

SITE DATA

PROPOSED USAGE: RETAIL/RESTAURANT/BANK
 LOT AREA: 447,657.43 S.F.(10.2768 AC.)
 BUILDING AREA: 97,119 S.F.

PARKING CALCULATIONS:

PARKING REQUIRED:
 RETAIL/BANK 87,158 GSF/ 200 GSF 436 PARKING
 RESTAURANT (JINJA) 8,661 GSF/ 200 GSF 69 PARKING
 RESTAURANT (SAXBY'S) 1,300 GSF/ 200 GSF 22 PARKING

TOTAL PARKING: 527 SPACES

PARKING REDUCTION:

10% WITHIN 300' OF TRANSIT SYSTEM (ROUTE #91) 53 SPACES
 5% SITE GREATER THAN 5 ACRES 26 SPACES
 10% MIXED USES/SHARED PARKING 53 SPACES

TOTAL PARKING REDUCTION: 132 SPACES

TOTAL PARKING REQUIRED: 395 SPACES

TOTAL PARKING PROVIDED: 527 SPACES

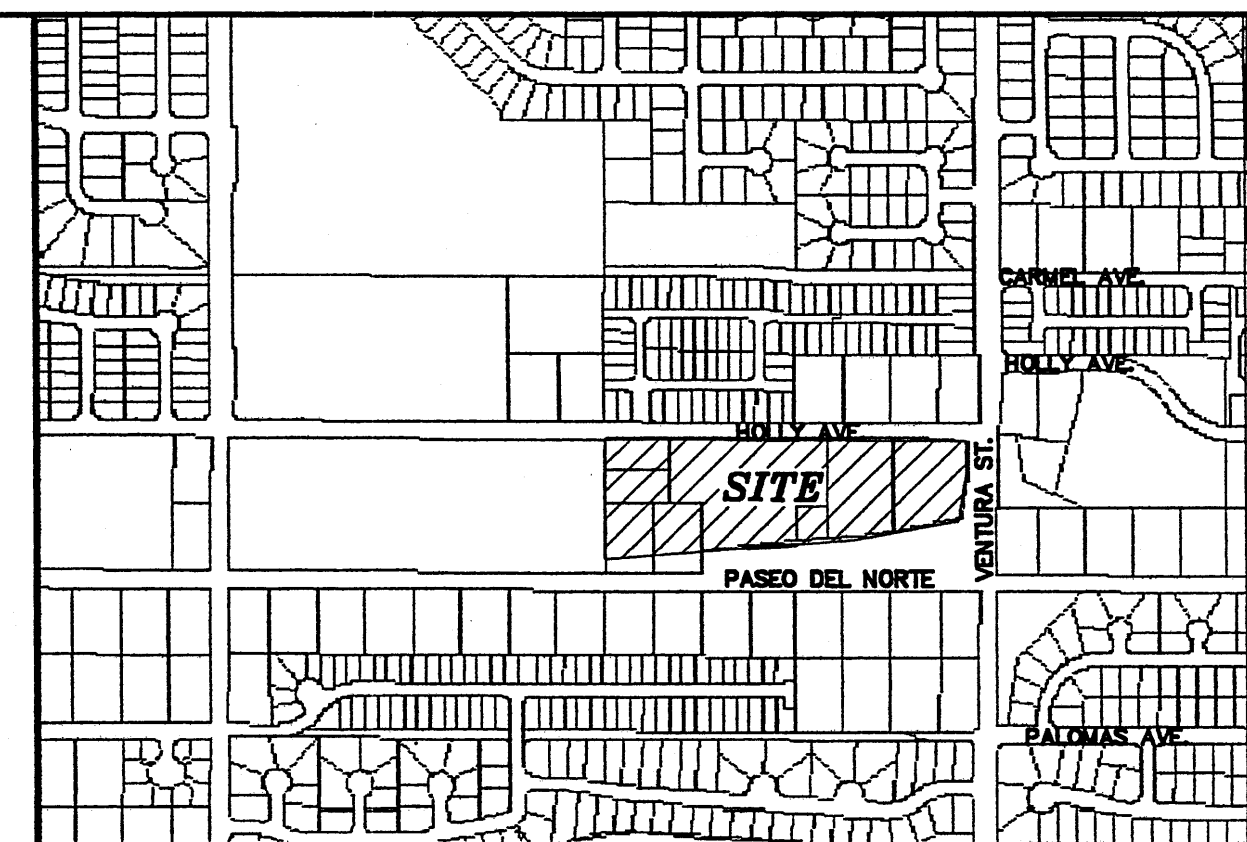
HC PARKING REQUIRED: 8 SPACES (2 VAN)
 HC PARKING PROVIDED: 24 SPACES (2 VAN)
 BICYCLE SPACES REQUIRED: 16 SPACES
 BICYCLE SPACES PROVIDED: 20 SPACES

GENERAL NOTES:

1. SITE LIGHTING WILL CONSIST OF BUILDING-MOUNTED OR STEEL POLE SEE BELOW FOR SITE LAYOUT AND TYPE.
2. THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTED SIGN. THE MONUMENT SIGN SIZE SHALL NOT EXCEED 50 SQUARE FEET AND THE HEIGHT SHALL NOT EXCEED 8.00' (SEE ELEVATION SHEET 7.7 FOR DETAIL).
3. THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.
4. CURRENT ZONING CURRENT IS SU-1 MIXED USED.
5. WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.
6. BUILDINGS: BUILDING HEIGHT: BUILDING STRUCTURE SHALL NOT EXCEED 36 FEET IN HEIGHT. BUILDING TYPES AND COLORS: SEE ELEVATION PLANS, SHEETS 7.1 THRU 7.8.
7. THE LANDSCAPING PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
8. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
9. SITE PLAN FOR BUILDING PERMIT SHALL REQUIRE TO MEET THE SIGNAGE REQUIREMENTS OF C-1 ZONING SECTION 16-14-2-16-A-11 AND NOT NECESSARILY AS THOSE SHOWN ON THE SITE PLAN FOR BUILDING PERMIT.
10. MAINTENANCE OF PUBLIC OPEN SPACE AMENDMENTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

NOTES:

