW MEXICO, LTD CO.
 A NEW MEXICO LIMITED LIABILITY COMPANY

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 30th DAY OF NOVEMBER, 2004 BY
 MIKE MARRA, MEMBER, BUILDERS INVESTMENT COMPANY OF NEW MEXICO, LTD CO.
 CORPORATION.
 BY *[Signature]* KAREN KLINE, MY COMMISSION EXPIRES: 8-5-08
 NOTARY PUBLIC



Bulk Land Plat of
Sundance Estates
 Albuquerque, Bernalillo County, New Mexico
 November 2004

Project No. 1002682

Application No. 04-DRB-01761

Utility Approvals

[Signature] 11-30-04
 PNM ELECTRIC SERVICES DATE

[Signature] 11-30-04
 PNM GAS SERVICES DATE

[Signature] 11-30-04
 QWEST CORPORATION DATE

[Signature] 12/3/04
 COMCAST DATE

City Approvals

[Signature] 12-1-04
 CITY SURVEYOR DATE

[Signature] 12-1-04
 TRAFFIC ENGINEERING TRANSPORTATION DIVISION DATE

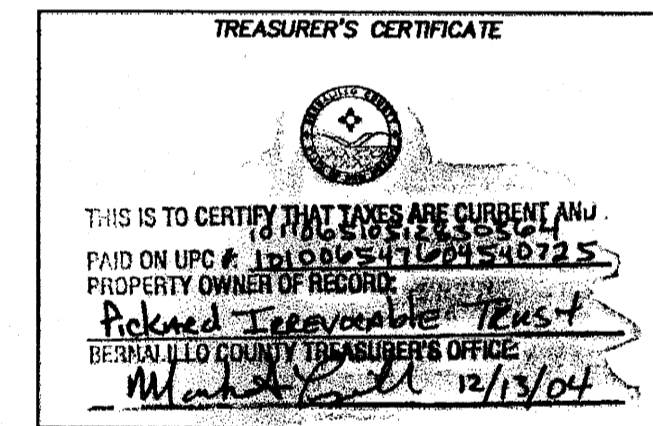
[Signature] 12-1-04
 UTILITY DEVELOPMENT DATE

[Signature] 12/1/04
 PARKS AND RECREATION DEPARTMENT DATE

[Signature] 11-30-04
 AMAFCA DATE

[Signature] 12/3/04
 CITY ENGINEER DATE

[Signature] 12/1/04
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 12/1/04
 LARRY W. MEDRANO DATE
 N.M.P. No. 11993

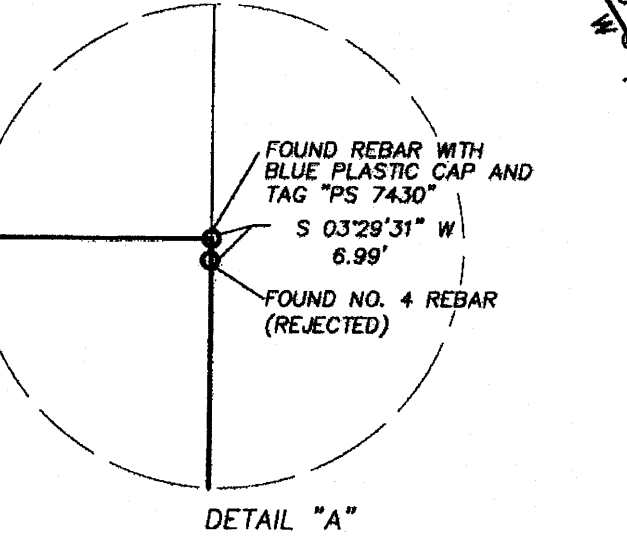
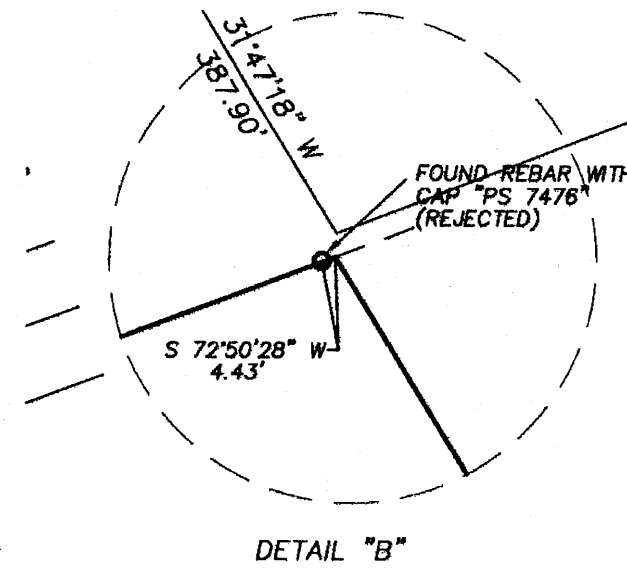
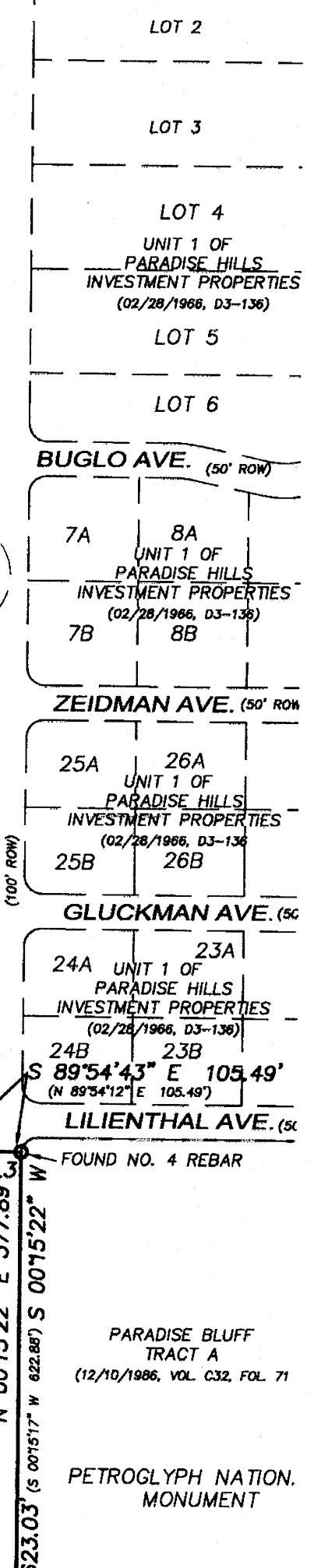
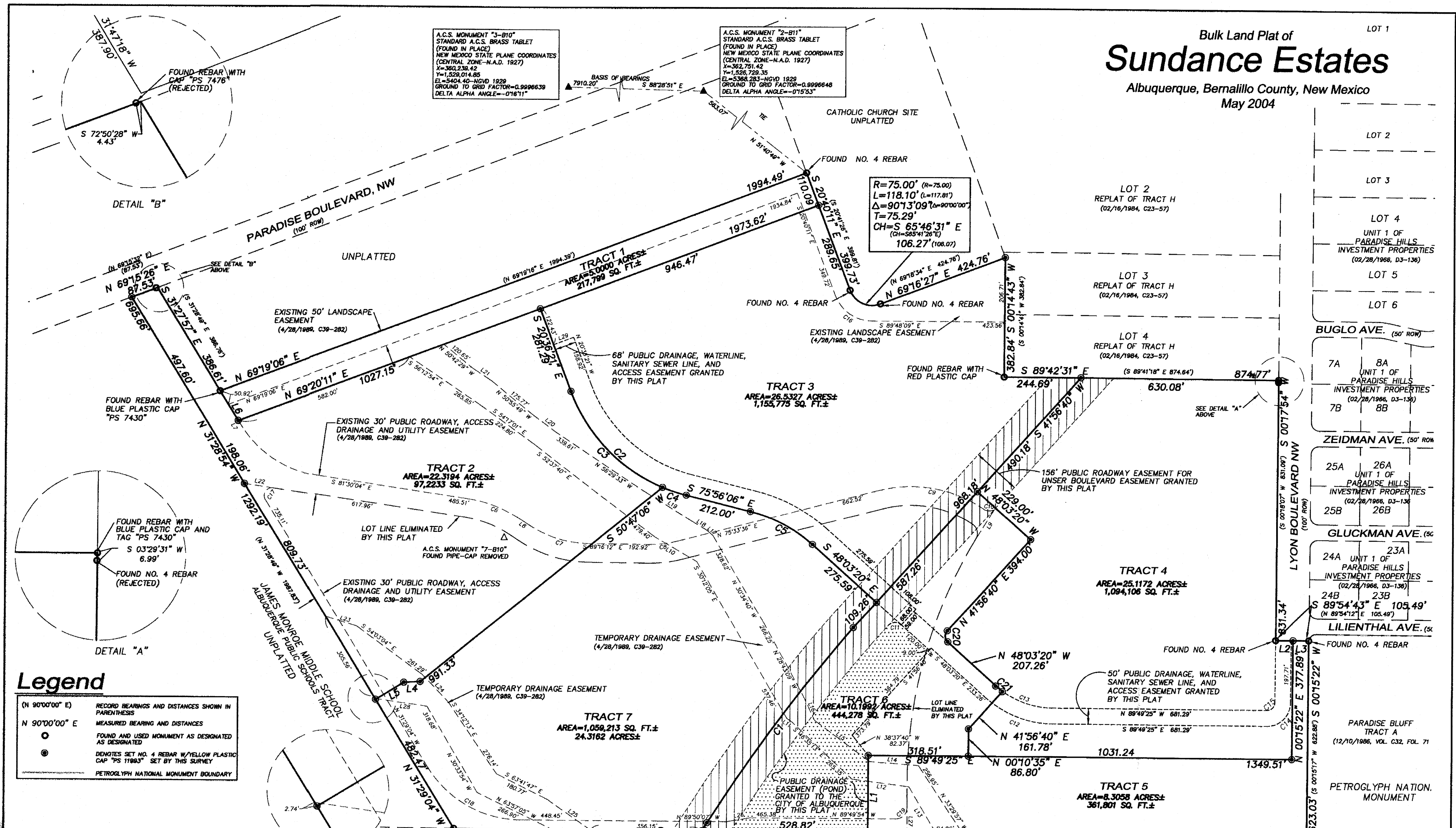


PRECISION SURVEYS, INC.
 8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7800

Bulk Land Plat of Sundance Estates

Albuquerque, Bernalillo County, New Mexico
May 2004

LOT 1



A.C.S. MONUMENT "3-B10"
STANDARD A.C.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=360,238.42
Y=1,529,014.85
ELEVATION=5368.283-NGVD 1929
GROUND TO GRID FACTOR=-0.9996639
DELTA ALPHA ANGLE=-0°16'11"

A.C.S. MONUMENT "2-B11"
STANDARD A.C.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=362,751.42
Y=1,526,729.35
ELEVATION=5368.283-NGVD 1929
GROUND TO GRID FACTOR=-0.9996648
DELTA ALPHA ANGLE=-0°15'53"

R=75.00' (R=75.00)
L=118.10' (L=117.81')
Δ=90°13'09" (Δ=90°00'00")
T=75.29'
CH=S 65°46'31" E
(CH=S65°41'26" E)
106.27' (106.07)

A.C.S. MONUMENT "8-C10"
STANDARD A.C.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=361,860.83
Y=1,521,476.37
ELEVATION=5368.130-NGVD 1929
GROUND TO GRID FACTOR=-0.9996640
DELTA ALPHA ANGLE=-0°15'59"

Legend

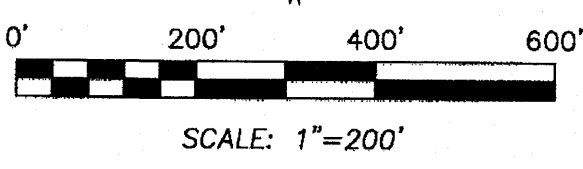
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED AS DESIGNATED
- DENOTES SET NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11883" SET BY THIS SURVEY
- PETROGLYPH NATIONAL MONUMENT BOUNDARY

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	5124.99'	777.47'	08°41'31"	389.48'	776.72'	N 36°30'39" E
C2	534.00'	515.67'	55°19'44"	279.93'	495.87'	N 48°16'14" W
C3	534.00'	435.72'	46°45'01"	230.81'	423.73'	N 43°58'52" W
C4	534.01'	79.95'	08°34'42"	40.05'	79.88'	N 71°38'44" W
C5	466.00'	226.75'	27°52'47"	115.87'	224.52'	S 61°59'43" E
C6	410.00'	179.02'	25°01'02"	90.96'	177.80'	S 68°59'37" E
C7	350.00'	200.27'	32°47'08"	102.96'	187.55'	N 72°52'38" W
C8	350.00'	92.67'	15°10'13"	46.61'	92.40'	S 83°08'42" W
C9	410.00'	347.50'	48°33'44"	184.96'	337.20'	S 80°09'32" E
C10	35.00'	36.94'	60°27'52"	20.40'	35.25'	N 86°06'31" W
C11	30.00'	47.12'	90°00'00"	30.00'	42.43'	N 88°56'40" E
C12	325.00'	236.92'	41°46'06"	124.00'	231.71'	N 68°56'22" W
C13	275.00'	200.47'	41°46'06"	104.92'	196.06'	N 68°56'22" W
C14	75.00'	117.85'	89°52'41"	74.84'	105.95'	S 45°14'14" W
C15	25.00'	39.22'	89°52'41"	24.95'	35.32'	S 45°14'14" W
C16	125.00'	150.83'	69°08'13"	86.13'	141.85'	N 55°14'03" W
C17	25.00'	56.72'	129°58'55"	53.59'	45.31'	N 33°30'23" E
C18	350.00'	356.45'	58°21'03"	195.41'	341.24'	N 60°39'36" W
C19	35.00'	55.34'	90°35'41"	35.37'	49.75'	S 44°52'16" W
C20	25.00'	39.27'	90°00'00"	25.00'	35.36'	N 03°03'20" W
C21	275.00'	27.78'	05°47'19"	13.90'	27.77'	N 50°56'59" W
C22	5000.13'	30.87'	00°21'13"	15.44'	30.87'	S 32°16'58" W

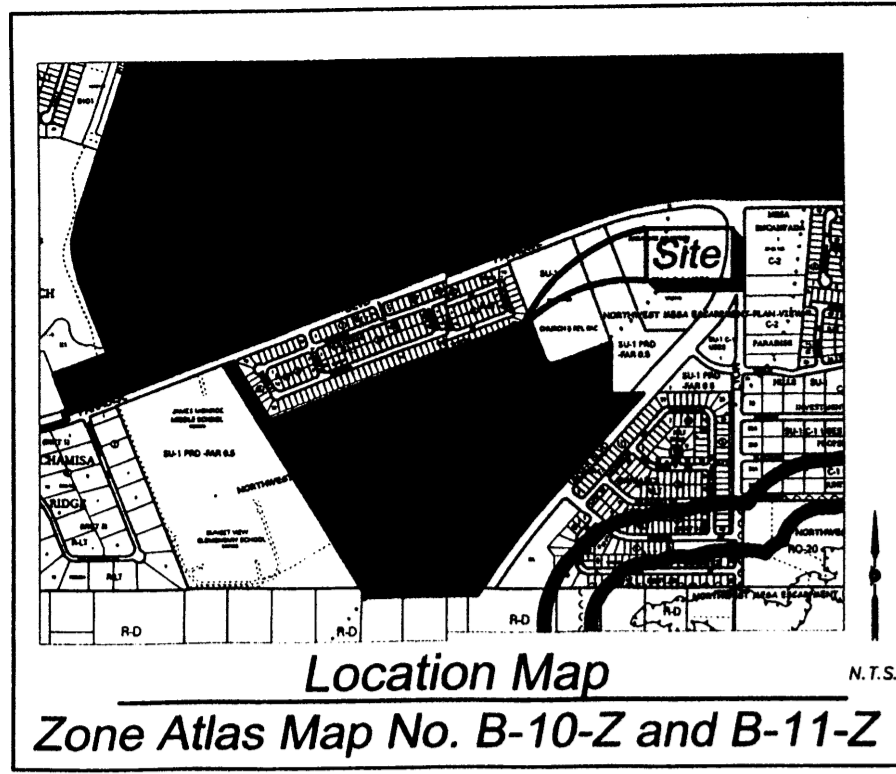
Line Table

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 00°00'00" W	245.13'	L18	N 58°41'36" W	45.92'
L2	N 89°56'11" E	55.49'	L19	N 57°57'37" W	183.12'
L3	S 89°44'38" E	50.00'	L20	N 53°35'34" W	89.02'
L4	S 87°07'05" W	52.39'	L21	N 56°42'44" W	71.42'
L5	S 58°31'09" W	105.03'	L22	S 81°30'09" E	92.74'
L6	S 31°27'57" E	111.43'	L23	N 73°07'37" W	102.34'
L7	S 31°28'55" E	11.79'	L24	N 43°52'44" W	120.59'
L8	N 58°29'05" W	37.12'	L25	N 54°46'33" W	168.35'
L9	S 31°48'00" W	110.83'	L26	N 80°08'13" E	74.63'
L10	S 59°35'15" E	158.24'	L27	S 00°25'35" E	78.50'
L11	S 56°19'58" E	18.45'	L28	N 82°02'57" W	166.83'
L12	S 82°33'07" E	184.08'	L29	S 69°20'11" W	68.00'
L13	S 30°29'14" E	169.22'			
L14	N 85°36'18" W	155.69'			
L15	N 53°23'36" W	219.24'			
L16	N 24°57'46" W	80.84'			
L17	N 51°19'04" W	29.52'			



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



Zoning Data:

CURRENT ZONING: RL1
 ALL OPEN SPACE REQUIREMENTS ARE MET ON THE LOT WITH THE DWELLING PER THE PROVISIONS OF SECTION 14-16-3-8 (A)(1)

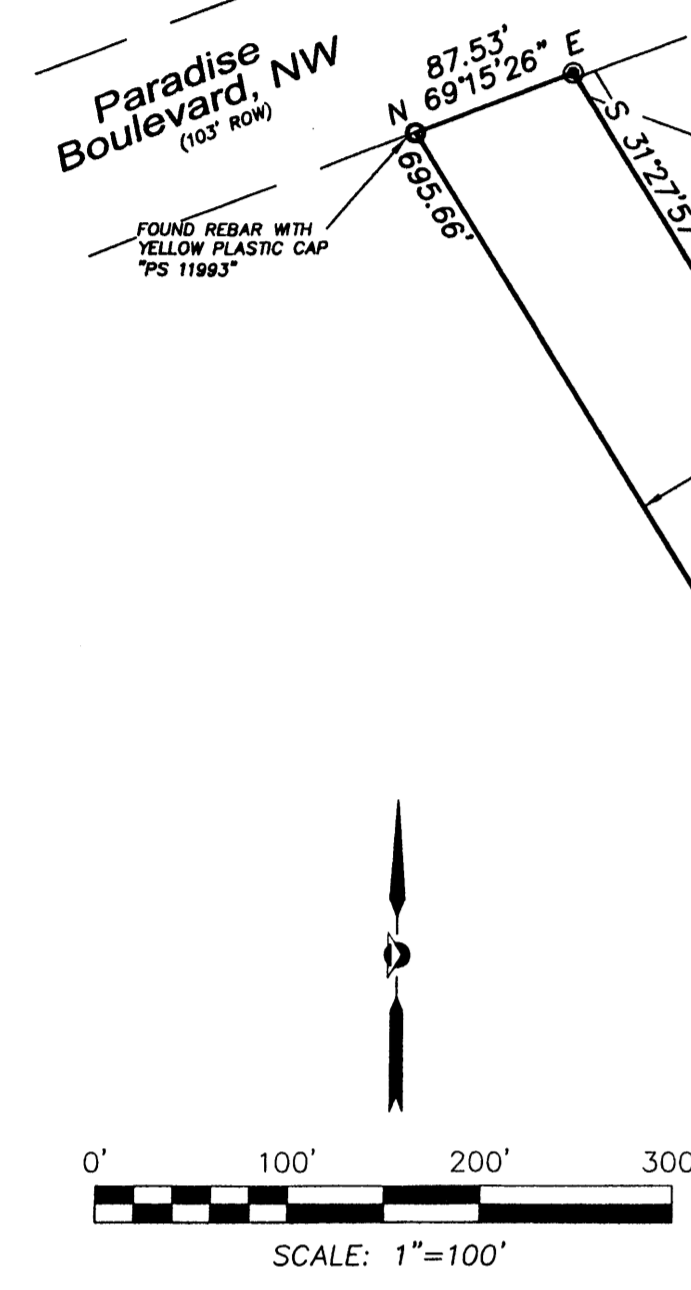
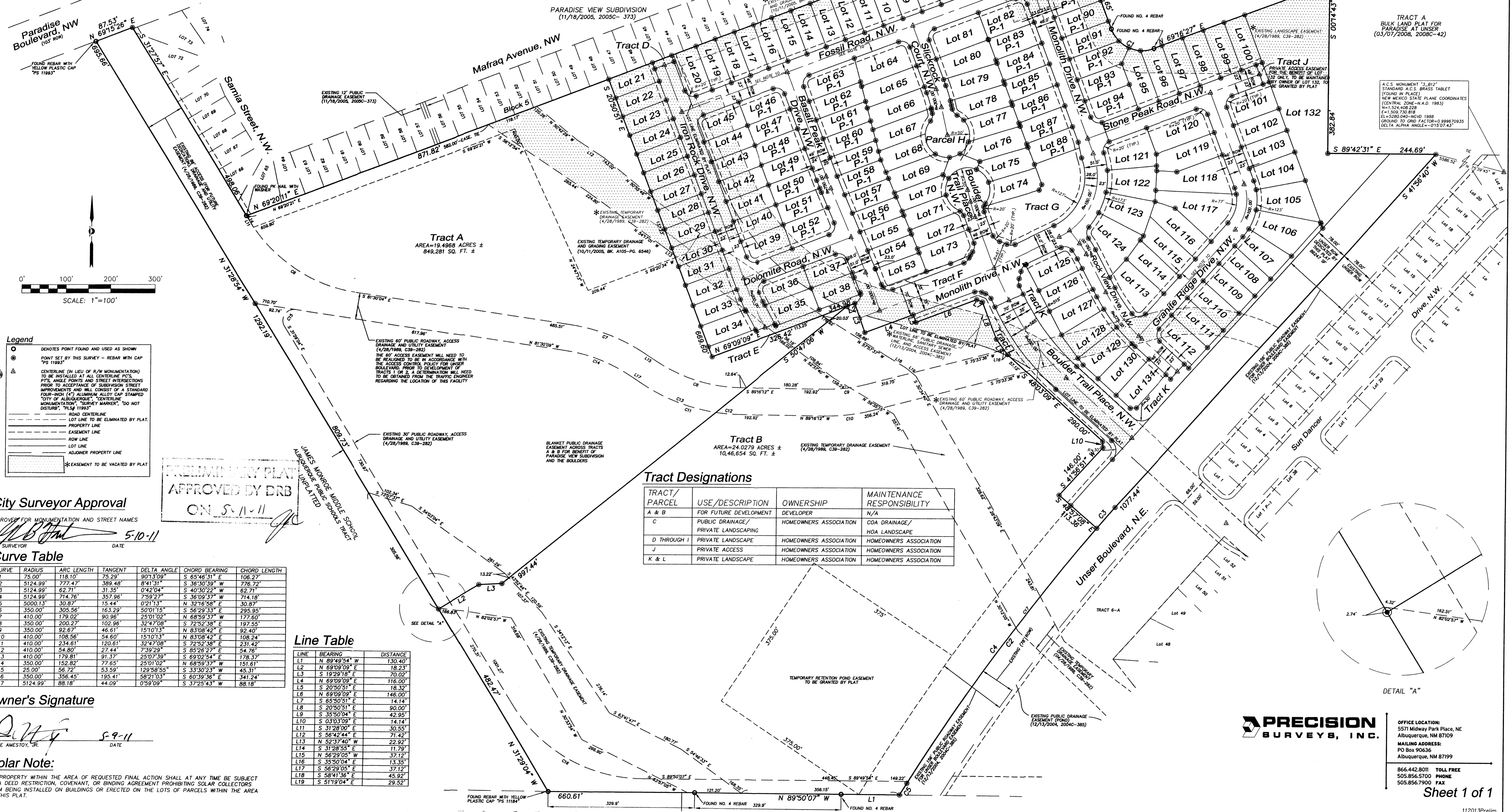
Notes:

- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNERS SHOWN THIS \odot SHALL BE MARKED BY A #4 REBAR W/YELLOW PLASTIC CAP STAMPED PS "11993".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THIS Δ WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS "11993".
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- MINIMUM LOT SIZE 4000 SF; MINIMUM LOT WIDTH 40'
- ALL RIGHT OF WAY CUL-DE-SAC RADII ARE 50'
- ALL RIGHT OF WAY CURB RETURN RADII ARE 20' UNLESS OTHERWISE SHOWN
- THERE IS A 10' PUBLIC UTILITY EASEMENT ADJACENT TO ALL ROW LINES TO BE GRANTED BY PLAT.