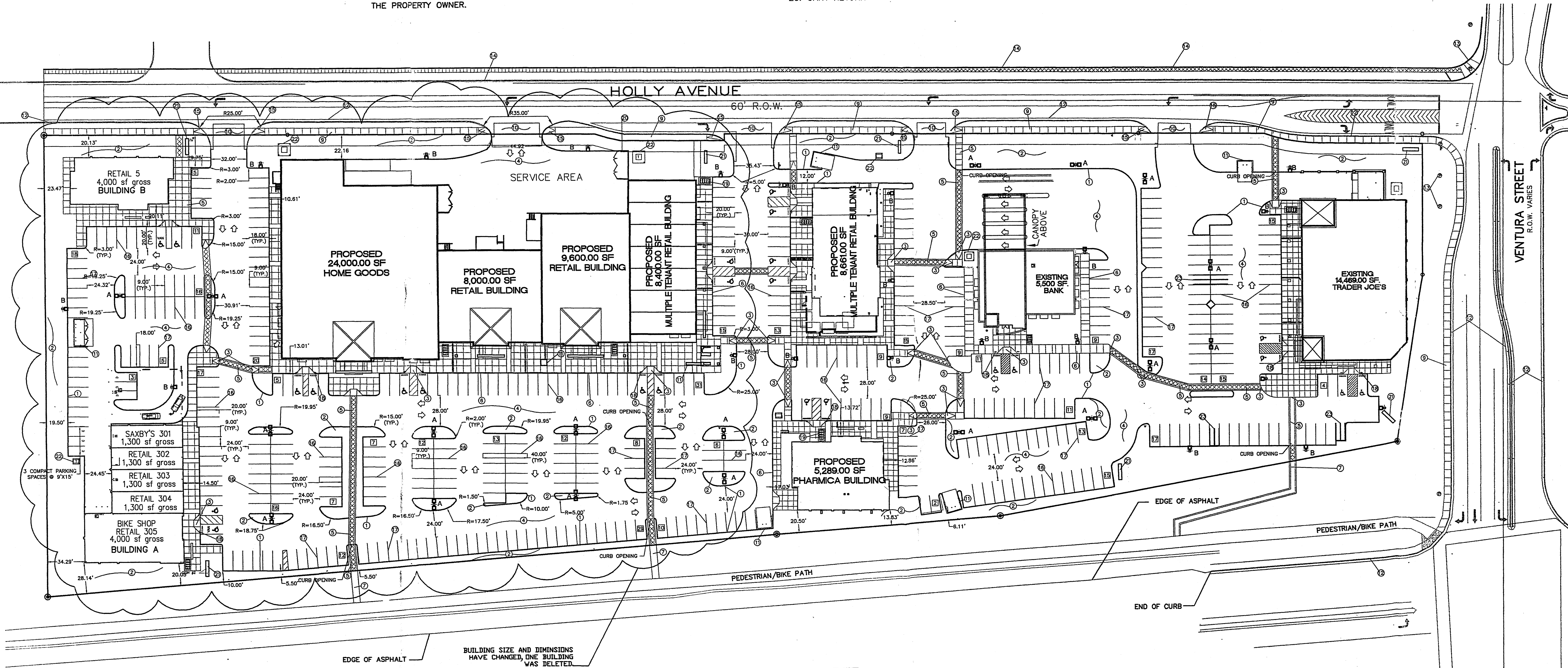
1. 6" CONCRETE CURB PER COA STD. DWG. #2415B TYP.
2. LANDSCAPING AREA.
3. HC ACCESSIBLE SIDEWALK RAMP.
4. NEW ASPHALT PAVING AREA.
5. 6' WIDE TEXTURED CONCRETE PEDESTRIAN CROSSING.
6. NEW TURN DOWN SIDEWALK.
7. 6' WIDE ASPHALT PEDESTRIAN CROSSING
8. NEW 4' SIDEWALK PER COA STD. DWG. #2430.
9. EXISTING 6' SIDEWALK.
10. EXISTING DRIVE WAY ENTRANCE.
11. 8" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS.
12. EXISTING CURB AND GUTTER.
13. EXISTING POWER POLE.
14. FUTURE CURB AND GUTTER.
15. EXISTING UNIDIRECTIONAL WHEELCHAIR RAMP.
16. 9' WIDE X 20' DEEP PARKING SPACES
17. 9' WIDE X 18' DEEP PARKING SPACES
18. HANDICAP SIGN PER COA STANDARDS.
19. BICYCLE RACK
20. TAN SPLIT FACE BLOCK WALL (HEIGHT NOT TO EXCEED 8').
21. MONUMENT SIGN, REFER TO ELEVATION PLAN.
22. TRANSFORMER
23. CART RETURN



VICINITY MAP: C-20-Z

LEGAL DESCRIPTION:

LOTS 1, 2-A, 3-A, 4, 5, AND 6, VENTURA PLACE
 CONTAINING 440,300.14 S.F. (10.31655 ACRE).
 ZONING SU-1/C-1



SHEET INDEX

1. AMENDED SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPING PLAN
- 3.0 ELEVATION BUILDING A
- 3.1 ELEVATION BUILDING B

ADMINISTRATIVE AMENDMENT

File #06AA-0245 Project #1002633
 Combine Lots 1 and 2-A.
 Revise buildings on 3-A
 and 1-A as shown.
 Approved By: [Signature] DATE: 2 Nov '06

1002633

PASEO DEL NORTE

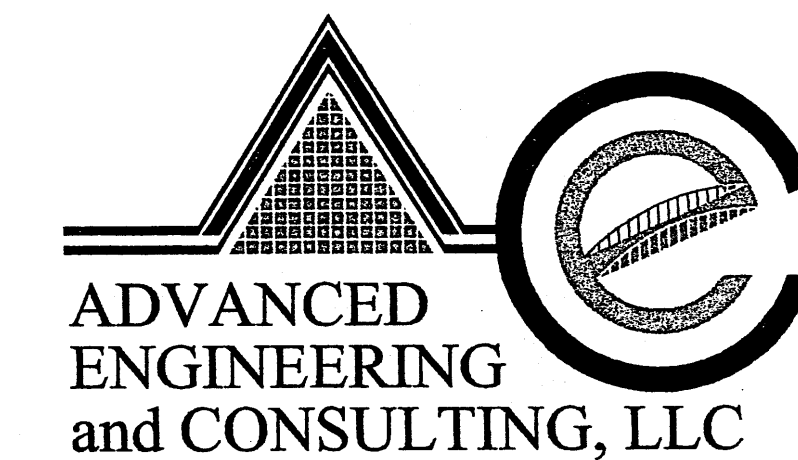
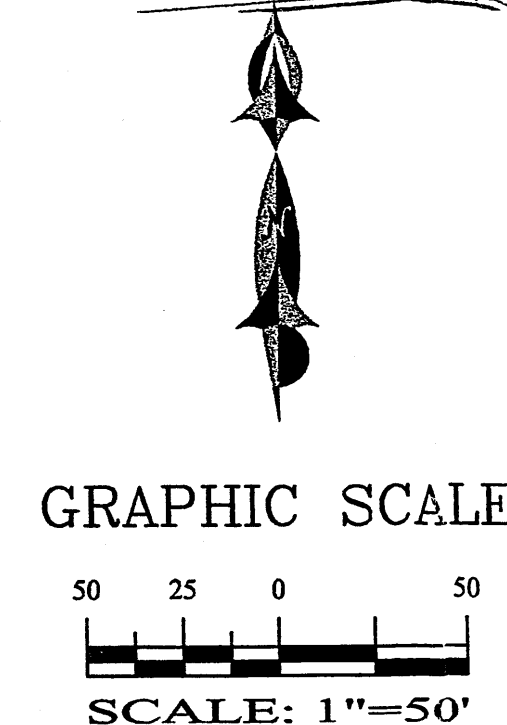
R.O.W. VARIES

LEGEND

- BOUNDARY LINE
- ▭ BUILDING
- PROPOSED CURB
- FUTURE CURB & GUTTER
- - - EXISTING CURB & GUTTER
- 7 NUMBER OF PARKING SPACES
- ☐ FIXTURE SITTING WITH PLANTER FOR DECIDUOUS TREE
- SIDEWALK
- TREE LOCATION
- c PAINTED COMPACT PARKING

SITE LIGHTING SCHEDULE					
Symbol	Label	Qty	Catalog Number	Description	Lamp
☐	A	10	AS2 250M SR4W	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR4W REFLECTOR.	ONE 250-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION, W/FULL CUT OFF
☐	B	34	AS2 250M SR4W	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR4W REFLECTOR.	ONE 250-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION, W/FULL CUT OFF
☐	C	2	TWA 70M	WALLPACK W/REGULAR REFLECTOR, PRISMATIC LENS.	ONE 70-WATT CLEAR ED-17 METAL HALIDE, TILTED 22-DEG. W/FULL CUT OFF

LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30' WHEN MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE AND AT NO TIME SHALL THE HEIGHT OF A LIGHT POLE EXCEED 16' WITHIN 100' OF RESIDENTIAL ZONE.