Legal Description

TRACTS NUMBERED TWO (2), THREE (3) AND SEVEN (7) OF THE BULK LAND PLAT OF SUNDANCE ESTATES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 13, 2004, IN PLAT BOOK 2004C, PAGE 385.

Preliminary Plat of
The Boulders
 Albuquerque, Bernalillo County, New Mexico
 May 2011



Legend

- \odot DENOTES POINT FOUND AND USED AS SHOWN
- Δ POINT SET BY THIS SURVEY - REBAR WITH CAP PS 11993
- CENTERLINE (IN LIEU OF R/W MONUMENTATION) TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF A STANDARD FOUR-INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE" CENTERLINE MONUMENTATION, "SURVEY MARKED, DO NOT DISTURB", PS# 11993.
- ROAD CENTERLINE
- LOT LINE TO BE ELIMINATED BY PLAT
- PROPERTY LINE
- EASEMENT LINE
- ROW LINE
- LOT LINE
- ADJOINER PROPERTY LINE
- EASEMENT TO BE VACATED BY PLAT

PRELIMINARY PLAT
 APPROVED BY DRB
 ON 5/11/11

City Surveyor Approval
 APPROVED FOR MONUMENTATION AND STREET NAMES
 [Signature] 5-10-11
 CITY SURVEYOR DATE

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	75.00'	118.10'	75.29'	90°13'09"	S 65°46'31" E	106.27'
C2	5124.99'	777.47'	389.48'	8°41'31"	S 36°30'39" W	776.72'
C3	5124.99'	62.71'	31.35'	0°42'04"	S 40°30'22" W	62.71'
C4	5124.99'	714.76'	357.96'	7°59'27"	S 36°09'37" W	714.18'
C5	5000.13'	30.87'	15.44'	0°21'13"	N 32°16'58" E	30.87'
C6	350.00'	305.56'	163.29'	50°01'15"	S 56°29'33" E	295.95'
C7	410.00'	179.02'	90.96'	25°01'02"	N 68°59'37" W	177.60'
C8	350.00'	200.27'	102.96'	32°47'08"	S 72°52'38" E	197.55'
C9	350.00'	82.67'	46.61'	15°10'13"	N 83°08'42" E	92.40'
C10	410.00'	108.56'	54.60'	15°10'13"	N 83°08'42" E	108.24'
C11	410.00'	234.61'	120.61'	32°47'08"	S 72°52'38" E	231.42'
C12	410.00'	54.80'	27.44'	7°39'29"	S 85°26'27" E	54.76'
C13	410.00'	179.81'	91.37'	25°07'59"	S 69°02'54" E	178.37'
C14	350.00'	152.82'	77.65'	25°01'02"	N 68°59'37" W	151.61'
C15	25.00'	56.72'	53.59'	129°58'55"	S 33°30'23" W	45.31'
C16	350.00'	356.45'	195.41'	58°21'03"	S 60°39'36" E	341.24'
C17	5124.99'	88.18'	44.09'	0°59'09"	S 37°25'43" W	88.18'

Line Table

LINE	BEARING	DISTANCE
L1	N 89°49'54" W	130.40'
L2	N 69°09'09" E	18.23'
L3	S 19°29'18" E	70.02'
L4	N 69°09'09" E	118.00'
L5	S 20°50'51" E	18.32'
L6	N 69°09'09" E	146.00'
L7	S 65°50'51" E	14.14'
L8	S 20°50'51" E	90.00'
L9	S 35°50'04" E	42.95'
L10	S 03°03'09" E	14.14'
L11	S 31°28'00" E	30.55'
L12	S 56°42'44" E	71.42'
L13	N 52°37'40" W	22.92'
L14	S 31°28'55" E	11.79'
L15	N 56°29'05" W	37.12'
L16	S 35°50'04" E	13.35'
L17	S 56°29'05" E	37.12'
L18	S 58°41'36" E	45.92'
L19	S 51°19'04" E	29.52'

Tract Designations

TRACT/PARCEL	USE/DESCRIPTION	OWNERSHIP	MAINTENANCE RESPONSIBILITY
A & B	FOR FUTURE DEVELOPMENT	DEVELOPER	N/A
C	PUBLIC DRAINAGE/ PRIVATE LANDSCAPING	HOMEOWNERS ASSOCIATION	COA DRAINAGE/ HOA LANDSCAPE
D THROUGH I	PRIVATE LANDSCAPE	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
J	PRIVATE ACCESS	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
K & L	PRIVATE LANDSCAPE	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION

Owner's Signature
 [Signature] 5-9-11
 PIERRE AMESTOY, JR. DATE

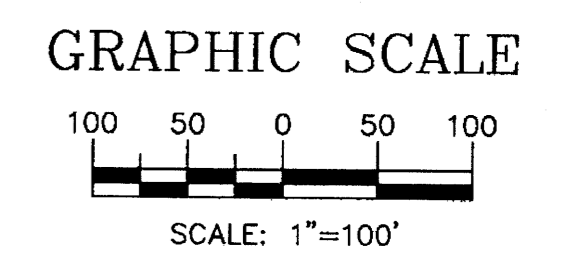
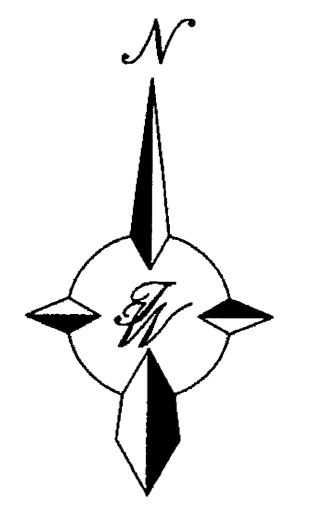
Solar Note:
 NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Sheet 1 of 1

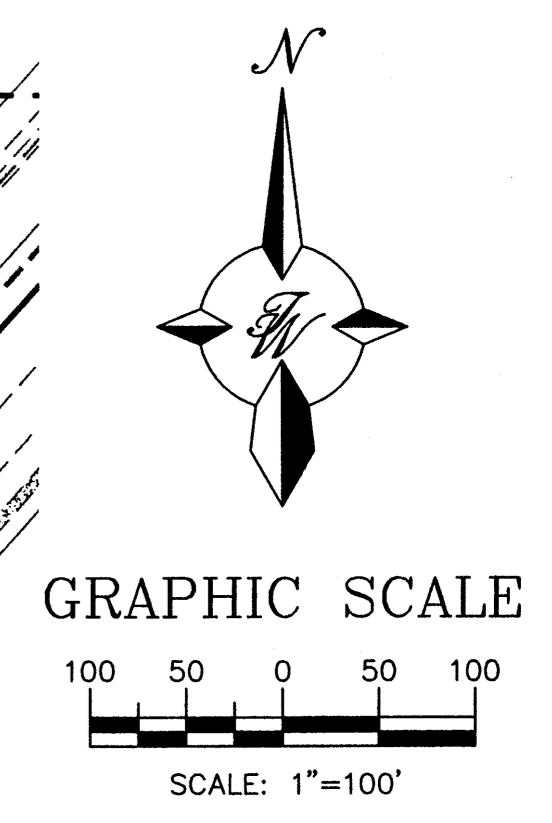
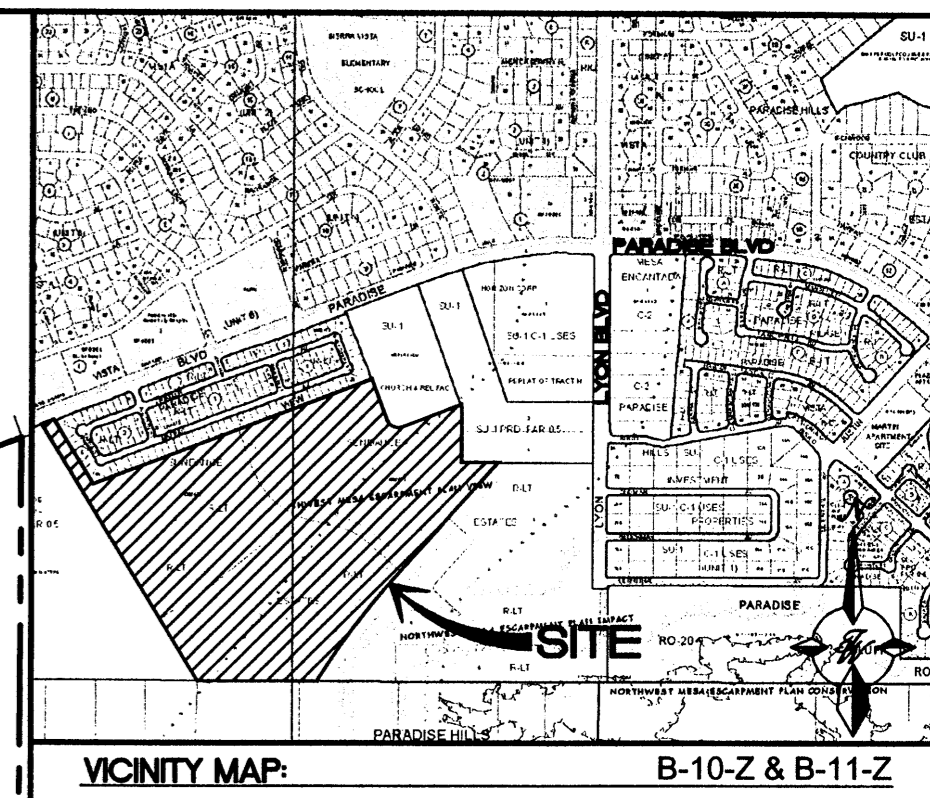


LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ SIDEWALK
- ▭ SCREEN WALL
- ▭ RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- - - EXISTING CURB & GUTTER
- - - 5010 - - - EXISTING BOUNDARY LINE
- - - 5011 - - - EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION

ROUGH GRADING APPROVAL _____ DATE _____

<p style="writing-mode: vertical-rl; transform: rotate(180deg);">FOR REFERENCE ONLY</p>	<p>THE BOULDERS PHASE 1-3 CONCEPTUAL GRADING AND DRAINAGE PLAN</p>	<p><i>DRAWN BY</i> _____ <i>DATE</i> 02-08-11 <i>2011005-GRE</i></p>
	<p style="text-align: center;">TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com</p>	<p><i>SHEET #</i> _____ <i>JOB #</i> 2011005</p>
	<p><i>ENGINEER'S SEAL</i> _____ <i>RONALD R. BOHANNAN</i> P.E. #7668</p>	



LEGEND

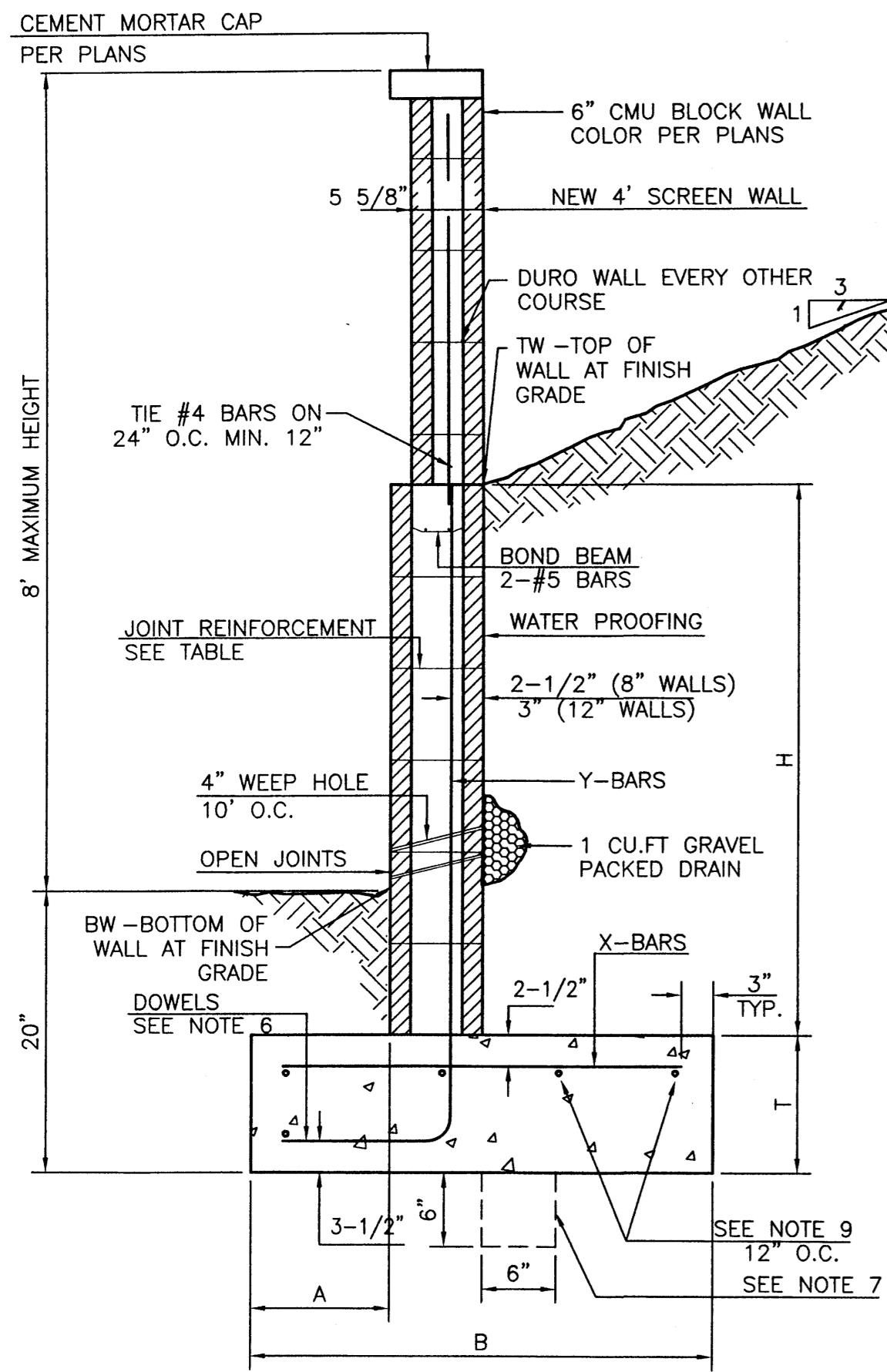
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EMERGENCY OVERFLOW
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION

NOTE: EARTHEN SLOPES 3:1 OR LESS REQUIRES AGGREGATE SURFACING FOR EROSION PROTECTION

ROUGH GRADING APPROVAL _____ DATE _____

NOTE: REFER TO COA PROJECT #761784 FOR POND NBL'S CONSTRUCTION ADJACENT TO POND

	THE BOULDERS PHASE 1 GRADING AND DRAINAGE PLAN	DRAWN BY DY DATE 05-06-11
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	SHEET # 1 JOB # 2011005



RETAINING W/ SCREEN WALL DETAIL

NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

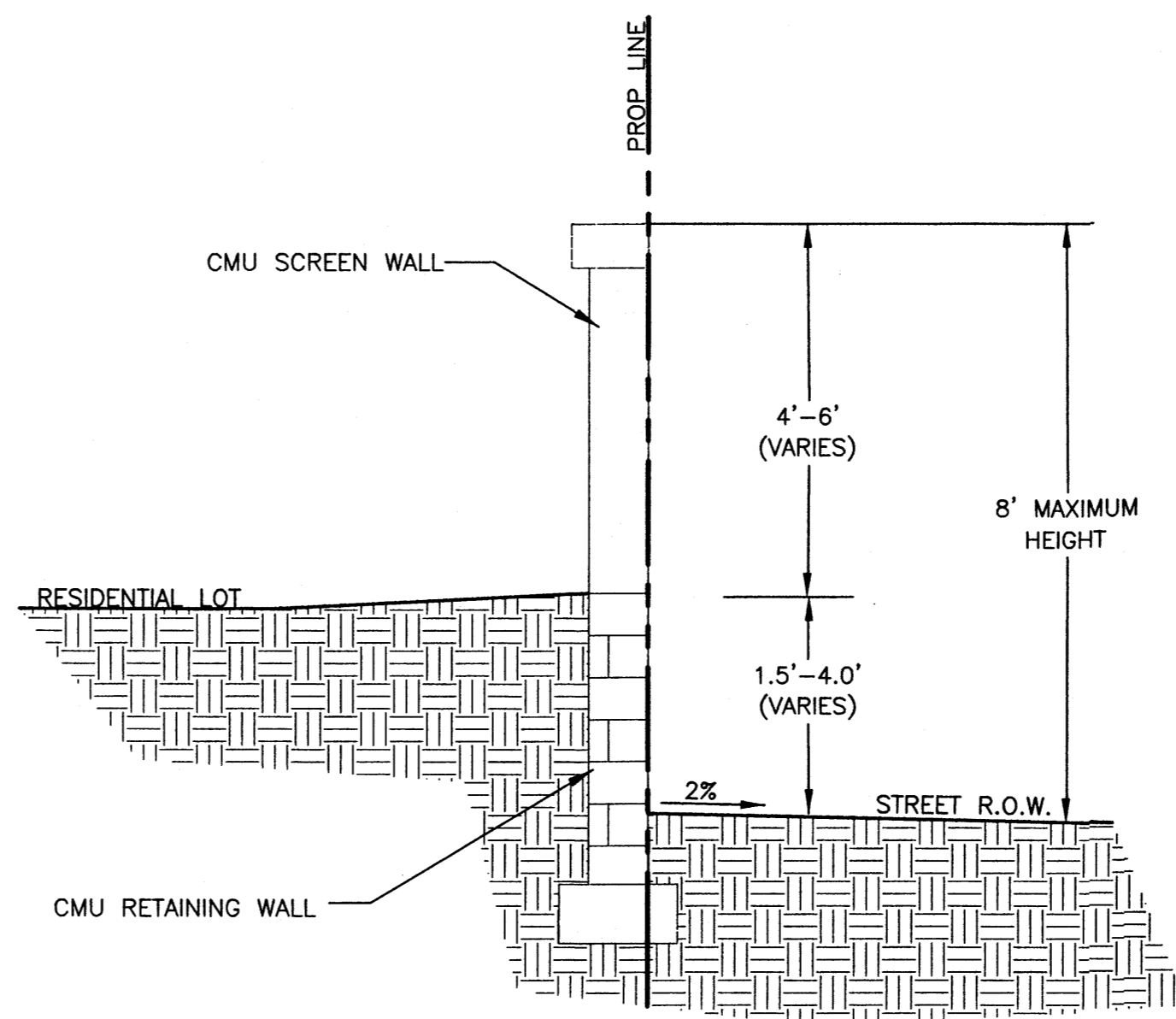
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#5 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	6'-0"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

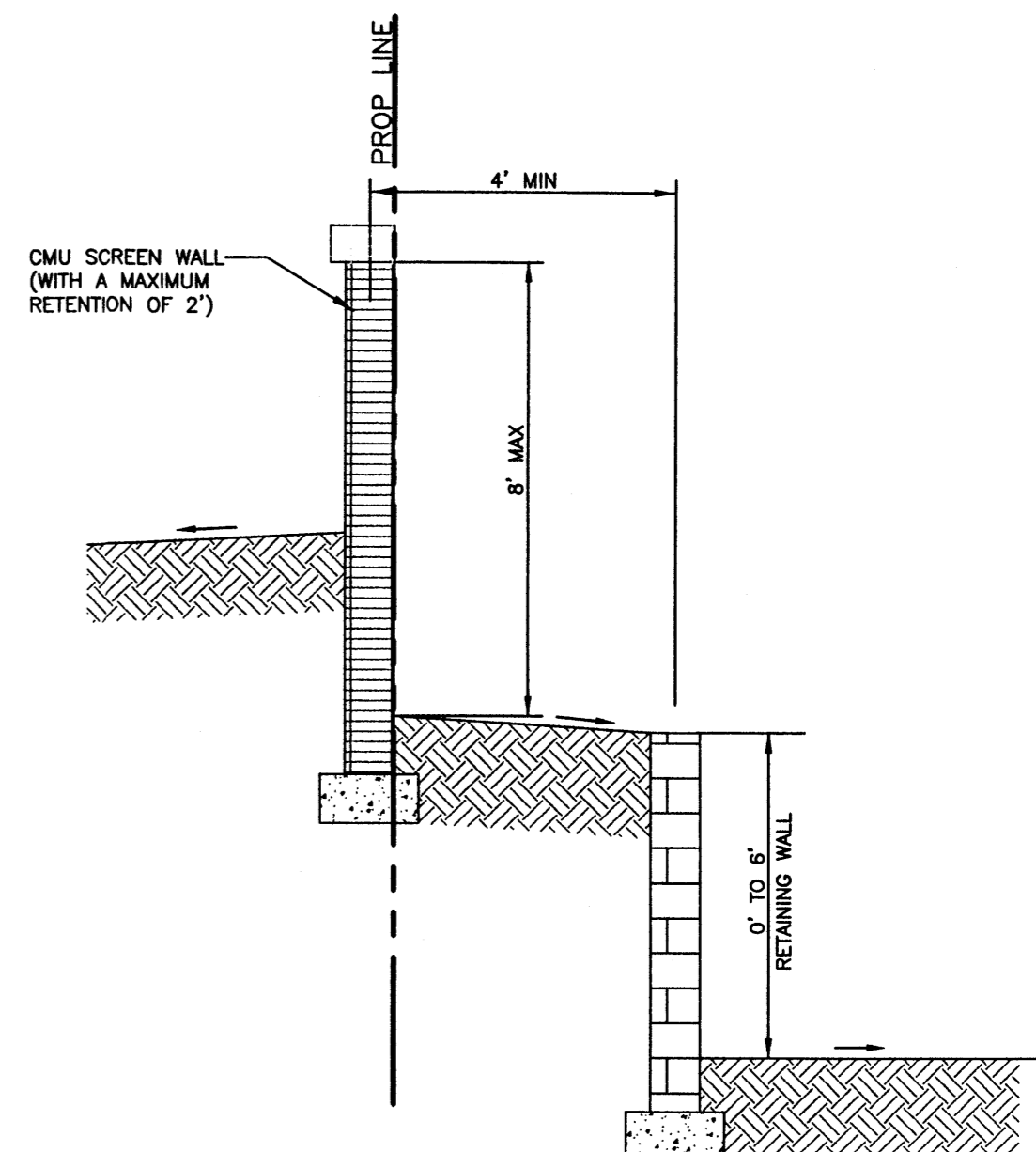
GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2% OF OPTIMUM.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
- #3 BARS TO BE USED ON WALLS LESS THAN 2'-8" IN HEIGHT. #4 BARS TO BE USED ON WALLS GREATER THAN OR EQUAL TO 2'-8" X BARS TO BE USED ON WALLS EXCEEDING 2'-8"
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



RETAINING WALL W/ SCREEN WALL DETAIL- TYPICAL

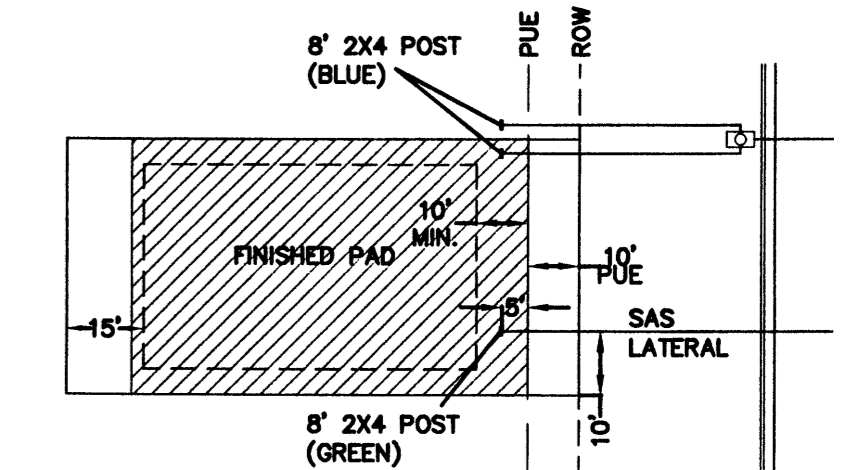
NTS



STEPPED RETAINING WALL W/ SCREEN WALL DETAIL

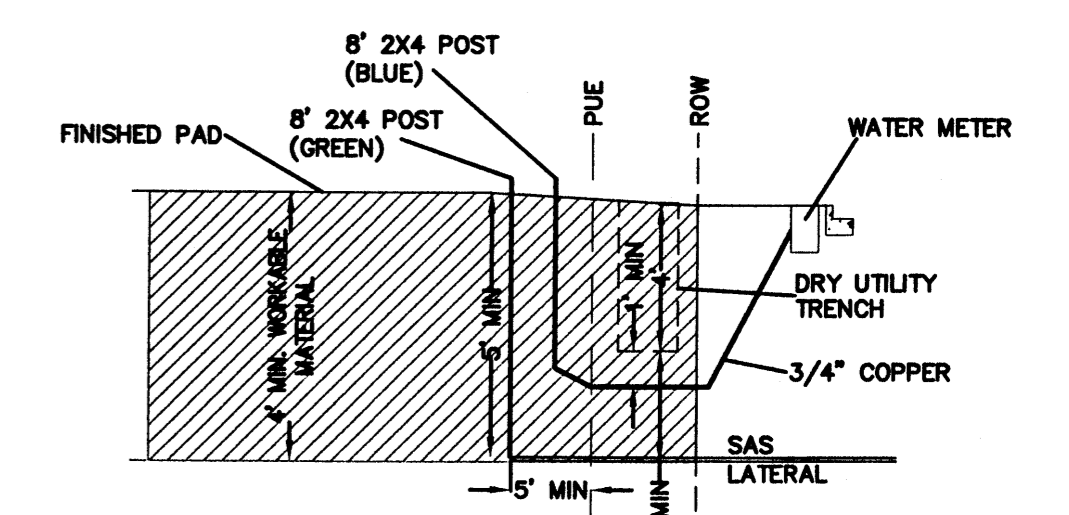
NTS

NOTE GARDEN WALL IS ON PROPERTY LINE AND RETAINING WALL IS OFFSET 4' CENTER TO CENTER.