SHAHAB BIAZAR
 P.E. #13479

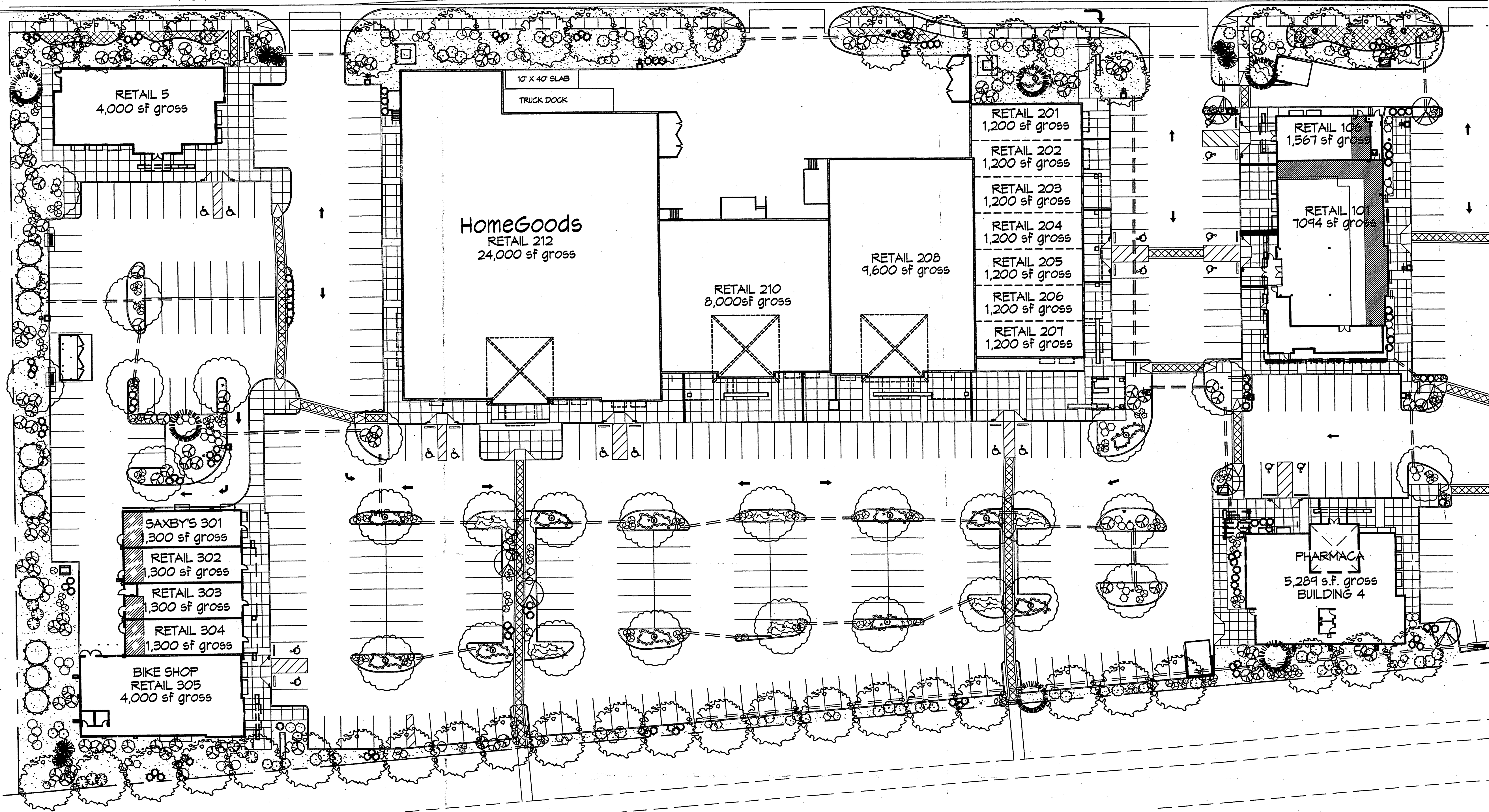
4416 ANAHEIM AVE., N.E.
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-3570

**VENTURA PLACE
 AMENDED SITE PLAN FOR BUILD. PERMIT**

DRAWING: 200622-OVERALL-ST.DWG	DRAWN BY: SHH	DATE: 05-24-05	SHEET # 1 OF 3
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HOLLY AVENUE

HOLLY AVENUE



PLANT LEGEND

- HONEY LOCUST (H) 45
Gleditsia triacanthos
2" Cal.
- PURPLE ROBE LOCUST (M) 29
Robinia ambigua
2" Cal.
- AUSTRIAN PINE (M) 6
Pinus nigra
6'-8'
- FLOWERING PEAR (M+) 7
Pyrus calleryana
2" Cal.
- PALM YUCCA (L) 6
- DESERT WILLOW (L) 11
Chilopsis linearis
5 Gal. 225sf
- APACHE PLUME (L) 43
Fallugia paradoxa
5 Gal. 25sf
- BUTTERFLY BUSH (M) 35
Buddleia davidii
5 Gal. 100sf
- NANDINA (M) 39
Nandina domestica
5 Gal. 25sf
- LANAS/ SCOTCH BROOM (M) 70
Cytisus scoparius/
Genista hispanica
1 Gal. 9sf
- CHAMISA (L) 15
Chrysothamnus nauseosus
1 Gal. 25sf
- HONEYSUCKLE (M) 116
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- AUTUMN SAGE (M) 103
Salvia greggii
1 Gal. 4sf
- ROSEMARY (M) 45
Rosmarinus officinalis
1 Gal. 36sf
- POTENTILLA (M) 21
Potentilla fruticosa
1 Gal. 4sf
- WILDFLOWER 144
1 Gal. 4sf
- CREeping ROSEMARY (L) 21
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
Symbol indicates 3 plants
- GREYLEAF COTONEASTER (M) 36
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- SANTA FE BROWN GRAVEL
WITH FILTER FABRIC
- SANTA ANA TAN GRAVEL
WITH FILTER FABRIC
- OVERSIZED GRAVEL
4 17 BOULDERS
- COMMERCIAL GRADE
STEEL EDGING

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	303813	square feet
TOTAL BUILDINGS AREA	77150	square feet
OFFSITE AREA	2315	square feet
NET LOT AREA	224348	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	33652	square feet
TOTAL BED PROVIDED	41770	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	32685	square feet
TOTAL GROUND COVER PROVIDED	32718	square feet
TOTAL LANDSCAPE PROVIDED	41770	square feet

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap. In lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

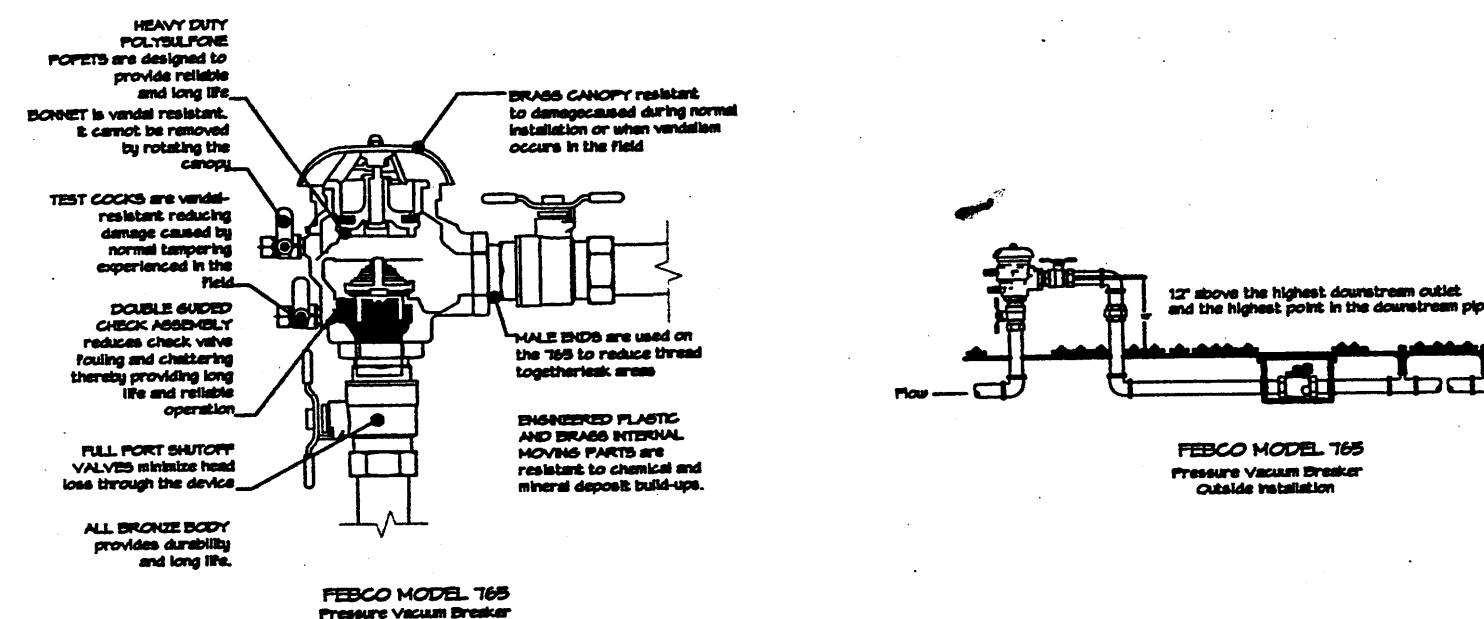
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

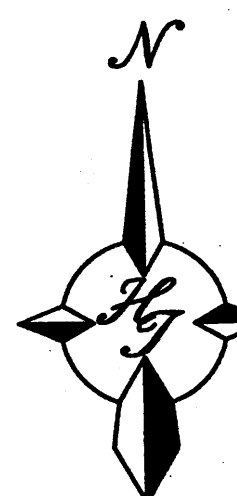
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

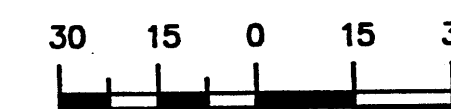


BACKFLOW PREVENTOR DETAIL

no scale



GRAPHIC SCALE



SCALE: 1"=30'

REVISIONS

△ 7/5/06	Revisions per Owner
△ 7/14/06	site plan revision
△ 8-8-06	Overall plan
△	
△	
△	

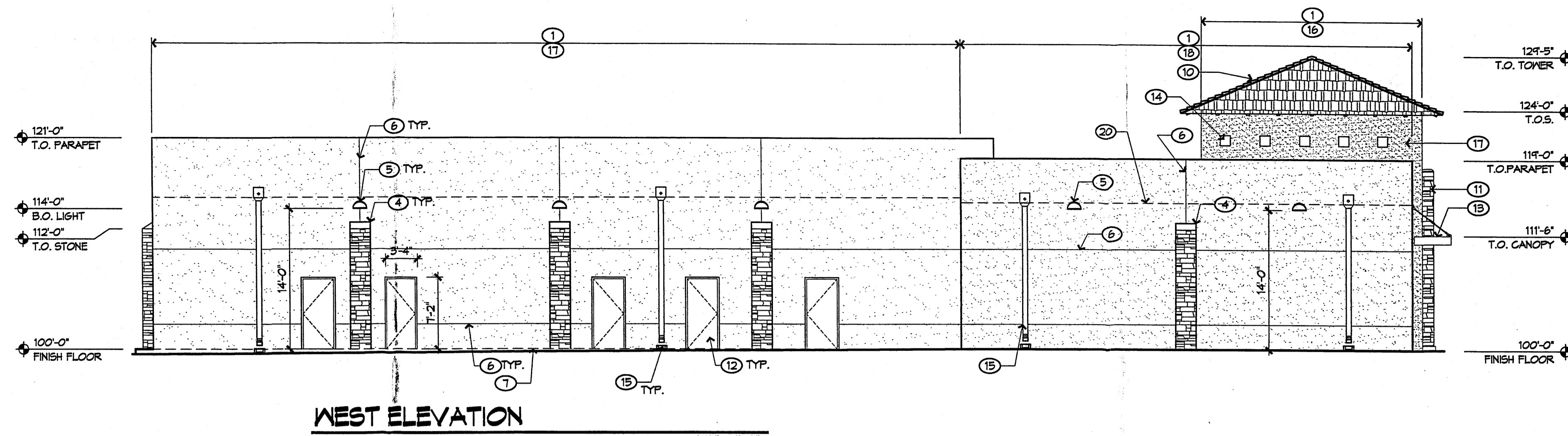


The Hilltop

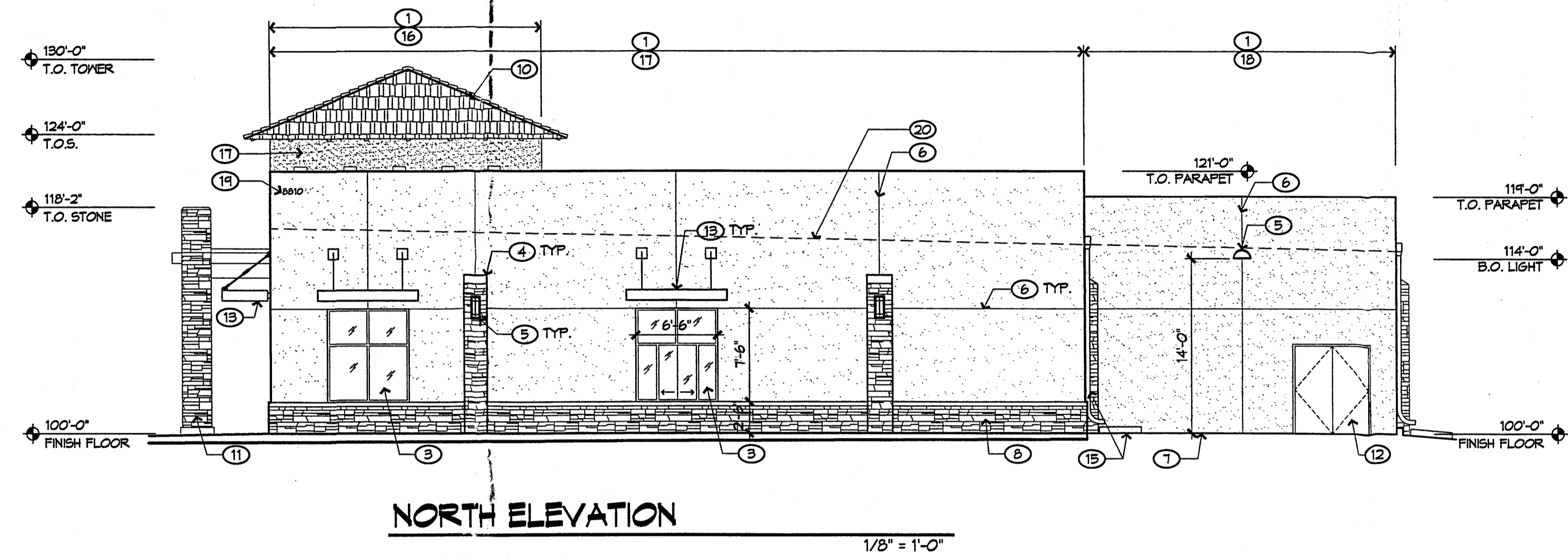
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-3690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com