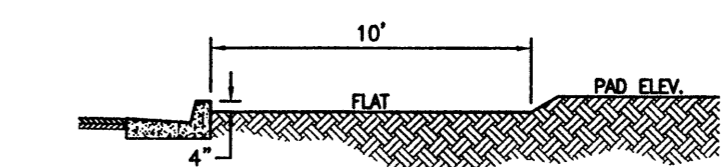


MIN. 4" OF WORKABLE MATERIAL FOR HOME CONSTRUCTION

PLAN VIEW

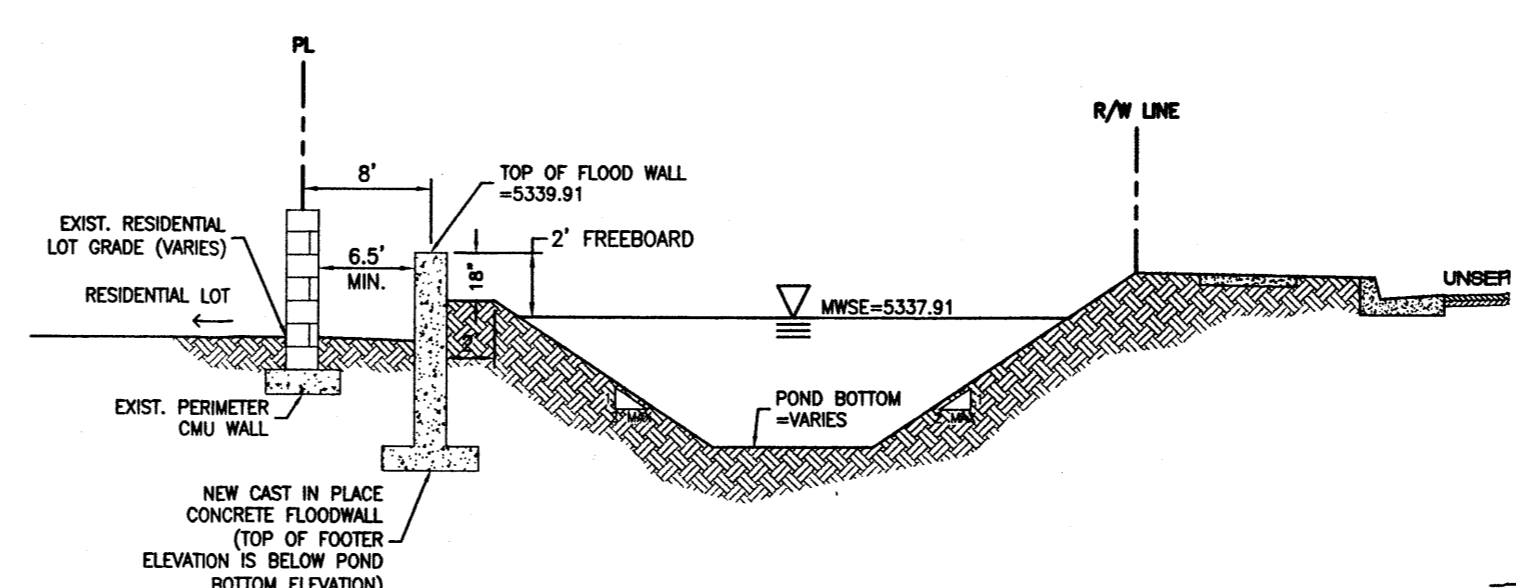


SECTION VIEW THE BOULDERS UTILITY SERVICE DETAIL



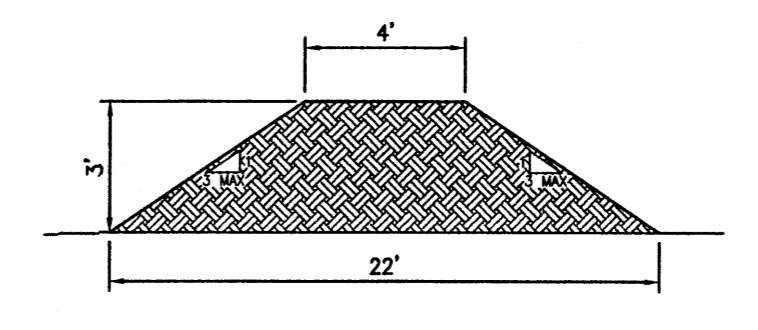
PULITE FINISH LOT (TYP.)

SC: NTS



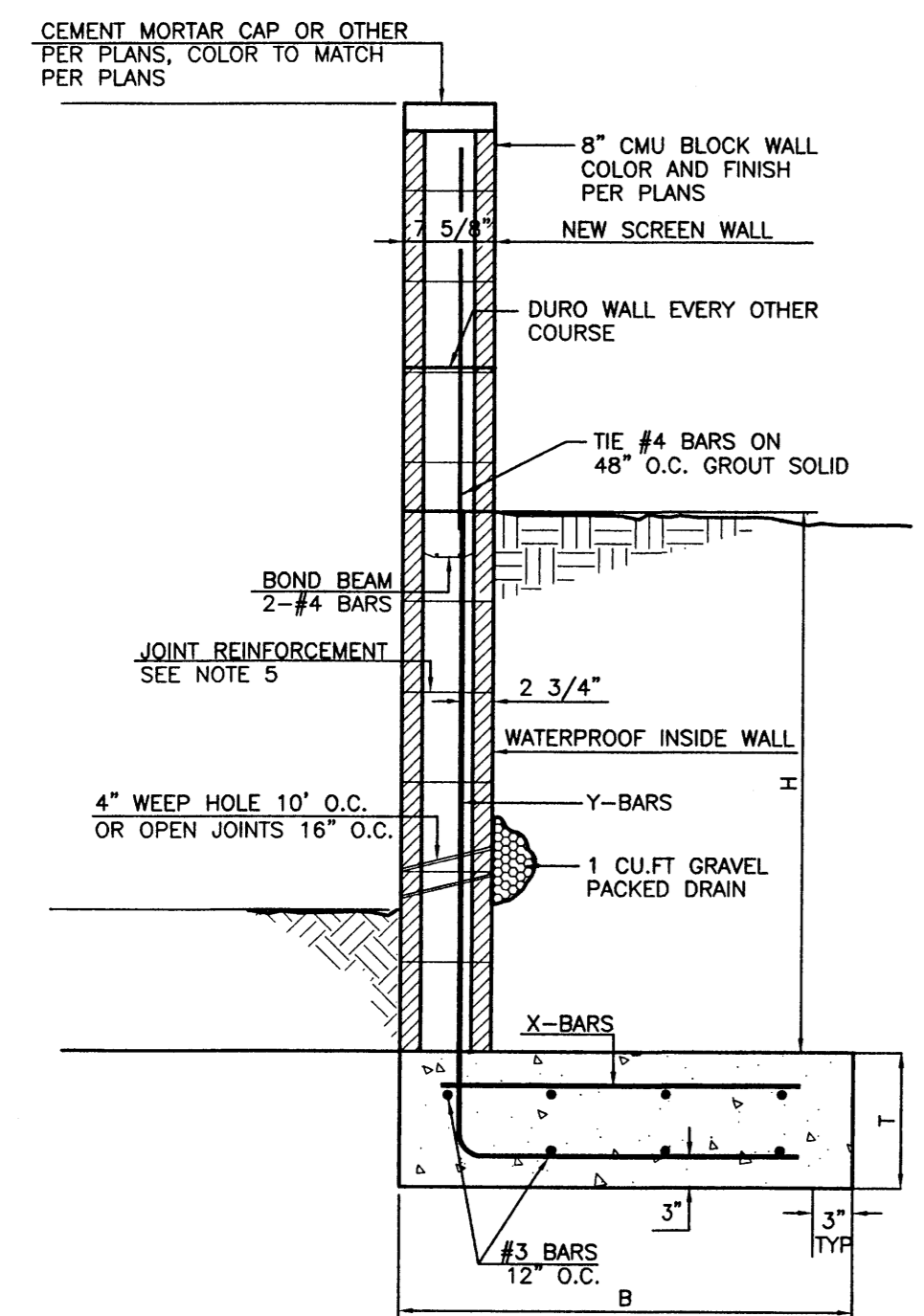
EAST FLOOD WALL IN UNSEWER POND TYPICAL SECTION

SC: NTS



DIVERSION BERM (EARTHEN) DETAIL

SC: NTS



L-FOOTING RETAINING WALL DETAIL

NTS

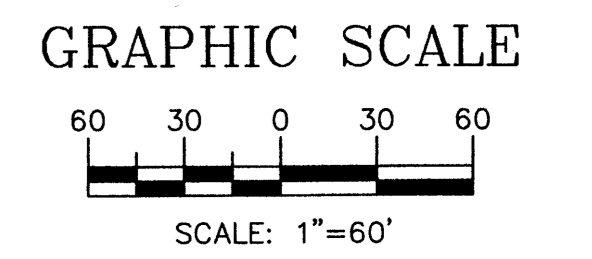
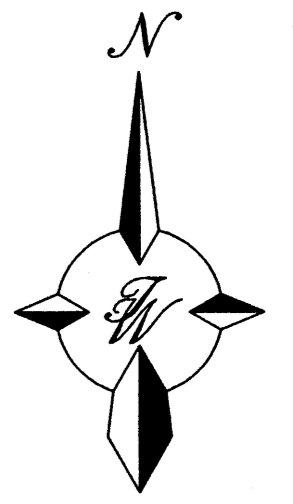
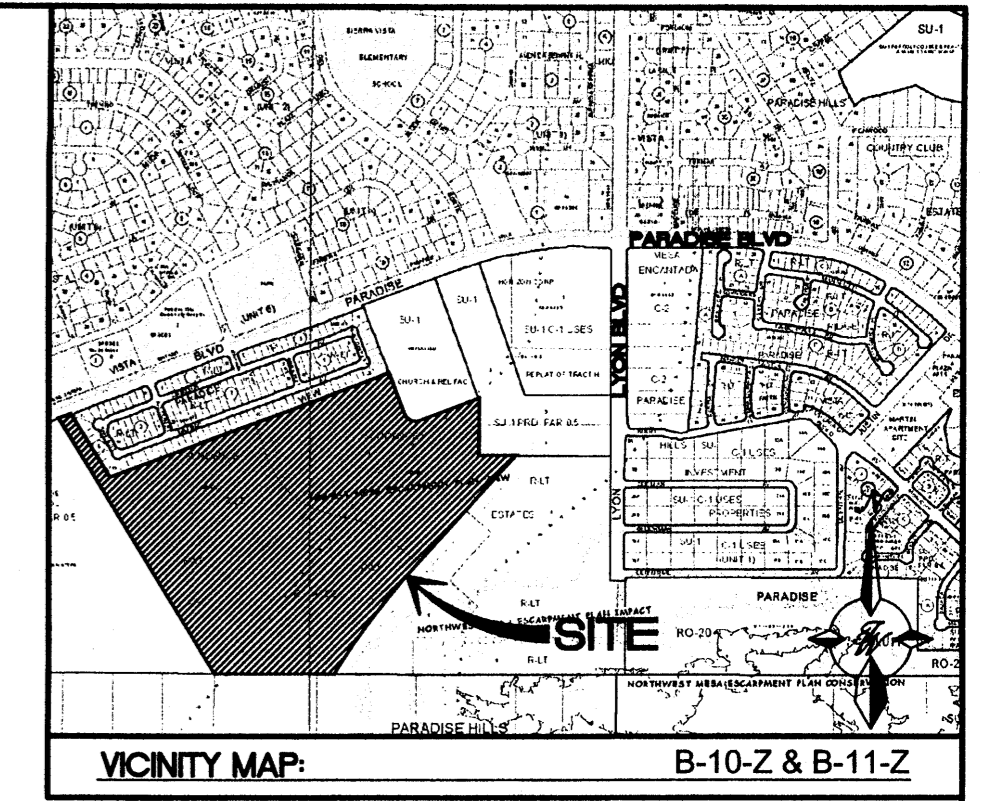
GENERAL NOTES:

- ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2% OF OPTIMUM.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
- 30 BAR DIAMETER LAPS TYPICAL.
- DUR-O-WALL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
- OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
- OWNER TO SELECT MASONRY COLOR AND/OR FINISH
- SOLID MASONRY CAP COURSE TYPICAL.
- WATER PROOF WALL.

8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)

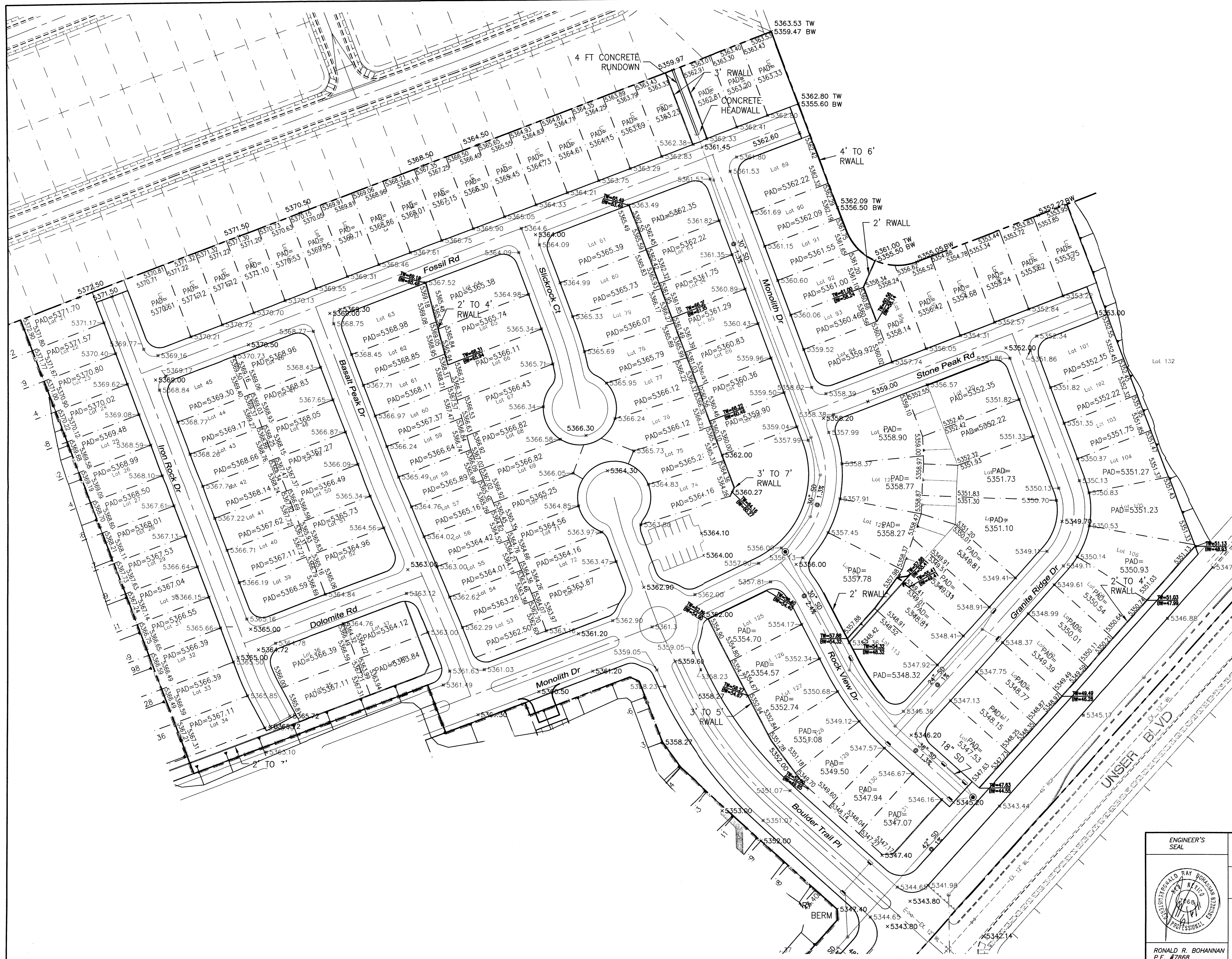
H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-4"	1'-9"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-8"	2'-6"	9"	#4 @ 24" O.C.	
3'-4"	2'-9"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-8"	4'-0"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
5'-4"	5'-0"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.
6'-0"	5'-6"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.

<p>RONALD R. BOHANNON P.E. #7868</p>	<p>ENGINEER'S SEAL</p> <p>THE BOULDERS PHASE 1</p> <p>DETAILS</p> <p>TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com</p>	<p>DRAWN BY DY</p> <p>DATE 05-06-11</p> <p>2011005-DETAILS</p> <p>SHEET # 2</p> <p>JOB # 2011005</p>
	<p>2011005-DETAILS</p>	

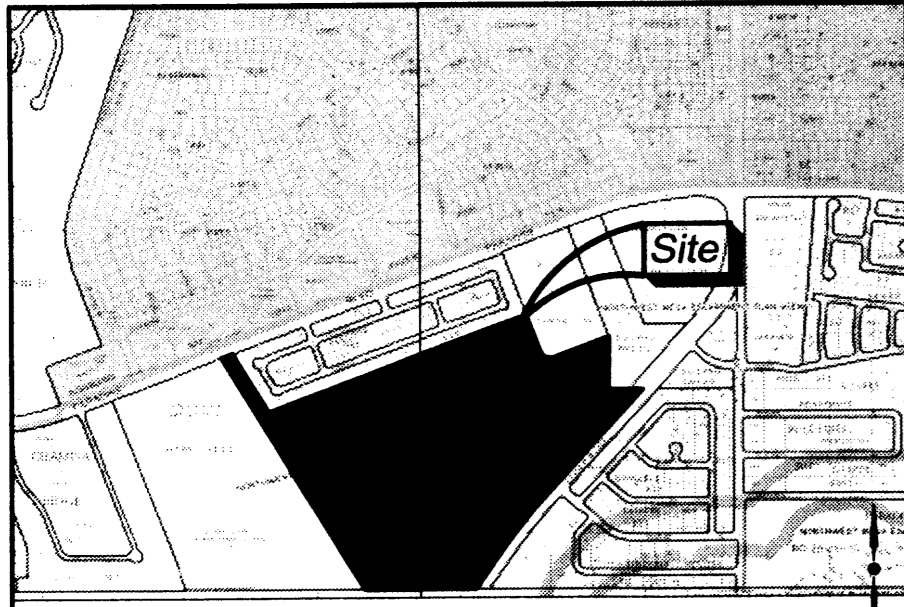


LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION



	ENGINEER'S SEAL THE BOULDERS PHASE 1 RETAINING WALLS	DRAWN BY DY DATE 05-06-11
		SHEET # 3
RONALD R. BOHANNON P.E. #7868	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	JOB # 2011005



Location Map
 Zone Atlas Map No. B-10-Z and B-11-Z

Zoning Data:

CURRENT ZONING: RLT
 ALL OPEN SPACE REQUIREMENTS ARE MET ON THE LOT WITH THE DWELLING PER THE PROVISIONS OF SECTION 14-16-3-B (A)(1)

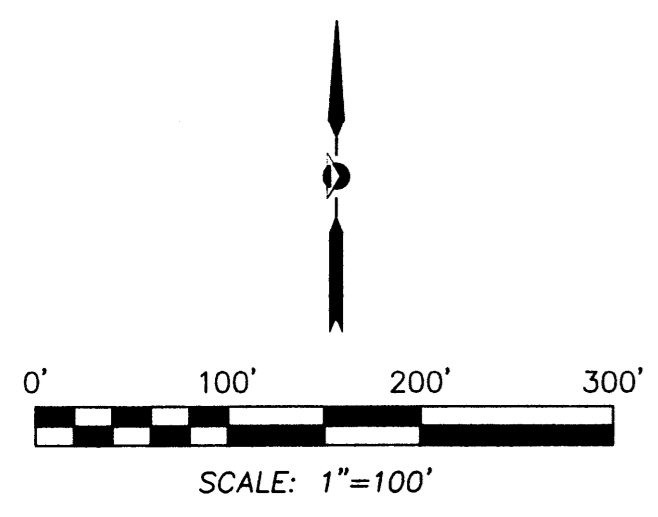
Notes:

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- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T'S ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THIS Δ WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS "11993".
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- MINIMUM LOT SIZE 4000 SF; MINIMUM LOT WIDTH 40'

Legal Description

TRACTS NUMBERED TWO (2), THREE (3) AND SEVEN (7) OF THE BULK LAND PLAT OF SUNDANCE ESTATES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 13, 2004, IN PLAT BOOK 2004C, PAGE 385.

- Legend**
- \odot DENOTES POINT FOUND AND USED AS SHOWN
 - \bullet POINT SET BY THIS SURVEY - REBAR WITH CAP "PS 11993"
 - Δ CENTERLINE (IN LIEU OF R/W MONUMENTATION) TO BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T'S, ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF A STAMPED FOUR-INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PS 11993"
 - LOT LINE TO BE ELIMINATED BY PLAT
 - - - EASEMENT TO BE VACATED BY PLAT



City Surveyor Approval

APPROVED FOR MONUMENTATION AND STREET NAMES

 CITY SURVEYOR
 DATE: 3-17-11

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	5124.99'	714.76'	357.96'	759'27"	S 36'09'37" W	714.18'
C2	5124.99'	62.71'	31.35'	0'42'04"	S 40'30'22" W	62.71'
C3	5124.99'	714.76'	357.96'	759'27"	S 36'09'37" W	714.18'
C4	5000.13'	30.87'	15.44'	0'21'13"	N 32'16'58" E	30.87'
C5	75.00'	118.10'	75.29'	0'01'30"	S 65'46'31" E	106.27'
C6	350.00'	305.56'	163.29'	50'01'15"	S 56'29'33" E	295.95'
C7	410.00'	179.02'	90.96'	25'01'02"	N 68'59'37" W	177.60'
C8	350.00'	200.27'	102.96'	32'47'08"	S 72'52'38" E	197.55'
C9	350.00'	92.67'	46.61'	15'10'13"	N 83'08'42" E	92.40'
C10	5124.99'	88.18'	44.09'	0'50'09"	S 37'25'43" W	88.18'
C11	410.00'	108.56'	54.60'	15'10'13"	N 83'08'42" E	108.24'
C12	410.00'	234.61'	120.61'	32'47'08"	S 72'52'38" E	231.42'
C13	410.00'	54.80'	27.44'	7'39'29"	S 85'26'27" E	54.76'
C14	410.00'	179.81'	91.37'	25'07'39"	S 69'02'54" E	178.37'
C15	350.00'	152.82'	77.65'	25'01'02"	N 68'59'37" W	151.61'
C16	25.00'	56.72'	53.59'	129'58'55"	S 33'30'23" W	45.31'
C17	350.00'	356.45'	195.41'	58'21'03"	S 60'39'36" E	341.24'

Line Table

LINE	BEARING	DISTANCE
L1	N 89'49'54" W	130.40'
L2	N 58'31'09" E	105.03'
L3	N 87'07'05" E	52.39'
L4	N 69'09'09" E	85.00'
L5	S 19'29'18" E	85.02'
L6	S 19'29'18" E	8.90'
L7	S 19'29'18" E	76.12'
L8	N 69'09'09" E	116.00'
L9	S 20'50'51" E	18.32'
L10	N 69'09'09" E	146.00'
L11	S 85'50'51" E	14.14'
L12	S 20'50'51" E	90.00'
L13	S 35'50'04" E	42.95'
L14	S 03'03'09" E	14.14'
L15	S 31'28'55" E	11.79'
L16	N 56'29'05" W	37.12'
L17	S 35'50'04" E	13.35'
L18	S 58'29'33" E	12.37'
L19	S 58'41'36" E	45.92'
L20	S 51'19'04" E	29.52'
L21	S 56'29'05" E	37.12'
L22	N 52'37'40" W	66.21'

Owner's Signature

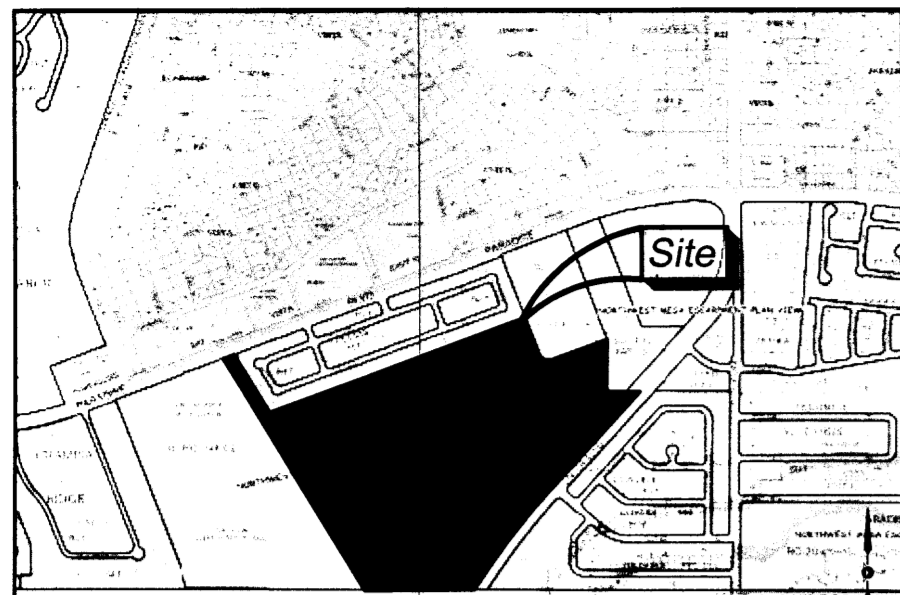
OWNER
 DATE: 3-17-11

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.



OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199
 866-442-8011 TOLL FREE
 505-856-5700 PHONE
 505-856-7500 FAX



Zoning Data:

CURRENT ZONING: RL1

ALL OPEN SPACE REQUIREMENTS ARE MET ON THE LOT WITH THE DWELLING PER THE PROVISIONS OF SECTION 14-16-3-8 (A)(1)

Location Map

Zone Atlas Map No. B-10-Z and B-11-Z

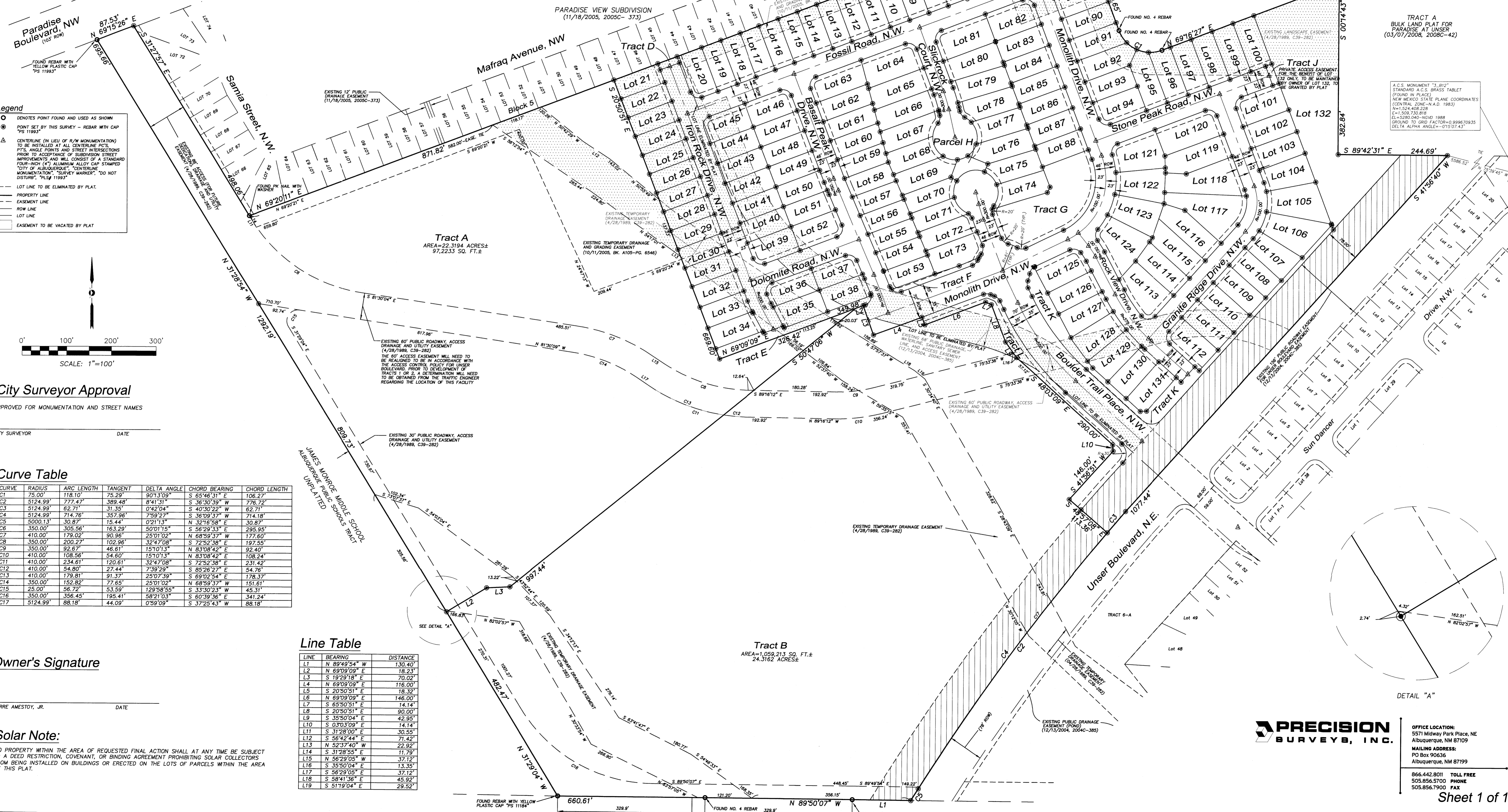
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- MINIMUM LOT SIZE 4000 SF; MINIMUM LOT WIDTH 40'
- ALL RIGHT OF WAY CUL-DE-SAC RADII ARE 50'
- ALL RIGHT OF WAY CURB RETURN RADII ARE 20' UNLESS OTHERWISE SHOWN
- THERE IS A 10' PUBLIC UTILITY EASEMENT ADJACENT TO ALL ROW LINES TO BE GRANTED BY PLAT.

Legal Description

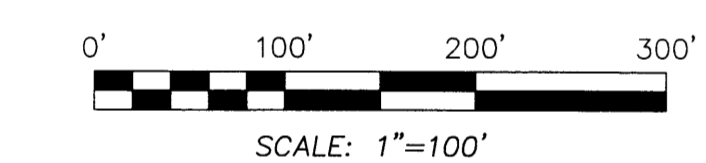
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Preliminary Plat of
The Boulders
Albuquerque, Bernalillo County, New Mexico
April 2011



Legend

- \odot DENOTES POINT FOUND AND USED AS SHOWN
- \odot POINT SET BY THIS SURVEY - REBAR WITH CAP "PS 11993"
- Δ CENTERLINE (IN LIEU OF R/W MONUMENTATION) TO BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T'S ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF A STANDARD FOUR-INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS "11993"
- LOT LINE TO BE ELIMINATED BY PLAT
- PROPERTY LINE
- EASEMENT LINE
- ROW LINE
- LOT LINE
- EASEMENT TO BE VACATED BY PLAT



City Surveyor Approval

APPROVED FOR MONUMENTATION AND STREET NAMES

CITY SURVEYOR _____ DATE _____

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
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C4	5124.99'	714.76'	357.96'	7°59'27"	S 36°39'57" W	774.18'
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C6	350.00'	305.56'	163.29'	50°01'15"	S 56°29'33" E	295.95'
C7	410.00'	179.02'	90.96'	25°01'02"	N 68°59'37" W	177.60'
C8	350.00'	200.27'	102.96'	32°47'08"	S 72°52'38" E	197.55'
C9	350.00'	92.67'	46.61'	15°10'13"	N 83°08'42" E	92.40'
C10	410.00'	108.56'	54.60'	15°10'13"	N 83°08'42" E	108.24'
C11	410.00'	234.61'	120.61'	32°47'08"	S 72°52'38" E	231.42'
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L8	S 20°50'51" E	90.00'
L9	S 35°50'04" E	42.95'
L10	S 03°03'09" E	14.14'
L11	S 31°28'00" E	30.55'
L12	S 56°42'44" E	71.42'
L13	N 52°37'40" W	22.92'
L14	S 31°28'55" E	11.79'
L15	N 56°29'05" W	37.12'
L16	S 35°50'04" E	13.35'
L17	S 56°29'05" E	37.12'
L18	S 58°41'36" E	45.92'
L19	S 61°19'04" E	29.52'

Owner's Signature

PIERRE AMESTOY, JR. _____ DATE _____

Solar Note:

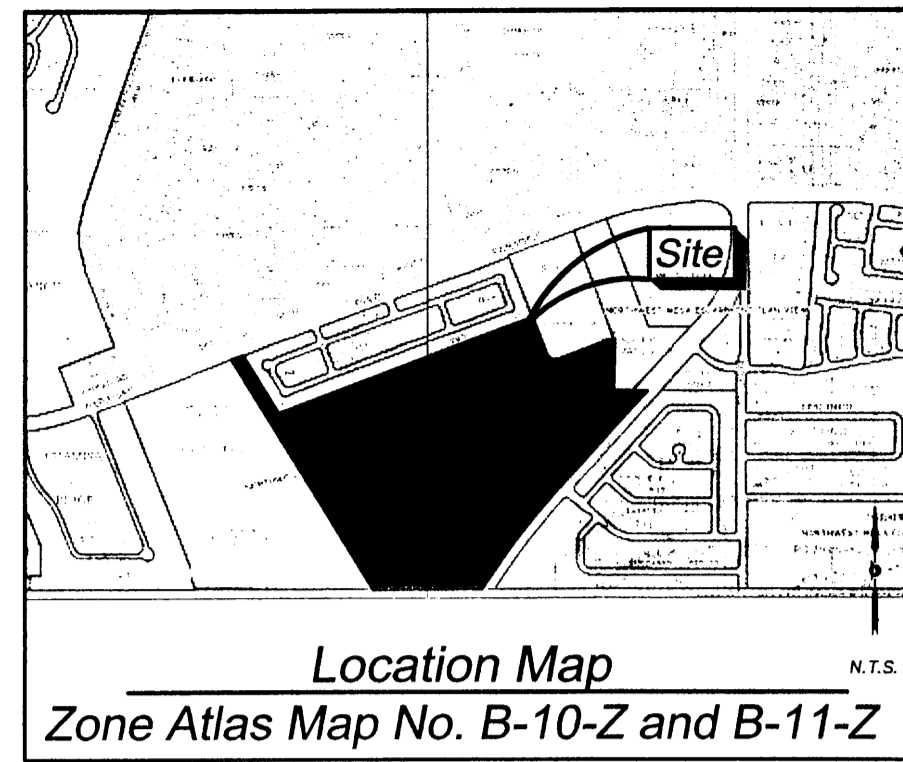
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OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

Preliminary Plat of
The Boulders
 Albuquerque, Bernalillo County, New Mexico
 April 2011



Zoning Data:

CURRENT ZONING: RL2

ALL OPEN SPACE REQUIREMENTS ARE MET ON THE LOT WITH THE DWELLING PER THE PROVISIONS OF SECTION 14-16-3-9 (A)(1)

Notes:

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Legal Description

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- ROAD CENTERLINE
- LOT LINE TO BE ELIMINATED BY PLAT
- EASEMENT LINE
- ROW LINE
- LOT LINE
- ADJOINER PROPERTY LINE
- EASEMENT TO BE VACATED BY PLAT

Scale: 1"=100'

City Surveyor Approval

APPROVED FOR MONUMENTATION AND STREET NAMES

CITY SURVEYOR _____ DATE _____

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C8	350.00'	200.27'	102.96'	32°47'08"	S 72°52'38" E	197.55'
C9	350.00'	92.67'	46.61'	15°10'13"	N 83°08'42" E	92.40'
C10	410.00'	108.56'	54.60'	15°10'13"	N 83°08'42" E	108.24'
C11	410.00'	234.61'	120.61'	32°47'08"	S 72°52'38" E	231.42'
C12	410.00'	54.80'	27.44'	7°39'29"	S 85°26'27" E	54.76'
C13	410.00'	179.81'	91.37'	25°07'39"	S 69°02'54" E	178.37'
C14	350.00'	152.82'	77.65'	25°01'02"	N 68°59'37" W	151.61'
C15	25.00'	56.72'	53.59'	129°58'55"	S 33°30'23" W	45.31'
C16	350.00'	356.45'	195.41'	58°21'03"	S 60°39'36" E	341.24'
C17	5124.99'	88.18'	44.09'	0°59'09"	S 37°25'43" W	88.18'

Owner's Signature

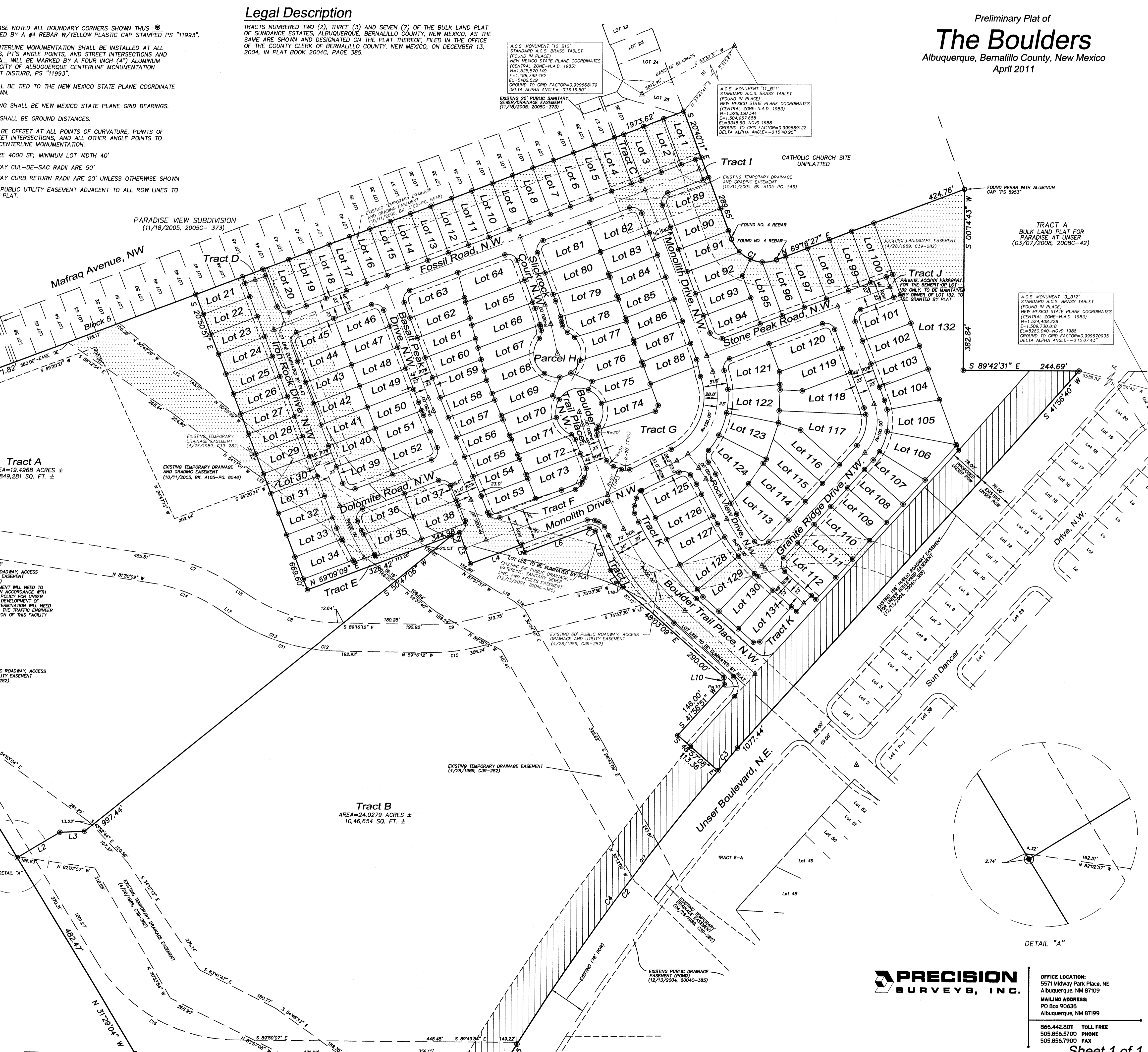
PIERRE AMESTOY, JR. _____ DATE _____

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Line Table

LINE	BEARING	DISTANCE
L1	N 89°49'54" W	130.40'
L2	N 89°09'09" E	18.23'
L3	S 19°29'18" E	70.02'
L4	N 69°09'09" E	116.00'
L5	S 20°50'51" E	18.32'
L6	N 69°09'09" E	146.00'
L7	S 85°50'51" E	14.14'
L8	S 20°50'51" E	90.00'
L9	S 35°50'04" E	42.95'
L10	S 03°30'09" E	14.14'
L11	S 31°28'00" E	30.55'
L12	S 56°42'44" E	71.42'
L13	N 52°37'40" W	22.92'
L14	S 31°28'55" E	11.79'
L15	N 56°29'05" W	37.12'
L16	S 35°50'04" E	13.35'
L17	S 56°29'05" E	43.17'
L18	S 58°41'36" E	45.92'
L19	S 51°19'04" E	29.52'



PRECISION SURVEYS, INC.

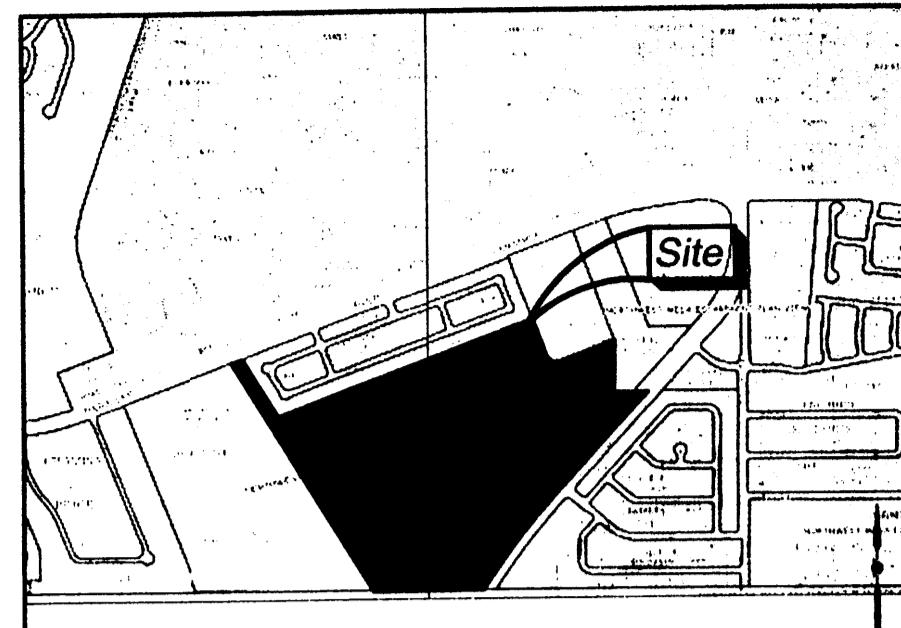
OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109

MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Sheet 1 of 1

S:\PROJECTS\2011\11-04-11\11-04-11.dwg



Location Map
 Zone Atlas Map No. B-10-Z and B-11-Z

Zoning Data:

CURRENT ZONING: RL

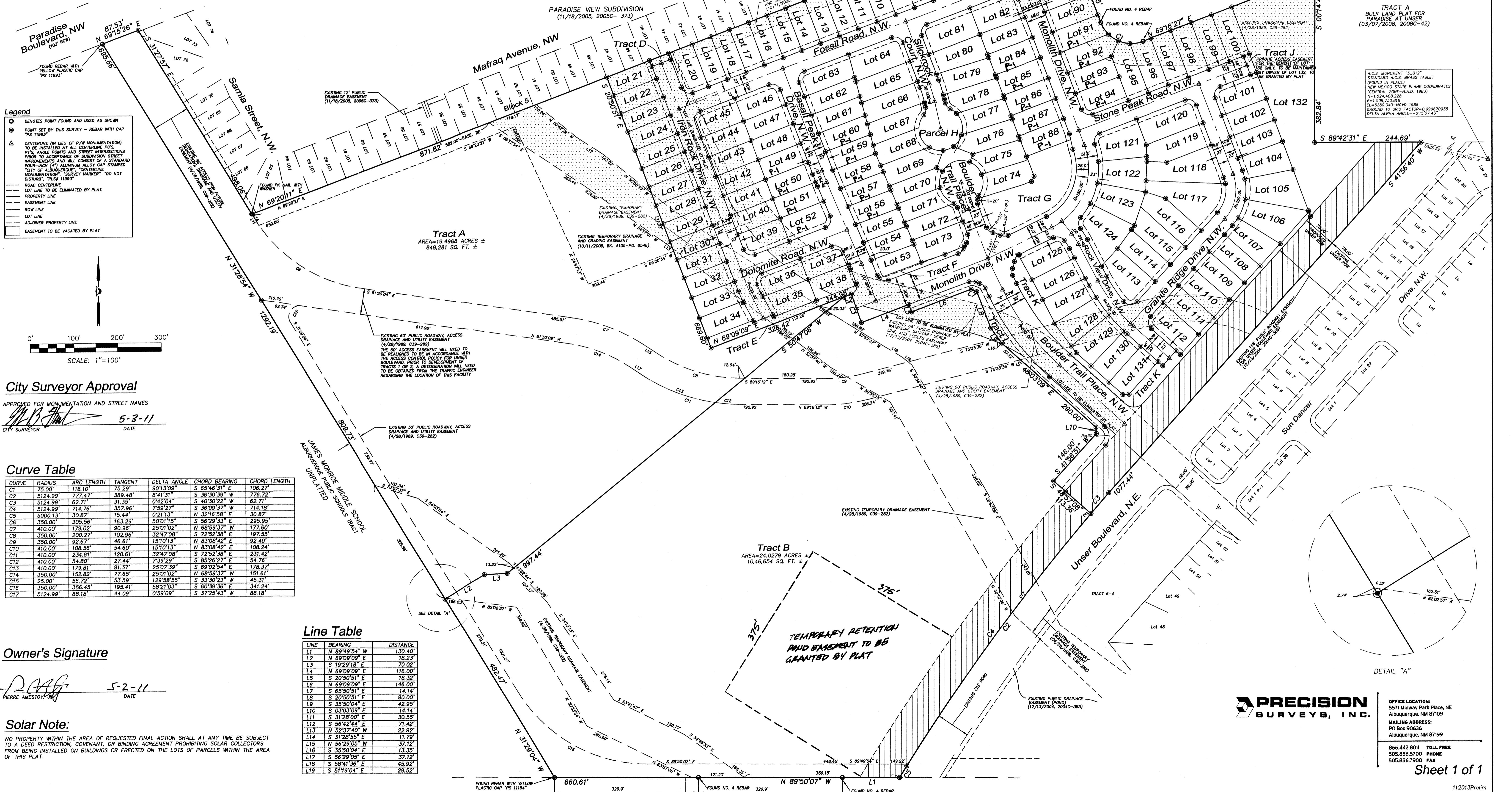
ALL OPEN SPACE REQUIREMENTS ARE MET ON THE LOT WITH THE DWELLING PER THE PROVISIONS OF SECTION 14-16-3-B (A)(1)

Notes:

- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNERS SHOWN THIS SHALL BE MARKED BY A #4 REBAR W/YELLOW PLASTIC CAP STAMPED PS '11993'.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THIS WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS '11993'".
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- MINIMUM LOT SIZE 4000 SF; MINIMUM LOT WIDTH 40'
- ALL RIGHT OF WAY CUL-DE-SAC RADI ARE 50'
- ALL RIGHT OF WAY CURB RETURN RADI ARE 20' UNLESS OTHERWISE SHOWN
- THERE IS A 10' PUBLIC UTILITY EASEMENT ADJACENT TO ALL ROW LINES TO BE GRANTED BY PLAT.