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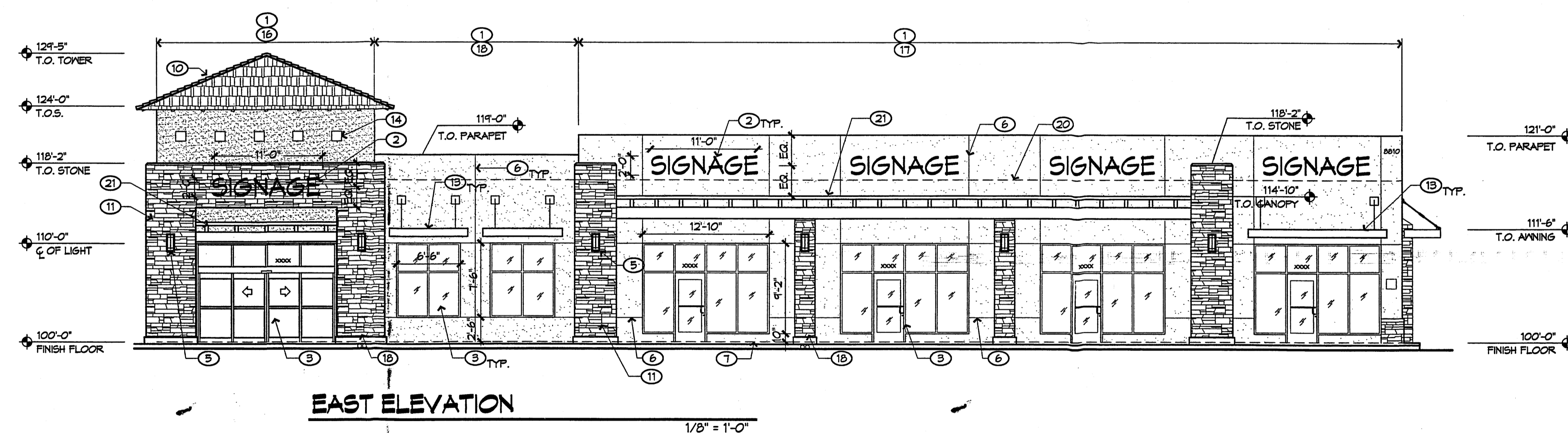
DRAWN BY	bc
REVIEWED BY	c
DATE	
PROJECT NO.	
DRAWING NAME	
SHEET NO.	



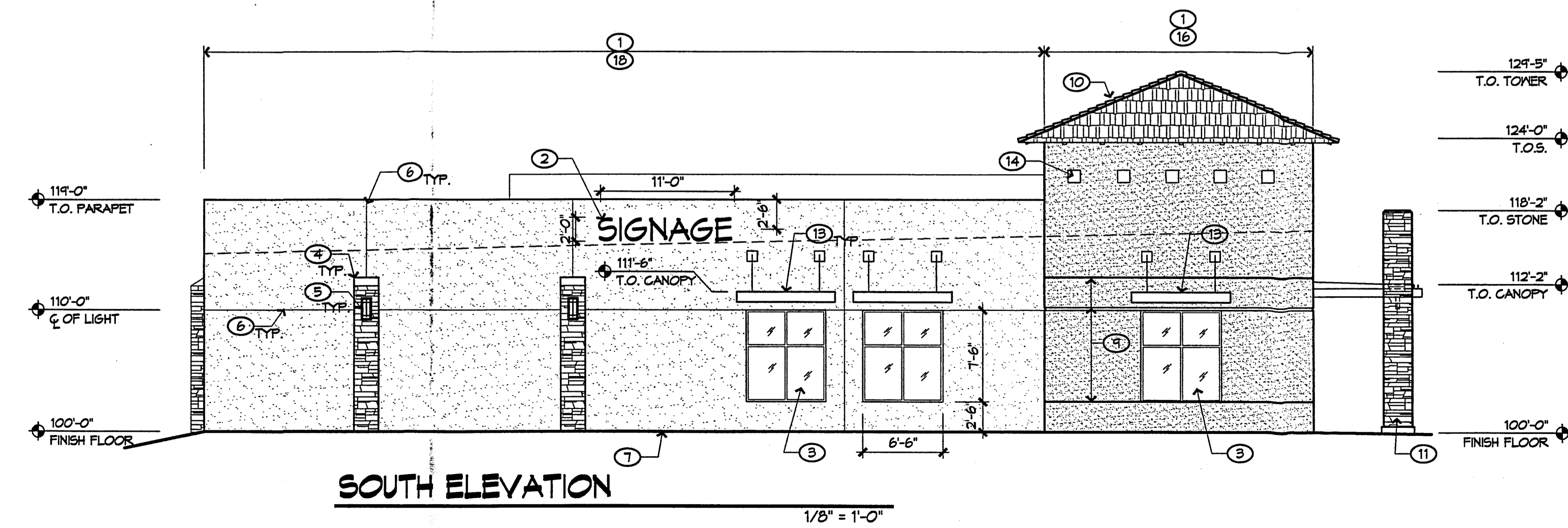
WEST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"



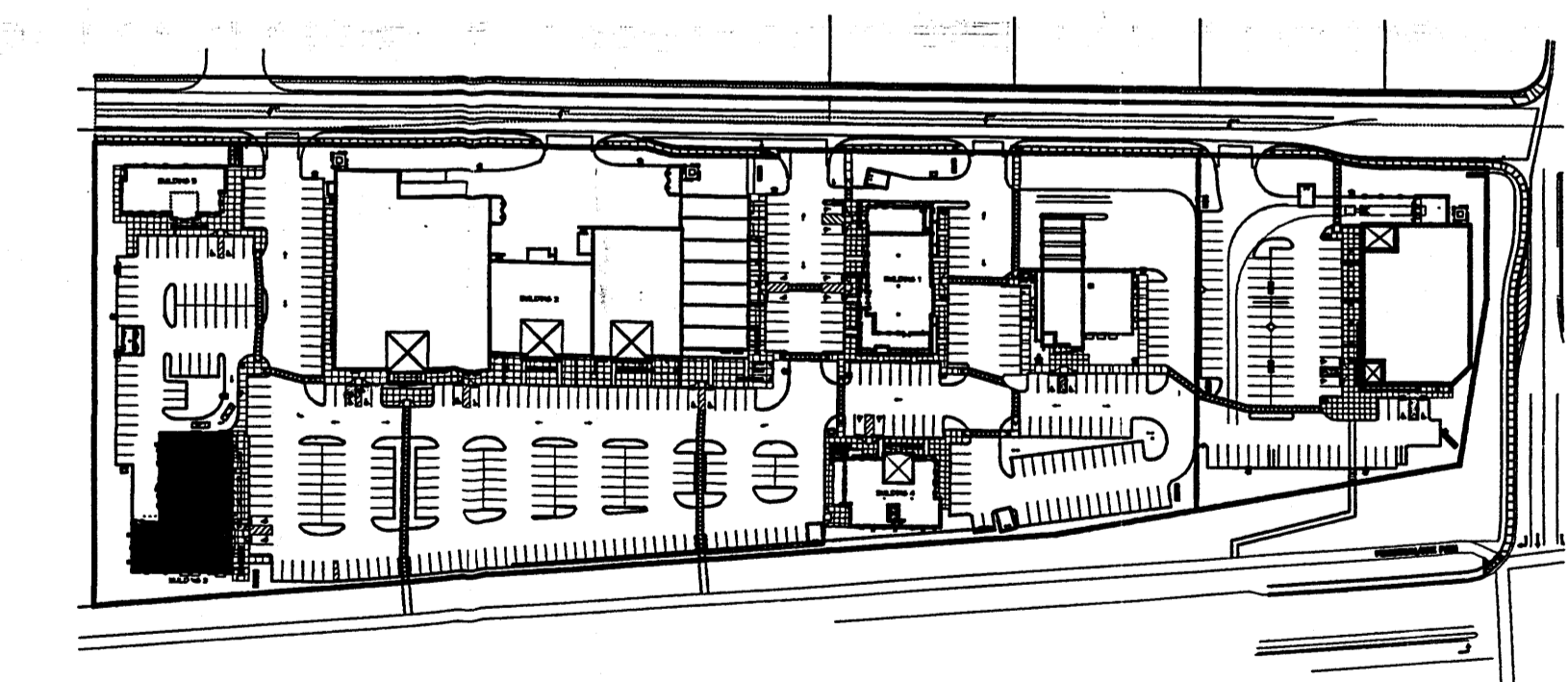
SOUTH ELEVATION
1/8" = 1'-0"

GENERAL NOTES

A. BUILDING MOUNTED SIGNS SHALL NOT EXCEED THE ALLOWED SQUARE FOOTAGE AS SPECIFIED IN THE C-1 ZONE.

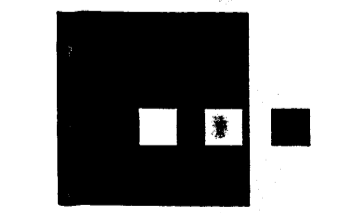
KEYED NOTES

1. 2-COAT STUCCO OVER 5/8" EXTERIOR GRADE SHEATHING w/ CONTROL JOINTS
2. BACKLIT SIGNAGE, 24" MAX. LETTER HEIGHT, SEE GENERAL NOTES THIS SHEET
3. CLEAR ANODIZED ALUMINUM STOREFRONT FRAMING SYSTEM
4. STACKED STONE PLASTER (ELDORADO STONE, STYLE: CASTAWAY) WITH 2-COAT STUCCO CAP
5. WALL MOUNTED SCOSCE
6. CONTROL JOINT
7. FINISH FLOOR LINE
8. STACKED STONE VENEER (ELDORADO STONE, STYLE: CASTAWAY) GRAY FIELD w/ TAN BLEND.
9. METAL SCREED CHANNEL REVEALS, TYPICAL AROUND ALL TOWER FACADES
10. CEMENTITIOUS ROOF TILES (MONIER LIFETILE, 15X6S 44T3, COLOR: PRAIRIE GREEN C/T)
11. STACKED STONE COLUMN OR WALL (ELDORADO STONE, STYLE: CASTAWAY) WITH PREMANUFACTURED STONE CAP
12. HOLLOW METAL DOOR AND FRAME PAINTED TO MATCH ADJACENT 2-COAT STUCCO COLOR
13. STEEL CANOPY AND STEEL TIEBACK BRACING, COLOR: BENJAMIN MOORE TATE OLIVE HC-112
14. 12" X 12" CLEAR GLASS BLOCK CLERESTORY WINDOWS
15. SCUPPER/DOWNSPOUT PAINTED TO MATCH ADJACENT STUCCO COLOR, CONCRETE SPLASH BLOCK BELOW
16. 2-COAT STUCCO COLOR = TO MATCH BROWN (STO #01003)
17. 2-COAT STUCCO COLOR = TO MATCH TAN (BENJAMIN MOORE #4C-21)
18. 2-COAT STUCCO COLOR = TO MATCH MEDIUM BROWN (BENJAMIN MOORE #4C-37)
19. 8" BRUSHED ALUMINUM BUILDING IDENTIFICATION NUMBER (8810), FONT = NUEVA STANDARD
20. ROOF LINE BEYOND
21. TUBE STEEL CANOPY WITH METAL DECK - COLOR BENJAMIN MOORE, TATE OLIVE HC-112
22. ROOF DRAIN DOWNSPOUT NOZZLE WITH WALL FLANGE



KEY PLAN

N.T.S.



Dekker/Perich/Sabatini
architecture ■ interiors ■ planning ■ engineering

6801 Jefferson NE, Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222

EXTERIOR ELEVATION:
ADMINISTRATIVE
AMENDMENT

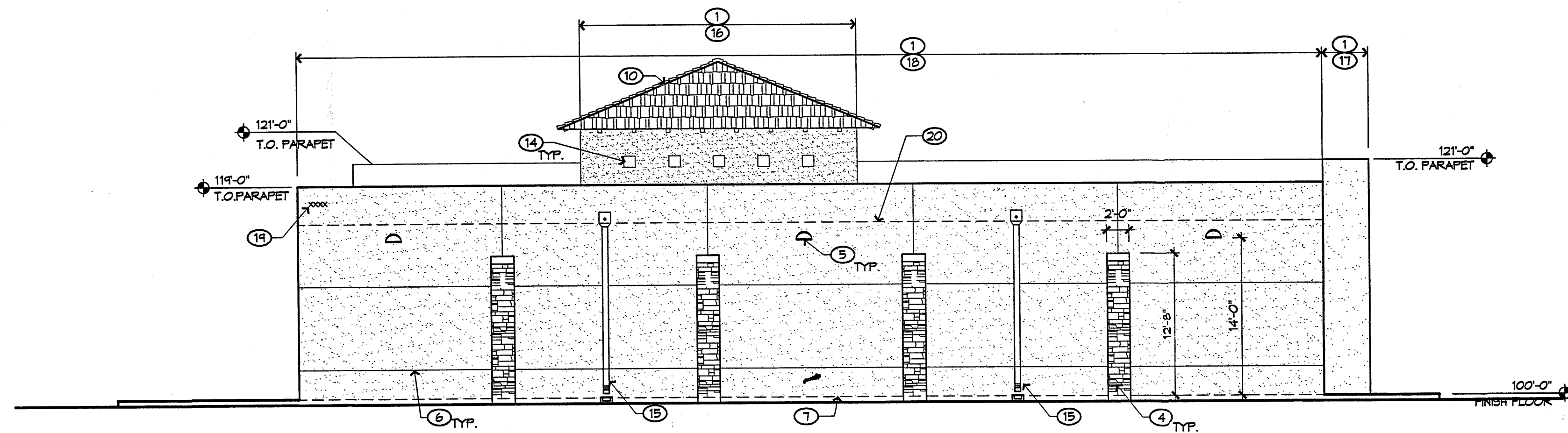
VENTURA PLACE - BUILDING 3
HOLLY BLVD. AT VENTURA BLVD. AND PASEO DEL NORTE
ALBUQUERQUE, NM