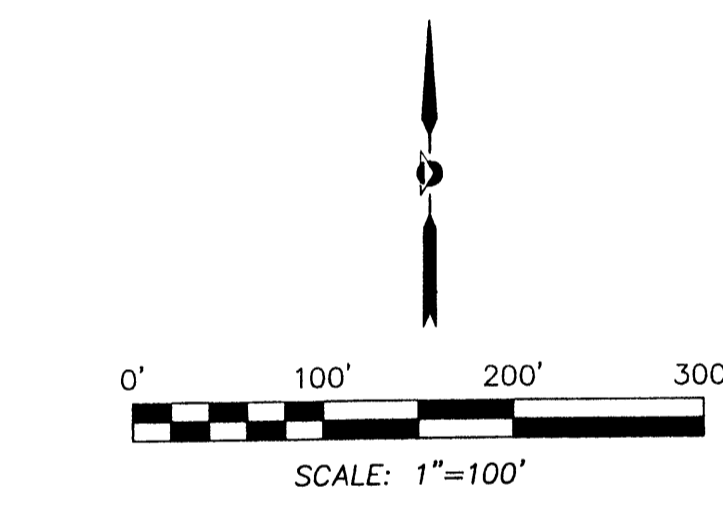
Legal Description

TRACTS NUMBERED TWO (2), THREE (3) AND SEVEN (7) OF THE BULK LAND PLAT OF SUNDAUCE ESTATES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 13, 2004, IN PLAT BOOK 2004C, PAGE 385.



Legend

- DENOTES POINT FOUND AND USED AS SHOWN
- POINT SET BY THIS SURVEY - REBAR WITH CAP 'PS 11993'
- CENTERLINE MONUMENTATION (IN LIEU OF R/W MONUMENTATION) TO BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF A STANDARD FOUR-INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, SURVEY MARKER, DO NOT DISTURB, PS '11993'".
- ROAD CENTERLINE
- LOT LINE TO BE ELIMINATED BY PLAT
- PROPERTY LINE
- EASEMENT LINE
- ROW LINE
- LOT LINE
- ADJOINER PROPERTY LINE
- EASEMENT TO BE VACATED BY PLAT



City Surveyor Approval

APPROVED FOR MONUMENTATION AND STREET NAMES

 DATE: 5-3-11

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	75.00	118.10	75.29	90°13'09"	S 65°46'31" E	106.27
C2	5124.99	777.77	389.48	1°41'51"	S 38°30'09" W	776.72
C3	5124.99	62.71	31.35	0°42'04"	S 40°30'22" W	62.71
C4	5124.99	714.76	357.96	7°59'27"	S 36°09'37" W	714.18
C5	5000.13	30.87	15.44	0°21'13"	N 32°16'58" E	30.87
C6	350.00	305.56	163.29	50°01'15"	S 56°29'33" E	295.95
C7	410.00	179.02	90.96	25°01'02"	N 68°59'37" W	177.60
C8	350.00	202.27	102.96	32°47'08"	S 72°52'39" E	197.55
C9	350.00	92.67	46.61	15°10'13"	N 83°08'42" E	92.40
C10	410.00	108.56	54.60	15°10'13"	N 83°08'42" E	108.24
C11	410.00	234.61	120.61	32°47'08"	S 72°52'39" E	231.42
C12	410.00	54.80	27.44	7°39'29"	S 85°26'27" E	54.76
C13	410.00	178.81	81.37	25°07'39"	S 69°02'54" E	178.37
C14	350.00	152.82	77.65	25°01'02"	N 68°59'37" W	151.61
C15	25.00	56.72	53.59	129°58'55"	S 33°30'23" W	45.31
C16	350.00	356.45	195.41	58°21'03"	S 60°39'36" E	341.24
C17	5124.99	88.16	44.09	0°59'09"	S 37°25'43" W	88.16

Owner's Signature

DATE: 5-2-11

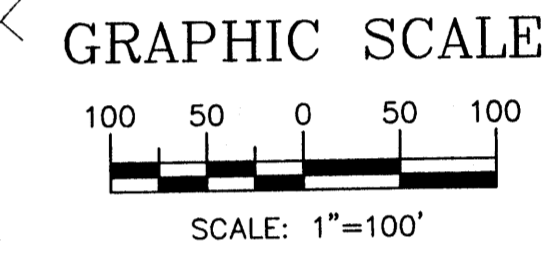
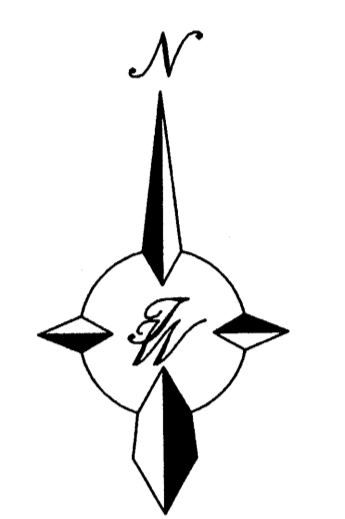
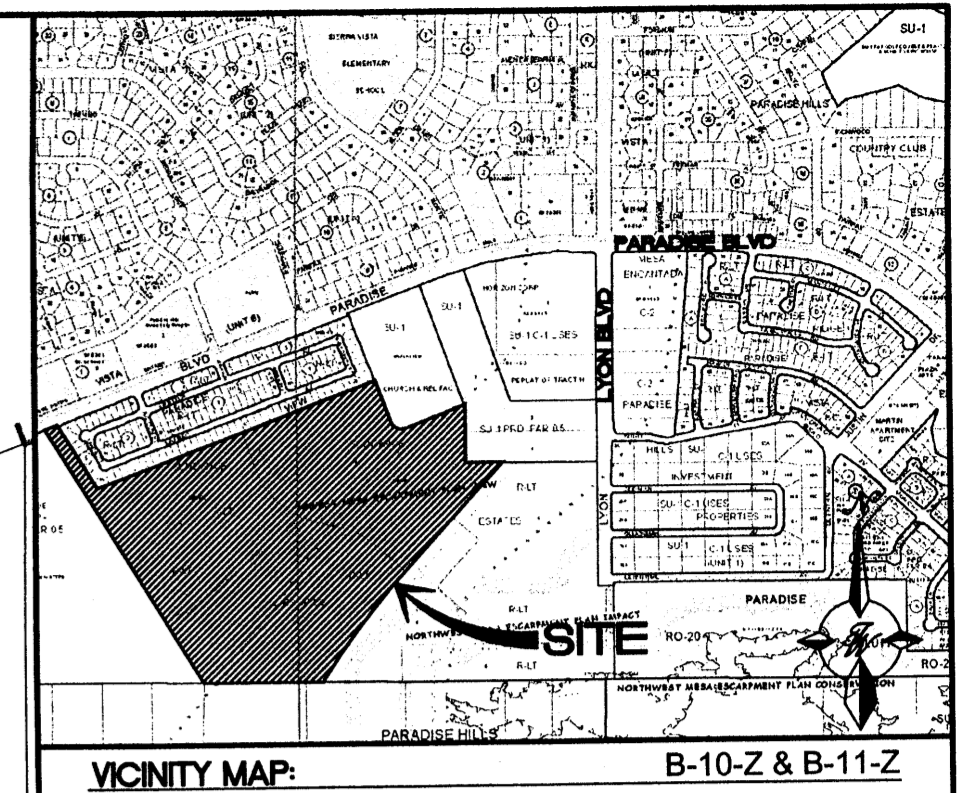
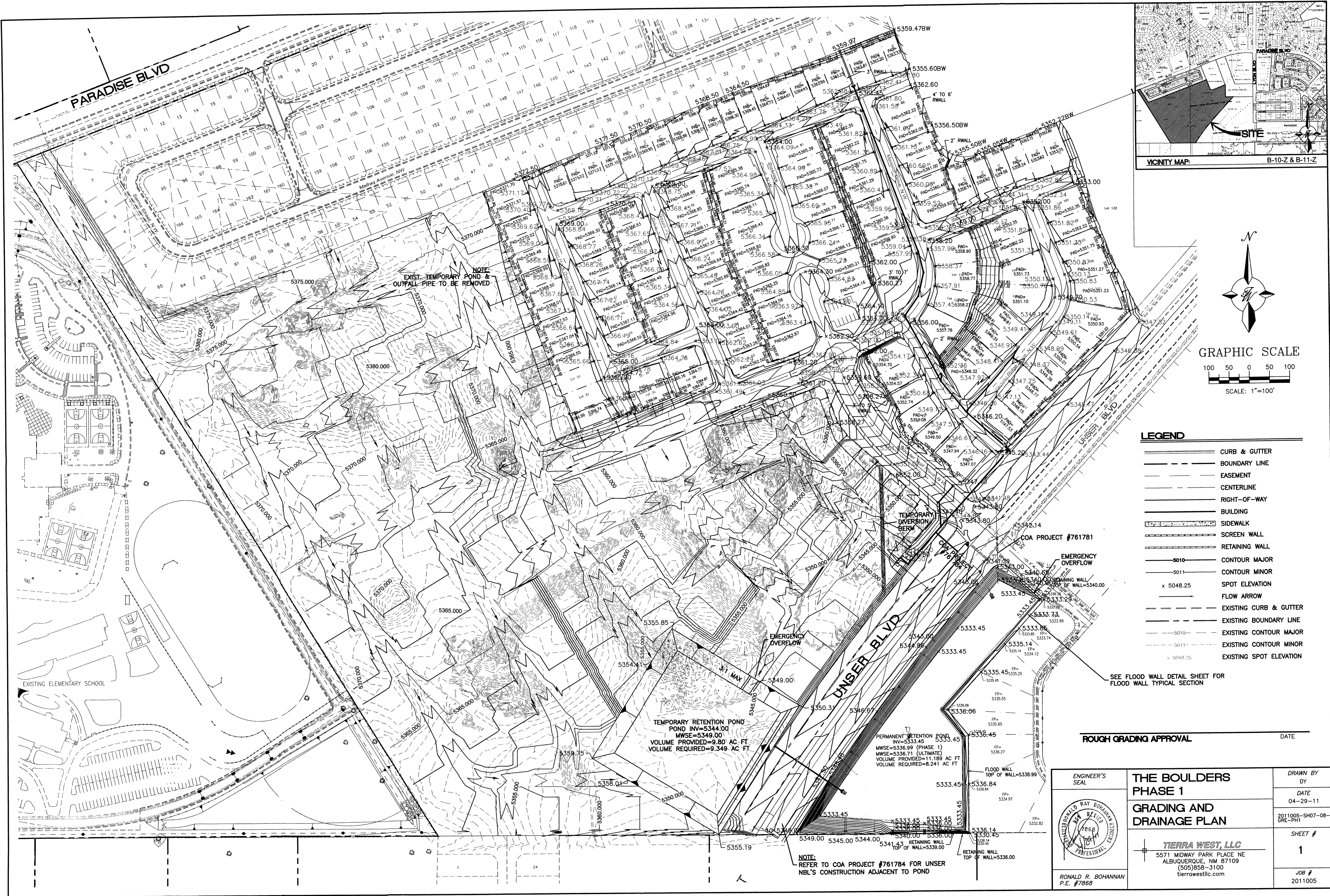
Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Line Table

LINE	BEARING	DISTANCE
L1	N 85°19'54" W	130.40
L2	N 69°09'09" E	18.23
L3	S 19°29'18" E	70.02
L4	N 69°09'09" E	116.00
L5	S 20°50'51" E	18.32
L6	N 69°09'09" E	146.00
L7	S 65°50'51" E	14.14
L8	S 20°50'51" E	90.00
L9	S 35°50'04" E	42.95
L10	S 03°03'09" E	14.14
L11	S 31°29'00" E	30.55
L12	S 56°42'44" E	71.42
L13	N 52°37'40" W	22.92
L14	S 31°28'55" E	11.79
L15	N 56°29'05" W	37.12
L16	S 33°50'04" E	13.35
L17	S 56°29'05" E	37.12
L18	S 58°41'36" E	45.92
L19	S 51°19'04" E	29.52

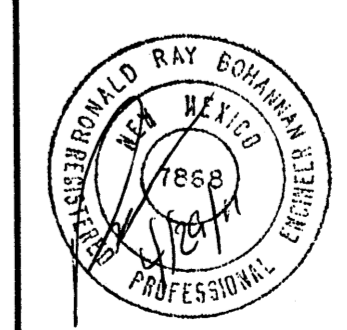
PRECISION SURVEYS, INC.
 OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199
 866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - SCREEN WALL
 - RETAINING WALL
 - 5010 — CONTOUR MAJOR
 - 5011 — CONTOUR MINOR
 - x 5048.25 SPOT ELEVATION
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - 5010 — EXISTING CONTOUR MAJOR
 - 5011 — EXISTING CONTOUR MINOR
 - x 5048.25 EXISTING SPOT ELEVATION

SEE FLOOD WALL DETAIL SHEET FOR FLOOD WALL TYPICAL SECTION

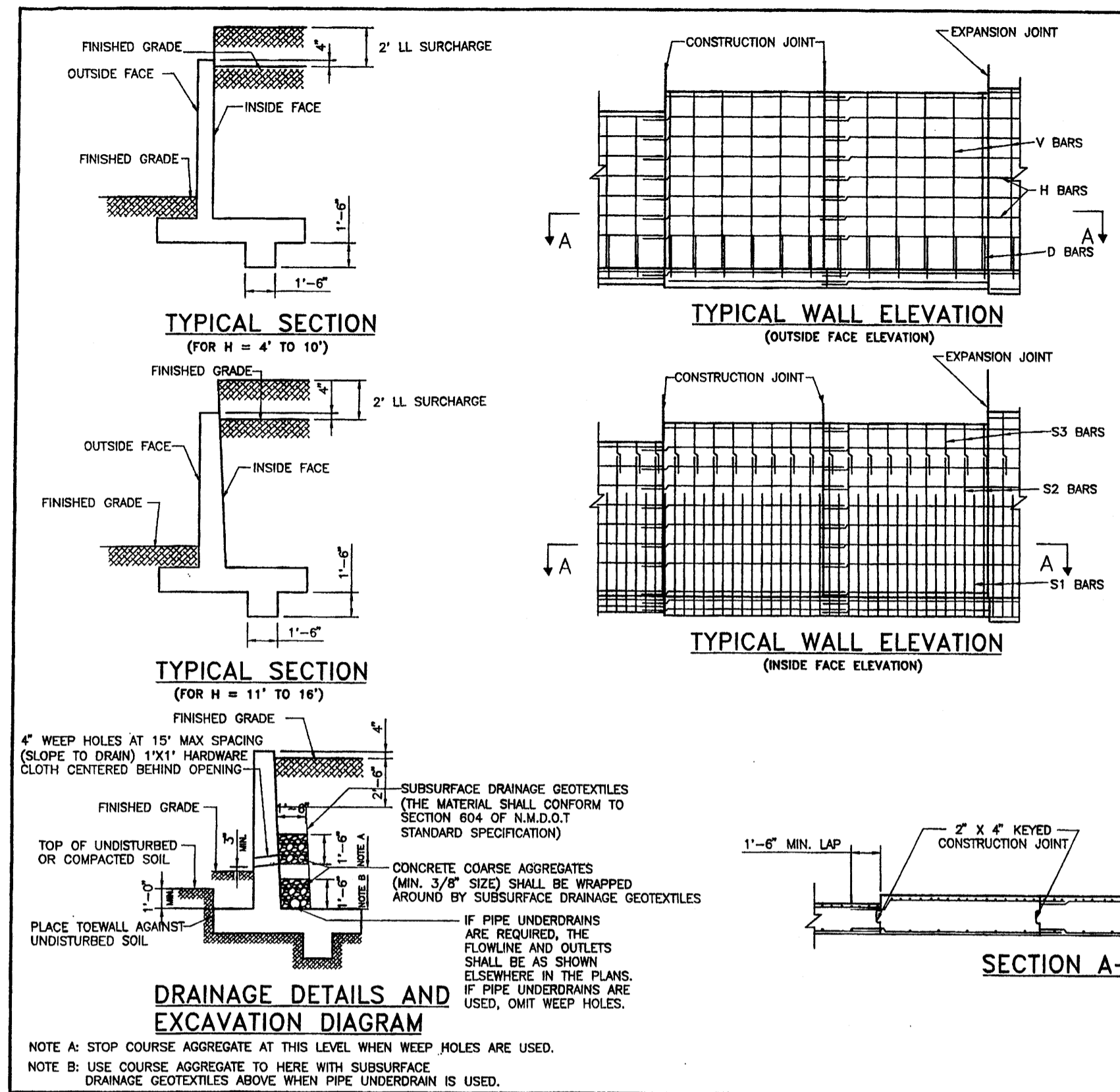
ROUGH GRADING APPROVAL _____ DATE _____

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	THE BOULDERS PHASE 1	DRAWN BY DY
	GRADING AND DRAINAGE PLAN	DATE 04-29-11
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	SHEET # 1	JOB # 2011005

TEMPORARY RETENTION POND
 POND INV=5344.00
 MWSE=5349.00
 VOLUME PROVIDED=9.80 AC-FT
 VOLUME REQUIRED=9.349 AC-FT

PERMANENT RETENTION POND
 INV=5333.45
 MWSE=5336.99 (PHASE 1)
 MWSE=5336.71 (ULTIMATE)
 VOLUME PROVIDED=11.189 AC-FT
 VOLUME REQUIRED=8.241 AC-FT

NOTE:
 REFER TO COA PROJECT #761784 FOR UNSER
 NBL'S CONSTRUCTION ADJACENT TO POND



GENERAL NOTES:

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO NMOT SPECIFICATIONS AND SPECIAL PROVISIONS, CURRENT EDITION.
- ALL CONCRETE TO BE CLASS "A", CHAMFER ALL EXPOSED EDGES 3/4", UNLESS OTHERWISE NOTED.
- ALL REINFORCING BARS SHALL CONFORM TO A.A.S.H.T.O. SPECIFICATIONS M-31, GRADE 60 UNLESS OTHERWISE SPECIFIED. DIMENSIONS REFER TO CENTER LINE OF BAR.
- ALL REINFORCING BARS SHALL HAVE 2" CLEAR COVER UNLESS NOTED OTHERWISE.
- DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.
- ALL RETAINING WALLS SHALL HAVE CONSTRUCTION JOINTS SPACED AT NO MORE THAN 30'-0" APART OR AS SHOWN. REINFORCING BARS SHALL PROJECT THROUGH THE JOINT.
- ALL RETAINING WALLS SHALL HAVE EXPANSION JOINTS PROVIDED AT INTERVALS NOT EXCEEDING 90'-0".
- FOOTINGS MAY BE CONTINUOUS WITH NO JOINT.
- SPECIAL DESIGN IS REQUIRED WHEN "H" DIMENSION IS ABOVE 16 FEET.
- COHESIVE SOILS OF SILT, CLAY, ETC. SHALL NOT BE USED FOR BACKFILL. THE BACKFILL SHALL BE FREE-DRAINING.
- APPROPRIATE DRAINAGE PROVISIONS SHALL BE PROVIDED AS SHOWN ON THE LAYOUT DRAWINGS.
- ALL EARTH WORK INCLUDING BACKFILL MATERIAL AND COMPACTION SHALL CONFORM TO SECTION 210 OF NMOT STANDARD SPECIFICATIONS, CURRENT EDITION.
- FOR H GREATER THAN 8 FEET, FOUNDATION EXPLORATION WILL BE REQUIRED TO VERIFY ADEQUATE FOUNDATION CONDITIONS.

DESIGN DATA

DESIGN ACCORDING TO A.A.S.H.T.O. LRFD BRIDGE DESIGN SPECIFICATIONS, THIRD EDITION, 2004.

DESIGN STRESS:
 CLASS "A" CONCRETE --- $f'_c = 3000$ psi
 GRADE 60 REINFORCING STEEL --- $f_y = 60000$ psi

HORIZONTAL EARTH PRESSURE = 36 LBS./CU. FT.
 EQUIVALENT FLUID PRESSURE.
 2'-0" LIVE LOAD SURCHARGE.
 WEIGHT OF BACKFILL = 120 LBS./CU. FT.
 WEIGHT OF CONCRETE = 145 LBS./CU. FT.
 ANGLE OF INTERNAL FRICTION OF EXISTING GROUND = 2°
 FACTORED BEARING CAPACITY $q_r = 2.0$ TONS/SO. FT. IS USED FOR THE DESIGN ON THESE DRAWINGS.

NO.	DATE	REV. BY	DESCRIPTION

NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING

CANTILEVER RETAINING WALL
 (CASE III - LEVEL FILL WITH 2'-0" LIVE LOAD SURCHARGE)
 GENERAL NOTES, SECTIONS & ELEVATIONS

APPROVED: *[Signature]*
 DESIGNED BY: *[Signature]* DRAWN BY: *[Signature]* CHECKED BY: *[Signature]*

511-82-1/3 SHEET 1 OF 3

CASE III - LEVEL FILL WITH 2'-0" LIVE LOAD SURCHARGE * DENOTES THE TOTAL NUMBERS OF BARS IN CROSS SECTION.

WALL DIMENSIONS										REINFORCING BAR LIST										ESTIMATED QUANTITY PER LIN. FT. OF WALL		
H	W	B	C	F	E	X	BAR SIZE	SPACING	LENGTH	S1	S2	S3	#4H	#4V	#4D	#4U	#4T	#4F1	#4F2	#4F3	MAX. TOE PRESSURE (TONS/FT.)	COBERT COEFF.
4'	4'-0"	10'	4"	10'	3'-0"	6"	#5	12"	5'-0"	6	3	11	2	0	2	2	4	4	4	4	0.72	0.35
5'	5'-0"	10'	4"	10'	4'-0"	6"	#5	12"	6'-0"	6	4	11	2	0	2	2	4	4	4	4	0.40	0.35
6'	6'-0"	10'	4"	10'	4'-0"	7"	#5	12"	7'-0"	6	5	11	2	0	2	2	4	4	4	4	0.85	0.45
7'	7'-0"	10'	4"	10'	5'-0"	7"	#5	12"	8'-0"	6	6	11	2	0	2	2	4	4	4	4	1.08	0.81
8'	8'-0"	10'	4"	10'	6'-0"	7"	#5	12"	9'-0"	6	7	11	2	0	2	2	4	4	4	4	1.18	0.89
9'	9'-0"	10'	4"	10'	7'-0"	7"	#5	12"	10'-0"	6	8	11	2	0	2	2	4	4	4	4	1.45	0.82
10'	10'-0"	10'	4"	10'	8'-0"	7"	#5	12"	11'-0"	6	9	11	2	0	2	2	4	4	4	4	1.66	1.08
11'	11'-0"	10'	4"	10'	9'-0"	7"	#5	12"	12'-0"	6	10	11	2	0	2	2	4	4	4	4	1.81	1.11
12'	12'-0"	10'	4"	10'	10'-0"	7"	#5	12"	13'-0"	6	11	11	2	0	2	2	4	4	4	4	1.84	1.31
13'	13'-0"	10'	4"	10'	11'-0"	7"	#5	12"	14'-0"	6	12	11	2	0	2	2	4	4	4	4	1.94	1.31
14'	14'-0"	10'	4"	10'	12'-0"	7"	#5	12"	15'-0"	6	13	11	2	0	2	2	4	4	4	4	1.94	1.31

(FOR ALL #4 BARS, THE REQUIRED MIN. SPLICE LENGTH SHALL BE 1'-0".)

REINFORCING BAR DETAIL

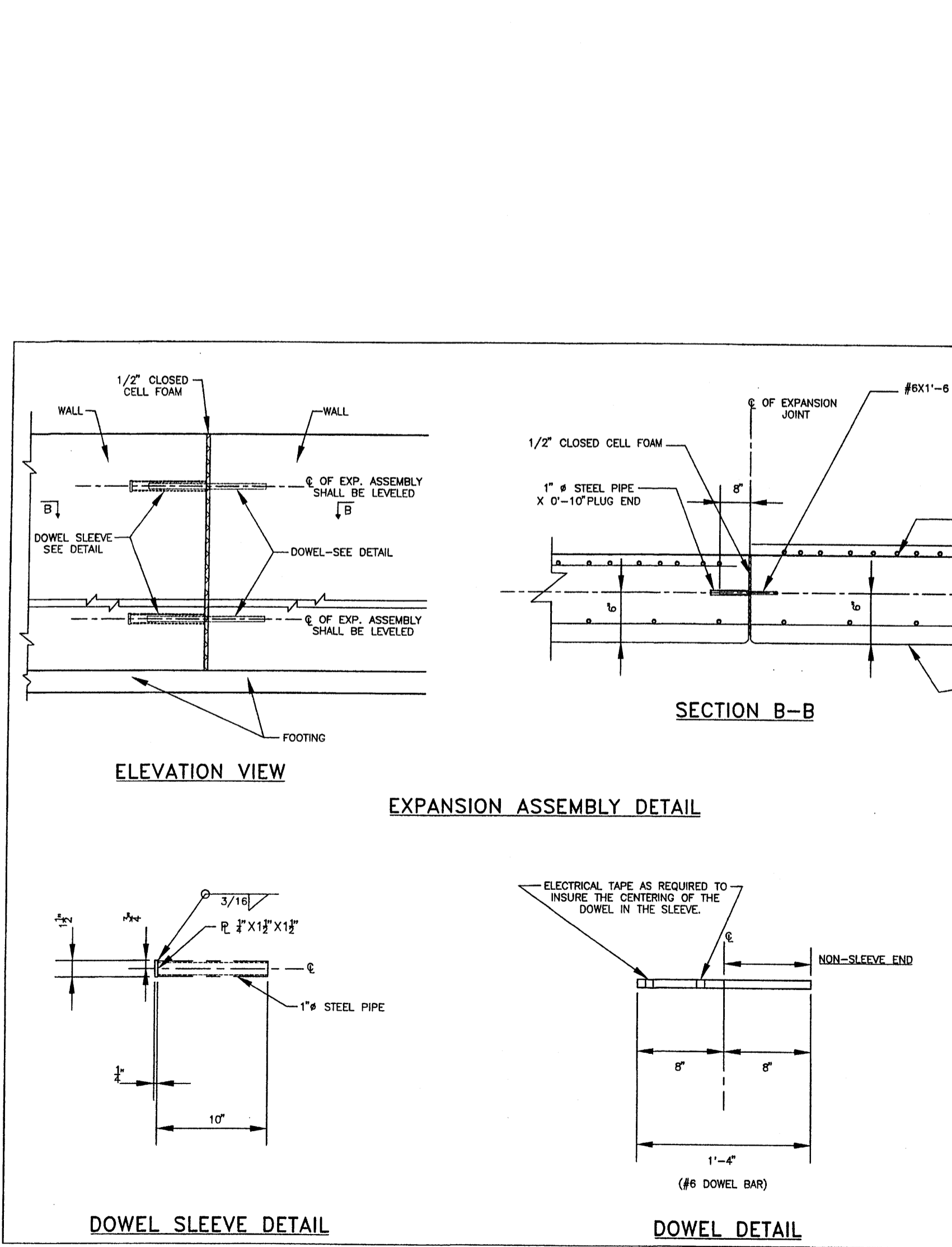
USE FOR S1 BARS S1 BARS #4U BARS

S3.H.V.Y.F1.T.F2.F3.D BARS

CANTILEVER RETAINING WALL
 (CASE III - LEVEL FILL WITH 2'-0" LIVE LOAD SURCHARGE)
 SECTION AND REINFORCING BAR DETAILS

APPROVED: *[Signature]*
 DESIGNED BY: *[Signature]* DRAWN BY: *[Signature]* CHECKED BY: *[Signature]*

511-82-2/3 SHEET 2 OF 3



GENERAL NOTES:

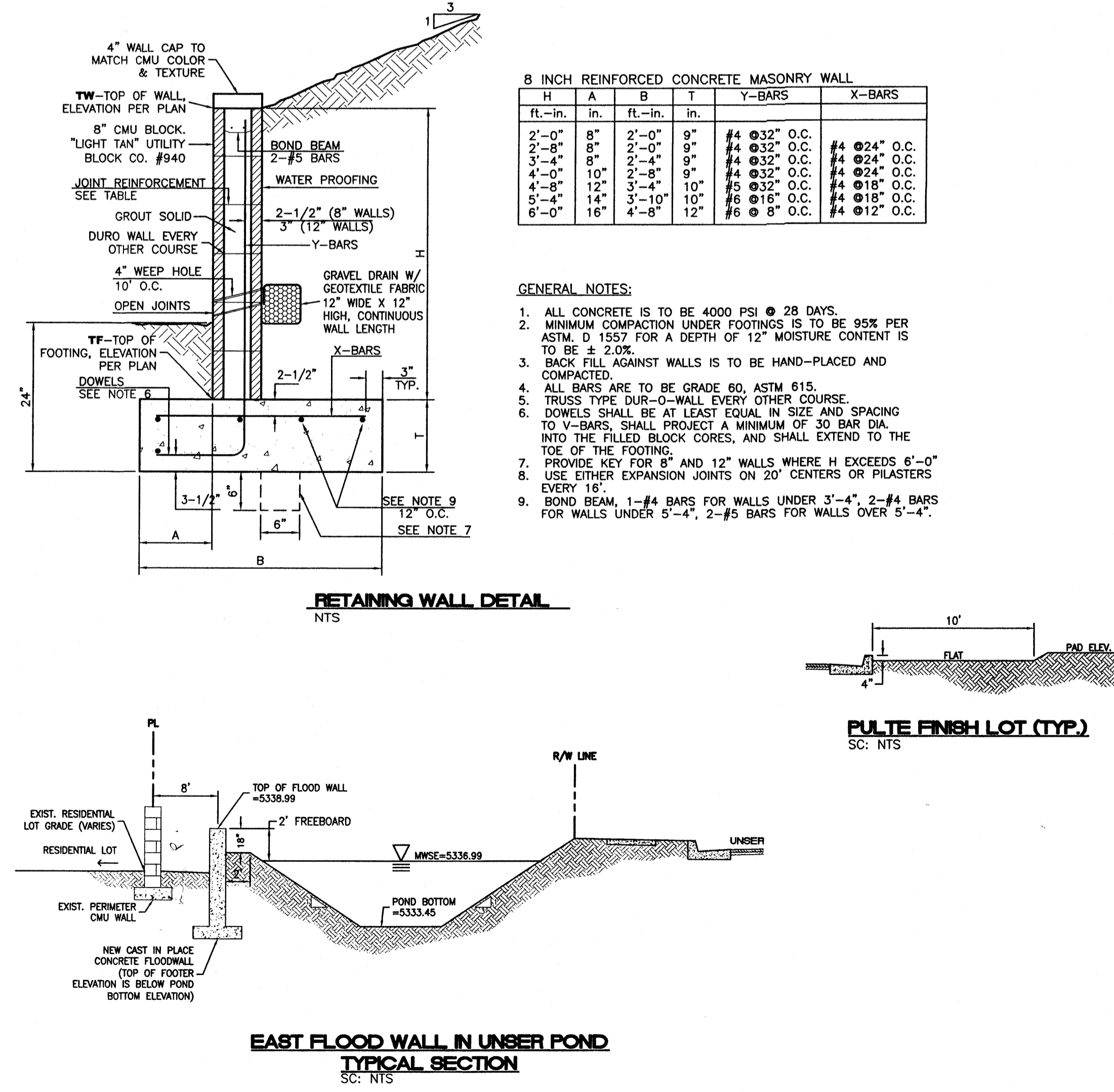
- STRUCTURAL STEEL SHALL CONFORM TO AASHTO M-183 UNLESS OTHERWISE NOTED ON THE DETAILS, AND SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH AASHTO M-111.
- BEFORE AND AFTER THE CONCRETE OF THE WALL IS PLACED, THE CONTRACTOR SHALL ENSURE THAT THE CENTER LINES OF ALL EXP. ASSEMBLIES ARE ALWAYS KEPT LEVELED AND 6" AWAY FROM THE OUTSIDE FACE OF THE WALL AS SHOWN ON THIS DRAWING.
- THE MATERIAL AND INSTALLATION COST OF 1/2" CLOSED CELL FOAM AND EXP. ASSEMBLIES SHALL BE CONSIDERED INCIDENTAL TO THE COST OF RETAINING WALL CONSTRUCTION AND NO DIRECT PAYMENT WILL BE MADE THEREFOR.

NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING

CANTILEVER RETAINING WALL
 (CASE III - LEVEL FILL WITH 2'-0" LIVE LOAD SURCHARGE)
 EXPANSION ASSEMBLY DETAIL

APPROVED: *[Signature]*
 DESIGNED BY: *[Signature]* DRAWN BY: *[Signature]* CHECKED BY: *[Signature]*

511-82-3/3 SHEET 3 OF 3



THE BOULDERS UTILITY SERVICE DETAIL

SECTION VIEW

FINISHED PAD
 8" 2X4 POST (BLUE)
 8" 2X4 POST (GREEN)
 WATER METER
 DRY UTILITY TRENCH
 3/4" COPPER
 SAS LATERAL

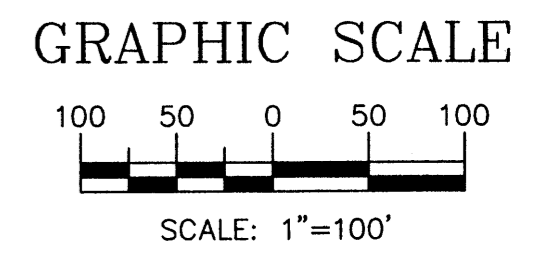
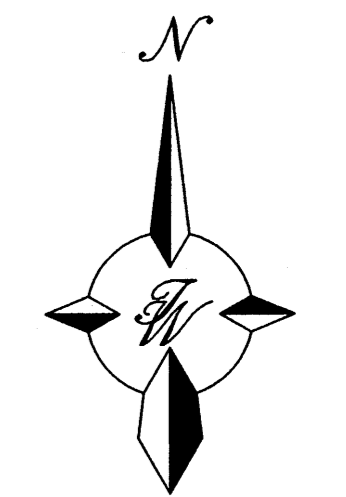
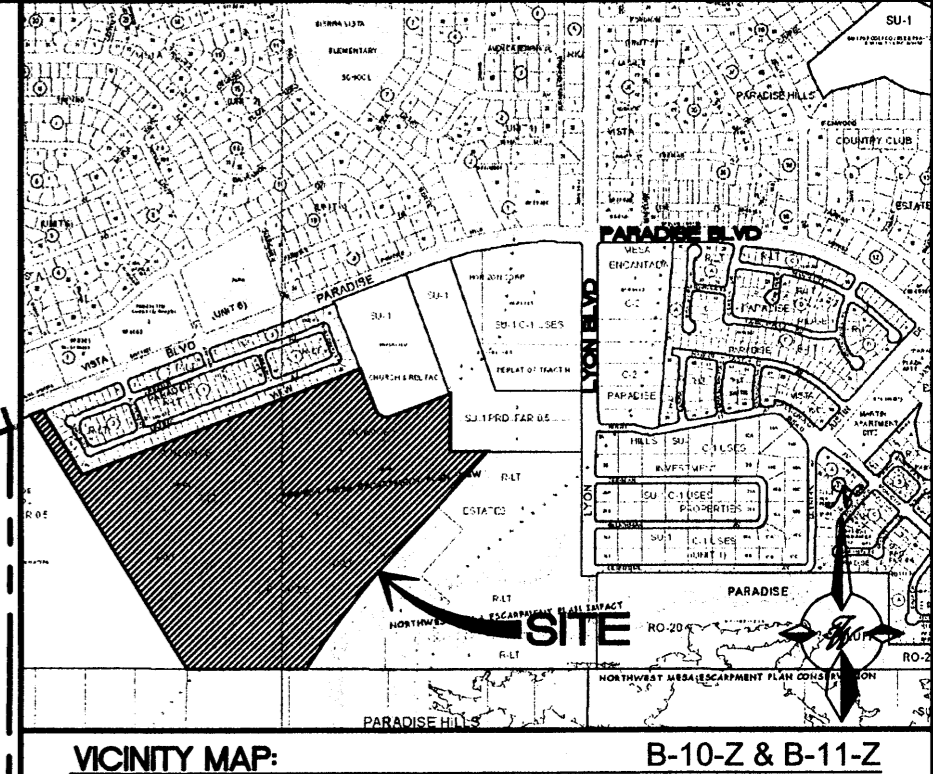
ENGINEER'S SEAL

RONALD R. BOHANNAN
 P.E. #7868

THE BOULDERS PHASE 1 DETAILS

TERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505)858-3100
 tierrawestllc.com

DRAWN BY: DY
 DATE: 04-29-11
 2011005-DETAILS
 SHEET # 2
 JOB # 2011005



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	5010 CONTOUR MAJOR
	5011 CONTOUR MINOR
	x 5048.25 SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	5010 EXISTING CONTOUR MAJOR
	5011 EXISTING CONTOUR MINOR
	x 5048.25 EXISTING SPOT ELEVATION

NOTE:
EXIST. TEMPORARY POND &
OUTFALL PIPE TO BE REMOVED

30 FT CURB CUT &
30 FT RUNDOWN

TEMPORARY DIVERSION
BERM (SEE DETAILS SHIT 2)

COA PROJECT #761781
12 FT PAVED POND ACCESS
MAX. SLOPE = 6:1

EMERGENCY
OVERFLOW

EMERGENCY
OVERFLOW

SEE FLOOD WALL DETAIL SHEET FOR
FLOOD WALL TYPICAL SECTION

NOTE:
EARTHEN SLOPES 3:1 OR LESS REQUIRES
AGGREGATE SURFACING FOR EROSION PROTECTION

TEMPORARY RETENTION POND
POND INV=5344.00
MWSE=5349.00
VOLUME PROVIDED=9.80 AC FT
VOLUME REQUIRED=9.349 AC FT

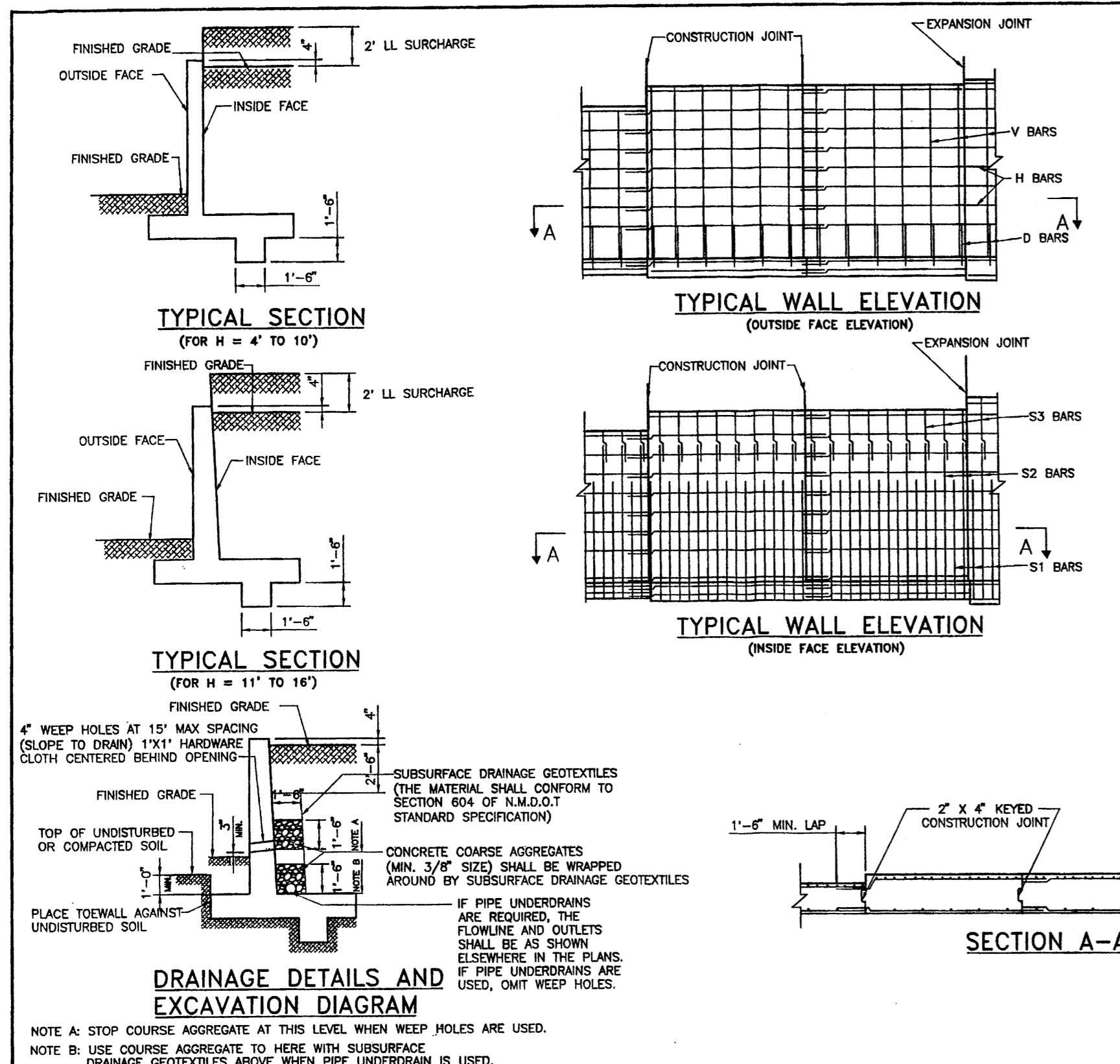
PROPOSED FUTURE
FL ELEVATIONS

PERMANENT DETENTION POND
MWSE=5337.91 (PHASE 1)
VOLUME PROVIDED=8.244 AC FT
VOLUME REQUIRED=8.244 AC FT

ROUGH GRADING APPROVAL _____ DATE _____

NOTE:
REFER TO COA PROJECT #761784 FOR UNSER
NBL'S CONSTRUCTION ADJACENT TO POND

	ENGINEER'S SEAL THE BOULDERS PHASE 1 GRADING AND DRAINAGE PLAN	DRAWN BY DY DATE 05-06-11 2011005-SH01-02- GRE-PH1
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	SHEET # 1 JOB # 2011005



GENERAL NOTES:

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO MNDOT SPECIFICATIONS AND SPECIAL PROVISIONS, CURRENT EDITION.
- ALL CONCRETE TO BE CLASS "A", CHAMFER ALL EXPOSED EDGES 3/4", UNLESS OTHERWISE NOTED.
- ALL REINFORCING BARS SHALL CONFORM TO A.A.S.H.T.O. SPECIFICATIONS M-31 GRADE 60 UNLESS OTHERWISE SPECIFIED. DIMENSIONS REFER TO CENTER LINE OF BAR.
- ALL REINFORCING BARS SHALL HAVE 2" CLEAR COVER UNLESS NOTED OTHERWISE.
- DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.
- ALL RETAINING WALLS SHALL HAVE CONSTRUCTION JOINTS SPACED AT NO MORE THAN 30'-0" APART OR AS SHOWN. REINFORCING BARS SHALL PROJECT THROUGH THE JOINT.
- ALL RETAINING WALLS SHALL HAVE EXPANSION JOINTS PROVIDED AT INTERVALS NOT EXCEEDING 90'-0".
- FOOTINGS MAY BE CONTINUOUS WITH NO JOINT.
- SPECIAL DESIGN IS REQUIRED WHEN "H" DIMENSION IS ABOVE 16 FEET.
- COHESIVE SOILS OF SILT, CLAY, ETC. SHALL NOT BE USED FOR BACKFILL. THE BACKFILL SHALL BE FREE-DRAINING.
- APPROPRIATE DRAINAGE PROVISIONS SHALL BE PROVIDED AS SHOWN ON THE LAYOUT DRAWINGS.
- ALL EARTH WORK INCLUDING BACKFILL MATERIAL AND COMPACTION SHALL CONFORM TO SECTION 210 OF MNDOT STANDARD SPECIFICATIONS, CURRENT EDITION.
- FOR "H" GREATER THAN 8 FEET, FOUNDATION EXPLORATION WILL BE REQUIRED TO VERIFY ADEQUATE FOUNDATION CONDITIONS.

DESIGN DATA

DESIGN ACCORDING TO A.A.S.H.T.O. LRFD BRIDGE DESIGN SPECIFICATIONS, THIRD EDITION, 2004.

DESIGN STRESS:

CLASS "A" CONCRETE: $f_c = 3000$ psi
 GRADE 60 REINFORCING STEEL: $f_y = 60000$ psi
 HORIZONTAL EARTH PRESSURE = 36 LBS./CU. FT.
 EQUIVALENT FLUID PRESSURE:
 2'-0" LIVE LOAD SURCHARGE
 WEIGHT OF BACKFILL = 120 LBS./CU. FT.
 WEIGHT OF CONCRETE = 145 LBS./CU. FT.
 ANGLE OF INTERNAL FRICTION OF EXISTING GROUND = 29°
 FACTORED BEARING CAPACITY $q_u = 2.0$ TONS/SQ. FT. IS USED FOR THE DESIGN ON THESE DRAWINGS.

NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING

CANTILEVER RETAINING WALL
 (CASE III - LEVEL FILL WITH 2'-0" LIVE LOAD SURCHARGE)
 GENERAL NOTES, SECTIONS & ELEVATIONS

DESIGNED BY: J.M. DRAWN BY: A.L. CHECKED BY: J.M.
 511-82-1/3 SHEET 1 OF 3

CASE III - LEVEL FILL WITH 2'-0" LIVE LOAD SURCHARGE * DENOTES THE TOTAL NUMBERS OF BARS IN CROSS SECTION.

WALL DIMENSIONS		REINFORCING BAR LIST												ESTIMATED QUANTITY (PER 10' OF WALL)					
H	W	B	C	F	E	X	BAR SIZE	SPACING	LENGTH	BAR SIZE	SPACING	LENGTH	BAR SIZE	SPACING	LENGTH	NUM.	WEIGHT (LBS.)	CONCRETE (CU. YD.)	REBAR (LBS.)
4'	4'-6"	10"	4"	10"	3'-4"	6"	#5	12"	5'-8"	#5	12"	5'-8"	#5	12"	4'-2"	4	0.72	0.35	30.8
5'	5'-3"	10"	5"	10"	4'-0"	6"	#5	12"	6'-6"	#5	12"	6'-6"	#5	12"	4'-3"	4	0.83	0.40	35.0
6'	6'-0"	10"	6"	10"	4'-8"	7"	#5	12"	7'-4"	#5	12"	7'-4"	#5	12"	4'-4"	4	0.95	0.45	40.7
7'	6'-9"	10"	7"	10"	5'-2"	7"	#5	12"	8'-2"	#5	12"	8'-2"	#5	12"	4'-5"	5	1.06	0.51	45.0
8'	7'-6"	11"	8"	10"	5'-8"	8"	#5	10"	9'-0"	#5	10"	9'-0"	#5	10"	4'-6"	6	1.19	0.59	54.0
9'	8'-3"	11"	9"	11"	6'-2"	9"	#5	10"	9'-8"	#5	10"	9'-8"	#5	10"	4'-7"	7	1.32	0.69	65.2
10'	9'-0"	11"	10"	11"	6'-8"	10"	#5	10"	10'-6"	#5	10"	10'-6"	#5	10"	4'-8"	8	1.45	0.78	76.1
11'	9'-9"	11"	11"	11"	7'-2"	10"	#5	10"	11'-4"	#5	10"	11'-4"	#5	10"	4'-9"	9	1.58	0.88	87.0
12'	10'-6"	11"	11"	11"	7'-8"	11"	#5	9"	12'-2"	#5	9"	12'-2"	#5	9"	4'-10"	10	1.72	0.98	100.7
13'	11'-3"	11"	11"	11"	8'-4"	11"	#5	9"	13'-0"	#5	9"	13'-0"	#5	9"	4'-11"	11	1.85	1.10	115.1
14'	12'-0"	11"	11"	11"	9'-0"	11"	#5	9"	13'-8"	#5	9"	13'-8"	#5	9"	4'-12"	12	1.99	1.20	129.2
15'	12'-9"	11"	11"	11"	9'-6"	11"	#5	9"	14'-6"	#5	9"	14'-6"	#5	9"	4'-13"	13	2.13	1.31	154.1
16'	13'-6"	11"	11"	11"	10'-2"	11"	#5	9"	15'-4"	#5	9"	15'-4"	#5	9"	4'-14"	14	2.27	1.42	168.4

(FOR ALL #4 BARS, THE REQUIRED MIN. SPLICE LENGTH SHALL BE 1'-0".)