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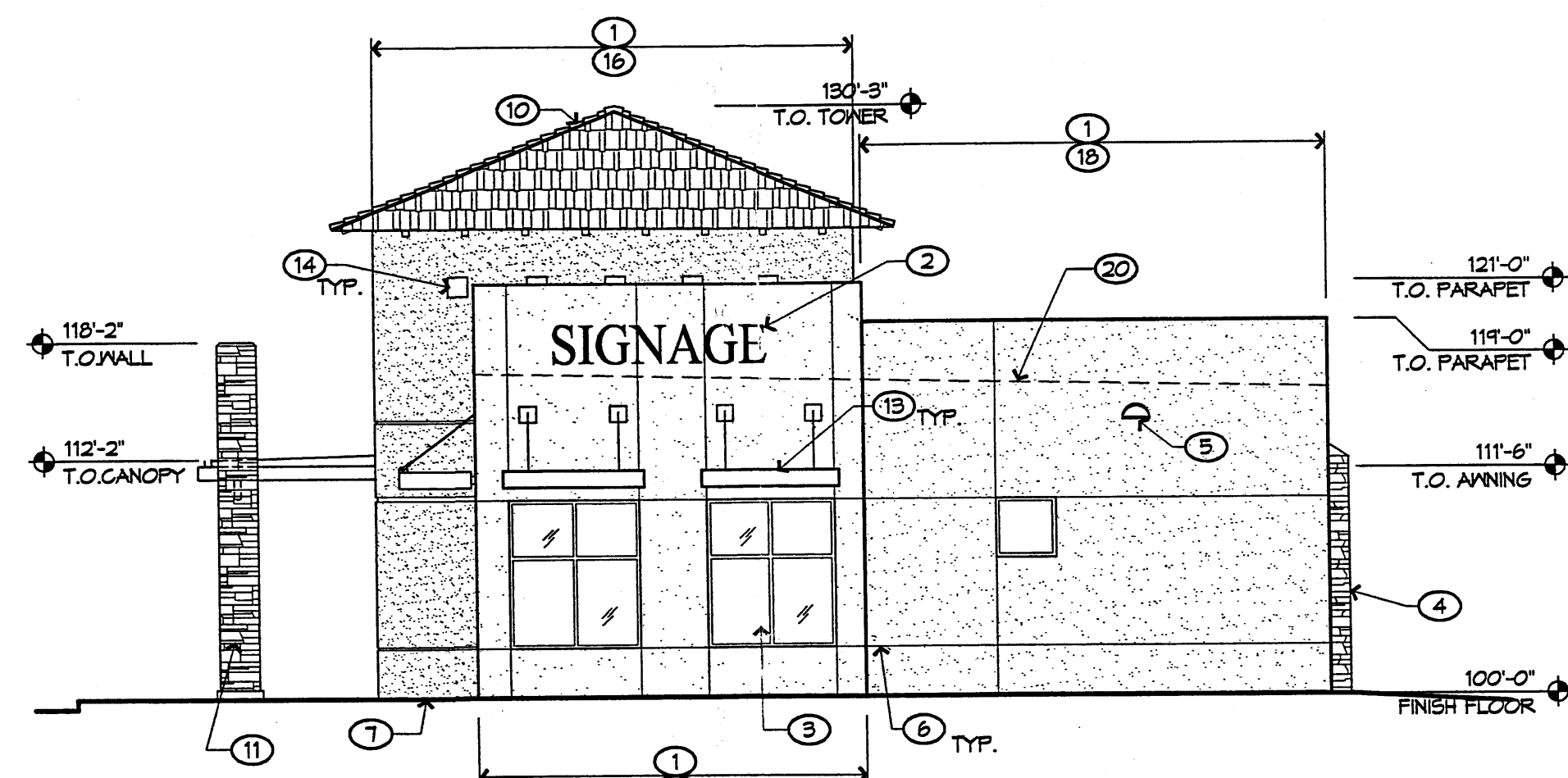
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5. WALL MOUNTED SCIENCE
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9. METAL SCREED CHANNEL REVEALS, TYPICAL AROUND ALL TOWER FACADES
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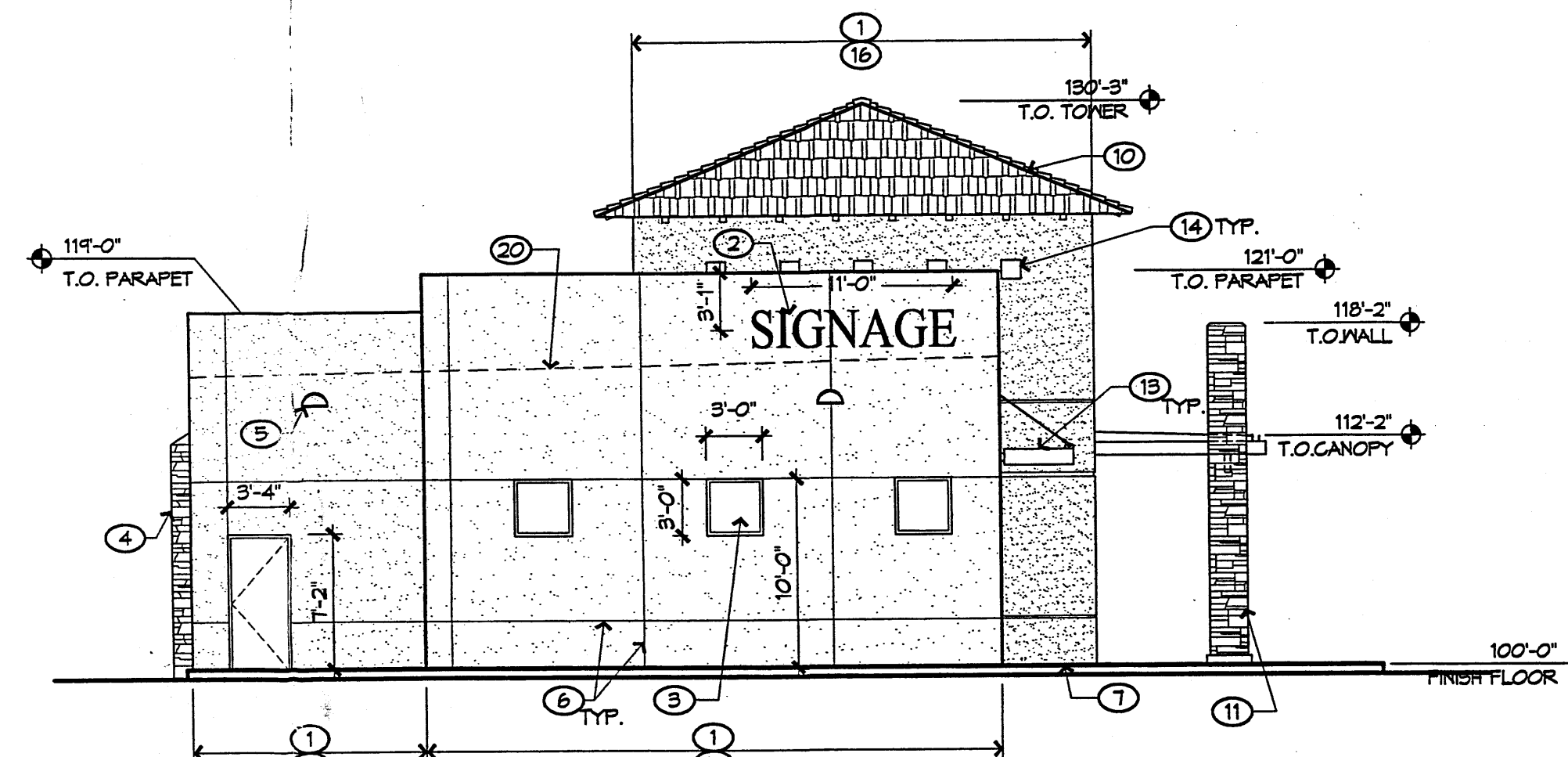
NORTH ELEVATION