REINFORCING BAR DETAIL

WALL CROSS SECTION (FOR H = 4' TO 10')

WALL CROSS SECTION (FOR H = 11' TO 16')

REINFORCING BAR LIST

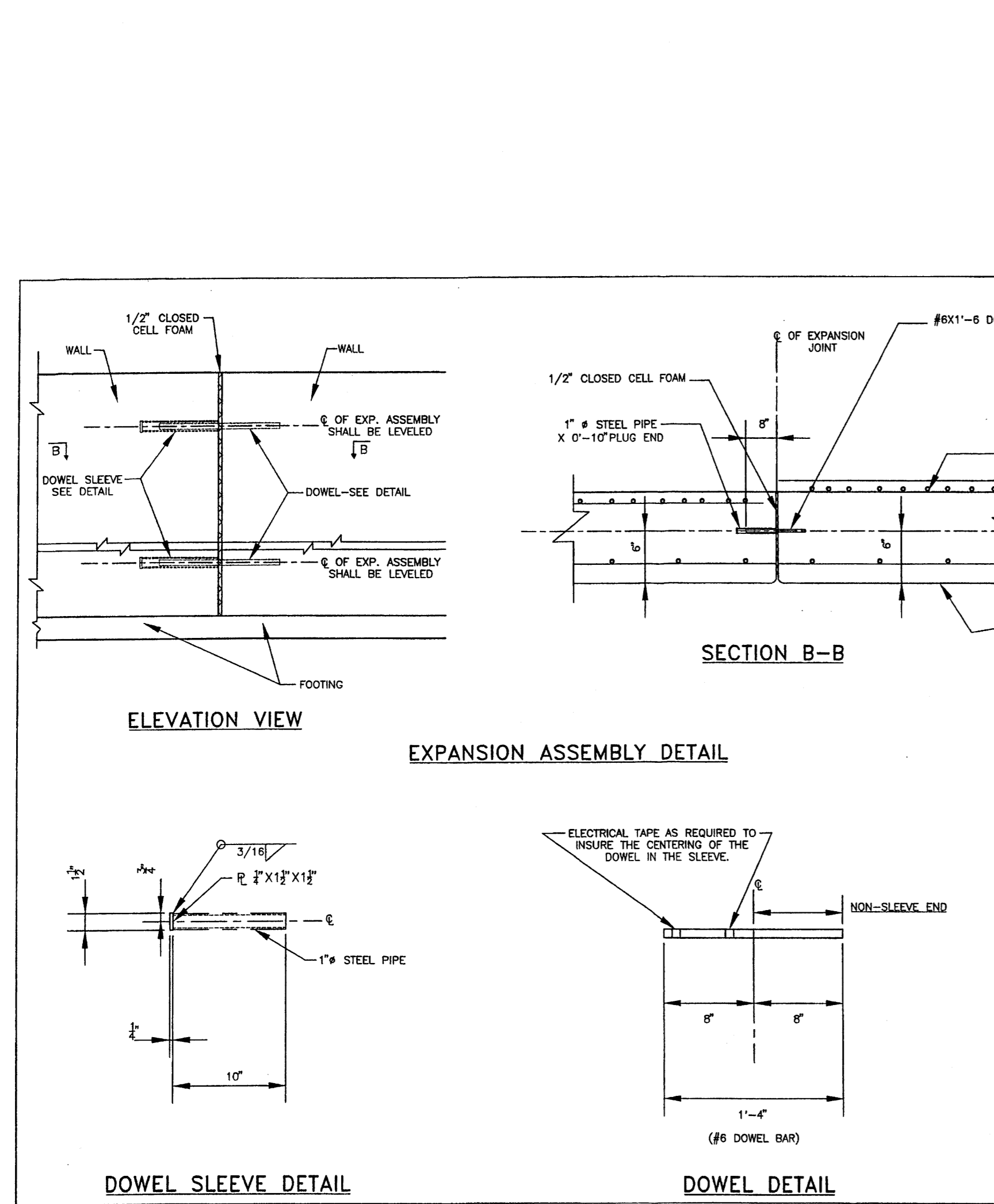
WALL CROSS SECTION (FOR H = 11' TO 16')

REINFORCING BAR DETAIL

NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING

CANTILEVER RETAINING WALL
 (CASE III - LEVEL FILL WITH 2'-0" LIVE LOAD SURCHARGE)
 SECTION AND REINFORCING BAR DETAILS

DESIGNED BY: J.M. DRAWN BY: A.L. CHECKED BY: J.M.
 511-82-2/3 SHEET 2 OF 3



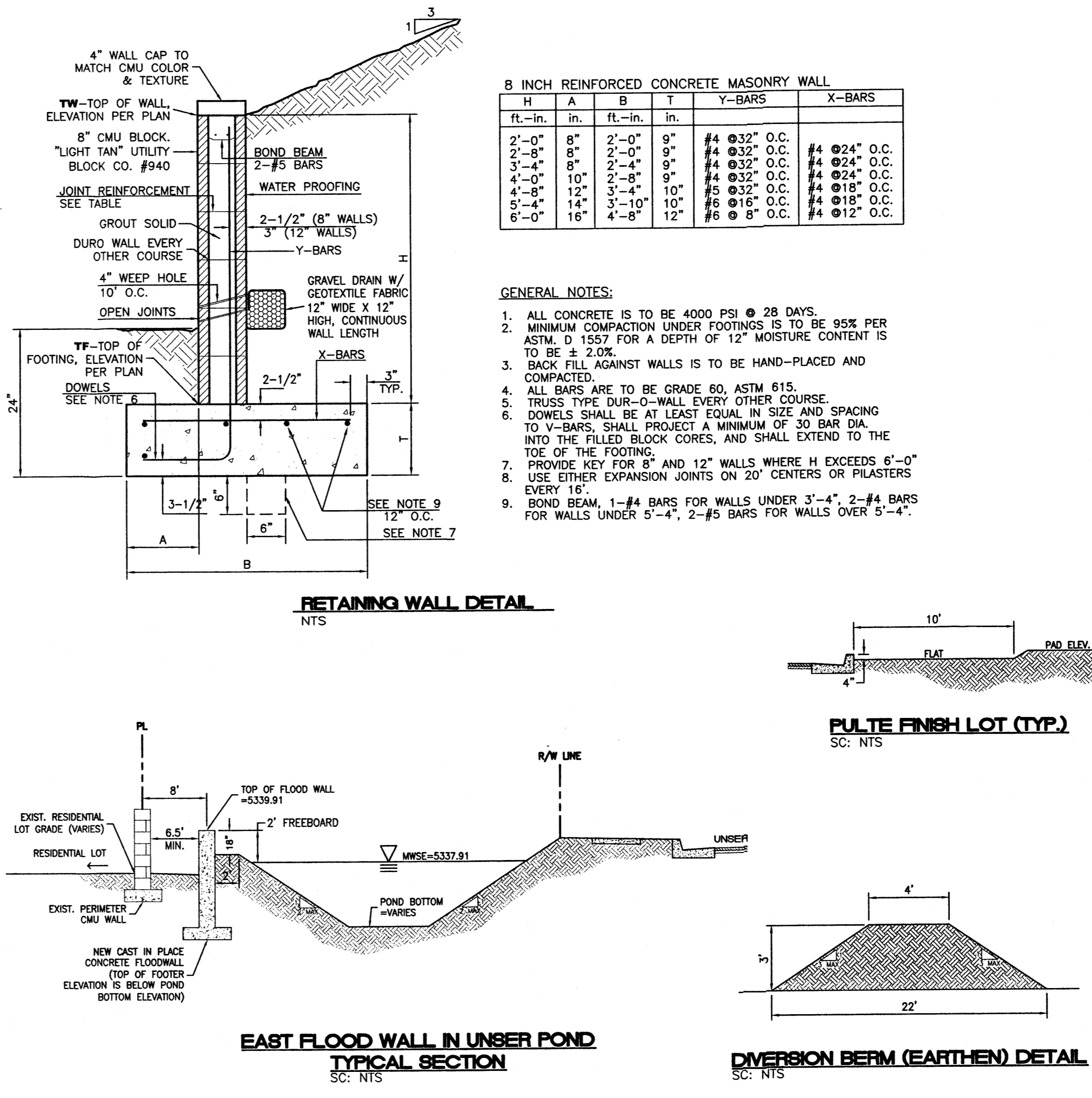
GENERAL NOTES:

- STRUCTURAL STEEL SHALL CONFORM TO AASHTO M-183 UNLESS OTHERWISE NOTED ON THE DETAILS, AND SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH AASHTO M-111.
- BEFORE AND AFTER THE CONCRETE OF THE WALL IS PLACED, THE CONTRACTOR SHALL ENSURE THAT THE CENTER LINES OF ALL EXP. ASSEMBLIES ARE ALWAYS KEPT LEVELED AND 6" AWAY FROM THE OUTSIDE FACE OF THE WALL AS SHOWN ON THIS DRAWING.
- THE MATERIAL AND INSTALLATION COST OF 1/2" CLOSED CELL FOAM AND EXP. ASSEMBLIES SHALL BE CONSIDERED INCIDENTAL TO THE COST OF RETAINING WALL CONSTRUCTION AND NO DIRECT PAYMENT WILL BE MADE THEREFOR.

NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING

CANTILEVER RETAINING WALL
 (CASE III - LEVEL FILL WITH 2'-0" LIVE LOAD SURCHARGE)
 EXPANSION ASSEMBLY DETAIL

DESIGNED BY: J.M. DRAWN BY: A.L. CHECKED BY: J.M.
 511-82-3/3 SHEET 3 OF 3



RETAINING WALL DETAIL

8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#5 @18" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @ 8" O.C.	#4 @12" O.C.

GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 3D BAR DIA INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0".
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PLASTERS EVERY 16'.
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

THE BOULDERS UTILITY SERVICE DETAIL

PLAN VIEW

SECTION VIEW

NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING

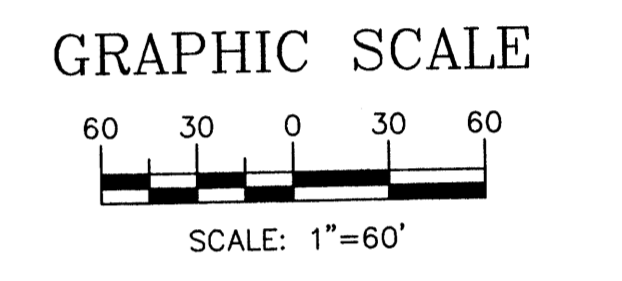
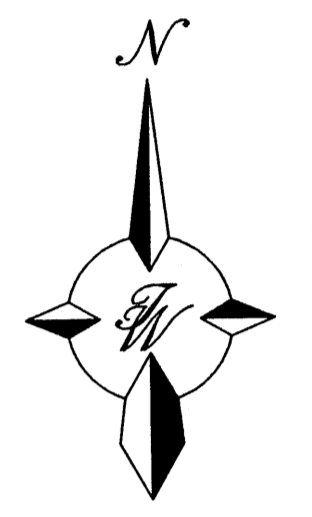
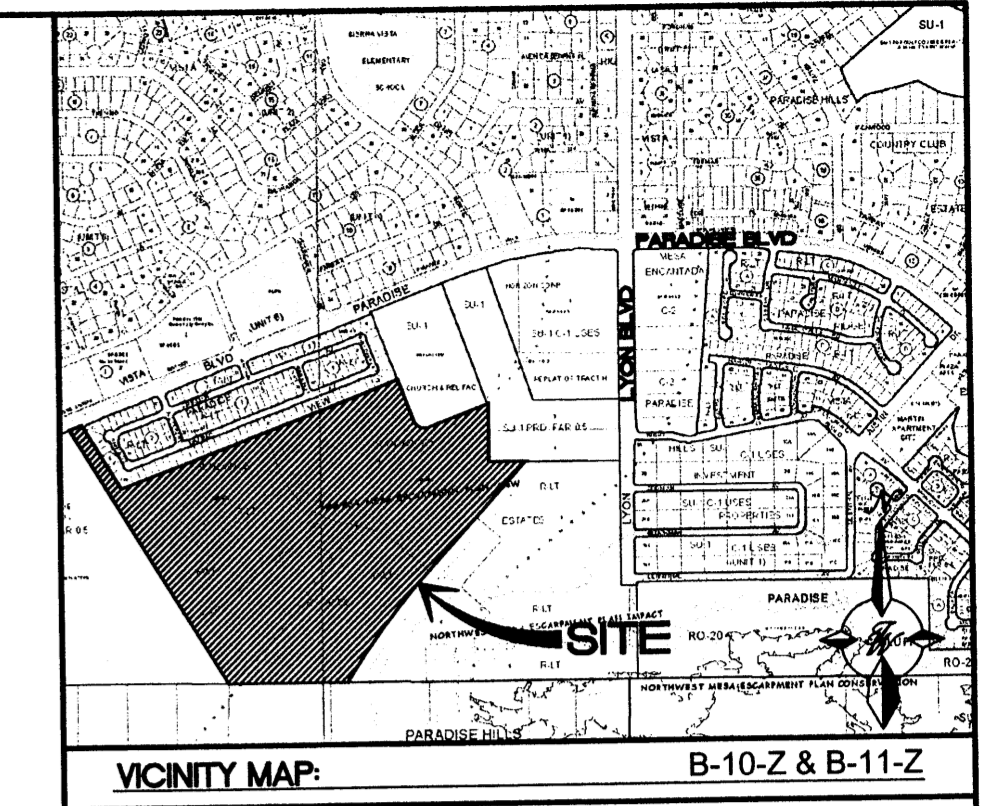
THE BOULDERS PHASE 1 DETAILS

TERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505)858-3100
 tierrawestllc.com

ENGINEER'S SEAL

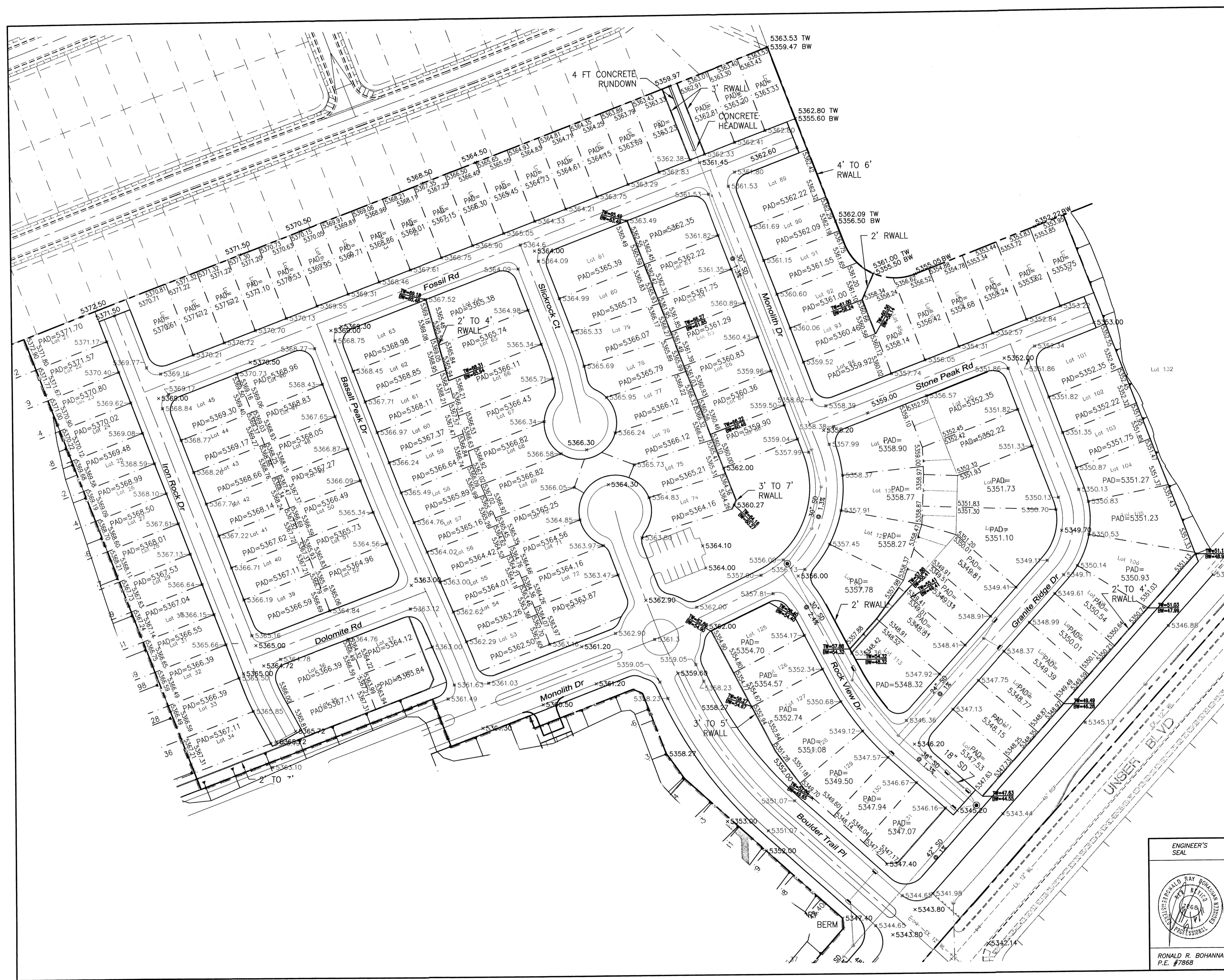
RONALD R. BOHANNAN
 P.E. #7868

DRAWN BY: DY
 DATE: 05-06-11
 2011005-DETAILS
 SHEET # 2
 JOB # 2011005

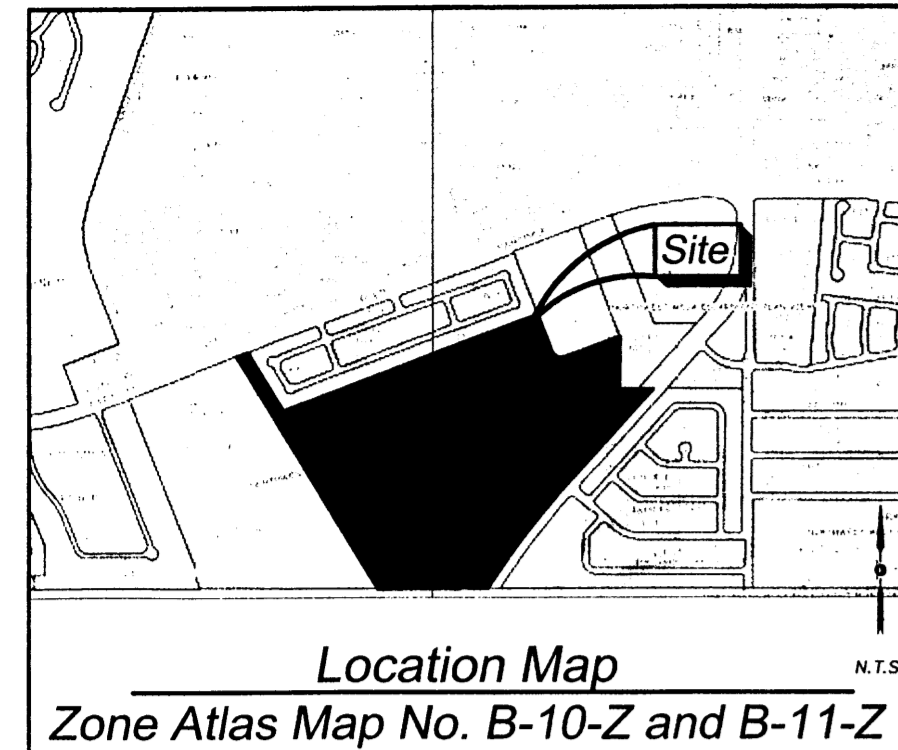


LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION



	THE BOULDERS PHASE 1 RETAINING WALLS	DRAWN BY DY DATE 05-06-11
	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	2011005-SH01-02-GRE-PH1 SHEET # 3 JOB # 2011005



Zoning Data:
 CURRENT ZONING: RL1

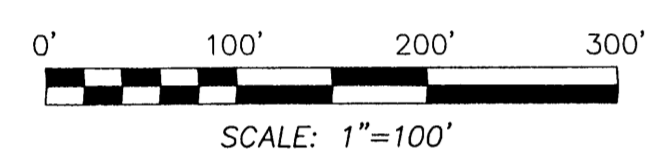
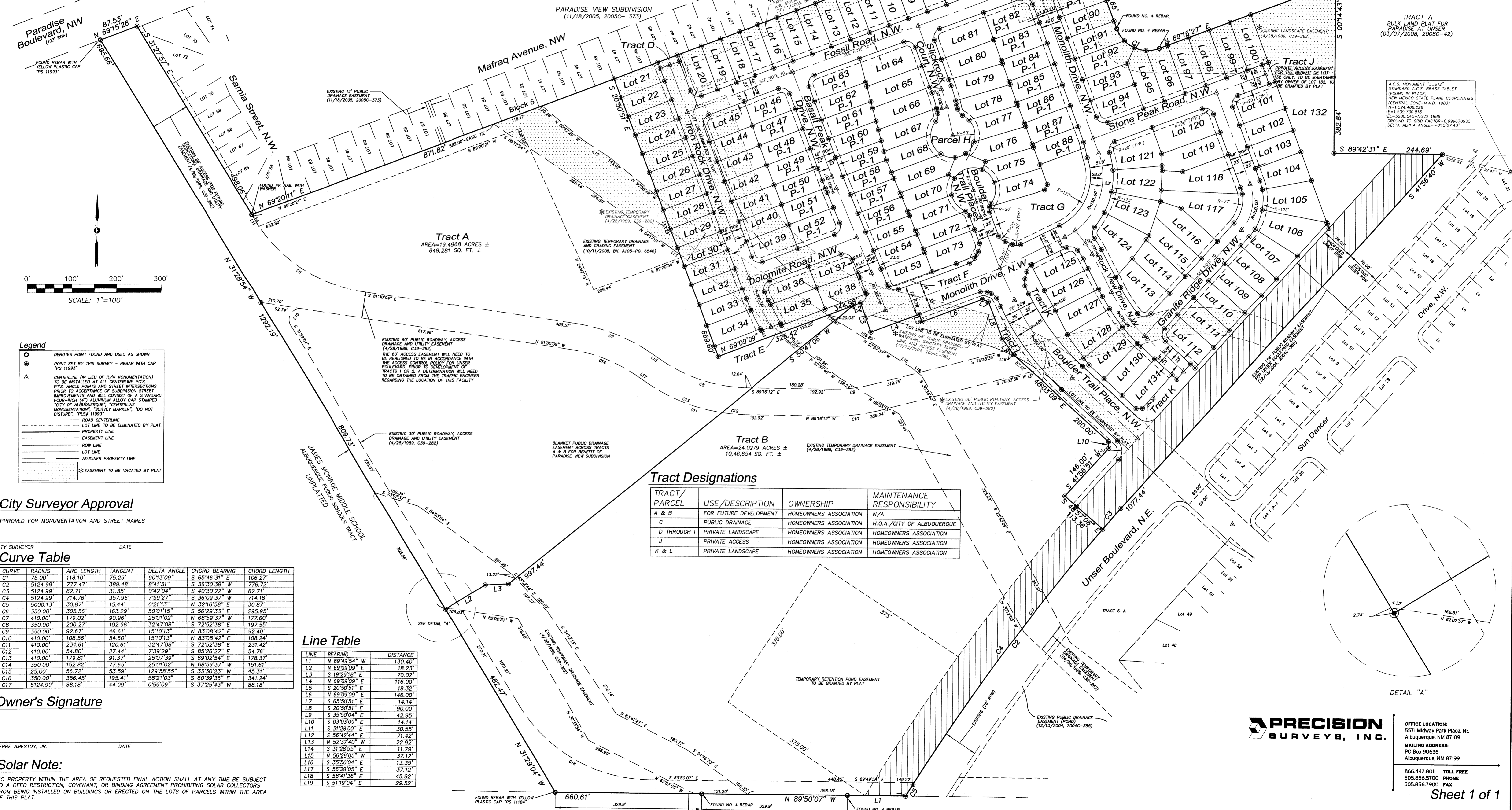
ALL OPEN SPACE REQUIREMENTS ARE MET ON THE LOT WITH THE DWELLING PER THE PROVISIONS OF SECTION 14-16-3-9 (A)(1)

Notes:

- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNERS SHOWN THUS \odot SHALL BE MARKED BY A #4 REBAR W/YELLOW PLASTIC CAP STAMPED "PS 11993".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS Δ . WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS 11993".
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- MINIMUM LOT SIZE 4000 SF; MINIMUM LOT WIDTH 40'
- ALL RIGHT OF WAY CUL-DE-SAC RADI ARE 50'
- ALL RIGHT OF WAY CURB RETURN RADI ARE 20' UNLESS OTHERWISE SHOWN
- THERE IS A 10' PUBLIC UTILITY EASEMENT ADJACENT TO ALL ROW LINES TO BE GRANTED BY PLAT.

Legal Description

TRACTS NUMBERED TWO (2), THREE (3) AND SEVEN (7) OF THE BULK LAND PLAT OF SUNDANCE ESTATES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 13, 2004, IN PLAT BOOK 2004C, PAGE 385.



Legend

- \odot DENOTES POINT FOUND AND USED AS SHOWN
- \odot POINT SET BY THIS SURVEY - REBAR WITH CAP "PS 11993"
- Δ CENTERLINE (IN LIEU OF R/W MONUMENTATION) TO BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF A STANDARD FOUR-INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, SURVEY MARKER, DO NOT DISTURB, PS 11993"
- ROAD CENTERLINE
- - - LOT LINE TO BE ELIMINATED BY PLAT
- - - EASEMENT LINE
- ROW LINE
- LOT LINE
- ADJONER PROPERTY LINE
- - - EASEMENT TO BE VACATED BY PLAT

City Surveyor Approval

APPROVED FOR MONUMENTATION AND STREET NAMES

CITY SURVEYOR DATE

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	75.00'	118.10'	75.29'	90°13'09"	S 65°46'31" E	106.27'
C2	5124.99'	777.47'	389.48'	8°41'31"	S 36°30'39" W	776.72'
C3	5124.99'	62.71'	31.35'	0°42'04"	S 40°30'22" W	62.71'
C4	5124.99'	714.76'	357.96'	7°58'27"	S 36°09'37" W	714.18'
C5	5000.13'	30.87'	15.44'	0°21'13"	N 32°16'58" E	30.87'
C6	350.00'	305.56'	163.29'	50°01'15"	S 56°29'33" E	295.95'
C7	410.00'	179.02'	90.96'	25°01'02"	N 68°59'37" W	177.60'
C8	350.00'	200.77'	102.96'	32°47'08"	S 72°52'38" E	197.55'
C9	350.00'	92.67'	46.61'	15°10'13"	N 83°08'42" E	92.40'
C10	410.00'	108.56'	54.60'	15°10'13"	N 83°08'42" E	108.24'
C11	410.00'	234.61'	120.61'	32°47'08"	S 72°52'38" E	231.42'
C12	410.00'	54.80'	27.44'	7°39'29"	S 85°26'27" E	54.76'
C13	410.00'	179.81'	91.37'	25°07'39"	S 69°02'54" E	178.37'
C14	350.00'	152.82'	77.65'	25°01'02"	N 68°59'37" W	151.61'
C15	25.00'	56.72'	53.59'	129°58'55"	S 33°30'23" W	45.31'
C16	350.00'	356.45'	195.41'	58°21'03"	S 60°39'36" E	341.24'
C17	5124.99'	88.18'	44.09'	0°59'09"	S 37°25'43" W	88.18'

Line Table

LINE	BEARING	DISTANCE
L1	N 89°49'54" W	130.40'
L2	N 89°09'09" E	18.23'
L3	S 19°29'18" E	70.02'
L4	N 69°09'09" E	116.00'
L5	S 20°50'51" E	18.32'
L6	N 69°09'09" E	146.00'
L7	S 65°30'51" E	14.14'
L8	S 20°50'51" E	90.00'
L9	S 35°00'04" E	42.95'
L10	S 03°03'09" E	14.14'
L11	S 31°28'00" E	30.55'
L12	S 56°42'44" E	71.42'
L13	N 52°17'40" W	22.92'
L14	S 31°28'55" E	11.79'
L15	N 56°28'05" W	37.12'
L16	S 35°00'04" E	13.35'
L17	S 56°29'05" E	37.12'
L18	S 58°41'36" E	45.92'
L19	S 51°19'04" E	29.52'

Tract Designations

TRACT/PARCEL	USE/DESCRIPTION	OWNERSHIP	MAINTENANCE RESPONSIBILITY
A & B	FOR FUTURE DEVELOPMENT	HOMEOWNERS ASSOCIATION	N/A
C	PUBLIC DRAINAGE	HOMEOWNERS ASSOCIATION	H.O.A./CITY OF ALBUQUERQUE
D THROUGH I	PRIVATE LANDSCAPE	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
J	PRIVATE ACCESS	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
K & L	PRIVATE LANDSCAPE	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION

Owner's Signature

PIERRE AMESTOY, JR. DATE

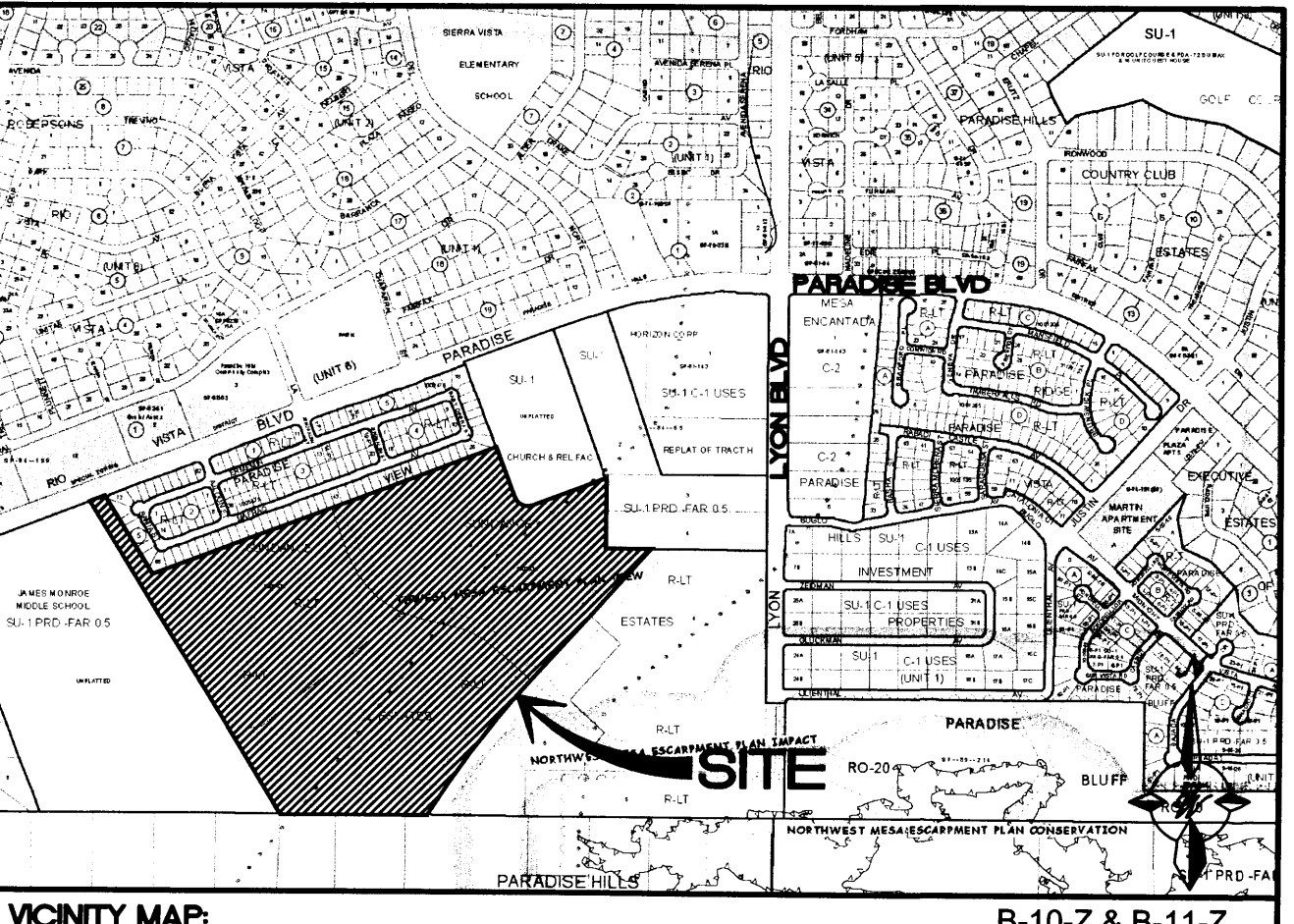
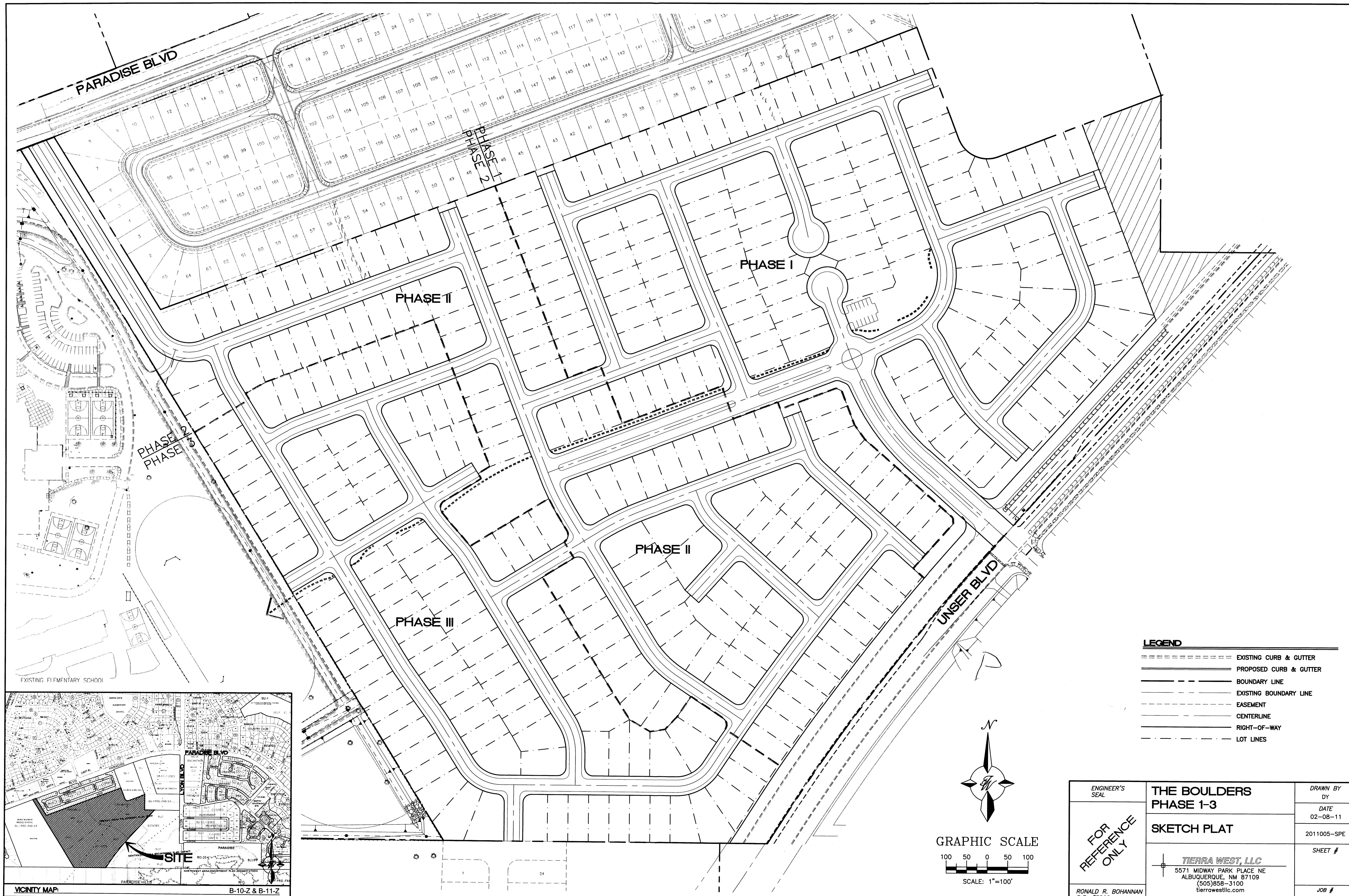
Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BONDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERCTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

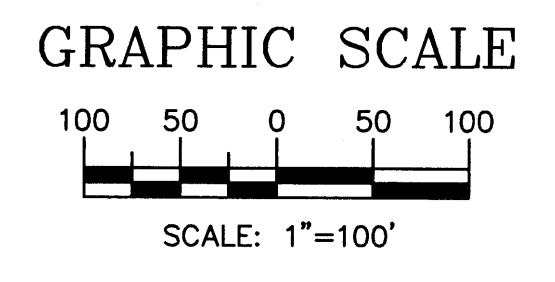
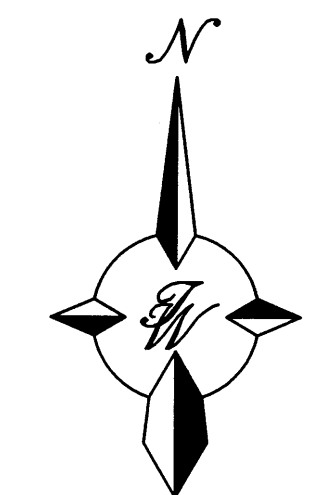


OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

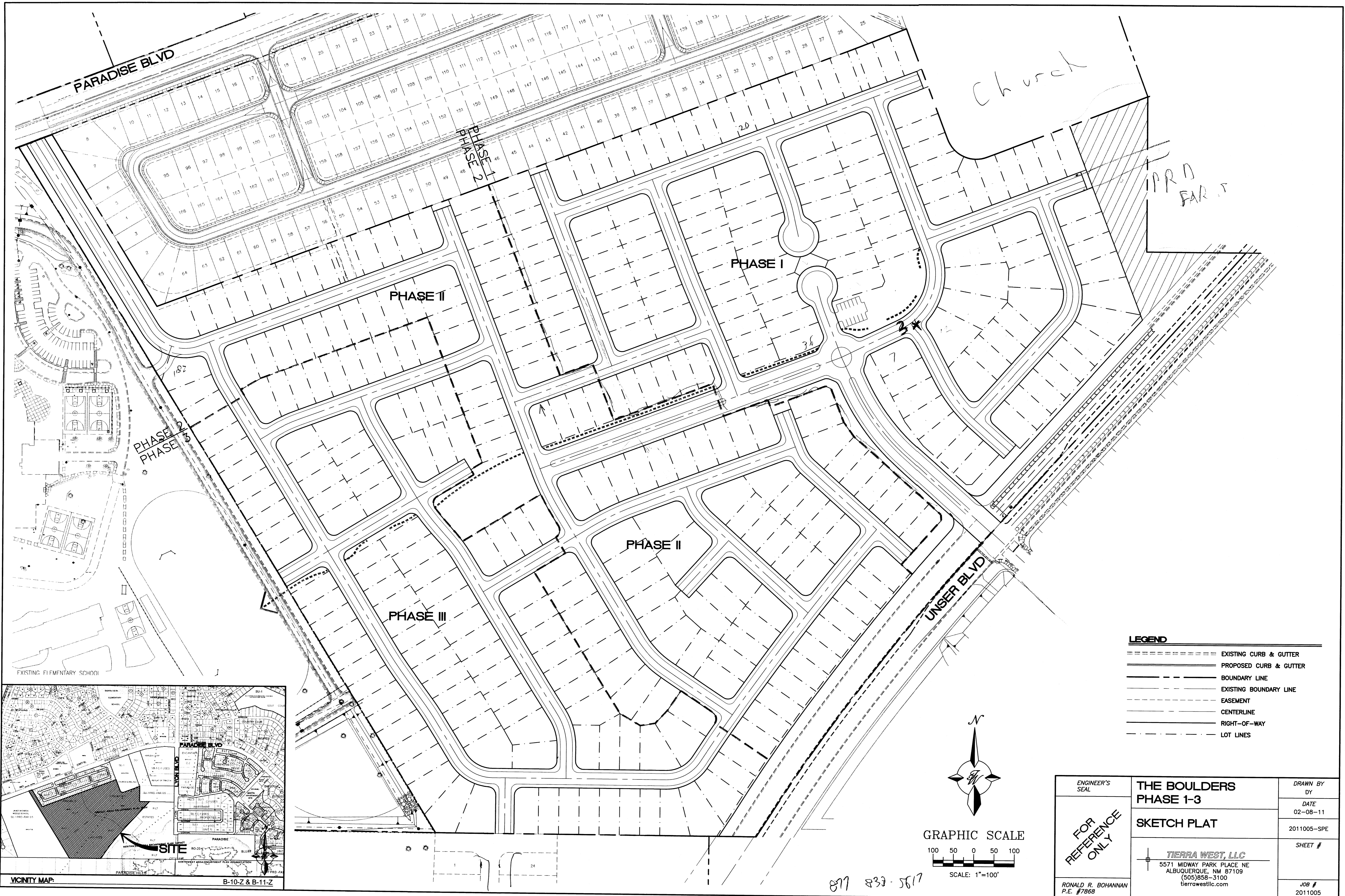
866-442-8011 TOLL FREE
 505-856-5700 PHONE
 505-856-7900 FAX



- LEGEND**
- EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - - - BOUNDARY LINE
 - - - EXISTING BOUNDARY LINE
 - - - EASEMENT
 - - - CENTERLINE
 - - - RIGHT-OF-WAY
 - - - LOT LINES

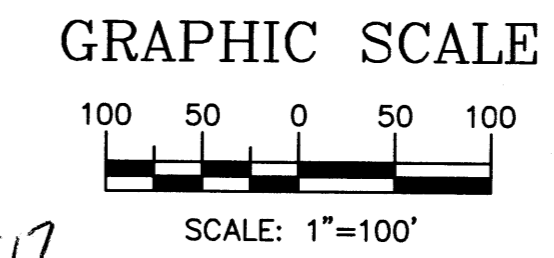
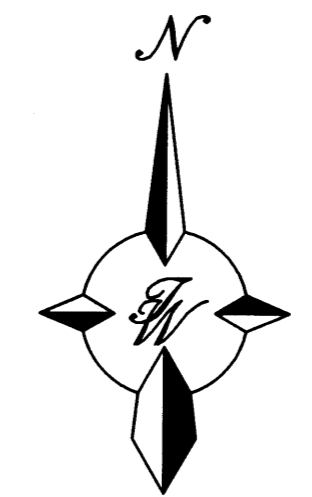


ENGINEER'S SEAL FOR REFERENCE ONLY	THE BOULDERS PHASE 1-3	DRAWN BY DY
	SKETCH PLAT	DATE 02-08-11
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	2011005-SPE SHEET #
RONALD R. BOHANNAN P.E. #7868		JOB # 2011005

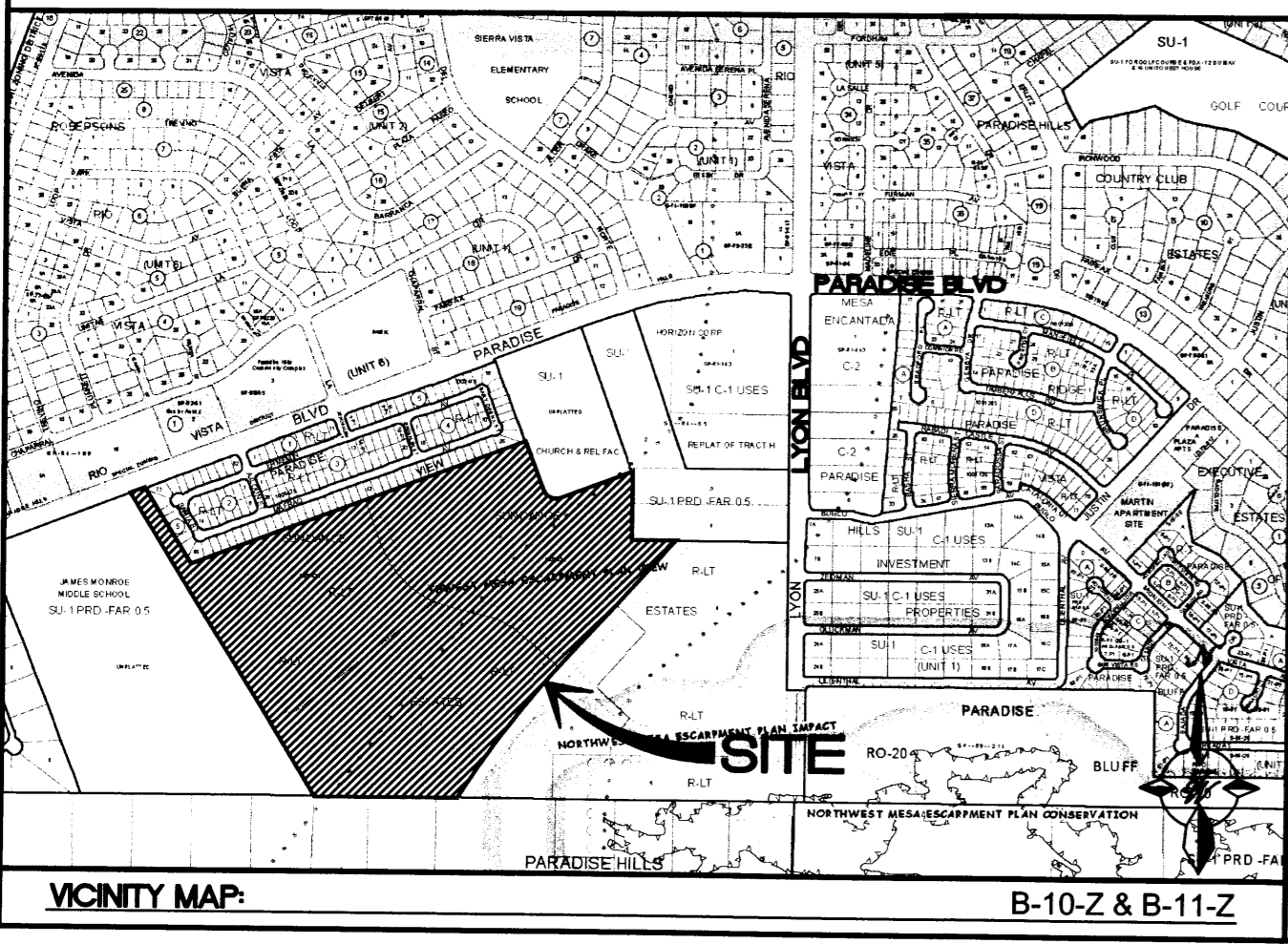


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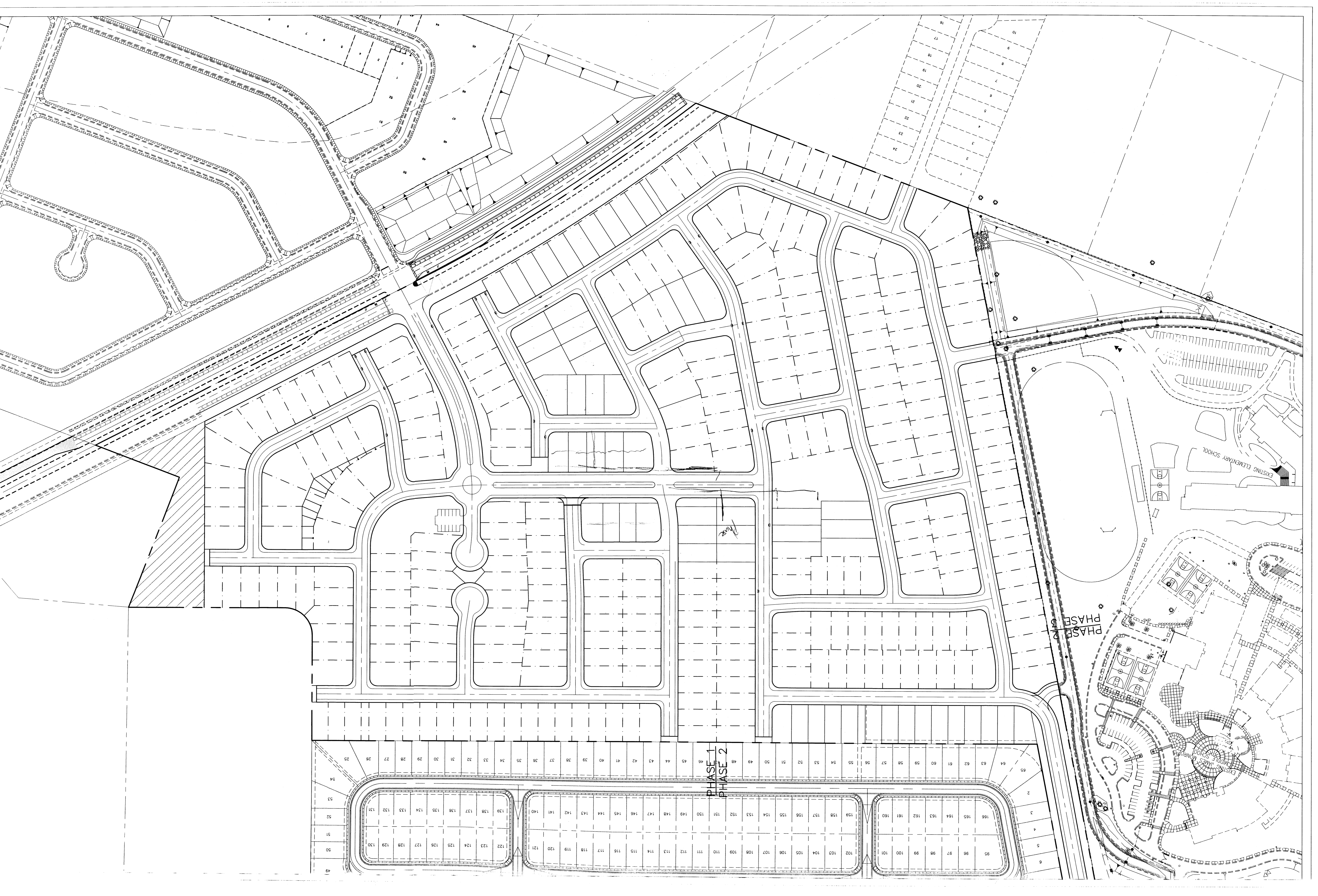
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES



877 833-5617



ENGINEER'S SEAL FOR REFERENCE ONLY	THE BOULDERS PHASE 1-3	DRAWN BY DY
	SKETCH PLAT	DATE 02-08-11
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	2011005-SPE SHEET #
RONALD R. BOHANNAN P.E. #7868		JOB # 2011005



EXISTING ELEMENTARY SCHOOL

EXISTING JAMES WOODS ELEMENTARY SCHOOL

PHASE 2

PHASE 1
PHASE 2

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PHASE 1
PHASE 2

PHASE 2
PHASE 3

EXISTING JAMES MONROE
MIDDLE SCHOOL

EXISTING ELEMENTARY SCHOOL