1/8" = 1'-0"



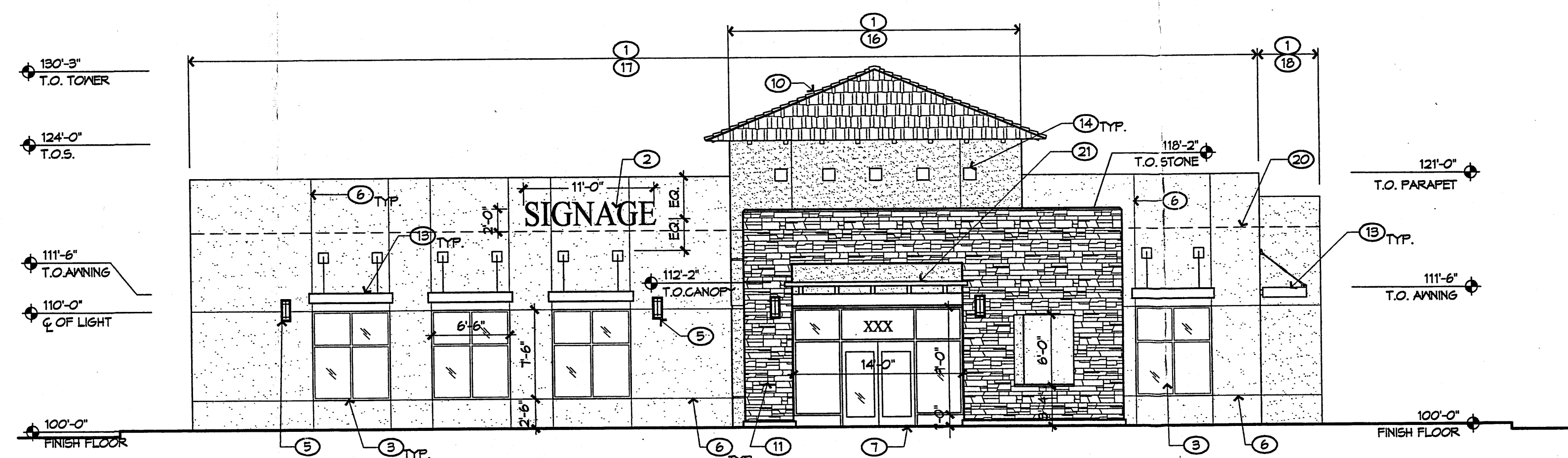
EAST ELEVATION

1/8" = 1'-0"



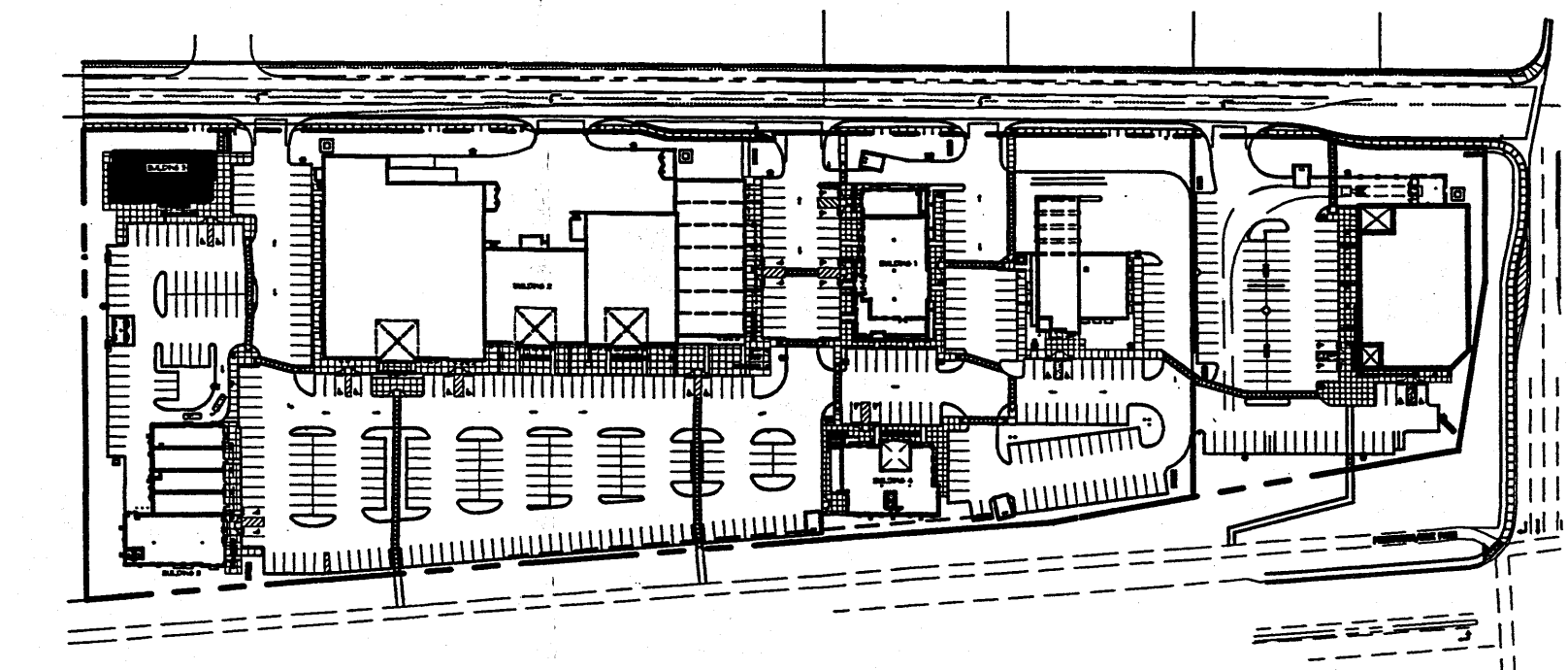
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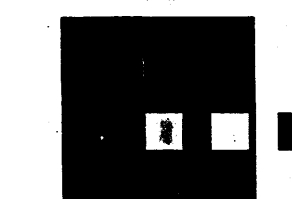
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N.T.S.



Dekker/Perich/Sabatini

architecture ■ interiors ■ planning ■ engineering
6801 Jefferson NE, Suite 100 505 761-9700
Albuquerque, NM 87109 fax 761-4222

EXTERIOR ELEVATIONS -

ADMINISTRATIVE
AMENDMENT

VENTURA PLACE - BUILDING 5
 HOLLY BLVD. AT VENTURA BLVD. AND PASEO DEL NORTE
 ALBUQUERQUE, NM